

**City of Marlborough
Zoning Board of Appeals**

140 Main Street
Marlborough, Massachusetts 01752
Tel. (508) 460-3768 Facsimile (508) 460-3747

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CITY OF MARLBOROUGH

2020 SEP 23 A 10:39

ZBA Case #1464-2020 Special Permit – Floodplain and Wetland Protection District
Name: WP Marlborough MA Owner, LLC
Location: 339 Boston Post Road East, Marlborough

**Zoning Board of Appeals
Notice of Decision
Grant of Special Permit**

DECISION

The Zoning Board of Appeals of the City of Marlborough hereby **GRANTS** the Application of WP Marlborough MA Owner, LLC, with a mailing address of 9 West Broad Street, Suite 800, Stamford, CT 06902, as provided in the DECISION and subject to the Findings of Fact and Conditions contained therein.

Decision date: September 23, 2020

The Decision of the ZBA was filed in the Office of the City Clerk of the City of Marlborough on the 23rd day of September, 2020.

APPEALS

Appeals, if any shall be made pursuant to Massachusetts General Laws, Chapter 40A, Section 17 and shall be filed within twenty (20) days after the date of the filing of this Notice of Decision in the Office of the City Clerk of the City of Marlborough, MA.

A TRUE COPY
ATTEST:


City Clerk

**City of Marlborough
Zoning Board of Appeals**

140 Main Street
Marlborough, Massachusetts 01752
Tel. (508) 460-3768 Facsimile (508) 460-3747

ZBA Case #1464-2020
Name: WP Marlborough MA Owner, LLC
Location: 339 Boston Post Road East

Date submitted: September 23, 2020

**Zoning Board of Appeals
DECISION AND RECORD ON A SPECIAL PERMIT**

Nature & Basis of Application: Application for special permit. Proposes to conduct certain filling and excavation work in and around wetlands and the 100-year floodplain, in accordance with Section 650-23 of the Zoning Ordinance of the City of Marlborough.

Vote: After due consideration to the subject matter of the petition, the Board, Ralph Loftin – Acting chairman, Robert Levine, Thomas Golden and Thomas Pope, vote 4-0 to GRANT a **Special Permit in accordance with City Zoning Ord. Chapter 650 §23 "Floodplain and Wetland Protection District"**

Proceedings:

The Zoning Board of Appeals, acting under the City of Marlborough Zoning Ordinance and General Laws, Chapter 40A, as amended opened the public hearing on April 14, 2020 with continuation dates as follows: May 26, 2020, June 30, 2020, July 7, 2020, August 10, 2020, August 25, 2020 and September 15, 2020. Said meetings being held at the Marlborough City Hall, 140 Main St., the public hearings were conducted by remote participation, allowing the Board, members of the public, and the Applicant to participate in the hearing through real-time audio and video conferencing, telephone access, and live internet streaming. In accordance with Section 17(d) of Chapter 53 of the Acts of 2020 and "An Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, § 20" issued by Governor Charles D. Baker on March 12, 2020.

April 14, 2020 - Opened the public hearing by conference call with no testimony taken and continued to May 26, 2020. (Note: Member Paul Giunta recused himself from this case).

May 26, 2020 – Continued the hearing to June 30, 2020.

June 30, 2020 – Present Ralph Loftin - Acting Chairman, Thomas Pope, and Robert Levine meeting remote. Thomas Golden meeting in city hall with Susan Brown-secretary. Continue to July 7, 2020. – Public portion of the hearing was closed.

July 7, 2020 – Present remote Ralph Loftin - Acting Chairman, Thomas Pope, and Robert Levine. Thomas Golden meeting in city hall with Susan Brown-secretary. Continue to August 10, 2020

August 10, 2020 – Present remote Ralph Loftin - Acting Chairman and Thomas Pope. Thomas Golden, Robert Levine and Susan Brown-secretary meeting in city hall. Continued to August 25, 2020.

August 25, 2020 – Present remote Ralph Loftin - Acting Chairman. Thomas Pope, Thomas Golden, Robert Levine and Susan Brown-secretary meeting in city hall. Continued to Sept. 15, 2020.

September 15, 2020 – Present Ralph Loftin - Acting Chairman, Thomas Pope, Thomas Golden, Robert Levine and Susan Brown-secretary meeting in city hall. Public hearing was closed.

1. **Date of Application:** March 2, 2020
2. **Name and Address of Applicant:** WP Marlborough MA Owner, LLC, 9 West Broad Street, Suite 800, Stamford, CT 06902
3. Application filed with: Zoning Board of Appeals and City Clerks' Office on March 2, 2020.
4. **Nature & Basis of Application:** The Applicant seeks a special permit and proposes to conduct certain filling and excavation work in and around wetlands and the 100-year floodplain, in accordance with Section 650-23 of the Zoning Ordinance of the City of Marlborough, as part of the construction of a multifamily residential community (the "Project").
5. **Project Site:** 339 Boston Post Road East; Map 72, Parcel 35, and Map 73, Parcels 24, 26, 26A, and 28
6. Section of the Zoning Ordinance involved: Section 650-23, "Floodplain and Wetland Protection District"
7. Notice was sent by certified mail to parties in interest, including the petitioner, abutters, owners of land directly opposite on any public or private street or way, owners of land within 400 feet of the property lines, including owners of land in another municipality, all as they appear on the most recent applicable tax lists.
8. Original documents are on file with the Zoning Board of Appeals and the City Clerks' Office.

9. The meeting was opened with the reading of the legal ad by Board Member, Thomas Golden.
10. The Project Site is located in the Business (B) Zoning District, the Residence A-2 Zoning District, and the Floodplain and Wetland Protection District.
11. The Project site has an area of 25.7 acres +/-.
12. The Project Site has frontage on Boston Post Road East.
13. The Project Site abuts a self-storage facility, a mobile home community, a residential neighborhood of single family homes, and a condo complex.
14. **Project:** The Applicant proposes to conduct certain filling and excavation work in and around wetlands and the 100-year floodplain, in accordance with Section 650-23 of the Zoning Ordinance of the City of Marlborough, as part of the construction of a multifamily residential community.
15. **Site Plan:** The Applicant submitted a plan entitled "Site Development Plans for Walcott Heritage Farms" by Allen & Major Associates, Inc., comprised of Sheets 1 through 30, with the last revision date of August 26, 2020.
16. The Applicant submitted a drainage report and stormwater analysis to demonstrate the Project's compliance with the Floodplain and Wetland Protection District Ordinance. (These are in the Board's file).
17. The Applicant submitted a memorandum in support of the Application and sketches highlighting the proposed work in and near the floodplain and wetland areas. (These are in the Board's file).
18. At the public hearing, the Applicant gave testimony in favor of the Project, represented by Attorney Brian Falk of Mirick O'Connell, David Robinson of Allen and Major Engineering, Scott Goddard of Goddard Consulting, and Thomas Moran of Waypoint Residential.
19. Several abutters attended the public hearing, asked questions, and commented in opposition to the Project. Several abutters also submitted emails and letters in opposition to the Project. (These are in the Board's file).
20. The wetland resource areas on Project Site include, Bordering Vegetated Wetland (BVW), Riverfront Area, and Land Subject to Flooding (LSF).
21. The Project Site falls within the Floodplain and Wetland Protection District (City Code 650-23) needing to file and receive approval for a Special Permit with the Zoning Board of Appeals, because a portion of the Project will be within the

floodplain as shown on the most recent FEMA maps, and the project will involve the filling of floodplain areas on the eastern and western portions of the site.

22. To compensate for the filling of floodplain areas, compensatory floodplain areas are proposed on the Project Site which will provide approximately 5,378 cubic feet of additional flood storage, a net increase from existing conditions.
23. In addition, another 8,866 cubic feet of flood storage is being added to a separate wetland replication area on the Project Site.
24. The Board received a letter dated June 30, 2020 from Conservation Agent Priscilla Ryder, on behalf of the Conservation Commission, finding that the project meets the criteria of the Floodplain District.
25. The Board received a memorandum dated June 26, 2020 from City Engineer Tom DiPersio, having reviewed the Applicant's drainage report and stormwater analysis, and finding that the Project provides adequate compensatory flood storage.
26. The Board received an email from the Planning Board dated July 8, 2020, concurring with the City Engineer's letter.
27. The Board received an email from the Board of Health dated July 7, 2020, stating that the Project is within the spirit and purpose of the Floodplain and Wetland Protection District Ordinance, and that the Board of Health did not object to the issuance of a special permit for the Project.
28. The Board received a memo dated August 9, 2020 (corrected date: September 9, 2020) from Conservation Chairman, Edward Clancy and Conservation Officer Priscilla Ryder, with the approved Order of Conditions (DEP 212-1218) issued on September 11, 2020.
29. In accordance with Section 650-23.G of the Floodplain and Wetland Protection District Ordinance, the Board finds that:
 - (a) The proposed construction and use and proposed change in grade will not derogate from the intent and purpose of the Floodplain District nor endanger the health and safety of the public nor the legitimate use of other land in the City, because the project will reduce the risk of flooding in the area based upon the net increase of flood storage areas.
 - (b) The use and change of grade will not obstruct or divert flood flow, reduce natural storage or increase stormwater runoff to the extent of raising high water levels on any other land to any significant degree, based upon the drainage calculations and stormwater analysis submitted by the Applicant and approved by the City Engineer.

- (c) The proposed system of drainage will not cause siltation, pollution or otherwise endanger public health, based upon the drainage calculations and stormwater analysis submitted by the Applicant and approved by the City Engineer.
 - (d) That the proposed construction has street or other appropriate access that shall be at least one foot above base flood elevation, as demonstrated on the Site Plan.
 - (e) The structures designed for human occupancy will have lowest floor, including basement, heating, electrical and sanitary sewer systems, at least two feet above base flood elevation, as demonstrated on the Site Plan.
- 30. The Applicant will need to meet the requirements of the Building Department and the Conservation Dept. (Order of Conditions-DEP 212-1218).
 - 31. The Board was concerned about the amount of traffic that will be generated in the area, once construction commences. The Board would like to see some safety measures put in place to ensure the least amount of traffic impact to the area and neighborhood and to maintain safety to the general public. The Board would like to see it as a condition to this Special Permit. On a motion by Thomas Golden and seconded by Thomas Pope, a vote 4-0 to add some language to the conditions concerning maintaining safety and control traffic impact to the area during construction.
 - 32. On a motion to close the public hearing was made by Robert Levine and seconded by Thomas Pope. Vote 4-0 to close the public hearing.
 - 33. A motion was made by Robert Levine, seconded by Thomas Pope to grant the special permit. The Board voted 4-0 to grant a special permit.
 - 34. A motion was made by Ralph Loftin to adjourn the public hearing, seconded by Thomas Pope to adjourn the public hearing. A vote of 4-0 was taken to adjourn.

Based on the above, the ZBA grants this Special Permit under City Zoning Ord. 650-23, subject to the following CONDITIONS:

- 1. The Applicant shall comply with the plan presented entitled "Site Development Plans for Walcott Heritage Farms" by Allen & Major Associates, Inc., comprised of Sheets 1 through 30, with the last revision date of August 26, 2020 (the "Plan"). A copy of said plan is attached hereto as **Exhibit A.**
- 2. The Applicant shall comply with the Conservation Commission's Order of Conditions (212-1218) issued on September 11, 2020.
- 3. No Building Permits can be issued until such time as the Applicant presents to the Building Commissioner evidence that this special permit decision has been filed with the Registry of Deeds or Land Court as applicable.

4. Prior to the issuance of an occupancy permit for a building, confirmation must be provided to the Building Commissioner that: The structures designed for human occupancy will have lowest floor, including basement, heating, electrical and sanitary sewer systems, at least (2) two feet above base flood elevation, as demonstrated on the Plan.
5. When work is about to start on the site, proper safety and traffic measures will be in place to ensure the least amount of impact to the area and neighborhood (i.e. traffic details, signage) during construction.
6. Any modifications to the Plan, as noted on Condition #1 above, will be reviewed by the Building Commissioner and/or the Conservation Officer to see if it warrants a return to the Zoning Board of Appeals for review.

End

The Board of Appeals also calls to the attention of the owner or Applicant that General Laws, Chapter 40A, Section 17 (last paragraph) provides that no variance or special permit, or any extension, modification or renewal thereof, shall take effect until a copy of the decision bearing the certification of the city clerk that twenty days have elapsed after the decision has been filed in the office of the city clerk and no appeal has been filed or that, if such appeal has been filed, that it has been dismissed or denied, is recorded in the Registry of Deeds for the county and district in which the land is located and indexed in the grantor index under the name of the owner of record or is recorded and noted on the owner's certificate of title. The fee for such recording or registering shall be paid by the owner or Applicant.

In accordance with General Laws, Chapter 40A, Section 9, and Section 650-59 of the Zoning Ordinance of the City of Marlborough, if the rights authorized by a special permit are not exercised within three (3) years of the date of grant of such special permit, such rights shall lapse.

Respectfully submitted,


Zoning Board of Appeals
Ralph Loftin – Acting Chairman

Submitted to the City Clerk's office on September 23, 2020.

EXHIBIT A (Plan)



**City of Marlborough
Zoning Board of Appeals**

140 Main Street
Marlborough, Massachusetts 01752
Tel. (508) 460-3768

ZBA Case # 1464-2020

Applicant: James Driscoll – WP Marlborough MA Owner, LLC

Location: 339 Boston Post Rd. East

**VOTE OF THE BOARD
Signature Sheet**

IN FAVOR

Paul Giunta

Ralph Loftin

Thomas Golden

Thomas Pope

Robert Levine

IN OPPOSITION

Paul Giunta

Ralph Loftin

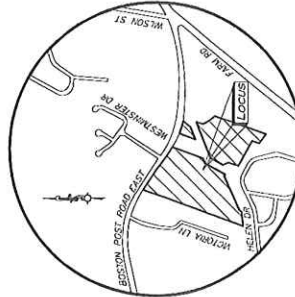
Thomas Golden

Thomas Pope

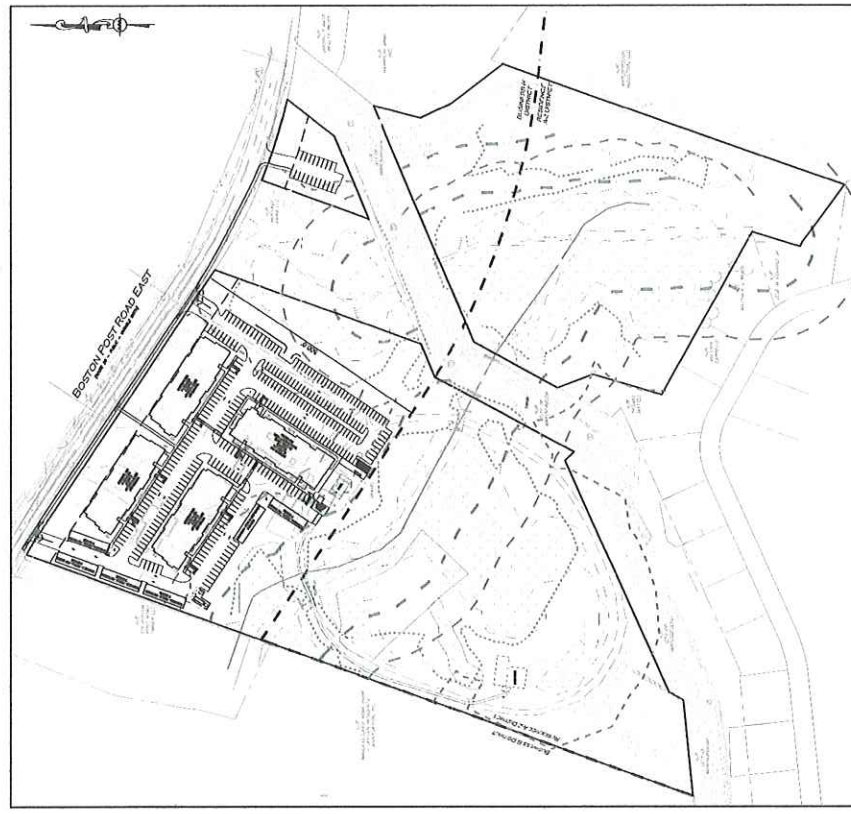
Robert Levine

ZBA 1464-2020 Exhibit A

SITE DEVELOPMENT PLANS FOR WALCOTT HERITAGE FARMS 339 BOSTON POST ROAD EAST MARLBOROUGH, MA



LOCUS MAP
NOT TO SCALE



GRAPHIC SCALE
1" = 100'

APPLICANT:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902
203.210.2700

**LAND SURVEYOR, SITE ENGINEER
LANDSCAPE ARCHITECT:**
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBBURN, MA 01801
781.935.6889

ARCHITECT:
PHILLIPS ARCHITECTURE
5901 PEACHTREE DUNWOODY ROAD, SUITE A450
ATLANTA, GA 30328
770.394.1616

**MECHANICAL, ELECTRICAL AND PLUMBING
CONSULTANT:**
ENGR3 CONSULTING ENGINEERS
100 NORTH POINT CENTER EAST, SUITE 200
ALPHARETTA, GA 30022

ENVIRONMENTAL CONSULTANT:
GODDARD CONSULTING, LLC
291 MAIN STREET SUITE #8
NORTHBOROUGH, MA 01532
508.393.3784



**ALLEN & MAJOR
ASSOCIATES, INC.**
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environmental consulting • landscape architecture
www.allenmajor.com
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TEL: (781) 942-6889
FAX: (781) 942-2866
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LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
CIVIL DRAWINGS			
EXISTING CONDITIONS PLAN	Y-101	01-16-2020	07-08-2020
ABBREVIATIONS AND NOTES	C-001	12-20-2019	08-07-2020
LOCUS PLAN	C-100	12-20-2019	08-07-2020
EROSION CONTROL PLAN	C-102A	12-20-2019	08-26-2020
EROSION CONTROL PLAN	C-102B	12-20-2019	08-26-2020
SITE PREPARATION & DEMOLITION PLAN	C-103A	12-20-2019	08-07-2020
SITE PREPARATION & DEMOLITION PLAN	C-103B	12-20-2019	08-07-2020
LAYOUT & MATERIALS PLAN	C-104A	12-20-2019	08-26-2020
LANDSCAPE COVERAGE PLAN	C-104B	02-06-2020	08-07-2020
LOT COVERAGE PLAN	C-104C	08-07-2020	
GRADING PLAN	C-105A	12-20-2019	08-26-2020
GRADING PLAN	C-105B	12-20-2019	08-26-2020
DRAINAGE PLAN	C-106A	12-20-2019	08-26-2020
DRAINAGE PLAN	C-106B	12-20-2019	08-26-2020
UTILITIES PLAN	C-107	12-20-2019	08-12-2020
FREE TRUCK TURNING PLAN	C-108	12-20-2019	08-07-2020
SNOW STORAGE PLAN	C-109	08-07-2020	08-26-2020
CIVIL DETAILS	C-501	12-20-2019	08-07-2020
CIVIL DETAILS	C-502	12-20-2019	08-07-2020
CIVIL DETAILS	C-503	12-20-2019	08-07-2020
CIVIL DETAILS	C-504	12-20-2019	08-07-2020
CIVIL DETAILS	C-505	12-20-2019	08-12-2020
LANDSCAPE & HARDSCAPE DRAWINGS			
LANDSCAPE PLAN	L-101	12-20-2019	08-07-2020
LANDSCAPE PLAN	L-102	12-20-2019	08-07-2020
HARDSCAPE PLAN	L-103	12-20-2019	08-07-2020
HARDSCAPE & FURNISHINGS PLAN OF CONCEPTUAL LOCATION PLAN OF REPLICATION AREAS	L-104	12-20-2019	08-07-2020
LANDSCAPE DETAILS	L-201	02-20-2020	08-07-2020
LANDSCAPE DETAILS	L-501	12-20-2019	08-07-2020
LANDSCAPE DETAILS	L-502	12-20-2019	08-07-2020
HARDSCAPE DETAILS	L-503	12-20-2019	08-07-2020

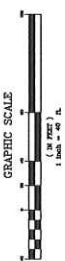
CITY OF MARLBOROUGH, MA
SITE PLAN REVIEW COMMITTEE APPROVAL
DATE: 08/26/2020



ISSUED FOR LOCAL APPROVAL: DECEMBER 20, 2019
RESUBMISSION FOR LOCAL APPROVAL: JANUARY 31, 2020
VARIOUS REVISIONS: FEBRUARY 3, 2020
VARIOUS REVISIONS: FEBRUARY 20, 2020
REVISED PER CITY COMMENTS: MAY 18, 2020
REVISED PER CITY COMMENTS: JULY 8, 2020
ISSUED TO CONSERVATION: AUGUST 12, 2020

REVISED PER CONSERVATION: AUGUST 26, 2020

ALLEN & MAJOR ASSOCIATES, INC. (ALMA) 100-2019-01, 004-2019



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1-888-344-7233**

MATCHLINE - SEE SHEET C-102A

WATKINS

MATCHLINE - SEE SHEET C-102A

MATCHLINE - SEE

LEGEND

SILT FENCE	— 5' —
TUBULAR BARRIER	— 4' —
EROSION CONTROL FABRIC	— 2' —
CATCH BASIN FILTER	— 1' —
STONE CHECK DAM	— 1' —
STABILIZED ENTRANCE	— 1' —
TURBIDITY CURTAIN	— 1' —
STOCKPILE/STAGING AREA	— 1' —

- [illegible]

12. CONSTRUCTION PHAGING NOTES:

- INSTALL SLT FENCE AT PERIMETER OF SITE
- AS SHOWN, PRIOR TO ANY WORK OR LAND
- CLEANING ACTIVITIES.
- INSTALL CONSTRUCTION ENTRANCE
- CLEAR SITE
- DETERM LOCATIONS OF TEMPORARY BASIN
- DEEMATE TEMPORARY BASIN AREA.
- TEMPORARY BASIN SHALL BE INSTALLED PRIOR
- CONTRACTOR MEANS AND METHODS.
- COLLECT REMAINDER OF TEMP. BASIN
- CUT AND REMOVE TREES REMAINING ON SITE

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1-800-344-7233

GRAPHIC SCALE



REV	DATE	DESCRIPTION
8	06-18-10	REVISED PER CITY COMMENTS
7	06-18-10	REVISED PER CITY COMMENTS
6	07-18-10	REVISED PER CITY COMMENTS
5	05-18-10	REVISED PER CITY COMMENTS
4	03-26-10	VARIOUS REVISIONS
3	02-05-10	VARIOUS REVISIONS
2	01-13-10	RESUBMITTED FOR LOCAL APPROVAL
1	11-20-09	ISSUED FOR LOCAL APPROVAL

APP/CM/DATE:

WP MABLEBROUGH MA, OUTLE, LLC
 9 WEST BROAD STREET, SUITE 800
 STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO.	2159-01	DATE	12-30-2019
SCALE	1" = 40'	DWG. NAME	C-2159-01
DESIGNED BY:	JL/JMR	CHECKED BY:	CMG



**ALLEN & MAJOR
ASSOCIATES, INC.**
civil & structural engineering • land surveying
environmental consulting • landscape architecture

100 COMMERCE WAY, SUITE 2
WOBURN MA 01801
TEL: (781) 934-0888
FAX: (781) 934-2986

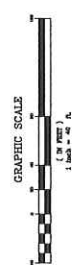
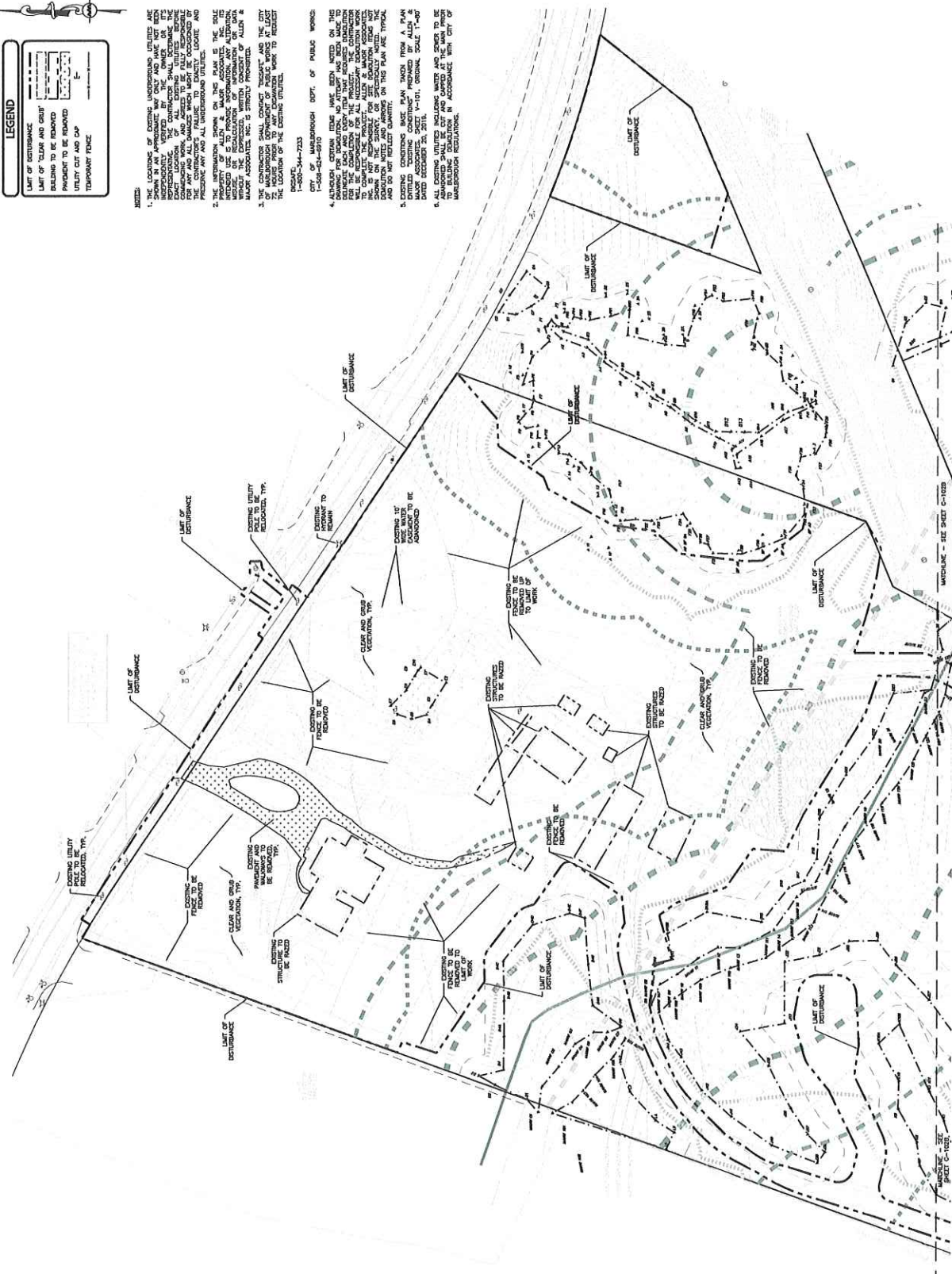
THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENTS' REPRESENTATIVES OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HEAVIER INFORMATION AND USE FOR SPECIFIC PURPOSES. INFORMATION MAY BE ACCESSED IMMEDIATELY FOR CONSTRUCTION. DRAWINGS AND SPECIFICATIONS WILL BE PROVIDED ON COMPACT DISC, ALLEN & MACE ASSOCIATES, INC. MAY REMOVE ALL NOTATION OF THE DOCUMENTS AUTHORED BY THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY BINDING COPY OF

ALLEN & MAIZE ASSOCIATES, INC.'S WORK PRODUCT	SHEET NO.
DRAWING TITLE:	C-102B
EROSION CONTROL PLAN	

LEGEND

--- LIMIT OF DISTURBANCE
 --- LIMIT OF "CLEAR AND GRUB"
 --- BUILDING TO BE REMOVED
 --- UTILITY CUT AND CAP
 --- TEMPORARY FENCE

- NOTES:**
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN VERIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
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NO.	DATE	DESCRIPTION
1	10/01/2010	ISSUED FOR LOCAL APPROVAL
2	10/01/2010	ISSUED FOR LOCAL APPROVAL
3	10/01/2010	ISSUED FOR LOCAL APPROVAL
4	10/01/2010	ISSUED FOR LOCAL APPROVAL
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8	10/01/2010	ISSUED FOR LOCAL APPROVAL
9	10/01/2010	ISSUED FOR LOCAL APPROVAL
10	10/01/2010	ISSUED FOR LOCAL APPROVAL

PROJECT:
 MULTIFAMILY DEVELOPMENT
 339 BOSTON POST ROAD EAST
 MALDEN, MA 02148

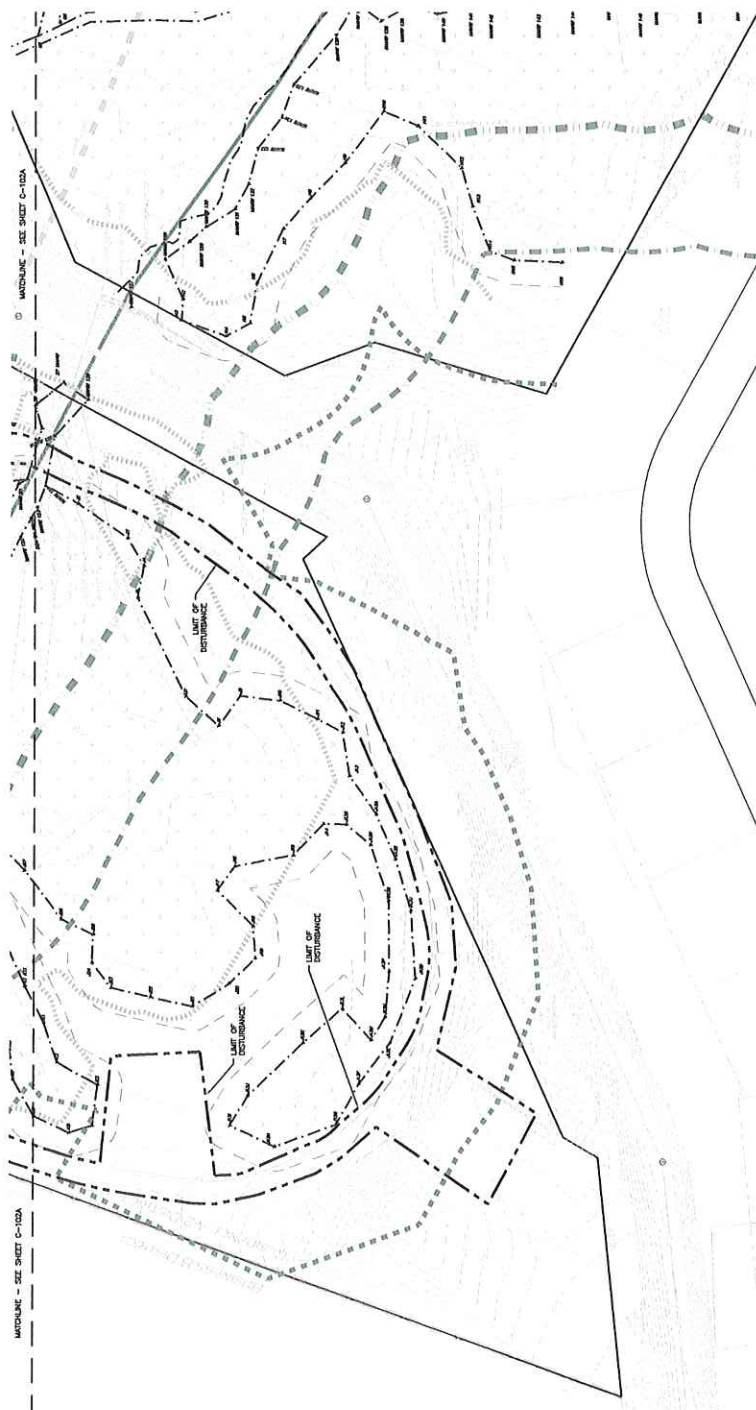
ALLEN & MAJOR ASSOCIATES, INC.

10002-344-7233

10002-344-7233

PROJECT NO.	DATE	DESCRIPTION
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10002-344-7233	10/01/2010	ISSUED FOR LOCAL APPROVAL
10002-344-7233	10/01/2010	ISSUED FOR LOCAL APPROVAL
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10002-344-7233	10/01/2010	ISSUED FOR LOCAL APPROVAL

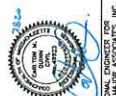
SHEET NO.
 C-103A



LEGEND	
---	LIMIT OF DISTURBANCE
---	LIMIT OF "CLEAR AND GRAB"
---	PAVEMENT TO BE REMOVED
---	UTILITY CUT AND CAP
---	TEMPORARY FENCE

- NOTES:
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE EXACT LOCATION OF ALL UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
 2. THE INFORMATION SHOWN ON THIS PLAN IS THE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 3. THE CITY OF MARLBOROUGH HAS REVIEWED AND APPROVED THIS PLAN FOR CONFORMANCE WITH THE CITY OF MARLBOROUGH DEPT. OF PUBLIC WORKS. 1-308-424-4910.
 4. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR INFORMATION, NO ATTEMPT HAS BEEN MADE TO VERIFY THE EXISTENCE OF ANY UTILITIES OR EASEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
 5. EXISTING CONCERNING BASE PLAN TAKEN FROM A PLAN DATED 10/20/2009. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
 6. ALL EXISTING UTILITIES INCLUDING WATERS AND SEWER TO BE REMOVED SHALL BE CUT AND REMOVED IN ACCORDANCE WITH CITY OF MARLBOROUGH REGULATIONS.

CITY OF MARLBOROUGH DEPT. OF PUBLIC WORKS
1-308-424-4910



PROFESSIONAL ENGINEER FOR	
6	BRANDS
5	REVISED PER CITY COMMENTS
4	REVISED PER CITY COMMENTS
3	REVISED PER CITY COMMENTS
2	REVISED PER CITY COMMENTS
1	ISSUED FOR LOCAL APPROVAL
0	ISSUED FOR LOCAL APPROVAL

WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

MULTI-FAMILY DEVELOPMENT
839 POST ROAD EAST
MARLBOROUGH, MA

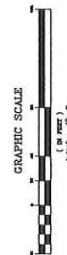
PROJECT NO.	2439-01
DATE	11-20-2019
SCALE	1"=40'
FILE NAME	C-1038-01
DESIGNED BY	SE/AM
CHECKED BY	AM

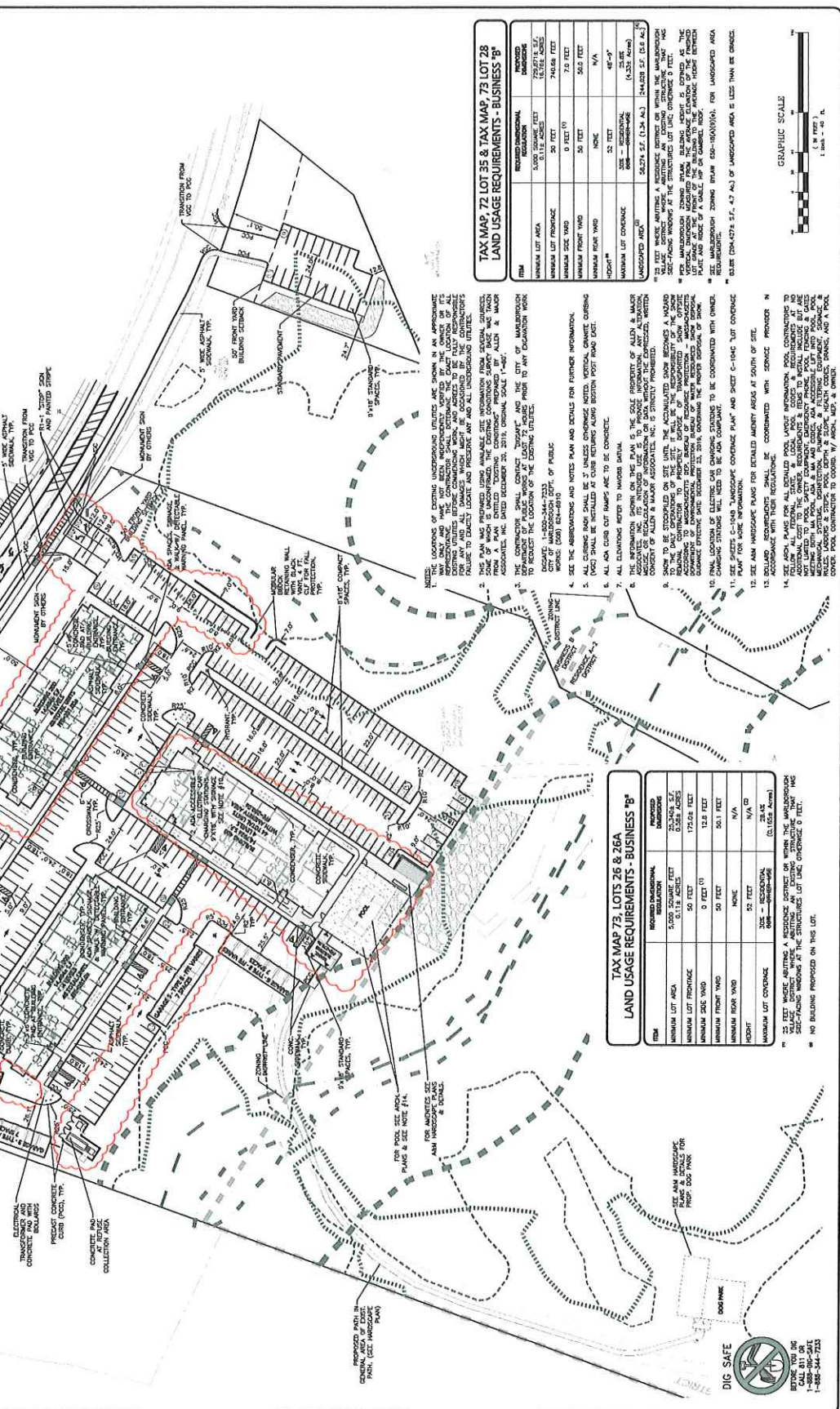
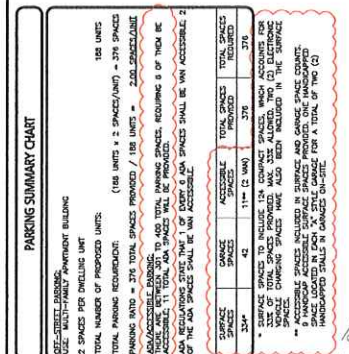


ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCIAL AVENUE, SUITE 200
MARLBOROUGH, MA 01501
TEL: (508) 344-7233
FAX: (508) 344-7233

THIS DRAWING HAS BEEN PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

SHEET NO.	C-1038
SITE PREPARATION & DEMOLITION PLAN	





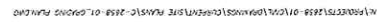
Site plan of the proposed development at 1000 West 1st Avenue. The plan shows a large building footprint with a parking lot to its west. A red line indicates the proposed building footprint. The plan also shows the existing building footprint and the proposed building footprint. The plan includes labels for 'EXISTING BUILDING', 'PROPOSED BUILDING', 'PARKING LOT', 'BROADWAY', '1ST AVENUE', and '1000 WEST 1ST AVENUE'. The plan also shows the 'ZONING MAP' and the 'CONC. GRADING PLAN'.

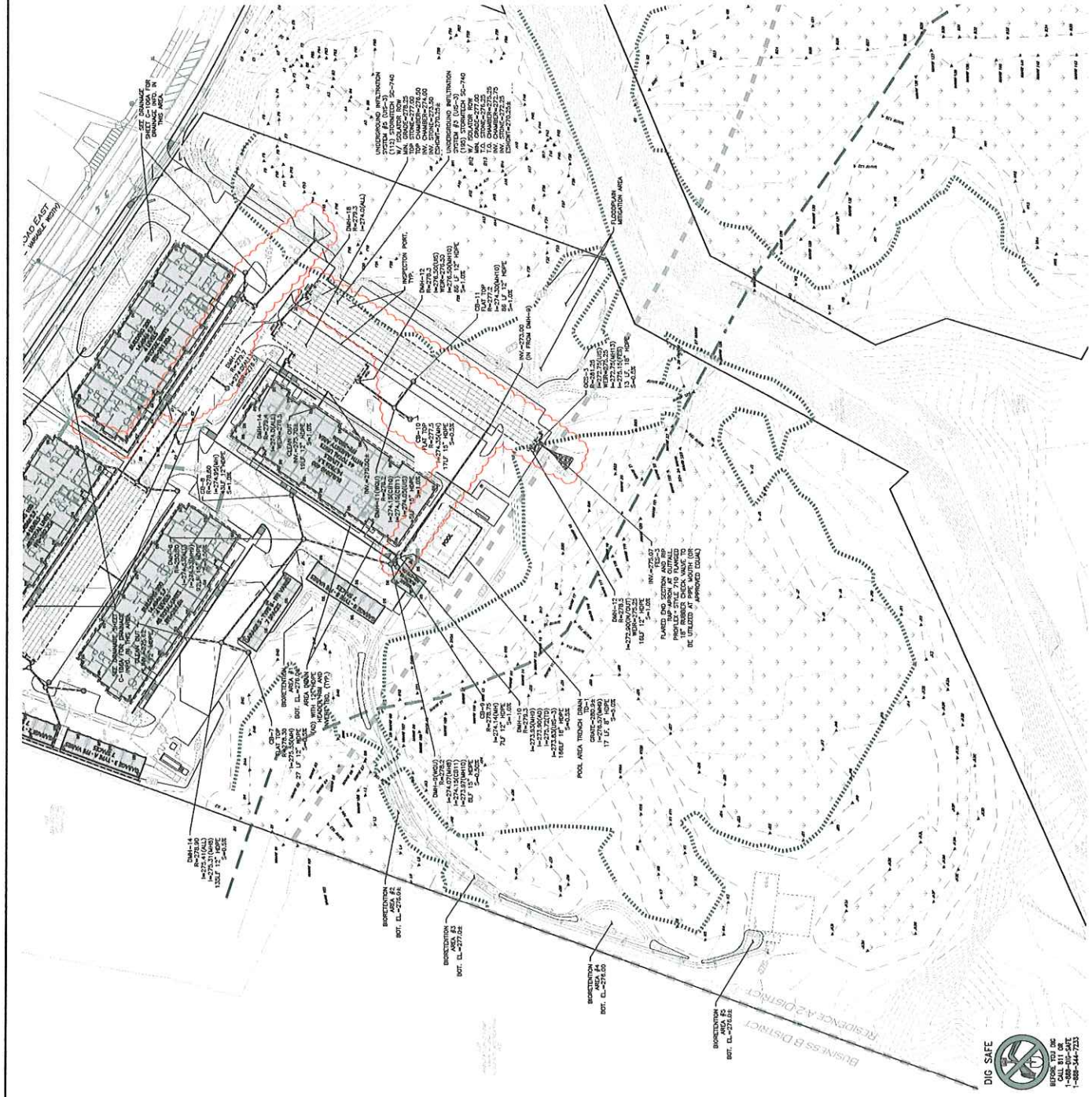
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GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

DRAWING TITLE	SHEET NO.
LOT COVERAGE PLAN	C-104C





LEGEND

○	DRAIN MANHOLE
○	CATCH BASIN
○	OUTLET CONTROL
○	DOWNSPOUT
○	WATER TREATMENT UNIT
○	ASPH. DRAIN
○	FLARED END SECTION
○	SPRINK. OUTFALL
○	HEADWALL
○	5" CONDUIT
○	1" CONDUIT
○	EXTENSION SYSTEM

- NOTES**
1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR SHALL COMPLY WITH ALL CITY ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL COMPLY WITH ALL CITY ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL COMPLY WITH ALL CITY ORDINANCES AND REGULATIONS.
 3. THE CONTRACTOR SHALL COMPLY WITH ALL CITY ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL COMPLY WITH ALL CITY ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL COMPLY WITH ALL CITY ORDINANCES AND REGULATIONS.
 4. SEE THE ATTACHED AND NOTES PLANS FOR FURTHER INFORMATION. SEE THE ATTACHED AND NOTES PLANS FOR FURTHER INFORMATION. SEE THE ATTACHED AND NOTES PLANS FOR FURTHER INFORMATION.
 5. ALL ELEVATIONS REFER TO MAJOR DATUM. ALL ELEVATIONS REFER TO MAJOR DATUM. ALL ELEVATIONS REFER TO MAJOR DATUM.
 6. EXISTING CONCRETE BASE PLANS FROM THE CITY OF STAMFORD, CT. EXISTING CONCRETE BASE PLANS FROM THE CITY OF STAMFORD, CT. EXISTING CONCRETE BASE PLANS FROM THE CITY OF STAMFORD, CT.
 7. SEE CHANGES SHEET C-106A FOR ADDITIONAL CHANGES. SEE CHANGES SHEET C-106A FOR ADDITIONAL CHANGES. SEE CHANGES SHEET C-106A FOR ADDITIONAL CHANGES.
 8. SEE CHANGES SHEET C-106B FOR ADDITIONAL CHANGES. SEE CHANGES SHEET C-106B FOR ADDITIONAL CHANGES. SEE CHANGES SHEET C-106B FOR ADDITIONAL CHANGES.
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ALLEN & MAJOR ASSOCIATES, INC.
1000 WEST 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: (303) 733-2000
FAX: (303) 733-2000

PROJECT:
MULTIFAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

CLIENT:
WP MARLBOROUGH MA OWNER, LLC
339 BOSTON POST ROAD EAST
STAMFORD, CT 06902

DESIGNED BY: SA/PM/1
CHECKED BY: CMO
DATE: 12/01/2011
SCALE: 1"=40'

PROJECT NO.: 1000079
DRAWING NO.: C-106B
SHEET NO.: 1 OF 1

ALLEN & MAJOR ASSOCIATES, INC.
1000 WEST 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: (303) 733-2000
FAX: (303) 733-2000

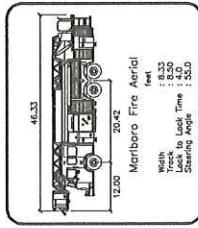
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MULTIFAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

CLIENT:
WP MARLBOROUGH MA OWNER, LLC
339 BOSTON POST ROAD EAST
STAMFORD, CT 06902

DESIGNED BY: SA/PM/1
CHECKED BY: CMO
DATE: 12/01/2011
SCALE: 1"=40'

PROJECT NO.: 1000079
DRAWING NO.: C-106B
SHEET NO.: 1 OF 1





- NOTES:
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON AN ATTACHED SHEET. THE LOCATION OF ANY NEW UTILITIES HAS BEEN ASSUMED, BASED ON THE LOCATION OF EXISTING UTILITIES. THE EXACT LOCATION OF ANY NEW UTILITIES WILL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. ANY DAMAGE TO UTILITIES OCCURRED BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 2. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IT IS THE POLICY OF ALLEN & MAJOR ASSOCIATES, INC. TO PROTECT ITS PROPRIETARY INFORMATION.

BOSTON POST ROAD EAST
Route 20 - Phase - MARLBOROUGH

SEEN FIRE TRUCK
LOCATION #1



DIG SAFE
BEFORE YOU DIG
CALL 811 OR
1-888-484-7233



PROJECT NO. 12520		DATE: 12/20/2019
SCALE: 1" = 40'		DRAWN BY: CMB
CHECKED BY: CMB		DATE: 12/20/2019
PROJECT NAME: MARLBOROUGH MA OWNER, LLC 339 BOSTON POST ROAD EAST MARLBOROUGH, MA 01501		
PROJECT: MULTIFAMILY DEVELOPMENT		
DRAWING TITLE: FIRE TRUCK TURNING PLAN		
SHEET NO. C-108		

ALLEN & MAJOR ASSOCIATES, INC.
100 WASHINGTON STREET
SUITE 200
WILMINGTON, MA 01890
TEL: (508) 653-1111
FAX: (508) 653-1112

ALLEN & MAJOR ASSOCIATES, INC. IS AN EQUAL OPPORTUNITY EMPLOYER. MINORITIES AND WOMEN ARE ENCOURAGED TO APPLY. THE FIRM IS AN EQUAL OPPORTUNITY EMPLOYER. THE FIRM IS AN EQUAL OPPORTUNITY EMPLOYER. THE FIRM IS AN EQUAL OPPORTUNITY EMPLOYER.

1 TEMPORARY CONSTRUCTION ENTRANCE/TRACKINGS AND SIDEWALK

2 TUBULAR ELEMENT BARRIER DETAIL

3 DETAIL

4 DETAIL

5 TYPICAL ACCESSIBLE MARKING STALLS

6 ACCESSIBLE PARKING STALL MARKING

7 STOOL DETAIL

8 STOOL DETAIL

9 TYPICAL STRAY BALL FILTER DETAIL

10 TYPICAL STRAY BALL FILTER DETAIL

11 TYPICAL STRAY BALL FILTER DETAIL

12 TYPICAL STRAY BALL FILTER DETAIL

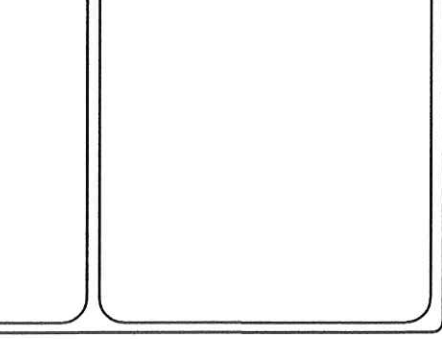
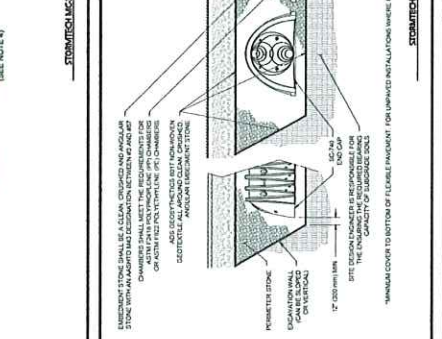
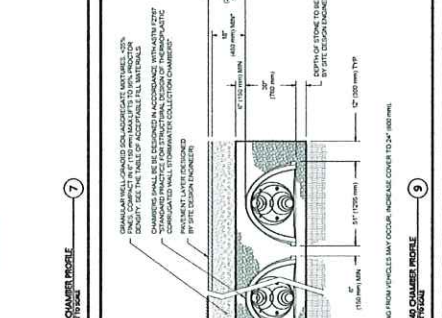
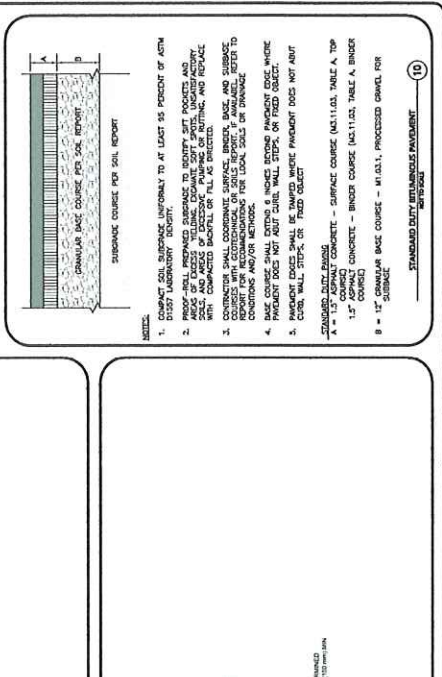
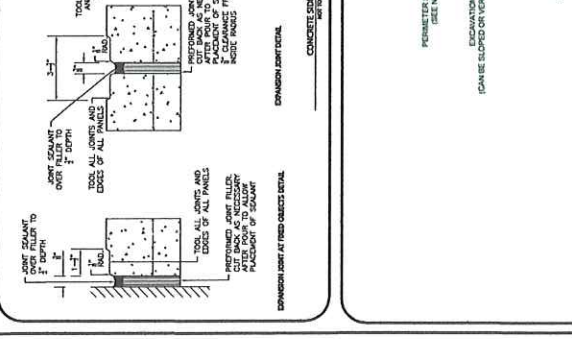
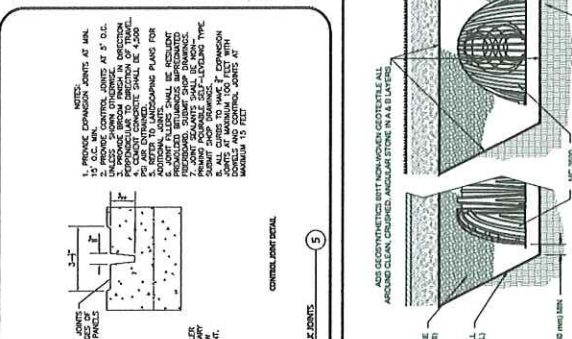
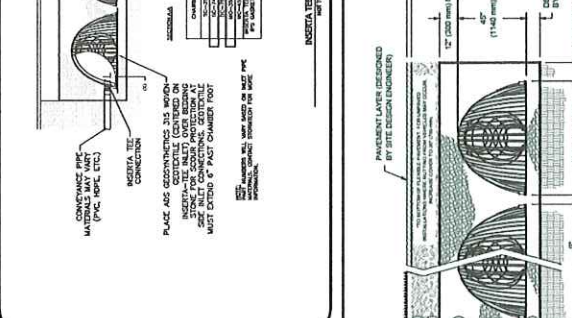
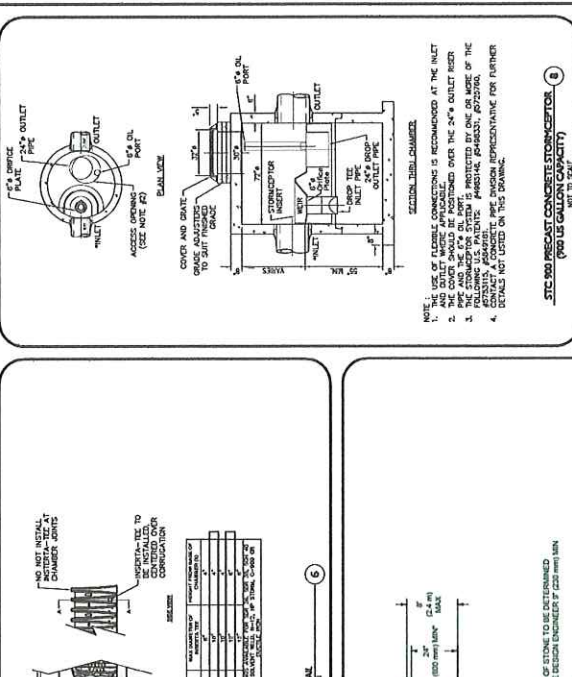
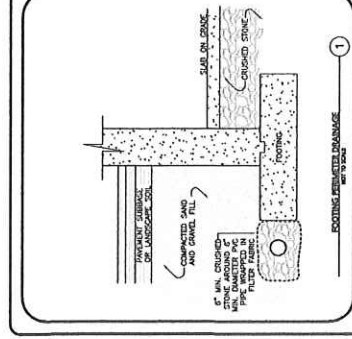
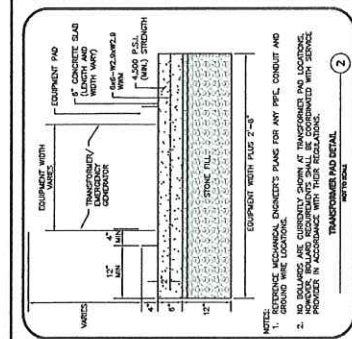
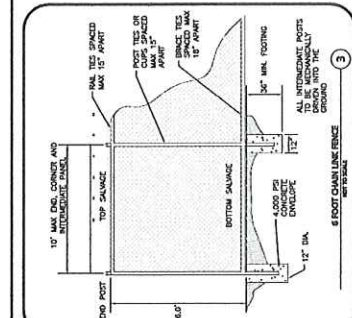
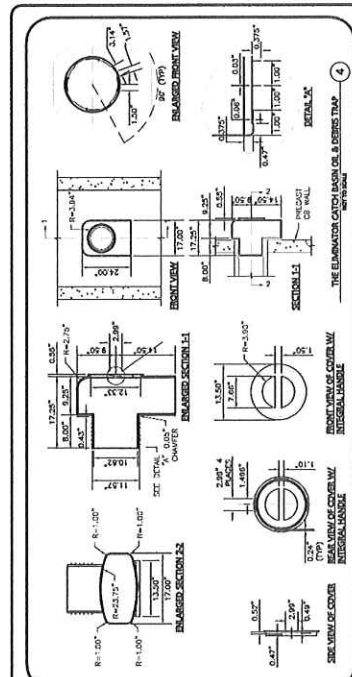
13 DETAIL

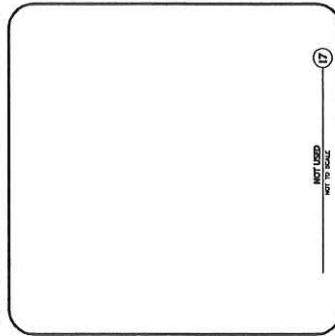
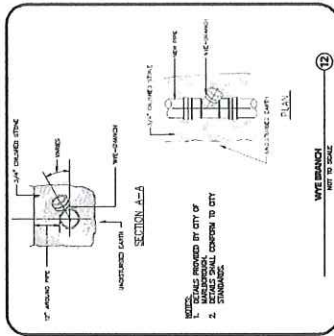
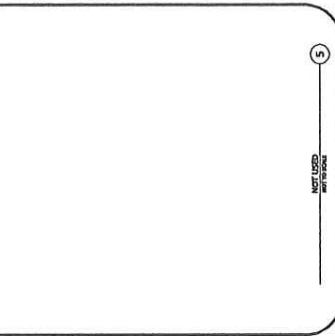
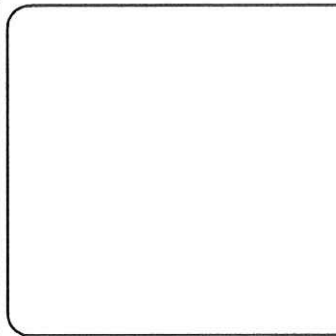
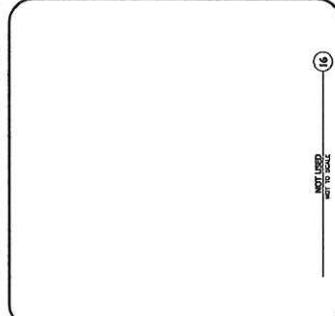
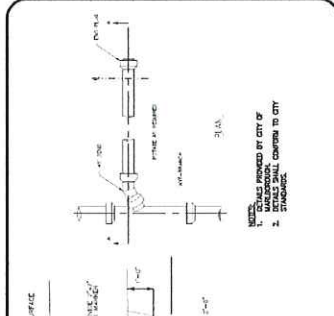
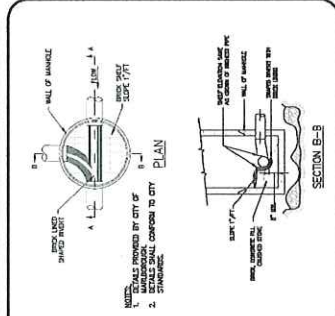
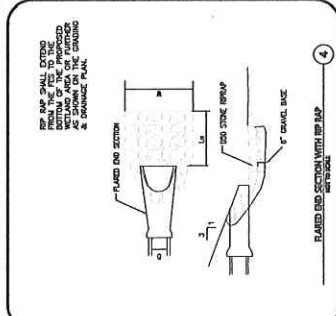
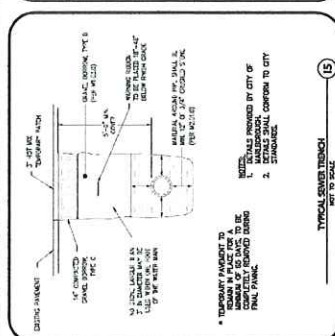
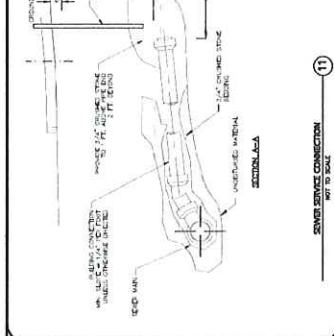
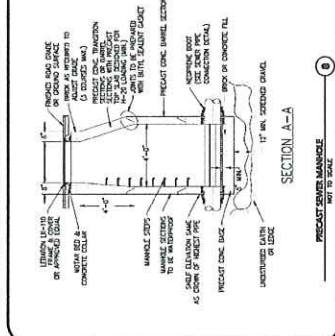
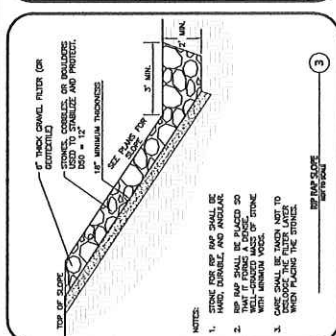
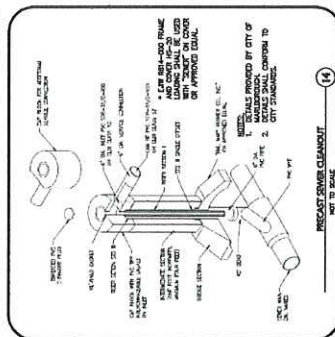
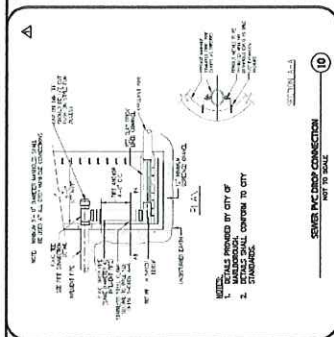
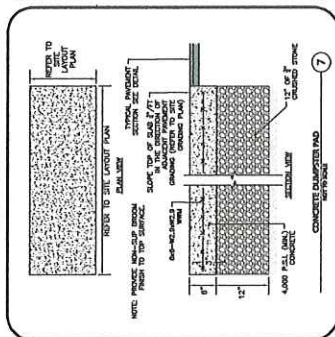
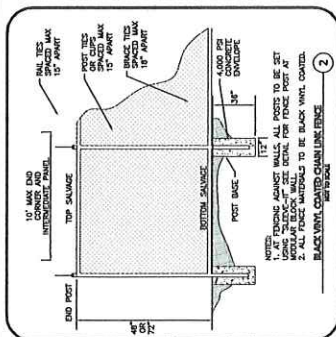
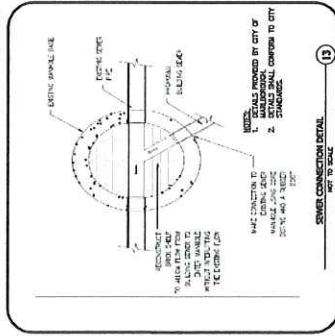
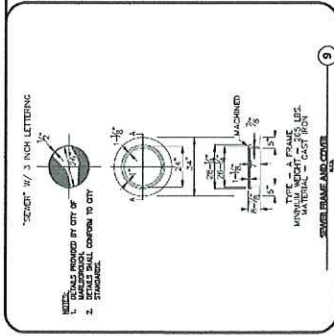
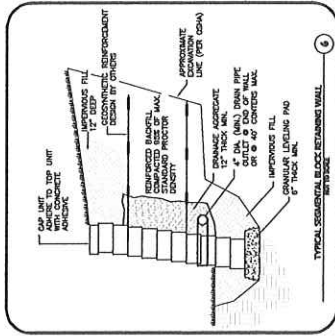
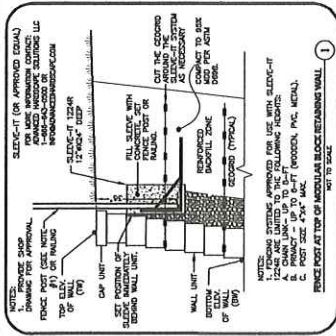
14 DETAIL

15 DETAIL

16 DETAIL

17 DETAIL





PROFESSIONAL ENGINEER FOR ALLEN & MANN ASSOCIATES, INC.	
1	07/03/2010 REVIEW PER CITY COMMENTS
2	08/16/2010 REVIEW PER CITY COMMENTS
3	09/03/2010 VARIOUS REVISIONS
4	03/23/2011 VARIOUS REVISIONS
5	03/23/2011 VARIOUS REVISIONS
6	03/23/2011 REDESIGNED FOR LOCAL APPROVAL
7	01/24/2012 ISSUED FOR LOCAL APPROVAL
REV	DATE DESCRIPTION
APPLICANT/OWNER:	
W/P MARLBOROUGH MA OWNER, LLC 9 WEST BROAD STREET, SUITE 800 STAMFORD, CT 06902	

PROJECT:
MULTIFAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO.	265-01	DATE:	12-30-2019
SCALE:	AS SHOWN	DWG. NAME:	C3550-01
DRAWN BY:	SL/DAH	CHECKED BY:	CMQ



**ALLEN & MAJOR
ASSOCIATES, INC.**
civil & structural engineering • land surveying
environmental consulting • landscape architecture

100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 931-6000
FAX: (781) 931-2796

[illegible]

DRAWING TITLE:	CIVIL DETAILS	C-504	SHEET No.
			ALLEN & MASON ASSOCIATES, INC.'S WORK PRODUCT.

1 HYDRANT SETTING WITH VALVE

NOT TO SCALE

2 WATER MAIN CROSSING WITH SEWER OR DRAIN

NOT TO SCALE

3 WATER TRENCH PAVING TYPICAL SECTION

NOT TO SCALE

4 WATER TRENCH PAVING

NOT TO SCALE

5 POST INDICATOR VALVE (PIV)

NOT TO SCALE

6 HYDRANT SETTING WITH VALVE

NOT TO SCALE

7 TEMPORARY TRENCH PAVING TYPICAL SECTION

NOT TO SCALE

8 TYPICAL FINAL TRENCH PAVING

NOT TO SCALE

9 TYPICAL BLOWABLE FILL TRENCH

NOT TO SCALE

10 TYPICAL DECAUTION TRENCH

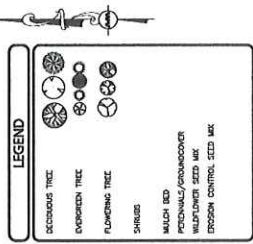
NOT TO SCALE

11 TYPICAL WATER TRENCH

NOT TO SCALE

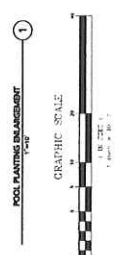
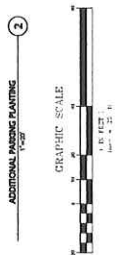
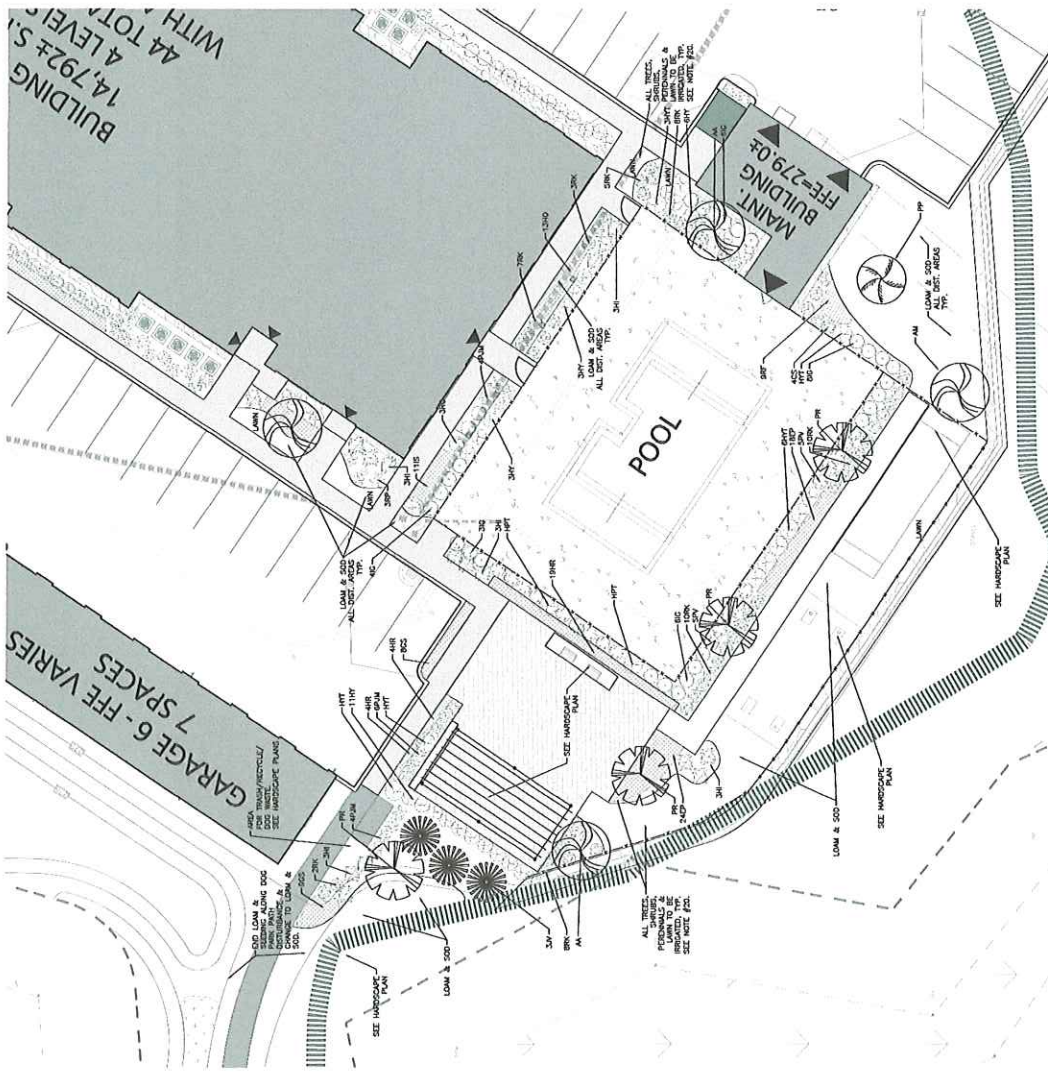
12 TYPICAL DRAINAGE INSPECTION POST

NOT TO SCALE



NOTES:

1. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ALLEN & MAJOR ASSOCIATES, INC. IT IS STRICTLY PROHIBITED.
2. THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM THE MAJOR DEVELOPMENT. THE MAJOR DEVELOPMENT IS THE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ALLEN & MAJOR ASSOCIATES, INC. IT IS STRICTLY PROHIBITED.
3. ALL UNDESIGNED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO BE MAINTAINED OR REPLACED. THE MAJOR DEVELOPMENT IS THE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ALLEN & MAJOR ASSOCIATES, INC. IT IS STRICTLY PROHIBITED.
4. SEE SHEET L-101 & L-102 FOR ADDITIONAL LANDSCAPE INFORMATION.



REGISTERED LANDSCAPE ARCHITECT	
1	ALLEN & MAJOR ASSOCIATES, INC.
2	ALLEN & MAJOR ASSOCIATES, INC.
3	ALLEN & MAJOR ASSOCIATES, INC.
4	ALLEN & MAJOR ASSOCIATES, INC.
5	ALLEN & MAJOR ASSOCIATES, INC.
6	ALLEN & MAJOR ASSOCIATES, INC.
7	ALLEN & MAJOR ASSOCIATES, INC.
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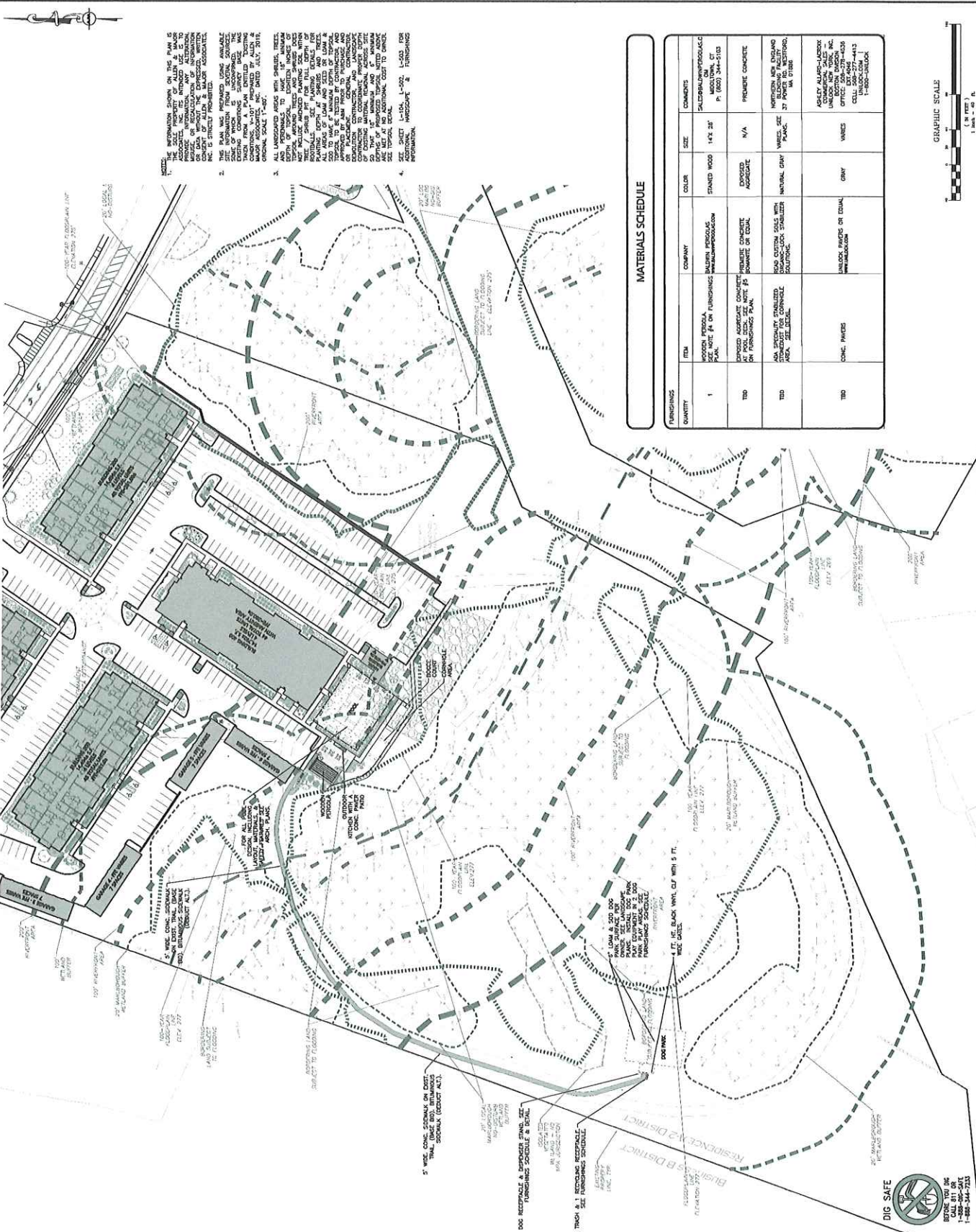
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VP MARLBOROUGH MA OWNER, LLC
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01501
STAMFORD, CT 06902

PROJECT NO. 200801 DATE 12/20/2010
SCALE 1"=40' DATE 12/20/2010
DESIGNED BY ALJ/MLJ CHECKED BY DAD

ALLEN & MAJOR ASSOCIATES, INC.
1000 WASHINGTON STREET
STAMFORD, CT 06902
TEL: (203) 344-5103
FAX: (203) 344-5103
WWW.ALLENMAJOR.COM

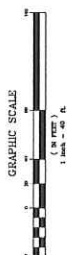
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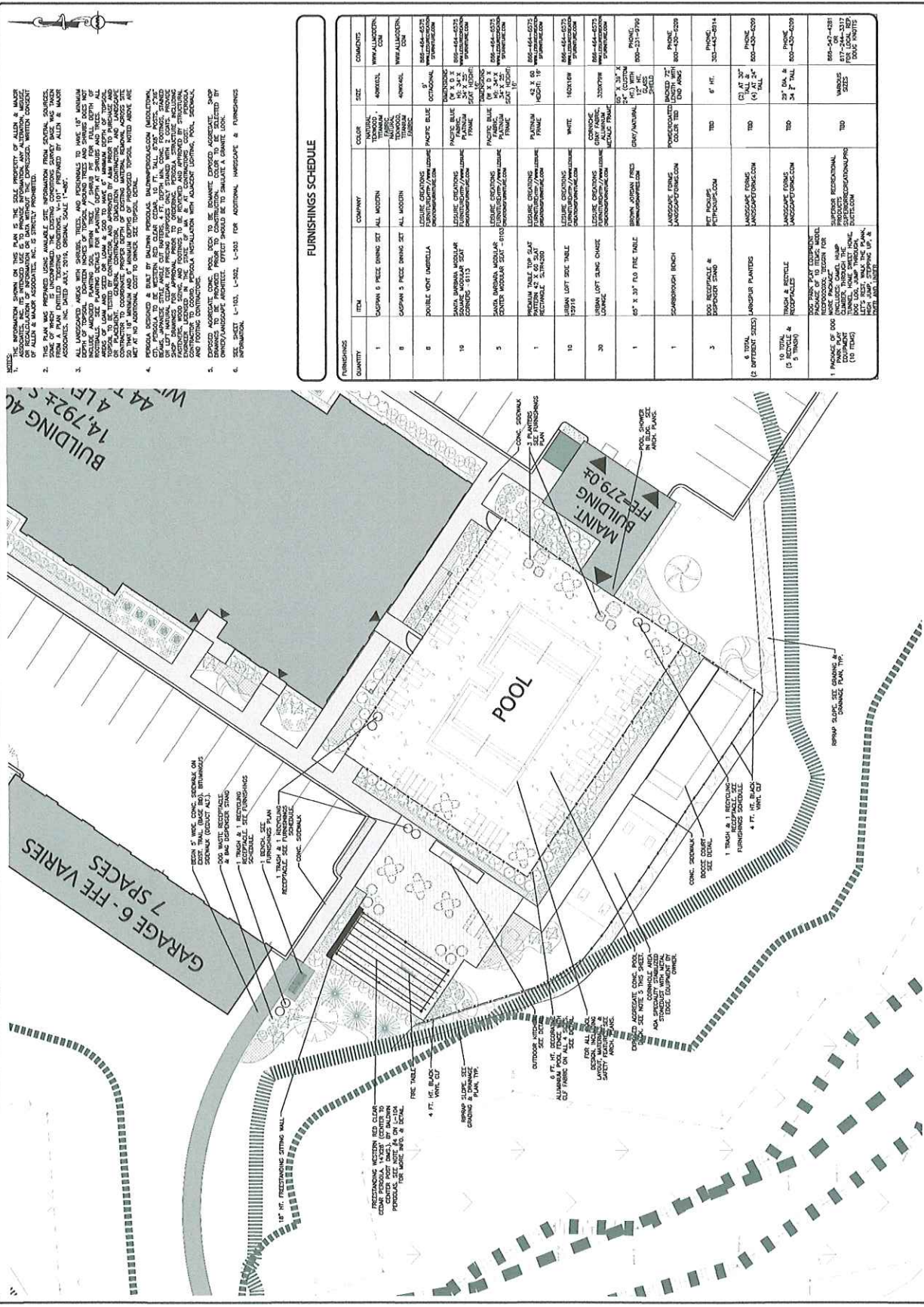
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4. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

MATERIALS SCHEDULE

QUANTITY	ITEM	COMPANY	COLOR	SIZE	COMMENTS
1	WOODEN PERGOLA 10' X 10' X 8' H 10' X 10' X 8' H 10' X 10' X 8' H	WILSON PERGOLA 10' X 10' X 8' H 10' X 10' X 8' H 10' X 10' X 8' H	STAINED WOOD	10' X 10' X 8' H	PERGOLA FOR DECK
100	SPONGE AGGREGATE CONCRETE 10' X 10' X 8' H 10' X 10' X 8' H 10' X 10' X 8' H	PERGOLA CONCRETE 10' X 10' X 8' H 10' X 10' X 8' H 10' X 10' X 8' H	SPONGE AGGREGATE	10' X 10' X 8' H	PERGOLA CONCRETE
100	ROAD CEMENT SOILS WITH 10' X 10' X 8' H 10' X 10' X 8' H 10' X 10' X 8' H	ROAD CEMENT SOILS WITH 10' X 10' X 8' H 10' X 10' X 8' H 10' X 10' X 8' H	NATURAL GRAY	10' X 10' X 8' H	ROAD CEMENT SOILS WITH
100	CONC. PAVES	WILSON PAVES OR EQUAL	GRAY	10' X 10' X 8' H	CONC. PAVES



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BEFORE YOU DIG
CALL 811
1-800-487-4848
1-800-344-7233

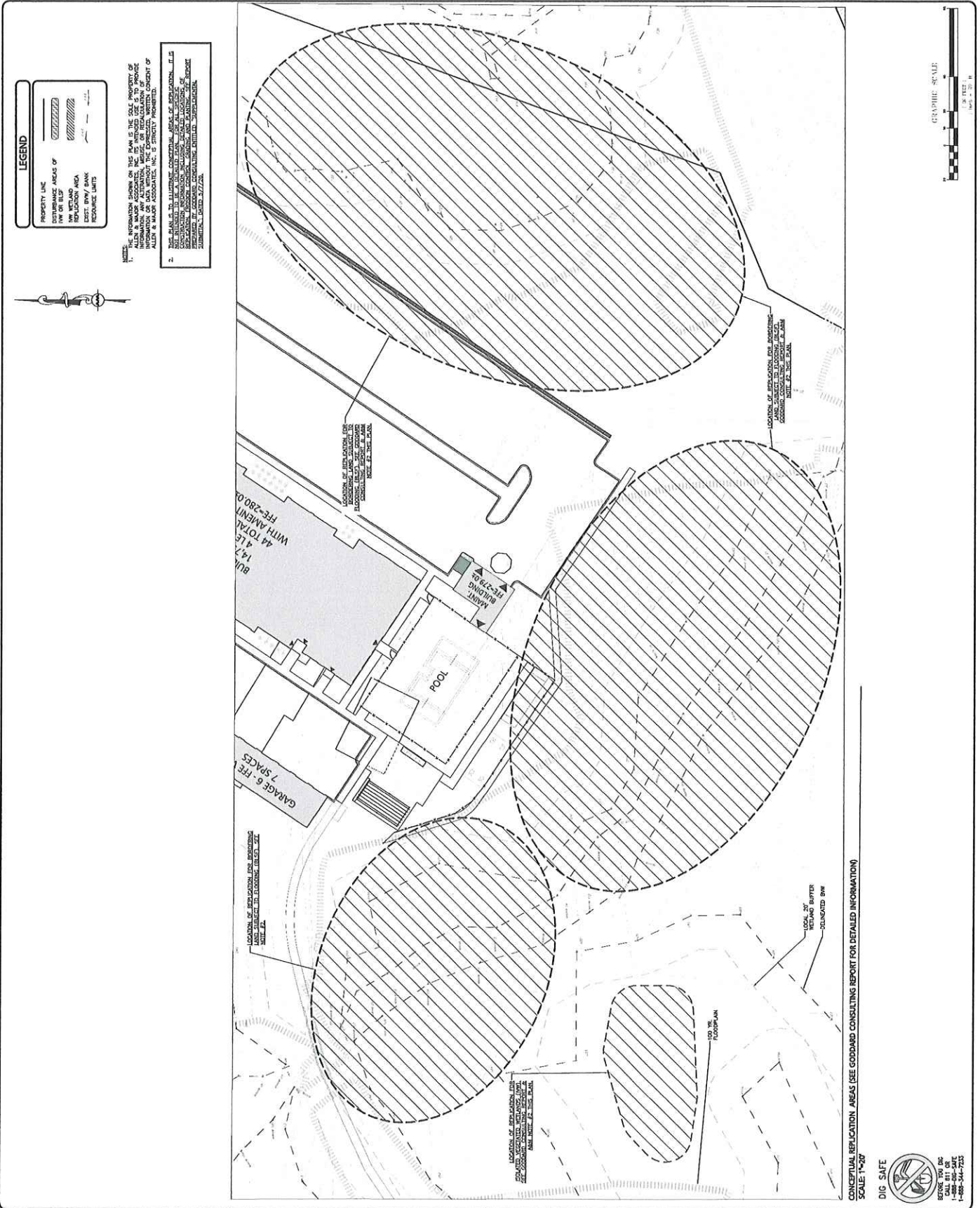
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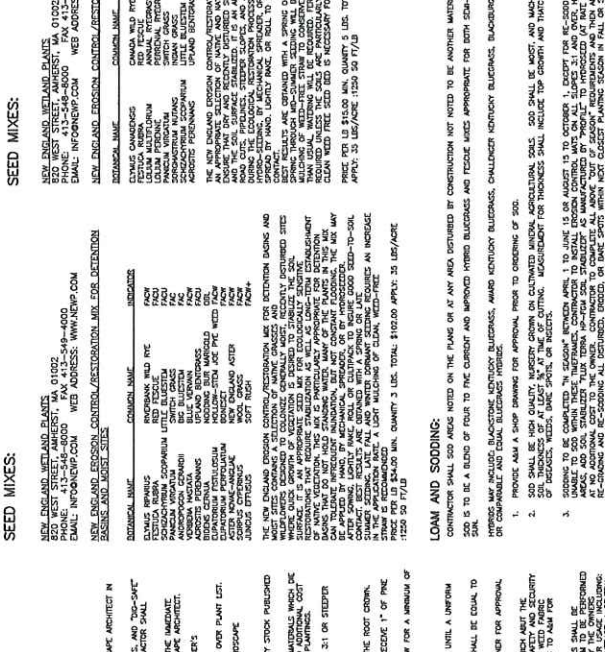
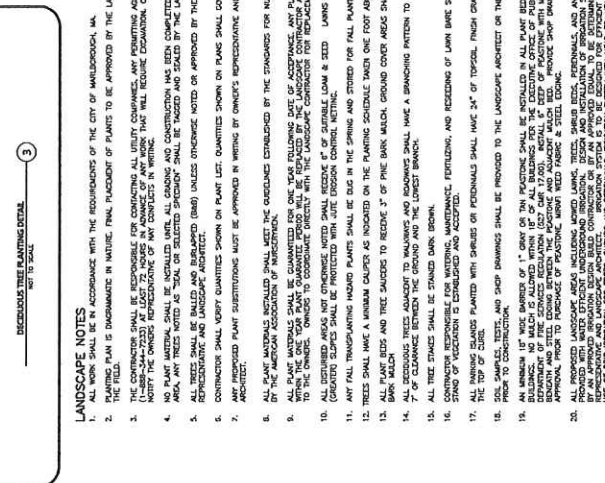
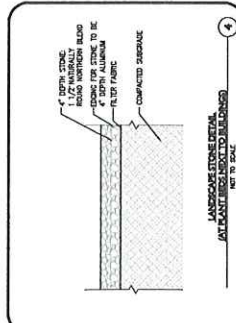
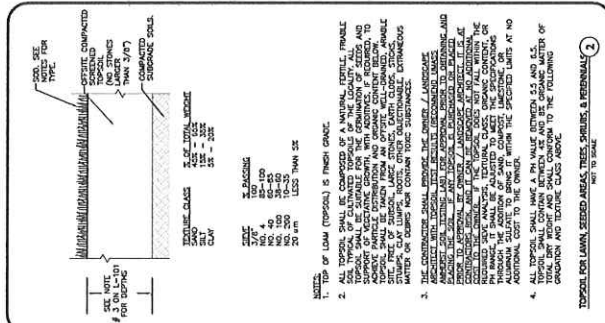
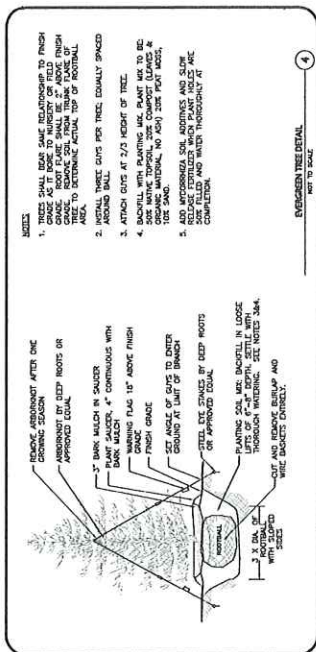
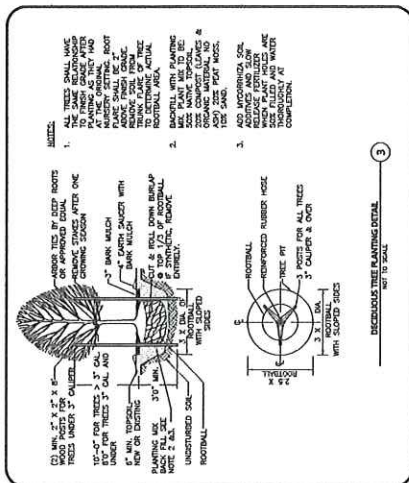
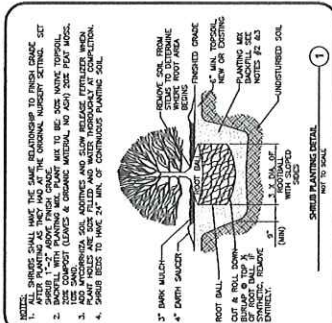


**ALLEN & MAJOR
ASSOCIATES, INC.**

architect & structural engineering • land use planning • interior design • construction management

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