



IN CITY COUNCIL

Marlborough, Mass., DECEMBER 16, 2019

ORDERED:

**IN CITY COUNCIL
NOTICE OF DECISION
GRANT OF SPECIAL PERMIT**

Special Permit Application of:
119 Ash Street, LLC
1 Turner Ridge Road
Marlborough, MA 01752
Order No. 19-1007809C

Locus:
19 Ash Street
Assessors Map 43, Parcel 29

DECISION

The City Council of the City of Marlborough hereby **GRANTS** the Application of 119 Ash Street, LLC with a mailing address of 1 Turner Ridge Road, Marlborough, MA, as provided in the DECISION and subject to the Findings of Fact and Conditions contained therein.

Decision date: **December 16, 2019.**

The Decision of the City Council was filed in the Office of the City Clerk of the City of Marlborough on the **18th** day of **December 2019.**

This is to certify that twenty (20) days have passed since the filing of the within decision and no appeal has been filed with this office.

Given at Marlborough this **8th** day of **January 2020.**

Given under Chapter 40A Section 17 of the General Laws.

A TRUE COPY
ATTEST:


City Clerk



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IN CITY COUNCIL

DECISION ON A SPECIAL PERMIT 119 ASH STREET, LLC

CITY OF MARLBOROUGH CITY COUNCIL ORDER NO. 19-1007809C

The City Council of the City of Marlborough hereby **GRANTS** the Application for a Special Permit to 119 Ash Street, LLC (the "Applicant") to alter a preexisting nonconforming contractor's yard use to an 11-unit residential townhouse project and to convert an existing single-family dwelling to a two-family dwelling at 19 Ash Street, Marlborough, MA, as provided in this Decision and subject to the following Findings of Fact and Conditions.

FINDINGS OF FACT

1. 119 Ash Street, LLC is a Massachusetts limited liability company with an address of 1 Turner Ridge Road, Marlborough, MA (the "Applicant.")
2. The Applicant is the prospective owner of the property located at 19 Ash Street, Marlborough, Massachusetts, being shown as Parcel 29 on Assessors Map 43 (the "Site").
3. In accordance with Article IV, Section 650-12.B, and Article V, Section 650-17 and Section 18.A(2), of the Zoning Ordinance of the City of Marlborough (the "Zoning Ordinance"), the Applicant proposes to alter a preexisting nonconforming contractor's yard use to an 11-unit residential townhouse project and to convert an existing single-family dwelling to a two-family dwelling at the Site (the "Use"). As shown on the Site Plan referenced in paragraph 5 below, the Use consists of six buildings with 13 two-bedroom units, 49 parking spaces (26 spaces in unit garages and 23 driveway spaces), and landscaped areas.
4. The Applicant, by and through its counsel, filed with City Clerk of the City of Marlborough an Application for a Special Permit ("Application") for the Use.



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5. In connection with the Application, the Applicant submitted a certified list of abutters, filing fees, and a detailed site plan entitled "Trailside Terrace, Marlborough, MA, Site Plan" by Bruce Saluk & Assoc., Inc, with the last revision date of November 12, 2019 (the "Site Plan"), and architectural drawings by Reeves Design Associates, attached hereto as "Attachment A."
6. The Application was certified by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, as having complied with Rule 4, items (a) through (m), of the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.
7. The Site, which abuts the Assabet River Rail Trail, has an area of 84,379 square feet +/- and frontage on Ash Street, as shown on the Site Plan.
8. The Site is located in the A-3 Residential Zoning District.
9. The Site currently contains (i) a single-family dwelling constructed in the late 1700s with a floor area of 3,469 square foot +/- (not including basement rooms or open attic space), and (ii) a preexisting nonconforming contractor's yard, commenced prior to the adoption of the Marlborough Zoning Ordinance in 1956.
10. The Site is preexisting nonconforming with respect to lot coverage, having total impervious areas of 66% (the A-3 District has a maximum lot coverage of 30%).
11. The Site Plan shows that the lot coverage associated with the 11-unit residential townhouse portion of the Use (Lot 1 on the Site Plan) would be 51%, and the lot coverage associated with the two-family dwelling portion of the Use (Lot 2 on the Site Plan) would be 33%.
12. Section 650-17 and Section 18.A(2) of the Zoning Ordinance provide that a single-family dwelling existing at the time of the passage of the original Zoning Ordinance in 1956 may, by special permit, be converted to accommodate two families, provided that:
 - a. The house contains at least 1,800 square feet of gross floor area, not including basement rooms or open attic space;
 - b. The lot has an area of at least 10,000 square feet in the A-3 Zoning District;
 - c. The appearance and character of a single-family house is preserved; and
 - d. Stairways, unless on the rear of the building, shall be located within the walls of the building and, on corner lots, shall be within the walls of the building.



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13. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.
14. The Marlborough City Council, pursuant to Massachusetts General Laws Chapter 40A, opened a public hearing on the Application on Monday, November 18, 2019. The hearing was closed on that date.
15. The Applicant, through its representatives, presented testimony at the public hearing detailing the Use, describing its impact upon municipal services, the neighborhood, and traffic.
16. At the public hearing, one member of the public spoke in favor of the Use and no members of the public spoke in opposition to the Use.

**BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING
FINDINGS AND TAKES THE FOLLOWING ACTIONS**

- A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.
- B. The City Council finds that the alteration of the Site to contain an 11-unit residential townhouse community would not be substantially more detrimental to the neighborhood than the existing nonconforming contractor's yard use.
- C. The City Council finds that the preexisting nonconforming contractor's yard use has not been abandoned for a period of two years or more.
- D. The City Council finds that the proposed Use is not enlarged to more than 25% of the floor and ground area of the preexisting nonconforming contractor's yard use at the Site.



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- E. The City Council finds that the proposed two-family dwelling conversion meets the requirements of Section 18.A(2) of the Zoning Ordinance because (i) the current single-family dwelling existed at the time of the passage of the original Zoning Ordinance in 1956, (ii) the current single-family dwelling contains at least 1,800 square feet of gross floor area not including basement rooms or open attic space, (iii) the portion of the Site available for the proposed two-family dwelling conversion has an area of at least 10,000 square feet in the A-3 Zoning District, (iv) the appearance and character of the single-family dwelling will be preserved based upon the architectural drawings provided in Attachment A, and (v) stairways associated with the two-family dwelling conversion will be located within the walls of the building.
- F. The City Council finds that the proposed Use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.
- G. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby **GRANTS** the Applicant a Special Permit to alter a preexisting nonconforming contractor's yard use to an 11-unit residential townhouse project and to convert an existing single-family dwelling to a two-family dwelling at the Site as shown on the Site Plan filed, **SUBJECT TO THE FOLLOWING CONDITIONS**, which conditions shall be binding on the Applicant, its successors and/or assigns:
1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts and shall be built according to the Site Plan as may be amended during Site Plan Review.
 2. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review by the Site Plan Review Committee in accordance with the City of Marlborough Site Plan Review Ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications or amendments, as required during the process of Site Plan Review, shall be further conditions attached to the building permit, and no occupancy permit shall be issued until the Applicant has complied with all conditions. Subsequent Site Plan Review shall be consistent with the conditions of this Special Permit and the Site Plan submitted, reviewed and approved by the City Council as the Special Permit Granting Authority.



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3. Modification of Plans. Notwithstanding conditions #1 and #2 above, the City Council or the Site Plan Review Committee may make engineering changes to the Plans, so long as said changes do not change the Use as approved herein, or materially increase the impervious area of the Use, reduce the green area, alter traffic flow, or increase the size, shape, or position of the buildings, all as shown on the Site Plan.
4. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.
5. Storm Water and Erosion Control Management. The Applicant, its successors and/or assigns, shall ensure that its site superintendent during construction of the project is competent in stormwater and erosion control management. This individual(s)' credentials shall be acceptable to the Engineering Division of the City's Department of Public Works and the City's Conservation Commission. This individual(s) shall be responsible for checking the Site before, during, and after storm events including weekends and evenings when storms are predicted. This individual(s) shall ensure that no untreated stormwater leaves the Site consistent with the State's and the City's stormwater regulations. This individual(s) shall ensure compliance with the approved sequence of construction plan and the approved erosion control plan. The Applicant, its successors and/or assigns, shall grant this individual(s) complete authority of the Site as it relates to stormwater and erosion controls.
6. Lighting. Exterior lighting at the Site shall be downward facing and shielded to minimize impacts on neighboring properties, with a lighting plan for the Site to be reviewed and further conditioned during the Site Plan Review process.
7. Screening for Abutters. As part of the Use, the Applicant shall provide vegetated screening along the eastern side of the Site and shall install new or replacement fencing adjacent to the property at 212 Hudson Street, to screen the Use from abutting properties, with the final details of the landscaping and fencing plan to be addressed during the Site Plan Review process.
8. Pedestrian Access to Rail Trail. As part of the Site Plan Review process, the Applicant shall address pedestrian access from the Site to the abutting Assabet River Rail Trail.



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9. Sight Line Easement Area. As part of the Site Plan Review process, the Applicant shall provide a landscaping plan deemed acceptable to the Site Plan Review Committee that does not interfere with the sight line easement held by the City over portions of the Site. This Special Permit does not authorize any interference with any easement rights, and Applicant acknowledges that certain Grant of Easement to the City dated December 7, 2005. As a condition of this special permit, the Applicant agrees that they shall maintain the area shown on a plan referenced in said easement and also shown in the Plans as the “municipal easement” or “city easement” area for the benefit of the City and agree that they shall not place any item on said area that shall be in excess of two (2’) feet in height. This shall include, but not be limited to, any manmade structure and any natural vegetation. The Applicant shall keep any vegetation in said area trimmed to prevent said growth from exceeding two (2’) feet in height. All vegetation, trees, shrubs, bushes, plants, walls, fences and any other item located within said area which exceeds two feet six inches (2’6”) in height shall be removed.
10. Trailside Landscaping and Maintenance. The Applicant shall provide landscaped areas featuring a variety of flower types along the Site’s boundary with the Assabet River Rail Trail, with a landscaping plan deemed acceptable to the Site Plan Review Committee through the Site Plan Review process. The Applicant shall be responsible for maintaining these landscaped areas in a manner deemed acceptable to the Site Plan Review Committee through the Site Plan Review process.
11. Crosswalk Painting. Prior to the issuance of an occupancy permit for the Use, or at such later time if authorized by the City Engineer, the Applicant shall repaint the crosswalk of the Assabet River Rail Trail on Ash Street in a manner approved by the City Engineer.
12. Ash Street Traffic. As part of the Site Plan Review process, the Applicant shall address any traffic impacts of the Use with respect to Ash Street.
13. Recording of Decision. In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council’s office, the Building Department, and the City Solicitor’s office.



IN CITY COUNCIL

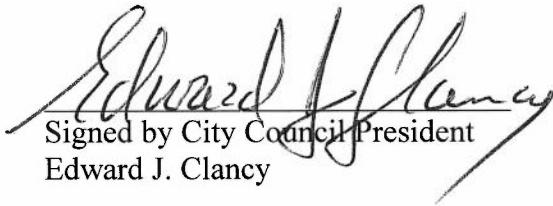
Marlborough, Mass., DECEMBER 16, 2019

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ORDERED:

Yea: 11 – Nay: 0

Yea: Delano, Doucette, Dumais, Tunnera, Irish, Clancy, Landers, Juair, Oram, Ossing & Robey.


Signed by City Council President
Edward J. Clancy

ADOPTED
In City Council
19-1007809C

ATTACHMENT

A

TRAILSIDE TERRACE MARLBOROUGH, MA

— SITE PLAN —

CITY COUNCIL SPECIAL PERMIT # _____

PLANS LISTED ON THIS SHEET WITH REVISION DATES AS SHOWN

APPROVED:

CITY COUNCIL: _____ DATE: _____

SITE PLAN APPROVAL # _____

PLANS LISTED ON THIS SHEET WITH REVISION DATES AS SHOWN

APPROVED:

ENGINEERING: _____ DATE: _____

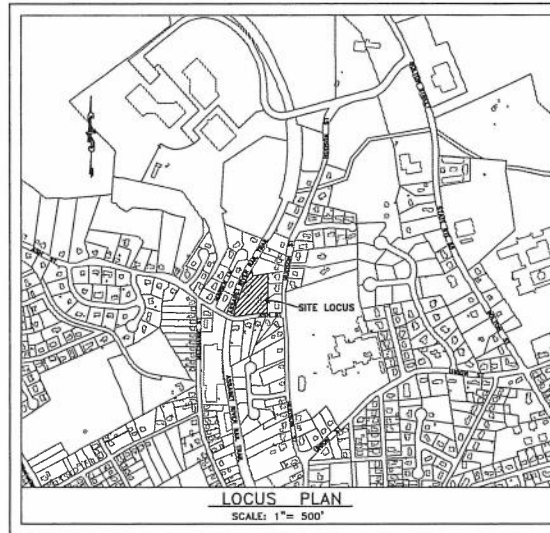
BUILDING: _____ DATE: _____

CONSERVATION: _____ DATE: _____

FIRE DEPT.: _____ DATE: _____

POLICE DEPT.: _____ DATE: _____

BOARD OF HEALTH: _____ DATE: _____



SHEET INDEX

	DATE	REVISION DATE
EX: EXISTING CONDITIONS	9-19-19	-----
C1: LAYOUT PLAN	9-19-19	11-12-19
C2: GRADING & EROSION CONTROL PLAN	9-19-19	11-12-19
C3: DRAINAGE & UTILITIES PLAN	9-19-19	11-12-19
C4: SEWER & WATER PLAN	9-19-19	11-12-19
C5: PLANTING PLAN	9-19-19	11-12-19
C6: DETAIL SHEET	9-16-19	-----
C7: DETAIL SHEET	9-16-19	-----
C8: DETAIL SHEET	9-16-19	11-12-19
C9: DETAIL SHEET	11-12-19	-----

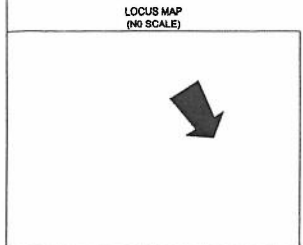
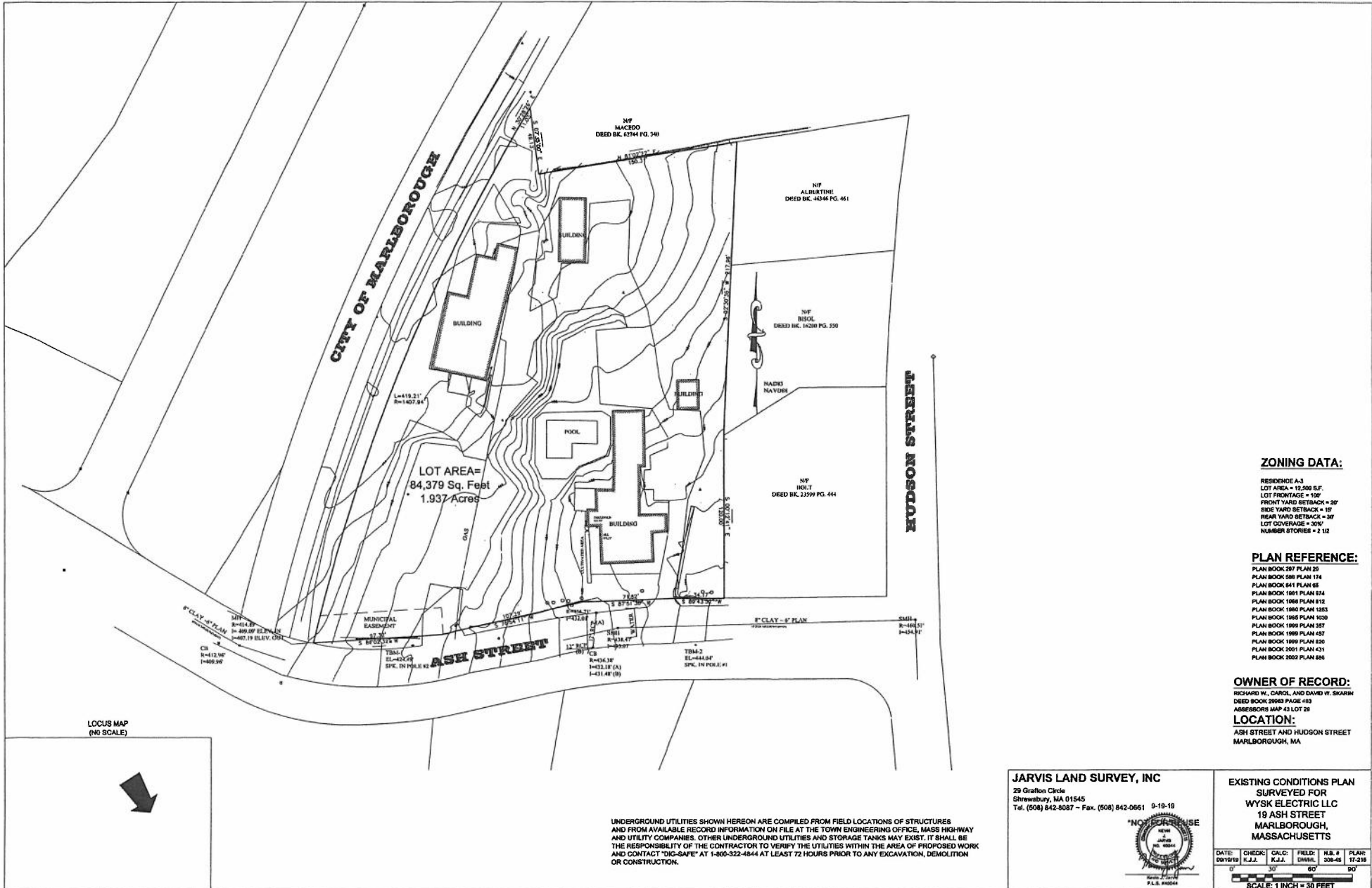
DEVELOPER:
119 ASH ST LLC
#19 ASH STREET
MARLBOROUGH, MA 01752
TEL: (508) 207-2875

OWNER:
DAVID SKARIN
#19 ASH STREET
MARLBOROUGH, MA 01752
TEL: (508) 207-2875

ARCHITECT:
REEVES DESIGN ASSOCIATES, INC.
79 HIGHLAND STREET MARLBOROUGH, MA 01752
TEL: (508) 460-0144

CIVIL ENGINEER:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752
TEL: (508) 485-1662

LAND SURVEYOR:
JARVIS LAND SURVEY, INC.
29 GRAFTON CIRCLE SHREWSBURY, MA 01545
TEL: (508) 842-8087 FAX: (508) 842-0661



UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICE, MASS HIGHWAY AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES AND STORAGE TANKS MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE UTILITIES WITHIN THE AREA OF PROPOSED WORK AND CONTACT "DIG-SAFE" AT 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.

ZONING DATA:

RESIDENCE A-3
 LOT AREA = 15,500 S.F.
 LOT FRONTAGE = 100'
 FRONT YARD SETBACK = 30'
 SIDE YARD SETBACK = 10'
 REAR YARD SETBACK = 30'
 LOT COVERAGE = 30%
 NUMBER STORIES = 2 1/2

PLAN REFERENCE:

- PLAN BOOK 287 PLAN 20
- PLAN BOOK 588 PLAN 174
- PLAN BOOK 641 PLAN 08
- PLAN BOOK 1901 PLAN 014
- PLAN BOOK 1908 PLAN 812
- PLAN BOOK 1980 PLAN 1283
- PLAN BOOK 1985 PLAN 1020
- PLAN BOOK 1990 PLAN 287
- PLAN BOOK 1999 PLAN 457
- PLAN BOOK 1999 PLAN 820
- PLAN BOOK 2001 PLAN 421
- PLAN BOOK 2022 PLAN 686

OWNER OF RECORD:

RICHARD W. CAROL AND DAVID W. SEARNS
 DEED BOOK 29683 PAGE 413

LOCATION:

ASH STREET AND HUDSON STREET
 MARLBOROUGH, MA

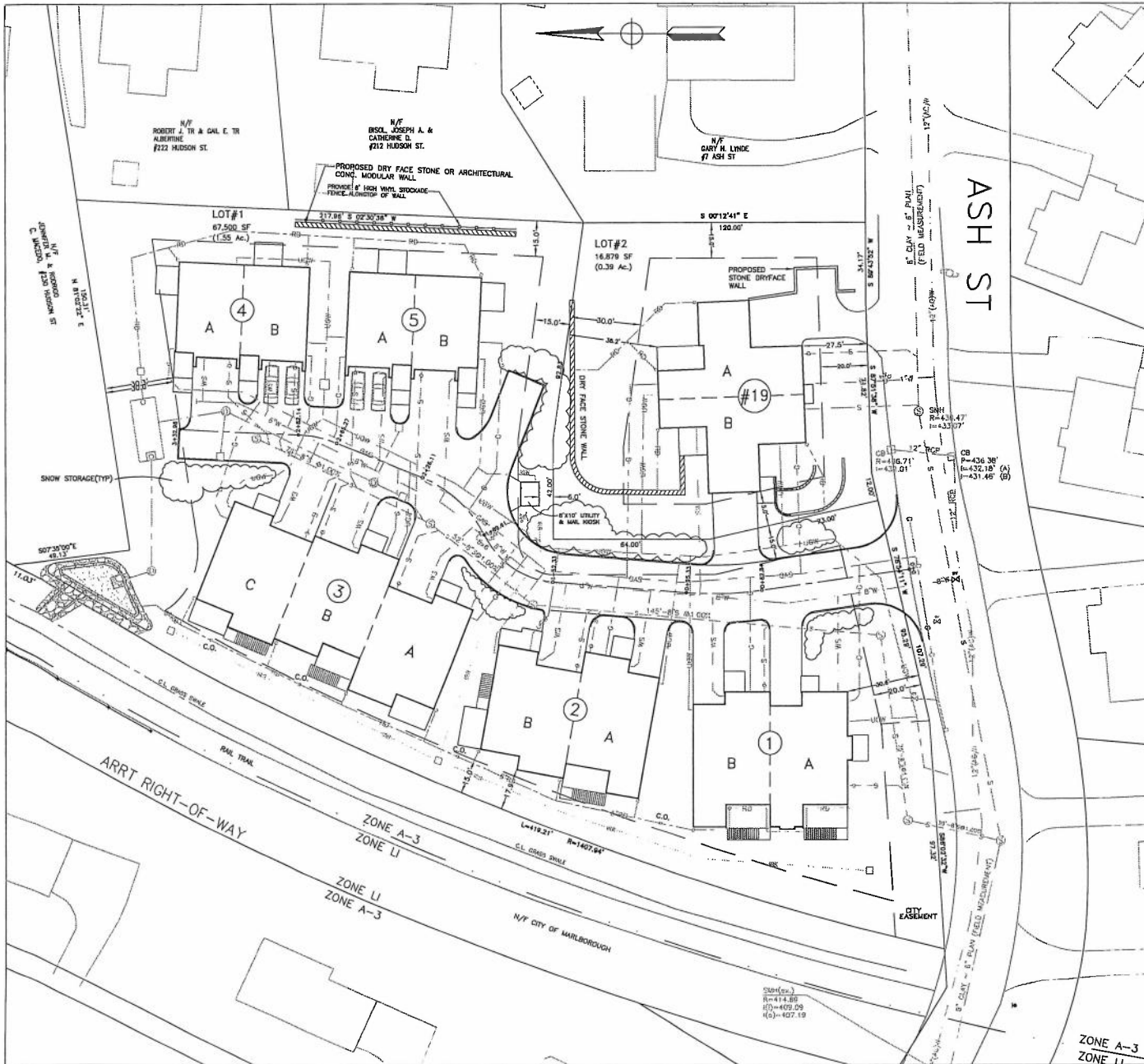
JARVIS LAND SURVEY, INC
 29 Grafton Circle
 Shrewsbury, MA 01545
 Tel. (508) 842-8087 - Fax. (508) 842-0661 9-19-10



**EXISTING CONDITIONS PLAN
 SURVEYED FOR
 WYSK ELECTRIC LLC
 19 ASH STREET
 MARLBOROUGH,
 MASSACHUSETTS**

DATE	CHECK	CALC	FIELD	P.L.#	PLAN
DATE	P.L.#	P.L.#	DATE	DATE	IT.#

SCALE: 1 INCH = 30 FEET



NOTES:

- 1) PROPOSED UNIT AREA SCHEDULE:

FLOOR	#1 LOT#1	GROSS SF AREA/UNIT #1 THRU #7	#8 THRU #11	UNITS AT HISTORIC HOUSE
BASMT	1250	1300	707*	730(+440 GAR.)
1ST FLOOR	1250*	1300*	1120	1052(+440 GAR)
2ND FLOOR	900	900	1000	900
ATTIC	N/A	N/A	N/A	300

* AREA SHOWN PLUS 410 SF GARAGE
 ** ALL BUILDING SHALL BE 2.5 STORIES OR LESS
- 2) ANY MINOR MODIFICATIONS, AS DETERMINED BY THE CITY ENGINEER, TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED. THE CONTRACTOR SHALL BE PROPERLY LICENSED AND BONDED WITH THE CITY PRIOR TO CONSTRUCTION, AND SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT OF WAY.
- 3) ALL PROPOSED SIGNAGE SHALL COMPLY WITH THE EXISTING CITY OF MARLBOROUGH SIGN ORDINANCE.
- 4) CURBING TYPE & ENTRANCES SHOWN ARE SUBJECT TO APPROVALS BY THE CITY OF MARLBOROUGH PER THE ROAD OPENING PERMIT REQUIREMENTS.
- 5) ALL MATERIALS/CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE CODE OF THE CITY OF MARLBOROUGH. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY CONSERVATION COMMISSION REQUIREMENTS
- 6) CITY INSPECTORS REQUIRE A MINIMUM NOTICE OF 24 HOURS PRIOR TO INSPECTION.
- 7) REFER TO THE GRADING PLAN NOTES CONCERNING EROSION CONTROL.
- 8) REFER TO THE ARCHITECTS PLAN FOR BUILDING AREA & SCENCE LIGHTING AND SIGNAGE.
- 9) A PRE-CONSTRUCTION MEETING IS REQUIRED BETWEEN THE DEVELOPER, CONTRACTOR, POLICE AND FIRE DEPARTMENTS. A TRAFFIC MANAGEMENT PLAN SHALL BE SUBMITTED TO THE CITY OFFICIALS 5 DAYS PRIOR TO THE MEETING.

ZONING SCHEDULE

ZONE DISTRICT: RESIDENCE A-3
 THIS LOT IS LISTED AS ASSESSORS MAP 43, PARCEL #29

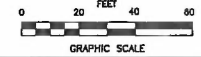
LOT INTENSITY SCHEDULE	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2
LOT AREA	12,500 SF	67,500 SF	16,879 SF
LOT FRONTAGE	100'	192.61'	117.98'
LOT COVERAGE	30% (MAX.) *	51%*	33%*
BUILDING HEIGHT (MAX.)	2 1/2 STORIES	2 1/2 STORIES	2 1/2 STORIES
FRONT YARD SETBACK	20'	30.6'	27.5'
SIDE YARD SETBACK	18'	17.9'	15.0'
REAR YARD SETBACK	30'	30.3'	31.0'

PARKING SCHEDULE	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2
2 BEDROOM UNITS	3 SPACES/EACH	3 UNITS @ 3 EACH	N/A
2 BEDROOM UNITS	3 SPACES/EACH	8 UNITS @ 4 EACH	2 UNITS @ 4 EACH

DRIVEWAY SCHEDULE	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2
GRADE FROM EX. EDGE OF RD. TO RD. W.	±2.00%	±2.00%	N/A
GRADE FROM 0' TO 15'	±3%	±3%	N/A
OUTSIDE STREET R.O.W.	±12%	±12%	N/A
GRADE BEYOND 15' STREET R.O.W.	±12%	±12%	N/A
DISTANCE BETWEEN DRIVES	50'(MIN.)	>50'	N/A

LANDSCAPING SCHEDULE	REQUIRED	PROPOSED	PROPOSED	
	LOT#1	LOT#2	LOT#1	LOT#2
FRONTAGE PLANTING WIDTH	25'	21'	25'	21'
SIDE LINE PLANTING WIDTH	7'	5'	7'	5'
DRIVE & TURNING ASILE PLANTING WIDTH	7'	7'	7'	7'
SIGHT TRIANGLE	25'	25'	>25'	>25'

FOOTNOTES:
 * THE EXISTING COVERAGE IS 68% (85,300 SF)



NO.	DATE	BY	DESCRIPTION
1	1/24/24	SPIC. COMMENTS	
2	1/24/24	CHANGED ALL UNITS TO 2 BEDROOM	
3	1/24/24	CHANGED FROM 2 TO 1 UNIT	
4	1/24/24	CHANGED FROM 2 TO 1 UNIT	

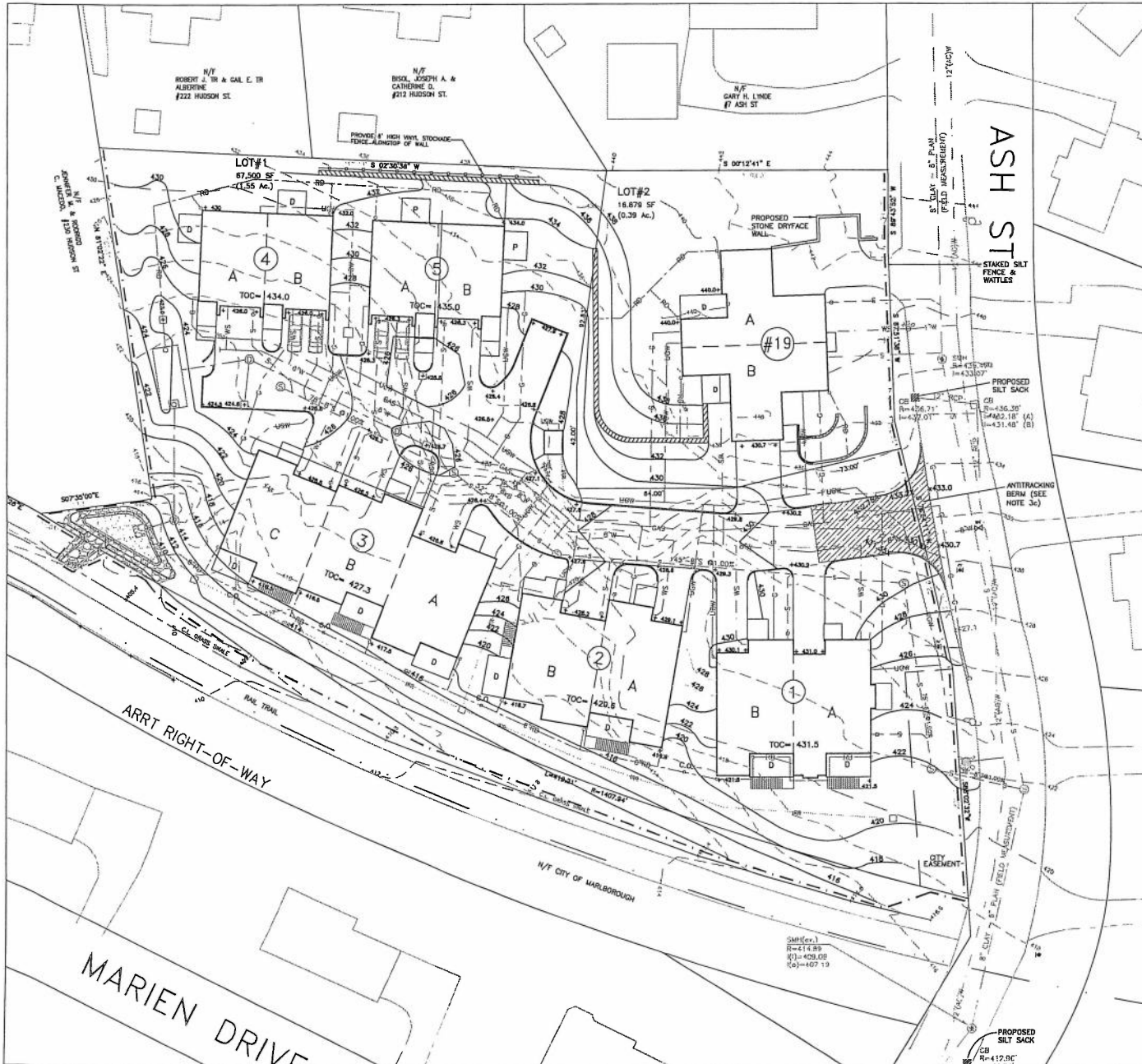
PREPARED BY:
 BRUCE SALKU & ASSOC., INC.
 CIVIL ENGINEERING
 578 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752

LAYOUT PLAN
 -TRAILSIDE TERRACE-
 #19 ASH STREET
 MARLBOROUGH, MA



PREPARED FOR:
 19 ASH ST LLC
 MARLBOROUGH, MA 01752
 DATE: SEPTEMBER 19, 2019

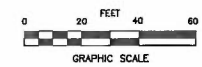
C1
 18.07244.00



GRADING & EROSION CONTROL NOTES:

- 1.) The elevations shown are based on Mean Sea Level datum (1988 N.A.M.D.)
- 2.) All work, material storage & stockpile areas shall include erosion control barriers consisting of staked haybales, wattles and alliteration fence to prevent erosion onto the public way and adjoining properties.
- 3.) Prior to commencing work, the contractor shall familiarize himself with the soil types on the site, and provide the appropriate erosion control measures, as outlined on the plan and required by the Marlborough Conservation Commission agent. The contractor shall be responsible for providing erosion and temporary storm runoff control measures that include siltation fence, wattles, dams, ditches, temporary sediment basins, etc. as necessary to contain soil and excess runoff on the site.
The general sequence of erosion control measures shall be as follows:
 - a) Install all alliteration fencing and staked wattles where shown on the plan. Install all stakes in the existing CB's where shown.
 - b) Construct a sedimentation trap down gradient of the excavation area during the construction earthwork stage. Construct other temporary sedimentation trap(s) where required at the beginning stage of earthwork. Retain storm water within the traps(s), and filter the water using silt bags or other approved means prior to discharge. Periodically remove sediment at bottom of the all traps to remove sediment at bottom of the all traps to allow for natural infiltration.
 - c) Construct the anti-tracking berm at the site entrance consisting of a 3/4"-5" crushed stone 12' depth by 50' long times the width of all traveled construction accesses. The stone shall project above grade to form a berm barrier that prevents sediment from washing into adjoining properties and the public road.
 - 4.) Material from the existing structures designed to be demolished shall be stockpiled, transported, disposed of or reprocessed in accordance with state and federal regulations.
 - 5.) Provide excavation & trench wall protection in accordance with OSHA Standards.
 - 6.) Soil stabilization measures shall be implemented immediately after finish grading. Loam and seed shall be applied as soon as reasonably possible.

LEGEND	
--- 322 ---	Ex. 2' Contour
--- 288 ---	Ex. 10' Contour
⊙ ⊙	Sewer & Drain (ex.) Manhole Locations
--- (5x2)S ---	Sanitary Sewer (ex.)
□	Catch Basin (ex.)
--- 12" RCP ---	Drain Line (ex.)
--- 4HW ---	Overhead Electric Wire (ex.)
⊙ ⊙	Utility Pole (ex.) & Light Pole
⊙ ⊙ ⊙	Gas Valve, Hydrant, Water Shutoff
--- 4" W ---	Water Line (ex.)
--- Gas ---	Gas Service (ex.)
⊙	Gas Gate (ex.)
---	Sloped granite Curb (Proposed)
---	No Curb Proposed



NO.	DATE	DESCRIPTION
1	11/24/21	SPIC CONSULTS
2		
3		
4		
5		

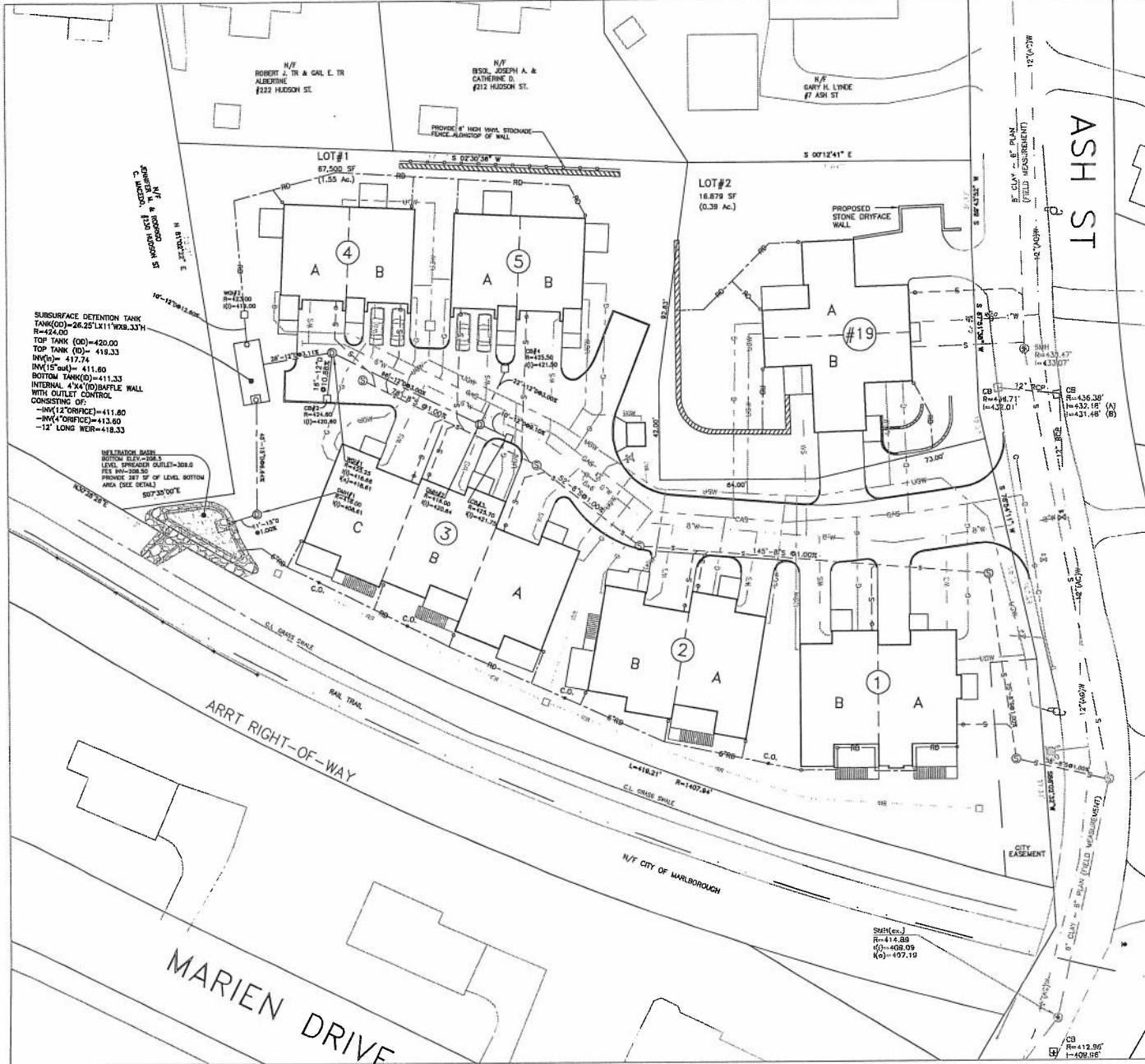
PREPARED BY:
 BRUCE SALKU & ASSOC., INC.
 CIVIL ENGINEERING & LAND SURVEYING
 100 STATE STREET
 MARLBOROUGH, MA 01752

**GRADING PLAN
 -TRAILSIDE TERRACE-
 #19 ASH STREET
 MARLBOROUGH, MA**



PREPARED FOR:
 119 ASH ST LLC
 19 ASH STREET
 MARLBOROUGH, MA 01752
 DATE: SEPTEMBER 19, 2019

C2



SURFACE DETENTION TANK
 TANK (OD)=26.25'x11'x3.13'
 R=42.00
 TOP TANK (OD)=420.00
 TOP TANK (ID)= 418.33
 INV(H)= 417.74
 INV(L)=411.80
 BOTTOM TANK(OD)=411.33
 INTERNAL 4"x4" (ID) BAFFLE WALL
 WITH OUTLET CONTROL
 CONSISTING OF:
 -1"X12" (ORPC)=411.80
 -1"X4" (ORPC)=413.60
 -12" LONG WER=418.33

INFORMATION SIGN
 BOTTOM ELEVATION=309.0
 LEVEL SPREADER OUTLET=309.0
 SEE INV=309.00
 PROVIDE 287 SF OF LEVEL BOTTOM
 AREA (SEE DETAIL)
 507.33' ODT

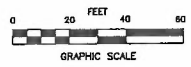
MARIEN DRIVE

DRAINAGE NOTES:

1. Materials and construction and associated work shall conform to Mass. DPW Standard Specifications. Refer to the document entitled Standard Specifications for Highways and Bridges, 1988 as amended.
2. Manholes & Catch Basins shall be reinforced precast concrete conforming to ASTM Specification Section C478-70T.
3. Manhole frames & covers shall be East Jordan Iron Works. See detail sheet for Product numbers.
4. Provide pipe joint a maximum of 3' from manhole walls.
5. Reinforcing for all precast units shall conform to ASTM Specification Section A 185 and shall include reinforcing in ball joint of river sections. Reinforcing shall be placed in accordance with AASHTO Designation M198.
6. In the event that rock is encountered, the contractor shall maintain a 12-inch minimum separation between the pipe and the rock.
7. Suitable backfill material shall be select excavated material from which frozen material, burnus, peat, roots, vegetation, trash, rocks, and stones longer than 6-inches have been removed.
8. Compaction of backfill material between centerline of pipe and trench pavement shall be done in 12-inch layers, or less, as required to prevent trench settlement. The contractor will be responsible for excessive trench settlement following final paving.
9. Utilities shown on this plan are partly from existing available City and utility Co. records information and are approximate only. There may be existing lines other than those shown hereon. The contractor shall be required to contact the proper utility companies & Digsafe prior to beginning any construction on the site. Our firm does not warrant or guarantee the location of any utilities hereon.
10. Unless otherwise noted on the drawings, drain lines greater than 12 inches in diameter shall be reinforced concrete conforming to ASTM C-76 Class 4, Wall B circular reinforcement. Where specified, 12-inch through 48-inch diameter Class 3 drain lines shall be Wall B. The contractor may use HDPE pipe conforming to AASHTO designations M252 & M294 with call classification conforming to ASTM D3350. The pipe material shall meet or exceed type H-12 pipe manufactured by ADS pipe, Hilliard Ohio, or equal.
11. All Roof Drain runoff shall be directed to the drain system.

LEGEND

--- 999 ---	Ex. 2' Contour
--- 360 ---	Ex. 10' Contour
⊙ ⊙	Sewer & Drain (ex.) Manhole Locations
--- 45" (S) ---	Sanitary Sewer (ex.)
□	Catch Basin (ex.)
--- 12" RGP ---	Drain Line (ex.)
--- OHW ---	Overhead Electric Wire (ex.)
⊙ ⊙	Utility Hole (ex.) & Light Fix.
⊙ ⊙	Gate Valve, Hydrant, Water Shutoff
---	Water Line (ex.)
--- 48" ---	Gas Service (ex.)
---	Gas Gate (ex.)
---	Sloped granite Curb (Proposed)
---	No Curb Proposed



REV.	DATE	BY	DESCRIPTION

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 BRUCE SULLIVAN & ASSOC. INC.
 576 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752

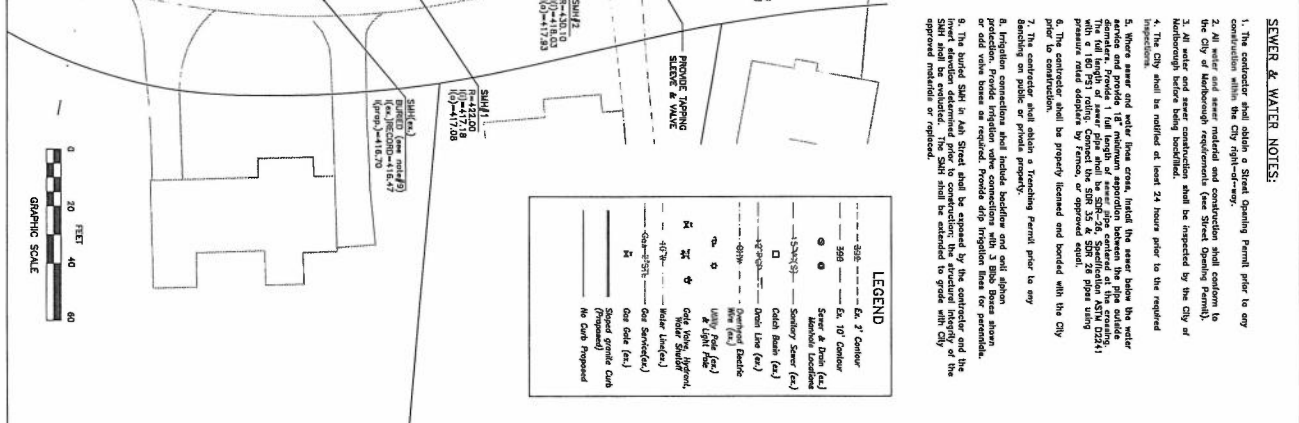
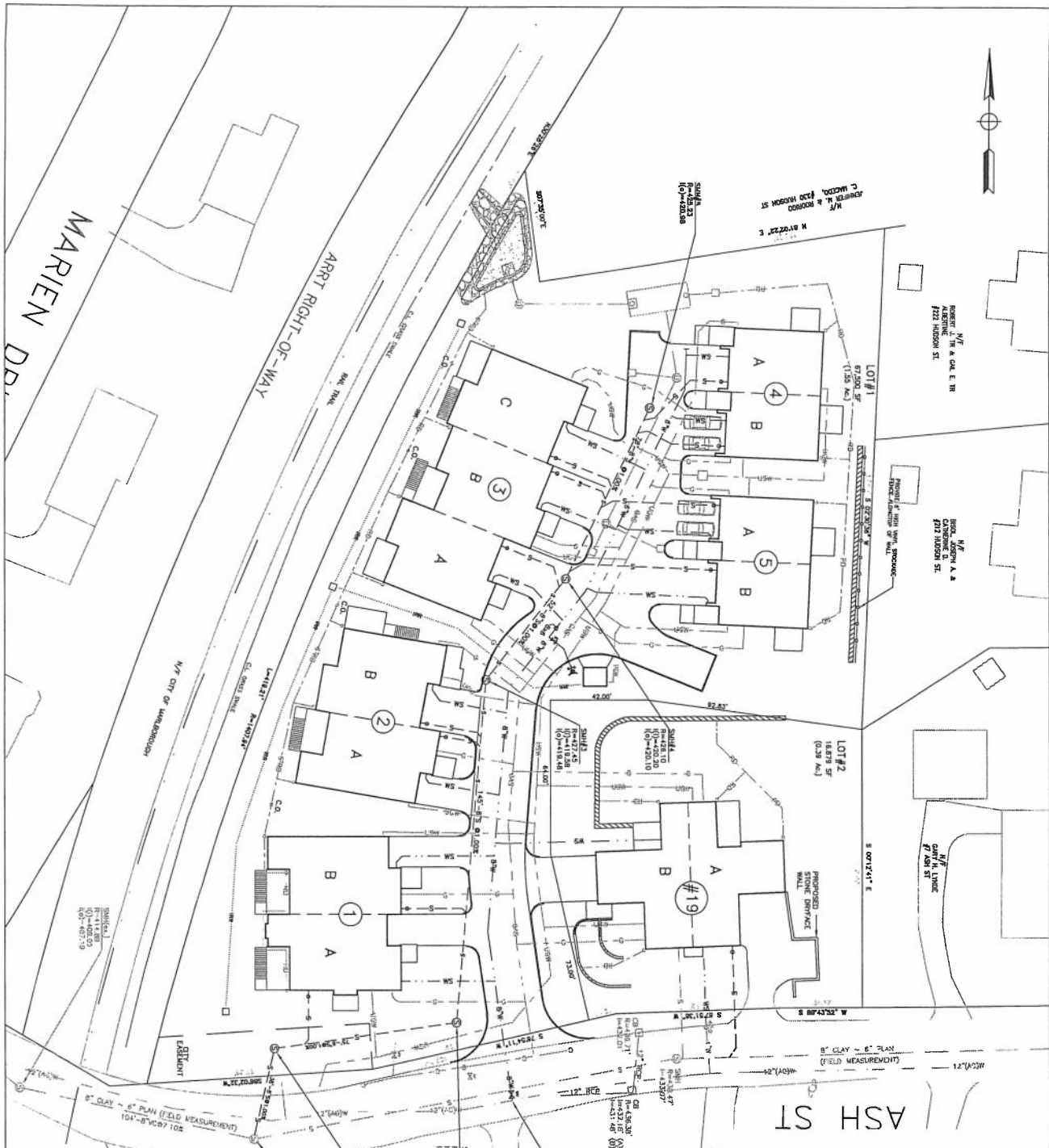
DRAINAGE & UTILITY PLAN
 -TRAILSIDE TERRACE-



PREPARED FOR: 119 ASH ST. LLC
 119 ASH STREET
 MARLBOROUGH, MA 01752
 DATE: SEPTEMBER 19, 2019

C3

REV. 10/19



C4

PREPARED FOR:
119 ASH ST LLC
19 ASH STREET
MARLBOROUGH, MA 01752
DATE: SEPTEMBER 19, 2019



SEWER & WATER PLAN
-TRAILSIDE TERRACE-
#19 ASH STREET
MARLBOROUGH, MA

PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
578 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752

NO.	DATE	DESCRIPTION	BY
1	11/12/19	SPIC COMMENTS	

SEWER & WATER NOTES:

- 1. The contractor shall obtain a Street Opening Permit prior to any construction within the City right-of-way.
- 2. All water and sewer material and construction shall conform to the City of Marlborough requirements (see Street Opening Permit).
- 3. All water and sewer construction shall be inspected by the City at all stages during construction.
- 4. The City will be notified at least 24 hours prior to the required inspection.
- 5. Where sewer and water flow cross, install the sewer below the water and provide 18" minimum separation between the pipes outside the trench. The water pipe shall be 18" minimum above the sewer pipe. This shall be provided at all crossings. The water pipe shall be 18" minimum above the sewer pipe. The water pipe shall be 18" minimum above the sewer pipe. The water pipe shall be 18" minimum above the sewer pipe.
- 6. The construction shall be properly fenced and sealed with the City approved materials or replaced.
- 7. The contractor shall obtain a Street Opening Permit prior to any construction on public or private property.
- 8. In-pipe construction shall include backflow and out-of-pipe protection. Provide fireproof when connection with 3" Bore Bore valves or other valves as required. Provide dip irrigation lines for protection.
- 9. The buried SMI in Ash Street shall be replaced by the contractor and the SMI shall be extended to grade with the City approved materials or replaced.



PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
BN	2	BETULA NIGRA	RIVER BIRCH	6 FT.
PT	1	POPULUS TREMULOIDES	QUAKING ASPEN	6 FT.
MX	18	MALUS X	PINK SPIRES	3" CALIPER
AR	4	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CALIPER
AA	35	THALIA OCCIDENTALIS	AMERICAN ARBORVITAE	6 FT
JU	5	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6 FT
SHRUBS				
RM	15	RHODODENDRON	AZALEA MOTHER'S DAY	2'-3'
RH	17	RHODODENDRON X 'P.J.M.'	P.J.M. RHODODENDRON	2'-3'
ES	30	JUNIPERUS HORIZONTALIS 'EMERALD SPENDRA'	CREeping JUNIPER	---
PERENNIALS				
RF	80	RUDEBECKIA FULGIDA	BLACK EYE SUSAN	---
HA	31	HOSTA	SUN TOLERANT HOSTA	---
DL	60	HEMEROCALLIS	DAYLILY	---
PV	44	PENNSYLVANIA ALCOPECUROIDES	DWARF FOUNTAIN GRASS	30"

1) PROVIDE BARK MULCH OR LOAM & SEED WHERE SHOWN ON PLAN (SEE LEGEND)
 2) PROVIDE ADDITIONAL PLANTINGS ALONG THE RAIL TRAIL (SEE NOTE #10).

PLANTING NOTES:

- FOR LOAM & SEED AREAS, PROVIDE 4" LOAM AND SEED MIX COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA.
- PROVIDE PLANTS OF SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
- FINAL PLANT LOCATIONS TO BE ADJUSTED IN FIELD AS NECESSARY TO PLANTING REQUIRED OFFSETS TO CONSTRUCTION APPURTENANCES AND UTILITIES, ETC.
- PLANTINGS ARE SUBJECT TO CHANGE DUE TO NURSERY STOCK AVAILABILITY, AS APPROVED.
- PLANTING AND WORKMANSHIP SHALL COMPLY WITH THE FOLLOWING:
 - STAKING MATERIALS TO BE REMOVED 1 YEAR AFTER PLANTING.
 - OWNER REPLACES PLANTS THAT DIE WITHIN 180 DAYS.
- AREAS THAT WILL REQUIRE COMPACTION OF SOILS WITHIN THE DRIP ZONE OF PROPOSED TREES, I.E. PROPOSED SIDEWALKS OR PAVEMENT, SHALL BE CONSTRUCTED WITH A STRUCTURAL SOIL SUITABLE FOR TREE GROWTH. SAID STRUCTURAL SOIL IS A TWO-PART SYSTEM CONSISTING OF 3/4"-1 1/2" CRUSHED STONE. THE 2ND PART CONSISTS OF 20% SILT OR CLAY LOAM TEXTURE AND 2-3% OF ORGANIC MATTER. THE SOIL AND STONE MIXTURE SHALL INCLUDE GELSCAPE HYDROGEL FACTIFIER. THE SOIL SHALL COMPLY WITH CII-STRUCTURAL SOIL SPECIFICATIONS AVAILABLE AT BKALTERAMEREO.COM, OR APPROVED EQUAL. THE STRUCTURAL SOIL QUANTITY SHALL BE 24" DEPTH FOR ALL AREAS BENEATH PROPOSED SIDEWALKS AND PAVEMENT WITH THE TREE DRIP ZONE.
- SAVE EXISTING TREES ALONG THE NORTH PROPERTY LINE (TYP.)
- MECHANICAL EQUIPMENT ON THE GROUND SHALL BE SCREENED. ELECTRICAL TRANSFORMERS SHALL BE SCREENED WITH P.J.M. RHODODENDRON, AZALEA AND/ OR AMERICAN ARBORVITAE.
- NO TREES, BRANCHES AND VEGETATION SHALL BE ALLOWED WHERE IT OBSTRUCTS THE VISION OF A MOTORIST'S ENTERING OR EXITING THE PROPOSED ROAD ON THE PROPERTY BETWEEN THE ROAD AND THE SIGHT LINE SHOWN SHALL BE USED AS A GUIDE TO DETERMINE WHERE THE OBSTRUCTION IS NOT ALLOWED, THEREFORE ONLY LOW SHRUBS, GROUND COVER AND GRASS IS PROPOSED FOR THOSE AREAS.
- THE DEVELOPER SHALL PROVIDE PLANTINGS ALONG THE RAIL TRAIL R.O.W. A PROPOSED NURSERY STOCK LIST OF PLANTINGS WITHIN THE R.O.W. SHALL BE SUBMITTED TO THE CITY FOR APPROVAL. QUANTITY, PLANT SELECTION AND LOCATION SHALL BE APPROVED BY THE CITY PRIOR TO PLANTING.

LEGEND

	Sloped granite Curb (Proposed)
	No Curb Proposed
	Planting area with Bark Mulch ground cover
	Loam & Seed
	Concrete Sidewalk

0 20 40 80
 FEET
 GRAPHIC SCALE

DATE	BY	REV.
11/17/21	ERIC COMAROFF	1

PREPARED BY:
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 MARLBOROUGH, MA 01752

PLANTING PLAN
 -TRAILSIDE TERRACE-
 #19 ASH STREET
 MARLBOROUGH, MA

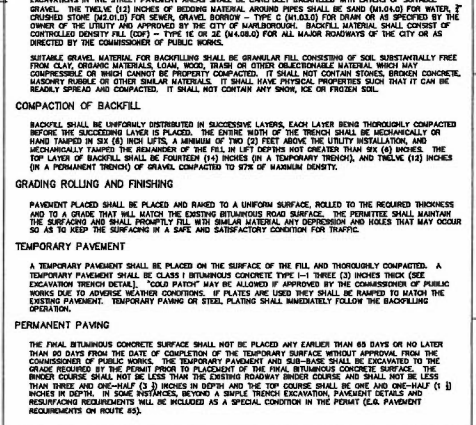
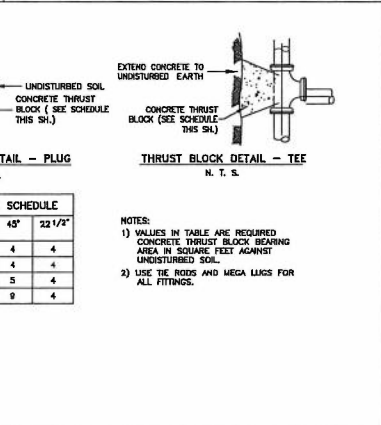
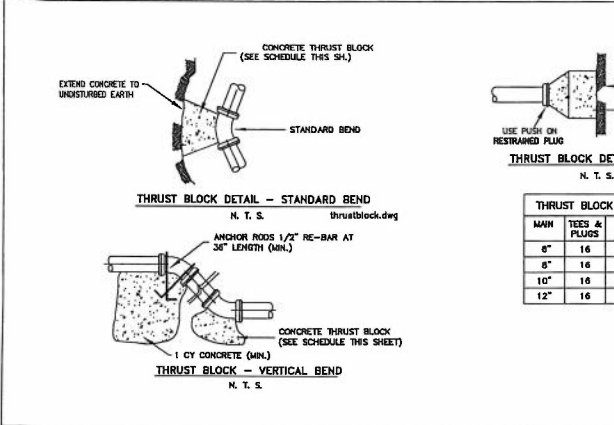
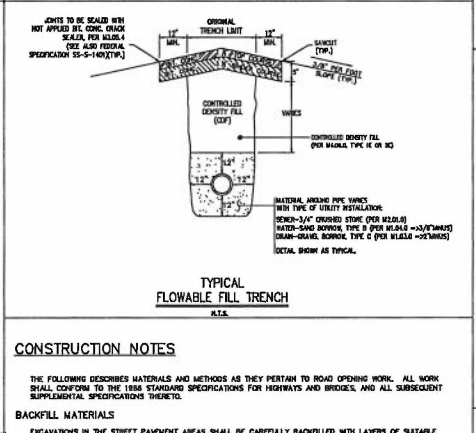
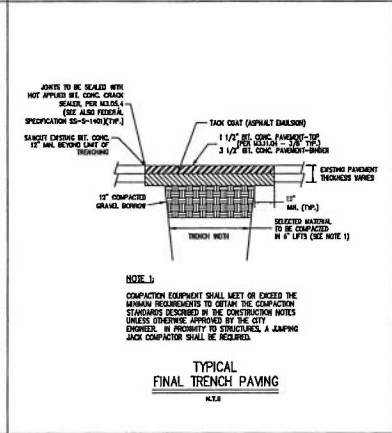
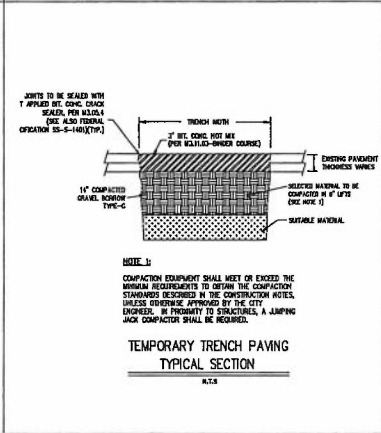
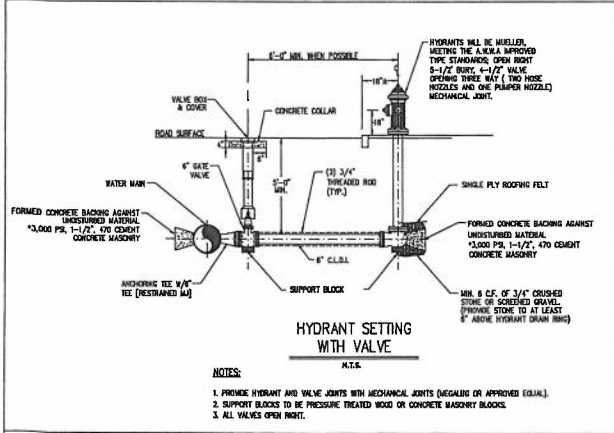
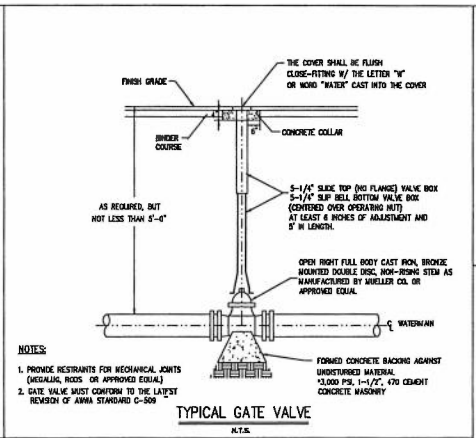
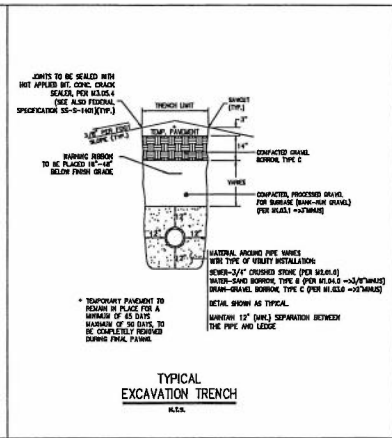
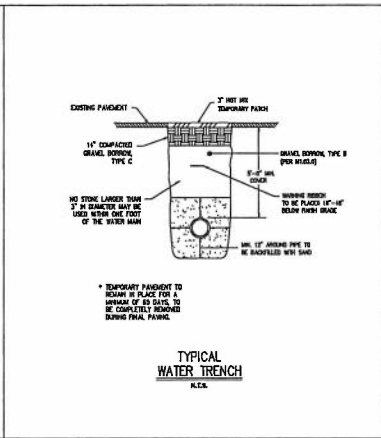
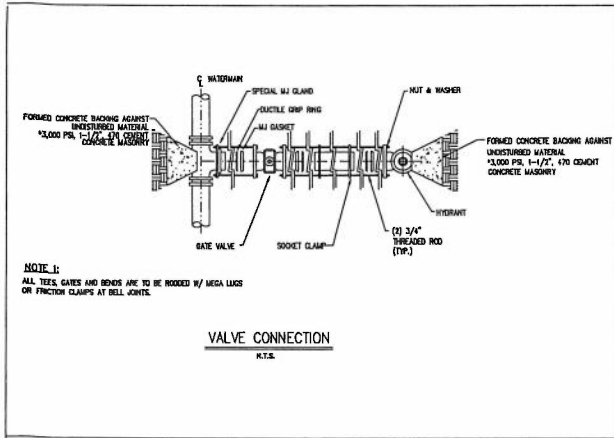


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 19 ASH ST LLC
 19 ASH STREET
 MARLBOROUGH, MA 01752

DATE: SEPTEMBER 19, 2019

C5

NLS 17144.dwg



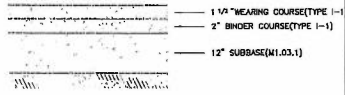
PREPARED BY: BRUCE SALUK & ASSOC., INC. CIVIL ENGINEERING & LAND SURVEYING 578 BOSTON POST ROAD EAST MARLBOROUGH, MA 01752

DATE: SEPTEMBER 16, 2019

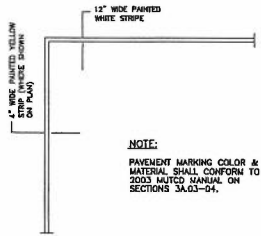
PROJECT: #19 ASH STREET MARLBOROUGH, MA

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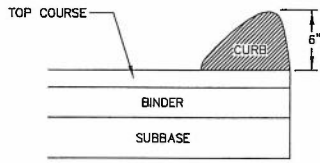
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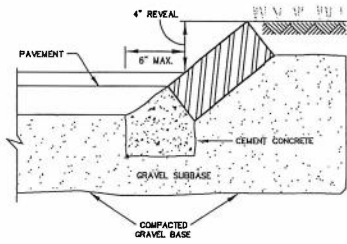
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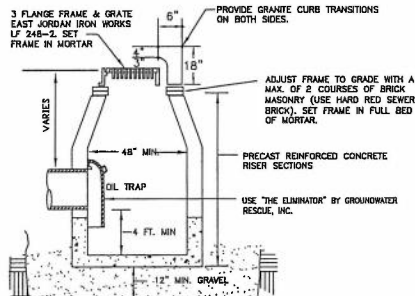
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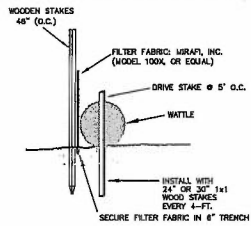
TYPE 2 BERM DETAIL
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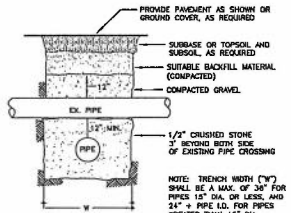
GRANITE CURBING DETAIL
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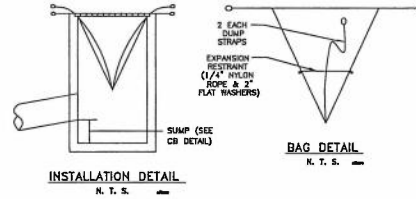
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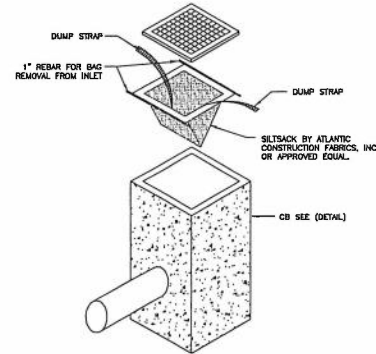
STAKED WATTLE DETAIL
N. T. S. Wattle AND all boxes.dwg



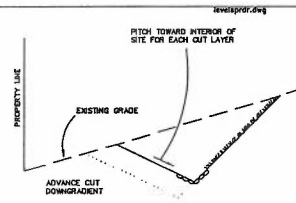
PIPE CROSSING DETAIL
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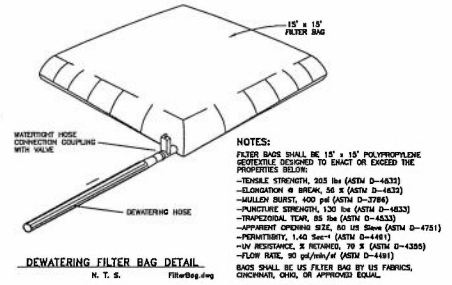
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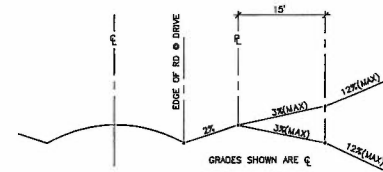
SILTSACK DETAIL
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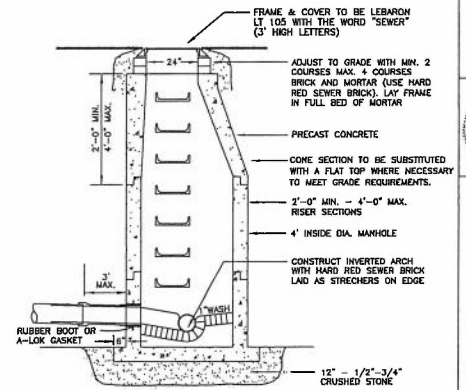
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DEWATERING FILTER BAG DETAIL
N. T. S. FilterBag.dwg



DRIVEWAY SECTION
N. T. S.



SEWER MANHOLE
N. T. S. smh.dwg

NO.	DATE	DESCRIPTION

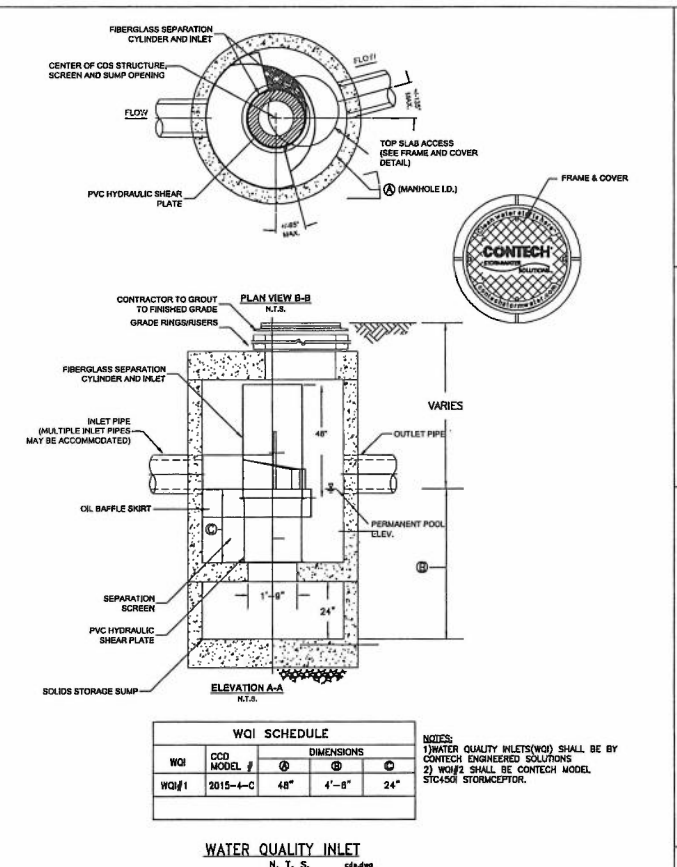
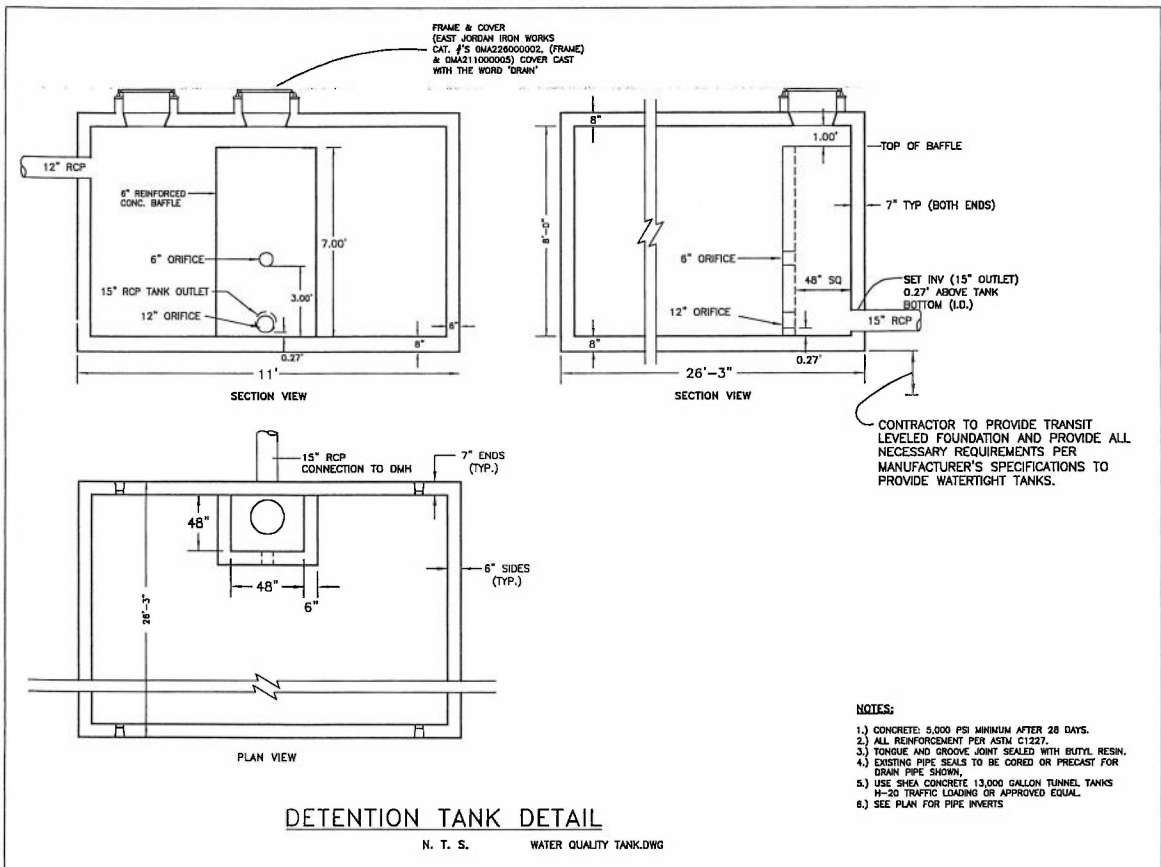
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CIVIL ENGINEERING & LAND SURVEYING
378 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752

DETAILS
—TRAILSIDE TERRACE—
#19 ASH STREET
MARLBOROUGH, MA



DATE: SEPTEMBER 16, 2019
PREPARED FOR:
119 ASH ST LLC
19 ASH STREET
MARLBOROUGH, MA 01752

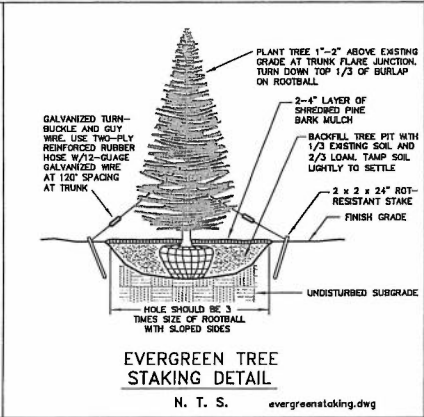
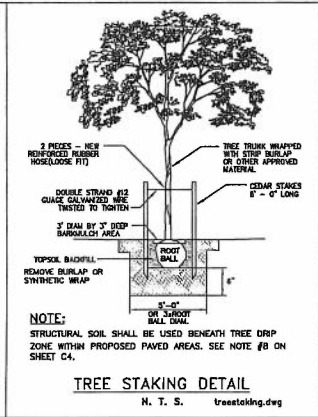
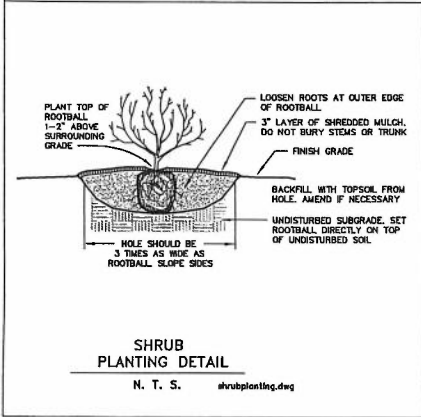
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NO.	REV.	DATE	BY	CHK.

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MARLBOROUGH, MA 01752

DETAILS TERRACE--
#19 ASH STREET
MARLBOROUGH, MA



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19 ASH STREET
MARLBOROUGH, MA 01752
DATE: SEPTEMBER 16, 2019

C8

T.O. FRDG

2ND CEILING

2ND FLOOR

1ST CEILING

MAIN FLOOR

T.O.F

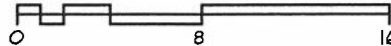
T.O. SLAB

B.O.F.



Bldg #1 - Unit "D" - Front/South Elevation from Ash St.

Reeves Design Associates Sept. 24, 2019

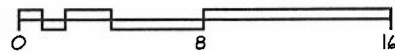




Bldg #1 - Units "D" & "A-1" - Right Side/East Elevation

Reeves Design Associates

Sept. 24, 2019

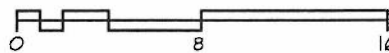




Bldg #2 - Units "A-2" & "B-2" - Front/East Elevation

Reeves Design Associates

Sept 24, 2019

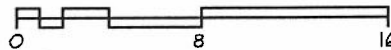




Bldg #2 - Units "B-2" & "A-2" - Rear/West - Rail Trail Elevation

Reeves Design Associates

Sept. 24, 2019





Bldg #1 - Units "A-1" & "D" - Left Side/West - Rail Trail Elevation

Reeves Design Associates

Sept. 24, 2019

