



IN CITY COUNCIL

Marlborough, Mass., NOVEMBER 13, 2017

PAGE 1

ORDERED:

**SPECIAL PERMIT
TIGER CAT PROPERTIES, LLC
c/o CJG ENTERPPISES INC.**

**CITY OF MARLBOROUGH
CITY COUNCIL ORDER NO. 16/17-1006735H**

The City Council of the City of Marlborough hereby GRANTS the Application for Special Permit of Applicant, as provided in the Decision and subject to the following findings of fact and conditions.

EVIDENCE

1. The Applicant, CJG Enterprises, Inc., is a duly organized and existing Massachusetts Corporation with a principal place of business at 24 Union Avenue, Suite 28, Framingham, MA 01702 (the "Applicant").
2. The property owner is Tiger Cat Properties LLC, a duly organized Massachusetts Limited Liability Company (the "Owner"). The Applicant is the Owner's manager.
3. The location of the proposed project is 487 Lincoln Street, Marlborough, MA and more particularly identified on the City of Marlborough Assessor's Maps as Parcel 186 on Plate 68, and furthermore particularly described in deeds recorded with the Middlesex South District Registry of Deeds, Book 64590, Page 519 and 524 (the "Site").



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ORDERED:

4. The Applicant seeks a multi-family dwelling Special Permit to construct nine (9) residential Garden style apartment units consisting of two (2) pre-existing bedroom units, three (3) studio units in the renovated portion of the existing structure and four (4) one-bedroom units in the proposed addition on the Site (the "Project").
5. The total number of bedrooms in units proposed is nine bedrooms.
6. All units will be market rate rental units with marketing to young professionals in the greater Marlborough area.
7. The Applicant is acting on behalf of the Owner for purposes of this Special Permit Application (the "Application").
8. The front portion of the property is located in zoning district Business B and the back of the lot is located in Residence B, both of which allow multifamily dwellings subject to the grant of special permit.
9. The Building Commissioner, acting on behalf of the City Planner, provided a Certificate of Completeness of Application as required by Paragraph 7 of the Rules and Regulations of Application/Petition for Special Permit by the City of Council under the Marlborough Zoning Ordinance, Chapter 650-59.



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ORDERED:

10. The Applicant has complied with all the Rules and Regulations promulgated by the Marlborough City Council as they pertain to the Application for a Special Permit to convert the current structure at the Site and construct nine (9) residential Garden style apartment units on the Site.
11. A public hearing was held on December 5, 2016, in compliance with the requirements of the Code of the City of Marlborough and by the provisions of M.G.L. Chapter 40A, as amended, and all necessary abutters were provided notice as required by law, as certified by the Office of the Board of Assessors of Marlborough. The time for the City Council to take final action on the Application was timely extended by the parties' agreement to March 14, 2017 and further to April 25, 2017, June 6, 2017, September 12, 2017 and December 19, 2017.
12. The Applicant presented oral testimony and demonstrative evidence at the public hearing that the Project meets all applicable Special Permit criteria provided by M.G.L. Chapter 40A, as amended, and the Code of the City of Marlborough including, without limitation, Article V, Section 650-18, Paragraph A, Subparagraph 4, including generally Section 650-59, and that the use sought and its impact and characteristics are not in conflict with public health, safety, convenience and welfare and not detrimental nor offensive so long as the conditions, safeguards or limitations imposed herein are complied with.



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ORDERED:

13. Three site plan review meetings were conducted with the Site Plan Review Committee on September 6, 2016, February 7, 2017 and June 6, 2017.
14. The Site Plan submitted with the Application is entitled, "Proposed Residences at 487 Lincoln Street, Marlborough, MA", Prepared for CJG Enterprises, Inc., 24 Union Avenue, Framingham, MA 01702; Owned by Tiger Cat Properties, LLC, 24 Union Avenue, Framingham, MA 01702; Prepared by Bruce Saluk & Associates, Inc., Civil Engineers & Land Surveyors, 576 Boston Post Road East, Marlborough, MA 01752, scale 1' = 20', dated December 12, 2015, last revised July 5, 2017, (the "Plan"), attached hereto as "Attachment A".
15. The Architectural Plans submitted with the application are entitled "Proposed Multi-Family Residences 487 Lincoln Street, Marlborough, MA, James MacDonald, Maple Avenue Design, dated August 8, 2017" (the "Architectural Plans") are attached hereto as "Attachment B".



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ORDERED:

BASED ON THE ABOVE, THE MARLBOROUGH CITY COUNCIL MAKES THE FOLLOWING FINDINGS OF FACT AND TAKES THE FOLLOWING ACTIONS:

The City Council, pursuant to its authority under M.G.L. Chapter 40A and the City of Marlborough Zoning Ordinance, Chapter 650, makes the following findings of fact and GRANTS the Applicant a Special Permit for a multi-family dwelling in the existing structure and proposed addition thereto, SUBJECT TO THE FOLLOWING CONDITIONS:

FINDINGS OF FACT

1. The Applicant has complied with all the Rules and Regulations promulgated by the Marlborough City Council as they pertain to the Application for a Special Permit to renovate and construct a multifamily structure consisting of nine (9) residential Garden style apartment units on the Site.
2. The Marlborough City Council finds that all necessary fees for the proposed Special Permit have been paid.
3. The Marlborough City Council finds that the Application was properly completed and filed by Applicant, and that all necessary abutters were provided notice as required by law, as certified by the Office of the Board of Assessors of Marlborough prior to Application submission.



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ORDERED:

4. The Plan accompanying said Application was completed in accordance with the all applicable Rules and Regulations.
5. The Summary Impact Statement filed with said Application is sufficient for said Application and that no further studies or requirements are necessary.
6. The City Department reports as required by the Code of the City of Marlborough have been received and incorporated as deemed appropriate by the said Marlborough City Council into this final decision.
7. The Marlborough City Council finds generally that the use sought by Applicant and its impact and characteristics is not in conflict with the public health, safety, convenience and welfare and is not detrimental or offensive to the neighborhood; and further, that the use of the Site for nine (9) residential Garden Style apartment units in a multi-family dwelling complex is appropriate for the Site and is in harmony with, and does not derogate from, the intent and purpose of M.G.L. Chapter 40A and/or the Code for the City of Marlborough.
8. The Marlborough City Council therefore GRANTS to the Applicant a Special Permit to construct (9) residential Garden style apartment units on the Site, pursuant to its authority under M.G.L. Chapter 40A and the Code of the City of Marlborough, with the following conditions:



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Marlborough, Mass., NOVEMBER 13, 2017

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ORDERED:

CONDITIONS

- A. The Marlborough City Council conditions its approval on subsequent Site Plan Review and approval as provided under Chapter 270 of the City Code entitled *Building and Site Development*. The Plan may be subject further to modification by the Site Plan Review Committee to the extent allowed by the Code of the City of Marlborough. Other conditions and limitations may be imposed at the time of the final Site Plan Approval by said Committee, which are not inconsistent with any term or condition attached to this Special Permit.
- B. The Applicant will work with the Site Plan Review Committee to coordinate any minor cosmetic and mutually acceptable modifications to the Project and/or Site to make the same more consistent in appearance so as to fit into the neighborhood.
- C. The Site will be improved by adding a sidewalk and sight lines in and out of the Site.
- D. Snow storage will be to the rear of the Site with any excess amount not being able to be stored to be removed expeditiously in accordance with Massachusetts DEP Regulations for removal.



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ORDERED:

- E. Structures will be refurbished for a higher value rating of insulation and up to date energy efficient appliances will be installed.
- F. The proposed reduction in lot coverage from 89% to 79% will reduce Site runoff and improve the site drainage condition.
- G. The Project will be protected by an automatic sprinkler system under a NFPA Section 13R installation due to the low water pressure in the area.
- H. Construction of the nine (9) multifamily Garden style apartment units is to be in accordance with all applicable building codes currently in effect in the City of Marlborough.
- I. The existing sewer & water service connections to the existing building shall be replaced with new service connections. A fire service connection will also be provided.
- J. The architectural design of the renovated existing structure and addition will be consistent with the plans and renderings, including the Architectural Plans, furnished by Designer, James Macdonald, Maple Ave. Design, Sudbury, MA.



IN CITY COUNCIL

Marlborough, Mass., NOVEMBER 13, 2017

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ORDERED:

- K. The exterior paint scheme and tones of the building will be gray and white as evidenced by renderings furnished to City Council.
- L. Granite counter tops or an equivalent will be installed in the kitchen together with stainless steel appliances.
- M. The flooring in the kitchen area will be quality ceramic tiles and the apartment unit flooring will be engineered hardwood floor.
- N. The exterior features of the multi-family structure will be maintained in good condition, as will the landscaping which will also be consistent with plans and representations made to the City Council.
- O. All storage for tenants will be located in the individual rental units. No commercial storage nor tenant storage will be allowed elsewhere in the building including the basement for fire safety purposes.
- P. Washers and dryers will be located in an area between the existing building and the addition and will be available to tenants on a daily basis.
- Q. The exterior of the original building facing Lincoln Street will include a plaque indicating the historical nature of the activities at the site of the Cozy Café.



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ORDERED:

- R. In accordance with the provisions of M.G.L. c. 40A, § 11, the Applicant at its expense shall record this Special Permit in the Middlesex South District Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant shall apply to the Building Commissioner for a building permit concerning the Project. Applicant shall provide a copy of the recorded Special Permit to the City Council's office, the Building Commissioner's office, and the City Solicitor's office.
- S. All work performed at the Site shall be in compliance with this Special Permit decision. No other building or construction shall occur or happen without a change or modification of this Special Permit.
- T. Applicant shall provide side yard and rear yard fencing and landscaping as depicted on the revised Plan which shall include trees to the front portion of the landscaped area together with other plantings.
- U. No outdoor grilling or cooking will be permitted on the Site, and lease documents will so specify this prohibition for fire safety purposes.



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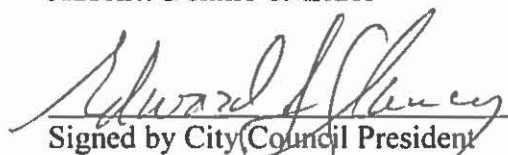
ORDERED:

- V. The Site Plan shows one parking space that was eliminated so as to improve internal lot turning and motor vehicle access.
- W. Applicant, in conjunction with the Owner, and in consideration of the historical and iconic nature of the original neighborhood café structure, will feature brass lanterns on the front façade together with a brass plaque in recognition of the historic nature of the site and to ensure that the structure redesign and façade are commensurate with the historic nature of the neighborhood.

Yea: 9 – Absent: 2

Yea: Doucette, Tunnera, Irish, Clancy, Landers, Juairé, Oram, Ossing & Robey.

Absent: Delano & Elder


Signed by City Council President
Edward J. Clancy

ADOPTED
In City Council
16/17-1006735H

PROPOSED RESIDENCES AT 487 LINCOLN STREET MARLBOROUGH, MA

SITE PLAN APPROVAL # _____
CITY COUNCIL SPECIAL PERMIT # _____

PLANS LISTED ON THIS SHEET WITH REVISION DATES AS SHOWN

APPROVED:
 ENGINEERING: _____ DATE: _____
 BUILDING: _____ DATE: _____
 CONSERVATION: _____ DATE: _____
 FIRE DEPT: _____ DATE: _____
 POLICE DEPT: _____ DATE: _____
 BOARD OF HEALTH: _____ DATE: _____
 PLANNING DEPT: _____ DATE: _____



<u>SHEET INDEX</u>	<u>DATE</u>	<u>REVISION DATE</u>
EX. EXISTING CONDITIONS _____	12-12-15	5-1-16
C1: LAYOUT & ZONING PLAN _____	12-12-15	7-5-17
C2: GRADING & EROSION CONTROL PLAN _____	12-12-15	6-22-17
C3: DRAINAGE & UTILITIES PLAN _____	12-12-15	6-22-17
C4: LIGHTING & PLANTING PLAN _____	12-12-15	6-22-17
C5: DETAIL SHEET _____	12-12-15	6-22-17
C6: DETAIL SHEET _____	12-12-15	5-15-17

PREPARED FOR: CJC ENTERPRISES, INC.
25 UNION STREET
FRAMINGHAM, MA 01702
TEL (508) 877-3800

ARCHITECT: MAPLE AVENUE DESIGN
31 MAPLE AVENUE
SUDBURY, MA 01776
TEL: (978) 460-2136

ENGINEER & SURVEYOR: BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752
TEL (508) 485-1662
FAX: (508) 481-8929

EX

PREPARED FOR:
CJG ENTERPRISES, INC.
25 UNION STREET
FARMINGHAM, MA 01903
DATE: DECEMBER 12, 2015

PROPOSED RESIDENCES AT
487 LINCOLN STREET
MARLBOROUGH, MA



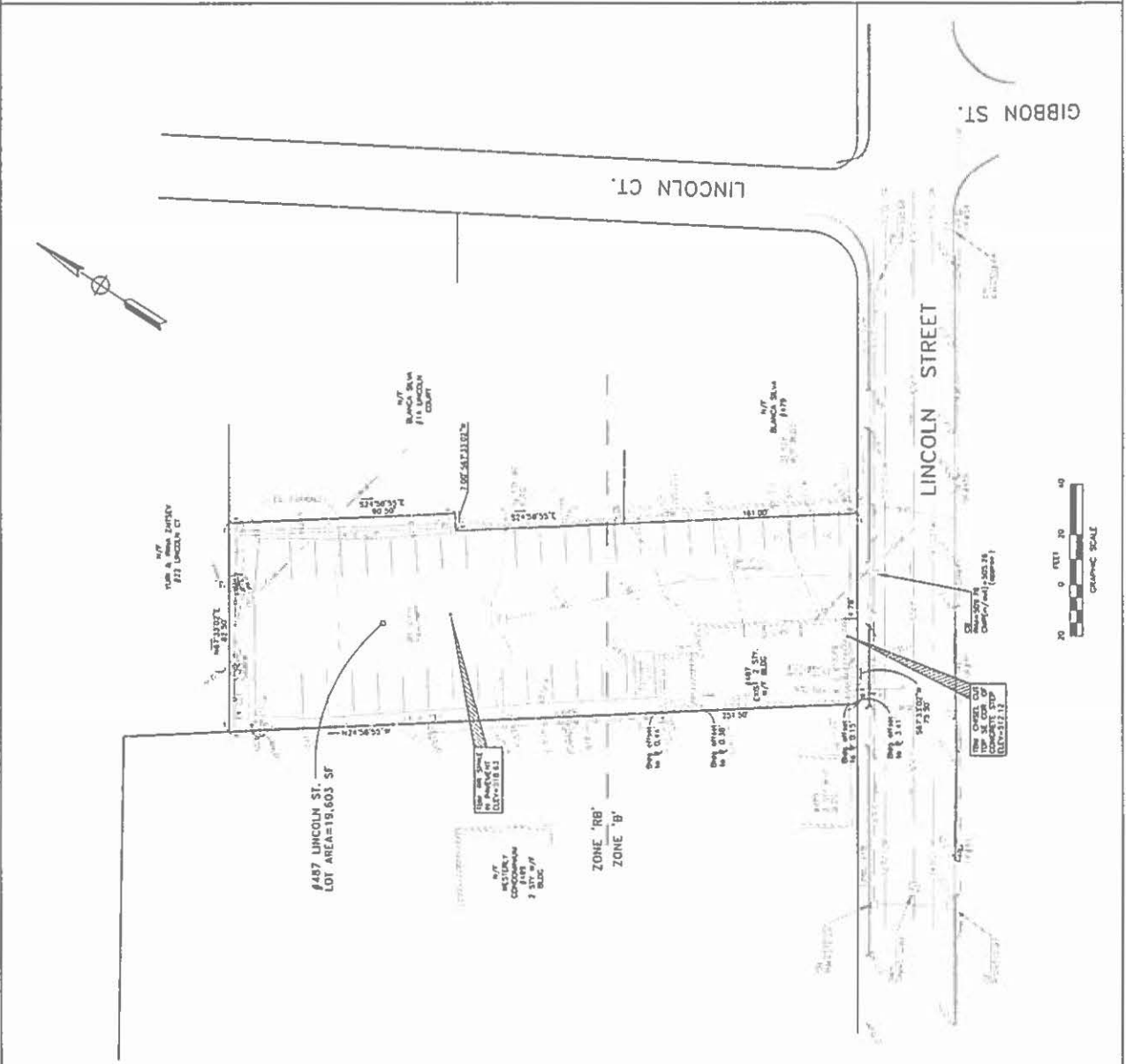
PREPARED BY:
BRUCE SAKUK & ASSOC., INC.
CIVIL ENGINEER & LAND SURVEYOR
578 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01521
SCALE: 1" = 20'

NO.	DATE	REVISION
1	12/15/15	AS SHOWN

NOTES:

- 1) THE PROPERTY SHOWN IS LOCATED IN THE RESIDENTIAL V AND BUSINESS ZONES, AND IS LISTED AS A RESIDENCE. THE ZONING MAP IS SHOWN ON THE ATTACHED ZONING MAP.
- 2) THE ELEVATIONS SHOWN ARE BASED ON MEAN SEA LEVEL DATUM (1988 EASY).
- 3) THE SURVEY SHOWS THE EXISTING UTILITIES AND STRUCTURES ON THE PROPERTY AND IS TO BE USED AS A REFERENCE ONLY. THE SURVEY DOES NOT GUARANTEE THE ACCURACY OF THE UTILITIES OR STRUCTURES. CONTACT THE UTILITIES AND STRUCTURES DEPARTMENTS AT 1-800-220-4444 FOR FURTHER INFORMATION.
- 4) THE PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE "A" OF THE FLOOD HAZARD MAP. THE PROPERTY IS NOT BEING DEVELOPED WITHIN THE FLOOD HAZARD AREA.
- 5) THE PROPERTY LINE SURVEY WAS PERFORMED DURING JULY 2015, AND THE PROPERTY MEASUREMENTS ARE AS FOLLOWS:

MEASUREMENT	FEET
TOTAL FRONT	114.00
TOTAL REAR	114.00
TOTAL LEFT	114.00
TOTAL RIGHT	114.00
TOTAL PERIMETER	456.00
TOTAL AREA	19,603 SF



NO. 1	DATE	12/12/15
NO. 2	BY	J. J. GIBSON
NO. 3	FOR	PROPOSED RESIDENCES AT 487 LINCOLN STREET MARLBOROUGH, MA
NO. 4	SCALE	1" = 20'
NO. 5	PREPARED BY	BRUCE SKATEL & LAND SERVICES, INC. 578 BOSTON POST ROAD EAST MARLBOROUGH, MA 01702
NO. 6	DATE	DECEMBER 12, 2015

PREPARED FOR:
CJO ENTERPRISES, INC.
23 UNION STREET
MARLBOROUGH, MA 01702



LAYOUT & ZONING

PROPOSED RESIDENCES AT
487 LINCOLN STREET
MARLBOROUGH, MA

DATE: DECEMBER 12, 2015
C1

ZONING SCHEDULE

FOR

REZONED SPECIAL REAR UNDER THE PROVISIONS OF CHAPTER 630-18(X)(1)

ZONE DISTRICT: BUSINESS "B" AND RESIDENTIAL "R"

THIS LOT IS LISTED AS ACCESSORS MAP 64, PARCEL #1481

ARTICLE V: PERMITTED USES: SECTION 630-18(X)(4)

LANDSCAPE REQUIREMENTS OF 630-18(X)(5)(X)	PROPOSED "1"
NO	NO

ARTICLE VII: ENVIRONMENTAL, LANDSCAPING & PARKING REQUIREMENTS

LOT AREA	19,043 S.F.	EXISTING	PROPOSED "1"
LOT COVERAGE	73.3%	73.3%	73.3%
BLDG. FOOT. (MAX)	633	633	633
BLDG. FOOT. (REQ)	317	317	317
FRONT YARD SETBACK	5'	5'	5'
SIDE YARD SETBACK	5'	5'	5'
REAR YARD SETBACK	10'	10'	10'
PARKING & DRIVEWAY SETBACK FROM BLDG.	5'	5'	5'

PARKING SCHEDULE

TOTAL PARKING	18 SPACES	EXISTING	PROPOSED "1"
COMPACT PARKING	31X (MAX ALIGNED)	N/A	5 SPACES (MAX)

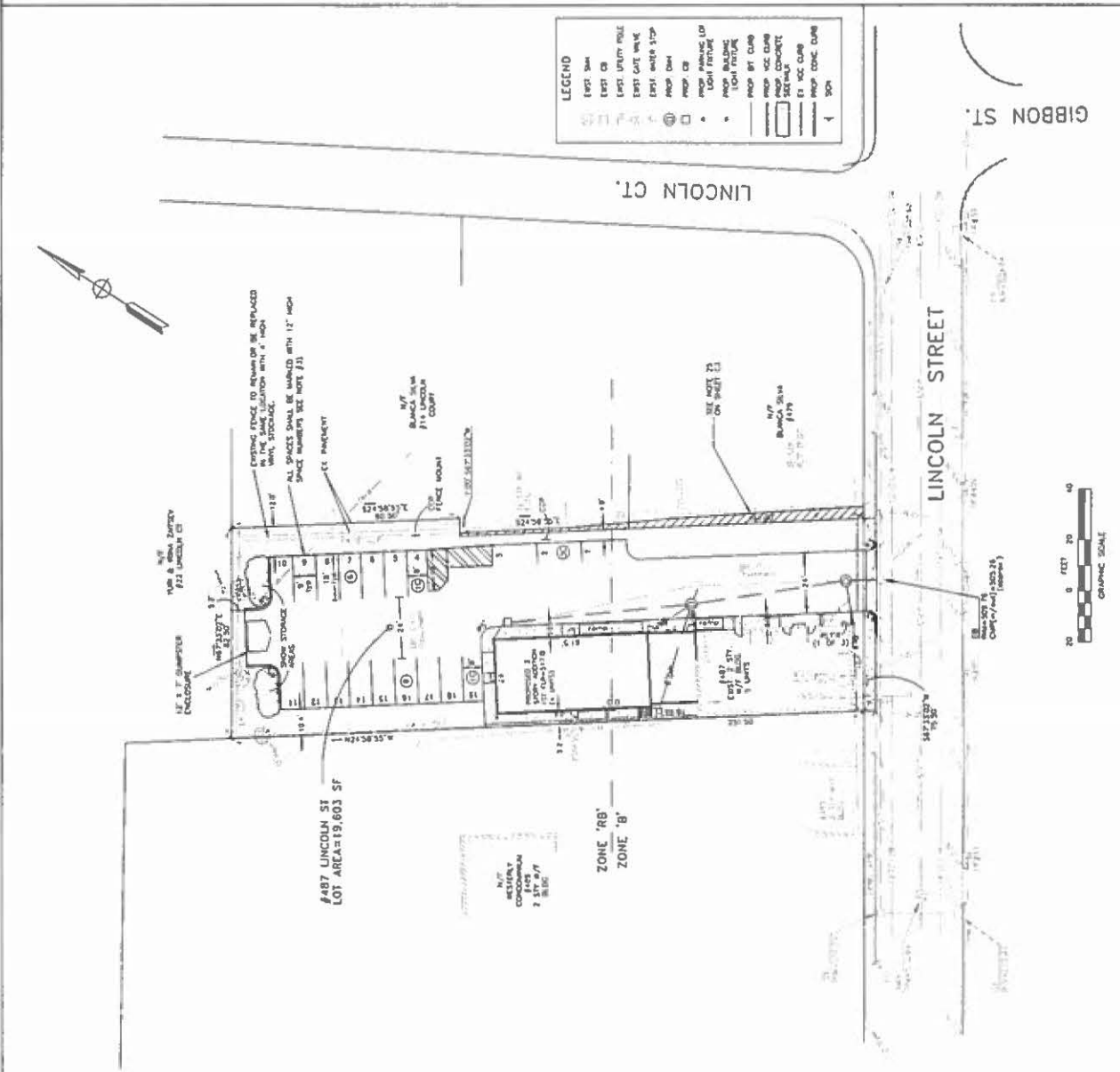
DRIVEWAY SCHEDULE

REQUIRED "1"	EXISTING	PROPOSED "1"
11.58'	11.58'	11.58'
128'	128'	128'
5.25'	5.25'	5.25'
20'(MIN)	20'	20'

LANDSCAPING SCHEDULE

REQUIRED "1"	EXISTING	PROPOSED "1"
15' "2"	15' "2"	15' "2"
5'	5'	5'
N/A	N/A	N/A
12'	12'	12'
5'	5'	5'

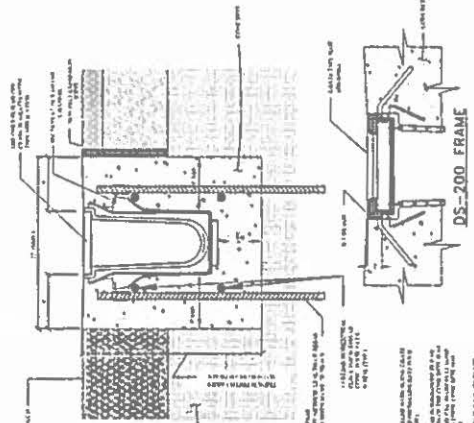
- ### NOTES:
- 1) THE PROPOSED BUILDING IS LOCATED IN THE RESIDENTIAL "R" AND BUSINESS "B" ZONES AND IS LISTED AS ACCESSORS MAP 64 ON MAP 64.
 - 2) THE PROPOSED PLAN IS FOR 9 DWELLING UNITS CONSISTING OF 3 TYPICAL 4-BED ROOM & 2-1/2 BATH ROOM UNITS AND 6 2-BED ROOM & 1-1/2 BATH ROOM UNITS.
 - 3) REQUIRED PARKING IS AS FOLLOWS:
 PROPOSED PARKING: 18
 EXISTING PARKING: 14
 TOTAL PROPOSED: 18
 - 4) ALL PARKING SHALL BE ASSESSED BY LEASE TO THE REZONERS OF THE 6 UNITS.
 - 5) REFER TO SHEET 02 FOR PROPOSED LOTTING & PARKING.
 - 6) THE CONSTRUCTION SHALL BE PROTECTED AND BARRICADED WITH THE CITY PRIOR TO CONSTRUCTION.
 - 7) ALL WORK NOTICED BY THE CITY SHALL BE STOPPED IMMEDIATELY UPON NOTIFICATION BY THE CITY ENGINEER. THE CITY ENGINEER SHALL BE NOTIFIED IMMEDIATELY BY THE CITY ENGINEER AS A VIOLATION OF THE ZONING ORDINANCE.
 - 8) ALL WORK AND MATERIALS TO BE PLACED WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
 - 9) ALL PAVERS AND CURB CUTS AND ACCESS (SHOW) SHALL CONFORM TO ADA AND MAAS REQUIREMENTS.
 - 10) ALL PROPOSED CONSTRUCTION SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSTRUCTION REQUIREMENTS AS LISTED IN THE ORDER OF CONDITIONS.
 - 11) ALL PROPOSED MATERIALS AND SIZES SHALL CONFORM TO MAAS REQUIREMENTS.
 - 12) THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.



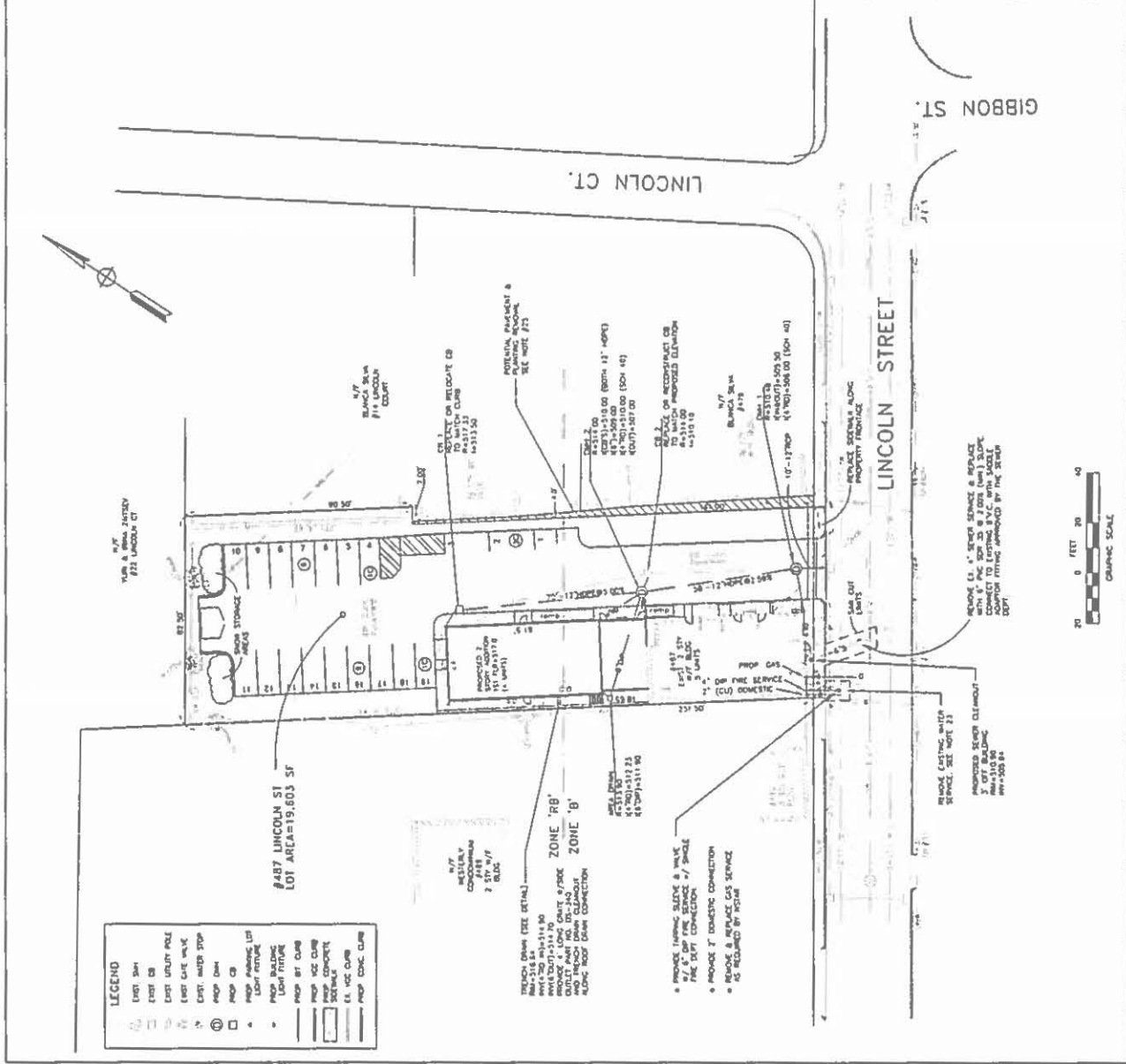
NO.	DATE	DESCRIPTION
1	12/12/15	ISSUED FOR PERMIT
2	12/12/15	REVISED
3	12/12/15	REVISED
4	12/12/15	REVISED
5	12/12/15	REVISED

WATER, SEWER & DRAINAGE NOTES:

1. All new construction and installation shall conform to the latest edition of the Massachusetts State Plumbing Code, Massachusetts State Sanitary Code, and Massachusetts State Building Code.
2. All new construction shall be installed in accordance with the Massachusetts State Plumbing Code, Massachusetts State Sanitary Code, and Massachusetts State Building Code.
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10. All new construction shall be installed in accordance with the Massachusetts State Plumbing Code, Massachusetts State Sanitary Code, and Massachusetts State Building Code.
11. All new construction shall be installed in accordance with the Massachusetts State Plumbing Code, Massachusetts State Sanitary Code, and Massachusetts State Building Code.
12. The excavations shown are based on topographic survey (10/14/15).
13. All work to be installed shall be in accordance with the Massachusetts State Plumbing Code, Massachusetts State Sanitary Code, and Massachusetts State Building Code.
14. The contractor shall obtain a Street Closing Permit prior to any construction within the City right-of-way.
15. All water and sewer installation and construction shall conform to the City of Marlborough requirements (see Street Closing Permit).
16. If water and sewer installation shall be installed by the City of Marlborough, the contractor shall submit the required documents to the City of Marlborough prior to construction.
17. The City shall be notified at least 14 hours prior to the start of construction.
18. The water and sewer lines shall be installed in accordance with the Massachusetts State Plumbing Code, Massachusetts State Sanitary Code, and Massachusetts State Building Code.
19. The sewer system shall be installed in accordance with the Massachusetts State Plumbing Code, Massachusetts State Sanitary Code, and Massachusetts State Building Code.
20. The water system shall be installed in accordance with the Massachusetts State Plumbing Code, Massachusetts State Sanitary Code, and Massachusetts State Building Code.
21. The contractor shall be responsible for obtaining all necessary permits from the City of Marlborough and the State of Massachusetts.
22. The contractor shall be responsible for obtaining all necessary permits from the City of Marlborough and the State of Massachusetts.
23. The contractor shall be responsible for obtaining all necessary permits from the City of Marlborough and the State of Massachusetts.
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58. The contractor shall be responsible for obtaining all necessary permits from the City of Marlborough and the State of Massachusetts.
59. The contractor shall be responsible for obtaining all necessary permits from the City of Marlborough and the State of Massachusetts.
60. The contractor shall be responsible for obtaining all necessary permits from the City of Marlborough and the State of Massachusetts.



TRENCH DRAIN (6.62" WIDTH)
N. T. S.



LEGEND

	ELEV. SHW
	EXIST. CH
	EXIST. UNCLIP. POLE
	EXIST. GATE VALVE
	EXIST. METER STOP
	EXIST. DIM.
	PROP. CH
	PROP. FINISH LOT
	LOT FINISH
	PROP. BUILDING
	LOT FINISH
	PROP. BT CURB
	PROP. VCC CURB
	VCC CURB
	VCC CONC. CURB



PLANTING LEGEND*

SYM	DESCRIPTION	COMMON NAME	SIZE
1	EMERALD PINNACLES	EMERALD PINNACLES	4" x 4"
2	EMERALD PINNACLES	EMERALD PINNACLES	6" x 6"
3	EMERALD PINNACLES	EMERALD PINNACLES	8" x 8"
4	EMERALD PINNACLES	EMERALD PINNACLES	10" x 10"
5	EMERALD PINNACLES	EMERALD PINNACLES	12" x 12"
6	EMERALD PINNACLES	EMERALD PINNACLES	14" x 14"
7	EMERALD PINNACLES	EMERALD PINNACLES	16" x 16"
8	EMERALD PINNACLES	EMERALD PINNACLES	18" x 18"
9	EMERALD PINNACLES	EMERALD PINNACLES	20" x 20"
10	EMERALD PINNACLES	EMERALD PINNACLES	22" x 22"
11	EMERALD PINNACLES	EMERALD PINNACLES	24" x 24"
12	EMERALD PINNACLES	EMERALD PINNACLES	26" x 26"
13	EMERALD PINNACLES	EMERALD PINNACLES	28" x 28"
14	EMERALD PINNACLES	EMERALD PINNACLES	30" x 30"
15	EMERALD PINNACLES	EMERALD PINNACLES	32" x 32"
16	EMERALD PINNACLES	EMERALD PINNACLES	34" x 34"
17	EMERALD PINNACLES	EMERALD PINNACLES	36" x 36"
18	EMERALD PINNACLES	EMERALD PINNACLES	38" x 38"
19	EMERALD PINNACLES	EMERALD PINNACLES	40" x 40"
20	EMERALD PINNACLES	EMERALD PINNACLES	42" x 42"
21	EMERALD PINNACLES	EMERALD PINNACLES	44" x 44"
22	EMERALD PINNACLES	EMERALD PINNACLES	46" x 46"
23	EMERALD PINNACLES	EMERALD PINNACLES	48" x 48"
24	EMERALD PINNACLES	EMERALD PINNACLES	50" x 50"
25	EMERALD PINNACLES	EMERALD PINNACLES	52" x 52"
26	EMERALD PINNACLES	EMERALD PINNACLES	54" x 54"
27	EMERALD PINNACLES	EMERALD PINNACLES	56" x 56"
28	EMERALD PINNACLES	EMERALD PINNACLES	58" x 58"
29	EMERALD PINNACLES	EMERALD PINNACLES	60" x 60"
30	EMERALD PINNACLES	EMERALD PINNACLES	62" x 62"
31	EMERALD PINNACLES	EMERALD PINNACLES	64" x 64"
32	EMERALD PINNACLES	EMERALD PINNACLES	66" x 66"
33	EMERALD PINNACLES	EMERALD PINNACLES	68" x 68"
34	EMERALD PINNACLES	EMERALD PINNACLES	70" x 70"
35	EMERALD PINNACLES	EMERALD PINNACLES	72" x 72"
36	EMERALD PINNACLES	EMERALD PINNACLES	74" x 74"
37	EMERALD PINNACLES	EMERALD PINNACLES	76" x 76"
38	EMERALD PINNACLES	EMERALD PINNACLES	78" x 78"
39	EMERALD PINNACLES	EMERALD PINNACLES	80" x 80"
40	EMERALD PINNACLES	EMERALD PINNACLES	82" x 82"
41	EMERALD PINNACLES	EMERALD PINNACLES	84" x 84"
42	EMERALD PINNACLES	EMERALD PINNACLES	86" x 86"
43	EMERALD PINNACLES	EMERALD PINNACLES	88" x 88"
44	EMERALD PINNACLES	EMERALD PINNACLES	90" x 90"
45	EMERALD PINNACLES	EMERALD PINNACLES	92" x 92"
46	EMERALD PINNACLES	EMERALD PINNACLES	94" x 94"
47	EMERALD PINNACLES	EMERALD PINNACLES	96" x 96"
48	EMERALD PINNACLES	EMERALD PINNACLES	98" x 98"
49	EMERALD PINNACLES	EMERALD PINNACLES	100" x 100"

LEGEND

1	EXIST SIGN
2	EXIST CUR
3	EXIST CURT WALL
4	EXIST WALKER STOP
5	PROP. SIGN
6	PROP. CURT WALL
7	PROP. WALKER STOP
8	PROP. CONC. DRIVE
9	PROP. CONC. DRIVE
10	PROP. CONC. DRIVE
11	PROP. CONC. DRIVE
12	PROP. CONC. DRIVE
13	PROP. CONC. DRIVE
14	PROP. CONC. DRIVE
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50	PROP. CONC. DRIVE

GROUND COVER LEGEND

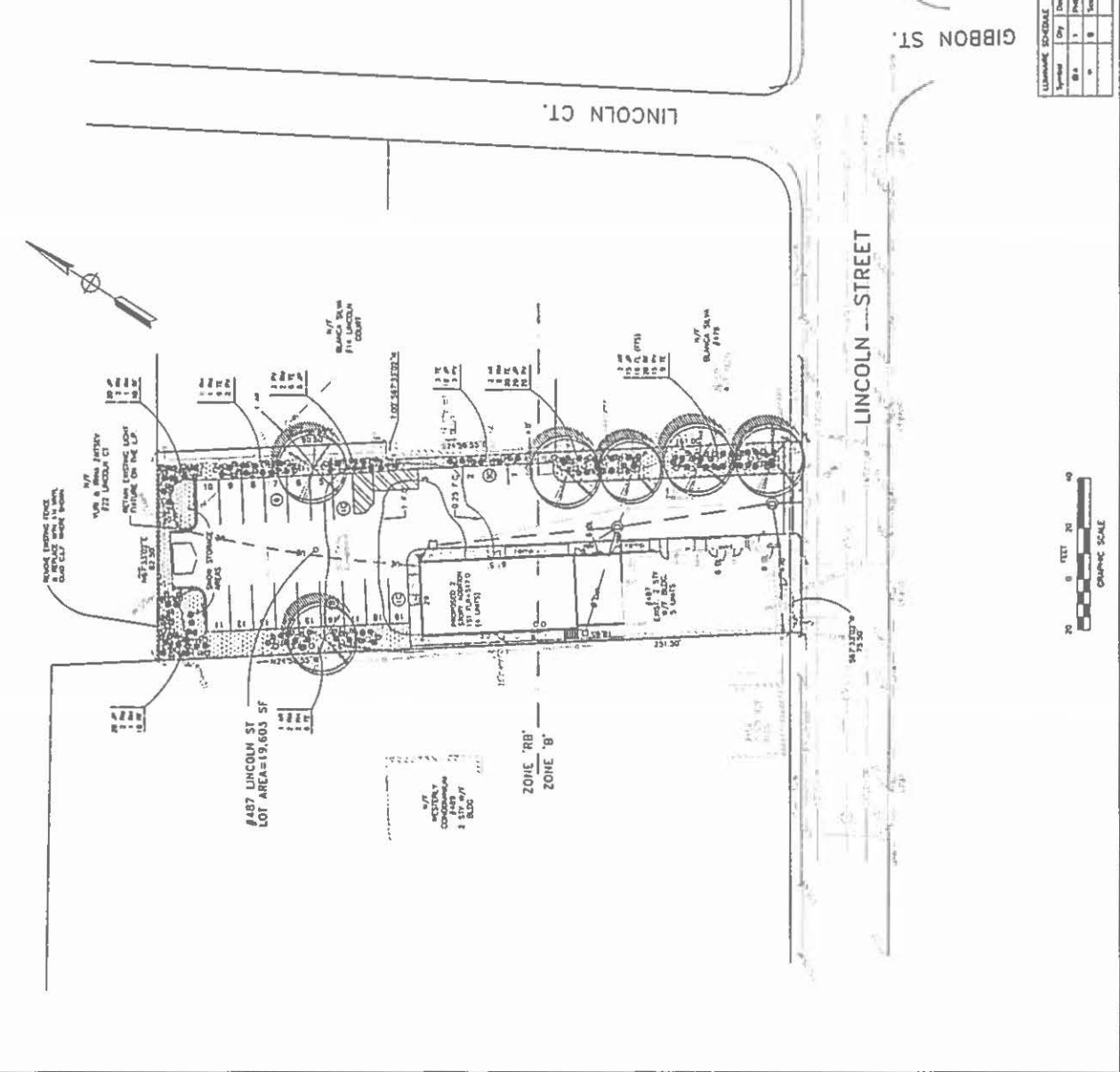
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50	BARK MULCH

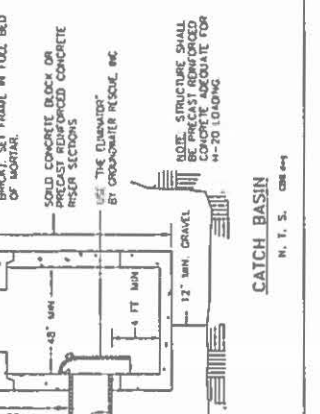
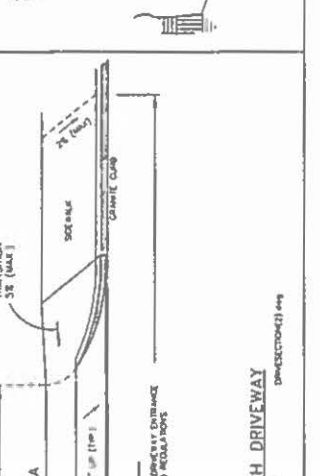
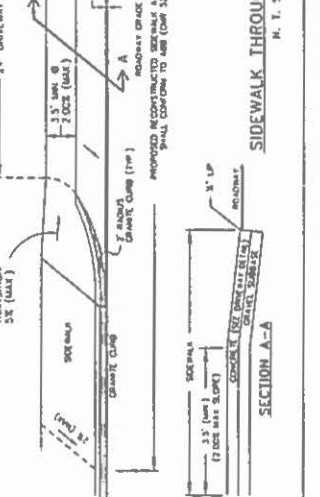
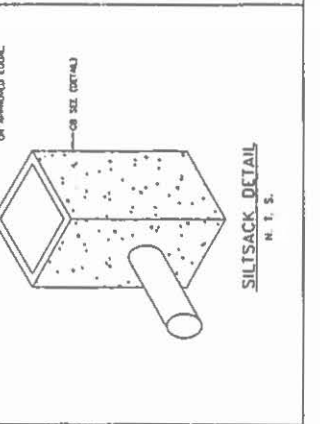
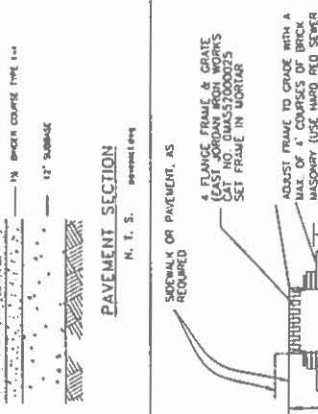
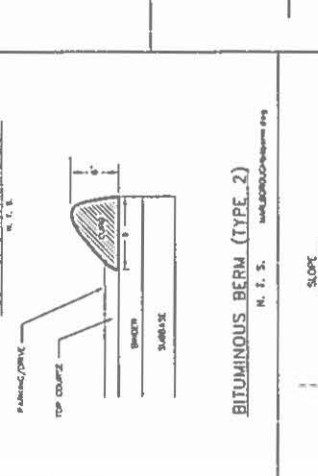
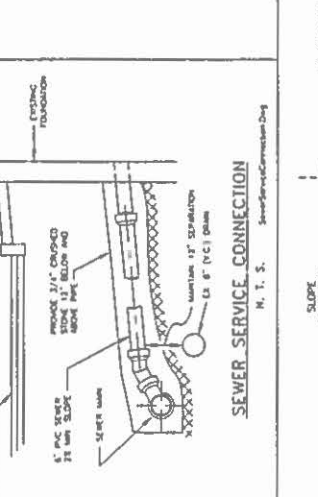
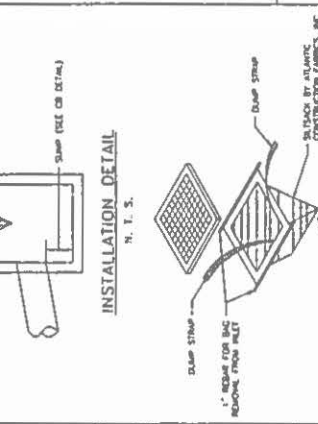
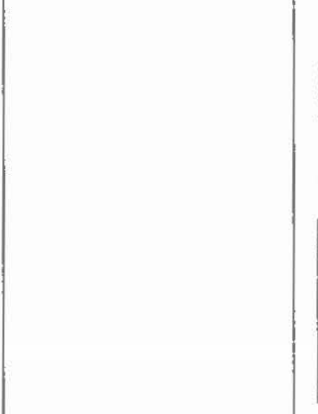
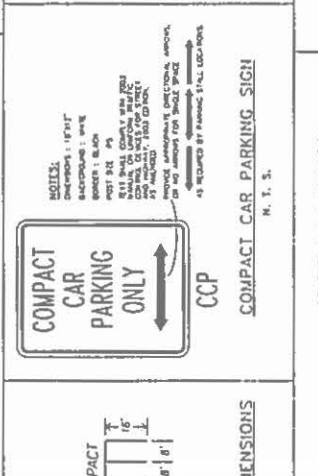
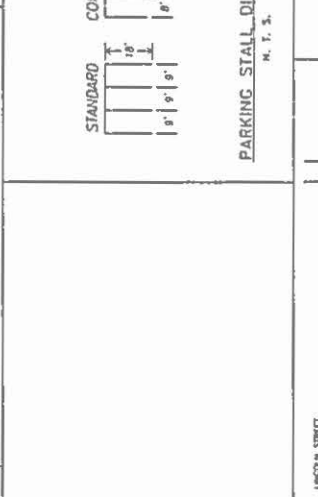
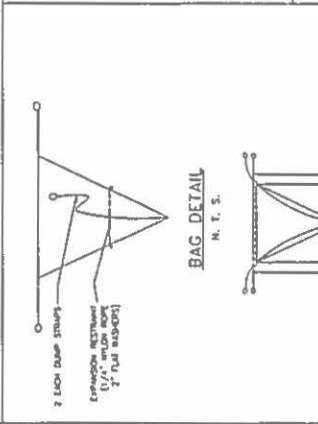
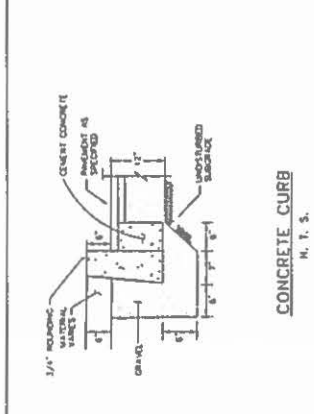
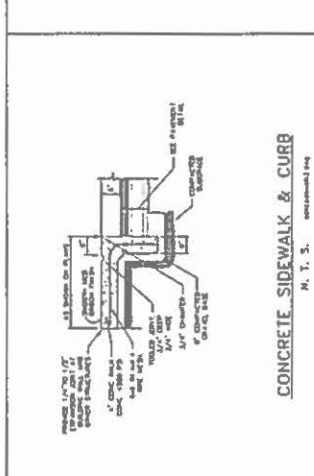
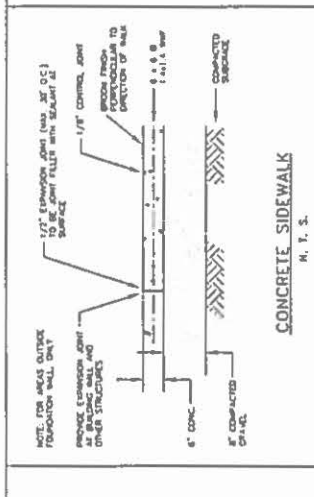
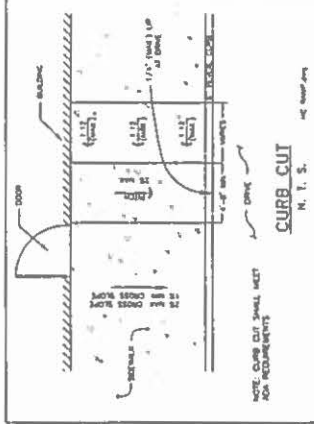
PLANTING NOTES:

- 1) FOR LOW & SET AREAS, PROVIDE 1" LIME AND 3/4" SAND FOR DRAINAGE. PROVIDE 1" LIME AND 3/4" SAND FOR DRAINAGE. PROVIDE 1" LIME AND 3/4" SAND FOR DRAINAGE.
- 2) PROVIDE POINTS OF THE GROUND SURFACE TO BE MAINTAINED WITHIN 1" OF THE EXISTING GRADE. PROVIDE POINTS OF THE GROUND SURFACE TO BE MAINTAINED WITHIN 1" OF THE EXISTING GRADE.
- 3) FROM PLANTING TO BE MAINTAINED IN FIELD AS NECESSARY TO PROVIDE REQUIRED EFFECT TO CONSTRUCTION MAINTENANCE AND UTILITIES, ETC.
- 4) PLANTING ARE SUBJECT TO CHANGE DUE TO SURVEY ERROR AND/OR AMBIGUITY, AS APPLICABLE.
- 5) PLANTING AND SCHEDULING SHALL COMPLY WITH THE FOLLOWING:
 - ALL PLANTING SHALL BE INSTALLED WITHIN 100 DAYS.
 - ALL PLANTING SHALL BE INSTALLED WITHIN 100 DAYS.
 - ALL PLANTING SHALL BE INSTALLED WITHIN 100 DAYS.

LIGHTING NOTES:

- 1) LIGHTING & WIRING SHALL BE PROVIDED ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- 2) CONDUIT SCHEDULE SHALL BE SCHEDULE ONLY. ALL WIRING SHALL BE SCHEDULE ONLY. ALL WIRING SHALL BE SCHEDULE ONLY.
- 3) ALL WIRING SHALL BE SCHEDULE ONLY. ALL WIRING SHALL BE SCHEDULE ONLY.
- 4) ALL WIRING SHALL BE SCHEDULE ONLY. ALL WIRING SHALL BE SCHEDULE ONLY.
- 5) ALL WIRING SHALL BE SCHEDULE ONLY. ALL WIRING SHALL BE SCHEDULE ONLY.





NO.	DATE	DESCRIPTION
1	12/12/15	ISSUED FOR PERMIT
2	12/15/15	ISSUED FOR PERMIT
3	12/15/15	ISSUED FOR PERMIT
4	12/15/15	ISSUED FOR PERMIT
5	12/15/15	ISSUED FOR PERMIT
6	12/15/15	ISSUED FOR PERMIT
7	12/15/15	ISSUED FOR PERMIT
8	12/15/15	ISSUED FOR PERMIT
9	12/15/15	ISSUED FOR PERMIT
10	12/15/15	ISSUED FOR PERMIT

PREPARED BY:
BRUCE SALUK & ASSOC., INC.
578 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01753

PROPOSED RESIDENCES AT
487 LINCOLN STREET
MARLBOROUGH, MA

DATE: DECEMBER 12, 2015
PREPARED FOR:
C20 CHEMURBESS, INC.
25 UNION STREET,
FRANKLIN, MA 01702

C5

NO.	DATE	BY	CHKD.
1	12/12/15	JL	JL
2			
3			
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10			

PREPARED BY:
BRUCE SALUK & ASSOC., INC.
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752

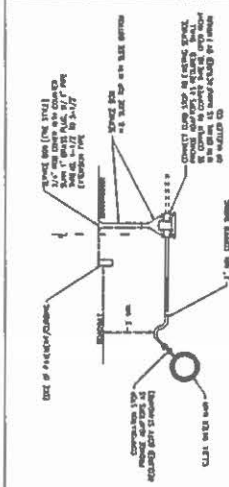


PROPOSED RESIDENCES AT
487 LINCOLN STREET
MARLBOROUGH, MA

DATE: DECEMBER 12, 2015
PREPARED FOR:
C2O ENGINEERS, INC.
25 UNION STREET
FRAMINGHAM, MA 01702

C6

TEL: 218-87-8000 FAX: 218-87-8001



1
TYPICAL EXCAVATION TRENCH
N.T.S.

EXCAVATION TRENCHES SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



2
TYPICAL WATER TRENCH
N.T.S.

WATER TRENCHES SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



3
TYPICAL FINAL TRENCH PAVING
N.T.S.

FINAL TRENCH PAVING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS. THE PAVING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS. THE PAVING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS. THE PAVING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.



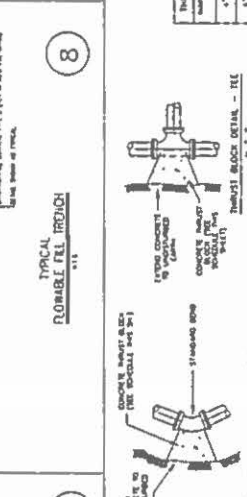
4
TYPICAL AREA DRAIN
N.T.S.

AREA DRAINS SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



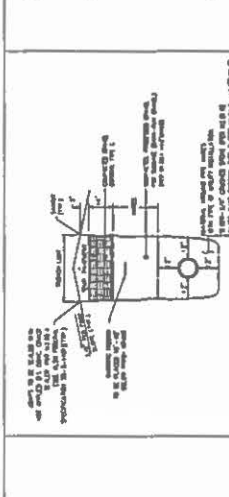
5
TYPICAL TEMPORARY TRENCH PAVING
N.T.S.

TEMPORARY TRENCH PAVING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS. THE PAVING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS. THE PAVING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS. THE PAVING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.



6
TYPICAL FINAL TRENCH PAVING
N.T.S.

FINAL TRENCH PAVING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS. THE PAVING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS. THE PAVING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS. THE PAVING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.



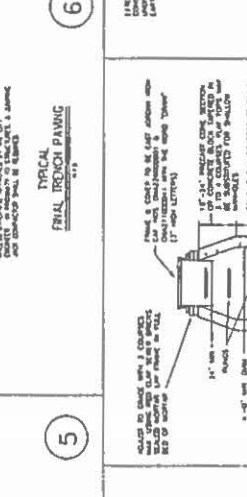
7
TYPICAL STORM DRAIN MANHOLE W/ STEP
N.T.S.

STORM DRAIN MANHOLES SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



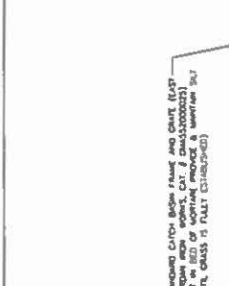
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TYPICAL PIPE CROSSING DETAIL
N.T.S.

PIPE CROSSING DETAILS SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



9
TYPICAL FLEXIBLE TRENCH
N.T.S.

FLEXIBLE TRENCHES SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



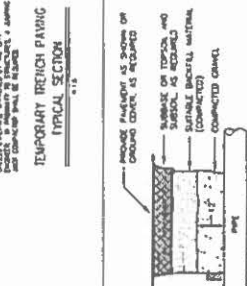
10
TYPICAL BLOCK DETAIL - TRUE
N.T.S.

TYPICAL BLOCK DETAILS SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



11
TYPICAL BLOCK DETAIL - FALSE
N.T.S.

TYPICAL BLOCK DETAILS SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



12
TYPICAL BLOCK DETAIL - TRUE
N.T.S.

TYPICAL BLOCK DETAILS SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



13
TYPICAL BLOCK DETAIL - TRUE
N.T.S.

TYPICAL BLOCK DETAILS SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



14
TYPICAL BLOCK DETAIL - TRUE
N.T.S.

TYPICAL BLOCK DETAILS SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



15
TYPICAL BLOCK DETAIL - TRUE
N.T.S.

TYPICAL BLOCK DETAILS SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



16
TYPICAL BLOCK DETAIL - TRUE
N.T.S.

TYPICAL BLOCK DETAILS SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



17
TYPICAL BLOCK DETAIL - TRUE
N.T.S.

TYPICAL BLOCK DETAILS SHALL BE EXCAVATED TO THE PROPOSED FINISH GRADE. THE SLOPE OF THE EXCAVATION SHALL BE 1:1. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING. THE EXCAVATION SHALL BE PROTECTED BY SHIELDING OR SHIELD PILING.



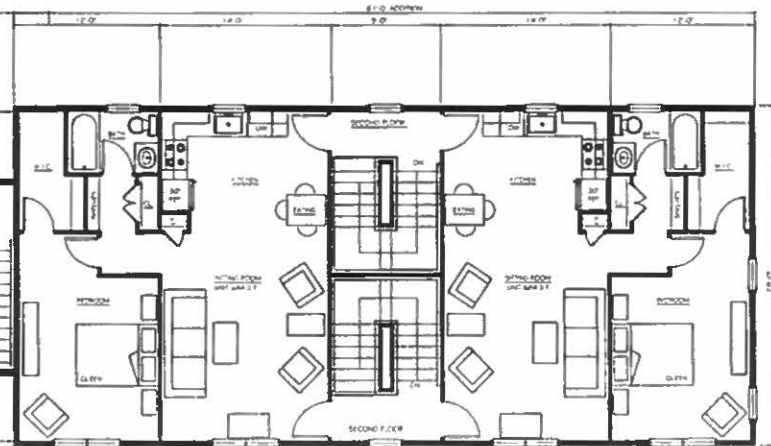
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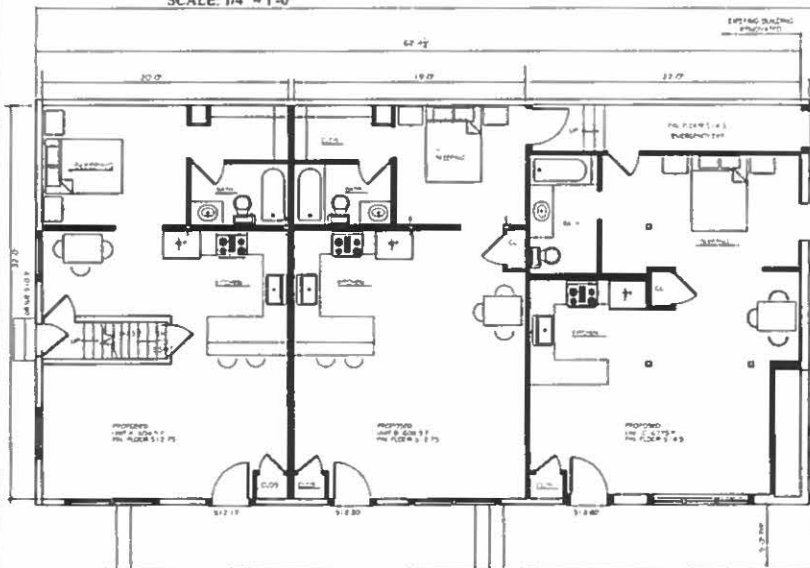
SECOND FLOOR PLAN - EXISTING

SCALE: 1/4" = 1'-0"



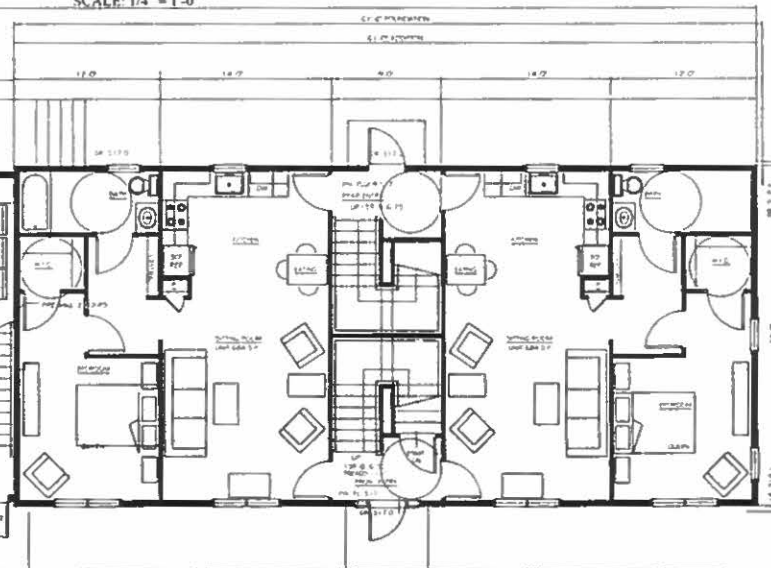
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN STUDIO UNITS

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN ONE BEDROOM UNITS

SCALE: 1/4" = 1'-0"

Multi-Family

Proposed Addition

487 LINCOLN ST
Marlborough
Massachusetts

Maple Avenue Design
33 Maple Ave
Sudbury, MA 01776
T: 508.482.2118
F: 508.482.2855

DATE	DESCRIPTION

PLANS

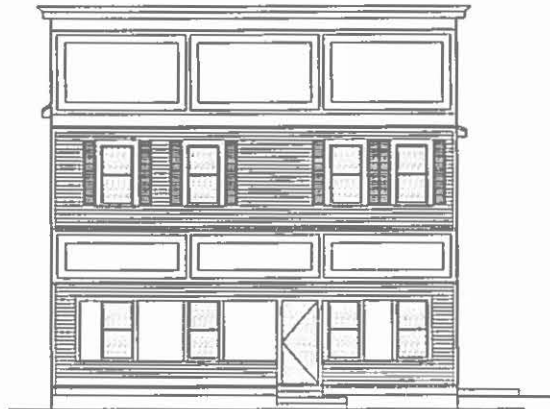
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Scale:	
Drawn By: JPM	
Check By: JPM	

PREPARED FOR: CJG ENTERPRISES, INC., 25 UNION STREET, FRAMINGHAM, MA 01702

not for construction

P. J. MURPHY

B



Front Elevation

SCALE: 1/4" = 1'-0"



SIDE ELEVATIONS ALONG DRIVEWAY

SCALE: 1/4" = 1'-0"

Multi-Family

Proposed
Addition

487 LINCOLN ST
Marlborough
Massachusetts

Maple Avenue Design
31 Maple Ave
Sudbury, MA 01776
P: 978.463.2738
F: 978.463.4298

No.	Date	Description	By
No.	Date	Amount	By

ELEVATIONS

Date: August 9 2017
Scale:
Arch No:
Drawn by: JWB

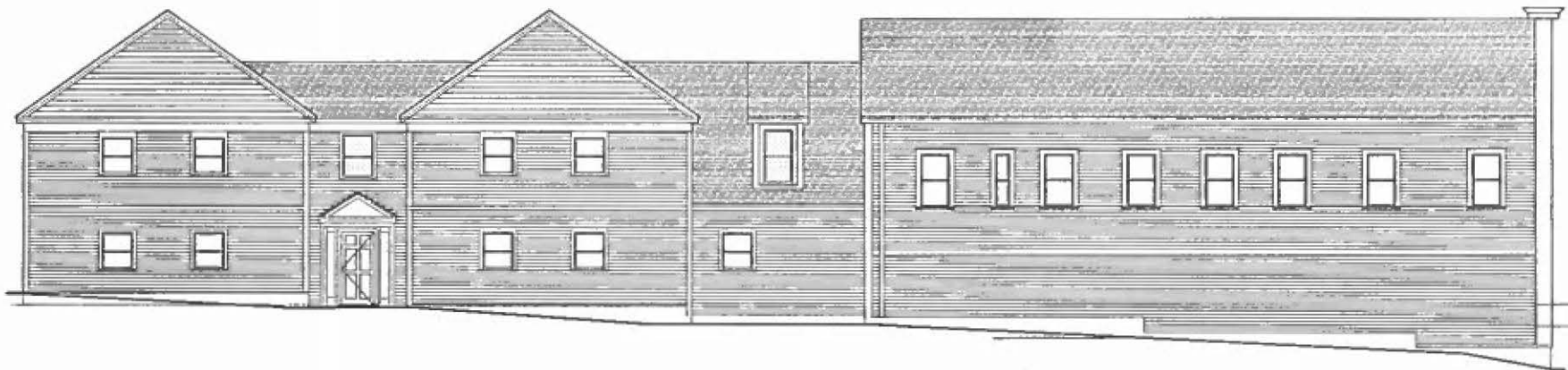
A-2.1

not for construction

Multi-Family

Proposed
Addition

487 LINCOLN ST
Marborough
Massachusetts



SIDE ELEVATIONS ALONG PROPERTY LINE

SCALE: 1/4" = 1'-0"

Maple Avenue Design

31 Maple Ave
Sudbury, MA 01776

T 978.482.2726
F 978.482.8288

No.	Description	Rev.

1 of 2

ELEVATIONS

Date: August 9, 2011

Scale:

Drawn by:

Checked by:

Scale:

Scale:

A-2.2