



IN CITY COUNCIL

Marlborough, Mass., DECEMBER 2, 2019

ORDERED:

IN CITY COUNCIL NOTICE OF DECISION GRANT OF SPECIAL PERMIT

Special Permit Application of:
Post Road Realty LLC
11 Unquowa Road
Fairfield, CT 06824
Order No. 19-1007762C

Locus:
107 Simarano Drive
Assessors Map 116, Parcels 5, 11 & 12

DECISION

The City Council of the City of Marlborough hereby **GRANTS** the Application of Post Road Realty LLC, with a mailing address of 11 Unquowa Road, Fairfield, CT, as provided in the DECISION and subject to the Findings of Fact and Conditions contained therein.

Decision date: **December 2, 2019.**

The Decision of the City Council was filed in the Office of the City Clerk of the City of Marlborough on the **4th** day of **December 2019.**

This is to certify that twenty (20) days have passed since the filing of the within decision and no appeal has been filed with this office.

Given at Marlborough this **26th** day of **December 2019.**

Given under Chapter 40A Section 17 of the General Laws.

A TRUE COPY
ATTEST:

City Clerk



IN CITY COUNCIL

Marlborough, Mass., DECEMBER 2, 2019

ORDERED:

PAGE 1

IN CITY COUNCIL

DECISION ON A SPECIAL PERMIT POST ROAD REALTY LLC

CITY OF MARLBOROUGH CITY COUNCIL ORDER NO. 19-1007762C

DECISION ON AN APPLIATION FOR SPECIAL PERMIT

The City Council of the City of Marlborough hereby **GRANTS** the Application for a Special Permit to Post Road Realty LLC (the "Applicant") to build and operate a two-phase 475-unit multifamily dwelling residential project at 107 Simarano Drive, as provided in this Decision and subject to the following Findings of Fact and Conditions.

FINDINGS OF FACT

1. The Applicant, Post Road Realty LLC, is a Connecticut limited liability company with an address of 11 Unquowa Road, Fairfield, CT 06824.
2. The Applicant is the prospective owner of the property located at 107 Simarano Drive, Marlborough, Massachusetts, being shown as Parcels 5, 11, and 12 on Assessors Map 116 (the "Site").
3. In accordance with Article VI, Section 650-36.D(2), of the Zoning Ordinance of the City of Marlborough (the "Zoning Ordinance"), the Applicant proposes to build and operate a two-phase 475-unit multifamily dwelling residential project at the Site, in two buildings with 677 on-site parking spaces, open areas, walking trails, and residential amenities (the "Use"). As shown on the Site Plan referenced in paragraph 7 below, the Use consists of two development phases: "Site 1" with 235 units and 354 parking spaces and "Site 2" with 240 units and 323 parking spaces.
4. The Site is located in the Executive Residential Overlay District, and the underlying zoning districts are Industrial and Limited Industrial.
5. The Site has an area of 1,873,840 square feet +/- as shown on the Site Plan referenced in paragraph 7 below.



IN CITY COUNCIL

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ORDERED:

6. The Applicant, by and through its counsel, filed with City Clerk of the City of Marlborough an Application for a Special Permit (“Application”) for the Use.
7. In connection with the Application, the Applicant submitted a certified list of abutters, filing fees, and the following plans: (i) a detailed site plan entitled “Green District Special Permit and Site Plan Approval” by Hancock Associates, comprised of Sheets 1 through 32, with the last revision date of November 12, 2019 (the “Site Plan”); (ii) a set of architectural plans entitled “Green District” by Bargmann Hendrie + Archetype, Inc., comprised of Sheets A100, A101, A102, A200, A201, A202, and A300, with the last revision date of November 12, 2019; and (iii) a set of landscaping plans entitled “Green District” by Eric Rains Landscape Architecture, LLC, comprised of Sheets SPL-1.0, SPL-1.1, SPL-2.0, SPL-2.1, SPL-3.0, and SPL-3.1, with the last revision date of November 12, 2019 (collectively with the Site Plan, the “Plans”), attached hereto as **“Attachment A.”**
8. The Application was certified by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, as having complied with Rule 4, items (a) through (m), of the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.
9. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.
10. The Marlborough City Council, pursuant to Massachusetts General Laws Chapter 40A, opened a public hearing on the Application on Monday, October 7, 2019. The hearing was closed on that date.
11. The Applicant, through its representatives, presented testimony at the public hearing detailing the Use, describing its impact upon municipal services, the neighborhood, and traffic.
12. At the public hearing, no members of the public spoke in opposition to the Use.

BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING FINDINGS AND TAKES THE FOLLOWING ACTIONS

- A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.



IN CITY COUNCIL

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ORDERED:

- B. The City Council finds that the proposed Use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.
- C. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby **GRANTS** the Applicant a Special Permit to build and operate a two-phase 475-unit multifamily dwelling residential project as shown on the Plans filed, **SUBJECT TO THE FOLLOWING CONDITIONS**, which conditions shall be binding on the Applicant, its successors and/or assigns:
1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts and shall be built according to the Plans as may be amended during Site Plan Review.
 2. Compliance with Applicable Laws. The Applicant, its successors and/or assigns agrees to comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of the Use.
 3. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review by the City Council in accordance with Section 650-36 of the Zoning Ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications or amendments, as required during the process of Site Plan Review, shall be further conditions of this Special Permit and conditions attached to the building permit, and no occupancy permit shall be issued until the Applicant has complied with all conditions. Site Plan Review shall be consistent with the conditions of this Special Permit and the Plans submitted, reviewed and approved by the City Council as the Special Permit Granting Authority. Conditions imposed through Site Plan Review, as approved by the City Council, shall also be conditions of this Special Permit, and any violations of those conditions shall be violations of this Special Permit. In accordance with Section 650-36.H of the Zoning Ordinance, the Building Commissioner may approve minor modifications to the Special Permit and Site Plan.



IN CITY COUNCIL

Marlborough, Mass., DECEMBER 2, 2019

PAGE 4

ORDERED:

4. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council. The final architectural design of the Site shall be reasonably consistent with the Plans submitted by the Applicant. The final exterior features of the Site, including landscaping, shall be maintained in good condition and shall be reasonably consistent with the Plans submitted and representations made to the City Council.

5. Storm Water and Erosion Control Management. The Applicant, its successors and/or assigns, shall ensure that its site superintendent during construction of the project is competent in stormwater and erosion control management. This individual(s)' credentials shall be acceptable to the Engineering Division of the City's Department of Public Works and the City's Conservation Commission. This individual(s) shall be responsible for checking the Site before, during, and after storm events including weekends and evenings when storms are predicted. This individual(s) shall ensure that no untreated stormwater leaves the Site consistent with the State's and the City's stormwater regulations. This individual(s) shall ensure compliance with the approved sequence of construction plan and the approved erosion control plan. The Applicant, its successors and/or assigns, shall grant this individual(s) complete authority of the Site as it relates to stormwater and erosion controls.



IN CITY COUNCIL

Marlborough, Mass., DECEMBER 2, 2019

ORDERED:

PAGE 5

6. Affordable Units. (a) Ten percent (10%) of the dwelling units at the Site shall be made available as rental units at affordable prices to renters (whose annual income does not exceed eighty percent (80%) of the Area median income adjusted for family size as determined by the U.S. Department of Housing and Urban Development) in perpetuity or the longest period allowed by law (the "Affordable Housing Units"), in accordance with the provisions of Section 650-26 of the Zoning Ordinance and this condition. The Affordable Housing Units shall comply with all requirements for inclusion in the Subsidized Housing Inventory ("SHI") of the Commonwealth of Massachusetts Department of Housing and Community Development ("DHCD"). Prior to obtaining a certificate of occupancy for any unit within the Use, the Applicant, in coordination with the City and its Community Development Authority, shall file all required submissions to DHCD for inclusion of the Affordable Housing Units on the SHI and shall diligently take all actions necessary to include the Affordable Housing Units on the SHI, including without limitation, preparing and executing a regulatory agreement and declaration of restrictive covenants and/or any other restrictive instrument necessary to ensure compliance with said Zoning Ordinance and this condition, a marketing plan, and all other required documentation. All costs associated with complying with this condition, including but not limited to, the DHCD process, recording of all documents with the registry of deeds, and the marketing plan for the Affordable Units shall be borne by the Applicant.

(b) In lieu of requiring that fifteen percent (15%) of the dwelling units at the Site be made available at affordable prices to renters, the Applicant shall provide a payment to the City of \$50,000 per affordable dwelling unit that would have been otherwise required under Section 650-26 of the Zoning Ordinance. For Site 1 of the Use, the number of applicable units is 12, for a total payment of \$600,000. For Site 2 of the Use, the number of applicable units is 12, for a total payment of \$600,000. The payments required by this condition shall be made prior to the issuance of a building permit for Site 1 and Site 2, respectively, and shall be payable to a fund or funds designated by the City Council prior to submission of each payment.
7. Multifamily Unit Payments. To mitigate any impacts associated with the Use, the Applicant has agreed to provide a payment to the City of \$3,500 for each multifamily dwelling unit at the Site. For Site 1 of the Use, the total payment shall be \$822,500. For Site 2 of the Use, the total payment shall be \$840,000. The payments required by this condition shall be made prior to the issuance of a building permit for Site 1 and Site 2, respectively, and shall be payable to a fund or funds designated by the City Council prior to submission of each payment.



IN CITY COUNCIL

Marlborough, Mass., DECEMBER 2, 2019

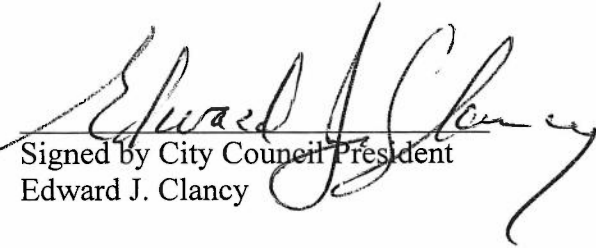
ORDERED:

PAGE 6

8. MetroWest/495 Transportation Management Association. To help promote alternative modes of transportation for residents of the Site, prior to the issuance of a building permit for Site 1 the Applicant shall join the MetroWest/495 Transportation Management Association.
9. Conservation Commission Approval. The Applicant shall obtain and comply with an Order of Conditions from the City's Conservation Commission.
10. Recording of Decision. In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council's office, the Building Department, and the City Solicitor's office.

Yea: 11 – Nay: 0

Yea: Delano, Doucette, Dumais, Tunnera, Irish, Clancy, Landers, Juair, Oram, Ossing & Robey.


Signed by City Council President
Edward J. Clancy

ADOPTED
In City Council
19-1007762C

ATTACHMENT

A

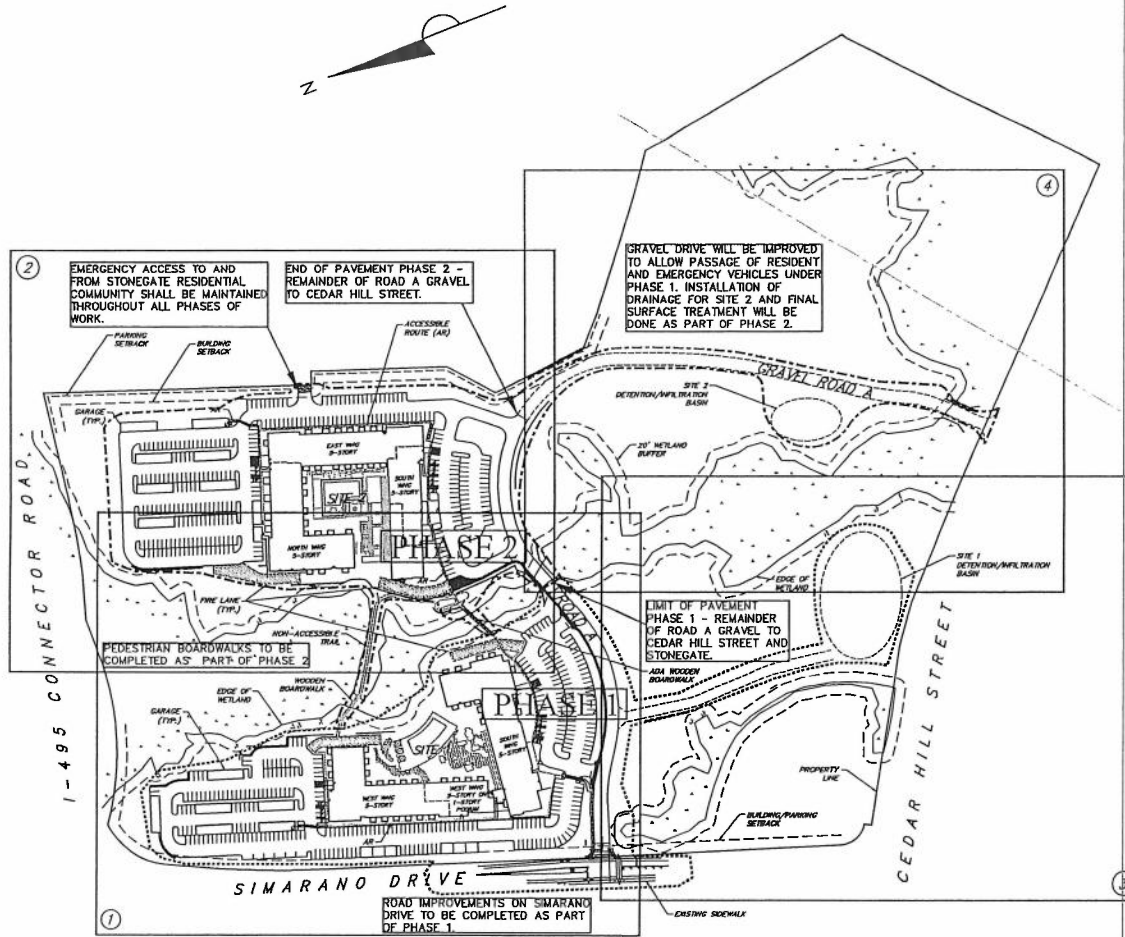
SEQUENCING PLAN

PHASE 1 CONSISTS OF THE CONSTRUCTION OF THE FIRST BUILDING ALONG SIMARANO DRIVE CONTAINING 235 UNITS.

1. EROSION CONTROLS WILL BE INSTALLED PER THE SWPP PLAN FOR PHASE 1 WORK.
2. VEGETATION WILL BE CLEARED ONLY AS NEEDED FOR PHASE PHASE 1 INCLUDING THE AREA FOR THE SITE 1 STORMWATER SYSTEM.
3. THE ACCESS ROAD FROM THE END OF THE PHASE 1 WORK TO THE STONEGATE RESIDENTIAL COMMUNITY AND OUT TO CEDAR HILL STREET WILL HAVE VEGETATION CUT BACK TO THE EDGES OF THE PROPOSED CONCRETIZED DRIVE, ROAD, CURB, ASSESS AS NEEDED, CHISEL AND POLLED TO THE SATISFACTION OF THE MARLBOROUGH FIRE DEPARTMENT.
4. WORK FOR PHASE 1 WILL COMMENCE IN ACCORDANCE WITH THE APPROVED PLANS. THIS WORK DOES INCLUDE BLASTING BUT ONLY BLASTING RELATED TO PHASE 1 WILL BE DONE AT THIS TIME.
5. ROADWAY IMPROVEMENTS TO SIMARANO DRIVE WILL BE COMPLETED AS PART OF PHASE 1.

PHASE 2 CONSISTS OF THE CONSTRUCTION OF THE SECOND BUILDING IN THE SITE CONTAINING 240 UNITS.

1. EROSION CONTROLS WILL BE INSTALLED PER THE SWPP PLAN FOR PHASE 2 WORK.
2. VEGETATION WITHIN THE PHASE 2 WORK AREA WILL BE CUT.
3. WORK ON PHASE 2 WILL COMMENCE IN ACCORDANCE WITH THE APPROVED PLANS INCLUDING NECESSARY BLASTING.



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAPS/CONTRACT ADMINISTRATION

MAP 116 LOT 5.11 & 12

PREPARED FOR

POST ROAD REALTY LLC

11 Unquowa Road
Fairfield, Connecticut 06424

HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

310 Elm St., Marlborough, MA 01752
508-254-4611 FAX 508-254-4612
WWW.HANCOCKASSOCIATES.COM



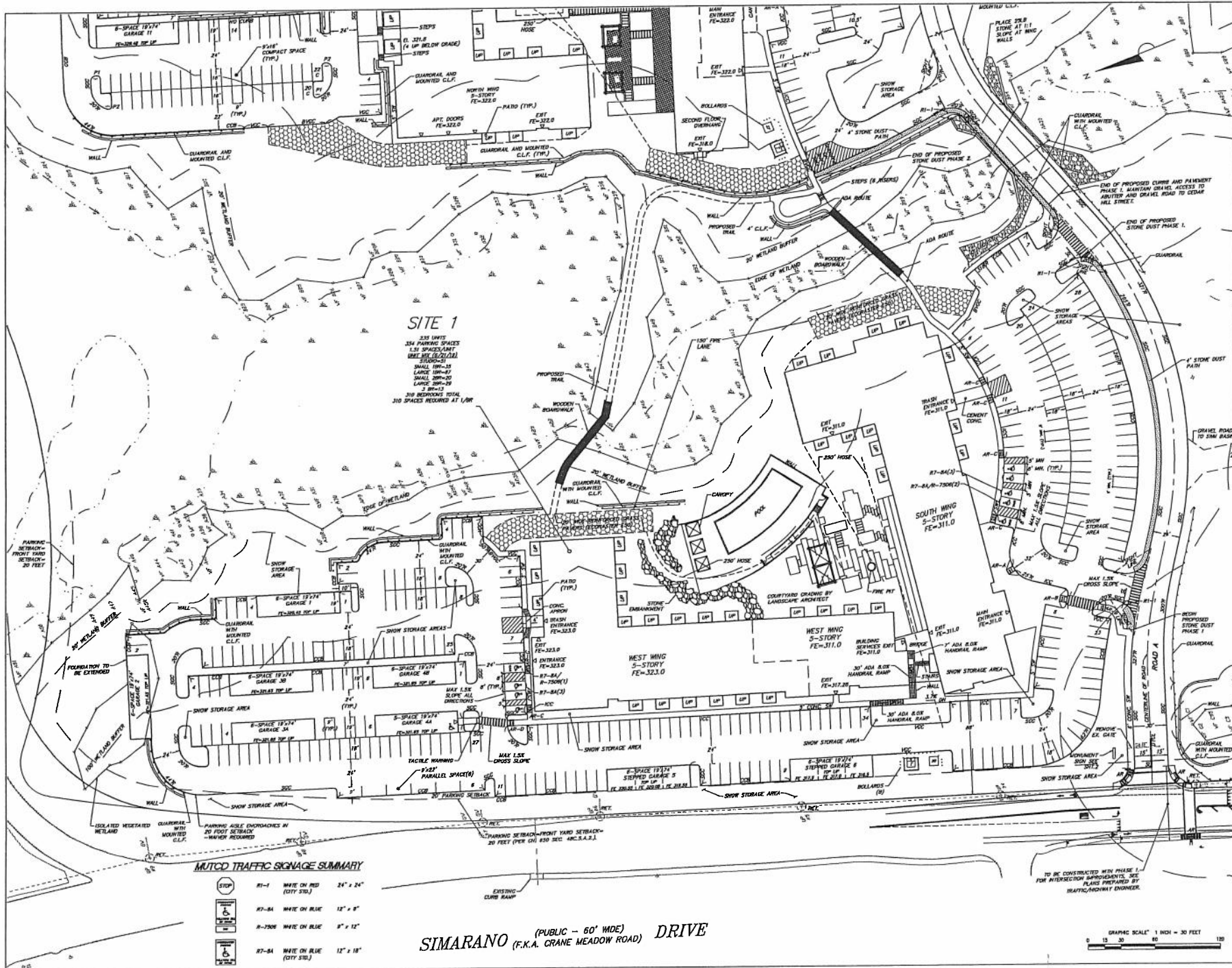
NO.	BY	DATE	ISSUE/REVISION DESCRIPTION
1	IND	10/18/18	ISSUE FOR PERMITS
2	IND	11/14/18	ISSUE FOR CONSTRUCTION

INDEX AND SEQUENCING PLAN

SPECIAL PERMIT AND STIP PLAN APPROVAL NOT FOR CONSTRUCTION

IND
SHEET 3 OF 32
PROJECT NO. 22680

GRAPHIC SCALE 1" = 100 FEET
0 50 100 200 300 400



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP DATE
116 5.11.12

POST ROAD REALTY LLC

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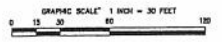


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1	AM	10/16/12	REV COMMENTS
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		1-30	ISSUED FOR PERMITS
			ISSUED FOR PERMITS

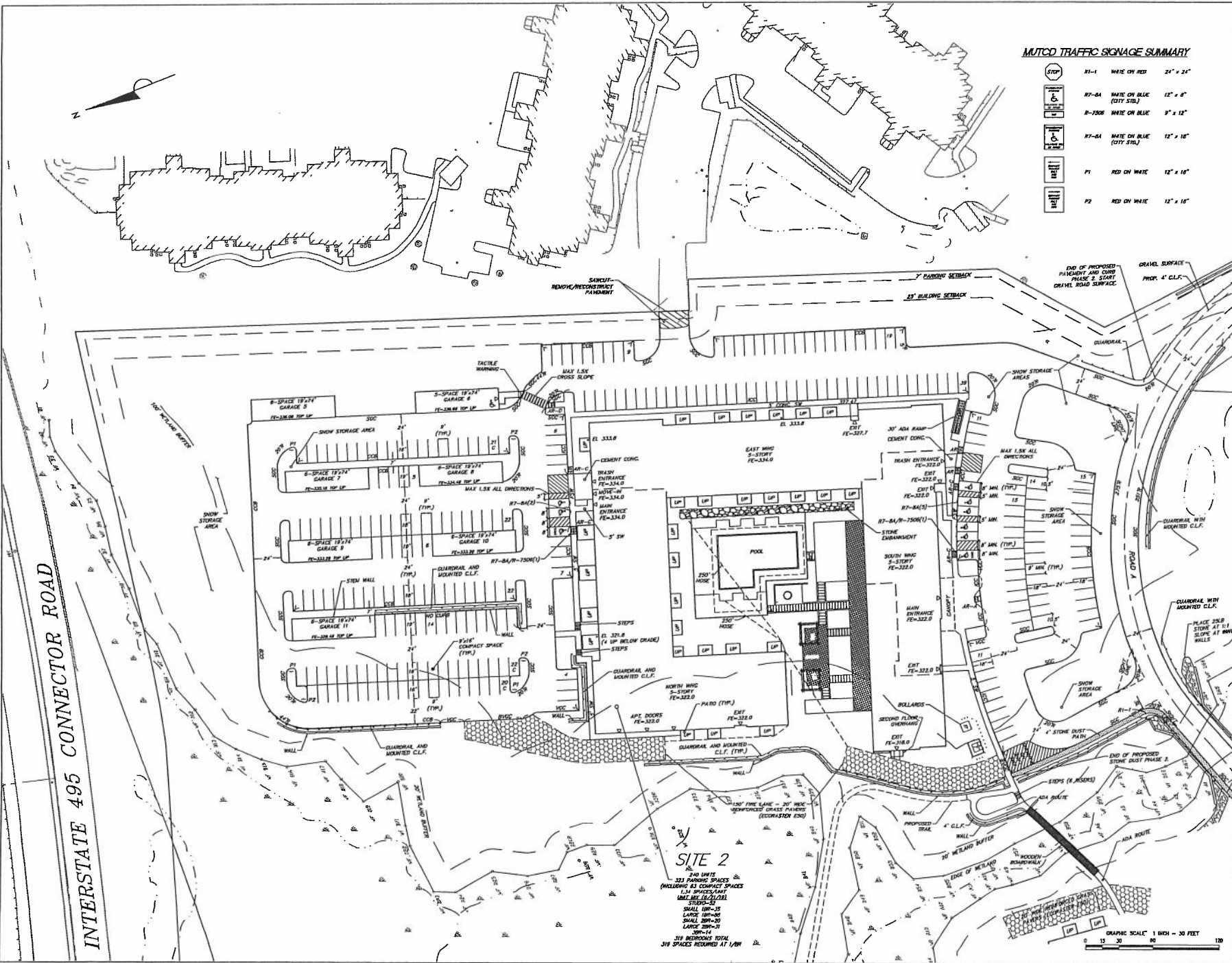
LAYOUT & MATERIALS PLAN SHEET 1

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DATE: 12/20/12
LAYOUT: LM-1
SHEET: 4 OF 32
PROJECT NO.: 22680



SIMARANO (PUBLIC - 60' WDE) DRIVE



MUTCD TRAFFIC SIGNAGE SUMMARY

	R1-1	WHITE ON RED	24" x 24"
	R7-6A	WHITE ON BLUE (CITY STYL.)	12" x 6"
	R-7506	WHITE ON BLUE	8" x 12"
	R7-6A	WHITE ON BLUE (CITY STYL.)	12" x 18"
	P1	RED ON WHITE	12" x 18"
	P2	RED ON WHITE	12" x 18"



GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP 116
LCR 5.11 & 1.2

PREPARED FOR
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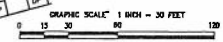
1	PL. ENG. (1/24/21)	SEE SHEET 1 REV. NOTES
2	PL. SURV. (10/21/20)	SEE SHEET 1 REV. NOTES
3	PL. SURV. (10/21/20)	SEE SHEET 1 REV. NOTES
4	PL. SURV. (10/21/20)	SEE SHEET 1 REV. NOTES
5	PL. SURV. (10/21/20)	SEE SHEET 1 REV. NOTES
6	PL. SURV. (10/21/20)	SEE SHEET 1 REV. NOTES
7	PL. SURV. (10/21/20)	SEE SHEET 1 REV. NOTES
8	PL. SURV. (10/21/20)	SEE SHEET 1 REV. NOTES
9	PL. SURV. (10/21/20)	SEE SHEET 1 REV. NOTES
10	PL. SURV. (10/21/20)	SEE SHEET 1 REV. NOTES

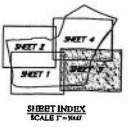
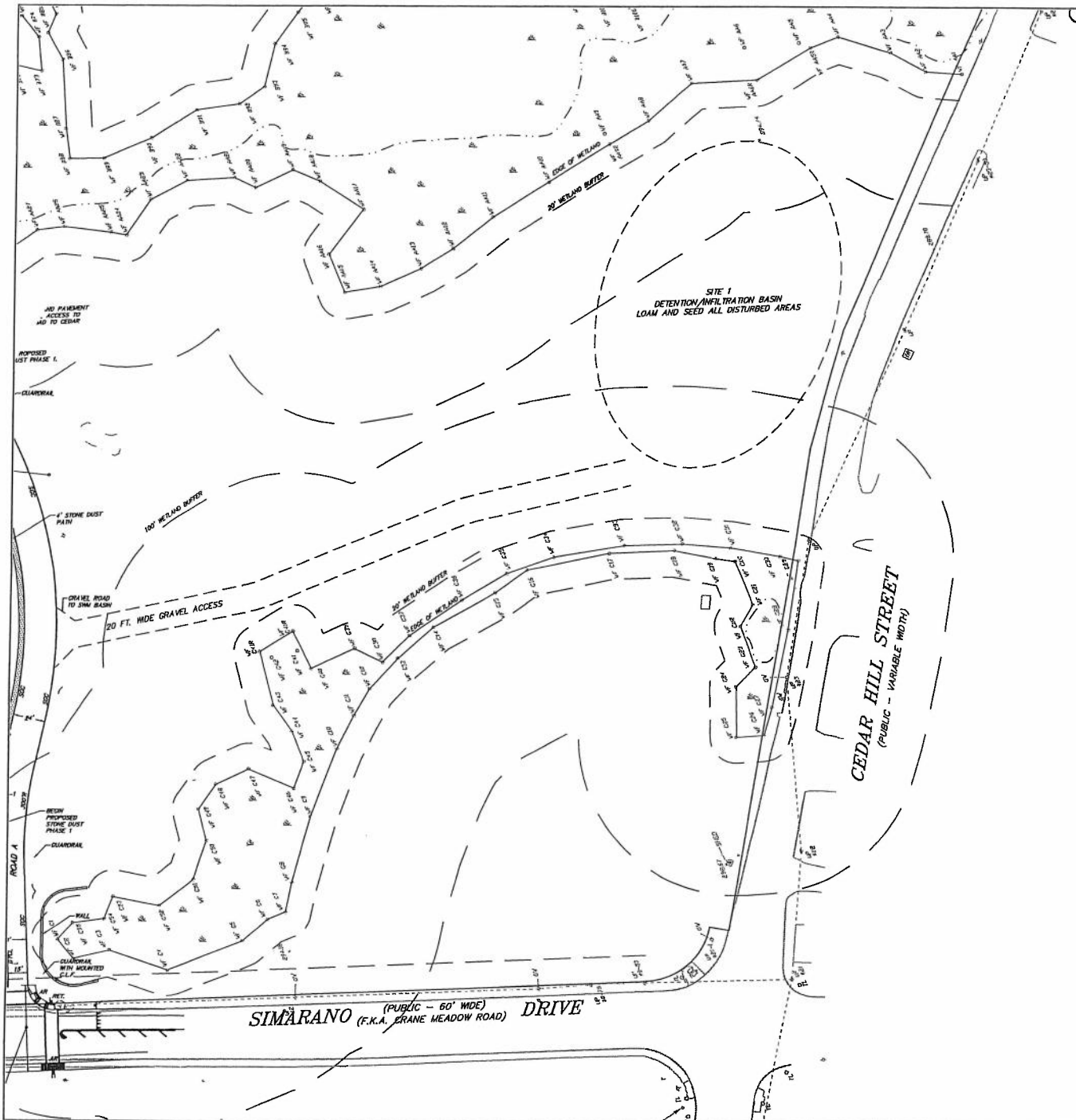
SITE 2
240 UNITS
323 PARKING SPACES
(INCLUDING 83 COMPACT SPACES)
1.5% SLOPE CRUISE
LIMIT LINE (10/21/20)
STUDY 13
SMALL 18P-25
LARGE 20P-30
SMALL 20P-20
LARGE 20P-30
30P-14
318 ADDITIONAL TOTAL
318 SPACES REQUIRED AT LHM

INTERSTATE 495 CONNECTOR ROAD

LAYOUT & MATERIALS PLAN SHEET 2

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION
DWG: 22480-PS-03.dwg
LAYOUT: LM-2
SHEET: 5 OF 32
PROJECT NO: 22680





GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

HANCOCK ASSOCIATES

MAP 116 LOT 5, 11 & 12

PREPARED FOR

POST ROAD REALTY LLC

11 Unquowa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 Elm St., MARLBOROUGH, MA 01752
1024 DOW HWY-1111, FAIRFIELD, CT 06824
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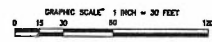


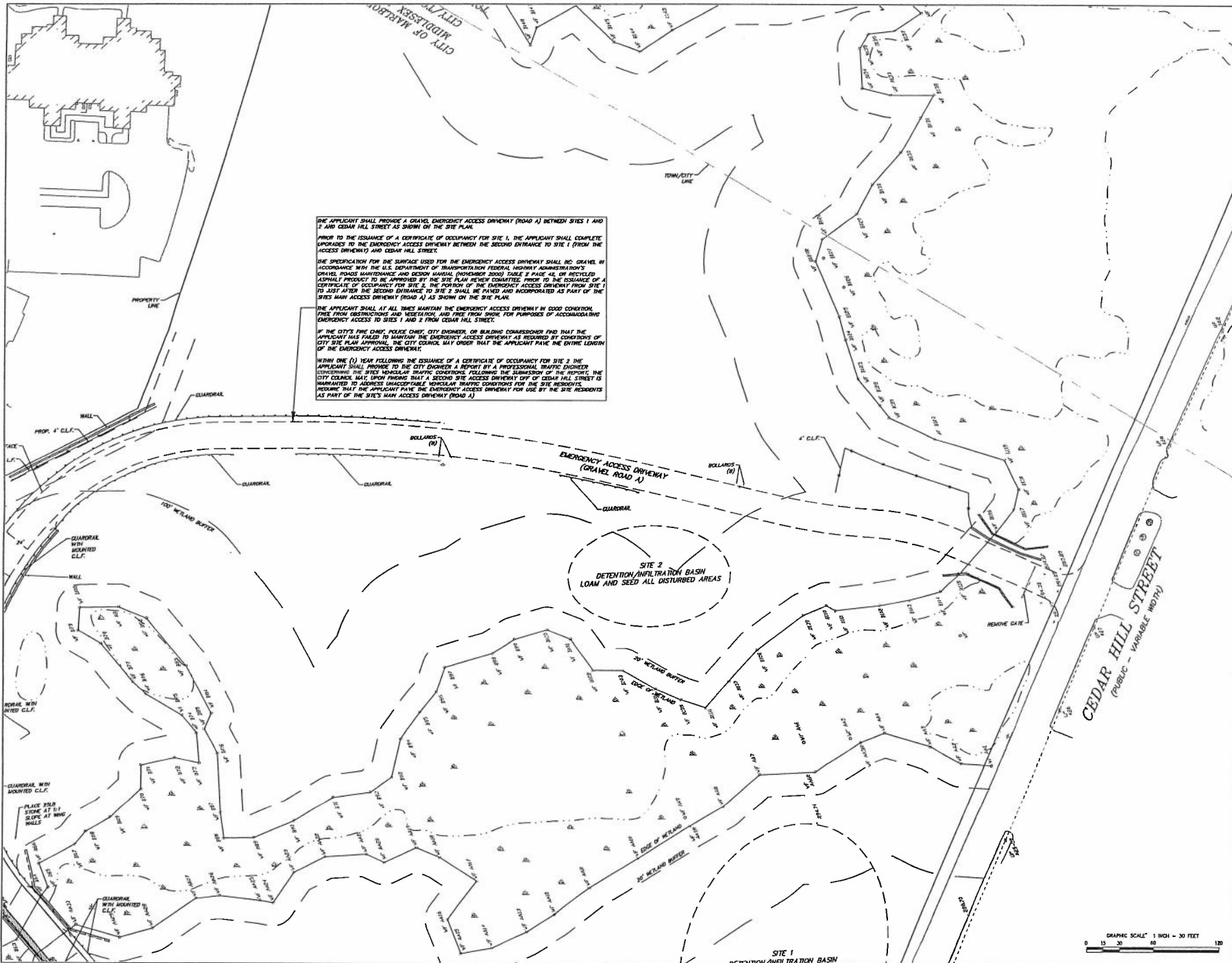
NO.	BY	DATE	DESCRIPTION
2	JL	11/12/11	REV SHEET 1 REV. WORK
1	JL	11/16/10	REV COMMENTS
NO.	BY	DATE	ISSUE/REVISION DESCRIPTION
1	JL	11/16/10	ISSUE FOR PERMITS
APPROV. BY			DATE

LAYOUT & MATERIALS PLAN SHEET 3

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DRWG: 22680-PS-01.dwg
LAYOUT: LM-3
SHEET: 8 OF 32
PROJECT NO.: 22680





THE APPLICANT SHALL PROVIDE A GRAVEL EMERGENCY ACCESS DRIVEWAY (ROAD A) BETWEEN SITES 1 AND 2 AND CEDAR HILL STREET AS SHOWN ON THE SITE PLAN.

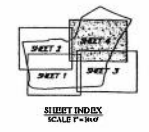
PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR SITE 1, THE APPLICANT SHALL COMPLETE IMPROVEMENTS TO THE EMERGENCY ACCESS DRIVEWAY BETWEEN THE SECOND DRIVEWAY TO SITE 1 FROM THE ACCESS DRIVEWAY AND CEDAR HILL STREET.

THE SPECIFICATION FOR THE SURFACE USED FOR THE EMERGENCY ACCESS DRIVEWAY SHALL BE GRAVEL IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION'S GRAVEL ROAD MAINTENANCE AND DESIGN MANUAL (NOVEMBER 2000) TABLE 2 PAGE 48, OR RECYCLED ASPHALT PAVEMENT TO BE APPROVED BY THE SITE PLAN REVIEW COMMITTEE. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR SITE 2, THE PORTION OF THE EMERGENCY ACCESS DRIVEWAY FROM SITE 1 TO JUST AFTER THE SECOND DRIVEWAY TO SITE 2 SHALL BE PAVED AND INCORPORATED AS PART OF THE SITES MAIN ACCESS DRIVEWAY (ROAD A) AS SHOWN ON THE SITE PLAN.

THE APPLICANT SHALL AT ALL TIMES MAINTAIN THE EMERGENCY ACCESS DRIVEWAY IN GOOD CONDITION, FREE FROM OBSTRUCTIONS AND VEGETATION, AND FREE FROM SNOW, FOR PURPOSES OF ACCOMMODATING EMERGENCY ACCESS TO SITES 1 AND 2 FROM CEDAR HILL STREET.

IF THE CITY'S FIRE CHIEF, POLICE CHIEF, CITY ENGINEER, OR BUILDING COMMISSIONER FIND THAT THE APPLICANT HAS FAILED TO MAINTAIN THE EMERGENCY ACCESS DRIVEWAY AS REQUIRED BY CONDITIONS OF CITY SITE PLAN APPROVAL, THE CITY COUNCIL MAY ORDER THAT THE APPLICANT PAID THE ENTIRE LENGTH OF THE EMERGENCY ACCESS DRIVEWAY.

WITHIN ONE (1) YEAR FOLLOWING THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR SITE 2, THE APPLICANT SHALL PROVIDE TO THE CITY ENGINEER A REPORT BY A PROFESSIONAL TRAFFIC ENGINEER CONCERNING THE SITES VEHICULAR TRAFFIC CONDITIONS FOLLOWING THE SUBMISSION OF THE REPORT, THE CITY COUNCIL MAY, UPON FINDING THAT A SECOND SITE ACCESS DRIVEWAY OFF OF CEDAR HILL STREET IS WARRANTED TO ADDRESS UNACCEPTABLE VEHICULAR TRAFFIC CONDITIONS FOR THE SITE RESIDENTS, REQUIRE THAT THE APPLICANT HAVE THE EMERGENCY ACCESS DRIVEWAY FOR USE BY THE SITE RESIDENTS AS PART OF THE SITES MAIN ACCESS DRIVEWAY (ROAD A).



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP 116 LOT 5, 11 & 12

PREPARED FOR:

POST ROAD REALTY LLC

11 Unquowa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

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NO.	BY	DATE	DESCRIPTION
1	LM	10/18/17	REV. COMMENTS
2	LM	10/18/17	REV. COMMENTS
3	LM	10/18/17	REV. COMMENTS
4	LM	10/18/17	REV. COMMENTS
5	LM	10/18/17	REV. COMMENTS
6	LM	10/18/17	REV. COMMENTS
7	LM	10/18/17	REV. COMMENTS
8	LM	10/18/17	REV. COMMENTS
9	LM	10/18/17	REV. COMMENTS
10	LM	10/18/17	REV. COMMENTS

LAYOUT & MATERIALS PLAN SHEET 4

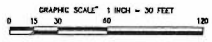
SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

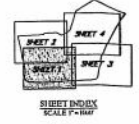
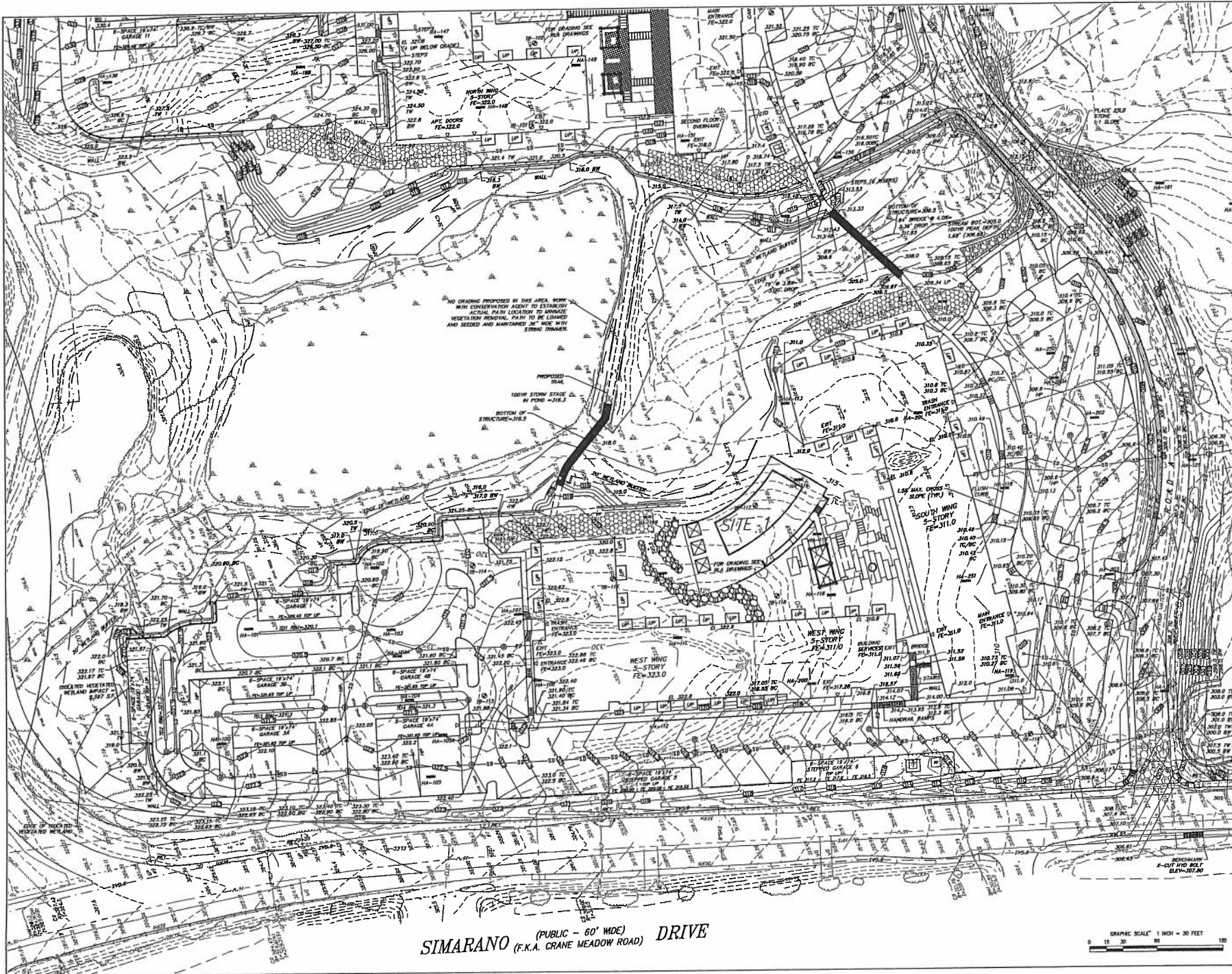
DATE: 2/28/18-Rev.4

LAYOUT: LM-4

SHEET: 7 OF 32

PROJECT NO.: 22680





GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

MAP LOT
116 5, 11 & 12

PREPARED FOR
POST ROAD REALTY LLC

11 Unquowa Road
Fairfield, Connecticut 06424

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

310 ELM ST. METHUEN, MA 01752
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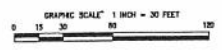


2	PL	PLAC	PLAZA	SEE SHEET 1 REV. NOTES
1	CL	CL	CL	FOR COMMENTS
NO	BY	DATE	DESCRIPTION	REVISION

GRADING PLAN SHEET 1

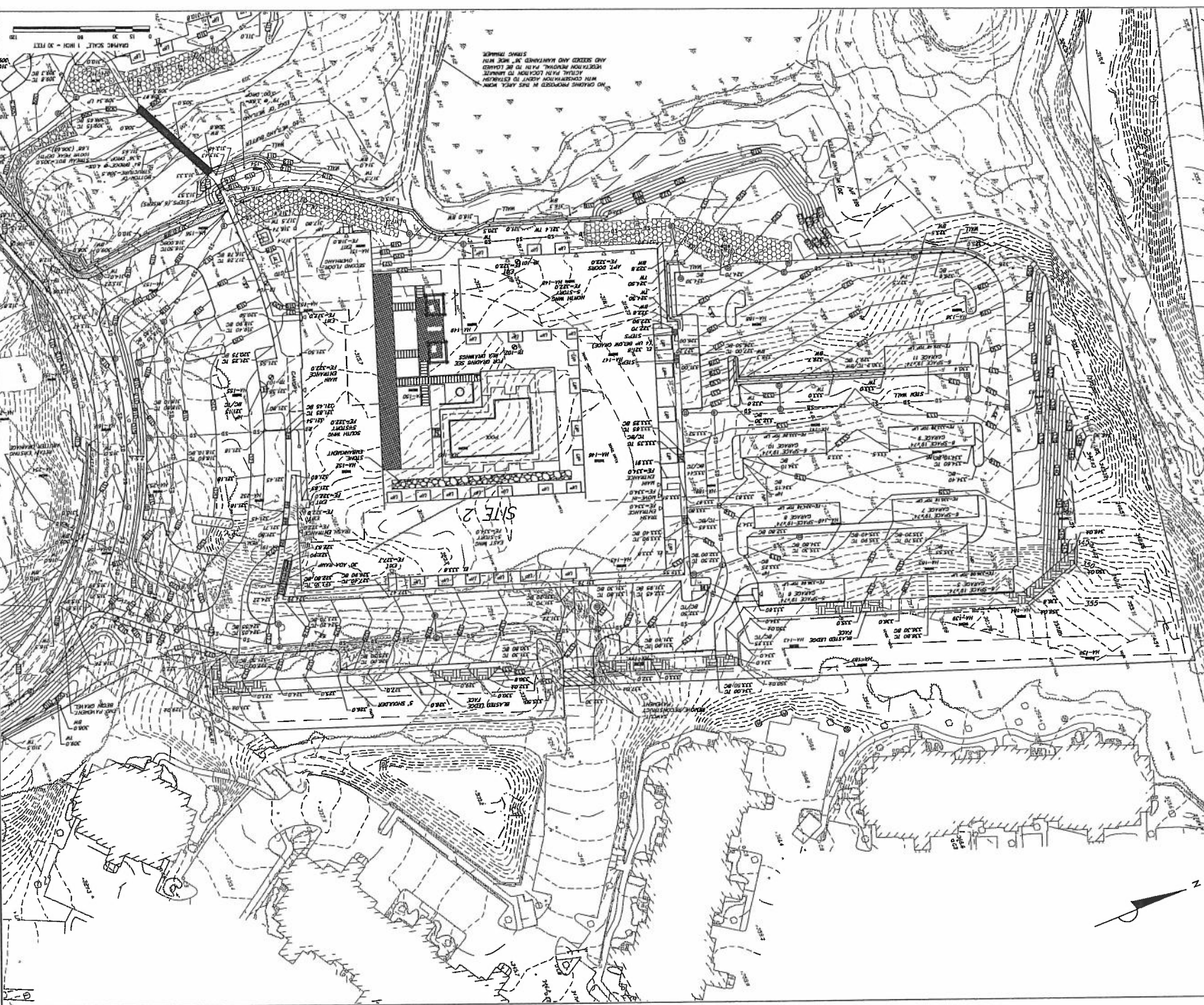
SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DWG: 22680-PS-03.dwg
LAYOUT: GR-1
SHEET: 8 OF 32
PROJECT NO.: 22680



SIMARANO DRIVE
(PUBLIC - 60' WIDE)
(F.K.A. CRANE MEADOW ROAD)

LECTOR ROAD



NO GRADING PERMITTED IN THIS AREA UNLESS SPECIFICALLY INDICATED BY THE GRADING PLAN. ALL GRADING SHALL BE ACCORDING TO THE GRADING PLAN. THE GRADING PLAN SHALL BE CONSIDERED AS PART OF THE GRADING PLAN. THE GRADING PLAN SHALL BE CONSIDERED AS PART OF THE GRADING PLAN.

PROJECT NO. 22680
SHEET 9 OF 23
GR-2

LAYOUT: GR-2
DATE: 2008-09-24
NOT FOR CONSTRUCTION

GRADING PLAN
SHEET 2

NO.	DATE	DESCRIPTION
1	10/17/08	ISSUED FOR PERMIT
2	11/19/08	ISSUED FOR PERMIT
3	12/15/08	ISSUED FOR PERMIT
4	01/14/09	ISSUED FOR PERMIT
5	02/11/09	ISSUED FOR PERMIT
6	03/10/09	ISSUED FOR PERMIT
7	04/07/09	ISSUED FOR PERMIT
8	05/05/09	ISSUED FOR PERMIT
9	06/02/09	ISSUED FOR PERMIT
10	07/01/09	ISSUED FOR PERMIT
11	08/01/09	ISSUED FOR PERMIT
12	09/01/09	ISSUED FOR PERMIT
13	10/01/09	ISSUED FOR PERMIT
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199	04/01/25	ISSUED FOR PERMIT
200	05/01/25	ISSUED FOR PERMIT



11752 DAVID J. HANCOCK, P.E.
11752 DAVID J. HANCOCK, P.E.
11752 DAVID J. HANCOCK, P.E.

David J. Hancock
Civil Engineer
Land Surveyor

HANCOCK ASSOCIATES

11 Longwood Road
Fairfield, Connecticut 06424

POST ROAD REALTY LLC

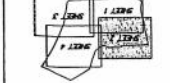
11752 DAVID J. HANCOCK, P.E.
11752 DAVID J. HANCOCK, P.E.

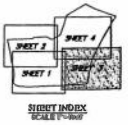
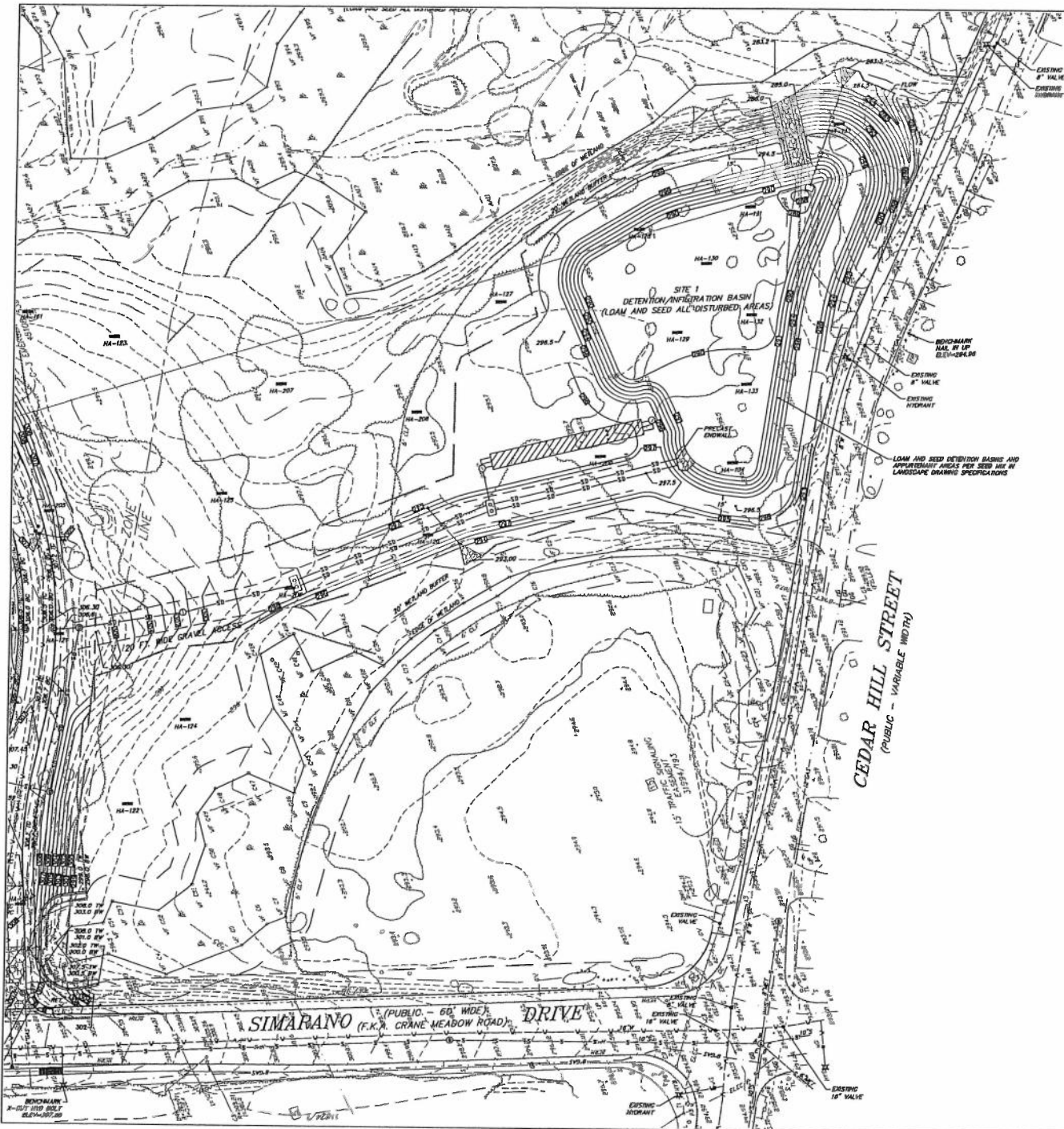
107 Simarano Drive
Marlborough, Massachusetts 01752

107 SIMARANO DRIVE

DISTRICT GREEN

SCALE: 1"=40'





GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP SHEET
116 5, 11 & 13

PREPARED FOR

POST ROAD REALTY LLC

11 Lakeside Road
Fairfield, Connecticut 06424

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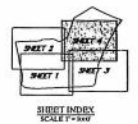
NO.	DATE	BY	DESCRIPTION
1	11/12/10	SEE SHEET 1	REV. NOTES
2	06/16/10	PER COMMENTS	

GRADING PLAN SHEET 3

SPECIAL PERMIT AND SITE PLAN APPROVAL
NEED FOR CONSTRUCTION

DATE: 09/09/10
LAYOUT: 08-3
SHEET: 10 OF 25
PROJECT NO.: **22680**





GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP SHEET NO. 116
LOT 5, 11 & 12

PREPARED FOR:
POST ROAD REALTY LLC
11 Linguova Road
Fairfield, Connecticut 06824

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Wetland Scientists

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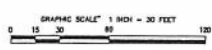


NO.	DATE	BY	REVISION/DESCRIPTION
1	04/16/19	JK	REV. NOTES
2	04/16/19	JK	REV COMMENTS
3	04/16/19	JK	REV COMMENTS
4	04/16/19	JK	REV COMMENTS
5	04/16/19	JK	REV COMMENTS
6	04/16/19	JK	REV COMMENTS
7	04/16/19	JK	REV COMMENTS
8	04/16/19	JK	REV COMMENTS
9	04/16/19	JK	REV COMMENTS
10	04/16/19	JK	REV COMMENTS

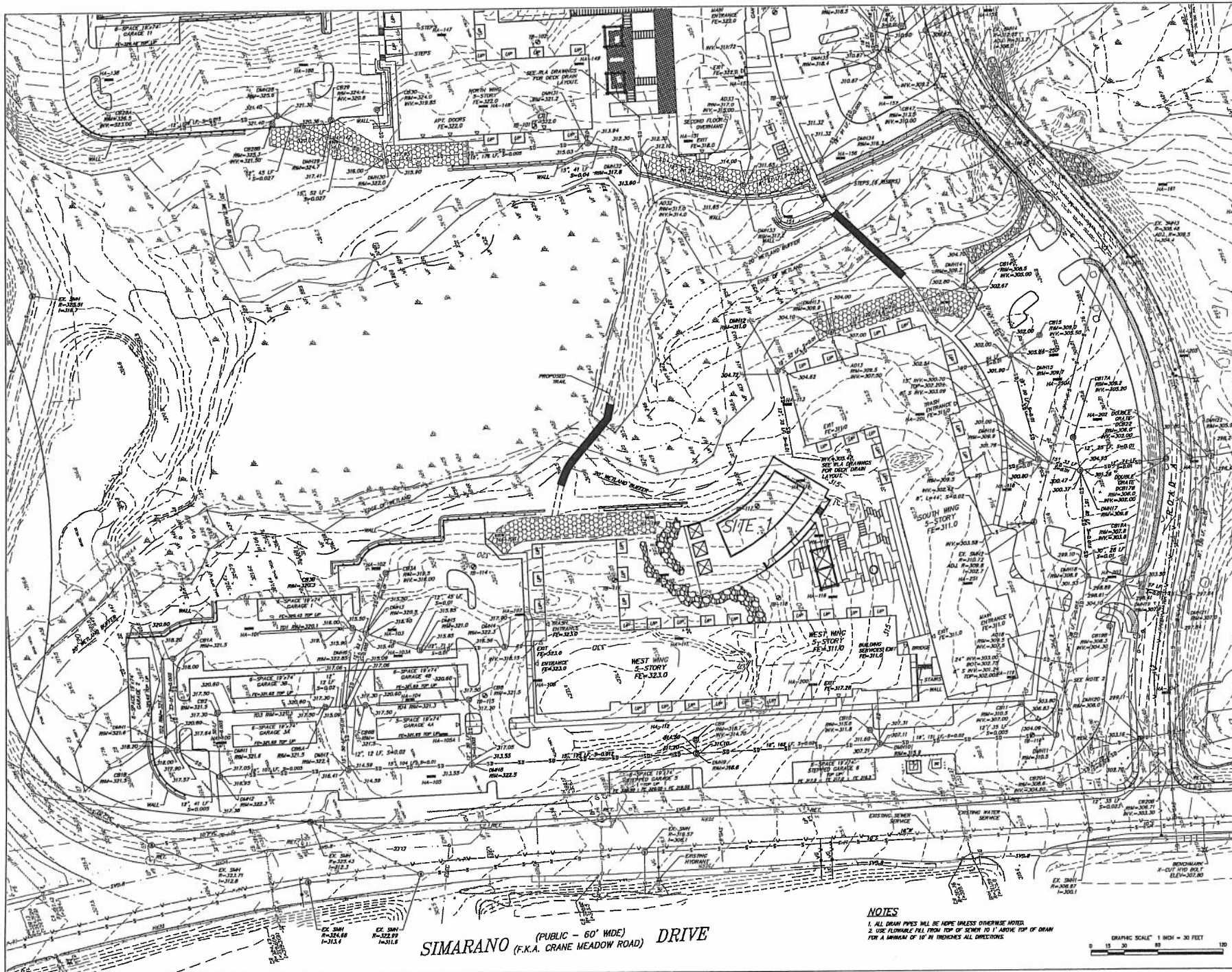
GRADING PLAN SHEET 4

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DWG: 22680-PS-03.dwg
LAYOUT: GR-4
SHEET: 11 OF 32
PROJECT NO.: **22680**



SITE 1 DETENTION/INFILTRATION BASIN



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MARLBOROUGH ADDRESS
MAP 116 LOT 5, 11 & 12

PREPARED FOR
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Wetland Scientists

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NO.	DATE	BY	DESCRIPTION
1	07/24/19	DR	PER COMMENTS
2	08/20/19	DR	PER COMMENTS
3	09/10/19	DR	PER COMMENTS
4	09/10/19	DR	PER COMMENTS
5	09/10/19	DR	PER COMMENTS
6	09/10/19	DR	PER COMMENTS
7	09/10/19	DR	PER COMMENTS
8	09/10/19	DR	PER COMMENTS
9	09/10/19	DR	PER COMMENTS
10	09/10/19	DR	PER COMMENTS

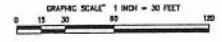
DRAINAGE PLAN SHEET 1

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

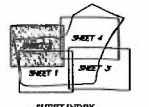
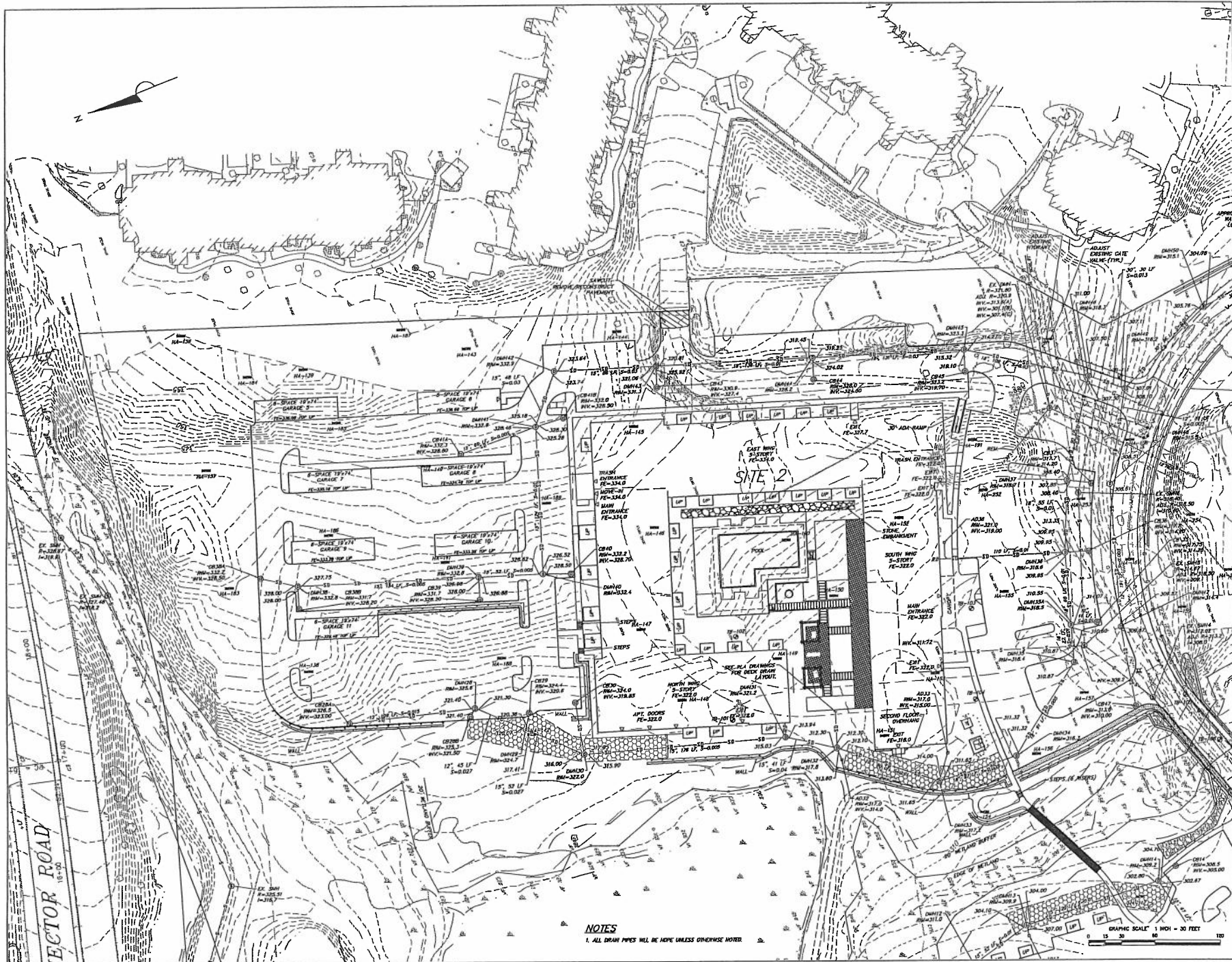
DRWG: 22880-PS-03-01
LAYOUT: DR-1
SHEET: 12 OF 22
PROJECT NO.: 22650

NOTES

1. ALL DRAIN PIPES WILL BE HDPE UNLESS OTHERWISE NOTED.
2. USE FLOWABLE FILL FROM TOP OF SLOPE TO 1' ABOVE TOP OF DRAIN FOR A MINIMUM OF 10' IN ALL DIRECTIONS.



SIMARANO DRIVE (PUBLIC - 60' WIDE)
(F.K.A. CRANE MEADOW ROAD)



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP 116 LGT 5.11 & 12

PREPARED FOR
POST ROAD REALTY LLC

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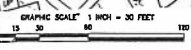
NO.	DATE	BY	DESCRIPTION
1	11/17/19	DR-2	REV SHEET 1 REEL MOVES
2	12/11/19	DR-2	REV COMMENTS
3	01/09/20	DR-2	REV COMMENTS
4	02/26/20	DR-2	REV COMMENTS
5	03/02/20	DR-2	REV COMMENTS
6	03/02/20	DR-2	REV COMMENTS
7	03/02/20	DR-2	REV COMMENTS
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12	03/02/20	DR-2	REV COMMENTS
13	03/02/20	DR-2	REV COMMENTS
14	03/02/20	DR-2	REV COMMENTS
15	03/02/20	DR-2	REV COMMENTS
16	03/02/20	DR-2	REV COMMENTS
17	03/02/20	DR-2	REV COMMENTS
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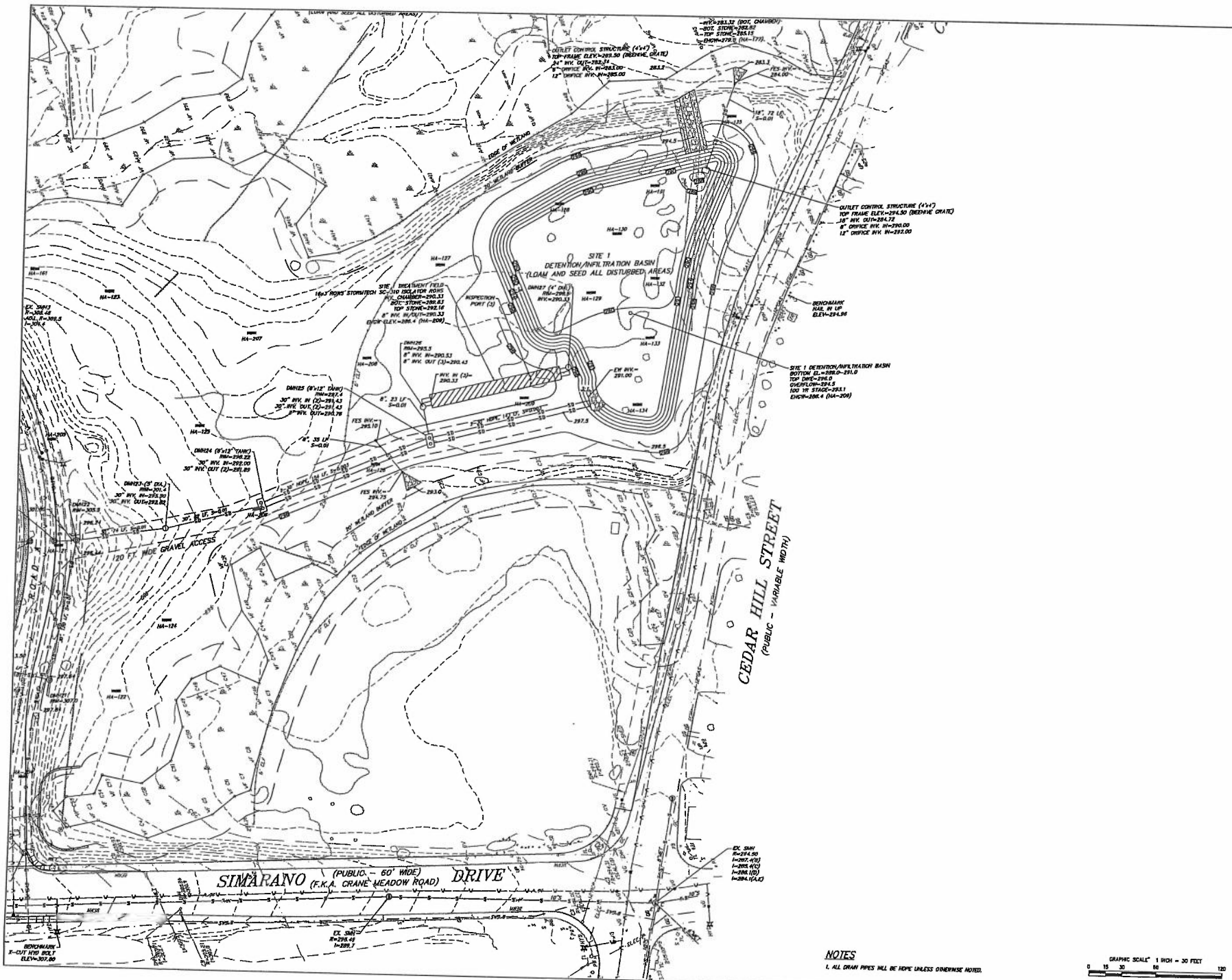
DRAINAGE PLAN SHEET 2

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DRG: 22400-PS-R3.dwg
LAYOUT: DR-2
SHEET: 13 OF 32
PROJECT NO.: 22680

NOTES
1. ALL DRAIN PIPES WILL BE HDPE UNLESS OTHERWISE NOTED.





GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

MAP/PROJECT NUMBER:
 MAP 116 LOT 5, 11 & 13

PREPARED FOR:
POST ROAD REALTY LLC
 11 Ungova Road
 Fairfield, Connecticut 06424

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 Wetland Scientists
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NO.	DATE	BY	DESCRIPTION
1	10/20/10	PK	FOR COMMENTS
2	11/22/10	PK	FOR SHEET 1 REV. NOTES

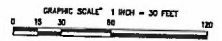
DRAINAGE PLAN SHEET 3

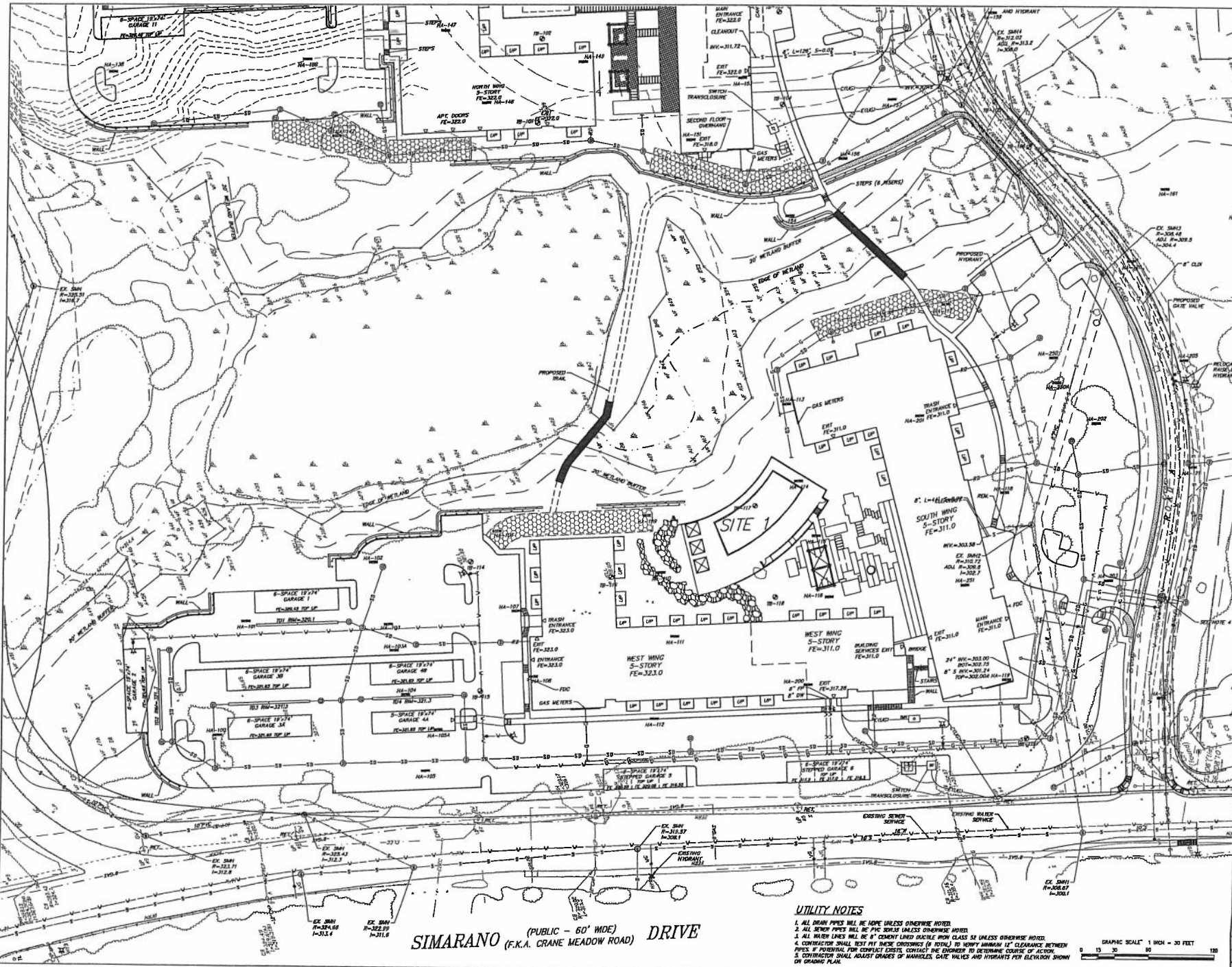
SPECIAL PERMIT AND SITE PLAN APPROVAL
 NOT FOR CONSTRUCTION

DWG: 22680-PS-81.dwg
 LAYOUT: DR-3
 SHEET: 14 OF 32
 PROJECT NO.: 22680

NOTES

1. ALL DRAIN PIPES SHALL BE HDPE UNLESS OTHERWISE NOTED.





GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

MAP SHEET
 116 5.11 & 12

POST ROAD REALTY LLC

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 Fairfield, Connecticut 06824

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NO.	DATE	BY	DESCRIPTION
1	11/20/20	SEE SHEET 1	REV. NOTES
1	11/20/20	FEJ	CONSENTS
1	11/20/20	FEJ	CONSENTS
1	11/20/20	FEJ	CONSENTS

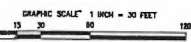
UTILITIES PLAN SHEET 1

SPECIAL PERMIT AND SITE PLAN APPROVAL
 NOT FOR CONSTRUCTION

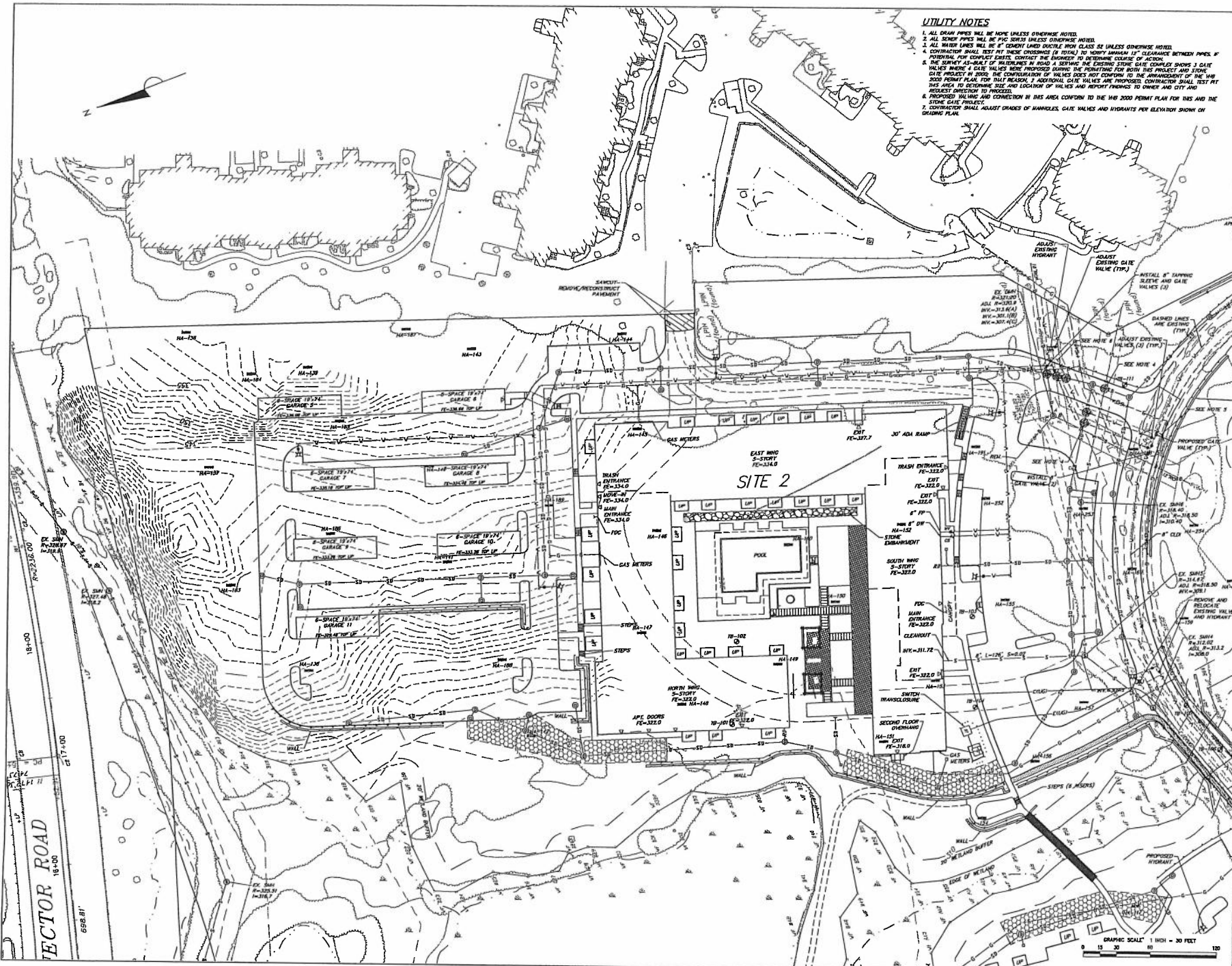
DATE: 2020-09-23
 LAYOUT: UT-1
 SHEETS: 18 OF 32
 PROJECT NO.: 22680

UTILITY NOTES

1. ALL DRAIN PIPES WILL BE HDPE UNLESS OTHERWISE NOTED.
2. ALL WETLAND PIPES WILL BE PVC UNLESS OTHERWISE NOTED.
3. ALL WATER LINES WILL BE 8" CEMENT LINED DUCTILE IRON CLASS 5 UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL TEST ALL THESE CROSSINGS (IF TOTAL) TO VERIFY MINIMUM 12" CLEARANCE BETWEEN PIPES IF POTENTIAL FOR CONTACT EXISTS. CONTACT THE ENGINEER TO DETERMINE COURSE OF ACTION.
5. CONTRACTOR SHALL ADJUST GRADES OF MANHOLES, GATE VALVES AND HYDRANTS PER ELEVATION SHOWN ON DRIVING PLAN.



SIMARANO DRIVE (PUBLIC - 60' WIDE)
 (F.K.A. CRANE MEADOW ROAD)



UTILITY NOTES

1. ALL SHOWN PIPES WILL BE HDPE UNLESS OTHERWISE NOTED.
2. ALL WATER LINES WILL BE 8" CEMENT LINED DUCTILE IRON CLASS 50 UNLESS OTHERWISE NOTED.
3. ALL SINKY PIPES WILL BE PVC 3000S UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL TEST BY THESE CROSSINGS IN TOTAL TO VERIFY ADEQUATE CLEARANCE BETWEEN PIPES. IF POTENTIAL FOR CONTACT EXISTS, CONTACT THE ENGINEER TO DETERMINE COURSE OF ACTION.
5. THE SURVEY IS MADE OF MEASUREMENTS IN ROAD. THE EXISTING STONE GATE CORNER SHOWS 3 GATE VALVES WHERE 4 GATE VALVES WERE PROPOSED DURING THE PERMITTING FOR BOTH THE PROJECT AND STONE GATE PROJECT IN 2008. THE COMPARISON OF VALUES DOES NOT CONFORM TO THE APPROVED COPY OF THE 2008 PERMIT PLAN FOR THAT REASON. 3 ADDITIONAL GATE VALVES ARE PROPOSED. CONTRACTOR SHALL TEST BY THIS AREA TO DETERMINE SIZE AND LOCATION OF VALVES AND REPORT FINDINGS TO OWNER AND CITY AND REQUEST DIRECTION TO PROCEED.
6. PROPOSED VALVES AND CONNECTION IN THIS AREA CONFORM TO THE 2008 PERMIT PLAN FOR THIS AND THE STONE GATE PROJECT.
7. CONTRACTOR SHALL ADJUST GRADES OF MANHOLES, GATE VALVES AND HYDRANTS PER ELEVATION SHOWN ON DRAINAGE PLAN.



GREEN DISTRICT
107 SIMERANO DRIVE

107 Simerano Drive
Arlborough, Massachusetts 01752

MAP SHEET
116 5, 11 & 12

PREPARED FOR

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HANCOCK ASSOCIATES

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Wetland Scientists

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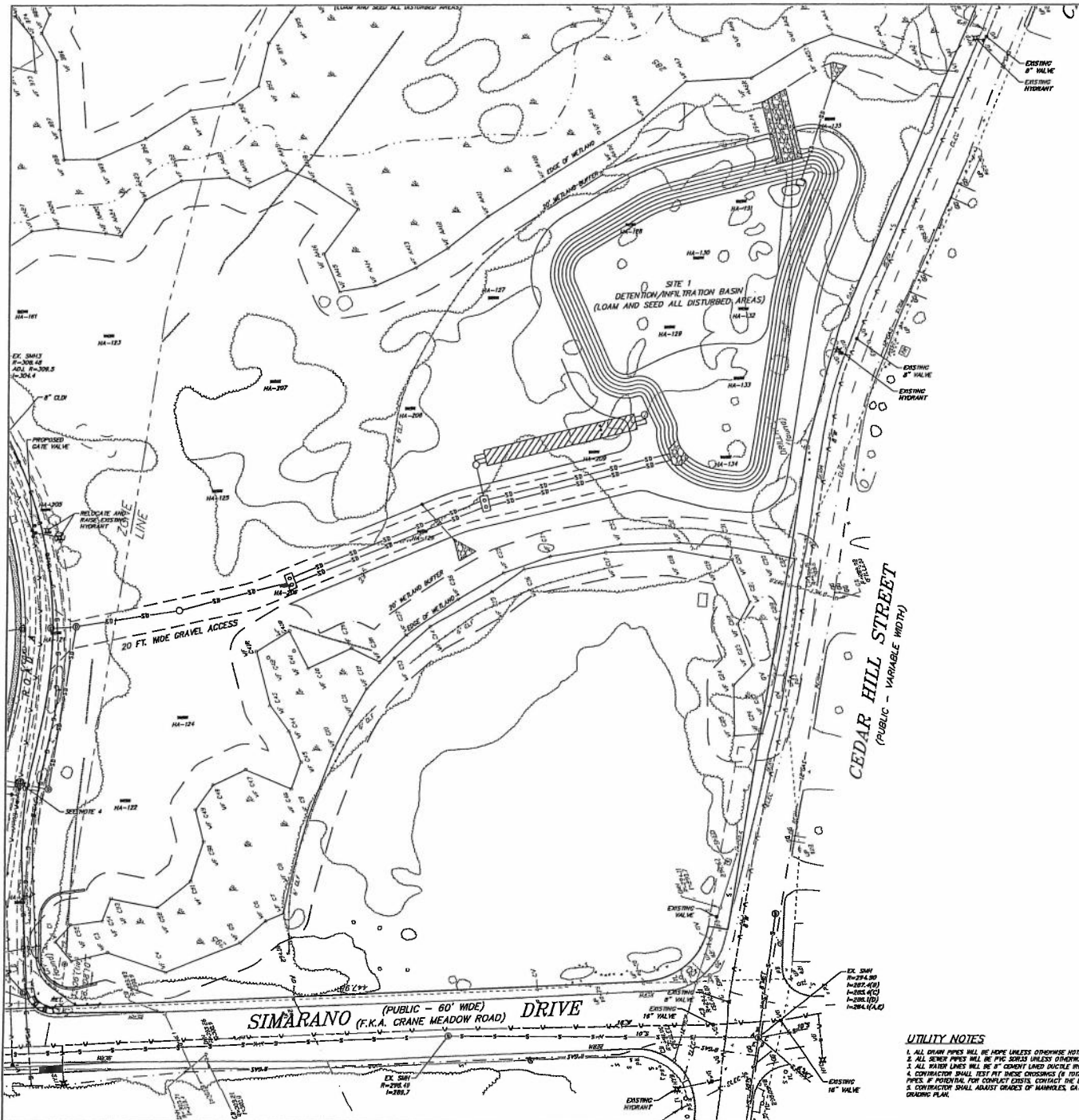
NO.	DATE	BY	DESCRIPTION
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6	03/11/2011	UT-2	ISSUED FOR PERMIT
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8	03/11/2011	UT-2	ISSUED FOR PERMIT
9	03/11/2011	UT-2	ISSUED FOR PERMIT
10	03/11/2011	UT-2	ISSUED FOR PERMIT

UTILITIES PLAN SHEET 2

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

GRAPHIC SCALE: 1 INCH = 30 FEET
LAYOUT: UT-2
SHEET: 17 OF 32
PROJECT NO.: 22680

UT-2



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Northborough, Massachusetts 01752

MAP 116 LOT 5, 11 & 12

POST ROAD REALTY LLC

11 Unquowa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

319 ELM ST. NORTHBOROUGH, MA 01752
PHONE (508) 865-1111 FAX (508) 866-9128
WWW.HANCOCKASSOCIATES.COM



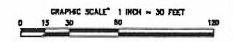
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2	DM	11/16/10	REVISED
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4	DM	11/16/10	REVISED
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6	DM	11/16/10	REVISED
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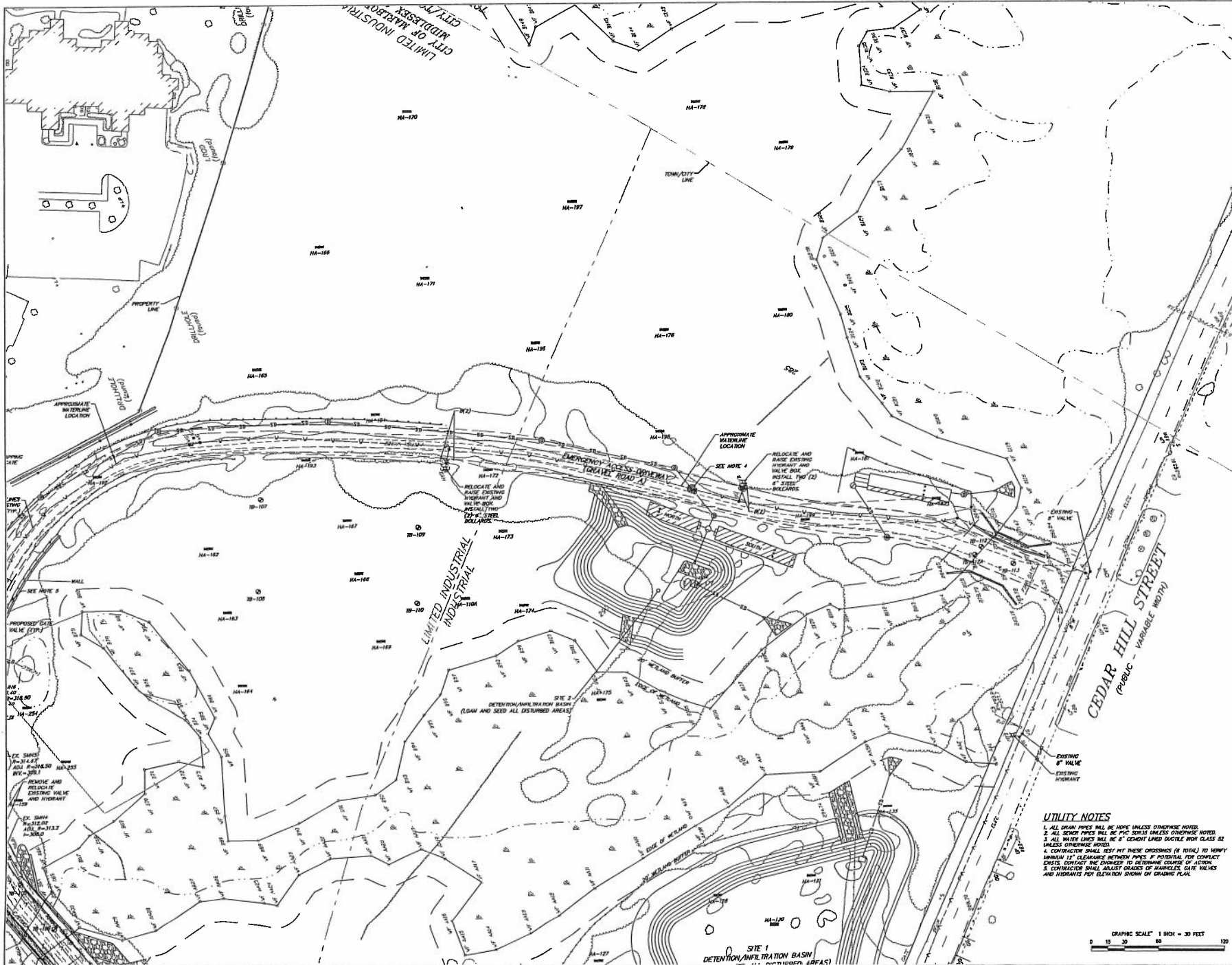
UTILITIES PLAN SHEET 3

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION
DATE: 2/28/13
LAYOUT: UT-3
SHEET: 18 OF 32
PROJECT NO.: 22680

UTILITY NOTES

1. ALL DRAIN PIPES SHALL BE HDPE UNLESS OTHERWISE NOTED.
2. ALL SEWER PIPES SHALL BE PVC 3000S UNLESS OTHERWISE NOTED.
3. ALL WATER LINES SHALL BE 8" CEMENT LINED DUCTILE IRON CLASS 52 UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL VERIFY THESE CROSSINGS (IF TOTAL) TO VERIFY MINIMUM 12" CLEARANCE BETWEEN PIPES. IF POTENTIAL FOR CONFLICT EXISTS, CONTACT THE ENGINEER TO DETERMINE COURSE OF ACTION.
5. CONTRACTOR SHALL ADJUST GRADES OF MANHOLES, GATE VALVES AND HYDRANTS FOR ELEVATION SHOWN ON DRAWING PLAN.





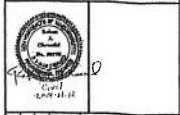
GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MARLBOROUGH ADDRESS:
MAP 116 LOT 5, 11 & 12

PREPARED FOR:
POST ROAD REALTY LLC
11 Unquaw Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES
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Land Surveyors
Wetland Scientists
215 Elm St. Marlborough, MA 01752
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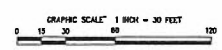
NO.	DATE	BY	REVISION
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2	12/14/18	PER COMMENTS	
3	01/04/19	ISSUE/REVISION REVISION	

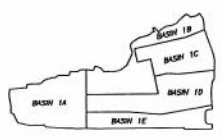
UTILITIES PLAN SHEET 4

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DATE: 12/28/18
LAYOUT: UT-4
SHEET: 19 OF 32
PROJECT NO.: 22680

- UTILITY NOTES**
1. ALL DRAIN PIPES WILL BE HDPE UNLESS OTHERWISE NOTED.
 2. ALL SEWER PIPES WILL BE PVC UNLESS OTHERWISE NOTED.
 3. ALL WATER LINES WILL BE AT 20' DEPTH UNLESS OTHERWISE NOTED.
 4. CONTRACTOR SHALL VERIFY ALL THESE CROSSINGS (IF ANY) TO VERIFY MINIMUM 12" CLEARANCE BETWEEN PIPES IF POTENTIAL FOR CONTACT EXISTS. CONTACT THE ENGINEER TO DETERMINE COURSE OF ACTION.
 5. CONTRACTOR SHALL ADJUST GRADES OF MANHOLES, CARE VALVES AND HYDRANTS FOR ELEVATION SHOWN OF DRAWING PLAN.

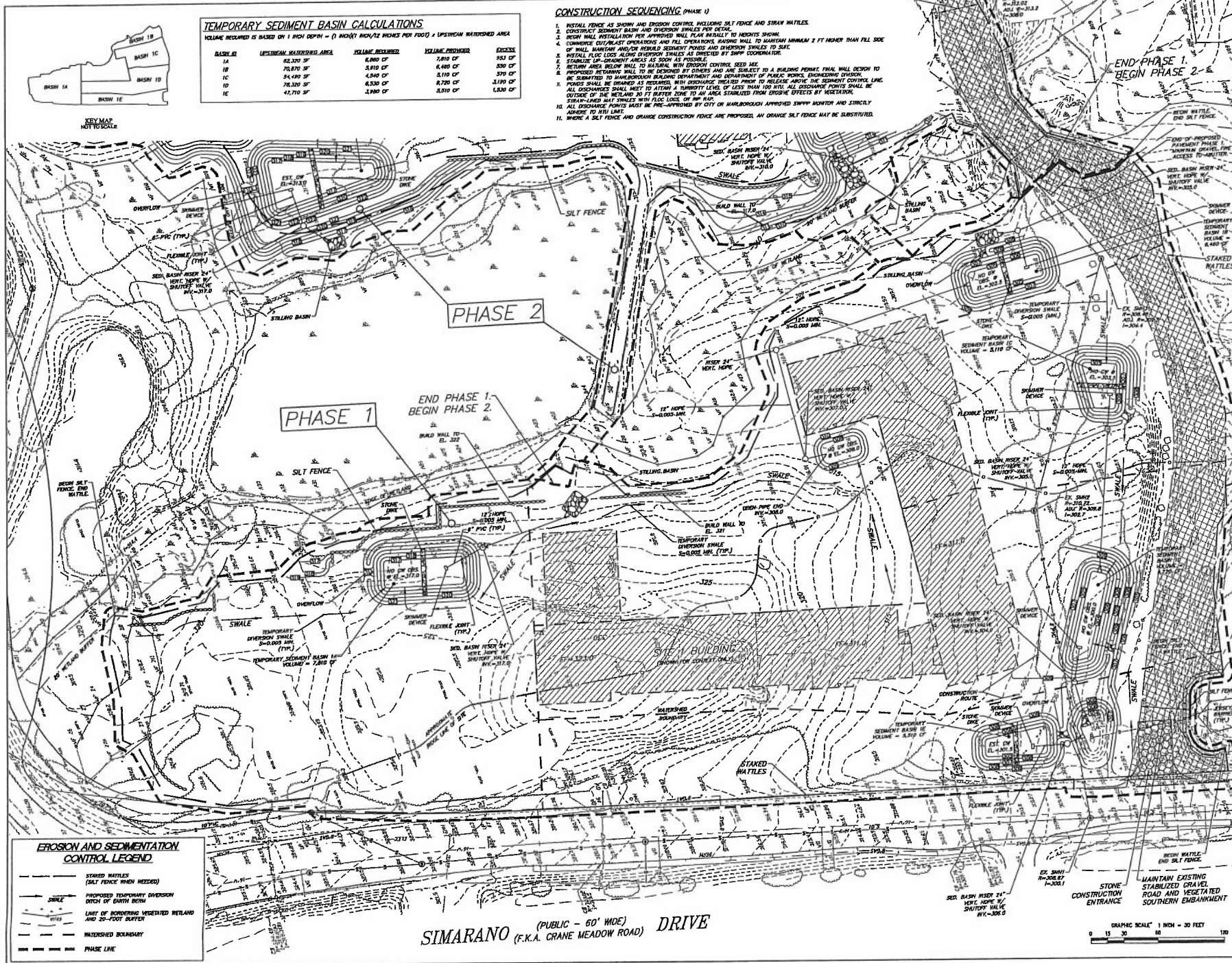




TEMPORARY SEDIMENT BASIN CALCULATIONS
 VOLUME REQUIRED IS BASED ON 1 INCH DEPTH = (1 INCH) (16.72 INCHES PER FOOT) / UPSTREAM WATERSHED AREA

Basin #	UPSTREAM WATERSHED AREA	VOLUME REQUIRED	VOLUME PROVIDED	EXCESS
1A	62,320 SF	6,480 CF	7,240 CF	760 CF
1B	76,870 SF	8,010 CF	8,480 CF	470 CF
1C	54,490 SF	5,740 CF	6,720 CF	980 CF
1D	78,320 SF	8,230 CF	8,720 CF	490 CF
1E	47,710 SF	5,000 CF	5,120 CF	120 CF

- CONSTRUCTION SEQUENCING (PHASE 1)**
1. INSTALL FENCE AS SHOWN AND EROSION CONTROL, INCLUDING SILT FENCE AND STRAW MATS.
 2. CONSTRUCT SEDIMENT BASIN AND DIVERSION SWALES PER DETAIL.
 3. BEGIN WALL INSTALLATION FOR APPROVED WALL PLAN INSTANTLY TO HEIGHTS SHOWN.
 4. COMMENCE CIVIL/PLANT OPERATIONS AND FULL OPERATIONS. BASIN WALL TO MAINTAIN MINIMUM 2 FT HIGHER THAN FILL SIDE OF WALL. MAINTAIN AND/OR REBUILD SEDIMENT POND AND DIVERSION SWALES TO SPEC.
 5. INSTALL FLOOD LOGS ALONG DIVERSION SWALES AS DIRECTED BY SPPP COORDINATOR.
 6. STABILIZE UP-DRAINAGE AREAS AS SOON AS POSSIBLE.
 7. RETURN AREA BELOW WALL TO NATURAL WITH EROSION CONTROL. SEE DETAIL.
 8. PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS AND SUBJECT TO A BUILDING PERMIT. FINAL WALL DESIGN TO BE SUBMITTED TO HANCOCK ASSOCIATES BUILDING DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS, ENGINEERING DIVISION.
 9. PONDS SHALL BE GRADED AS REQUIRED, WITH SLOPES REVEALED PRIOR TO RELEASE ABOVE THE SEDIMENT CONTROL LINE. ALL DISCHARGE SHALL MEET TO AT LEAST A TURBIDITY LEVEL OF LESS THAN 100 NTU. ALL DISCHARGE POINTS SHALL BE OUTSIDE OF THE WETLAND 30 FT BUFFER ZONE TO AN AREA STABILIZED FROM EROSION EFFECTS BY VEGETATION.
 10. STRAW MATS SHALL BE PLACED WITH FLOOD LOGS, OR MATS.
 11. ALL DISCHARGE POINTS MUST BE PRE-APPROVED BY CITY OF HANBOROUGH APPROVED SWAMP MONITOR AND STRICTLY MONITORED TO 100 NTU.
 12. WHERE A SILT FENCE AND ORANGE CONSTRUCTION FENCE ARE PROPOSED, AN ORANGE SILT FENCE MAY BE SUBSTITUTED.



GREEN DISTRICT
 107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

HANCOCK ASSOCIATES
 MAP 116 LEFT
 SCALE 5:11 & 1:2

PREPARED FOR
POST ROAD REALTY LLC
 11 Unquago Road
 Fairfield, Connecticut 06424

HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Wetland Scientists

305 GUN ST. MARLBOROUGH, MA 01752
 VOICE (508) 460-1111, FAX (508) 460-1121
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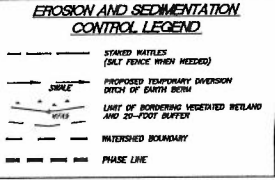
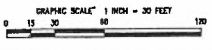


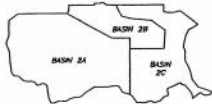
NO.	DATE	BY	DESCRIPTION
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2	11/21/18	SEE SHEET 1	REV. COMMENTS
3	11/21/18	SEE SHEET 1	REV. REVISION DESCRIPTION
4	11/21/18	SEE SHEET 1	REV. REVISION DESCRIPTION
5	11/21/18	SEE SHEET 1	REV. REVISION DESCRIPTION
6	11/21/18	SEE SHEET 1	REV. REVISION DESCRIPTION
7	11/21/18	SEE SHEET 1	REV. REVISION DESCRIPTION
8	11/21/18	SEE SHEET 1	REV. REVISION DESCRIPTION
9	11/21/18	SEE SHEET 1	REV. REVISION DESCRIPTION
10	11/21/18	SEE SHEET 1	REV. REVISION DESCRIPTION

STORMWATER POLLUTION PREVENTION PLAN SHEET 1

SPECIAL PERMIT AND SITE PLAN A PROPOSAL NOT FOR CONSTRUCTION
 DWG: 22680-19-01.dwg
 LAYOUT: ESC-1
 SHEET: 20 OF 32
 PROJECT NO.: 22680

SIMARANO (PUBLIC - 60' WIDE) DRIVE
 (F.K.A. CRANE MEADOW ROAD)



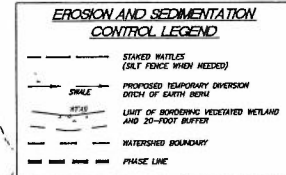


TEMPORARY SEDIMENT BASIN CALCULATIONS
 VOLUME REQUIRED IS BASED ON 1 INCH DEPTH = (1 INCH) (100/12 INCHES PER FOOT) x UPSTREAM WATERSHED AREA

BASIN #	UPSTREAM WATERSHED AREA	VOLUME REQUIRED	VOLUME PROVIDED	EXCESS
2A	18,130 SF	18,130 CF	480 CF	17,650 CF
2B	34,440 SF	42,000 CF	480 CF	41,520 CF
2C	104,250 SF	67,500 CF	480 CF	67,020 CF

CONSTRUCTION SEQUENCING (PHASE 2)

1. INSTALL FENCE AS SHOWN AND EROSION CONTROL INCLUDING SILT FENCE AND STRAW MATS.
2. CONSTRUCT SEDIMENT BASIN AND EROSION SWALES PER DETAIL.
3. BEGIN WALL INSTALLATION PER APPROVED WALL PLAN INITIALLY TO HEIGHTS SHOWN.
4. COMMENCE CUT/PAVE OPERATIONS AND FILL OPERATIONS. PAVING SHALL MAINTAIN MINIMUM 2 FT HIGHER THAN FILL SIDE OF WALL. MAINTAIN ADEQUATE SEDIMENT POUNDS AND EROSION SWALES TO DATE.
5. INSTALL FLOC LOCKS ALONG EROSION SWALES AS DIRECTED BY SWMP COORDINATOR.
6. STABLE UP DOWNHILL AREAS AS SOON AS POSSIBLE.
7. RETURN AREA BELOW WALL TO NATURAL WITH EROSION CONTROL SEED MAT.
8. PROPOSED RETAINING WALL TO BE DESIGNED BY GEOTECH AND ARE SUBJECT TO A BUILDING PERMIT. FINAL WALL DESIGN TO BE SUBMITTED TO MAJORITARIAN BUILDING DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS, ENGINEERING DIVISION.
9. POWERS SHALL BE DRAINED AS REQUIRED WITH DISCHARGE PROVIDED PRIOR TO RELEASE ABOVE THE SEDIMENT CONTROL LINE. ALL DISCHARGES SHALL MEET TO ATTAIN A TURBIDITY LEVEL OF LESS THAN 100 NTU. ALL DISCHARGE POINTS SHALL BE OUTSIDE OF THE WETLAND 25 FT BUFFER ZONE TO AN AREA STABILIZED FROM EROSION EFFECTS BY VEGETATION.
10. STRAIN-LINED MAT SWALES WITH FLOC LOCKS ON WP ROW.
11. ALL DISCHARGES MUST BE PRE-APPROVED BY CITY OR MAJORITARIAN APPROVED SWMP MONITOR AND STRICTLY ADHERE TO WTI LIMIT.
12. WHERE A SILT FENCE AND ORANGE CONSTRUCTION FENCE ARE PROPOSED, AN ORANGE SILT FENCE MAY BE SUBSTITUTED.



GREEN DISTRICT
 107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

MAP 116 **LOT** 5, 11 & 12

POST ROAD REALTY LLC
 11 Unquoin Road
 Fairfield, Connecticut 06424

HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Wetland Scientists

315 Elm St, MARLBOROUGH, MA 01752
 VOICE (508) 860-7111 FAX (508) 488-1122
 WWW.HANCOCKASSOCIATES.COM

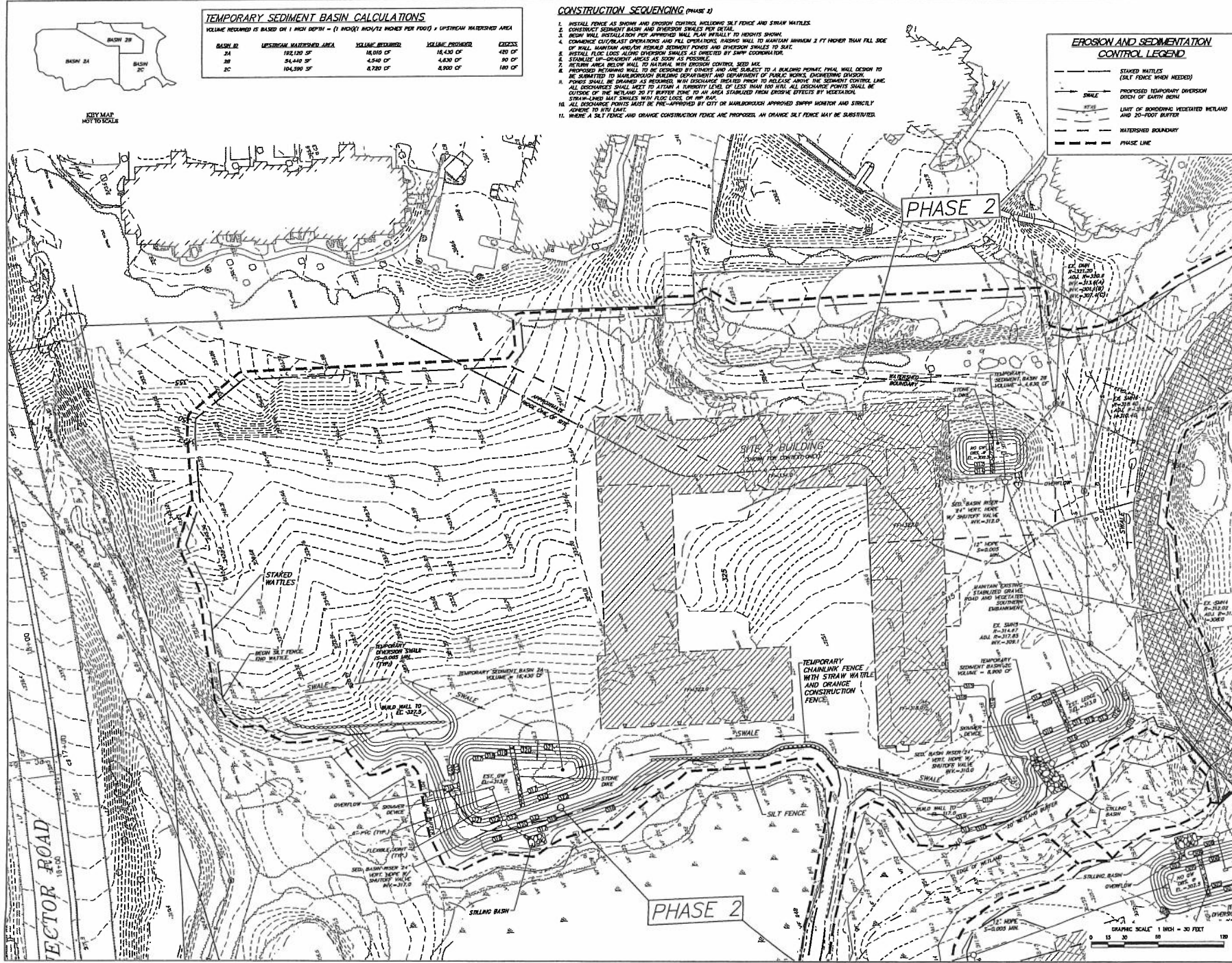


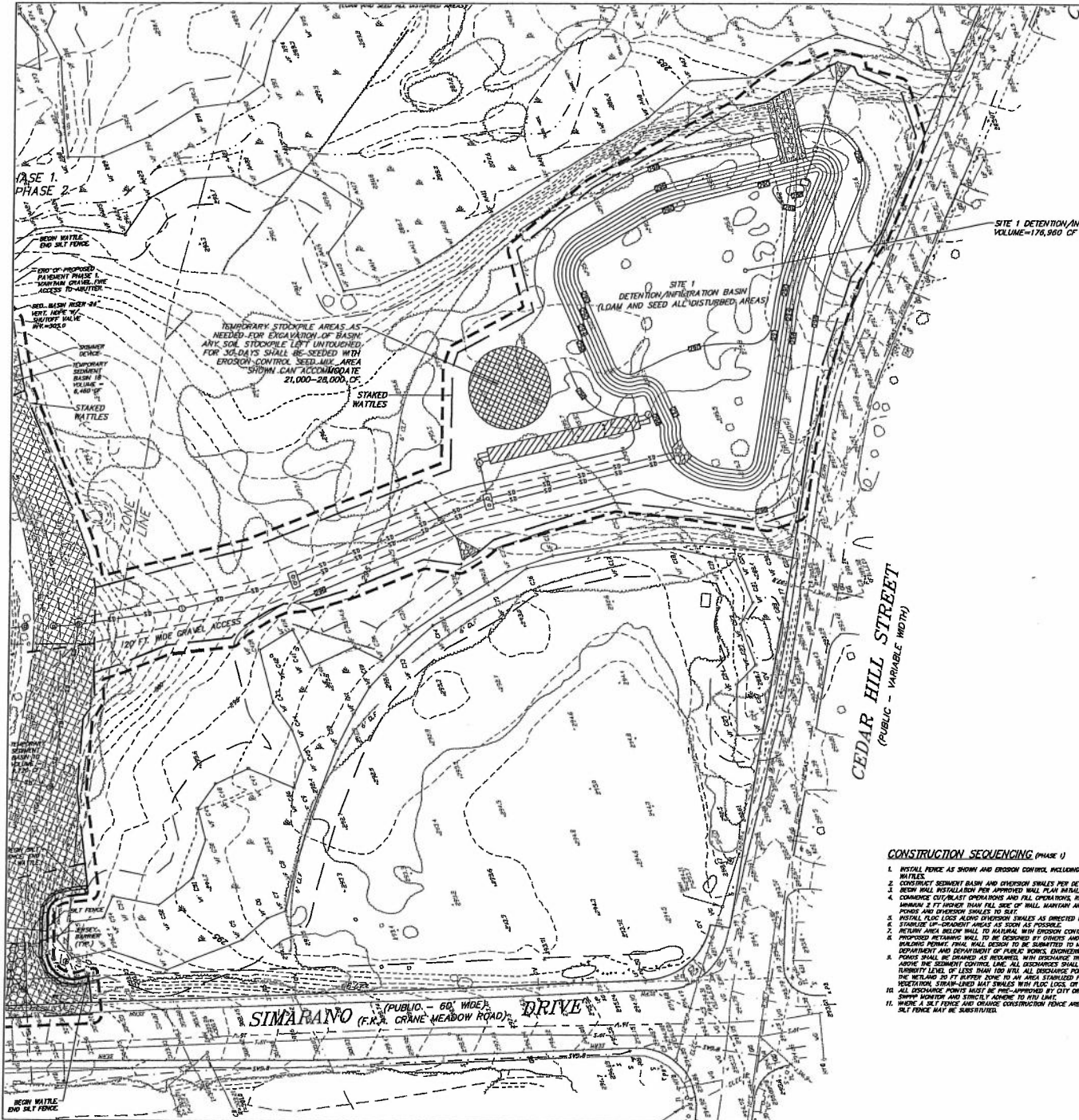
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8	AUG 27/21	REV	FOR COMMENTS
9	AUG 27/21	REV	FOR COMMENTS
10	AUG 27/21	REV	FOR COMMENTS

STORMWATER POLLUTION PREVENTION PLAN SHEET 2

SPECIAL PERMIT AND SITE PLAN APPROVAL
 NOT FOR CONSTRUCTION

DATE: 2021-08-27
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: 22680

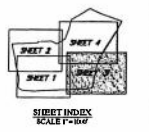
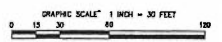




- CONSTRUCTION SEQUENCING (PHASE 1)**
1. INSTALL FENCE AS SHOWN AND EROSION CONTROL INCLUDING SILT FENCE AND STRAW WATTLERS.
 2. CONSTRUCT SEDIMENT BASIN AND DIVERSION SWALES PER DETAIL.
 3. BEEM WALL INSTALLATION PER APPROVED WALL PLAN INSTALLED TO HEIGHTS SHOWN.
 4. CONDUCTE CUT/SLURRY OPERATIONS AND FILL OPERATIONS, HAVING WALL TO MAINTAIN MINIMUM 2 FT HIGHER THAN FILL SIDE OF WALL. MAINTAIN ANY/OF REBUILT SEDIMENT PONDING AND DIVERSION SWALES TO SILET.
 5. INSTALL PLUG LOGS ALONG DIVERSION SWALES AS DIRECTED BY SAMPY COORDINATOR.
 6. STABILIZE UP-DRAINAGE AREAS AS SOON AS POSSIBLE.
 7. RETURN AREA BELOW WALL TO NATURAL WITH EROSION CONTROL SEED MIX.
 8. PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS AND ARE SUBJECT TO A BUILDING PERMITS. FINAL WALL DESIGN TO BE SUBMITTED TO HANCOCKSON BUILDING DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION.
 9. DIVERSION SWALES SHALL BE SHOWN AS REQUIRED. WITH DISCHARGE INCLUDES POND TO RELEASE BEHIND THE SEDIMENT CONTROL LINE. ALL DISCHARGES SHALL MEET TO AT LEAST A MINIMUM LEVEL OF LESS THAN 100 YDS. ALL DISCHARGE POINTS SHALL BE OUTSIDE OF THE WETLAND TO FT BUFFER ZONE TO AN AREA STABILIZED FROM EROSION EFFECTS BY VEGETATION. STABILIZED MAT SWALES WITH PLUG LOGS OR BY PUMP.
 10. ALL DISCHARGE POINTS MUST BE PRE-APPROVED BY CITY OF MARLBOROUGH APPROVED SWAMP MONITOR AND STRICTLY MONITOR TO 10% LIMIT.
 11. WHERE A SILT FENCE AND ORANGE CONSTRUCTION FENCE ARE PROPOSED, AN ORANGE SILT FENCE MAY BE SUBSTITUTED.

EROSION AND SEDIMENTATION CONTROL LEGEND

---	STAKED WATTLERS (SILT FENCE WHEN NEEDED)
---	PROPOSED TEMPORARY DIVERSION DITCH OF GRASSY BANK
---	SWALE
---	LIMIT OF BOUNDING VEGETATED WETLAND AND 30-FOOT BUFFER
---	WATER-SHED BOUNDARY
---	PHASE LINE



GREEN DISTRICT

107
SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MARLBOROUGH ADDRESS:

MAP	LOT
116	5, 11 & 12

PREPARED FOR

POST ROAD REALTY LLC

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Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 Elm St. Marlborough, MA 01752
PHONE (508) 465-1111 FAX (508) 466-1121
WWW.HANCOCKASSOCIATES.COM



NO.	DATE	DESCRIPTION
1	10/1/17	ISSUE/REVISION DESCRIPTION
2	10/1/17	ISSUE/REVISION DESCRIPTION
3	10/1/17	ISSUE/REVISION DESCRIPTION
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STORMWATER POLLUTION PREVENTION PLAN SHEET 3

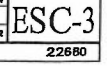
SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DWG: 22680-PS-03.dwg

LAYOUT: ESC-3

SHEET: 22 OF 32

PROJECT NO.: 22680

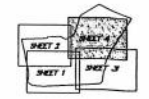


CONSTRUCTION SEQUENCING (PHASE 3)

1. INSTALL FENCE AS SHOWN AND EROSION CONTROL, INCLUDING SILT FENCE AND STRAW WATTLES.
2. CONSTRUCT SEDIMENT BASIN AND OVERFLOW SHOULDER PER DETAIL.
3. BEGIN WALL INSTALLATION PER APPROVED WALL PLAN UNTIL IT REACHES SHOWN.
4. COMMENCE CUT/BLAST OPERATIONS AND FILL OPERATIONS RAINING WALL TO MAINTAIN MINIMUM 2 FT HIGHER THAN FILL SIDE OF WALL. MAINTAIN MINIMUM REQUIRED SEDIMENT PONDING AND OVERFLOW SHOULDER TO SAFE.
5. INSTALL FLOC LOGS ALONG OVERFLOW SHOULDER AS DIRECTED BY SWPPP COORDINATOR.
6. STABILIZE EXPOSED AREAS AS SOON AS POSSIBLE.
7. RETURN AREA BELOW WALL TO ORIGINAL WITH EROSION CONTROL. SEED MIX.
8. PROPOSED REMAINING WALL TO BE DESIGNED BY CIVILIAN AND SUBJECT TO A BUILDING PERMIT. FINAL WALL DESIGN TO BE SUBMITTED TO HANCOCK BUILDING DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS. ENGINEERING DESIGN.
9. PONDING SHALL BE DRAINED AS REQUIRED WITH STRUCTURE INSTALLED PRIOR TO RELEASE ABOVE THE SEDIMENT CONTROL LINE. ALL DISCHARGES SHALL MEET TO AT LEAST A TURBIDITY LEVEL OF LESS THAN 100 NPWL. ALL DISCHARGE POINTS SHALL BE OUTSIDE OF THE WETLAND 50 FT BUFFER ZONE TO AN AREA STABILIZED FROM EROSION EFFECTS BY VEGETATION.
10. STRAW-LINED MAT STABLES WITH FLOC LOGS, OF 8" X 4'.
11. ALL DISCHARGE POINTS MUST BE PRE-APPROVED BY CITY OF HANCOCK/PROPOSED SWPPP MONITOR AND STRICTLY adhere to PERMITS.
12. WHERE A SILT FENCE AND ORANGE CONSTRUCTION FENCE ARE PROPOSED, AN ORANGE SILT FENCE MAY BE SUBSTITUTED.

EROSION AND SEDIMENTATION CONTROL LEGEND

- STAKED WATTLES (SILT FENCE WHEN NEEDED)
- SHALE (PROPOSED TEMPORARY OVERFLOW DITCH OF EARTH BORN)
- STRIP (LIMIT OF BORDERING VEGETATED WETLAND AND 30-FOOT BUFFER)
- WATERSHED BOUNDARY
- PHASE LINE



SHEET INDEX
SCALE 1"=100'

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Northborough, Massachusetts 01752

MAP DATE: 11/6
SCALE: 5.11 & 1:2

PREPARED FOR:
POST ROAD REALTY LLC

11 Unqonpa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

310 Elm St. Northborough, MA 01752
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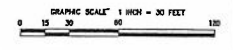
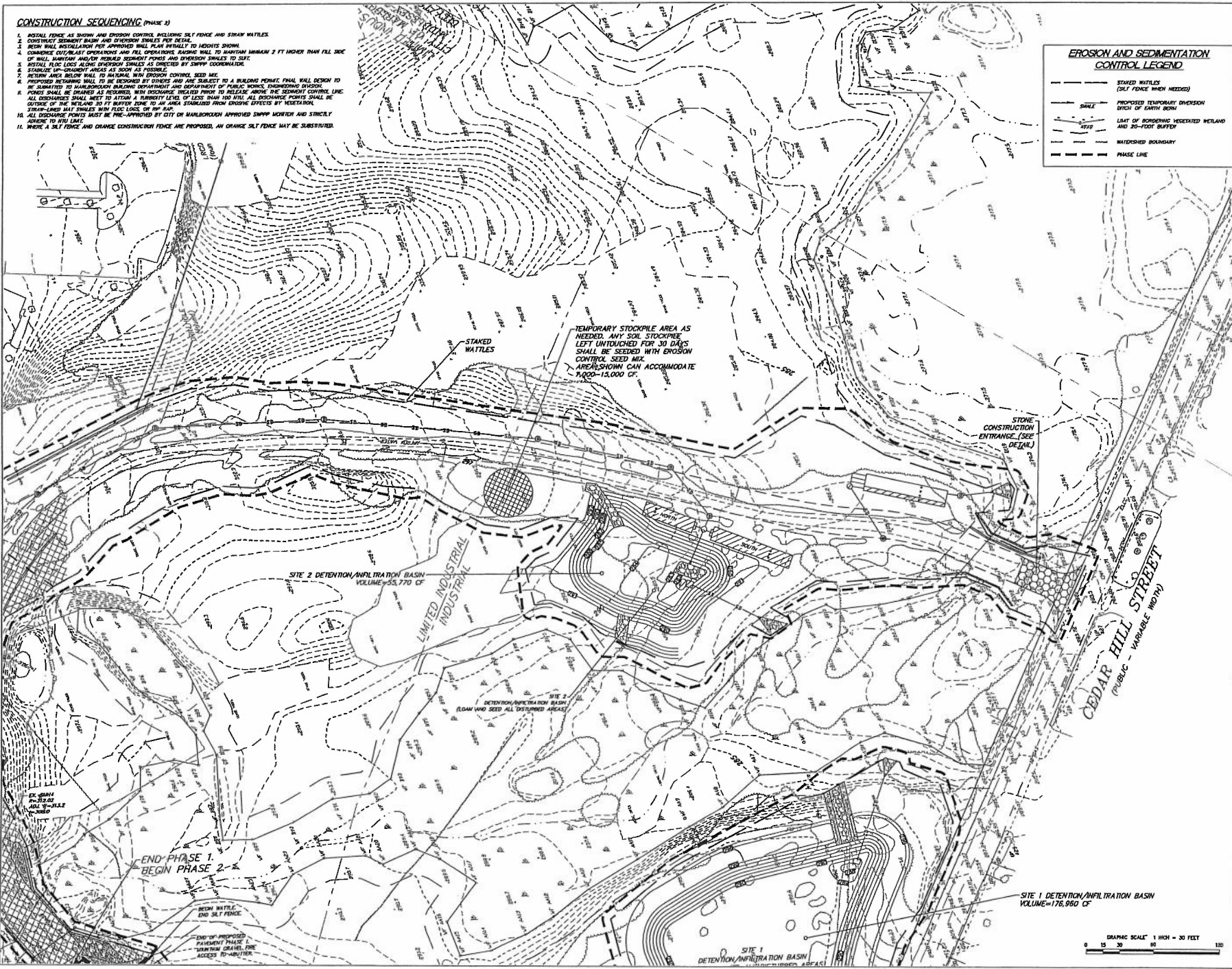


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9	11/17/21	PER COMMENTS	
10	11/17/21	PER COMMENTS	

STORMWATER POLLUTION PREVENTION PLAN SHEET 4

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DATE: 2/28/20-09-21/21
LAYOUT: ESC-4
SHEET: 23 OF 32
PROJECT NO.: 22680



SITE 1
DETENTION/INFILTRATION BASIN
VOLUME=176,960 CF

SITE 2
DETENTION/INFILTRATION BASIN
VOLUME=55,770 CF

SITE 2
DETENTION/INFILTRATION BASIN
(FLOW AND SEED ALL DISTURBED AREAS)

CEDAR HILL STREET
(PUBLIC - VARIABLE WIDTH)

LIMITED INDUSTRIAL

END PHASE 1
BEGIN PHASE 2

BEAM WATTLE
AND SILT FENCE

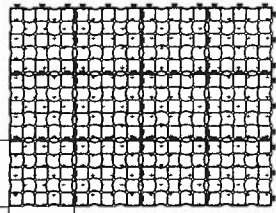
LIMIT OF PROPOSED
PAVEMENT PHASE 1,
TRANSFER GRAVEL, FINE
AGGREGATE TO ADJUTER.

TEMPORARY STOCKPILE AREA AS
NEEDED, ANY SOIL STOCKPILES
LEFT UNTOUCHED FOR 30 DAYS
SHALL BE SEED WITH EROSION
CONTROL SEED MIX.
AREA/SHOWN CAN ACCOMMODATE
8,000-15,000 CF.

STAKED
WATTLES

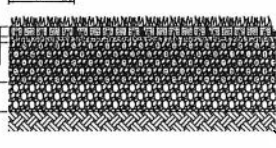
STONE
CONSTRUCTION
ENTRANCE (SEE
DETAIL)





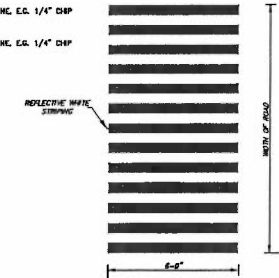
ECORASTER E50:
TOPSOIL & GRASS
AND BEDDED

- ECORASTER E50 NOTES:
1. THICKNESS OF FERTILE INTERMEDIATE LAYER & DRAINAGE LAYER DEPENDENT UPON SPECIFIC SITE & LOADING CONDITIONS.
 2. 3" CHP CLEAR OR OTHER SUITABLE CLEAR STONE CAN BE USED FOR DRAINAGE LAYER.
 3. TYPICAL SEED MIX:
 - 45% CREeping RED FESCUE,
 - 35% TALL FESCUE,
 - 15% PERENNIAL RYE GRASS, AND
 - 5% KENTUCKY BLUE GRASS, WITH
 - LONG TERM FERTILIZER.
 SEED MIX SHOULD BE MODIFIED TO SUIT LOCAL CONDITIONS.
 4. DRAINAGE SYSTEM OF THE PERMEABLE PAVEMENT SYSTEM SHOULD BE DESIGNED TO ACCOMMODATE EXPECTED INFILTRATION RATES, STORAGE CAPACITY, OUTLET FLOW RATES, AND OTHER SITE SPECIFIC CONDITIONS.
 5. SUBGRADE SHOULD BE SLOPED TO AID IN DRAINAGE.
 6. SEE ECORASTER GREEN INSTALLATION MANUAL FOR FURTHER INFORMATION ON LAYERS.
 7. ALL DIMENSIONS IN mm UNLESS STATED OTHERWISE.
 8. THIS DRAWING IS FOR CONCEPTUAL DESIGN PURPOSES ONLY, NOT FOR CONSTRUCTION.

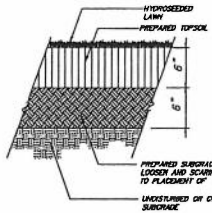


ECORASTER E50:
TOPSOIL & GRASS
LEVELLING LAYER:
MIX OF SAND & TOPSOIL.
FERTILE INTERMEDIATE LAYER:
WELL GRADED, ANGULAR CLEAR STONE, E.G. 1/4" CHP
WITH 30-35% TOPSOIL.
DRAINAGE LAYER:
WELL GRADED, ANGULAR CLEAR STONE, E.G. 1/4" CHP
UNWORN GEOTEXTILE
SEPARATION LAYER
COMPACTED
SUBGRADE

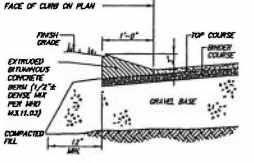
ECORASTER E50 GRASS PAVER FOR
FIRE LANE
NOT TO SCALE



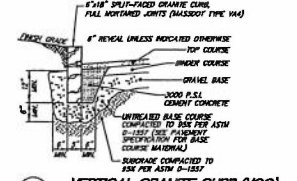
CROSSWALK
NOT TO SCALE



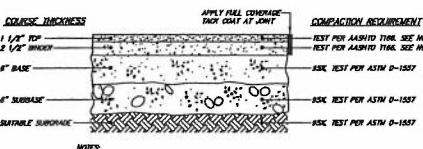
LOAM AND SEED
NOT TO SCALE



CAPE COD BERM (CCB)
CROSS SECTION
NOT TO SCALE

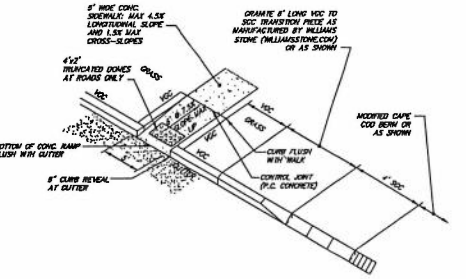


VERTICAL GRANITE CURB (VGC)
CROSS SECTION
NOT TO SCALE

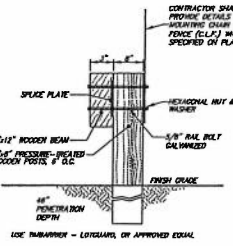


MATERIAL	SPECIFICATION	MAINTAIN ADEQUATE OR PARTICLE SIZE (IN)
TOP - BITUMINOUS CONCRETE	AND MIXED CLASS 1 TYPE I-1	1/2
BINDER - BITUMINOUS CONCRETE	AND MIXED CLASS 1 TYPE I-1	1
BASE - DENSE GRADED CRUSHED STONE	AND MIXED CLASS 1 TYPE I-1	1 1/2
SUBGRADE - GRAVEL BORROW	AND MIXED TYPE C	2

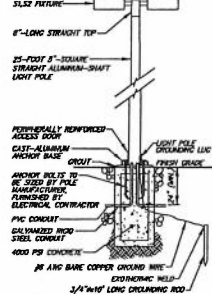
BITUMINOUS CONCRETE PAVEMENT
TYPICAL CROSS SECTION
NOT TO SCALE



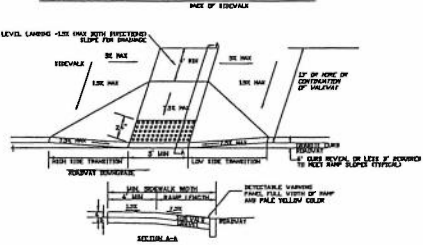
TYPE D ACCESSIBLE CURB RAMP (AR-D)-PEDESTRIAN RAMPS - ISOMETRIC VIEW
NOT TO SCALE



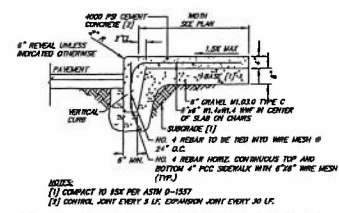
WOOD GUARDRAIL
TYPICAL CROSS SECTION
NOT TO SCALE



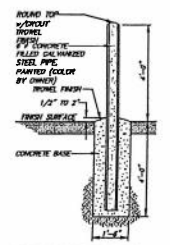
LIGHT POLE W/BASE
NOT TO SCALE



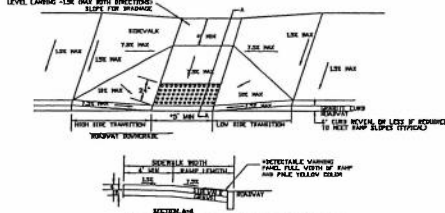
TYPE A ACCESSIBLE CURB RAMP (AR-A)- WHEELCHAIR RAMPS - GREATER THAN 13'-0" SIDEWALK
NOT TO SCALE



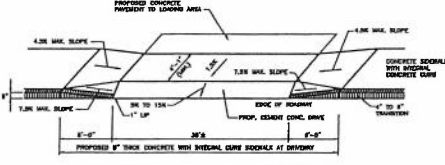
SIDEWALK WITH INTEGRATED CURB (ICC)
CROSS SECTION
NOT TO SCALE



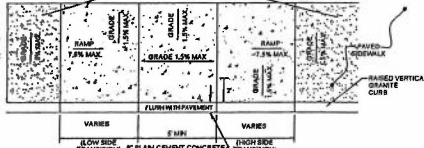
BOLLARD (B)
TYP. CROSS SECTION
NOT TO SCALE



TYPE B ACCESSIBLE CURB RAMP (AR-B)- PEDESTRIAN RAMPS - SIDEWALK WIDTH 6.5' AND GREATER
NOT TO SCALE



LOADING AREA - REAR BUILDING ONE
CROSS SECTION
NOT TO SCALE



TYPE AR-C ACCESSIBLE CURB RAMP (AR-C)- PEDESTRIAN RAMPS
NOT TO SCALE

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

MAINT. LOG
116 5/11 R 12

POST ROAD REALTY LLC

11 Unquago Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Welland Scientists

315 Elm St. Methuen, MA 01752
PHONE (978) 488-1111, FAX (978) 488-1121
WWW.HANCOCKASSOCIATES.COM



1	PL. AND IN PLAN SEE SHEET 1 REV. NOTES
2	1.5" x 1" FINISH FOR CONCRETE
3	NO. 4 REBAR TO BE TIED INTO WIRE MESH # 3" x 3" O.C.
4	NO. 4 REBAR HORIZ. CONCRETE TOP AND BOTTOM 4" FROM SIDEWALK WITH # 3" x 3" O.C.
5	NO. 4 REBAR TO BE TIED INTO WIRE MESH # 3" x 3" O.C.
6	NO. 4 REBAR HORIZ. CONCRETE TOP AND BOTTOM 4" FROM SIDEWALK WITH # 3" x 3" O.C.
7	NO. 4 REBAR TO BE TIED INTO WIRE MESH # 3" x 3" O.C.
8	NO. 4 REBAR HORIZ. CONCRETE TOP AND BOTTOM 4" FROM SIDEWALK WITH # 3" x 3" O.C.
9	NO. 4 REBAR TO BE TIED INTO WIRE MESH # 3" x 3" O.C.
10	NO. 4 REBAR HORIZ. CONCRETE TOP AND BOTTOM 4" FROM SIDEWALK WITH # 3" x 3" O.C.
11	NO. 4 REBAR TO BE TIED INTO WIRE MESH # 3" x 3" O.C.
12	NO. 4 REBAR HORIZ. CONCRETE TOP AND BOTTOM 4" FROM SIDEWALK WITH # 3" x 3" O.C.
13	NO. 4 REBAR TO BE TIED INTO WIRE MESH # 3" x 3" O.C.
14	NO. 4 REBAR HORIZ. CONCRETE TOP AND BOTTOM 4" FROM SIDEWALK WITH # 3" x 3" O.C.
15	NO. 4 REBAR TO BE TIED INTO WIRE MESH # 3" x 3" O.C.
16	NO. 4 REBAR HORIZ. CONCRETE TOP AND BOTTOM 4" FROM SIDEWALK WITH # 3" x 3" O.C.
17	NO. 4 REBAR TO BE TIED INTO WIRE MESH # 3" x 3" O.C.
18	NO. 4 REBAR HORIZ. CONCRETE TOP AND BOTTOM 4" FROM SIDEWALK WITH # 3" x 3" O.C.
19	NO. 4 REBAR TO BE TIED INTO WIRE MESH # 3" x 3" O.C.
20	NO. 4 REBAR HORIZ. CONCRETE TOP AND BOTTOM 4" FROM SIDEWALK WITH # 3" x 3" O.C.

PAVEMENT DETAILS

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DATE: 09/20/2019
LAYOUT: DT-1
SHEET: 24 OF 22
PROJECT NO: 22680

D-1

NOTES GENERAL PERMIT PURPOSES

THIS PLAN HAS BEEN PREPARED TO PROVIDE THE CONTRACTOR WITH GUIDANCE DURING THE CONSTRUCTION PROCESS THAT WILL LIMIT THE GENERATION OF POLLUTANTS FROM THE AND ALSO FOR SEDIMENT CONTROLS WHILE SEDIMENT CONTROLS ARE OBSERVED AND MAINTAINED. THIS PLAN EMPHASIZES THE USE OF PROPHYLACTIC CONTROL MEASURES THAT WILL LESSEN THE NEED FOR REMEDIAL TREATMENT.

THIS PLAN IS INTENDED TO MEET THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS OF SECTION 402 OF THE FEDERAL CLEAN WATER ACT ADMINISTERED BY THE US EPA, AND TO MEET AS A COMPONENT TO THE ORDER OF CONSTRUCTION ISSUED UNDER THE MASSACHUSETTS WETLAND PROTECTION ACT AND APPLICABLE WETLAND BYLINES.

NOTES REQUIREMENTS

THIS PLAN IS TO SERVE AS THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THIS PLAN WILL BE ADAPTED AS REQUIRED BY UNANTICIPATED CHANGES IN SITE CONDITIONS CAUSED BY THE IMPROVEMENTS OF CONDITIONS OR WEATHER CONDITIONS SHALL BE POSTED ON SITE IN A VISIBLE LOCATION AND PROTECTED FROM THE ELEMENTS.

THE NPDES NOTICE OF VIOLATION (NOV) MAY BE ISSUED IF A VIOLATION OCCURS WITHIN THE PERMITTED PERIOD AS SPECIFIED.

A COPY OF THE NPDES SUBMITTAL, INCLUDING THIS PLAN, THE PERMIT NUMBER, THE ORDER OF CONDITIONS, AND INSPECTION RECORDS ARE TO BE KEPT ON SITE ON A DESIGNATED LOCATION AND TO BE MADE AVAILABLE TO INSPECTORS.

THE EPA HAS DEFINED THE SITE OPERATOR AS THE PARTY THAT HAS DAY TO DAY OPERATIONAL CONTROL OF THOSE ACTIVITIES AT A PROJECT WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE SWPPP UNDER PERMIT CONDITIONS. NPDES ASSOCIATES SHALL NOT BE CONSIDERED THE SITE OPERATOR OR SWPPP COORDINATOR.

NOTES REQUIREMENTS

THE SITE OPERATOR OR QUALIFIED CONSULTANT SHALL MAKE INSPECTIONS. THE SITE OPERATOR WILL HAVE KNOWLEDGE OF PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL AND WILL POSSESS SKILLS TO ASSESS IMPACT AT THE CONSTRUCTION SITE THAT COULD IMPACT STORMWATER QUALITY. INSPECTION WILL RECORD THE EFFECTIVENESS OF ANY SEDIMENT AND CONTROL MEASURES SELECTED TO CONTROL THE QUALITY OF STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.

INSPECTIONS BY THE INSPECTOR SHALL INCLUDE ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION ACTIVITIES. INSPECTIONS SHALL TAKE PLACE AT LEAST ONCE EVERY 14 CALENDAR DAYS OF WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5" OF RAIN OR GREATER.

THE FOLLOWING MINIMAL CRITERIA WILL BE OBSERVED DURING AN INSPECTION:

1. THE DATE OF OBSERVATION
2. NAME, TITLE AND QUALIFICATIONS OF THE SITE OPERATOR MAKING THE INSPECTION
3. WEATHER CONDITIONS, INCLUDING PRECIPITATION EVENTS BETWEEN THE DATE OF THE LAST OBSERVATION AND INSPECTION
4. LOCATION OF DISCHARGES
5. STATUS OF EROSION CONTROL DEVICES AND STORMWATER MANAGEMENT SYSTEMS
6. LOCATION OF ANY FAILED DEVICE OR SYSTEM COMPONENTS
7. COMPLIANCE TO SWPPP ON A BASIS FOR IMPROVEMENTS AND REVISION TO PLAN
8. ACTIONS TO BE TAKEN WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES RESUME.

OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INSTALLED.

INSPECTIONS MAY BE SUSPENDED TO ONCE A MONTH IN 1. ENTIRE SITE IS TEMPORARILY STABILIZED, 2. RAINFALL IS UNLIKELY DUE TO WEATHER CONDITIONS

AFTER THE SITE IS STABILIZED, INSPECTIONS ARE REQUIRED AT MINIMUM INTERVALS FOR A PERIOD OF 3 YEARS STARTING FROM THE DATE THAT 75% OF THE SITE HAS BEEN COVERED BY VEGETATION.

NOTES REQUIREMENTS

SWPPP Coordinator - To be determined

LIQUID DISCHARGE-STANDARD 10

STORMWATER MANAGEMENT SYSTEMS AND EROSION CONTROL MEASURES ARE NOT DESIGNED TO HANDLE THE FOLLOWING LIQUID DISCHARGES:

1. SANITARY WASTEWATER
2. EFFLUENT FROM SEPTIC TANKS
3. FLOOR DRAINS
4. CAR WASH WASTEWATER
5. DISPOSAL OF OIL, OTHER HYDROCARBONS, AND LIQUID/SOLID WASTES
6. SPILLS FROM VEHICLE ACCIDENTS
7. SPILLS FROM FUELING OPERATIONS
8. APPROVED DISPOSAL OF AUTO AND HOUSEHOLD TOXICS

WHILE NONE OF THESE DISCHARGES EXCEPT NUMBER 8, SHOULD BE PRESENT AT THIS SITE, THE OPERATOR MUST BE AWARE OF LIQUID DISCHARGES. IF DISCHARGE IS OBSERVED, THE OPERATOR MUST FIND THE SOURCE AND REMOVE OR CORRECT THE LIQUID DISCHARGE AND DOCUMENT THE ACTIONS TAKEN.

GENERAL CONSTRUCTION REQUIREMENTS

1. PARKING OF VEHICLES SHALL NOT TAKE PLACE WITHIN 100' OF WETLANDS.
2. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING STUMPS/BRANCHES, SHALL BE ALLOWED.
3. NO MATERIALS SHALL BE DEPOSITED INTO THE WETLANDS OR INTO EXISTING OR PROPOSED DRAINAGE SYSTEMS. ALL CONSTRUCTION SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE WASH-WATER WILL DRAIN DIRECTLY INTO WETLANDS OR EXISTING STORMWATER COLLECTION SYSTEMS.
4. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, WHICH SHALL INCLUDE STREET CLOSING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, AS NEEDED.
5. THE CONTRACTOR SHALL ESTABLISH A WATER RESOURCE TO SUPPLY A "WATER BROW" OR OTHER MEANS TO PROVIDE WATER FOR DUST CONTROL. WATER SHALL NOT BE WITHDRAWN FROM WETLAND AREAS.
6. EQUIPMENT AND MATERIALS SHALL BE STORED BEYOND THE 100' BUFFER ZONE.
7. OILS, LUBRICANTS, ANTIFREEZE, AND OTHER SIMILAR MATERIALS SHALL NOT BE STORED ON SITE. ALL FLAMMABLE AND POTENTIALLY HAZARDOUS WASTE SUBSTANCES SHALL BE PUT IN LEAK PROOF CONTAINERS FOR DISPOSAL OFF-SITE ON THE DAY GENERATED. PROVISIONS FOR SPILL CONTROL AND CONTAINMENT SHALL BE PRESENT AND INCLUDE A FLAT OPEN CONTAINER TO BE PLACED UNDER EQUIPMENT, OIL-ABSORBENT MATERIALS, AND METHYLENE DYES TO SEAL CATCH BASIN DRAINS.
8. SANITARY FACILITIES SHALL BE LOCATED IN THE EQUIPMENT STORAGE AREA. THEY SHALL BE PLACED ON AN IMPERVIOUS BARRIER, AND BE PROPERLY PROTECTED FROM OVERFLOWING.
9. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL.
10. GOOD HOUSEKEEPING & SPILL CONTROL PRACTICE WILL BE FOLLOWED DURING CONSTRUCTION TO MINIMIZE CONTAMINATION FROM TANKS LOCATED IN TABLE 2.

TABLE 2. POTENTIAL CONSTRUCTION SITE STORMWATER POLLUTANTS

TRADE NAME OF MATERIAL	CHEMICAL/PHYSICAL DESC.	STORM WATER POLLUTANTS
PESTICIDES	VARIOUS COLORED TO POWDERS/PELLETS/GRAINS	ORGANIZED HYDROCARBONS ORGANOPHOSPHORUS CARBAMATES AZINES
FERTILIZERS	LIQUID OR SOLID GRAINS	NITROGEN, PHOSPHORUS
CEMENTING AGENTS	CEMENT/POSSIBLE OILS	POTENTIAL FOR LEAKING OF HYDROCARBONS/PAH'S
WASTEWATER FROM CONSTRUCTION	WATER	SOIL, OIL, GREASE, SOLIDS
HYDRAULIC OILS/FLUIDS	BROWN OILY PETROLEUM HYDROCARBON	MINERAL OIL
GASOLINE	POLYBENZENE, KEROSENE, DIESEL FUEL, OR OTHER PETROLEUM HYDROCARBON	BENZENE, OILS, POLYCYCLIC AROMATIC HYDROCARBONS
DIESEL FUEL	CLEAR BLUE-GREEN TO YELLOW LIQUID	PETROLEUM DISTILLATE, GREASE NAPHTHALENES, STYRENES
KEROSENE	PALE YELLOW LIQUID HYDROCARBON	COAL OIL, PETROLEUM DISTILLATE
ANTIFREEZE	CLEAR GREEN/YELLOW LIQUID	ETHYLENE GLYCOL, PROPYLENE GLYCOL, HEAVY METALS-COPPER, LEAD, ZINC
EROSION	SOLID PARTICLES	SOIL, SEDIMENT

COMPLETION OF PROJECT

THE PROJECT WILL NOT BE COMPLETED UNTIL ALL SURFACES ARE EROSION RESISTANT, CATCH BASINS ARE CLEAN, AND MEASURES ARE IN WORKING/FUNCTIONAL CONDITIONS.

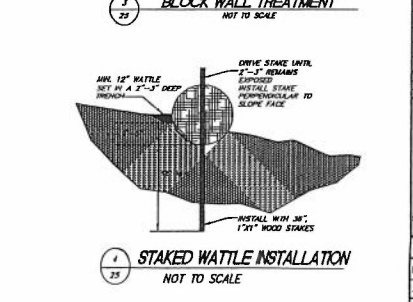
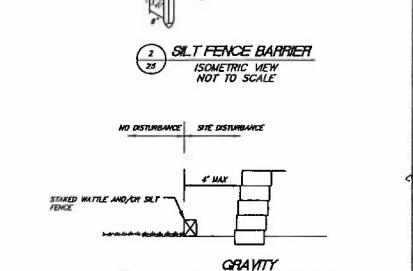
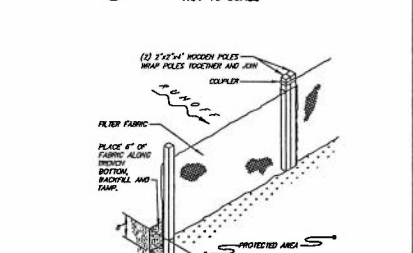
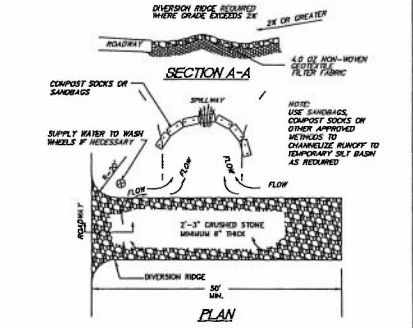
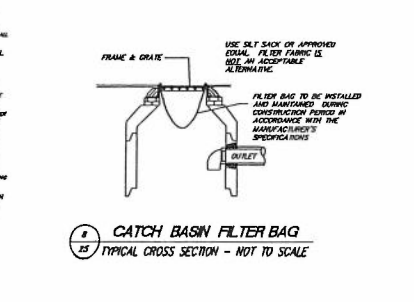
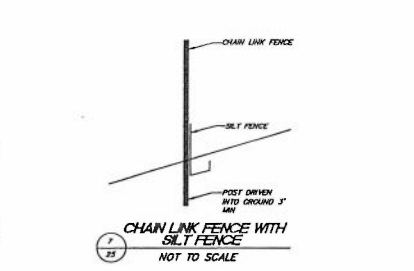
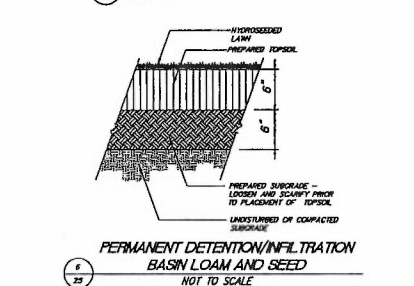
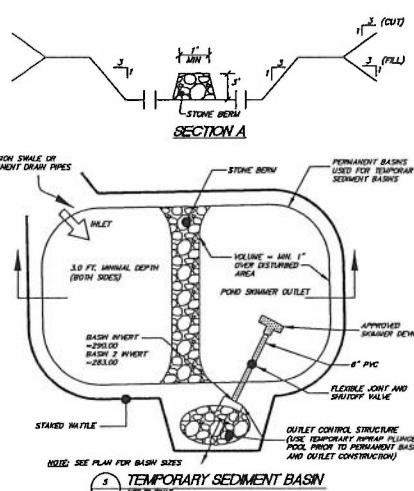
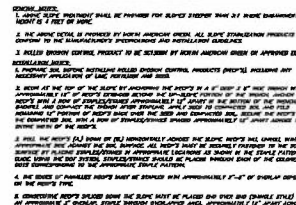
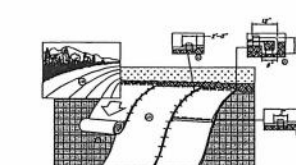
TERMINATION

A NOTICE OF TERMINATION (NOT) FORM SHALL BE SUBMITTED BY THE SITE OPERATOR WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:

1. FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE OPERATOR IS RESPONSIBLE.
2. ANOTHER OPERATOR HAS ASSUMED CONTROL, ACCORDING TO APPROVED C SECTION 110 OF THE NPDES COP, OVER ALL AREAS OF THE SITE THAT HAVE BEEN STABILIZED.
3. CONTRACTOR HIRING AN INDIVIDUAL OR ALTERNATIVE GENERAL NPDES PERMIT HAS BEEN OBTAINED.
4. TEMPORARY STABILIZATION HAS BEEN ESTABLISHED.

RECORDS

RECORDS SHALL BE KEPT OF ALL INSPECTIONS AND MAINTENANCE PERFORMED. A SAMPLE INSPECTION FORM IS SHOWN BELOW AND IT SHALL BE ADAPTED AS REQUIRED BY EXPERIENCE.



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Northford, Massachusetts 01752

MAIL LOT
116 S, 11 & 12

POST ROAD REALTY LLC

11 Unquogue Road
Fairfield, Connecticut 06424

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

390 Elm St. Northford, MA 01752
PHONE (508) 480-1111, FAX (508) 480-1121
WWW.HANCOCKASSOCIATES.COM



NO.	DATE	DESCRIPTION
1	1/12/17	FOR CONSTRUCTION
2	1/12/17	FOR CONSTRUCTION
3	1/12/17	FOR CONSTRUCTION
4	1/12/17	FOR CONSTRUCTION
5	1/12/17	FOR CONSTRUCTION
6	1/12/17	FOR CONSTRUCTION
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22	1/12/17	FOR CONSTRUCTION
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24	1/12/17	FOR CONSTRUCTION
25	1/12/17	FOR CONSTRUCTION

SWPPP EROSION CONTROL DETAILS

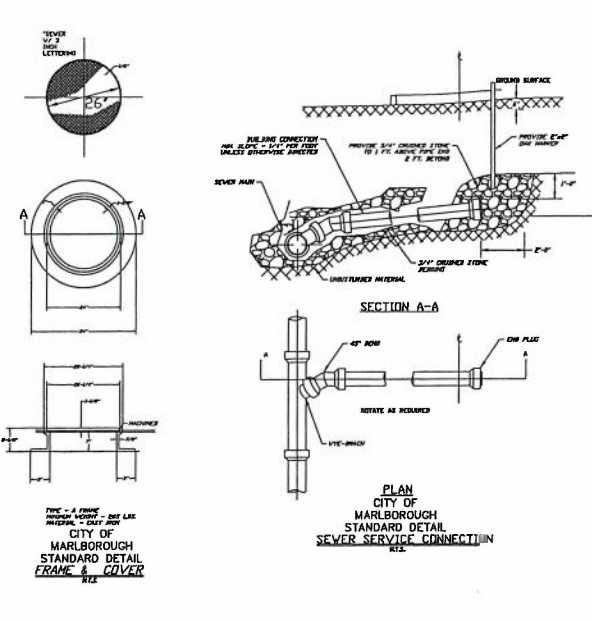
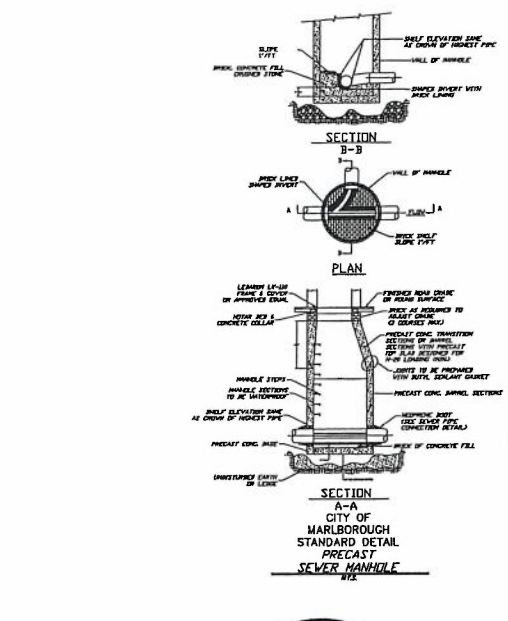
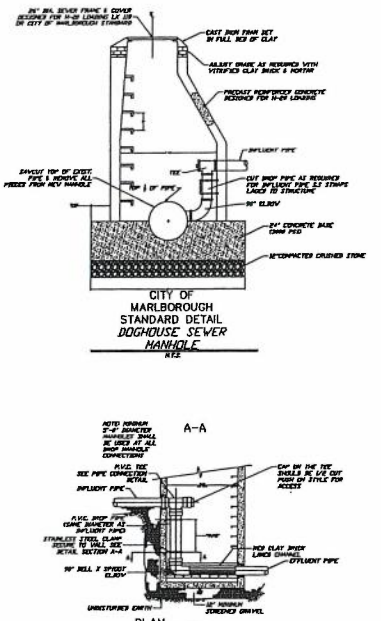
SPECIAL PERMIT AND SITE PLAN APPROVAL FOR CONSTRUCTION

DWD 2280-PS (REV. 12-16)

LAYOUTS: DT-1
SHEET: 23 OF 32

PROJECT NO.: 22680

D-2



CITY OF MARLBOROUGH SEWER NOTES

THE FOLLOWING SEWER MATERIALS AND METHODS OF INSTALLATION OF SEWER MAINS IN GENERAL, ALL WORK SHALL CONFORM TO THE CITY OF MARLBOROUGH MUNICIPAL REQUIREMENTS.

MAIN INSTALLATION

ALL DRAINAGE MAINS SHALL BE A MINIMUM OF EIGHT INCHES IN DIAMETER. ALL LATERAL INTERFERENCES, INCLUDING BUT NOT LIMITED TO, SHALL BE IDENTIFIED PRIOR TO INSTALLATION. THE CLASS OF THE PIPE SHALL BE IDENTIFIED BY THE FIELD CONTRACTOR. THE PIPE SHALL NOT BE USED UNLESS THE FIELD CONTRACTOR IS SURE THAT THE PIPE IS IDENTIFIED BY THE FIELD CONTRACTOR. THE PIPE SHALL NOT BE USED UNLESS THE FIELD CONTRACTOR IS SURE THAT THE PIPE IS IDENTIFIED BY THE FIELD CONTRACTOR. THE PIPE SHALL NOT BE USED UNLESS THE FIELD CONTRACTOR IS SURE THAT THE PIPE IS IDENTIFIED BY THE FIELD CONTRACTOR.

MANHOLES

THE DISTANCE BETWEEN ANY TWO MANHOLES SHALL NOT EXCEED 100 FEET. ANY TWO SEWER MAINS CROSSING AT AN ANGLE OF 90 DEGREES OR MORE SHALL BE PROVIDED WITH A MANHOLE AT THE POINT OF INTERSECTION. THE MANHOLE SHALL NOT EXCEED 3 FEET IN DIAMETER. THE MANHOLE SHALL NOT EXCEED 3 FEET IN DIAMETER. THE MANHOLE SHALL NOT EXCEED 3 FEET IN DIAMETER.

THRUST BLOCKS

THRUST BLOCKS SHALL BE USED ON ALL FORCE MAIN SECTIONS WHERE THERE IS A CHANGE IN DIRECTION OR A CHANGE IN SIZE. THE THRUST BLOCK SHALL BE MADE OF CONCRETE. THE THRUST BLOCK SHALL BE MADE OF CONCRETE.

INSPECTIONS

INSPECTIONS SHALL BE PROVIDED BY THE CITY OF MARLBOROUGH. THE CITY OF MARLBOROUGH SHALL BE RESPONSIBLE FOR THE INSPECTIONS. THE CITY OF MARLBOROUGH SHALL BE RESPONSIBLE FOR THE INSPECTIONS.

CONNECTIONS

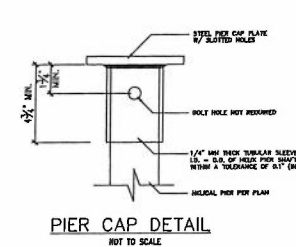
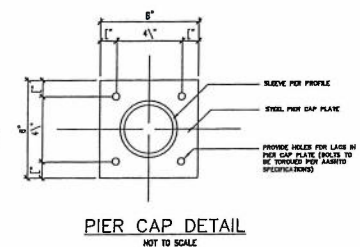
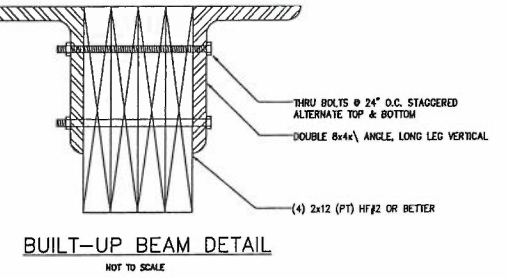
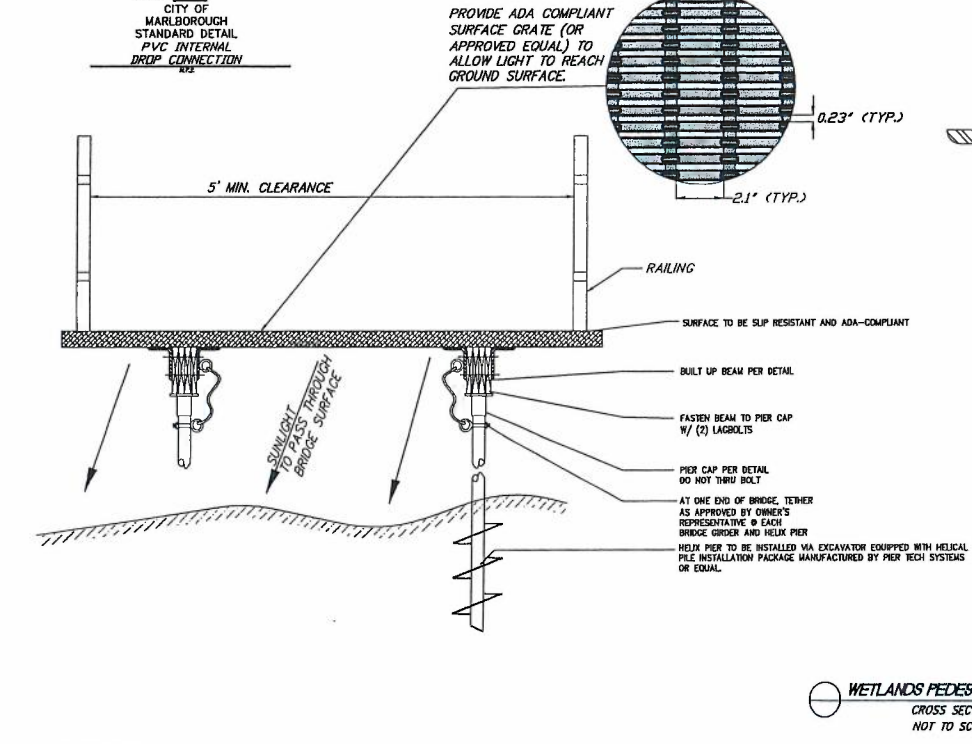
MAIN-TO-MAN CONNECTIONS SHALL BE MADE BY USE OF A MANHOLE AS SPECIFIED IN THE MARLBOROUGH CITY CODE. THE CONNECTION SHALL BE MADE BY USE OF A MANHOLE. THE CONNECTION SHALL BE MADE BY USE OF A MANHOLE.

BUILDING SEWERS

THE FIXE AND SLOPE OF THE BUILDING SEWER SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER. THE FIXE AND SLOPE OF THE BUILDING SEWER SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER. THE FIXE AND SLOPE OF THE BUILDING SEWER SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.

TESTING

TESTING SHALL CONFORM TO CITY OF MARLBOROUGH REQUIREMENTS.



WETLANDS PEDESTRIAN CROSSING
CROSS SECTION
NOT TO SCALE

GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MARLBOROUGH ADDRESS: MAP 116 LOT 5, 11 & 12

PREPARED FOR: POST ROAD REALTY LLC

11 Ungowa Road
Fairfield, Connecticut 06424

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

303 ST. MARLBOROUGH, MA 01752
PHONE (508) 486-1111, FAX (508) 486-1112
WWW.HANCOCKASSOCIATES.COM



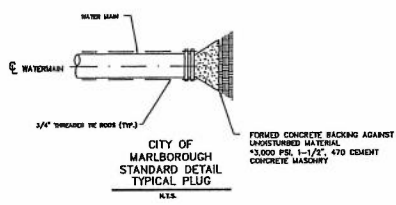
NO.	DATE	BY	DESCRIPTION
1	10/10/20	REVISION	REV. NOTES
2	10/10/20	REVISED	REV. NOTES
3	10/10/20	REVISED	REV. NOTES
4	10/10/20	REVISED	REV. NOTES
5	10/10/20	REVISED	REV. NOTES
6	10/10/20	REVISED	REV. NOTES
7	10/10/20	REVISED	REV. NOTES
8	10/10/20	REVISED	REV. NOTES
9	10/10/20	REVISED	REV. NOTES
10	10/10/20	REVISED	REV. NOTES

SEWER SERVICE AND WETLANDS CROSSING DETAILS

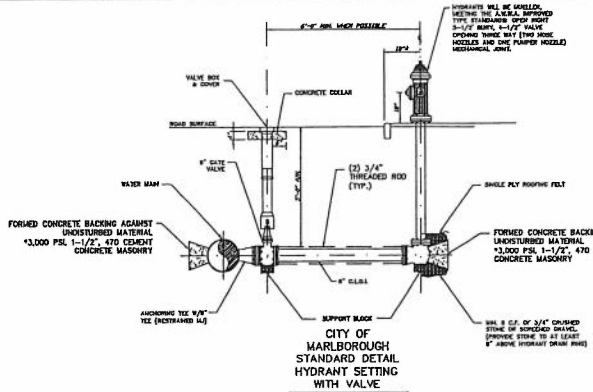
SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DATE: 09/28/20
LAYOUT: DT-3
SHEET: 25 OF 32
PROJECT NO.: 22680

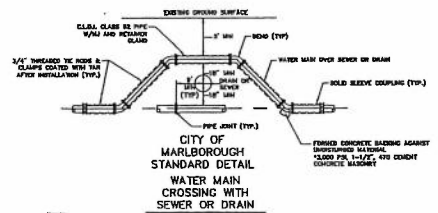
D-3



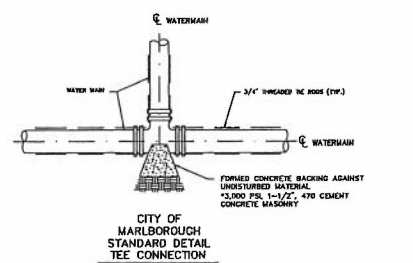
CITY OF MARLBOROUGH STANDARD DETAIL TYPICAL PLUG
K.S.L.



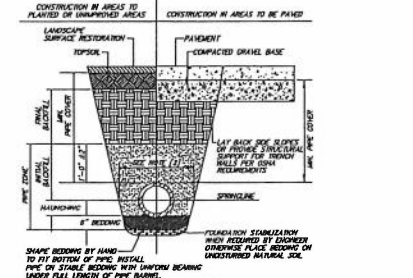
CITY OF MARLBOROUGH STANDARD DETAIL HYDRANT SETTING WITH VALVE
K.S.L.



CITY OF MARLBOROUGH STANDARD DETAIL WATER MAIN CROSSING WITH SEWER OR DRAIN
K.S.L.



CITY OF MARLBOROUGH STANDARD DETAIL TEE CONNECTION
K.S.L.



CITY OF MARLBOROUGH STANDARD DETAIL TYPICAL BEND
K.S.L.

NOTES:

1. PLUMB ALL NEW SERVICE LINES FROM TO CONNECTIONS.
2. ALL TRENCH, CONNECTIONS AND SERVICE SHALL BE INSTALLED TO MEET ALL CITY SPECIFICATIONS AND SHALL BE INSULATED TO MEET ALL CITY SPECIFICATIONS.
3. ALL TRENCH, CONNECTIONS AND SERVICE SHALL BE INSTALLED TO MEET ALL CITY SPECIFICATIONS AND SHALL BE INSULATED TO MEET ALL CITY SPECIFICATIONS.
4. ALL TRENCH, CONNECTIONS AND SERVICE SHALL BE INSTALLED TO MEET ALL CITY SPECIFICATIONS AND SHALL BE INSULATED TO MEET ALL CITY SPECIFICATIONS.

FOUNDATION, BEDDING & BACKFILL MATERIALS	PIPE MATERIAL	INS. P.T.C.	INS. OF
FOUNDATION	[1]	[1]	[1]
BEDDING	[1]	[1]	[1]
BACKFILL	[1]	[1]	[1]
INTERNAL BACKFILL	[1]	[1]	[1]
PIPE COLLAR	[1]	[1]	[1]



CITY OF MARLBOROUGH STANDARD DETAIL TYPICAL CROSS SECTION
K.S.L.

CITY OF MARLBOROUGH WATER SPECIFICATIONS

THE FOLLOWING DESCRIBED MATERIALS AND METHODS OF INSTALLATION OF WATER MAINS IN GENERAL. ALL WORK SHALL CONFORM TO THE 1985 STANDARD SPECIFICATIONS FOR MATERIALS AND METHODS. ALL SUBSEQUENT SUPPLEMENTAL SPECIFICATIONS IN THE PARTICULAR CONTRACT AND IN ACCORDANCE WITH THE MOST RECENT A.S.A. STANDARDS.

MAIN INSTALLATION:

ALL MAINS WILL BE A MINIMUM OF EIGHT (8) INCH INSIDE DIAMETER PIPE, CLASS 32, CONCRETE LINED MECHANICAL JOINT OR PUSH-IN JOINT IN ACCORDANCE WITH A.S.A. STANDARDS. ALL MAINS OVER EIGHT (8) INCHES IN DIAMETER WILL BE CAST-IN-PLACE WITH CLASS 32, INCLUDING TRIPLE RINGS. ALL MAINS OVER EIGHT (8) INCHES IN DIAMETER SHALL BE 10' HIGH OVER THE GROUND. ALL INTERSECTIONS OF MAINS WILL BE MADE IN THEIR RESPECTIVE DIRECTIONS. NO MAIN SHALL EXCEED OVER ONE THOUSAND (1000) FEET OF EACH OTHER OR 30' SPACED AT THE INTERSECTIONS. ALL MAINS SHALL BE INSTALLED TO MEET ALL CITY SPECIFICATIONS AND SHALL BE INSULATED TO MEET ALL CITY SPECIFICATIONS. PUBLIC SYSTEM WILL SPECIFY A TAPPING SLIDE AND GATE VALVE. EXCAVATION WILL BE TO A DEPTH THAT PROVIDES A MINIMUM OF 12" FEET OF COVER OVER THE EXCAVATION IS TO BE A MINIMUM OF 12" FEET OF COVER OVER THE PIPE. ALL MAINS SHALL BE INSTALLED TO ALLOW FOR SELECTED BACKFILL MATERIAL (SEE TRENCH DETAILS). IT WILL BE AT THE DISCRETION OF THE ENGINEER TO ALLOW FOR OTHER TYPES OF BACKFILL, SAND OR GRAVEL, OR THREE-FOURTHS (3/4) INCH STONES LARGER THAN THREE (3) INCHES. ALL MAINS SHALL BE INSTALLED TO ALLOW FOR OTHER TYPES OF BACKFILL, SAND OR GRAVEL, OR THREE-FOURTHS (3/4) INCH STONES LARGER THAN THREE (3) INCHES. THE SELECTED MATERIAL, NORMAL BACKFILL MAY PROCEED WITH CARE. JOINTS OF PUSH-IN OR TYPON JOINT CAST IRON WILL BE WITH THE USE OF A GATE-VALVE BOX. IF A BOX IS USED A BOX OF WOOD WILL BE USED UNDER THE PIPE AND THE PIPE. THE PIPE FOR HAVING A BACKFILL/EXCAVATOR SET LATER EXCAVATOR PIPE, A BOX OF WOOD WILL BE INSERTED BETWEEN THE BACKFILL AND THE PIPE. IN NO EVENT WILL THERE BE A METH-TO-METH BONDING FORCE TO SET THE PIPE. IF 10' HOURS IS NOT STRICTLY COMPLIED WITH THE LENGTH OF THE PIPE WILL BE REMOVED AND A NEW ONE USED IN ITS PLACE.

MAIN GATE VALVES AND BOXES:

MAIN GATE VALVES SHALL BE OPEN END, IRON BODY, BRONZE MOUNTED, DOUBLE DISC, NON-RISING STEM AS MANUFACTURED BY MUELLER CO. OR APPROVED EQUAL. MAIN GATE BOXES SHALL BE CAST-IRON, SLIDE TYPE WITH AT LEAST SIX (6) SPOKS OF ADJUSTMENT AND AT LEAST FIVE (5) FEET LONG. THE COVERS SHALL BE FLUSH, CLOSE-FITTING WITH THE LETTER "W" OR THE WORD "WATER" CAST INTO THE COVER.

THRUST BLOCKS

ALL PIPES, CAPS, TEES, BODIES AND HYDRANTS SHALL BE PROVIDED WITH A CONCRETE THRUST BLOCK TO PREVENT MOVEMENT. THE THRUST BLOCK SHALL CONSIST OF A FORMED CONCRETE BACKING AGAINST UNDISTURBED MATERIAL, POURED IN PLACE WITH 3000 PSI, 1-1/2", 470 CEMENT CONCRETE MASONRY.

INSPECTIONS

INSPECTION WILL BE PROVIDED BY THE CITY OF MARLBOROUGH WATER SERVICE INSPECTOR. BEFORE ANY BACKFILLING IS DONE, THE DEPARTMENT OF PUBLIC WORKS WATER DIVISION WILL BE NOTIFIED TWENTY-FOUR (24) HOURS IN ADVANCE, AND A CITY OF MARLBOROUGH WATER SERVICE INSPECTOR WILL BE PRESENT AT THE TIME OF OPERATION. THE METHOD OF OPERATION WILL BE USED FOR HYDRANT INSTALLATION, MAIN TAPING, SERVICE TAPING, TESTING, ETC. IF THE DEPARTMENT OF PUBLIC WORKS FEELS THAT INSUFFICIENT MONITORING AND CARE IS BEING TAKEN IN THE INSTALLATION, THE WORK MAY BE STOPPED UNTIL FURTHER APPROVAL FROM THE CITY ENGINEER.

CONNECTIONS

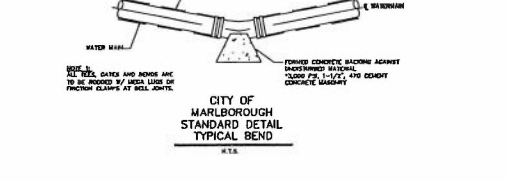
SERVICE CONNECTIONS SHALL HAVE A MINIMUM SIZE OF THREE-FOURTHS (3/4) INCH IN DIAMETER. ALL SERVICE PIPES SHALL BE TYPE K COPPER tubing, ANY SERVICE PIPE LARGER THAN TWO (2) INCHES AND LESS THAN EIGHT (8) INCHES IN DIAMETER SHALL BE CAST-IN-PLACE WITH CLASS 32, CONCRETE LINED MECHANICAL JOINT OR PUSH-IN JOINT IN ACCORDANCE WITH A.S.A. STANDARDS. ALL NEW MAIN CONNECTIONS WILL BE MADE BY THE USE OF A TYPON-ON CONNECTION. ALL SERVICE CONNECTIONS SHALL ONLY BE USED WITH APPROVAL OF ENGINEER (TYPE, SIZE, BEND OR SIZES). A CURB STOP AND BOX SHALL BE COPPER TO COVER TRENCH, OPEN ENDS, WITH GRASS AS MANUFACTURED BY FURNACE OR MUELLER. ANY SERVICE ONE (1) INCH OR GREATER SHALL CARRY AN OVERSIZ CLIP WITH DRIP. THE SERVICE SHALL BE INSTALLED AT 90 DEGREES FROM THE ROAD, UNLESS OTHERWISE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. UNDER NO CIRCUMSTANCES WILL ANY SERVICE BE INSTALLED IN ANY WATER SYSTEM IN THE CITY OF MARLBOROUGH. THE CURB BOX OR SERVICE BOX SHALL BE FOUR-AND-ONE-HALF (4 1/2) TO FIVE-AND-ONE-HALF (5 1/2) FEET EXTENSION-TYPE, THREE-FOURTHS (3/4) INCH BODIES AND COVER FOR SERVICE SHALL BE FIVE (5) FEET LONG (6) INCHES. SAND BACKFILL MATERIAL WILL BE CAREFULLY PLACED AROUND THE SERVICE PIPE TO PROTECT IT FROM NORMAL BACKFILL AND COMPACTION.

TESTING

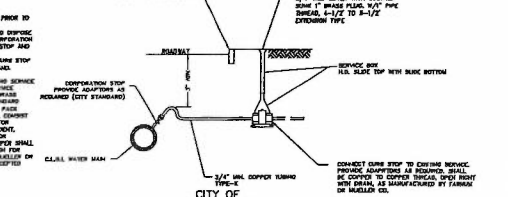
THE CONTRACTOR SHALL HIRE AN INDEPENDENT TESTING FIRM THAT SPECIALIZES IN WATER LINE TESTING AND DISINFECTION OF WATER DISTRIBUTION SYSTEMS APPROVED BY THE CITY ENGINEER. THE CONTRACTOR SHALL PROVIDE A WATER UNDER PRESSURE GAUGE, TESTING PLUGS, PUMPS, TYPON CONNECTIONS AND OTHER REQUIRED APPARATUS. THE SECTION UNDER TEST SHALL BE COMPLETELY FILLED WITH WATER AND AIR BLOWN OUT THROUGH A HIGH POINT, SUCH AS A HYDRANT. THE SECTION UNDER TEST WILL BE MAINTAINED FULL AND UNDER PRESSURE AT 80 PSI. FOR A PERIOD OF ONE (1) HOUR THE LINE SHALL BE FULLED AND TESTED WITH ONE (1) TO THREE (3) DAYS AFTER FINISH. ANY FAILURE OF THE VARIOUS APPLICABLE STRUCTURES, VALVES, HYDRANTS AND RELATED ACCESSORIES THAT OCCUR BEFORE FINAL ACCEPTANCE OF THE WORK SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR. A SUCCESSFUL WATER PRESSURE TEST IS NOT TO BE INTERPRETED AS FINAL ACCEPTANCE. THE PRESSURE AND LEAKAGE TEST SHALL CONSIST OF FIRST RAISING THE WATER PRESSURE (SHAPE OR ELEVATION) TO A PRESSURE IN POUNDS PER SQUARE INCH (PSI) EQUAL TO THE PRESSURE RATING OF THE PIPE. WHILE MAINTAINING THIS PRESSURE, THE CONTRACTOR SHALL MAKE A LEAKAGE TEST BY MEASURING THE FLOW OF WATER INTO THE PIPE. IF THE AVERAGE LEAKAGE DURING A TWO-HOUR PERIOD EXCEEDS A RATE OF TEN (10) GALLONS PER INCH OF DIAMETER PER TWENTY-FOUR (24) HOURS PER INCH OF PIPE, THE SECTION WILL BE CONSIDERED AS HAVING FAILED THE TEST. AFTER TESTING THE PRESSURE IS TO BE REDUCED TO A CALIBRATION CONCENTRATION OF APPROXIMATELY 80 PSI (50) POUNDS PER SQUARE INCH TO BE IN PLACE IN THE SECTION. THE INTRODUCTION OF THE BRINE SHALL BE ACCOMPANIED BY PUMPING OR SPRINKLING A CALIBRATION SOLUTION INTO THE MAIN. THE CALIBRATION RATED IS TO REMAIN IN THE NEW PIPELINE FOR A PERIOD OF TWENTY-FOUR (24) HOURS. DURING THIS PERIOD, PROPER PRECAUTIONS ARE TO BE TAKEN TO PREVENT THIS SALINATED WATER FROM FLOWING BACK INTO THE EXISTING SYSTEM. AFTER CALIBRATION AND DE-CALIBRATION A MINIMUM OF (2) BACTERIA SAMPLES ARE TO BE TAKEN TWENTY-FOUR (24) HOURS APART.

SIZE OF MAIN (IN)	4\"/>		
4\"/>	12\"/>	18\"/>	24\"/>
6\"/>	18\"/>	24\"/>	30\"/>
8\"/>	24\"/>	30\"/>	36\"/>
10\"/>	30\"/>	36\"/>	42\"/>

NOTES:
ALL TRENCH, VALVES AND BOXES ARE TO BE BORED BY MEANS OF A MEASURING AND PROTECTIVE CLAMPS AT WELL JOINTS.



CITY OF MARLBOROUGH STANDARD DETAIL TYPICAL BEND
K.S.L.



CITY OF MARLBOROUGH STANDARD DETAIL TYPICAL SERVICE CONNECTION
K.S.L.

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

PREPARED FOR

POST ROAD REALTY LLC

11 Unquogus Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 FIB ST. MARLBOROUGH, MA 01752
VOICE (508) 462-1111, FAX (508) 462-1121
WWW.HANCOCKASSOCIATES.COM

NO.	DATE	BY	DESCRIPTION
1	12/15/2011	W.D.	ISSUE SET 1 REV. WORKS
2	01/16/2012	W.D.	PER COMMENTS
3	01/16/2012	W.D.	PER COMMENTS
4	01/16/2012	W.D.	PER COMMENTS
5	01/16/2012	W.D.	PER COMMENTS
6	01/16/2012	W.D.	PER COMMENTS
7	01/16/2012	W.D.	PER COMMENTS
8	01/16/2012	W.D.	PER COMMENTS
9	01/16/2012	W.D.	PER COMMENTS
10	01/16/2012	W.D.	PER COMMENTS

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DWG: 2300-PS RCI 12.1

LAYOUT: DT-4

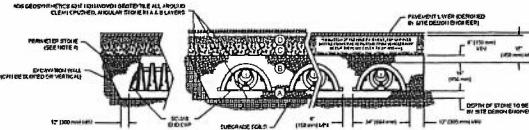
SHEET: 23 OF 32

PROJECT NO.: 22680

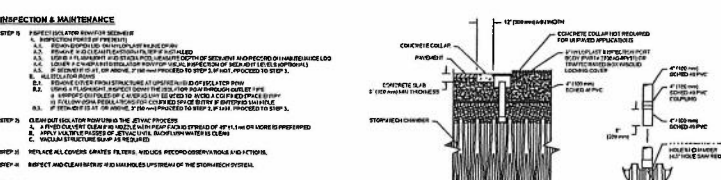
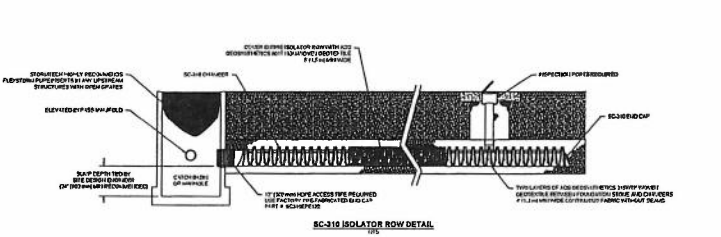
ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	ASBESTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
B	FILL MATERIAL FOR LAYER 1 FROM THE TOP OF THE LAYER TO THE BOTTOM OF THE LAYER OF THE CHAMBER OR FROM THE BOTTOM OF THE LAYER TO THE BOTTOM OF THE LAYER.	NO SOLUBLE MATERIALS EXCEPT FOR SAND, GRAVEL, OR OTHER NON-FLAMMABLE, NON-TOXIC, NON-CORROSIVE MATERIALS.	NEEDS TO BE DESIGN ENGINEER'S APPROVAL FOR INSTALLATION AND SERVICE FUNCTION AND PERFORMANCE REQUIREMENTS.
C	FILL MATERIAL FOR LAYER 2 FROM THE TOP OF THE LAYER TO THE BOTTOM OF THE LAYER OF THE CHAMBER OR FROM THE BOTTOM OF THE LAYER TO THE BOTTOM OF THE LAYER.	NO SOLUBLE MATERIALS EXCEPT FOR SAND, GRAVEL, OR OTHER NON-FLAMMABLE, NON-TOXIC, NON-CORROSIVE MATERIALS.	NEEDS TO BE DESIGN ENGINEER'S APPROVAL FOR INSTALLATION AND SERVICE FUNCTION AND PERFORMANCE REQUIREMENTS.
D	CONCRETE CHAMBER WALLS AND CHAMBERS FROM THE BOTTOM OF THE LAYER TO THE BOTTOM OF THE LAYER.	CONCRETE CHAMBER WALLS AND CHAMBERS FROM THE BOTTOM OF THE LAYER TO THE BOTTOM OF THE LAYER.	NEEDS TO BE DESIGN ENGINEER'S APPROVAL FOR INSTALLATION AND SERVICE FUNCTION AND PERFORMANCE REQUIREMENTS.
E	CONCRETE CHAMBER WALLS AND CHAMBERS FROM THE BOTTOM OF THE LAYER TO THE BOTTOM OF THE LAYER.	CONCRETE CHAMBER WALLS AND CHAMBERS FROM THE BOTTOM OF THE LAYER TO THE BOTTOM OF THE LAYER.	NEEDS TO BE DESIGN ENGINEER'S APPROVAL FOR INSTALLATION AND SERVICE FUNCTION AND PERFORMANCE REQUIREMENTS.

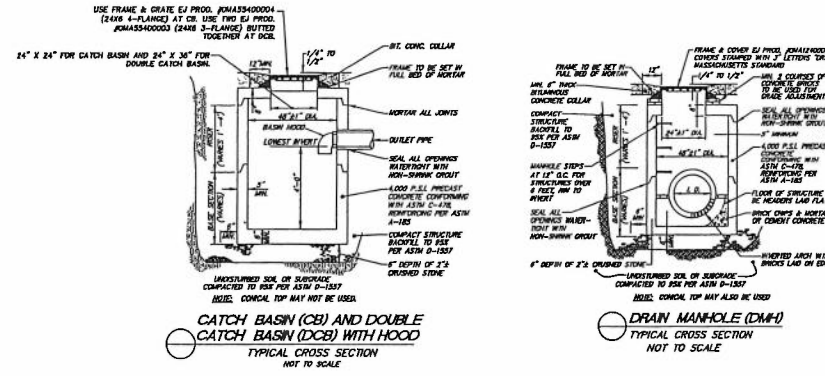
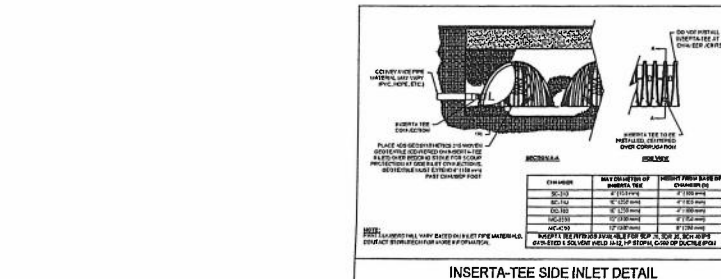
- NOTES:
- THE LIMITED WARRANTY PERIOD FOR THE STORMTECH SC-310 CHAMBER SYSTEMS IS 10 YEARS FROM THE DATE OF INSTALLATION. THE WARRANTY IS VOID IF THE CHAMBER IS NOT INSTALLED IN ACCORDANCE WITH THE INSTALLATION MANUAL AND THE CHAMBER IS NOT MAINTAINED IN ACCORDANCE WITH THE MAINTENANCE MANUAL.
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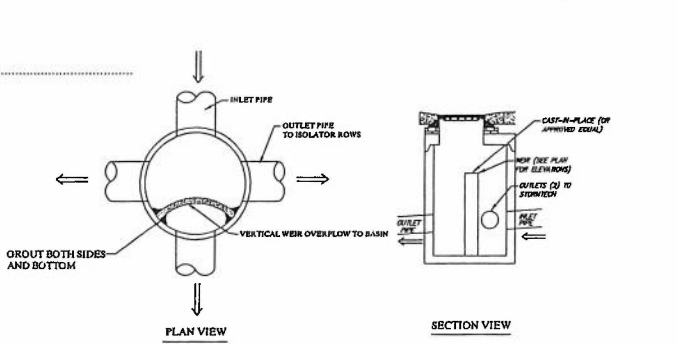
- NOTES:
- CHAMBERS SHALL BE DESIGNED TO WITHSTAND THE FULL DESIGN LOADS FOR THE APPLICATION. THE DESIGN LOADS SHALL BE DETERMINED BY THE ENGINEER AND SHALL BE BASED ON THE LOCAL CODES AND STANDARDS.
 - CHAMBERS SHALL BE DESIGNED TO WITHSTAND THE FULL DESIGN LOADS FOR THE APPLICATION. THE DESIGN LOADS SHALL BE DETERMINED BY THE ENGINEER AND SHALL BE BASED ON THE LOCAL CODES AND STANDARDS.
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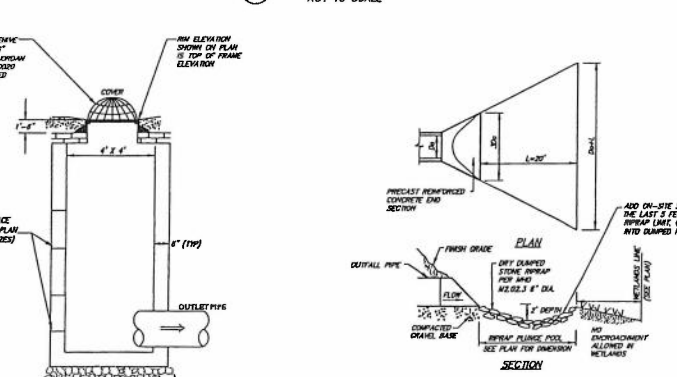
- NOTES:
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CATCH BASIN (CB) AND DOUBLE CATCH BASIN (DCB) WITH HOOD
TYPICAL CROSS SECTION NOT TO SCALE



SITE 2 STORMTECH 5' DIA DMH 54" WEIR MANHOLE
NOT TO SCALE



SITE 2 DETENTION/INFILTRATION BASIN OUTLET CONTROL STRUCTURE
CROSS-SECTION NOT TO SCALE

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Fairborough, Massachusetts 01752

MAP 116 LOT 5, 11 & 12

PREPARED FOR
POST ROAD REALTY LLC
11 Unquowa Road
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Land Surveyors
Wetland Scientists

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WWW.HANCOCKASSOCIATES.COM

DRAINAGE DETAILS

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DWG: 22060-14 REV 02-14
LAYOUT: DT-5
SHEET: 28 OF 32
PROJECT NO.: 22680

Symbol	Qty	Label	Arrangement	Lot/Lumens	LF	Description	Fixture
○	33	A	SHIELD	11875	0.800	OMNIDIRECT	OMNIDIRECT
○	9	AA	SHIELD	11875	0.800	OMNIDIRECT	OMNIDIRECT
○	33	BA	SHIELD	3381	0.800	SHS-VLED-8-4LED-350mA-WWHS	SHS-VLED-8-4LED-350mA-WWHS
○	10	BB	SHIELD	3381	0.800	SHS-VLED-8-4LED-350mA-WW	SHS-VLED-8-4LED-350mA-WW
○	11	BB	SHIELD	4858	0.800	SHS-VLED-8-4LED-350mA-WW	SHS-VLED-8-4LED-350mA-WW
○	28	C	SHIELD	4187	0.800	ACLUV-30-400-800	ACLUV-30-400-800

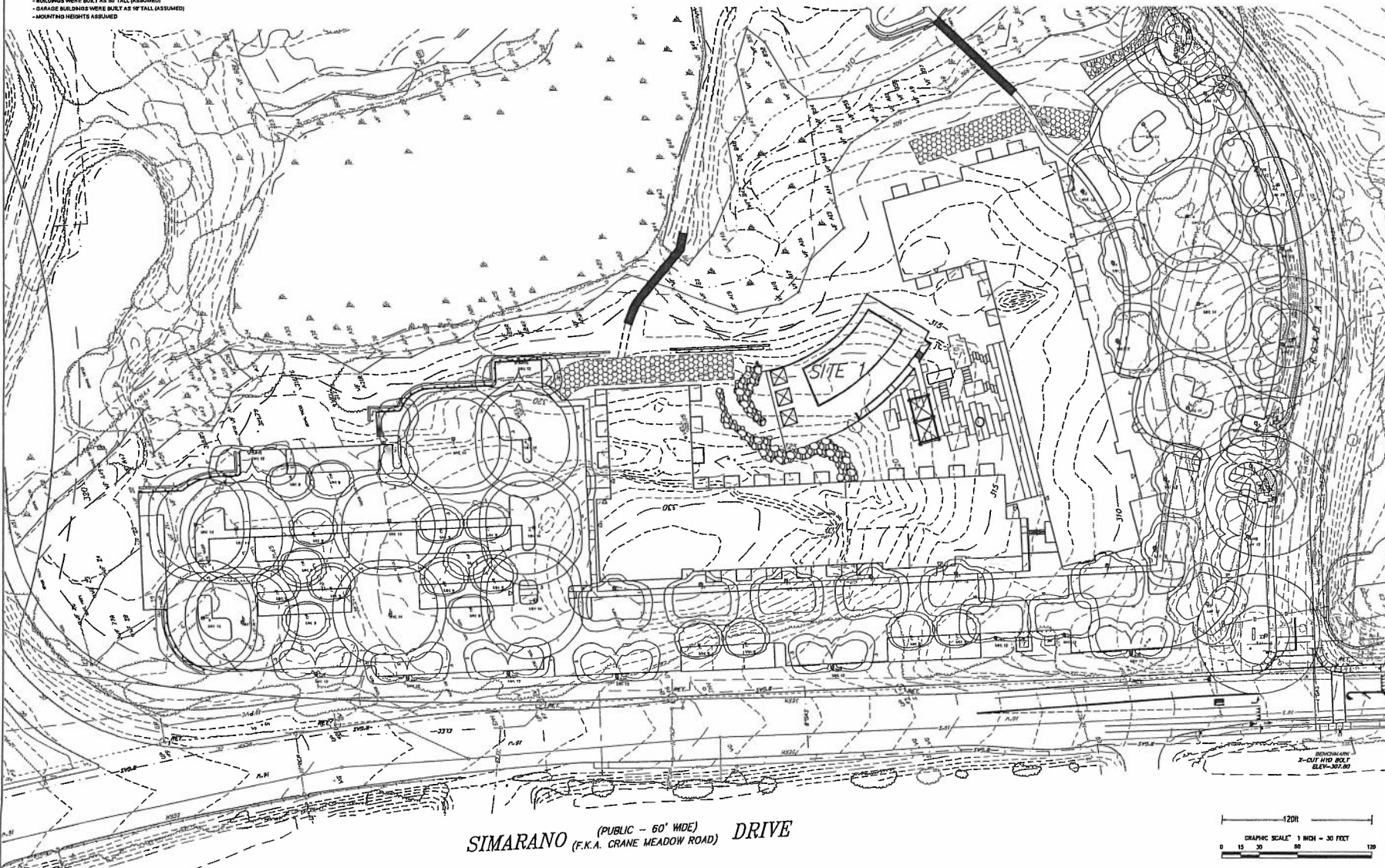
Level	Calculation Summary	Calc Type	Units	Avg	Max	Min	Amplitude	Max/Min	Description
BOUNDARY		Nonluminaire	Ft	0.80	2.1	0.3	2.43	7.00	readings taken at grade
SITE ENTRANCE A		Nonluminaire	Ft	2.70	3.8	1.3	3.35	7.00	readings taken at grade
SITE ENTRANCE B		Nonluminaire	Ft	2.48	4.0	1.1	3.31	5.64	readings taken at grade
SITE PARKING A		Nonluminaire	Ft	1.88	4.8	0.3	8.80	21.00	readings taken at grade
SITE PARKING B		Nonluminaire	Ft	1.28	10.8	0.3	8.40	43.00	readings taken at grade
SITE ENTRANCE C		Nonluminaire	Ft	1.55	3.8	0.2	7.75	18.00	readings taken at grade
SITE ENTRANCE D		Nonluminaire	Ft	1.73	3.3	0.3	6.73	16.87	readings taken at grade
SITE PARKING C		Nonluminaire	Ft	1.94	4.8	0.3	8.47	18.33	readings taken at grade
SITE PARKING D		Nonluminaire	Ft	0.80	2.7	0.3	4.80	13.50	readings taken at grade
SITE PARKING E		Nonluminaire	Ft	3.17	80.3	0.3	10.85	161.00	readings taken at grade

* PLOT CONVERTED INTO WORKING DWG FILE MARKING LUMINAIRE LOCATIONS AND VALUES TO BE CONSIDERED APPROXIMATE
 - BUILDINGS WERE BUILT AS SHOWN (ASSUMED)
 - GARAGE BUILDINGS WERE BUILT AS 10' TALL (ASSUMED)
 - MOUNTING HEIGHTS ASSUMED

Symbol	Qty	Label	Arrangement	Lot/Lumens	LF	Description	Fixture
○	13	BB	SHIELD	3381	0.800	SHS-VLED-8-4LED-350mA-WWHS	SHS-VLED-8-4LED-350mA-WWHS
○	11	BB	SHIELD	3381	0.800	SHS-VLED-8-4LED-350mA-WW	SHS-VLED-8-4LED-350mA-WW
○	7	BB	SHIELD	3381	0.800	SHS-VLED-8-4LED-350mA-WWHS	SHS-VLED-8-4LED-350mA-WWHS
○	5	BB	SHIELD	4350	0.800	SHS-VLED-8-4LED-350mA-WW	SHS-VLED-8-4LED-350mA-WW
○	17	C	SHIELD	4187	0.800	ACLUV-30-400-800	ACLUV-30-400-800

NOTES:
 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 2) CALCULATIONS DO NOT SHOW THE EFFECT OF SHADOWS CAUSED BY OBJECTS WITHIN THE AREA.
 3) READINGS SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES TAKEN AS SHOWN IN NUMERIC SUMMARY.
 4) FIXTURE ORIENTATION IS SUCH THAT 0 IS TO THE RIGHT OF THE DRAWING AND 90 IS TO THE TOP OF THE DRAWING AS SHOWN.
 5) TILT ANGLE IS THE RADIUS AND LOWERS OF THE FIXTURE HEAD.
 6) THE LAYOUT DRAWING MUST BE CORRELATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
 7) CHECK GRAPHIC SCALE, DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALAR. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED SCALE DRAWING IS PRINTED TO SCALE.
 8) LUMINAIRE LUMENS = LUMENS LEAVING LUMINAIRE WITH EFFICIENCY CONSIDERED.
 9) PLOT CONVERTED INTO WORKING DWG FILE MARKING LUMINAIRE LOCATIONS AND VALUES TO BE CONSIDERED APPROXIMATE.

NOTES:
 1) DSL AND TSL ARE MANUFACTURED BY DIVER LIGHTING.
 2) OMB IS MANUFACTURED BY MAALITE.



SIMARANO (PUBLIC - 60' WIDE) DRIVE



GREEN DISTRICT
 107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

MAP 116 LOT 5, 11 & 12

POST ROAD REALTY LLC

11 Unquoa Road
 Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
 Land Surveyors
 Wetland Scientists

310 ELM ST. MARLBOROUGH, MA 01752
 PHONE (508) 485-1111, FAX (508) 485-1122
 WWW.HANCOCKASSOCIATES.COM



NO.	DATE	BY	REVISION
1	11/12/19	SEE SHEET 1	REV. WORKS
2	10/16/19	PER COMMENTS	
3	08/01/19	PER COMMENTS	
4	07/01/19	PER COMMENTS	
5	06/01/19	PER COMMENTS	

PHOTOMETRIC LIGHTING PLAN
 PLAN SHEET 1

SPECIAL PERMIT AND SITE PLAN APPROVAL
 NOT FOR CONSTRUCTION

DWG: 22680-PS-23.dwg
 LAYOUT: PH-1
 SHEET: 29 OF 32
 PROJECT NO: 22680

PH-1

Symbol	Qty	Label	Arrangement	Lim. Lumens	LLF	Description	Fixture
□	1	AA	SINGLE	11875	0.800	QUADUP7541	QUADUP7541ES
□	1	BB	SINGLE	11875	0.800	QUADUP7541	QUADUP7541ES
□	1	BB	SINGLE	3081	0.800	SBSVLED-B-4LED-350mA-WWHIS	SBSVLED-B-4LED-350mA-WWHIS121
□	1	BB	SINGLE	3391	0.800	SBSVLED-B-4LED-350mA-WWHIS	SBSVLED-B-4LED-350mA-WWHIS121
□	1	BB	SINGLE	3018	0.800	SBSVLED-B-4LED-350mA-WWHIS	SBSVLED-B-4LED-350mA-WWHIS121
□	1	BB	SINGLE	3018	0.800	SBSVLED-B-4LED-350mA-WWHIS	SBSVLED-B-4LED-350mA-WWHIS121
□	1	BB	SINGLE	3018	0.800	SBSVLED-B-4LED-350mA-WWHIS	SBSVLED-B-4LED-350mA-WWHIS121
□	1	BB	SINGLE	4650	0.800	SBSVLED-V9D-4LED-350mA-WWHIS	SBSVLED-V9D-4LED-350mA-WWHIS121
□	1	BB	SINGLE	4187	0.800	ACLW-30-4W-430	ACLW-30-4W-430-E5-7-12s

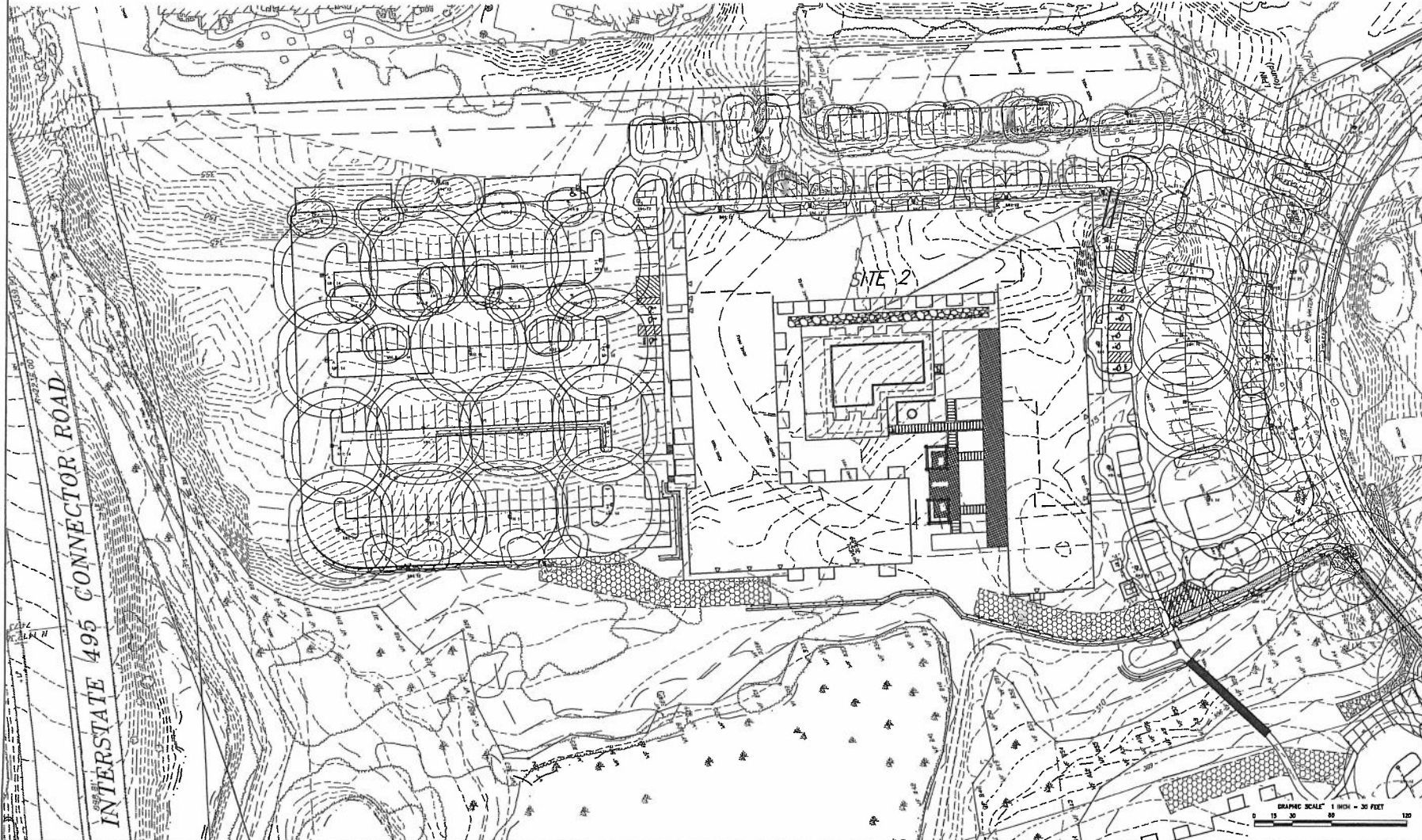
Calculation Summary	Code Type	Units	Ang	Miter	Min	AngleIn	Description
ROADSIDE	Maintenance	Pc	8.85	2.1	8.3	7.50	readings taken at grade
SITE 1 ENTRANCE A	Maintenance	Pc	2.30	3.1	1.3	3.00	readings taken at grade
SITE 1 ENTRANCE B	Maintenance	Pc	1.48	4.0	1.1	2.24	readings taken at grade
SITE 1 PARKING A	Maintenance	Pc	1.88	4.3	0.3	0.80	readings taken at grade
SITE 1 PARKING B	Maintenance	Pc	1.06	11.8	0.3	0.50	readings taken at grade
SITE 1 ENTRANCE A	Maintenance	Pc	1.25	3.8	0.3	7.75	readings taken at grade
SITE 1 ENTRANCE B	Maintenance	Pc	1.72	3.3	0.3	0.15	readings taken at grade
SITE 2 PARKING A	Maintenance	Pc	1.84	4.8	0.3	8.17	readings taken at grade
SITE 2 PARKING B	Maintenance	Pc	0.88	3.7	0.3	4.80	readings taken at grade
SITE 2 PARKING C	Maintenance	Pc	3.17	20.3	0.3	10.85	readings taken at grade

- PDF CONVERTED INTO WORKING DWG FILE MARKING LUMINAIRE LOCATIONS AND VALUES TO BE CONSIDERED APPROXIMATE
 - BUILDINGS WERE BUILT AS 80' TALL (ASSUMED)
 - GARAGE BUILDINGS WERE BUILT AS 10' TALL (ASSUMED)
 - MOUNTING HEIGHTS ASSUMED

Symbol	Qty	Label	Arrangement	Lim. Lumens	LLF	Description	Fixture
□	1	AA	SINGLE	11875	0.800	QUADUP7541	QUADUP7541ES
□	1	BB	SINGLE	3391	0.800	SBSVLED-B-4LED-350mA-WWHIS	SBSVLED-B-4LED-350mA-WWHIS121
□	1	BB	SINGLE	3018	0.800	SBSVLED-B-4LED-350mA-WWHIS	SBSVLED-B-4LED-350mA-WWHIS121
□	1	BB	SINGLE	3018	0.800	SBSVLED-B-4LED-350mA-WWHIS	SBSVLED-B-4LED-350mA-WWHIS121
□	1	BB	SINGLE	3018	0.800	SBSVLED-B-4LED-350mA-WWHIS	SBSVLED-B-4LED-350mA-WWHIS121
□	1	BB	SINGLE	4650	0.800	SBSVLED-V9D-4LED-350mA-WWHIS	SBSVLED-V9D-4LED-350mA-WWHIS121
□	1	BB	SINGLE	4187	0.800	ACLW-30-4W-430	ACLW-30-4W-430-E5-7-12s

NOTES:
 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 2) CALCULATIONS DO NOT SHOW THE EFFECT OF SHADOWING CAUSED BY OBJECTS WITHIN THE AREA.
 3) READINGS SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES TAKEN AS SHOWN IN DRAWING SUMMARY.
 4) FIXTURE ORIENTATION IS SUCH THAT 0 IS TO THE RIGHT OF THE DRAWING AND 90 IS TO THE TOP OF THE DRAWING AS SHOWN.
 5) THE ANGLE IS THE BEARING AND LOWERING OF THE FIXTURE HEAD.
 6) THE LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
 7) CHECK GRAPHIC SCALE. DOCUMENT IS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.
 8) LUMINAIRE LUMENS & LUMENS LEAVING LUMINAIRE WERE EFFICIENCY COMBINED.
 9) PDF CONVERTED INTO WORKING DWG FILE MARKING LUMINAIRE LOCATIONS AND VALUES TO BE CONSIDERED APPROXIMATE.

NOTES:
 1) DIMS AND TAGS ARE MANUFACTURED BY OSNITE LIGHTING.
 2) DIMS IS MANUFACTURED BY MAALITE.



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

MAP SHEET 116 LOT 5, 11 & 12

PREPARED FOR:

POST ROAD REALTY LLC

11 Unquowa Road
 Fairfield, Connecticut 06424

HANCOCK ASSOCIATES

Civil Engineers
 Land Surveyors
 Wetland Scientists

305 ELM ST. MARLBOROUGH, MA 01752
 (508) 465-1111 FAX (508) 465-1112
 WWW.HANCOCKASSOCIATES.COM

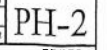


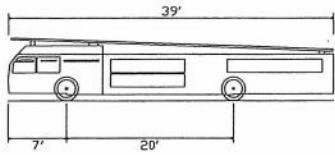
NO.	BY	DATE	DESCRIPTION
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2	AL PAC	10/18/19	PER COMMENTS
3	AL PAC	08/08/19	PER COMMENTS
4	AL PAC	08/08/19	PER COMMENTS
5	AL PAC	08/08/19	PER COMMENTS
6	AL PAC	08/08/19	PER COMMENTS
7	AL PAC	08/08/19	PER COMMENTS
8	AL PAC	08/08/19	PER COMMENTS
9	AL PAC	08/08/19	PER COMMENTS
10	AL PAC	08/08/19	PER COMMENTS

PHOTOMETRIC LIGHTING PLAN SHEET 2

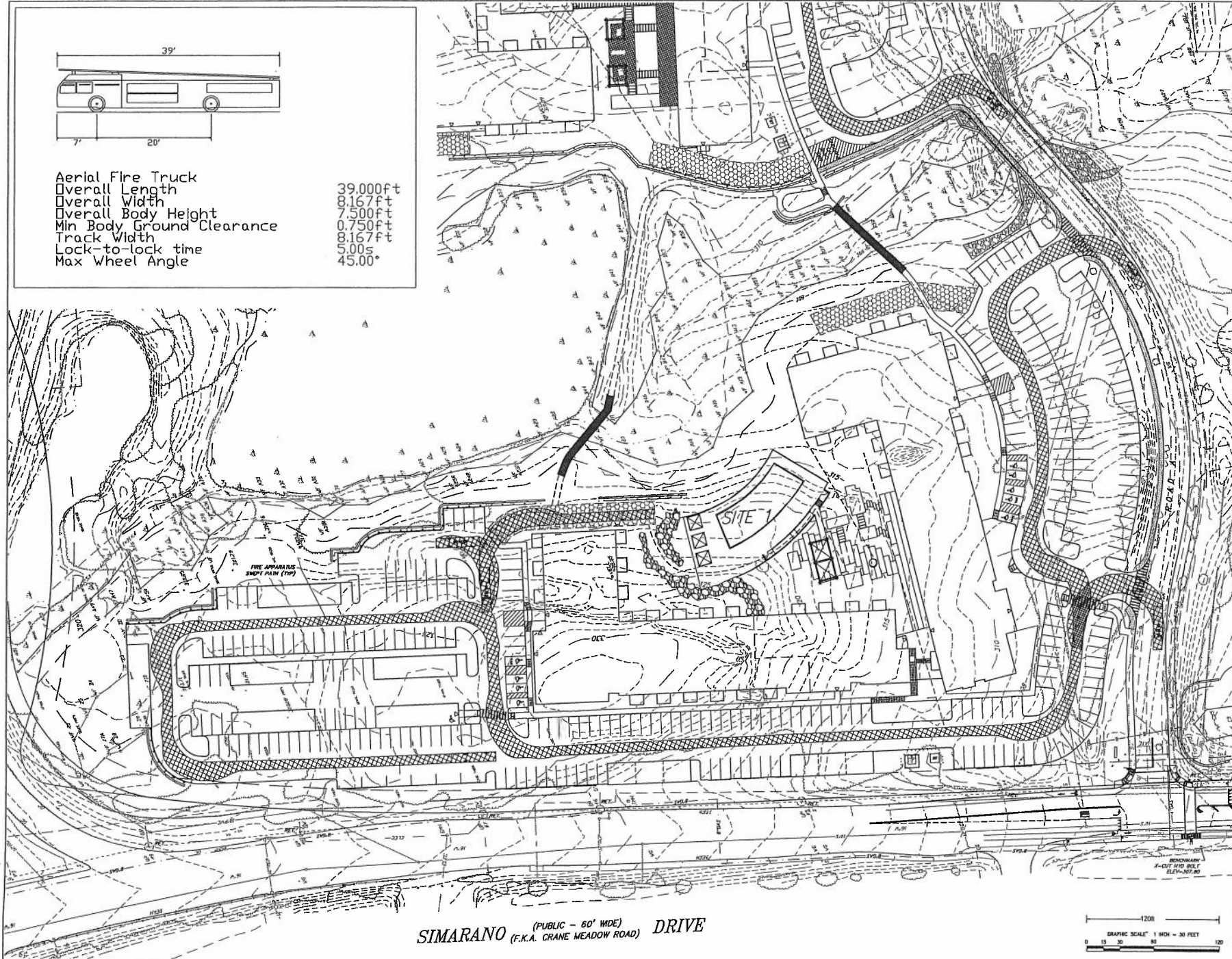
SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DWG: 2019-05-PS-03.dwg
 LAYOUT: PH-2
 SHEET: 30 OF 32
 PROJECT NO.: 22680





Aerial Fire Truck
 Overall Length 39.00ft
 Overall Width 8.167ft
 Overall Body Height 7.500ft
 Min. Body Ground Clearance 0.750ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

MARLBOROUGH AFFILIATIONS
 MAP 116 LOT 5, 11 & 12

PREPARED FOR
POST ROAD REALTY LLC
 11 Unquom Road
 Fairfield, Connecticut 06424

HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Wetland Scientists
 335 Elm St. Marlborough, MA 01752
 VOICE (508) 480-1111, FAX (508) 480-1122
 WWW.HANCOCKASSOCIATES.COM



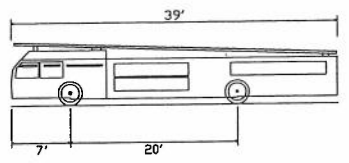
NO.	BY	DATE	ISSUE/PERSON DESCRIPTION	SCALE
1	JL	11/14/19	SEE SHEET 1 REVISIONS	
2	JL	11/14/19	PER COMMENTS	
3	JL	11/14/19	ISSUE/PERSON DESCRIPTION	
4	JL	11/14/19	ISSUE/PERSON DESCRIPTION	
5	JL	11/14/19	ISSUE/PERSON DESCRIPTION	

FIRE MANEUVERING PLAN - SHEET 1

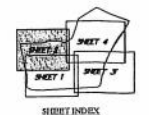
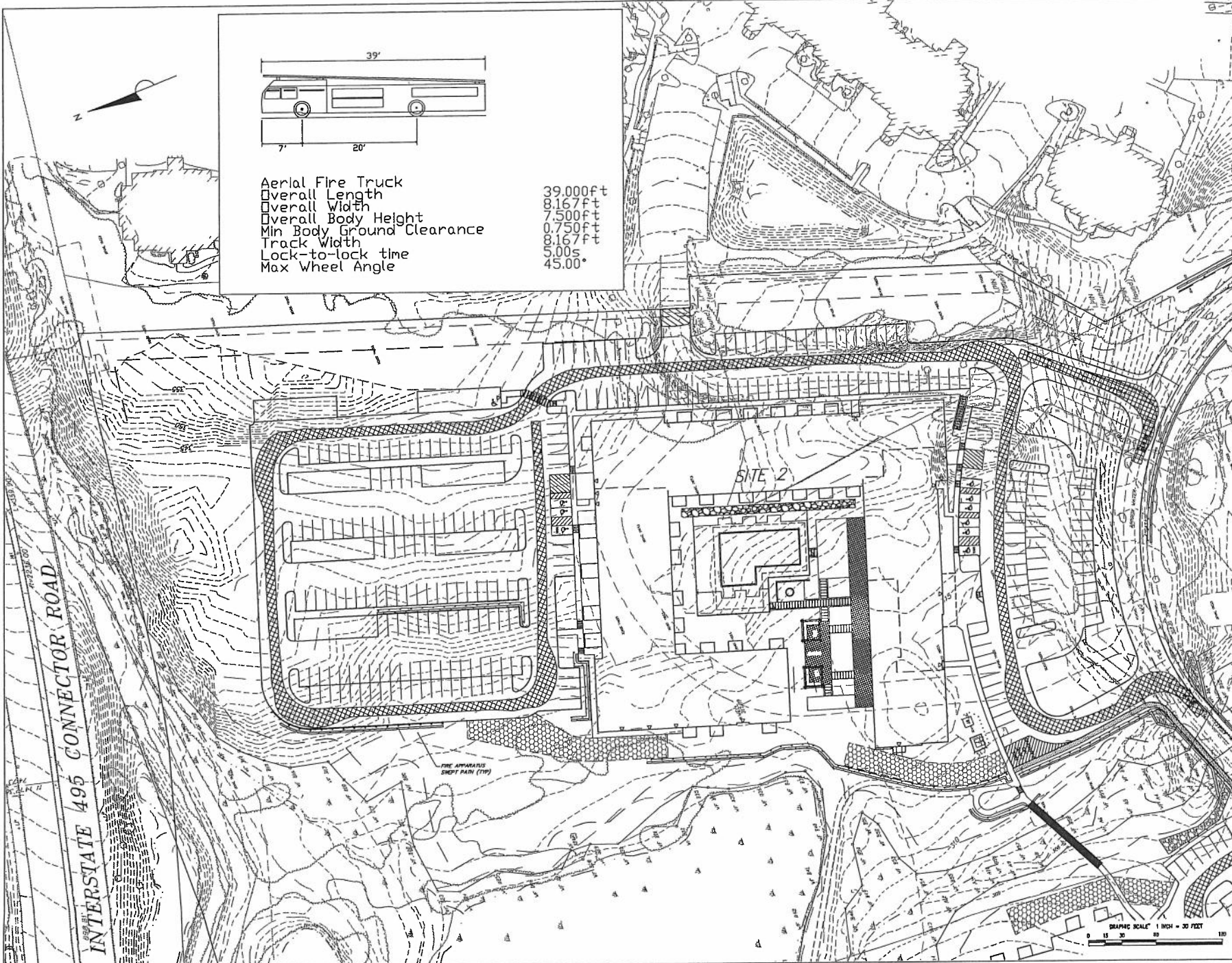
SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DWG: SPAN-PS-03.dwg
 LAYOUT: SPA-1
 SHEET: 31 OF 32
 PROJECT NO: 22680

SPA-1



Aerial Fire Truck
 Overall Length 39.000ft
 Overall Width 8.167ft
 Overall Body Height 7.500ft
 Min Body Ground Clearance 0.750ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



GREEN DISTRICT

 107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

MARLBOROUGH ADDRESS:
 MAP 116 LOT 5, 11 & 12

PREPARED FOR:
POST ROAD REALTY LLC
 11 Unquowa Road
 Fairfield, Connecticut 06824

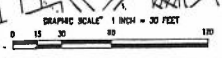
HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Wetland Scientists
 315 Elm St. Marlborough, MA OFFICE
 P.O. BOX 400-1111, FAX 508-880-1112
 WWW.HANCOCKASSOCIATES.COM

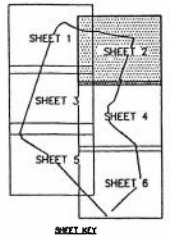
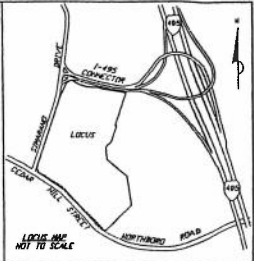
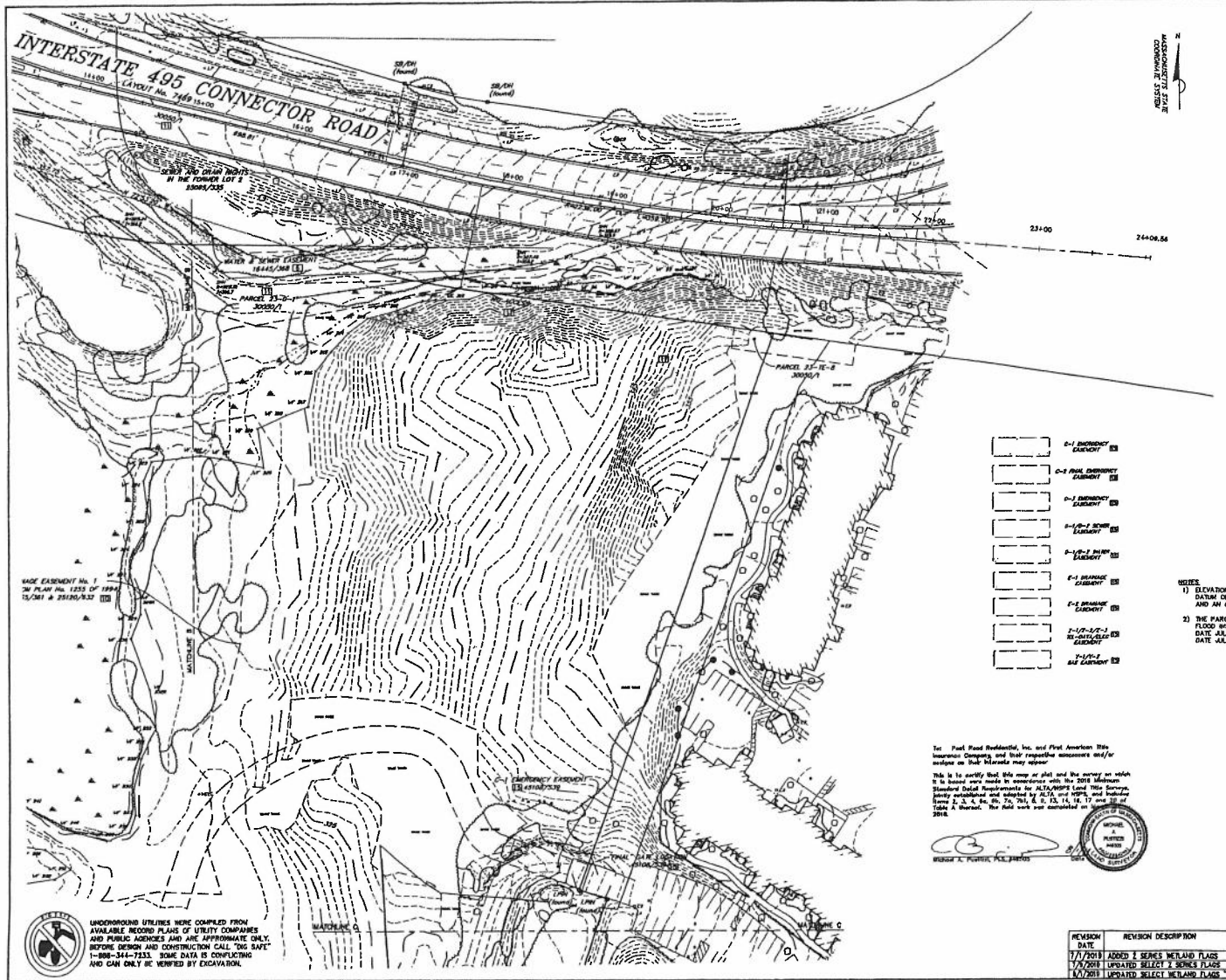


NO.	DATE	BY	DESCRIPTION
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2	11/12/11	SP	FOR COMMENTS
3	11/12/11	SP	FOR COMMENTS
4	11/12/11	SP	FOR COMMENTS
5	11/12/11	SP	FOR COMMENTS
6	11/12/11	SP	FOR COMMENTS
7	11/12/11	SP	FOR COMMENTS
8	11/12/11	SP	FOR COMMENTS
9	11/12/11	SP	FOR COMMENTS
10	11/12/11	SP	FOR COMMENTS

FIRE MANEUVERING PLAN - SHEET 2

SPECIAL PERMIT AND SITE PLAN APPROVAL
 NOT FOR CONSTRUCTION
 DWG: 22680-PS-03.dwg
 LAYOUT: SPA-2
 SHEET: 32 OF 32
 PRODUCT NO.: 22680





- D-1 EASEMENT EASEMENT
- D-2 EASEMENT EASEMENT
- D-3 EASEMENT EASEMENT
- D-4 EASEMENT EASEMENT
- D-5 EASEMENT EASEMENT
- D-6 EASEMENT EASEMENT
- D-7 EASEMENT EASEMENT
- D-8 EASEMENT EASEMENT
- D-9 EASEMENT EASEMENT
- D-10 EASEMENT EASEMENT

- NOTES:
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPEN REDUCTION PERFORMED FEBRUARY 2016.
 - THE PARCEL SHOWN HEREON IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 2502700479F EFFECTIVE DATE JULY 7, 2016 AND MAP No. 2502700509F EFFECTIVE DATE JULY 15, 2016.

To: Paul Reed Residential, Inc. and First American Title Insurance Company and their respective successors and/or assigns as that interests may appear.

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA and AIA, and further, comply with the provisions of the Uniform Land Use Planning Enabling Act, G.L. Ch. 270A, § 14, 15, 16, 17 and 18 of Title A thereof. The said work was completed on 08/01/2016.

UNDGROUNDS UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-800-344-2333. SOME DATA IS CONFIDENTIAL AND CAN ONLY BE VIEWED BY ELEVATION.

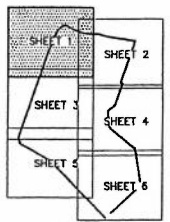
CRANE MEADOW

ALTA/NSPS LAND TITLE SURVEY
IN
MARLBOROUGH/SOUTHBOROUGH, MA
(MIDDLESEX/WORCESTER COUNTY)










SCALE: 1" = 40' DATE: MARCH 28, 2016
REVISED: AUGUST 1, 2019

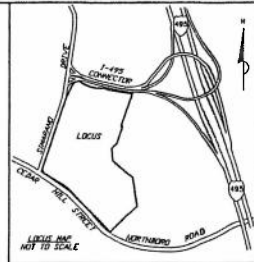
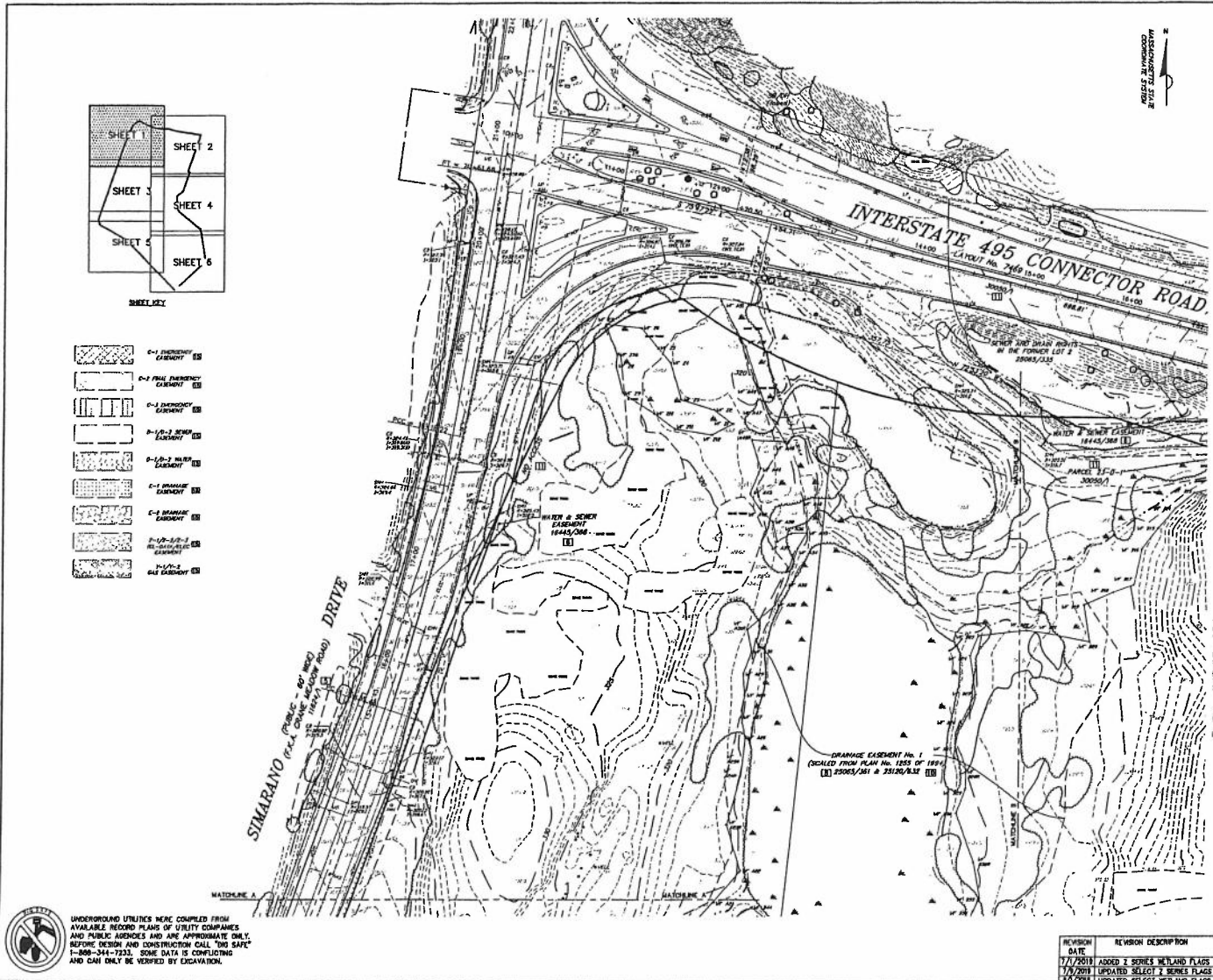
Precision Land Surveying, Inc.
32 Turnpike Road
Southborough, Massachusetts 01772
TEL: (508) 460-1789 FAX: (508) 970-0096
SHEET 2 OF 6 45751PI.DWG

REVISION DATE	REVISION DESCRIPTION
7/7/2016	ADDED 5 BEARS WETLAND FLAGS
1/7/2017	UPDATED SELECT X BEARS FLAGS
8/1/2019	UPDATED SELECT WETLAND FLAGS



SHEET KEY

-  C-1 FURNACE EXHAUST
-  C-2 FINE FURNACE EXHAUST
-  C-3 FURNACE EXHAUST
-  D-1-1 2" DIA. EXHAUST
-  D-1-2 3" DIA. EXHAUST
-  C-1 BRASS EXHAUST
-  C-2 BRASS EXHAUST
-  F-1-1 2" DIA. EXHAUST
-  F-1-2 3" DIA. EXHAUST




- NOTES:
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED FEBRUARY 2016.
 - THE PARCEL SHOWN HEREON IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 250703478F EFFECTIVE DATE JULY 7, 2014 AND MAP No. 250203478F EFFECTIVE DATE JULY 16, 2014.

The Plan, Road Redefined, Inc. and First American Title Insurance Company, and their respective successors and/or assigns as their interests may appear.

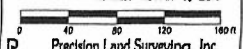
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Order Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by NSPS and ALTA, and Minimum Order 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, and 20 of 2014, as amended. The field work was completed on 08/01/2019.

[Signature]
ROBERT A. PARSONS, PLS, FLS




CRANE MEADOW

ALTA/NSPS LAND TITLE SURVEY
IN
MARLBOROUGH/SOUTHBOROUGH, MA
(MIDDLESEX/WORCESTER COUNTY)
SCALE: 1" = 40' DATE: MARCH 28, 2018
REVISED: AUGUST 1, 2019



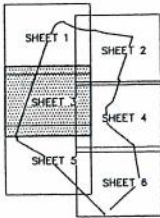
Precision Land Surveying, Inc.
32 Turnpike Road
Southborough, Massachusetts 01772
TEL: (508) 460-1700 FAX: (508) 970-0088
SHEET 1 OF 6 45731PL.DWG

REVISION DATE	REVISION DESCRIPTION
11/7/2011	ADDED 1 SERIES WETLAND FLAGS
1/7/2018	UPDATED SELECT 2 SERIES FLAGS
8/1/2019	UPDATED SELECT WETLAND FLAGS

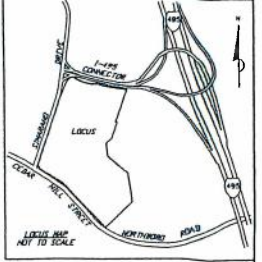
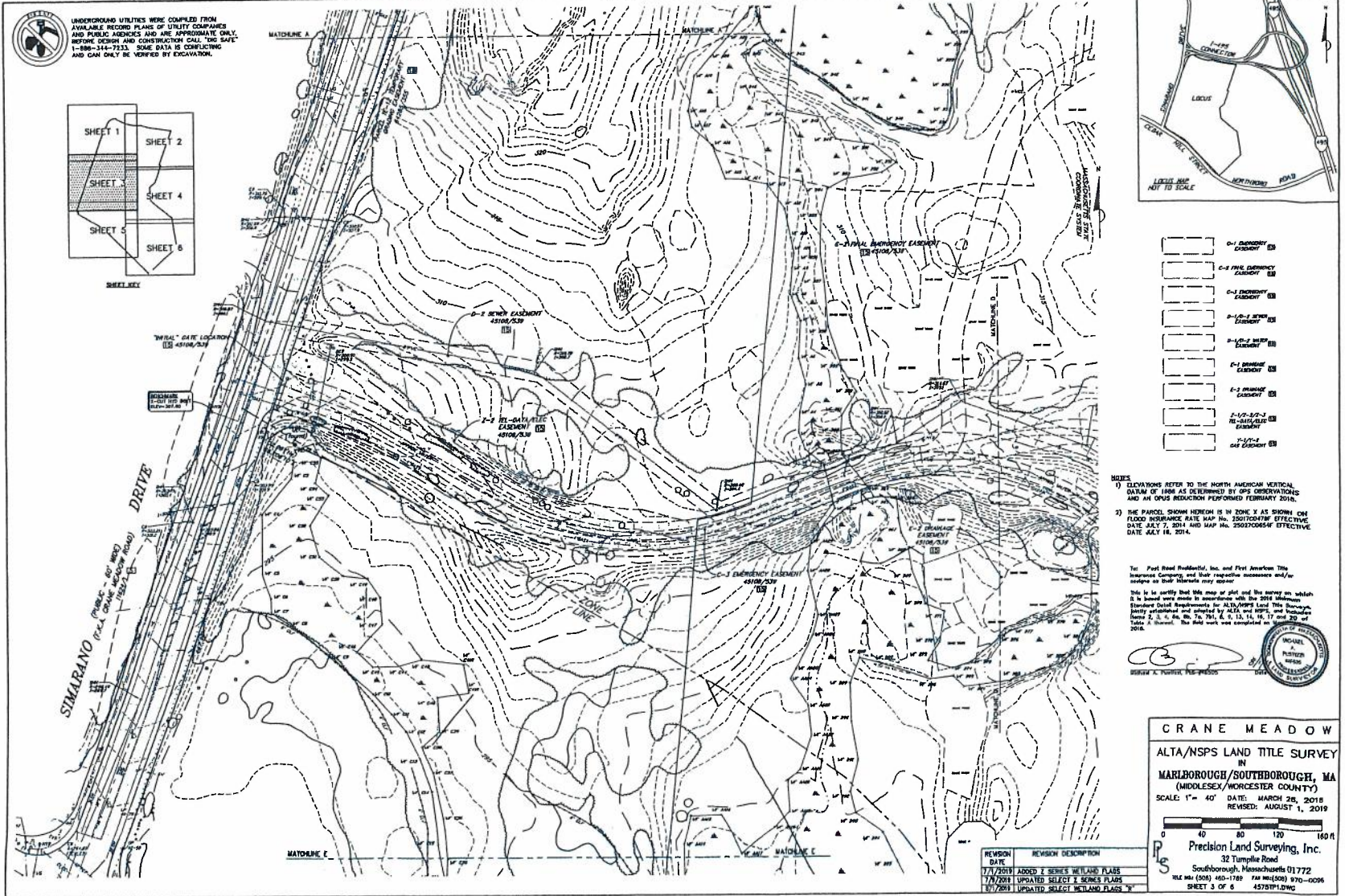
 UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL THE SAFT 1-800-344-7332. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.



UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL THE SAFE[®] 1-888-344-7333. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.



SHEET 3



- D-1 EASEMENT
- D-2 EASEMENT
- D-3 EASEMENT
- D-4 EASEMENT
- D-5 EASEMENT
- D-6 EASEMENT
- D-7 EASEMENT
- D-8 EASEMENT
- D-9 EASEMENT
- D-10 EASEMENT
- D-11 EASEMENT
- D-12 EASEMENT
- D-13 EASEMENT
- D-14 EASEMENT
- D-15 EASEMENT

- NOTES
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1885 AS DETERMINED BY GPS OBSERVATIONS AND AIR OPUS REDUCTION PERFORMED FEBRUARY 2018.
 - THE PARCEL SHOWN HEREON IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 250700470M EFFECTIVE DATE JULY 7, 2014 AND MAP No. 250700484M EFFECTIVE DATE JULY 18, 2014.

The Plot Area Produced, Inc. and Plot America Title Insurance Company, and their respective successors and/or assigns do hereby warrant that the survey on which this is based was made in accordance with the 2018 Massachusetts Standard Detail Requirements for ALTA and ASPS, and includes items 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 17 and 20 of Table A attached. The field work was completed on 2018.

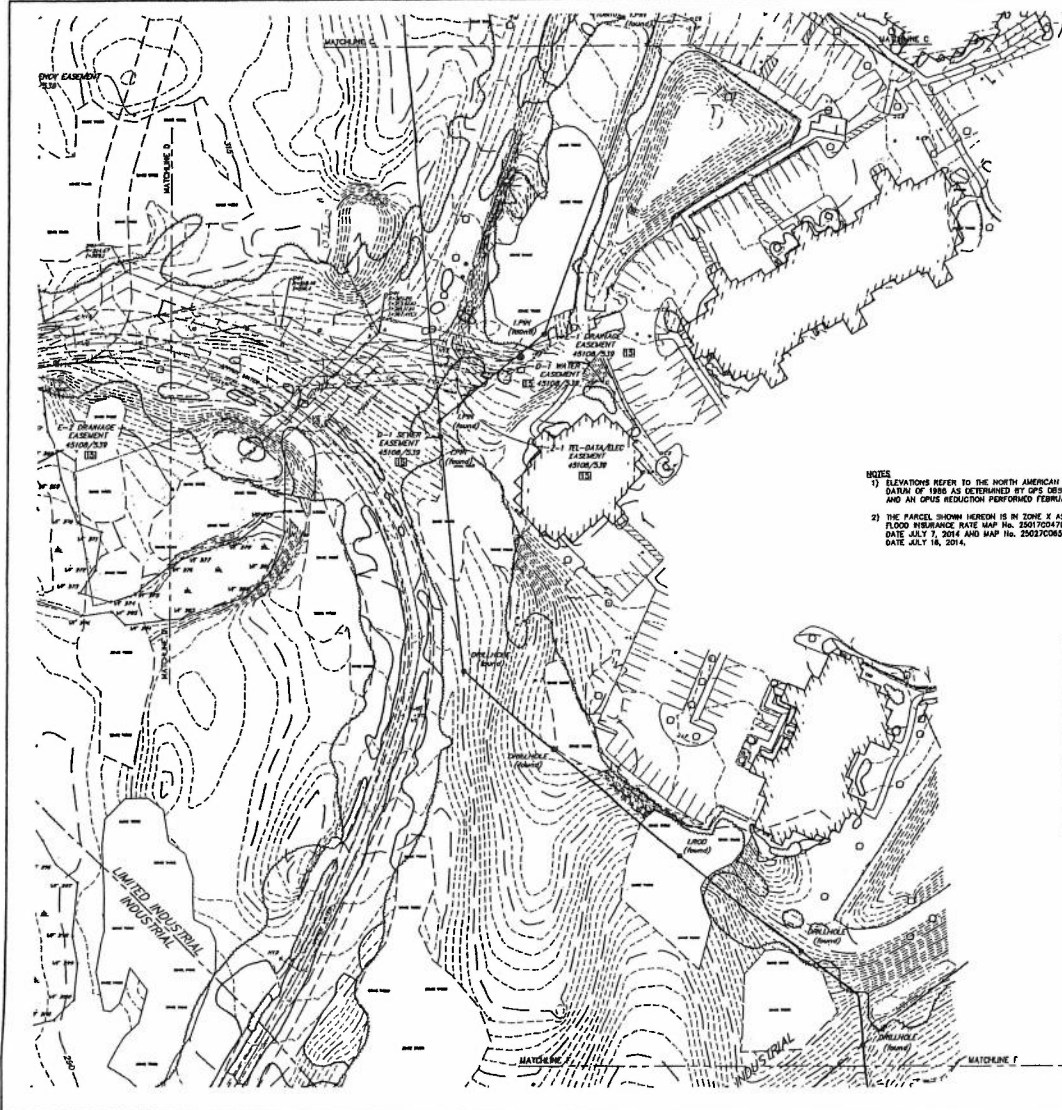
MICHAEL PETERSON
 2018
 08/01/2019
 08/01/2019
 08/01/2019

CRANE MEADOW
ALTA/NSPS LAND TITLE SURVEY
 IN
MARLBOROUGH/SOUTHBOROUGH, MA
 (WORCESTER/MIDDLESEX COUNTY)
 SCALE: 1" = 40' DATE: MARCH 26, 2019
 REVISED: AUGUST 1, 2019

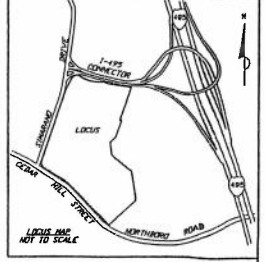


REVISION DATE	REVISION DESCRIPTION
7/7/2019	ADDED 2 SERIES WETLAND PLANS
7/8/2019	UPDATED SELECT 3 SERIES PLANS
10/7/2019	UPDATED SELECT WETLAND PLANS

Precision Land Surveying, Inc.
 32 Turnpike Road
 Southborough, Massachusetts 01772
 TEL: 508 (508) 461-1789 FAX: 508 (508) 970-0096
 SHEET 3 OF 6 4/27/19/PLW

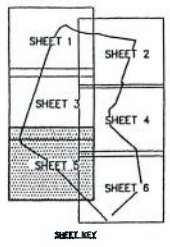
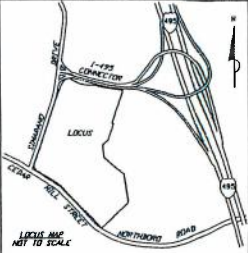
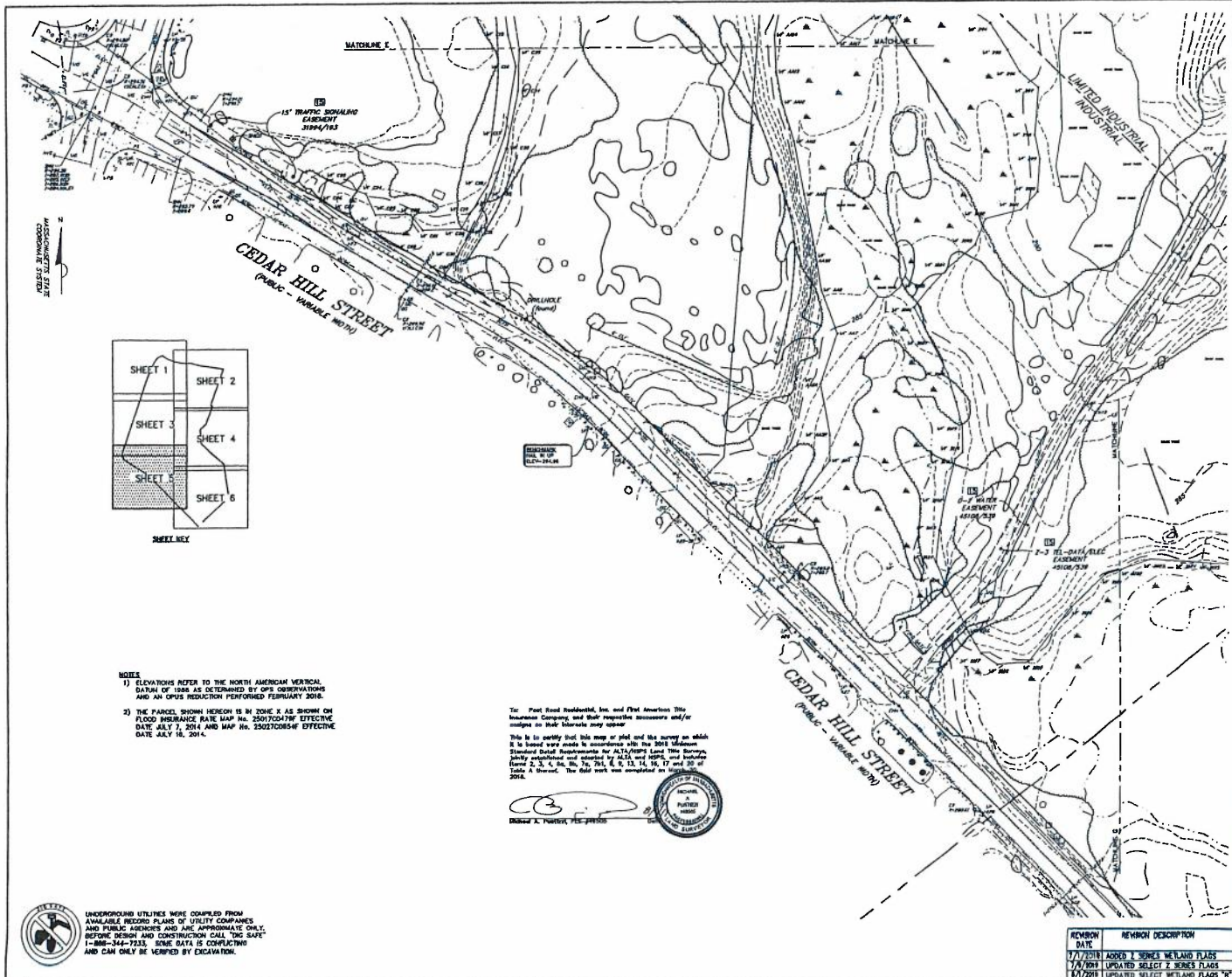


UNDERGROUND UTILITIES WERE COUPLED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL THE BULKY 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.



NOTES:
 1) ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED FEBRUARY 2018.
 2) THE PARCEL SHOWN HEREON IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 25027C064F EFFECTIVE DATE JULY 7, 2014 AND MAP No. 25027C064F EFFECTIVE DATE JULY 16, 2014.

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- 0-1 PROPERTY EASEMENT
- 0-2 PAVE PROPERTY EASEMENT
- 0-3 PROPERTY EASEMENT
- 0-4 LOW-7 EASEMENT
- 0-5 HIGH-2 EASEMENT
- 0-6 DRAINAGE EASEMENT
- 0-7 DRAINAGE EASEMENT
- 0-8 1-1/2'-0\"/>

NOTES

- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED FEBRUARY 2018.
- THE PARCEL SHOWN HEREON IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 250170479E EFFECTIVE DATE JULY 7, 2014 AND MAP NO. 250270084F EFFECTIVE DATE JULY 10, 2014.

The Paul Reed Hubbard, Inc. and First American Title Insurance Company, and their respective instruments and/or maps as that therein may appear.

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2011 Uniform Standard Detail Requirements for ALTA/ACSM Land Title Surveys, which requirements were amended by ASLS, Inc. and include Article 2, 3, 4, 5a, 6a, 7a, 8a, 9, 10, 11, 12, 13, 14, 15, 17 and 20 of said ASLS document. The field work was completed in 2018.



UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL 'TIG SAFE' 1-800-244-7333. SOME DATA IS CORRECTIVE AND CAN ONLY BE VERIFIED BY EXCAVATION.

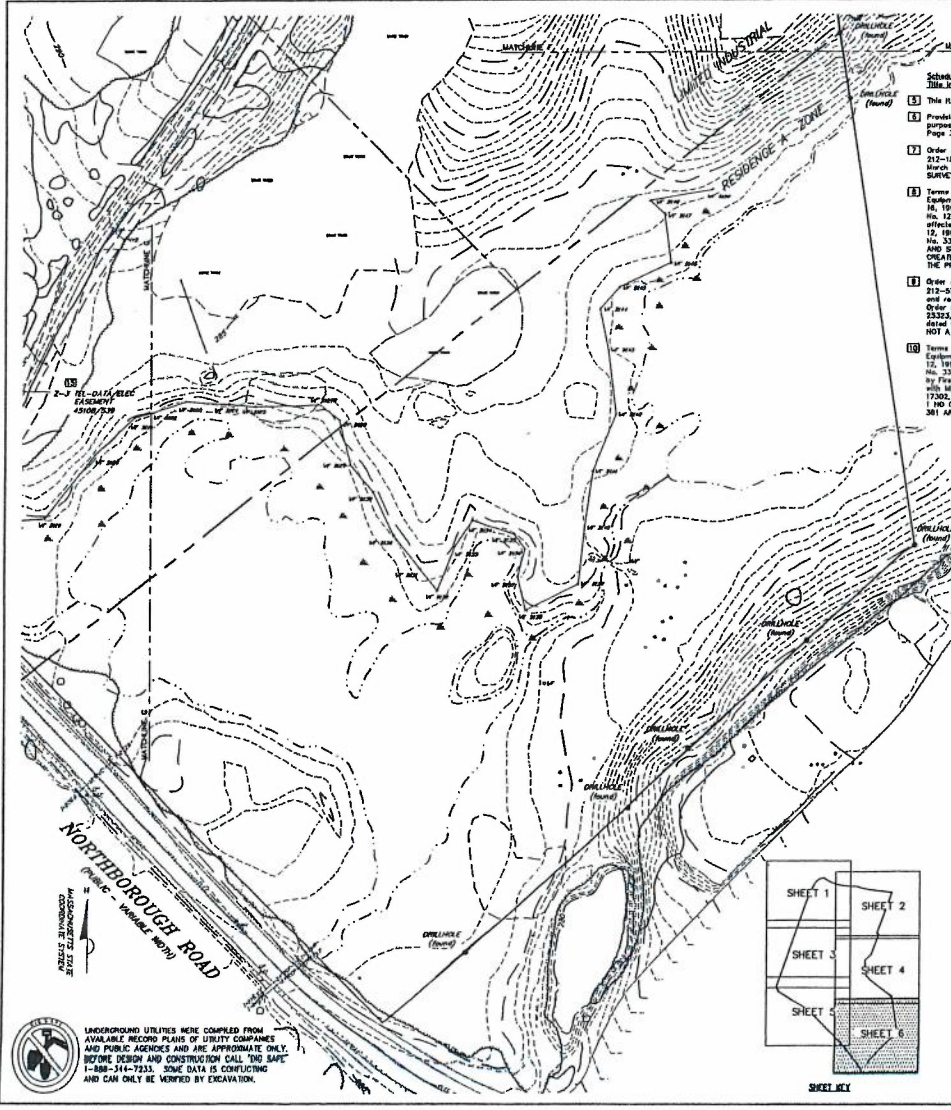
REVISION	REVISION DESCRIPTION
1/1/2018	ADDED 2 SERIES WETLAND FLAGS
7/7/2018	UPDATED SELECT 2 SERIES FLAGS
8/1/2018	UPDATED SELECT WETLAND FLAGS 'R'

CRANE MEADOW

ALTA/NSPS LAND TITLE SURVEY
IN
MARLBOROUGH/SOUTHBOROUGH, MA
(MIDDLESEX/WORCESTER COUNTY)

SCALE: 1" = 40' DATE: MARCH 28, 2018
REVISED: AUGUST 1, 2018

Precision Land Surveying, Inc.
32 Turnpike Road
Southborough, Massachusetts 01772
TEL: (508) 490-1700 FAX: (508) 870-0000
SHEET 5 OF 8 457919.DWG



Schedule B Section Two of First American Title Insurance Company's Commitment for the Insurance Commitment No. MA-28112-2001, Effective Date January 10, 2018.

This item has been intentionally deleted.

- Provisions of the Easement to the City of Marlborough for sewer and water line purposes, dated August 22, 1985, recorded with Middlesex South in Book 18445, Page 368, and shown on Plan No. 1279 of 1985. PLOTTED AND SHOWN HEREON.
- Order of Conditions by the Marlborough Conservation Commission (DEP File No. 212-180) on the application of Williams Street Limited Partnership, dated March 1, 1985 and recorded with Middlesex South in Book 19085, Page 350. NOT A SURVEY RELATED ITEM.
- Terms and provisions of Cross-Easement Agreement by and between Digital Equipment Corporation and Healthy Marlborough Limited Partnership, dated December 16, 1994, recorded with Middlesex South in Book 20045, Page 361, as shown on Plan No. 1228 of 1994, and recorded with Worcester in Book 18828, Page 110; as affected by First Amendment to Cross-Easement Agreement dated July 14, 1995, recorded with Middlesex South in Book 25130, Page 853, as shown on Plan No. 33 of 1995, and recorded with Worcester in Book 18828, Page 103. PLOTTED AND SHOWN HEREON. EXCEPT FOR DRAINAGE EASEMENT NO. 1 NO OTHER EASEMENT CREATED BY AGREEMENT RECORDED IN BOOK 2506085 PAGE 281 ARE LOCATED ON THE PROPERTY.
- Order of Conditions by the Marlborough Conservation Commission (DEP File No. 212-571) on the application of Digital Equipment Corporation, dated March 9, 1995, recorded with Middlesex South in Book 25312, Page 10; as affected by amended Order of Conditions dated April 13, 1995 and recorded with Middlesex South in Book 23252, Page 18; as affected by Certificate of Compliance with zoning conditions, dated October 3, 1998 and recorded with Middlesex South in Book 27363, Page 289. NOT A SURVEY RELATED ITEM.
- Terms and provisions of Cross-Easement Agreement by and between Digital Equipment Corporation and Healthy Marlborough Limited Partnership, dated January 19, 1995, recorded with Middlesex South in Book 25100, Page 823, as shown on Plan No. 33 of 1995, and recorded with Worcester in Book 18828, Page 120 as affected by First Amendment to Cross-Easement Agreement dated July 14, 1995, recorded with Middlesex South in Book 25016, Page 842, and recorded with Worcester in Book 17302, Page 18. PLOTTED AND SHOWN HEREON EXCEPT FOR DRAINAGE EASEMENT NO. 1 NO OTHER EASEMENT CREATED BY AGREEMENT RECORDED IN BOOK 2506085 PAGE 281 ARE LOCATED ON THE PROPERTY.

- Schedule B Section Two of First American Title Insurance Company's Commitment for the Insurance Commitment No. MA-28112-2001, Effective Date January 10, 2018.** (Continued)
- Re/Unfiled Access provisions of Lapsed Number 7489 and Order of Taking by the Commonwealth of Massachusetts Department of Public Works for Interstate Route 495, dated March 24, 1998 and recorded with Middlesex South in Book 30000, Page 1, as shown on Plan 405 of 1998, recorded in Book 30045, Page 508-509. PLOTTED AND SHOWN HEREON.
 - Rights, reservations and easements as set forth in a deed from Johnson Control Facility, Inc. to Paolo A. Dabon, Trustee of 200 Tech Road Trust, dated March 16, 1999 and recorded with Middlesex South in Book 30188, Page 221. DOES NOT PLOT ON THE PREMISES.
 - Order of Conditions by the Marlborough Conservation Commission (DEP File No. 212-803), on the application of Boston Properties, Inc. dated June 26, 2000, and recorded with Middlesex South in Book 31955, Page 32. NOT A SURVEY RELATED ITEM.
 - Order of Conditions by the Marlborough Conservation Commission (DEP File No. 212-824) on the application of Boston Properties Limited Partnership (General Site Address: 80 Crane Meadow LLC) dated December 8, 2000 and recorded with Middlesex South in Book 32471, Page 200 as affected by Extension Permit dated October 16, 2003, recorded with Middlesex South in Book 41420, Page 46. NOT A SURVEY RELATED ITEM.
 - Terms and provisions of Easement Agreement between BP Crane Meadow, LLC, and Fairfield Green of Marlborough L.P., dated April 29, 2005 and recorded with Middlesex South in Book 45108, Page 539, as shown on plan recorded therewith as Plan No. 508 of 2005. PLOTTED AND SHOWN HEREON.
 - This item has been intentionally deleted.
 - Enlight Domain Order of Taking by the Marlborough City County for a permanent easement for a traffic signal, dated September 25, 2005, recorded November 3, 2006, in Book 31894, Page 303, and shown on Parcel 118-B-A on plan recorded as Plan No. 1223 of 2006. PLOTTED AND SHOWN HEREON.
 - Enlight Domain Order of Taking by the Marlborough City County for a temporary grading easement, dated August 25, 2004, recorded in Book 34785, Page 350, and shown on Parcel 1E-12 on Sheet 2 of plan recorded as Plan No. 796 of 2004. PLOTTED AND SHOWN HEREON.

Schedule A of First American Title Insurance Company's Commitment for the Insurance Commitment No. MA-28112-2001, Effective Date January 10, 2018.

The Land referred to in this Commitment is described as follows:

- PARCEL 1 - SEE PARCELS.**
- PARCEL II:**
A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Marlborough, situated on the southerly side of the Interstate Route 495 Connector Road for Exit No. 23, and shown as Lot 5-1 on "Plan of Land in Marlborough, Massachusetts, Prepared for: BP Crane Meadow, LLC" by Vanessa Horgan Brattin, Inc., dated March 18, 2001, recorded with the Middlesex South District Registry of Deeds as Plan No. 499 of 2001, in Book 32952, Page 224.
- PARCEL III:**
A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Marlborough, situated on the southerly side of the Interstate Route 495 Connector Road for Exit No. 23, and shown as Lot 5-3 on "Plan of Land in Marlborough, Massachusetts, Prepared for: BP Crane Meadow, LLC" by Vanessa Horgan Brattin, Inc., dated March 18, 2001, recorded with the Middlesex South District Registry of Deeds as Plan No. 499 of 2001, in Book 32952, Page 224.
- PARCEL IV:**
A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Marlborough, situated on the southerly side of the Interstate Route 495 Connector Road for Exit No. 23, and shown as Parcel 3B on "Plan of Land in Marlborough, MA, Precision Land Surveying, Inc. and Rizo Associates", dated December 23, 2004 recorded with the Middlesex South District Registry of Deeds as Plan No. 504 of 2005, in Book 45108, Page 618.
- Parcels I through IV are a subdivision of Lot 5 on a plan entitled "Completed Plan of Land in Marlborough, Mass. (Middlesex County) & Southborough, Mass. (Worcester County), Off Forest Street, 3185, Central Street, Crane Meadow, Cedar Hill Street, Northboro Road, and Interstate Route 1-185", dated November 23, 1994, recorded with Middlesex South in Plan 17254 of 1994 in Book 20065, Page 234; enclosing thereon Parcel 3-A on "Plan of Land in Marlborough, Massachusetts, Precision Land Surveying, Inc. and Rizo Associates", dated December 23, 2004, recorded with the Middlesex South District Registry of Deeds as Plan No. 504 of 2005, in Book 45108, Page 618, corrected by deed dated April 8, 2005, recorded in Book 45108, Page 518.
- PARCEL V:**
A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Marlborough, situated on the southerly side of the Interstate Route 495 Connector Road for Exit No. 23, and shown as Parcel 3B on "Plan of Land in Marlborough, MA, Precision Land Surveying, Inc. and Rizo Associates", dated December 23, 2004, recorded with the Middlesex South District Registry of Deeds as Plan No. 504 of 2005, in Book 45108, Page 618.

- PARCEL VI - APARTMENTHOUSE BLDG(S):**
- Together with the benefit of the following:
- Sewer and drainage easement as reserved by deed to the City of Marlborough, dated December 16, 1984, recorded with Middlesex South in Book 18445, Page 368.
 - Easement to the City of Marlborough for sewer and water line purposes, dated August 22, 1985, recorded with Middlesex South in Book 18445, Page 368.
 - Cross-Easement Agreement with Healthy Marlborough Limited Partnership dated December 16, 1994, recorded with Middlesex South in Book 20045, Page 361, and recorded with Worcester in Book 18828, Page 110; as affected by First Amendment to Cross-Easement Agreement dated July 14, 1995, recorded with Middlesex South in Book 25130, Page 853, and recorded with Worcester in Book 18828, Page 103.
 - Cross-Easement Agreement with Healthy Marlborough Limited Partnership dated January 12, 1995, recorded with Middlesex South in Book 25100, Page 823, and recorded with Worcester in Book 18828, Page 130; as affected by First Amendment to Cross-Easement Agreement dated July 14, 1995, recorded with Middlesex South in Book 25016, Page 842, and recorded with Worcester in Book 17302, Page 18.
 - Easement Agreement between BP Crane Meadow, LLC, and Fairfield Green of Marlborough L.P., dated April 29, 2005 and recorded in Middlesex South in Book 45108, Page 539, as shown on plan recorded therewith as Plan No. 508 of 2005.

- C-1 EASEMENT
- C-2 PIA EASEMENT
- C-3 EASEMENT
- D-1/2-1 EASEMENT
- D-1/2-2 EASEMENT
- D-1/2-3 EASEMENT
- D-1/2-4 EASEMENT
- D-1/2-5 EASEMENT
- D-1/2-6 EASEMENT
- D-1/2-7 EASEMENT
- D-1/2-8 EASEMENT

By: Paul Reed Real Estate, Inc. and First American Title Insurance Company, and their respective assessors and/or agents as the Public Officers may appear.

This is to certify that this map was prepared and the accuracy of which it is based was made in accordance with the 2008 Minimum Standard Detail Requirements for ALTA and AIA Surveys, and the rules and regulations promulgated and adopted by ALTA and AIA, and that the same comply with the requirements of the laws of the State of Massachusetts, Chapter 266A, Sections 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, and 21 of said Chapter.



CRANE MEADOW

ALTA/NSPS LAND TITLE SURVEY

MARLBOROUGH/SOUTHBOROUGH, MA
(MIDDLESEX/WORCESTER COUNTY)

SCALE: 1" = 40' DATE: MARCH 28, 2018
REVISED: AUGUST 1, 2019

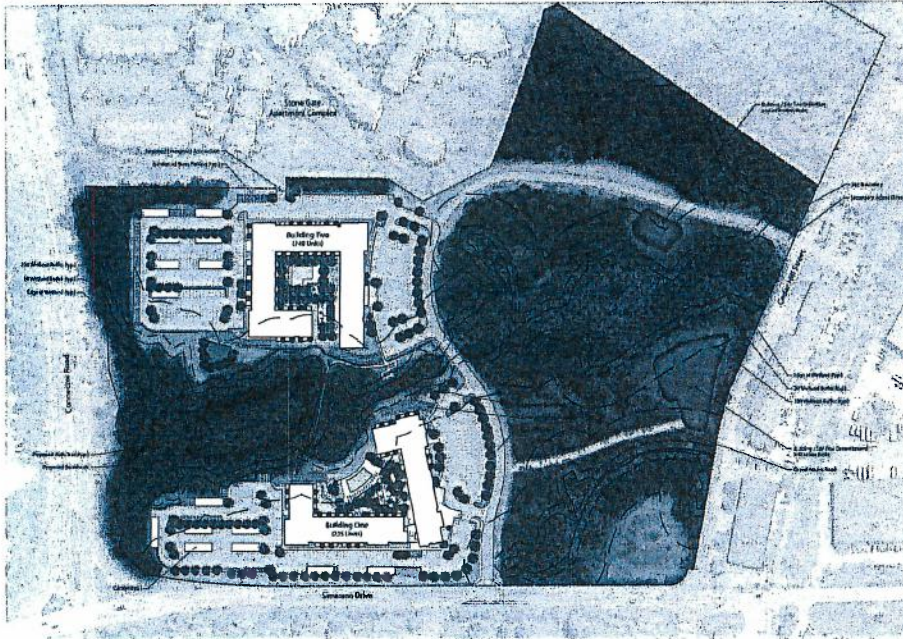
Precision Land Surveying, Inc.
32 Temple Road
Southborough, Massachusetts 01772
TEL: (508) 480-1799 FAX: (508) 476-0794
SHEET 6 OF 6 45751P1.DWG

REVISION DATE	REVISION DESCRIPTION
1/7/2018 12:05	1 SHEET MISC. PLANS
1/7/2018 12:05	2 SHEET MISC. PLANS
1/7/2018 12:05	3 SHEET MISC. PLANS
1/7/2018 12:05	4 SHEET MISC. PLANS
1/7/2018 12:05	5 SHEET MISC. PLANS
1/7/2018 12:05	6 SHEET MISC. PLANS

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORDS, PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL THE SAFE 1-800-344-7333. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

GREEN DISTRICT SPECIAL PERMIT AND SITE PLAN APPROVAL

107 SIMARANO DRIVE
MARLBOROUGH, MASSACHUSETTS



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SPL-3.0	Landscape Details
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A202	Site 2 Renderings
Signage	
A300	Building and Landscape Signage

ARCHITECT
bh/a
Bogerman Hancock + Architects, Inc.
8 Chapel Center Street
Boston, MA 02210
617 552-6400 Fax

PROJECT NAME
Green District
107 Simarano Drive
Marlborough, MA, 01752

CLIENT
Post Road Residential, LLC
11 Lippman Road, Farmington, CT 06031

PROJECT TEAM

KEYWORDS

DRAWING TITLE
Cover

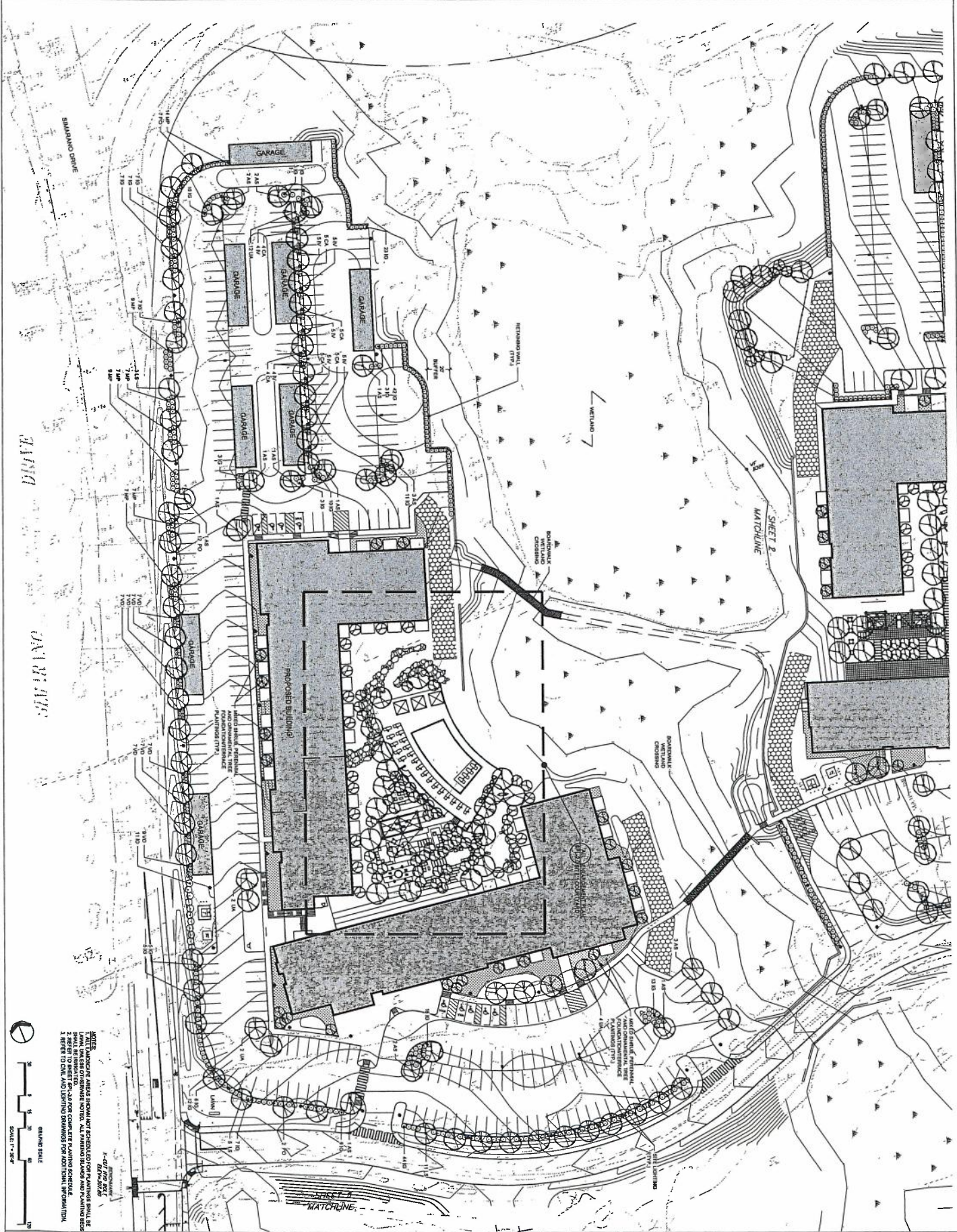
DRAWING INFORMATION

1/15/2018
12:29:53
Special Permit and Site Plan Approval
01/15/2018

DRAWING NUMBER

A001

Copyright 2018, Inc.



NOTES:
 1. ALL DIMENSIONS OF REVISIONS FROM ANY PREVIOUS EDITION OF THIS PLAN SHALL BE SHOWN IN RED.
 2. ALL DIMENSIONS OF REVISIONS FROM ANY PREVIOUS EDITION OF THIS PLAN SHALL BE SHOWN IN RED.
 3. REFER TO ONE AND LISTING DRAWINGS FOR ADDITIONAL INFORMATION.

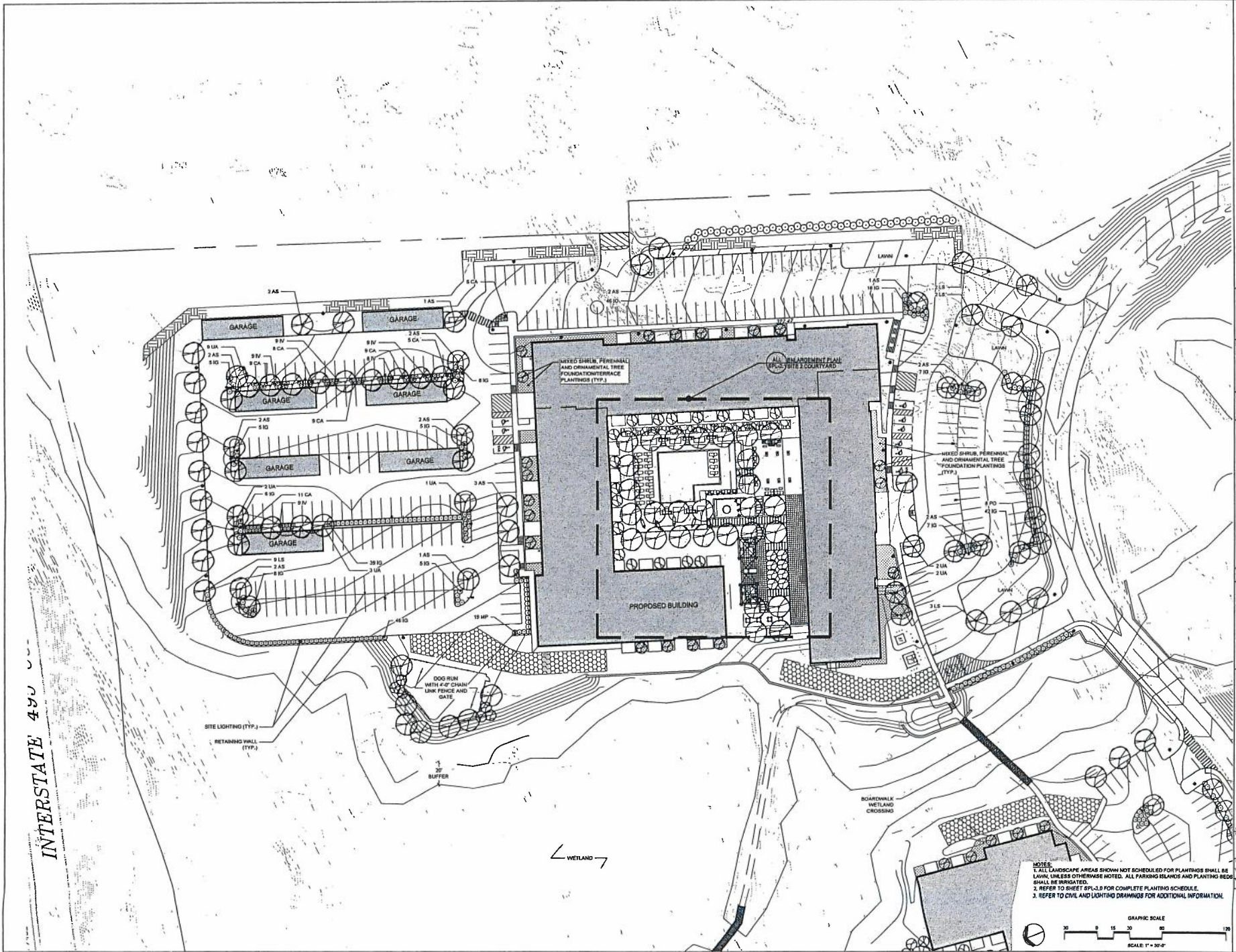
GREEN DISTRICT
 107 SIMARANO DRIVE
 MARLBOROUGH, MA
 LANDSCAPE SITE
 PLAN - 1
 DATE: 2018.08.08
 AS NOTED

NO.	DATE	ISSUE
1	2018.11.12	SPECIAL PERMIT AND SITE PLAN APPROVAL - REVISED
2	2018.08.08	SPECIAL PERMIT AND SITE PLAN APPROVAL

PROJECT:
 POST ROAD
 REALTY, LLC
 11 N Main Street
 Southington, CT 06488

erla eric rains
 landscape architecture, llc
 11 N Main Street Southington, CT 06488 www.ericrains.com

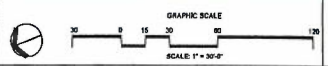
SPL-1.0



INTERSTATE 495

WETLAND

NOTES:
 1. ALL LANDSCAPE AREAS SHOWN NOT SCHEDULED FOR PLANTINGS SHALL BE LAWN, UNLESS OTHERWISE NOTED. ALL PARKING ISLANDS AND PLANTING BEDS SHALL BE BROADCAST.
 2. REFER TO SHEET SPL-1.0 FOR COMPLETE PLANTING SCHEDULE.
 3. REFER TO CIVIL AND LIGHTING DRAWINGS FOR ADDITIONAL INFORMATION.



PREPARED FOR:
POST ROAD REALTY, LLC
 11 Union Street
 Fairfield, Connecticut 06424

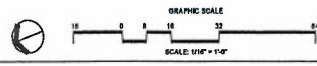
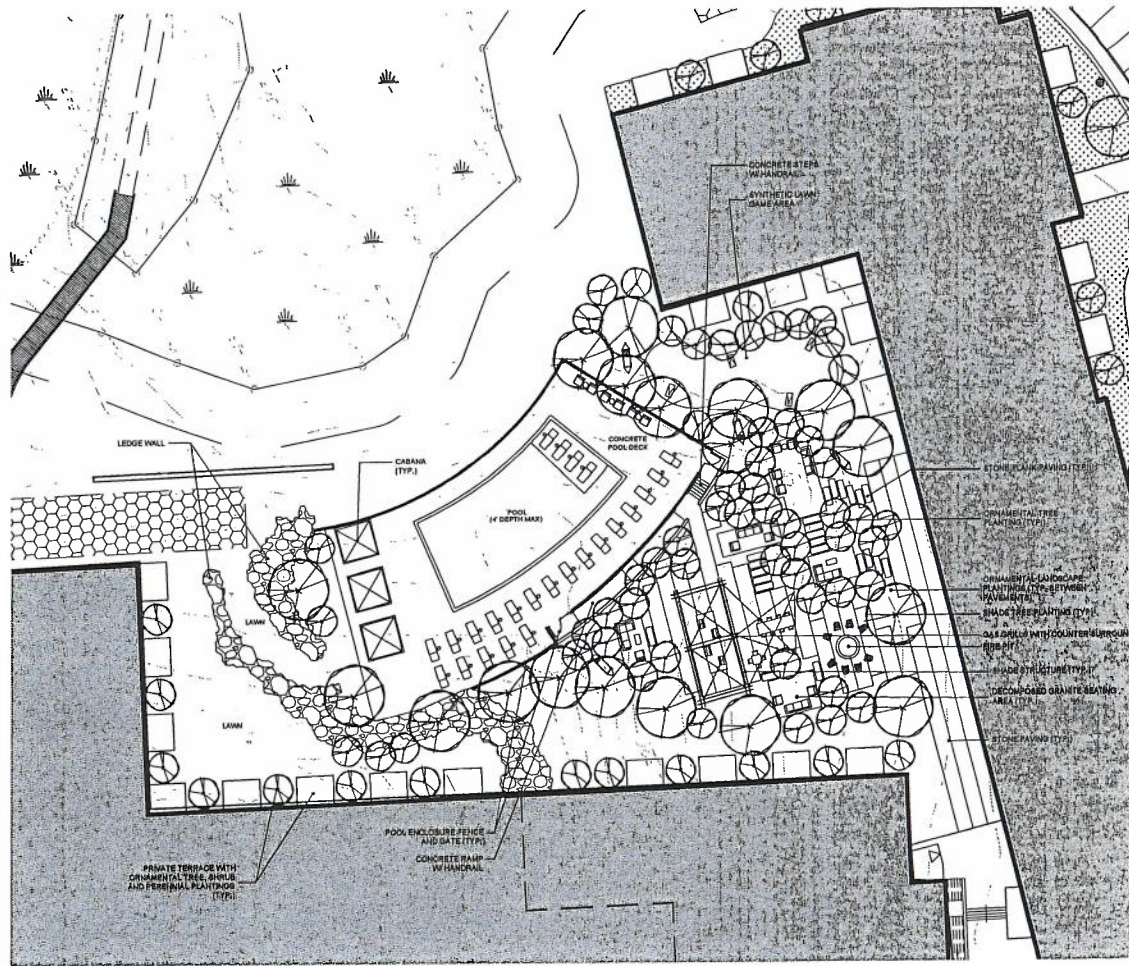
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2018.08.06	48		
2018.08.06	49		
2018.08.06	50		

GREEN DISTRICT
 107 SIMARANO DRIVE
 MARLBOROUGH, MA

LANDSCAPE SITE
 PLAN - 2

2018.08.06
 AS NOTED

SPL-1.1



NOTES:
 1. ALL LANDSCAPE AREAS SHOWN NOT SCHEDULED FOR PLANTINGS SHALL BE LAWN, UNLESS OTHERWISE NOTED. ALL PLANTING AREAS SHALL BE IRRIGATED.

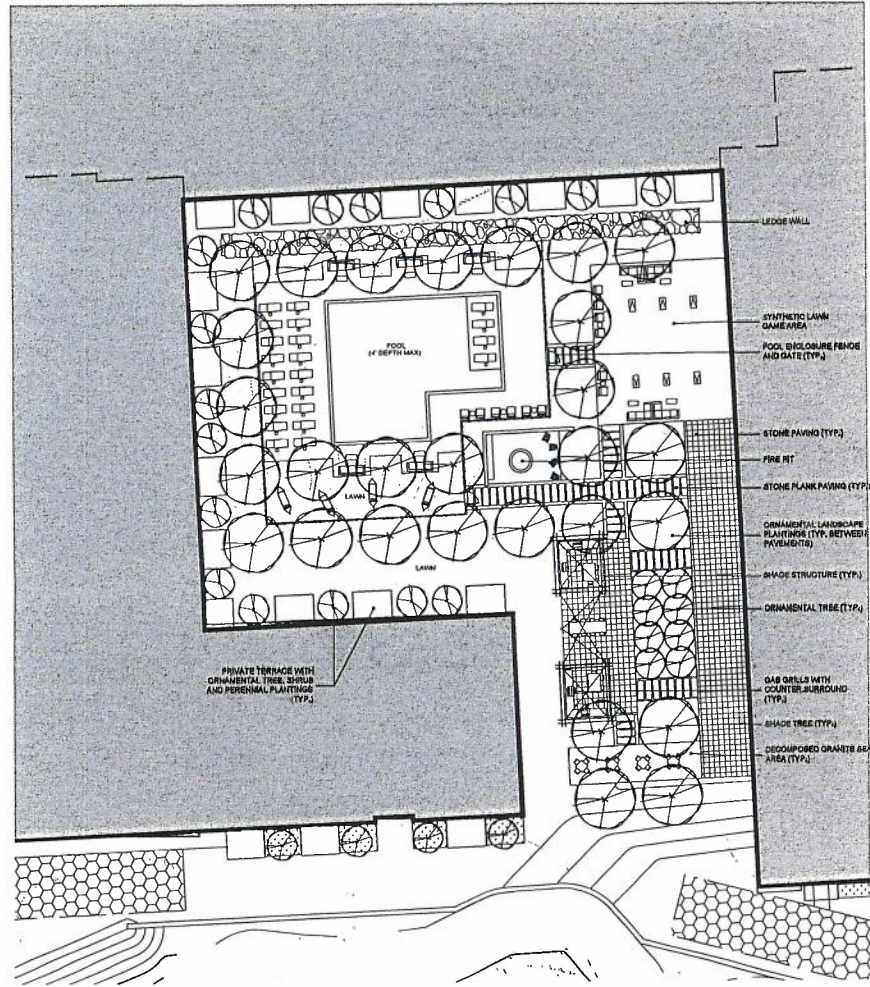
PREPARED FOR:
POST ROAD REALTY, LLC
 11 Unionville Road
 Fairfield, Connecticut 06424

NO.	DATE	REVISION	BY	CHKD.	REVISION	BY	CHKD.

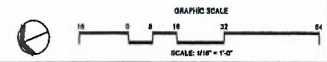
GREEN DISTRICT
 107 SHIMABANO DRIVE
 MARLBOROUGH, MA

ENLARGEMENT PLAN:
 SITE 1 COURTYARD

SPL-2.0



NOTES:
 1. ALL LANDSCAPE AREAS SHOWN NOT SCHEDULED FOR PLANTINGS SHALL BE LAWN, UNLESS OTHERWISE NOTED. ALL PLANTING AREAS SHALL BE IRRIGATED.



PREPARED FOR:
POST ROAD REALTY, LLC
 11 Unwin Road
 Fairfield, Connecticut 06424

DATE	ISSUE	REVISION
2016.08.08	2016.08.08	1

GREEN DISTRICT
 107 SIMARANO DRIVE
 MAILBOROUGH, MA

ENLARGEMENT PLAN:
 SITE 2 COURTYARD

DATE: 2016.08.08
 BY: AS NOTED

SITE 1 PLANTING SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	PCOT	URL SIZE	COMMENTS
TREES						
PS	21	<i>Aspen Incubatus Green Mountain</i>	Green Mountain Sugar Maple	B&B	1.5-4" Cal.	Full, Branching @ clear
LT	19	<i>Liquidambar styraciflua</i>	Sweetgum	B&B	1.5-4" Cal.	Full, Branching @ clear
PO	21	<i>Platanus occidentalis</i>	American Sycamore	B&B	1.5-4" Cal.	Full, Branching @ clear
LA	20	<i>Liriodendron tulipifera</i>	Flowering Dogwood	B&B	1.5-4" Cal.	Full, Branching @ clear
SHRUBS						
CA	27	<i>Chaenactis glabra</i>	Summer Sweet	B&B	30-30" H x 30-30" W	Full, Heavy
CS	193	<i>Ceanothus glaucus</i>	Blueberry	B&B	30-30" H x 30-30" W	Full, Heavy
CD	11	<i>Desmodium illinoense</i>	American Holly	B&B	1-4" H	Full, Heavy
IV	30	<i>Veronica spicata</i>	Winterberry	B&B	30-30" H x 30-30" W	Full, Heavy
VP	60	<i>Malva parviflora</i>	Hotchkin Hollyhock	B&B	30-30" H x 30-30" W	Full, Heavy
LD	51	<i>Lysichiton ciliatus</i>	Eastern Water Hyacinth	B&B	30-30" H x 30-30" W	Full, Heavy

SITE 2 PLANTING SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	PCOT	URL SIZE	COMMENTS
TREES						
AS	15	<i>Aspen Incubatus Green Mountain</i>	Green Mountain Sugar Maple	B&B	1.5-4" Cal.	Full, Branching @ clear
LT	16	<i>Liquidambar styraciflua</i>	Sweetgum	B&B	1.5-4" Cal.	Full, Branching @ clear
PO	8	<i>Platanus occidentalis</i>	American Sycamore	B&B	1.5-4" Cal.	Full, Branching @ clear
LA	19	<i>Liriodendron tulipifera</i>	Flowering Dogwood	B&B	1.5-4" Cal.	Full, Branching @ clear
SHRUBS						
CA	57	<i>Chaenactis glabra</i>	Summer Sweet	B&B	30-30" H x 30-30" W	Full, Heavy
CS	193	<i>Ceanothus glaucus</i>	Blueberry	B&B	30-30" H x 30-30" W	Full, Heavy
CD	11	<i>Desmodium illinoense</i>	American Holly	B&B	1-4" H	Full, Heavy
IV	44	<i>Veronica spicata</i>	Winterberry	B&B	30-30" H x 30-30" W	Full, Heavy
VP	30	<i>Malva parviflora</i>	Hotchkin Hollyhock	B&B	30-30" H x 30-30" W	Full, Heavy

DETENTION BASIN SEED MIX

Botanical Name	Common Name	Indicator
<i>Elymus riparius</i>	Riverbank Wild Rye	FACW
<i>Solidago serotina</i>	Little Bluestem	FACU
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Andropogon gerardii</i>	Big Bluestem	FAC
<i>Panicum virgatum</i>	Switch Grass	FAC
<i>Panicum urticoides</i>	New York Ironweed	FACW*
<i>Ageratum perfoliatum</i>	Upland Bluegrass	FACU
<i>Bidens frondosa</i>	Blackfoot	FACW
<i>Eragrostis canadensis</i> (Elymus canadensis)	Spotted Jon Pyn Ward	ORL
<i>Eragrostis perfoliatum</i>	Blackfoot	FACW
<i>Aster novae-angliae</i> (Sporobolus tenuis variegatus)	New England Aster	FACW
<i>Sorghum capillare</i>	Wood Grass	FACW
<i>Aster sp.</i>	Soft Rush	FACW*

NOTES:
DETENTION BASIN SEED MIX SHALL BE "NEW ENGLAND BROOK CONTROL RESTORATION MIX FOR DETENTION BASINS", SUPPLIED BY NEW ENGLAND WETLAND PLANTS, INC. SEED SHALL BE SPREAD AT 25LBS PER ACRE, ON A MINIMUM 12" DEPTH FREE DRAINING SOIL MIX.

PLANTING NOTES:

- THE CONTRACTOR SHALL PROVIDE A SOIL TEST RESULT FOR ALL PLANTING AND LAWN AREAS THAT MINIMALLY INDICATE PH, SOIL TYPE AND NUTRIENT LEVELS. THE CONTRACTOR SHALL AVOID SOILS AS REQUIRED TO PROVIDE APPROPRIATE CONDITIONS FOR THE PLANTS AND OR SEED INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM OF ONE REPRESENTATIVE SAMPLE OF EACH PLANT VARIETY WITH AN ATTACHED LABEL INDICATING THE NAME, SIZE, AND ORIGIN, OF ALL PLANT MATERIALS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIALS AT ANY POINT PRIOR TO INSTALLATION. ALL MATERIALS SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.3-2014 UNAVAILABLE AT AMERPHOT (2015)).
- THE LAYOUT OF ALL BED LINES AND LOCATION OF ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- ALL PLANT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS ON THE DRAWINGS.
- PLANTING BEDS SHALL BE MULCHED WITH A 3" (THREE INCH) MINIMUM OF SHREDDED AGED HARDWOOD BARK UNLESS OTHERWISE NOTED.
- ALL VEGETATION SHOWN ON THE DRAWINGS SHALL BE MAINTAINED IN A HEALTHY CONDITION THROUGHOUT THE DURATION OF THE PROJECT OR PROJECT PHASE.
- ALL PLANT MATERIAL SHALL BE COVERED BY A ONE-YEAR FULL REPLACEMENT WARRANTY THAT SHALL INCLUDE ALL MATERIALS AND LABOR. THE CONTRACTOR SHALL REPLACE PLANTS AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT.
- IF THERE IS A DIFFERENCE IN COUNT OR SIZE OF PLANT MATERIALS BETWEEN THE PLAN AND THE LIST THE HIGHER NUMBER AND OR SIZE SHALL PREVAIL.

SOIL CHART

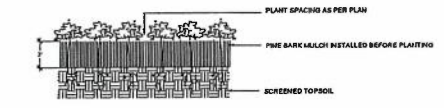
FIRST CONSTRUCTION SOIL CONDITION	TYPE OF PREPARATION
GOOD SOIL	LOOSEN EXISTING SOIL
COMPACTED SOIL	LOOSEN EXISTING SOIL, ADD COMPOSTED ORGANIC MATTER TO BRING ORGANIC CONTENT TO 5% DRY WEIGHT
CLAY CONTENT 5-35%	LOOSEN EXISTING SOIL, ADD ORGANIC MATTER TO BRING ORGANIC CONTENT TO 5% DRY WEIGHT
SANDY LOAM SOILS	ADD CLEAN COMPOSTED ORGANIC MATERIAL (20% MAX. BY VOLUME) TO THE EXISTING SOIL.
POOR QUALITY, HEAVY CLAY SOIL	REMOVE EXISTING SOIL, ADD LOAM TOPSOIL.

IRRIGATION NOTES:

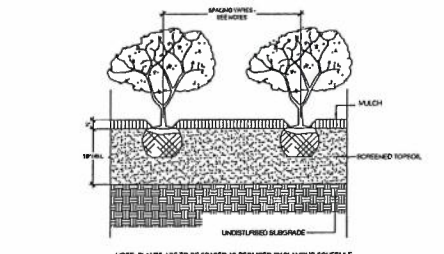
- A COMPLETE, FULLY FUNCTIONING IRRIGATION SYSTEM, PROVIDING COVERAGE FOR ALL NEW LAWN, PARKING ISLANDS AND PLANTING AREAS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL CERTIFIED TO WORK IN THE STATE OF MASSACHUSETTS. SYSTEM SHALL INCLUDE ALL MATERIALS AND COMPONENTS NECESSARY FOR THE OPERATION OF THE IRRIGATION SYSTEM INCLUDING BUT NOT LIMITED TO CONNECTIONS, WELLS, VALVES, SCHEDULING DEVICES, PIPES, ELECTRICAL AND COMPUTER COMPONENTS, AND ENTIRE WATER DELIVERY SYSTEM.



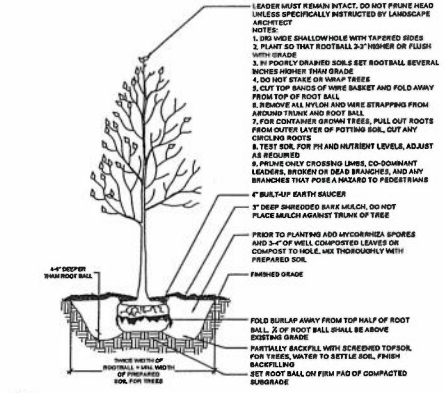
1 LAWN SCALE: NTS



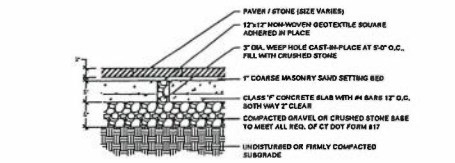
2 PERENNIAL PLANTING SCALE: NTS



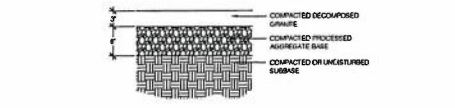
3 SHRUB PLANTING SCALE: NTS



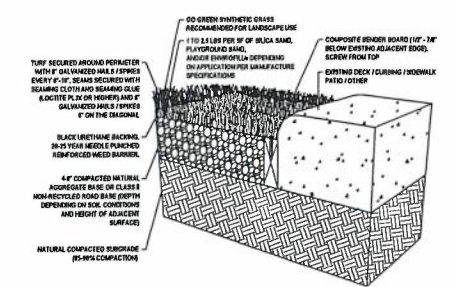
4 TREE PLANTING SCALE: NTS



5 STONE PAVING AT COURTYARD SCALE: NTS



6 DECOMPOSED GRANITE AT COURTYARD SCALE: NTS



7 SYNTHETIC TURF AT COURTYARD SCALE: NTS

erla
landscape architecture, llc
11 N. Main Street
Shrewsbury, MA 01545
www.erla.com



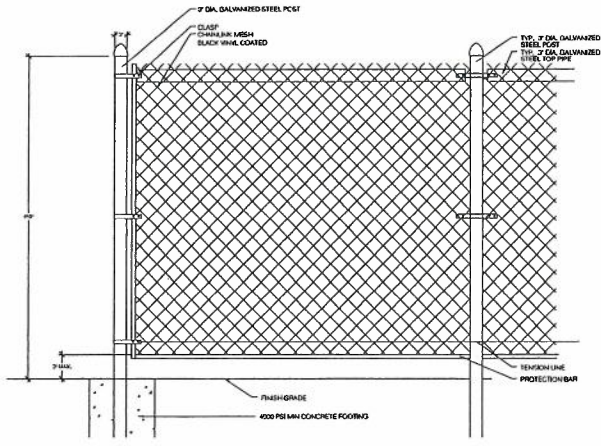
PREPARED FOR:
POST ROAD REALTY, LLC
11 Unionville Road
Farmington, Connecticut 06024

DATE	REVISION	BY	APPROVED

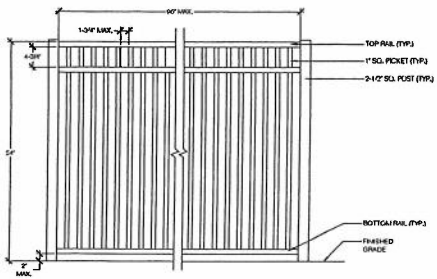
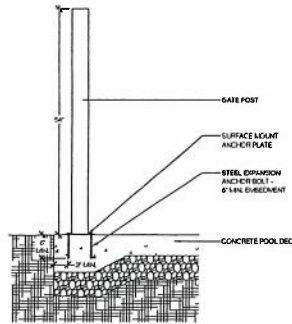
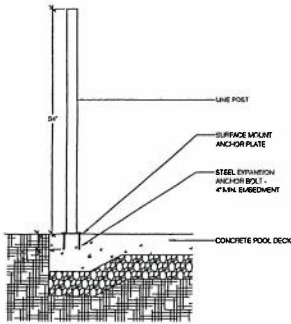
GREEN DISTRICT
107 SIMARANO DRIVE
MARLBOROUGH, MA

LANDSCAPE
DETAILS

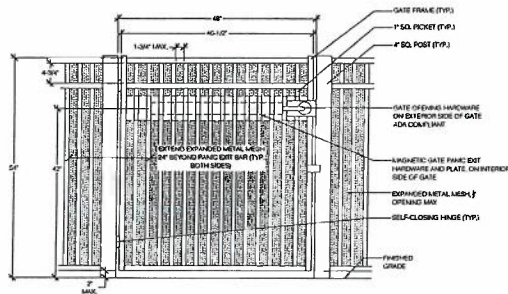
SPL-3.0



1 CHAINLINK FENCE AT DOG RUN SCALE: NTS



2 POOL ENCLOSURE FENCE SCALE: NTS



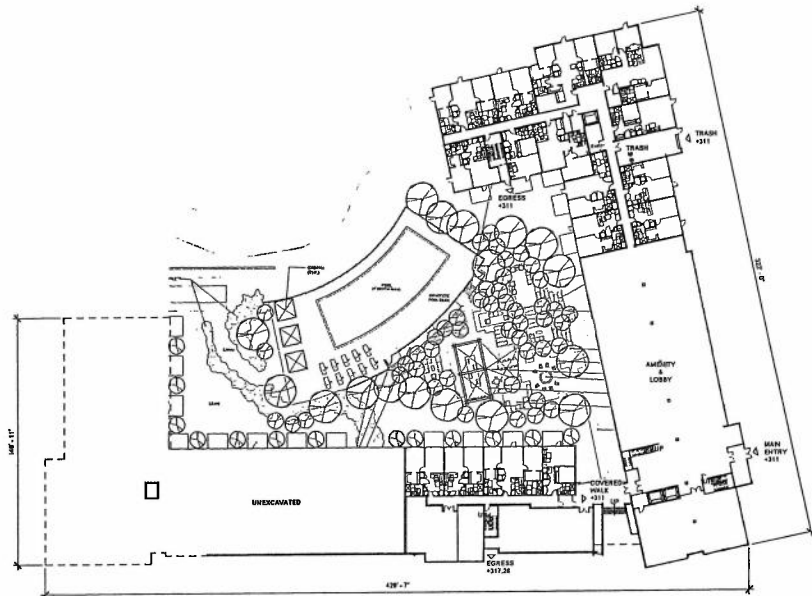
3 POOL ENCLOSURE GATE SCALE: NTS

REV	DATE	BY	CHKD	DESCRIPTION
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2				REVISION
3				REVISION
4				REVISION
5				REVISION
6				REVISION
7				REVISION
8				REVISION
9				REVISION
10				REVISION

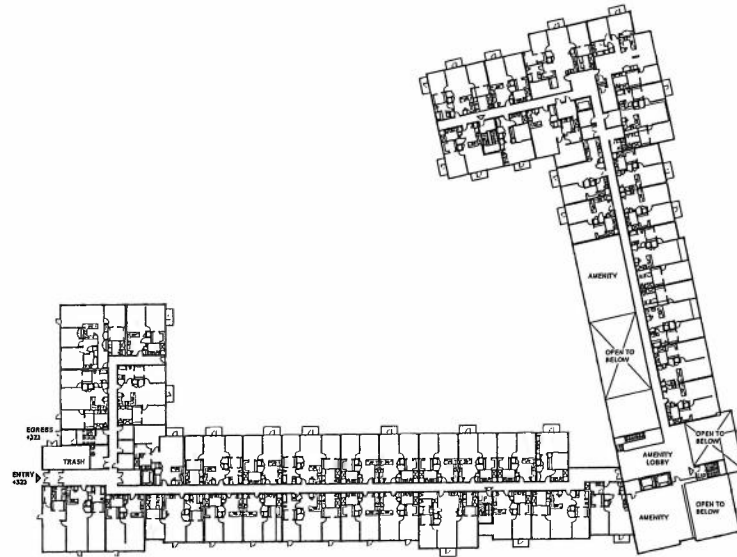
GREEN DISTRICT
 107 SIMARAND DRIVE
 MARLBOROUGH, MA

LANDSCAPE
 DETAILS

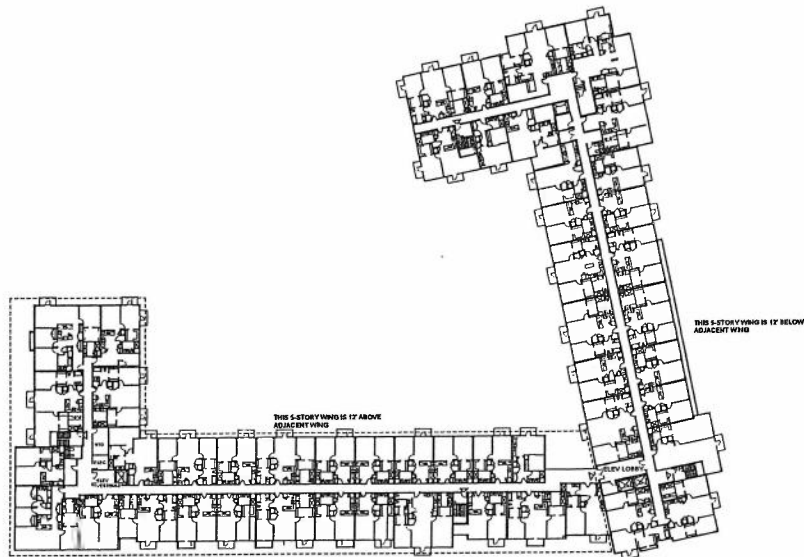
DATE: 2019.08.09



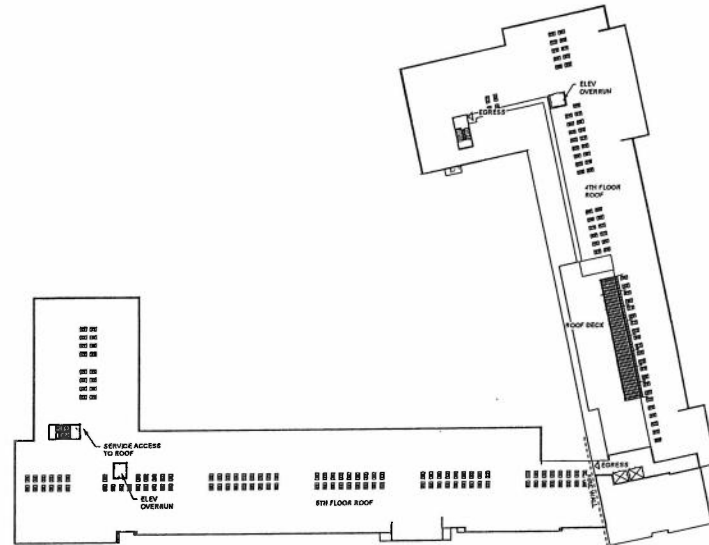
1 Ground Floor Plan



2 First Floor Plan



3 2nd, 3rd, 4th & 5th Floor Plans



4 Roof Plan

ARCHITECT
bh+a
 Bergmann Henschele + Architects, Inc.
 8 Chantal Center Street
 Boston, MA 02128
 617.554.4427 Fax

PROJECT NAME
Green District
 107 Elmwood Drive
 Methuen, MA 01842

CLIENT
Post Road Residential, LLC
 11 Elmwood Road, FairHaven CT
 06424

PROJECT TEAM

REVISIONS
 1 11/12/2019 Revision 1

DRAWING TITLE
Site 1 Floor Plans

DRAWING INFORMATION

DATE: 11/12/19
 BY: JH
 CHECKED: JH
 SCALE: AS SHOWN
 PROJECT: 107 Elmwood Drive
 DRAWING NUMBER

DRAWING NUMBER

A100

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Street Elevation

Side Elevation



Floor Plan

SOLAR GARAGES
NOT TO SCALE



1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"

ARCHITECT
bh'a
Burgess Harshman + Architects, Inc.
85 Church Center, Street
Boston, MA 022 10
617 556 9500 Fax

PROJECT NAME
Green District
187 Commerce Drive
Methuen, MA, 01752

CLIENT
Post Road Residential, LLC
11 Higgins Road, Parkville CT
06321

PROJECT TEAM

PROGRESS PRINT

REVISIONS
1 11/12/2019 Revision 1

DRAWING TITLE
Site 1 Elevations

DRAWING INFORMATION

August 01, 2018
Date of Issue
Schematic Plans and Site Plan Approval
REVISIONS
1/8" = 1'-0" Scale
DATE: 11/12/2019
PROJECT: 187 Commerce Drive
11 Higgins Road, Parkville CT
06321

DRAWING NUMBER

A101

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Cloud Revit 2016, AutoCAD 2016, Revit 2016
11/11/2019 11:23:35 PM Revit



View From Parking Lot



View From Gilmarano Drive With Solar Garages



Southwest From Entry Road



Southeast From Entry Road

ARCHITECT
bh+a
 Bingham Hopkins + Associates, Inc.
 9 Central Center Street
 Boston, MA 02108
 617.352.0430 Fax

PROJECT NAME
Green District
 107 Broadway Drive
 Marlborough, MA 01752

CLIENT
Post Road Residential, LLC
 11 Hopwood Road, Falmouth, CT 06424

PROJECT TEAM

REVISIONS
 1 1/17/2019 Revision 1

DRAWING TITLE
Site 1 Renderings

DRAWING INFORMATION

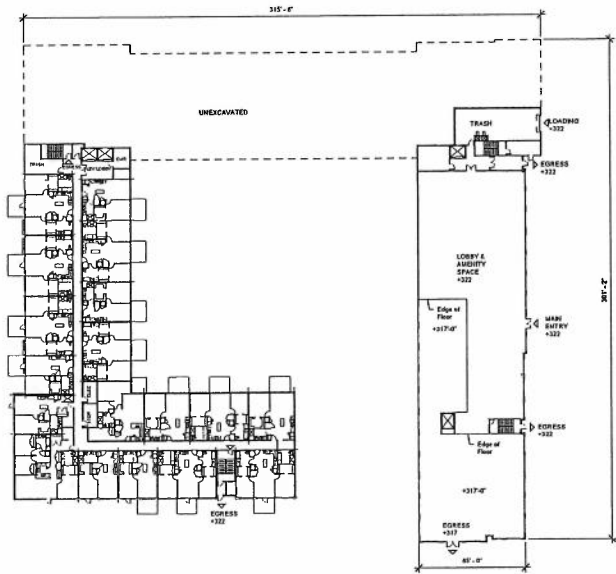
Project No. 2019-001
 Date of Issue: 1/17/2019
 Revised Project Name: Site 1 Plan Approval
 4/15/2019
 Scale: 1/8" = 1'-0"
 1/8" = 1'-0"
 1/8" = 1'-0"

DRAWING NUMBER

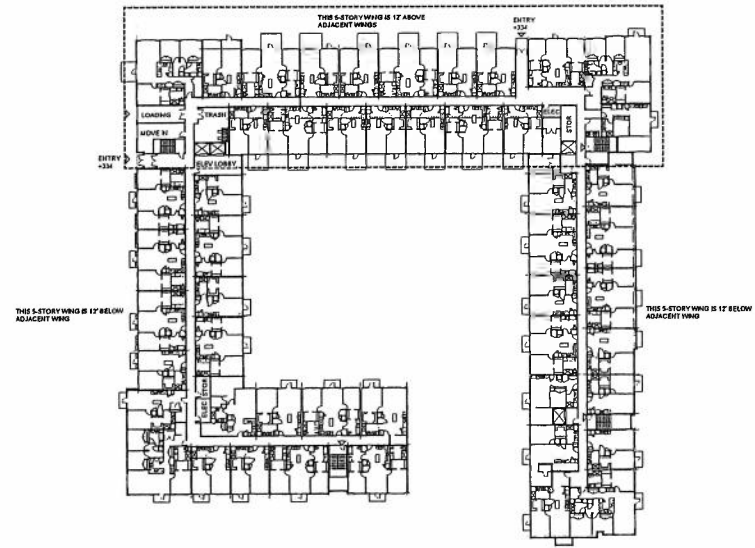
A102

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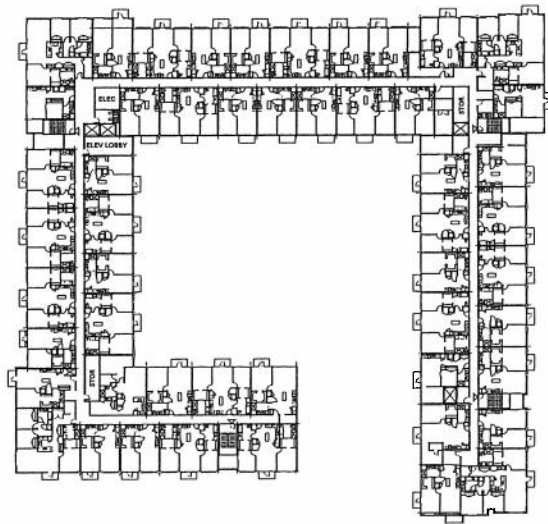
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 1/17/2019 10:24 AM bh+a



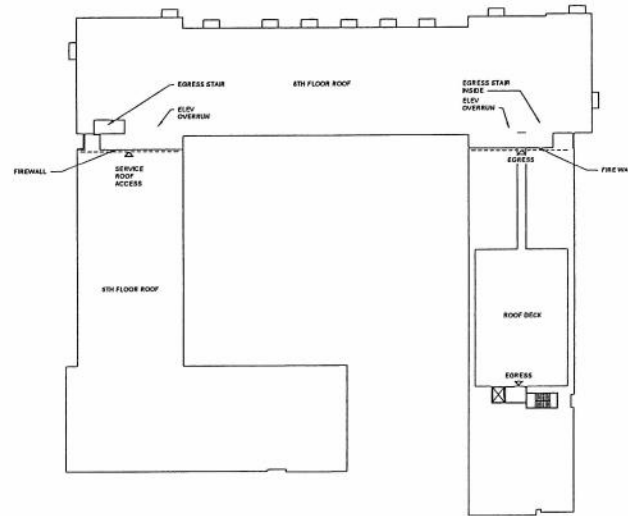
1 First Floor Plan



2 Second Floor Plan



3 3rd, 4th, 5th Floor Plans



4 Roof Plan



REVISIONS

1	
2	
3	
4	

DRAWING TITLE
Site 2 Floor Plans

DRAWING INFORMATION

August 2014
 02/17/14
 Final Plans and Site Plan Approval
 02/17/14
 1" = 3/16" SHAL
 02/17/14
 02/17/14
 02/17/14

DRAWING NUMBER
A200



1 NORTH ELEVATION



2 EAST ELEVATION



3 SOUTH ELEVATION



4 WEST ELEVATION

ARCHITECT
bh'a
 Progress HandPlan + Architects, Inc.
 87 Canal Center Street
 Dover, MA 02033
 517-266-0939 fax

PROJECT NAME
Green District
 197 Silsboro Drive
 Waterbury, MA 01725

CLIENT
Post Road Residential, LLC
 11 Uxman Pond, Fairfield, CT 06424

PROJECT TEAM

PROGRESS
 PRINT

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

DRAWING TITLE

Site 2
 Elevations

DRAWING INFORMATION

ISSUED FOR
 04/20/2017
 SPECIAL PERMITS AND OTHER PLAN APPROVALS
 TO OBTAIN:
 STATE OF MA
 306 M
 33300/04/08/000
 04/20/2017

DRAWING NUMBER

A201

Copyright BH'A, Inc.



Entry View From Southwest Corner



Southeast Corner From Access Road

ARCHITECT
bh+a
 Raymond Handley + Architects, Inc.
 5 Chapel Street, Second
 Floor, MA 02110
 617.267.4100 Fax

PROJECT NAME
Green District
 107 Shuman Drive
 Middletown, MA, 01702

CLIENT
**Post Road
 Residential, LLC**
 11 Chapman Road, Fairfield, CT
 06424

PROJECT TEAM

REVISIONS
 1 11/22/16 Revision 1

DRAWING TITLE
**Site 2
 Renderings**

DRAWING INFORMATION

Approved: 11/16/16
 GHG/STW
 Revised Plans and Site Plan Approval
 11/16/16

SCALE: 1/8"=1'-0"
 PROJECT: 107 Shuman Drive

DRAWING NUMBER
A202

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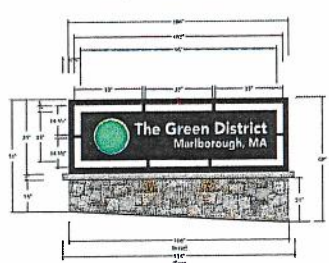
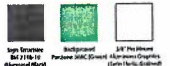
SIGN SPECIFICATIONS

DESCRIPTION
 Monument Sign with Internal Illumination

FINISHES
 Anodized Aluminum

CONSTRUCTION
 See Callouts

INSTALLATION
 See Notes and Details

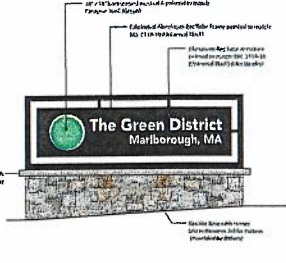


ELEVATION: SIDE A
 SCALE: 1/2"=1'-0"

NOTE: All sign elements are illuminated with concealed LED lighting.

NOTE: All text is in Helvetica font.

NOTE: All materials are to be finished with a clear protective coating.



ELEVATION: SIDE B
 SCALE: 1/2"=1'-0"

Monument Sign at Entrance Drive

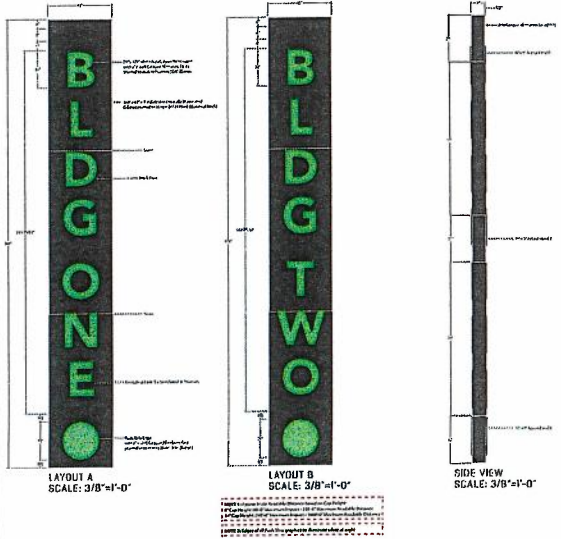
SIGN SPECIFICATIONS

DESCRIPTION
 Blade Sign with Internal Illumination

FINISHES
 Anodized Aluminum

CONSTRUCTION
 See Callouts

INSTALLATION
 See Notes and Details



LAYOUT A
 SCALE: 3/8"=1'-0"

LAYOUT B
 SCALE: 3/8"=1'-0"

SIDE VIEW
 SCALE: 3/8"=1'-0"

Building-Mounted 'Blade Sign'

ARCHITECT
bhfa
 Design Studio + Architects, Inc.
 100 State Street
 Boston, MA 02109
 617-267-8400 Fax

PROJECT NAME
Green District
 107 Entrance Drive
 Marlborough, MA 01752

CLIENT
Post Road Residential, LLC
 11 Entrance Road, Farmdale, CT 06024

PROJECT TEAM
POBLOCKI
 CONSULTANTS
 100 State Street, Suite 200
 Boston, MA 02109
 617-267-8400 Fax

REVISIONS

DRAWING TITLE
Building and Site Signage

DRAWING INFORMATION

August 20, 2018
 02/18/18
 Special Permit and Sign Permit Approval
 APPROVED: [Signature]
 DATE: 8/20/18
 SCALE: 3/8"=1'-0"
 PROJECT: [Project Name]

DRAWING NUMBER
A300