



IN CITY COUNCIL

Marlborough, Mass., DECEMBER 2, 2019

ORDERED:

PAGE 1

IN CITY COUNCIL

DECISION ON A SPECIAL PERMIT ONE ENERGY, INC.

CITY OF MARLBOROUGH CITY COUNCIL ORDER NO. 19-1007780B

DECISION ON AN APPLIATION FOR SPECIAL PERMIT

The City Council of the City of Marlborough hereby **GRANTS** the Application for a Special Permit to One Energy, Inc. (the "Applicant") to alter a preexisting nonconforming gas station use at 121 Bolton Street to a gas station, convenience store, and restaurant/café use, as provided in this Decision and subject to the following Findings of Fact and Conditions.

FINDINGS OF FACT

1. The Applicant, One Energy, Inc., is a Massachusetts corporation with an address of 420 Lakeside Avenue, Marlborough, MA 01752.
2. The Applicant is the prospective owner of the property located at 121 Bolton Street, Marlborough, Massachusetts, being shown as Parcel 289 on Assessors Map 57 (the "Site").
3. In accordance with Article V, Section 650-12.B, of the Zoning Ordinance of the City of Marlborough (the "Zoning Ordinance"), the Applicant proposes to alter a preexisting nonconforming gas station use at 121 Bolton Street to a gas station, convenience store, and restaurant/café (the "Use"). As shown on the Site Plan referenced in paragraph 5 below, the Use consists of five gas station pumps under a canopy, a building containing a convenience store and restaurant/café use, 24 parking spaces, and landscaped areas.
4. The Applicant, by and through its counsel, filed with City Clerk of the City of Marlborough an Application for a Special Permit ("Application") for the Use.
5. In connection with the Application, the Applicant submitted a certified list of abutters, filing fees, and a detailed site plan entitled "Zoom Mart Special Permit Site Plan" by Ayoub Engineering, comprised of Sheets 0, 1, C-1, C-2, C-3, L-1, ER-1, TD-1, SG-1, SE-1, SD-1, SD-2, SD-2, SD-4, A1.0, A2.0, and A2.1, with the last revision date of November 8, 2019 (the "Site Plan"), attached hereto as **"Attachment A."**



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6. The Application was certified by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, as having complied with Rule 4, items (a) through (m), of the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.
7. The Site is located in the Residence B Zoning District.
8. The Site has an area of 30,928 square feet +/- as shown on the Site Plan.
9. The Site's current gas station use is preexisting nonconforming, commencing prior to the adoption of the Marlborough Zoning Ordinance in 1956.
10. The Site is preexisting nonconforming with respect to lot coverage, having total impervious areas of 73.5% (the RB District has a maximum lot coverage of 30%). The Site Plan shows that the lot coverage associated with the Use would be 70.3%.
11. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.
12. The Marlborough City Council, pursuant to Massachusetts General Laws Chapter 40A, opened a public hearing on the Application on Monday, October 21, 2019. The hearing was closed on that date.
13. The Applicant, through its representatives, presented testimony at the public hearing detailing the Use, describing its impact upon municipal services, the neighborhood, and traffic.
14. At the public hearing, three members of the public spoke in favor of the Use, one member of the public submitted a letter in favor of the Use, and no members of the public spoke in opposition to the Use.
15. The Applicant provided a certificate of insurance demonstrating liability insurance to cover potential claims from neighboring property owners with respect to the underground fuel storage tanks at the Site.

**BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING
FINDINGS AND TAKES THE FOLLOWING ACTIONS**



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ORDERED:

- A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.
- B. The City Council finds that the alteration of the Site from a gas station to the proposed Use would not be substantially more detrimental to the neighborhood than the existing nonconforming use.
- C. The City Council finds that the preexisting nonconforming gas station use has not been abandoned for a period of two years or more.
- D. The City Council finds that the proposed Use is not enlarged to more than 25% of the floor and ground area of the preexisting nonconforming gas station use at the Site.
- E. The City Council finds that the proposed Use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.
- F. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby **GRANTS** the Applicant a Special Permit to alter the preexisting nonconforming gas station use at 121 Bolton Street to a gas station, convenience store, and restaurant/café as shown on the Site Plan filed, **SUBJECT TO THE FOLLOWING CONDITIONS**, which conditions shall be binding on the Applicant, its successors and/or assigns:
 1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts and shall be built according to the Site Plan as may be amended during Site Plan Review.
 2. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review by the Site Plan Review Committee in accordance with the City of Marlborough Site Plan Review Ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications or amendments, as required during the process of Site Plan Review, shall be further conditions attached to the building permit, and no occupancy permit shall be issued until the Applicant has complied with all conditions. Subsequent Site Plan Review shall be consistent with the conditions of this Special Permit and the Site Plan submitted, reviewed and approved by the City Council as the Special Permit Granting Authority.



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3. Modification of Plans. Notwithstanding conditions #1 and #2 above, the City Council or the Site Plan Review Committee may make engineering changes to the Plans, so long as said changes do not change the Use as approved herein, or materially increase the impervious area of the Use, reduce the green area, alter traffic flow, or increase the size of the building, all as shown on the Site Plan.
4. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.
5. Storm Water and Erosion Control Management. The Applicant, its successors and/or assigns, shall ensure that its site superintendent during construction of the project is competent in stormwater and erosion control management. This individual(s)' credentials shall be acceptable to the Engineering Division of the City's Department of Public Works and the City's Conservation Commission. This individual(s) shall be responsible for checking the Site before, during, and after storm events including weekends and evenings when storms are predicted. This individual(s) shall ensure that no untreated stormwater leaves the Site consistent with the State's and the City's stormwater regulations. This individual(s) shall ensure compliance with the approved sequence of construction plan and the approved erosion control plan. The Applicant, its successors and/or assigns, shall grant this individual(s) complete authority of the Site as it relates to stormwater and erosion controls.
6. Lighting. Exterior lighting at the Site shall be downward facing and shielded to minimize impacts on neighboring properties, with a lighting plan for the Site to be reviewed and further conditioned during the Site Plan Review process. Exterior lighting at the Site shall be shut off outside of business hours of operation of the Use, except for lighting necessary for security and emergency access.
7. Hours of Operation. The hours of operation of the Use shall not exceed 6:00 AM to 10:00 PM.
8. Seating. The Use may not include any tables with seating for customers.



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ORDERED:

9. Trash Area. No trash pickup shall occur on Sundays. On Monday through Saturday, no trash pickup shall occur before 7:00 AM or after 6:00 PM. The trash area shall be locked outside of business hours. The Applicant shall address the screening of the Site's trash area during the Site Plan Review process, provided that the trash area shall be concealed with concrete, cement, brick, or similar materials and landscaped to screen the trash area from neighboring properties.
10. Signs. The Site shall not contain more than one free-standing sign, substantially as shown on the Site Plan. This limitation shall not apply to on-premises directional and traffic safety signs. The Site's main free-standing sign and any other sign shall not be illuminated outside of business hours of operation of the Use.
11. Fencing. Prior to receiving a certificate of occupancy for the Use, the Applicant shall replace the perimeter fencing at the Site, substantially as shown on the Site Plan, and thereafter shall maintain the fencing in good repair. The perimeter fencing shall be six-foot white vinyl with decorative lattice along the top and shall comply with the requirements of all applicable City Ordinances.
12. Food Sales. The Use may include the sale of prepackaged food items, fresh food, and food prepared on site, provided that any food preparation area used by employees shall not contain large ovens or occupy more than 10% of the building's floor area. The Use shall not include a food delivery service.
13. No Outdoor Sales. With the exception of fuel, no items for sale shall be located or displayed outside the building.
14. No Vehicle Sales or Service. There shall be no vehicle sales or vehicle repairs at the Site.
15. Diesel Fuel Sales. Diesel fuel sales at the Site shall be limited to cars, light-duty trucks, lawn care equipment, and portable fuel containers. There shall be no high-speed diesel fuel dispensers at the Site capable of fueling large trucks.
16. Exterior Audio. The Site shall not use exterior audio speakers except as may be required for security, emergencies, handicapped accessibility, or to comply with State or City legal requirements.



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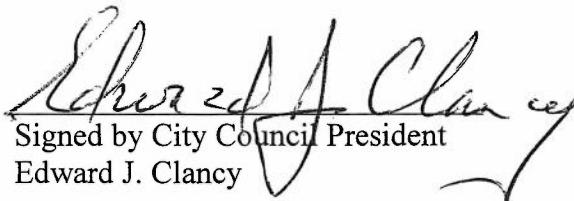
ORDERED:

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17. Liability Insurance for Fuel Storage Tanks. The Applicant shall at all times maintain liability insurance in an amount not less than \$5,000,000 to cover potential claims from neighboring property owners with respect to the underground fuel storage tanks located at the Site. Upon request of the City, the Applicant shall provide evidence of such insurance.
18. DEP Site Closure. Prior to receiving a certificate of occupancy for the Use, the Applicant shall provide the City with a copy of the Permanent Solution Statement submitted to the Department of Environmental Protection by the Site's licensed site professional. The Applicant shall comply with all orders of the Department of Environmental protection with respect to the Site.
19. Curb Cuts. The Site shall have three (3) curb cuts, with two (2) along Bolton Street and one (1) along State Street. The Applicant shall address the final design of the Site's curb cuts during the Site Plan Review process.
20. Recording of Decision. In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council's office, the Building Department, and the City Solicitor's office.

Yea: 11 – Nay: 0

Yea: Delano, Doucette, Dumais, Tunnera, Irish, Clancy, Landers, Juairé, Oram, Ossing & Robey.


Signed by City Council President
Edward J. Clancy

ADOPTED
In City Council
19-1007780B

ATTACHMENT

A

ZOOM MART

SITE IMPROVEMENT PLANS

121 BOLTON STREET
MARLBOROUGH, MA

PREPARED FOR:

ONE ENERGY, INC

420 LAKESIDE AVENUE
MARLBOROUGH, MA 01752

ASSESSORS MAP 57, PARCEL 289

PROSPECTIVE OWNER: ONE ENERGY, INC
420 LAKESIDE AVENUE, MARLBOROUGH, MA

PREPARED BY: AYOUB ENGINEERING, INC
414 BENEFIT ST. PAWTUCKET, RI

CIVIL ENGINEER: PAUL A. SYLVIA, PE

ARCHITECT: STEVE M. PEDRO, LEED AP

LANDSCAPE ARCHITECT: RICHARD DEFUSCO, RLA, LEED AP



LOCUS MAP

ZONING		
RESIDENCE B (RM)		
ASSESSOR'S MAP 57, PARCEL 289		
LOAD USE: GASOLINE FILLING STATION METAL STORE		
RETRACTED: FRONT	RETRACTED: 20'	PROPOSED: 20' (MART-STATE ST) 23.6' (GARAGE-BOLTON ST)
SIDE	15'	15.1' (MART BUILDING)
MIN. LOT AREA	8,000 S.F.	30,828 S.F.
MIN. FRONTAGE	100'	387.5'
MAX. LOT COVERAGE	50%	70.5%
BUILDING HEIGHT	2 1/2 STORIES	1 STORY
PARKING: 5' X 15'		
1,700 PUBLIC FLOOR SPACE		
2,400 S.F. OF PUBLIC FLOOR SPACE		
2,400 S.F./100 = 24		
TOTAL REQUIRED =	24 SPACES	24 SPACES
HANDICAP PARKING =	1 SPACE	1 SPACE
FRONT PARKING YARD SETBACK	15'	15.3'
SIDE PARKING YARD SETBACK	5'	10.5'
LANDSCAPING: SHRUBS/ LINEAR FT OR SOFT OF OPENING AREA	112	125
TREE/ 40 LINEAR FT	13	42
INFORMATION OBTAINED FROM CITY OF MARLBOROUGH ZONING ORDINANCE		

ARCHITECTURAL & CIVIL PREPARED BY:

AYOUB

ENGINEERING

ENGINEERS & ARCHITECTS

414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

INDEX OF DRAWINGS

SHEET	TITLE	DATE	REVISED
0	COVER	06/27/19	08/14/19
CIVIL			
1	BOUNDARY & TOPOGRAPHIC SURVEY	12/05/18	12/05/18
C-1	SITE IMPROVEMENT PLAN	06/27/19	11/06/19
C-2	SITE GRADING PLAN	06/27/19	11/06/19
C-3	SITE UTILITY PLAN	06/27/19	11/06/19
L-1	SITE LANDSCAPE PLAN	06/27/19	11/06/19
ER-1	SOIL EROSION & SEDIMENT CONTROL PLAN	06/27/19	11/06/19
TD-1	TRUCK DELIVERY PATH	06/27/19	11/06/19
SG-1	PROPOSED SIGNAGE PLAN	06/27/19	11/06/19
SE-1	SITE ELEVATION	06/27/19	-
SD-1	SITE DETAIL SHEET	09/17/19	-
SD-2	SITE DETAIL SHEET	09/17/19	-
SD-3	SITE DETAIL SHEET	09/17/19	-
SD-4	SITE DETAIL SHEET	09/17/19	-
ARCHITECTURAL			
A1.0	FLOOR PLAN & WALL TYPES	11/08/19	-
A2.0	EXTERIOR ELEVATIONS	11/08/19	-
A2.1	EXTERIOR ELEVATIONS	11/08/19	-

SITE PLAN REVIEW COMMITTEE	
REVIEW COMMITTEE SIGNATURE BLOCK	
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____

ZOOM MART

SITE IMPROVEMENT PLANS

121 BOLTON STREET
MARLBOROUGH, MA

PREPARED FOR:

ONE ENERGY, INC

420 LAKESIDE AVENUE
MARLBOROUGH, MA 01752

PREPARED BY:

AYOUB

ENGINEERING

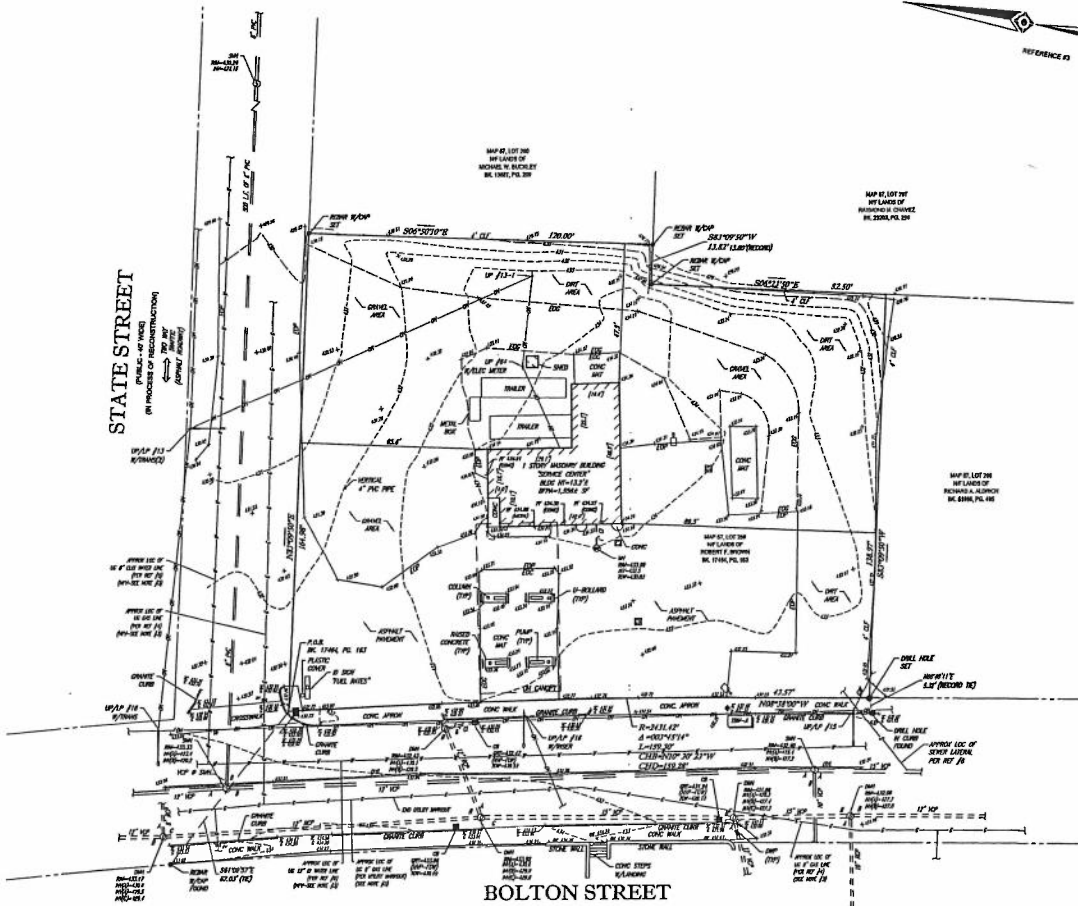
ENGINEERS & ARCHITECTS

414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

PROJECT NO. 0873.116
DATE: 06/27/19

REV.	DATE
1	09/16/19
2	10/17/19
3	11/06/19

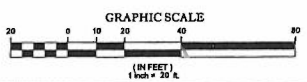
- LEGEND**
- EXISTING CENTER
 - EXISTING SPOT ELEVATION
 - X 101.01 EXISTING TOP OF CURB ELEVATION
 - X 101.02 EXISTING GUTTER ELEVATION
 - X 101.03 EXISTING TOP OF WALL ELEVATION
 - X 101.04 EXISTING BOTTOM OF WALL ELEVATION
 - X 101.05 EXISTING FINISHED FLOOR ELEVATION
 - W WATER VALVE
 - D GAS VALVE
 - EL ELEC. METER
 - OVERHEAD WIRES
 - APPROX. LOC. UNDERGROUND GAS LINE
 - APPROX. LOC. UNDERGROUND WATER LINE
 - APPROX. LOC. UNDERGROUND BEVER LINE
 - PER RECORD INFORMATION - NOT FIELD VERIFIED
 - UTILITY POLE
 - UTILITY POLE/SPLIT POLE
 - CITY WIRE
 - MONITORED WELL ON CONCRETE
 - AREA LIGHT
 - U-BOLLARD
 - URBAN/ESTABLISH MARKER
 - BAHART/BEVER MARKER
 - MANHOLE TYPE UNKNOWN
 - CATCH BASIN OR INLET
 - DETECTABLE MARKING PAD
 - SOLID WHITE LINE
 - SOLID YELLOW LINE
 - DOUBLE YELLOW LINE
 - NO HEIGHT
 - BD BUILDING
 - BPV BUILDING FOOTPRINT AREA
 - HP NO THIRDS PIPE
 - HPV NOT FIELD VERIFIED
 - HW TOP OF WATER
 - HWL FULL OF WATER
 - E ELEVATION
 - CI CAST IRON PIPE
 - DCI DUCTILE IRON PIPE
 - DCI COMBINED DUCTILE IRON PIPE
 - VCV VITRIFIED CLAY PIPE
 - RCV REINFORCED CONCRETE PIPE
 - HEV HEIGHT ELEVATION
 - GEV GRAVE ELEVATION
 - DLV DRAIN LINK FENCE
 - DC DEPRESSION CURB
 - EC EDGE OF CONCRETE
 - EPV EDGE OF PAVEMENT
 - EDV EDGE OF DRIVE
 - LSI LANDSCAPED AREA
 - TPV TYPICAL



- NOTES:**
- PROPERTY SHOWN AS LOT 268 AS SHOWN ON THE CITY OF MARLBOROUGH, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS TAX MAP NO. 67.
 - AREA = 30,281 SQUARE FEET OR 0.70 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARKINGS, SINKS, DRINKING STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE DATA AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY SHOOT-OUT DOES NOT GUARANTEE THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES, CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED BY THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IN SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-B (MODERATE AREAS) DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER REF. #2
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 DATUM, BASED ON GPS OBSERVATIONS UTILIZING THE STATEWIDE GPS NETWORK DATUMS.
 - TEMPORARY BENCH MARKS SET:
TBM-1: 3" DIA. GALV. SET OF CONCRETE APPROX ON EASTLY SIDE OF BOLTON STREET.
ELEVATION = 62.45'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SHEET HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CORRECTIONS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - THE GRANTING OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.
 - STATE STREET IS CURRENTLY IN THE PROCESS OF RECONSTRUCTION FOR DETAILS CONTACT CITY OF MARLBOROUGH ENGINEERING OFFICE AT 306-48-0910 EXT 2306.

- REFERENCES:**
- THE TAX ASSESSOR'S MAP OF MARLBOROUGH, MIDDLESEX COUNTY, SHEET #67.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS (FLOOD INSURANCE PANELS, AS OF DATE: MAP NUMBER 2002-02-04-01, REVISED: 04-17, 2014).
 - MAP ENTITLED "PLAN OF LAND, BOLTON & STATE STREETS, MARLBOROUGH, MASS., PREPARED FOR ALLIANCE ENERGY CORPORATION, PREPARED BY GILBERT & MALONEY ENGINEERS & LAND SURVEYORS, DATED JANUARY 21, 2008, (RECORDED WITH THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN #4, 114 OF 2008).
 - UNDERGROUND GAS FACILITY APPROVAL PROVIDED BY NETA.
 - MAP ENTITLED "PLAN OF A PORTION OF BOLTON STREET, MARLBOROUGH, AS ORDERED BY THE COUNTY COMMISSIONERS, PREPARED BY THE MIDDLESEX COUNTY ENGINEERS, DATED JUNE 1960, SHEETS 1 THROUGH 8 OF 8.
 - CITY OF MARLBOROUGH O.L.E. ONLINE RESOURCE.
 - MAP #126 SHOWN BOLTON STREET UNDERGROUND SANITARY SEWER INSTALLATION, DATED 1987, AVAILABLE AT THE CITY OF MARLBOROUGH O.L.E. RESOURCE.
 - MAP #127 SHOWN BOLTON STREET UNDERGROUND SANITARY SEWER INSTALLATION, LAST REVISED SEPTEMBER 1992, AVAILABLE AT THE CITY OF MARLBOROUGH O.L.E. RESOURCE.
 - MAP SHOWN UNDERGROUND STORM SEWER FACILITIES AVAILABLE AT THE CITY OF MARLBOROUGH O.L.E. ONLINE RESOURCE.
 - MAP ENTITLED "RECONSTRUCTION OF VARIOUS STREETS AND APARTMENT WORK, STATE STREET CONSTRUCTION PLAN," SHEET #4, DATED MARCH 20, 2016, LAST REVISED APRIL 17, 2016, PROVIDED BY THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS.

BOLTON STREET
(PUBLIC - 50' WIDE)
(1840 COUNTY LAYOUT)
← NO REF. MARKS (CONV. ADJUST.)



UTILITIES

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-800-485-5822) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND REPORTING THE SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THE REQUEST.

SEPAR. NUMBER: 2016-00088

UTILITY COMPANY

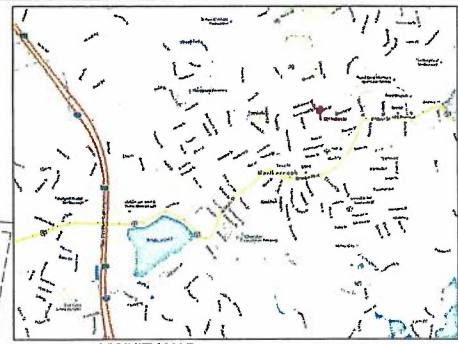
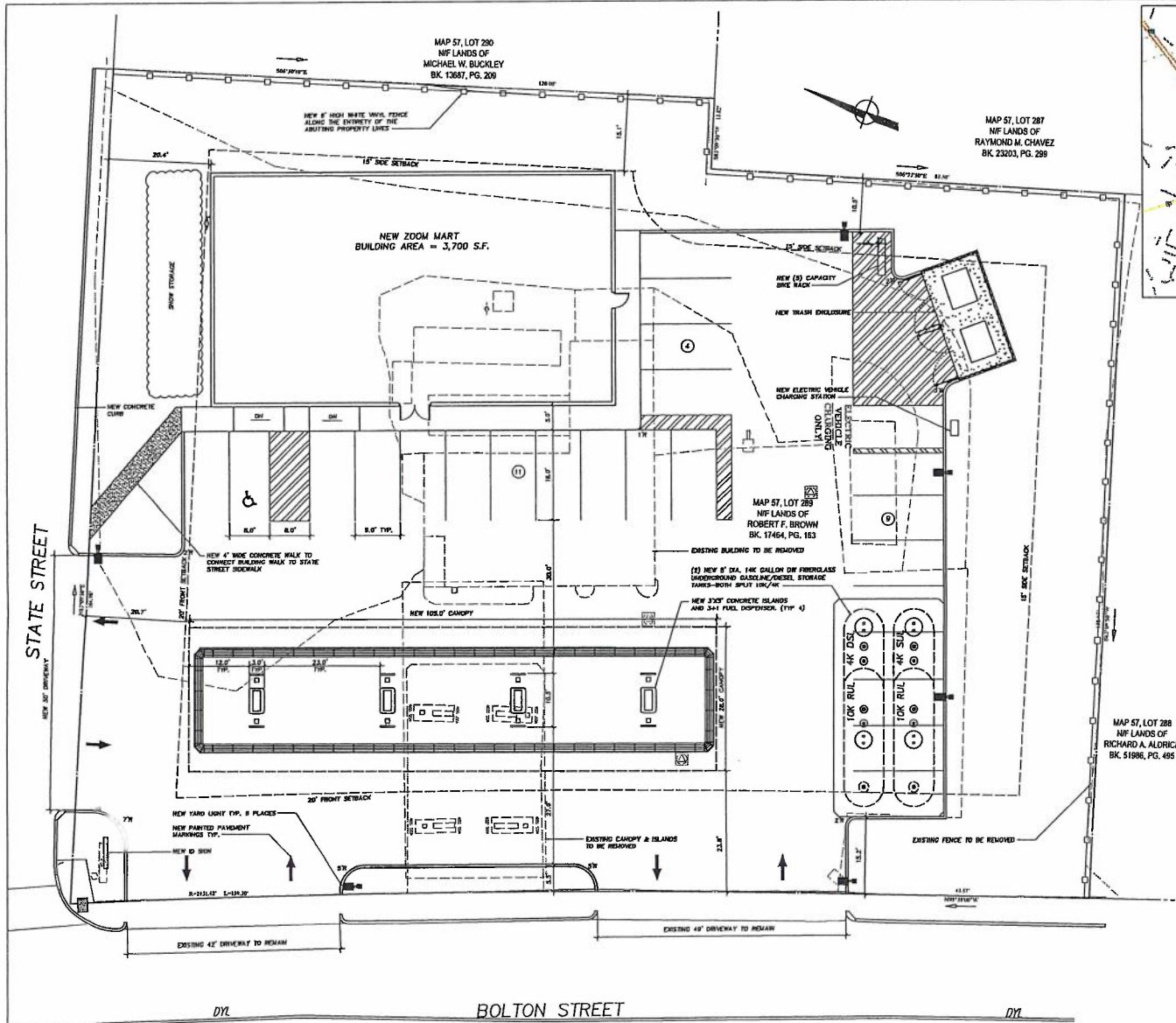
VENTURON	PHONE NUMBER
NETAN GAS	800-222-2004
NATIONAL GRID ELECTRIC/AMER ELECTRIC	800-922-2000
CITY OF MARLBOROUGH ENGINEERS (DMA)	800-323-3233

800-844-8183/33306



THE COMMONWEALTH OF MASSACHUSETTS REGISTRY OF DEEDS
1000 COMMERCIAL STREET, SUITE 200, BOSTON, MA 02110
WWW.STATE.GOV/REGISTRY

THIS SURVEY HAS BEEN PERFORMED BY THE FIELD UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THE SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS. NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.	FIELD DATE 11-20-18 FIELD NUMBER 18-17 FIELD BOOK NO. 66	BOUNDARY & TOPOGRAPHIC SURVEY ONE ENERGY, INC. 121 BOLTON STREET MAP 67, LOT 269 CITY OF MARLBOROUGH, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS
	DATE 12-05-18	
GERRY L. HOLDRIGHT, P.L.S. MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #46511	APPROVED S.P.P.	DATE 12-05-18 SCALE 1"=20' FILE NO. 03-180363 DWG. NO. 1 OF 1



ZONING	
RESPONSE # (R#)	
ADDRESS: MAP 57, PARCEL 289	
LAIR USE: GASOLINE FILLING STATION METAL STORAGE	
SETBACKS:	REQUIREMENT PROPOSED:
FRONT: 20'	30.4' (MART-STATE ST) 15.1' (CANOPY-BOLTON ST)
SIDE: 15'	15.1' (MART BUILDING)
MAX LOT AREA: 8,000 S.F.	36,928 S.F.
MAX FRONTAGE: 100'	368.8'
MAX LOT COVERAGE: NONE	76.3%
BUILDING HEIGHT: 2 1/2 STORIES	1 STORY
PARKING: 7 @ 18'	
1/100 PUBLIC FLOOR SPACE: 2,400 S.F. OF PUBLIC FLOOR SPACE	
TOTAL REQUIRED: 24 SPACES	24 SPACES
HANDICAP PARKING: 1 SPACE	1 SPACE
FRONT PARKING YARD SETBACK: 15'	15.1'
SIDE PARKING YARD SETBACK: 5'	16.5'
LANDSCAPING:	
SHRUBS LINEAR FT OF 35% OF GROUND AREA	112
TREES / 40 LINEAR FT	13
INFORMATION OBTAINED FROM CITY OF MARLBOROUGH ZONING DEPARTMENT	

- GENERAL NOTES
1. THE CONTRACTOR SHALL BE PROPERLY LICENSED AND BONDED WITH THE CITY OF MARLBOROUGH PRIOR TO CONSTRUCTION.
 2. ANY WORK DISCOVERED (AS DETERMINED BY THE CITY ENGINEER) TO BE IN VIOLATION OF THE CITY ORDINANCES SHALL BE STOPPED IMMEDIATELY AND THE CITY ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
 3. ANY NEW AND EXISTING WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
 4. ALL HANDICAP PARKING, RAMP, AND ACCESS SHALL CONFORM TO ADA & ACP REQUIREMENTS.
 5. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS AS SET FORTH IN THE ORDER OF CONDITIONS.
 6. ALL PAVED DRIVEWAYS AND DRIVEWAYS SHALL CONFORM TO CITY REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT OF WAY.

REFERENCE:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN SUBLINED BY BOUNDARY & TOPOGRAPHY SURVEY ONE ENERGY, INC. 121 BOLTON STREET MAP 57, LOT 289 CITY OF MARLBOROUGH, WINDSOR COUNTY CONVENTIONAL IN MASSACHUSETTS STATE 13-05-18 SCALE: 1"=50' PREPARED BY: CONTROL POINT SURVEYING, INC. 303 TOWNSEND ROAD SOUTHBOROUGH, MA 01772 PHONE: 508.748.3000



ALL INFORMATION SHOWN HEREON IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS DRAWING OR FOR ANY OTHER PERSONS USING THIS DRAWING FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS PREPARED.



REV.	DATE	DESCRIPTION
1	08/27/18	ISSUED FOR PERMIT
2	08/27/18	UPON RECEIVING COMMENTS FROM THE CITY
3	08/27/18	UPON RECEIVING COMMENTS FROM THE CITY
4	08/27/18	UPON RECEIVING COMMENTS FROM THE CITY
5	08/27/18	UPON RECEIVING COMMENTS FROM THE CITY
6	08/27/18	UPON RECEIVING COMMENTS FROM THE CITY
7	08/27/18	UPON RECEIVING COMMENTS FROM THE CITY
8	08/27/18	UPON RECEIVING COMMENTS FROM THE CITY
9	08/27/18	UPON RECEIVING COMMENTS FROM THE CITY
10	08/27/18	UPON RECEIVING COMMENTS FROM THE CITY

AYOUB ENGINEERING
ENGINEER'S ADDRESS:
414 BENNETT STREET
MARLBOROUGH, MA 01501
401-728-5553

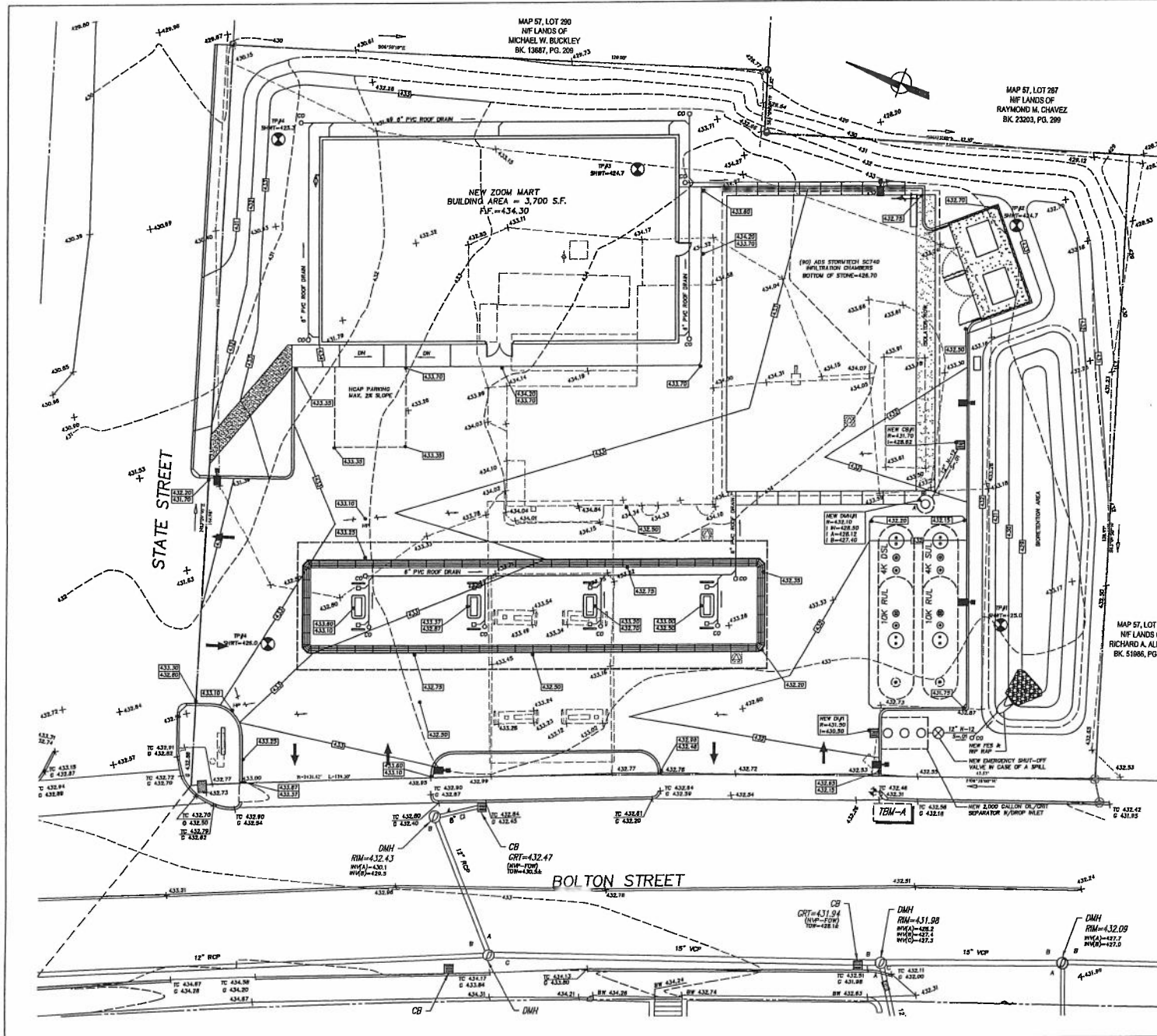
PREPARED FOR
ONE ENERGY, INC.
420 LAKEVIEW AVENUE
MARLBOROUGH, MA 01501

PROJECT ADDRESS
MARLBOROUGH, MA
121 BOLTON STREET

SHEET DESCRIPTION
SITE IMPROVEMENT PLAN

PROJECT NO. 0873.116
SCALE 1"=10'
DRAWN BY PCD
DATE 08/27/18

SHEET NO.
C-1



REFERENCE:
 PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN DATED: BOUNDARY & TOPOGRAPHIC SURVEY ONE ENERGY, INC. 121 BOLTON STREET MAP 57, LOT 287 CITY OF MARLBOROUGH, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS DATED: 12-05-18 SCALE: 1"=20' PREPARED BY: CONTROL POINT ASSOCIATES INC. 388 THORNTON ROAD SOUTHBOROUGH, MA 01772 PHONE: 508.448.3000



ALICE ENGINEERING SPECIALISTS INC. (A/E/C/F) DESIGN PROFESSIONALS HAS PREPARED THIS GRADING PLAN. THE DESIGNER'S RESPONSIBILITIES ARE LIMITED TO THE DESIGN AND CONSTRUCTION OF THE GRADING PLAN. THE DESIGNER DOES NOT GUARANTEE THE ACCURACY OF THE DATA PROVIDED BY THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE GRADING PLAN. THE DESIGNER DOES NOT GUARANTEE THE ACCURACY OF THE DATA PROVIDED BY THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

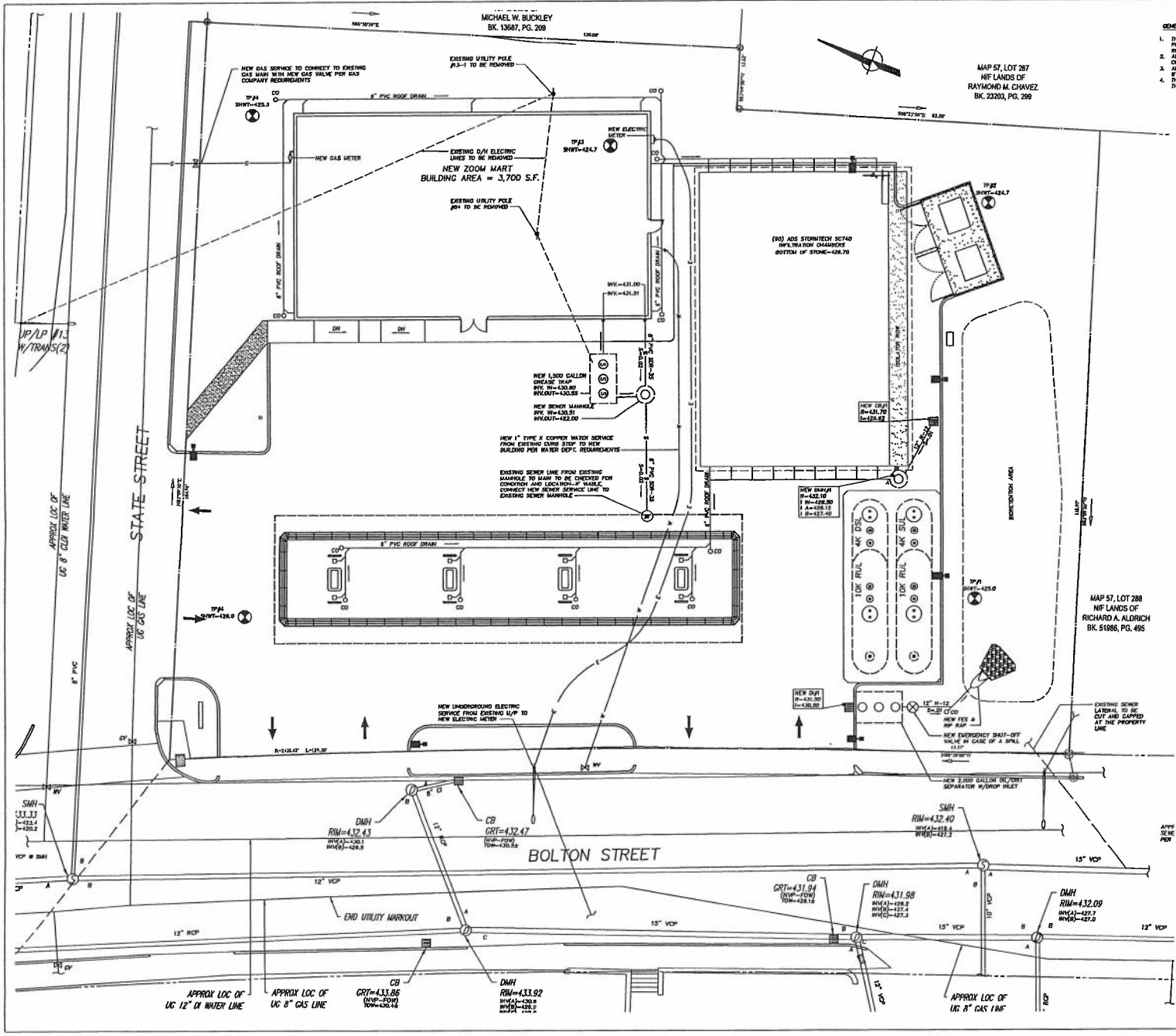
REV.	DATE	DESCRIPTION
1	10/17/18	ISSUED FOR PERMITS
2	10/17/18	ISSUED FOR PERMITS
3	10/17/18	ISSUED FOR PERMITS

AYOUB ENGINEERING
 ENGINEER: A. A. AYOUB
 ADDRESS:
 414 BENEFIT STREET
 PLYMOUTH, MA 01969
 (508) 728-5533

ONE ENERGY, INC.
 420 LAKEVIEW AVENUE
 MARLBOROUGH, MA 01501
 PROJECT ADDRESS:
 MARLBOROUGH, MA
 121 BOLTON STREET
 SHEET DESCRIPTION:
SITE GRADING PLAN

PROJECT NO. 1873.116
 SCALE: 1"=10'
 DRAWN BY: RCD
 DATE: 06/27/19

SHEET NO. **C-2**



GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY BOUNDARY.
2. ALL WATER AND SEWER REPAIRS AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
3. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BEING BACKFILLED BY THE OWNER. INSPECTION SHALL BE REQUESTED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

REVISIONS

REV	DATE	BY	DESCRIPTION
1	06/11/19	RCO	ISSUED GENERAL NOTES
2	06/11/19	RCO	UPDATED MARK DIMS PER CLIENT
3	06/11/19	RCO	REVISED PER CITY REVIEW COMMENTS



AYOUB ENGINEERING, INC.

116 BRIDGE STREET
PANTUCKET, RHODE ISLAND 02861

PROJECT ADDRESS:
121 BOLTON STREET
MARLBOROUGH, MA 01752

PREPARED FOR:
ONE ENERGY, INC.

121 BOLTON STREET
MARLBOROUGH, MA 01752

SHEET DESCRIPTION:
SITE UTILITY PLAN

PROJECT NO. 007.116

SCALE: 1" = 10'

DATE: 06/27/19

SHEET NO. C-3

REFERENCE:
BOUNDARY & TOPOGRAPHIC SURVEY ONE ENERGY, INC. 121 BOLTON STREET MAP 57, LOT 395 CITY OF MARLBOROUGH, WORCESTER COUNTY COMMONWEALTH OF MASSACHUSETTS DATE 12-20-18 SCALE: 1"=40' PREPARED BY: CONTROL POINT ASSOCIATES, INC. 302 THOMPSON ROAD SOUTHBOROUGH, MA 01772 PHONE: 508.354.2000



BIORETENTION AREA MAINTENANCE:

- A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE FACILITY OWNER AND THE RESPONSIBLE AUTHORITY TO ENSURE THE FOLLOWING:
 - TRASH AND DEBRIS SHALL BE REMOVED AS NECESSARY.
 - SILT/SEDIMENT SHALL BE REMOVED WHEN THE ACCUMULATION EXCEEDS ONE INCH. WHEN THE FILTERING CAPACITY DIMINISHES SUBSTANTIALLY (I.E. WHEN WATER PONDS ON THE SURFACE FOR MORE THAN 48 HOURS) THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED OF IN AN ACCEPTABLE MANNER AT AN APPROVED AND PERMITTED LOCATION.
- DURING THE SIX MONTHS AFTER CONSTRUCTION, THE BIORETENTION AREA AND BASIN SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO STORM EVENTS OF AT LEAST 1" TO ENSURE THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, INSPECTIONS SHALL BE CONDUCTED ON AN ANNUAL BASIS AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL TO THE 1 YEAR, 24-HOUR TYPE II EVENT.
- THE GRASS COVER SHOULD BE MOWED A MINIMUM OF 3 TIMES PER GROWING SEASON TO MAINTAIN MAXIMUM GRASS HEIGHTS OF 12"
- THE BIORETENTION AREA WOODY VEGETATION SHOULD BE PRUNED OR REPLACED WHEN DEAD OR DYING VEGETATION IS OBSERVED. SEPARATION OF HERBACEOUS VEGETATION ROOTSTOCK SHOULD OCCUR WHEN OVER-CROWDING IS OBSERVED, OR APPROXIMATELY ONCE EVERY THREE YEARS, IF AT LEAST 50 PERCENT VEGETATION COVERAGE IS NOT ESTABLISHED AFTER TWO YEARS, A REINFORCEMENT PLANTING SHOULD BE PERFORMED.
- THE MULCH LAYER SHOULD BE REPLISHED (TO THE ORIGINAL DESIGN DEPTH) EVERY OTHER YEAR, AS DIRECTED BY INSPECTION REPORTS. THE PREVIOUS MULCH LAYER SHOULD BE REMOVED AND PROPERLY DISPOSED OF, OR ROTD-FILLED INTO THE SOIL SURFACE.
- MINOR SOIL EROSION GULLIES SHOULD BE REPAIRED WHEN THEY OCCUR.

BIORETENTION AREA NOTES:

- BIORETENTION AREA PLANTS ARE TO BE PLANTED IN RANDOM GROUPS OF 5, COVERING 50%-50% OF THE DESIGN AREA.
- SOIL IS TO BE A LOAM/SAND MIX CONTAINING 85%-88% SAND BY VOLUME WITH A CLAY CONTENT OF LESS THAN 2% BY VOLUME. THE SOILS SHALL BE FREE OF STONES, STUMPS, ROOTS AND OTHER WOODY MATERIAL AND BRUSH. SOIL SHALL ALSO BE FREE OF SEEDS FROM NOXIOUS WEEDS.
- SOIL IS TO BE 2" IN DEPTH, PLACED IN TWO LIFTS, AND LOOSELY COMPACTED BY LIGHTLY TAMPING WITH A DOZER OR BACKHOE BUCKET.
- THE MULCH FOR THE AREA SHALL BE SHREDDED HARDWOOD MULCH THAT HAS BEEN WELL ACID (STOCKPILE STORED FOR AT LEAST SIX MONTHS), UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS SUCH AS NEEED SEEDS, SOIL, ROOTS ETC. THE MULCH SHALL BE APPLIED TO A DEPTH OF 3 INCHES, AND LEFT 2 INCHES AWAY FROM PLANT TRUNKS.
- A DENSE AND NOXIOUS VEGETATIVE COVER SHALL BE ESTABLISHED OVER THE SWALE BEFORE RUNOFF CAN BE ACCEPTED INTO THE RAIN GARDEN.

PLANT LIST

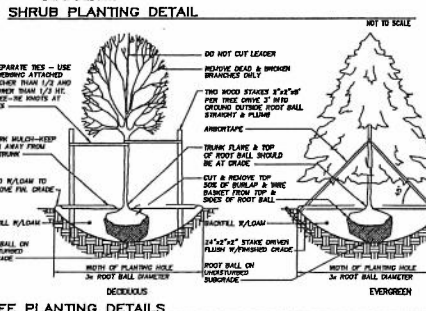
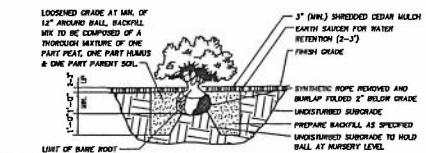
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	ANNUAL SIZE	MR. CONTAINER SIZE
PMH	PRINUS MEXICO MEXICO	DRYAD MEXICO PINE	10	1 1/2"-2" HT.	2 GAL.
PH	SAMBURUS HORNBOETZII 'MILTON'	SMILE BUSH LAMPYR	20	1 1/2"-2" HT.	2 GAL.
AZ	AZALEA DELAWARE VALLEY WHITE	AZALEA	3	2-3 1/2" HT.	3 GAL.
AZ	AZALEA HOOVERHOOD	AZALEA	10	1 1/2"-2" HT.	3 GAL.
CE	CORNUS ALBA 'SERRICA'	RED TIG BROOMWOOD	3	2-3 1/2" HT.	3 GAL.
SI	SPINEX JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPINEX	12	2-3 1/2" HT.	3 GAL.
WD	WEIRBURIA DEUTZIANA	ARROWWOOD HAZELBUSH	14	3"-4" HT.	2 + B
AR	ARISTIDA FLORIBUNDA 'OCTOBER GLORY'	RED MAPLE	3	4"-7" HT.	2 + B
CF	OLENDIA THACONDIOSIS 'VENUS'	ROCKWELL HONEY LOCUST	5	4"-7" HT.	2 + B
MM	MAGNOLIA 'ROSE MARIE'	ROSE MARIE MAGNOLIA	2	5"-8" HT.	3 GAL.
CF	CORNUS FLORIDA 'SERRICA'	FLORIDIAN DOGWOOD	3	4"-7" HT.	2 + B
AF	ABIES FRASER	FRASER FIR	3	7"-8" HT.	2 + B
PF	PRUNUS (SANDORUS X PUNICA) 'DREXEL GEM'	GREEN DIAMT ARBORVITAE	28	7"-8" HT.	2 + B
HP	HYDRANGEA PANICULATA 'BOHNSPELL'	BOHNSPELL HYDRANGEA	15	2-3 1/2" HT.	2 + B
PMH	PHACODIUM RAVEN	RAVENS BELL	15	2-3 1/2" HT.	3 GAL.
PH	PRUNUS X BRUNONIA 'HEALTHY BEAUTY'	ARBORESCENT	6	2-3 1/2" HT.	3 GAL.
DD	DIANUS DELICIOSUS 'PLANNING LIGHT'	CORONATION	10	10"	1 GAL.
SA	SALIX 'TELEPHIA' 'HUSHING JOY'	SHAWBROOK	10	10"	1 GAL.
AR	ASTER NOVAE-ANGLIAE 'PURPLE DOME'	ASTER	5	10"	1 GAL.
HW	HEDYCHYLLIS 'SHIPPY RETURN'	DANGLY	50	12"	8" POT
GA	GALLIARDA 'ANGELA SUN'	BLANKET FLOWER	50	12"	1 GAL.

BIORETENTION AREAS PLANT LIST

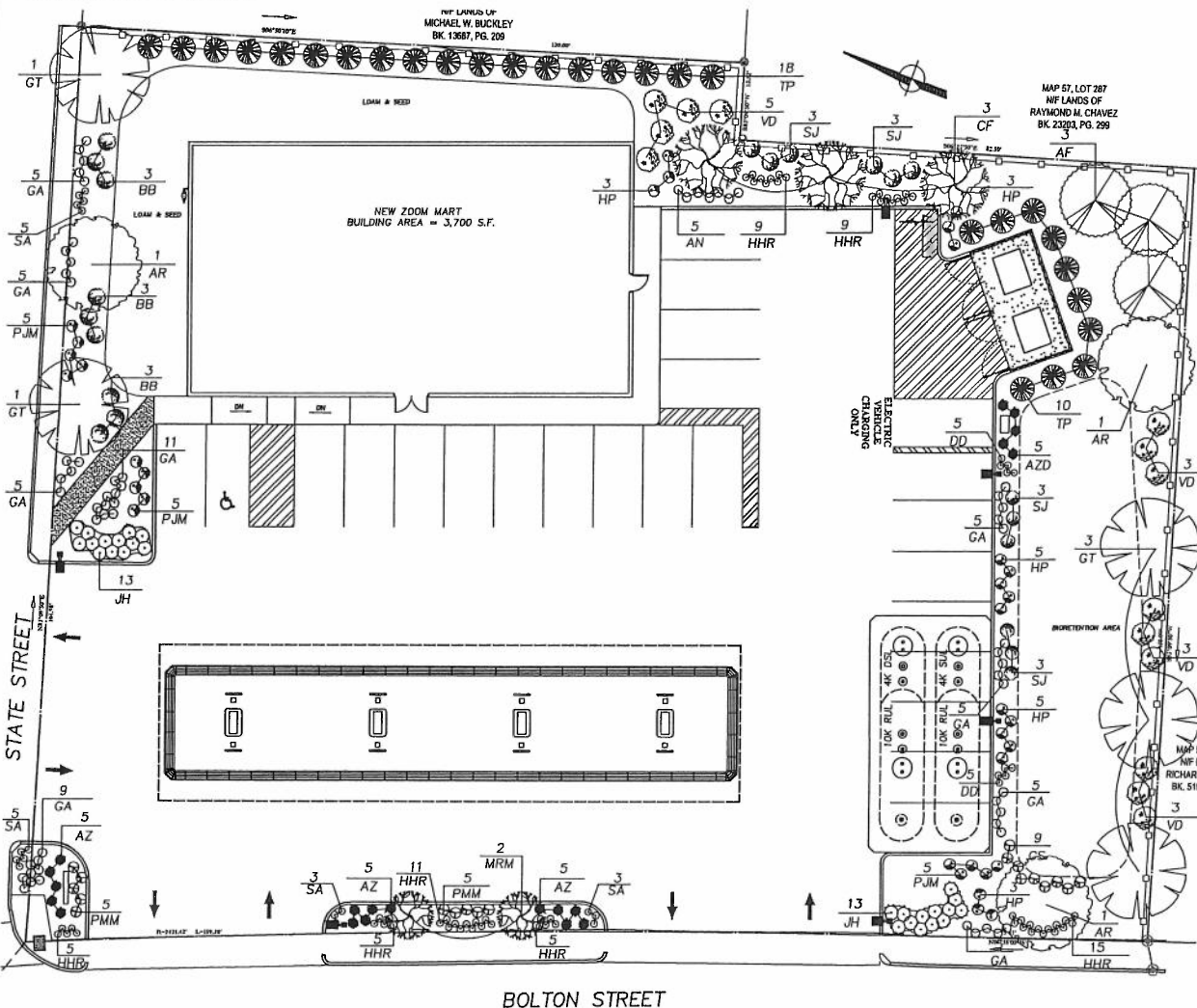
BOTANICAL NAME	COMMON NAME	QUANTITY	SPACING	SIZE
ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	40	1 1/2' O.C.	1 GAL.
CONEOPSIS SPECIES	CONEOPSIS	20	1 1/2' O.C.	1 GAL.
ERAGROSTIS SPECTABILIS	PURPLE LOVEGRASS	30	1 1/2' O.C.	1 GAL.
EUPATORIUM MACULATUM	JOE-PYE WEED	30	1 1/2' O.C.	1 GAL.
MONARDA DENTATA	WEEBURN	35	1 1/2' O.C.	1 GAL.
HELMINTHIS MATRA	BLACK EYED RUSAN	40	1 1/2' O.C.	1 GAL.
SOLIDAGO RAGOSA	GOLDENROD	80	1 1/2' O.C.	1 GAL.
DEONDIUM BODINIS	LEWISIA PINKROSE	35	1 1/2' O.C.	1 GAL.
ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	35	1 1/2' O.C.	1 GAL.
CAREX STRICTA	RUSSOCK SEDGE	25	1 1/2' O.C.	1 GAL.

GENERAL LANDSCAPE NOTES:

- ALL PLANT MATERIALS ARE TO BE FIRST QUALITY NURSERY STOCK, FREE FROM DISEASE OR OBSTRUCTABLE CONSPIRACIES AND PLANTED IN CONFORMANCE WITH THE QUALITY NURSERY PRACTICES PREPARED BY THE CONTRACTOR.
- ALL NEW TREES ARE TO BE STAKED WITH TWO 8 FT. HARDWOOD STAKES, GUYED PER DETAIL.
- AREAS SHOWING HELDUP ARE TO BE RELEIVED WITH A MINIMUM 1" DEPTH OF SHREDDED HARDWOOD BARK.
- ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR TWO (2) YEARS TO BE IN HEALTHY AND NOXIOUS CONDITION. IT IS UNDERSTOOD THAT THE OWNER WILL PROVIDE ADEQUATE AND TRULY CARE DURING THE GUARANTEE PERIOD.
- PLANTS ARRANGED IN CONTINUOUS GROUPINGS ARE TO BE SET IN MALLED BEDS. MULCH IS TO BE MIN. 3" DEEP DEPTH OF SHREDDED HARDWOOD BARK.
- ANY TREES OR SHRUBS OBTAINED FOR NEW WORK ARE TO BE PROTECTED AND OR REPLACED.
- ALL EXISTING TREES AND SHRUBS INDICATED ON DRAWING ARE TO REMAIN UNLESS NOTED.



REFERENCES:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN DATED 08/20/14 BY A REGISTERED SURVEY ENGINEER, INC. 121 BOLTON STREET MAP 57, LOT 282 CITY OF MARLBOROUGH, WINDHAM COUNTY COMING FROM MASSACHUSETTS DATED 12-02-18 SCALE 1"=50' PREPARED BY: CONTROL POINT ASSOCIATES, INC. 121 BOLTON STREET, MARLBOROUGH, MA 01772 PHONE: 508.448.2000



FOR THE INFORMATION OF THE CLIENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.

AYOUB ENGINEERING
Engineers & Architects
441 BELLEVUE STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

ONE ENERGY, INC
PROJECT ADDRESS
420 LAKESIDE AVENUE
MARLBOROUGH, MA 01752
121 BOLTON STREET

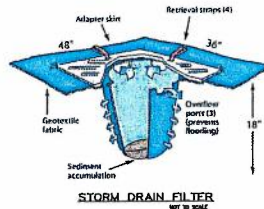
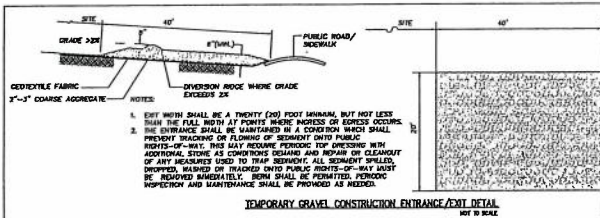
MARLBOROUGH, MA

SITE LANDSCAPE PLAN

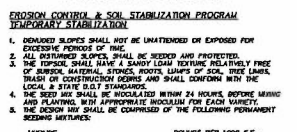
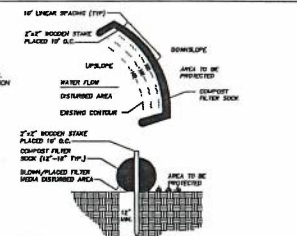
PROJECT NO. 062116
SCALE 1"=10'
DRAWN BY: RCD
DATE 09/27/19

SHEET NO. L-1

NOT FOR CONSTRUCTION



NOTES
1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
2. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSTRUCTION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONSTRUCTION. (REFER TO EROSION CONTROL PLAN IF PART OF SUBMISSION).



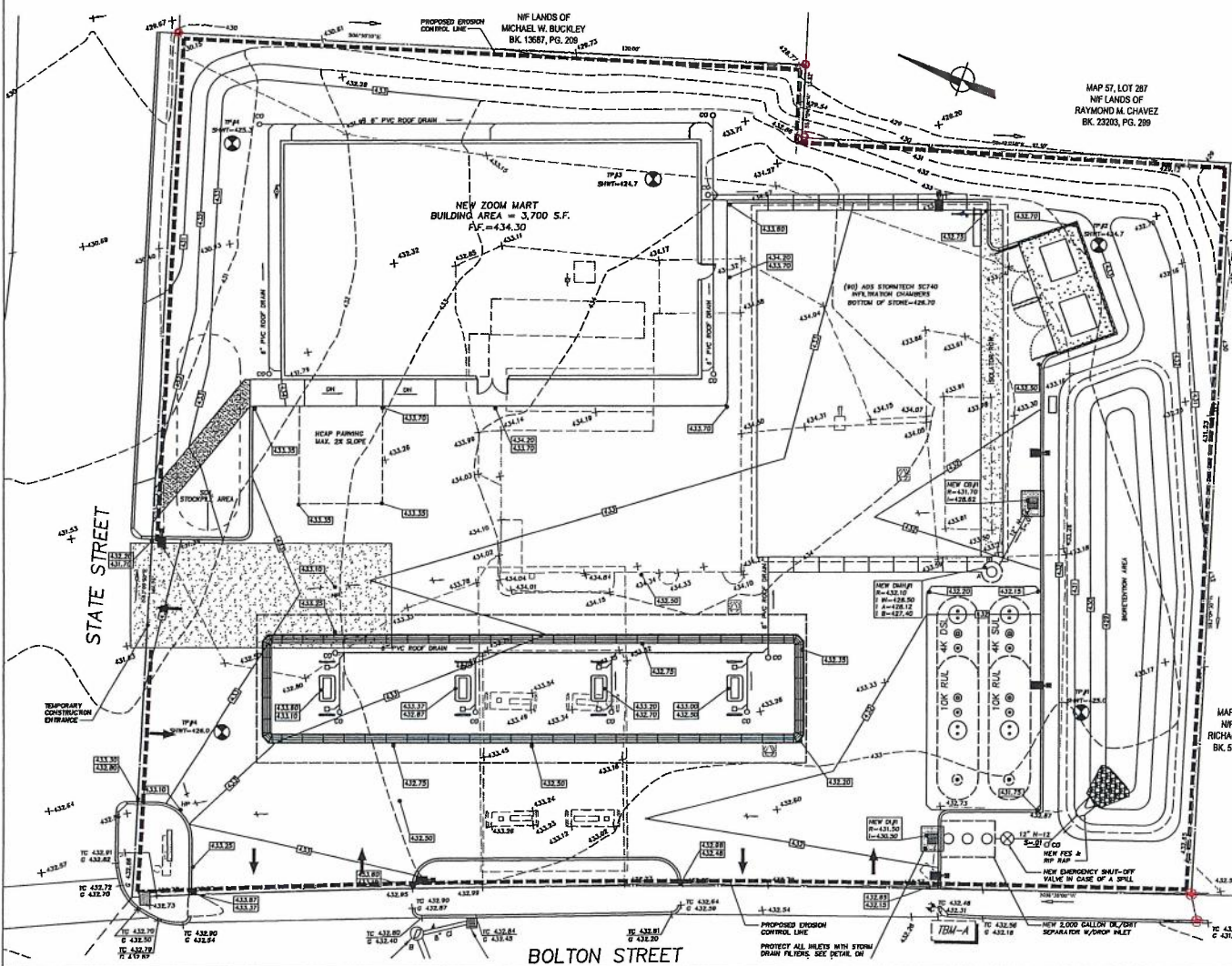
- EROSION CONTROL & SOIL STABILIZATION PROGRAM**
TEMPORARY STABILIZATION
1. EXPOSED SLOPES SHALL NOT BE UNPROTECTED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME.
 2. ALL EXPOSED SLOPES SHALL BE SEEDED AND PROTECTED.
 3. THE TOPSOIL SHALL HAVE A MINIMUM RELATIVE RICHNESS OF 30% TO 40% OF THE ORIGINAL SOIL. TOPSOIL SHALL BE STORED IN A PROTECTED AREA AND SHALL CONFORM WITH THE LOCAL & STATE BEST PRACTICES.
 4. THE SOIL SEED SHALL BE NUTRIENT RICH WITH 24 HOURS BOTTLE TESTING AND PLANTING WITH APPROPRIATE MULCH FOR EACH MARKET.
 5. THE DESIGN MIX SHALL BE COMPOSED OF THE FOLLOWING PERCENTAGE BLENDING SCHEDULES:
- | MATERIAL | PERCENTAGE PER 1000 S.F. |
|------------------------------|--------------------------|
| RED FESCUE | 1.75 |
| CRIMINAL MINTHESSESS CRICKET | 11 |
| PENDULINA HYDRASSIS | 11 |
| PROSTROPHETUS SPERMATOPHYTES | 11 |
| RECOMMENDED PLANTING DATES | 3/1-6/31 & 8/15-11/30 |
6. TEMPORARY BROADCASTS SHALL CONSIST OF A MAX. STRAW OR FIBER SALT OR PROTECTIVE COVER SUCH AS MATS OF FIBER LAMIN (DURABLE, ATE, FIBERLESS NETTING, EXCESSIVE WEIGHTS) THEY SHALL BE INCORPORATED INTO THE SOIL AS MAINTAINED OR AS ORDERED BY THE OWNER.
 7. MATS OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3 TONS/ACRE MAXIMUM.
 8. ALL FILTER SOCKS OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED COVERING IS ESTABLISHED.
 9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN A PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL CHARGE.
 10. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT.
 11. STABILIZATION OF THE SOIL OR UNDERLAY AS DESCRIBED ABOVE SHALL BE COMPLETED WITHIN 30 DAYS OF THE DATE OF THE ORDER.
 12. FLOODINGS OF TOPSOIL SHALL BE LOCATED ALONG THE WESTERN PERIPHERY OF THE SITE. TOPSOIL SHALL BE GREATER THAN 20% AND SHALL ALSO BE SEEDED AND/OR STABILIZED.
 13. ANY UNDESIRABLE MATERIALS SHALL BE REMOVED FROM THE SITE. UNDESIRABLE MATERIALS SHALL BE TO BE SAMPLED AND TESTED FOR HAZARDOUS MATERIALS. IF HAZARDOUS MATERIALS ARE FOUND TO EXIST, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF SUCH MATERIALS IN ACCORDANCE WITH THE APPROPRIATE REGULATORY AGENCIES AND FOLLOW THE GUIDELINES OF APPLICABLE STATE AND FEDERAL REGULATIONS.
 14. THE DRAINAGE SYSTEM SHALL RECEIVE ONE FINAL CLEANING PRIOR TO ACCEPTANCE OF THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE REMOVED OF IN A PROPER MANNER.

- ORDER OF PROCEDURE**
1. PRIOR TO ANY DEMOLITION, TEMPORARY FILTER SOCK EROSION CONTROL LINE SHALL BE PLACED OUTSIDE THE LIMITS OF CONSTRUCTION FOR PLANS.
 2. PRIOR TO CONSTRUCTION A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT SHALL BE PLACED AT THE EAST DRIVEWAY PER THE DETAIL. IF ANY MATERIAL IS TRACKED ON TO STATE STREET IT IS TO BE CLEANED AT THE END OF EACH WORK DAY.
 3. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROLS.
 4. IF MORE PROBLEMS TO BE SUSPECTED FOR 30 DAYS, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
 5. TEMPORARY FILTER SOCK EROSION CONTROL LINE ALONG THE LIMIT OF CONSTRUCTION MAY BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN COMPLETED AND APPROVED.
 6. BUILT PROTECTIONS MUST REMAIN UNTIL SUCH THAT A DESIRABLE STAND OF GRASS OR COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE OWNER.
 7. ESTIMATED TIME OF CONSTRUCTION, 4 MONTHS.

- POST CONSTRUCTION PHASE**
1. CATCH BASINS SHALL BE INSPECTED AND CLEANED ON A QUARTERLY BASIS.
 2. ALL CATCH BASINS SHALL BE TREATED WITH MOSQUITO LARVICIDE AS NECESSARY TO PREVENT THE PRODUCTION OF MOSQUITOES IN THE CATCH BASIN.
 3. IN CASE OF SMALL CLEAN UP SHALL BE PROVIDED IMMEDIATELY.
 4. ALL PAVED AREAS ON-SITE ARE TO BE SWEEPED ONCE A MONTH DURING THE LIFE OF THE PROJECT AND THE SWEEPING SHALL BE DONE IN A MANNER OR AS REQUIRED TO PREVENT SEDIMENT ACCUMULATION.
 5. ALL UNDESIRABLE MATERIALS SHALL BE REMOVED FROM THE GRADED AREAS. BARE SOIL SHOULD BE RESEEDED WITH GRASS. ALL SOIL AROUND THE PERIMETER OF THE PAVED LOT SWEEPING SHALL BE IN THE COORDINATION OF PAVING LOT SWEEPING SHALL BE BY THE CONTRACTOR.
 6. SEDIMENT ACCUMULATION FROM THE PAVING LOT SWEEPING SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT PROPERTIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT PROPERTIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT PROPERTIES.
 7. THE OWNER/OPERATOR SHALL BE THE RESPONSIBLE PARTY FOR POST CONSTRUCTION STORM AND SEDIMENTATION CONTROL. THE OWNER/OPERATOR IS REQUIRED TO MAINTAIN A RECORD KEEPING LOG OF ALL REQUIRED AND PROPOSED MAINTENANCE.

REFERENCE:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING HAVE BEEN TAKEN FROM A PLAN ENTITLED: BOUNDARY & TOPOGRAPHIC SURVEY ONE ENERGY, INC. 121 BOLTON STREET, MARLBOROUGH, MASSACHUSETTS 01501-1600. PREPARED BY: CONTROL PLAN ASSOCIATES, INC. 152 HUNTING ROAD, SOUTHBOROUGH, MA 01772 PHONE: 508-644-3000

GRAPHIC SCALE
0 10 20



1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
2. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSTRUCTION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONSTRUCTION. (REFER TO EROSION CONTROL PLAN IF PART OF SUBMISSION).



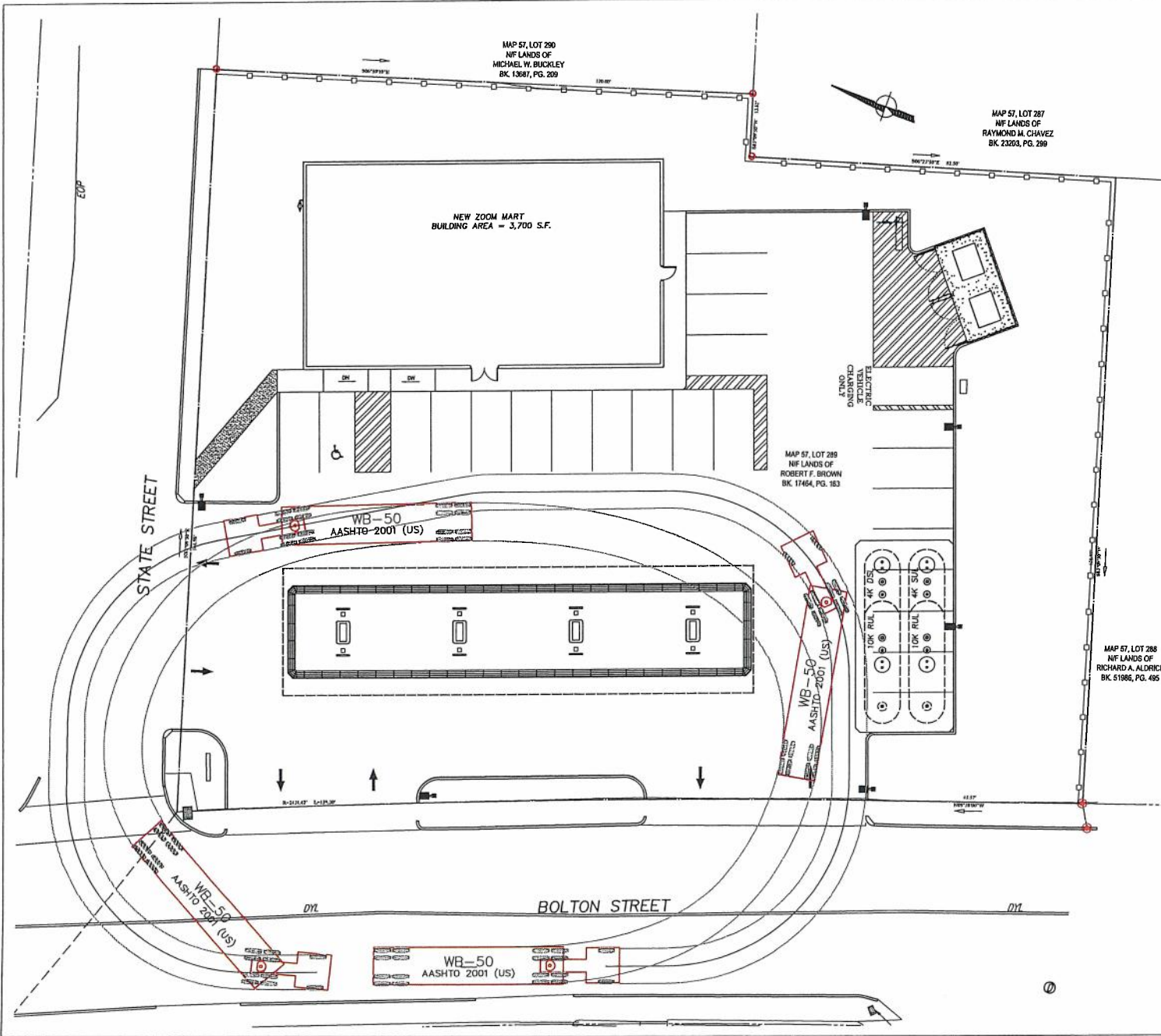
NO.	DATE	BY	REVISIONS
1	06/11/19	PS	ISSUE FOR PERMIT COMMENTS
2	06/11/19	PS	ISSUE FOR PERMIT COMMENTS
3	06/11/19	PS	ISSUE FOR PERMIT COMMENTS
4	06/11/19	PS	ISSUE FOR PERMIT COMMENTS
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19	06/11/19	PS	ISSUE FOR PERMIT COMMENTS
20	06/11/19	PS	ISSUE FOR PERMIT COMMENTS

AYOUB ENGINEERING
Engineers & Architects
416 BENNETT STREET
PANTUCKET, RHODE ISLAND 02861
PHONE: 401-728-5533

ONE ENERGY, INC
410 LARGESIDE AVENUE
MARLBOROUGH, MA 01575
PROJECT ADDRESS
MARLBOROUGH, MA
121 BOLTON STREET
SHEET DESCRIPTION
SOIL EROSION AND SEDIMENT CONTROL PLAN
SHEET NO. **ER-1**

PROJECT NO. 0823116
SCALE: AS SHOWN
DRAWN BY: RLD
DATE: 06/11/19

NOT FOR CONSTRUCTION



REFERENCE:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION
SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED:
BOUNDARY & TOPOGRAPHIC SURVEY ONE ENERGY, INC.
121 BOLTON STREET MAP 57, LOT 289 CITY OF MARLBOROUGH,
WORCESTER COUNTY COMMONWEALTH OF MASSACHUSETTS DATED
12-03-18 SCALE: 1"=100' PREPARED BY: CONTROL POINT
ASSOCIATES, INC. 222 TURNBULL ROAD SOUTHBRIDGE, MA
01772 PHONE: 508.748.3000



ANY ENGINEER DESIGN OR ANY RESPONSIBILITY FOR ACHIEVING THE DESIGN OR ANY OTHER CONSTRUCTION SERVICES OF THE WORK SHOWN HEREAFTER AND ANY OTHER PROJECTS OF THE DESIGNER OR THE CLIENT OR ANY OTHER PARTY SHALL BE THE SOLE RESPONSIBILITY OF THE DESIGNER OR THE CLIENT OR ANY OTHER PARTY AND SHALL NOT BE THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OR ANY OTHER PARTY.

THE ENGINEER'S DESIGN OR ANY OTHER SERVICE PROVIDED BY ANY OTHER ENGINEER, ARCHITECT, OR ANY OTHER PARTY SHALL BE THE SOLE RESPONSIBILITY OF THE ENGINEER, ARCHITECT, OR ANY OTHER PARTY AND SHALL NOT BE THE RESPONSIBILITY OF THE CLIENT OR ANY OTHER PARTY.



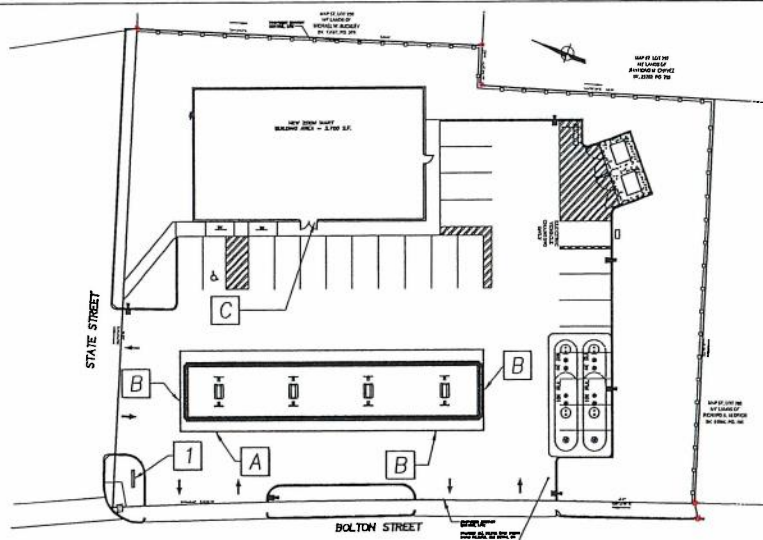
NO.	DATE	BY	REVISIONS
1	10/20/18	RJD	ISSUED FOR CITY REVIEW COMMENTS
2	10/20/18	RJD	REVISED PER CITY REVIEW COMMENTS

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS
ADDRESS:
410 BERRY STREET
PAWBUCKET, RHODE ISLAND 02861
401-728-3533

PREPARED FOR
ONE ENERGY, INC.
420 LAKEVIEW AVENUE
MARLBOROUGH, MA 01752
PROJECT ADDRESS
MARLBOROUGH, MA
121 BOLTON STREET
SHEET DESCRIPTION
TANKER DELIVERY PATH

PROJECT NO. 0653118
SCALE 1"=10'
DRAWN BY: RJD
DATE: 06/2019
SHEET NO.
TD-1

NOT FOR CONSTRUCTION



PROPOSED SITE PLAN

SCALE: 1"=20'

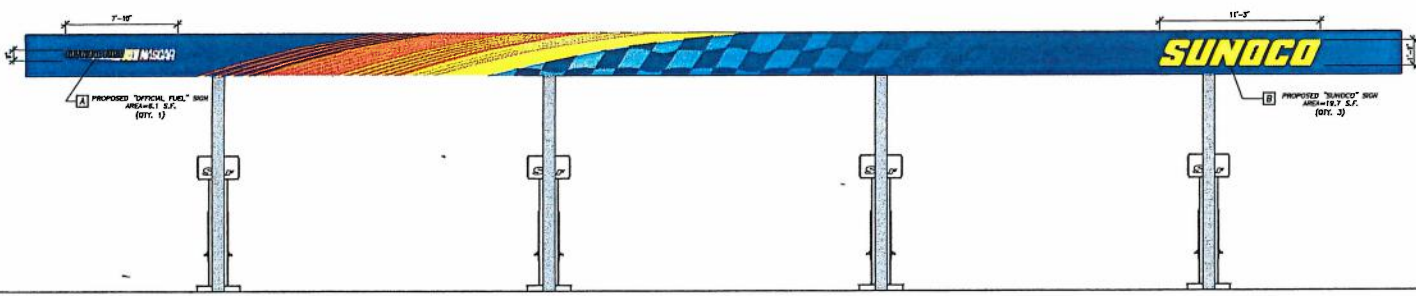
REFERENCE:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED:
BOUNDARY & TOPOGRAPHIC SURVEY ONE ENERGY, INC. 121 BOLTON STREET MAP 37, LOT 309 D717 OF MARLBOROUGH, WINDSOR COUNTY COMMONWEALTH OF MASSACHUSETTS DATE: 12-05-18 SCALE: 1"=50' PREPARED BY: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SCARBOROUGH, MA 01772 PHONE: 908.948.3000



AS THE ENGINEERING EXPERTS EXERCISE THEIR PROFESSIONAL RESPONSIBILITY FOR THE DESIGN OF THIS PROJECT, THEY ARE NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND, AND THEY ARE NOT RESPONSIBLE FOR THE CONSTRUCTION OF THIS PROJECT OR THE SAFETY OF THE CONSTRUCTION. THE CLIENT IS ADVISED THAT THE ENGINEER'S SERVICES ARE LIMITED TO THE DESIGN OF THE PROJECT AND DO NOT INCLUDE THE CONSTRUCTION OF THE PROJECT OR THE SAFETY OF THE CONSTRUCTION. THE CLIENT IS ADVISED THAT THE ENGINEER'S SERVICES ARE LIMITED TO THE DESIGN OF THE PROJECT AND DO NOT INCLUDE THE CONSTRUCTION OF THE PROJECT OR THE SAFETY OF THE CONSTRUCTION.

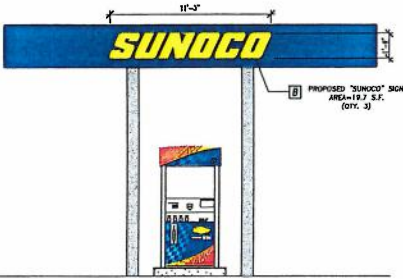


REVISIONS	DATE	BY	DESCRIPTION
1	12/01/19	AYOUB	ISSUED FOR PERMIT



PROPOSED FRONT CANOPY ELEVATION

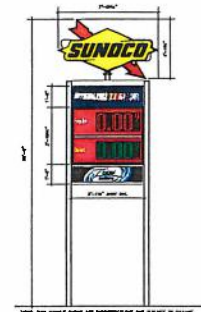
SCALE: 1/4"=1'-0"



PROPOSED SIDE CANOPY ELEVATION

SCALE: 1/4"=1'-0"

PROPOSED SIGN SCHEDULE									
MARK	DESCRIPTION	SIZE	AREA (SF)	QTY.	SIZE (SF)	ILLUMINATION TYPE	REMARKS	TYPE	
FREESTANDING SIGNS									
I	ID SIGN	4'-11 1/2" X 7'-0 1/2" 5'-10 1/2" X 6'-0 1/2"	28.04	1	63.5	INT	NEW	FREESTANDING	
TOTAL PROPOSED FREESTANDING SIGNS:			63.5						
WALL SIGNS									
A	OFFICIAL FUEL OF NASCAR	7'-10" X 0'-9"	6.1	1	6.1	INT	NEW	CANOPY	
B	SUNOCO	11'-3" X 1'-0"	19.7	3	59.1	INT	NEW	CANOPY	
C	ZOOM MARY	3'-2" X 8'-6"	26.9	1	26.9	INT	REF	WALL	
TOTAL PROPOSED WALL SIGNS:			62.1						
TOTAL PROPOSED SIGNAGE:			125.6						



NEW GOAL POST SIGN AREA= 63.5 SF

AYOUB ENGINEERING
Engineers & Architects
ADDRESS:
414 BENEFIT STREET
PATTUCKETT, RHODE ISLAND 02861
401-726-3535

PREPARED FOR:
ONE ENERGY, INC.
430 LAKESIDE AVENUE SUITE 302
MARLBOROUGH, MA 01752
PROJECT ADDRESS:
MARLBOROUGH, MA
121 BOLTON STREET
SHEET DESCRIPTION:
SIGNAGE PLAN

PROJECT NO. 0873.116
SCALE: AS NOTED
DRAWN BY: RCD
DATE: 09/27/19
SHEET NO. **SG-1**

ENGINEERING PROFESSIONAL RESPONSIBILITY AND LIABILITY INSURANCE COVERAGE UNDERWRITEN BY THE ENGINEERING PROFESSIONAL RESPONSIBILITY AND LIABILITY INSURANCE COMPANY, INC. FOR THE ENGINEER AND ARCHITECT FOR THE PROJECT REFERRED TO BY THIS DRAWING. THE ENGINEER AND ARCHITECT SHALL BE HELD HARMLESS AND RELEASED FROM ALL LIABILITY FOR ANY AND ALL DAMAGES, LOSSES, AND OTHER ADVERSE CONSEQUENCES OF ANY KIND, INCLUDING BUT NOT LIMITED TO, ANY AND ALL DAMAGES, LOSSES, AND OTHER ADVERSE CONSEQUENCES OF ANY KIND, INCLUDING BUT NOT LIMITED TO, ANY AND ALL DAMAGES, LOSSES, AND OTHER ADVERSE CONSEQUENCES OF ANY KIND.



SITE ELEVATION

121 BOLTON STREET, MARLBOROUGH, MA

ONE ENERGY, INC.

420 LAKESIDE AVENUE SUITE 302
MARLBOROUGH, MA 01752

NO.	DATE	DESCRIPTION

AYOUB
ENGINEERING

REGISTERED PROFESSIONAL ENGINEER
No. 004325872

ADDRESS:
416 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5553

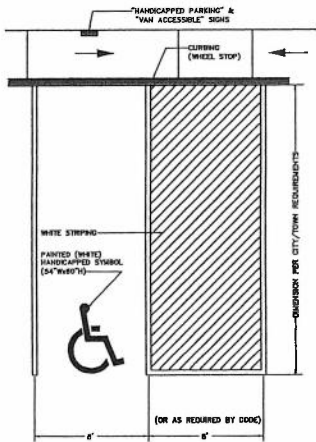
PREPARED FOR
ONE ENERGY, INC.
420 LAKESIDE AVENUE SUITE 302
MARLBOROUGH, MA 01752

PROJECT ADDRESS
MARLBOROUGH, MA
121 BOLTON STREET

SHEET DESCRIPTION
SITE ELEVATION

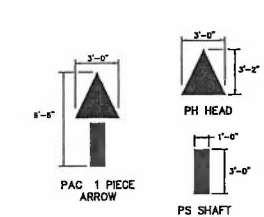
PROJECT NO. 0873.118
SCALE: NOT TO SCALE
DRAWN BY: RCD
DATE: 06/27/10

SHEET NO.
SE-1



TYPICAL HANDICAP PARKING STALL STRIPING
Not to Scale

- NOTES:
 - REFER TO THE SITE PLAN (S-1) FOR SPECIFIC LOCATION AND CONFIGURATION. ADJUST FOR ANGLED PARKING.
 - CONSTRUCTION IS TO INSURE THAT A MAXIMUM SLOPE OF 2.0% BE MAINTAINED IN ALL HANDICAP PARKING AREAS.
 - THE MAXIMUM PARKING SLOPE ALLOWED FOR ANY PART OF A SIDEWALK OR ACCESSIBLE ROUTE IS 3%.
 - THE MAXIMUM CROSS SLOPE ALLOWED FOR ANY PART OF A SIDEWALK OR ACCESSIBLE ROUTE IS 2%.



- PARKING LOT ARROWS**
 NOTES:
 1. TYPES ALIGN CENTER
 2. SHEETS NOT STATE OR FEDERAL STANDARDS

- ALL PAVEMENT PAINTING ARE TO BE WHITE.
 LISTED BELOW ARE THE RECOMMENDED PAINT MANUFACTURERS AND PRODUCTS:
 GILSON - "TRAFFIC ZONE PAINT"
 PITTSBURGH - "TRAFFIC & ZONE MARKING PAINT"
 SHEWMAN WELLS - "TWO-SHADE TRAFFIC MARKING PAINT"
 MAINTENANCE, INC. - "VINA-STRIP"

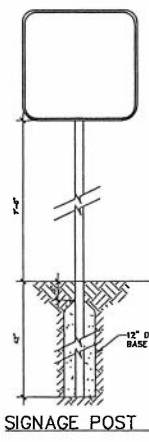
PAVEMENT AREAS TO BE STRIPPED MUST BE SOUND AND FREE OF DIRT, OIL, GREASE AND ANY OTHER FOREIGN MATTER. REMOVE LOOSE DIRT BY BRUSHING AND/OR BLOWING CLEAR WITH AIR OR WATER PRESSURE. CURBS SHOULD BE TAKEN NOT TO SPREAD SURFACE DEPOSITS OF OIL OR GREASE OVER ADDITIONAL AREAS IN THE CLEANING PROCESS. WAXES SHOULD BE REMOVED WITH SOLVENTS OR COMMERICAL DETERGENTS. OLD STRIPING SHOULD BE WHITE BRUSHED TO ASSURE NEW PAINT BOND, OR REMOVED ENTIRELY IF HEAVILY GRADED, PAVED OR PEELING. WHERE APPLICATION IS OVER PROTECTIVE SEALERS OR COATINGS, SUCH MATERIALS SHOULD BE ALLOWED TO CURE FOR AT LEAST 48 HOURS BEFORE PAINTING. A CHECK SHOULD BE MADE BY APPLYING A TEST STRIP TO DETERMINE THE READINESS FOR PAINTING.

THE PAVEMENT SURFACE SHOULD BE LAID OUT WITH CHALK MARKS FOR REQUIRED STRIPING SO THAT MARKING WILL BE ACCURATE AND IN KEEPING WITH POSITIONS AND DIMENSIONS SHOWN ON THE SITE PLAN. ONE UNIFORM COAT OF PAINT SHOULD BE APPLIED BY BRUSH, ROLLER, OR SPRAY, AT A RATE OF NOT LESS THAN ONE GALLON PER 200 SQUARE FEET. ONE GALLON WILL YIELD FROM 300 TO 500 LINEAL FEET OF 4" WIDE STRIP.

PAINT SHOULD NOT BE APPLIED WHEN WEATHER IS RAINY, FOGGY, OR EXCESSIVELY WINDY (OVER 30 MPH RELATIVE HUMIDITY), AND NOT WHEN AMBIENT OR PAINTDROPT TEMPERATURE IS BELOW 50 DEGREES FAHRENHEIT, AND NOT WHEN ABOVE CONDITIONS ARE ANTICIPATED FOR EIGHT HOURS AFTER APPLICATION.

PAVEMENT SHOULD NOT BE OPENED TO TRAFFIC UNTIL ALL PAINT IS ALLOWED TO CURE FOR AT LEAST 1 HOUR. (CONSULT MANUFACTURER FOR SPECIFIC DRYING TIMES)

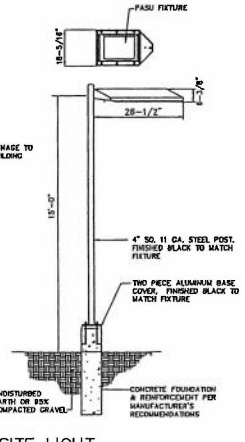
PAVEMENT PAINTING SPECIFICATION



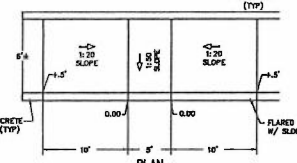
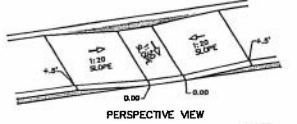
SIGNAGE POST
Not to Scale



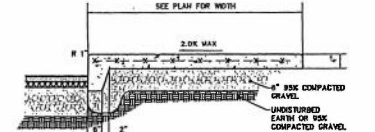
S2 HANDICAP SIGN
Not to Scale



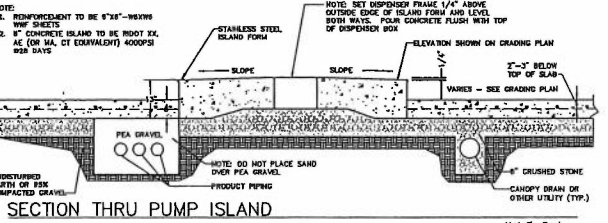
SITE LIGHT
Not to Scale



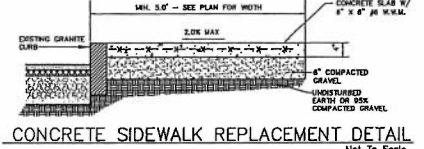
TYPICAL HANDICAP CURB RAMP
Not to Scale



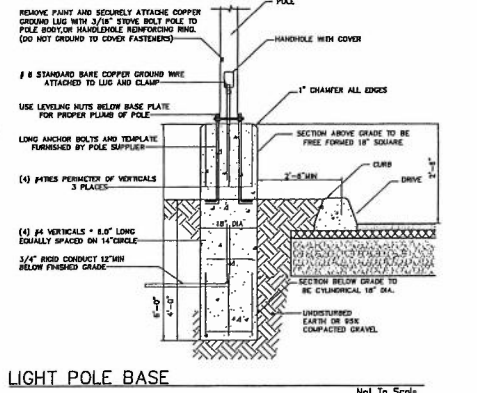
CONCRETE SIDEWALK W/INTEGRAL CURB
Not to Scale



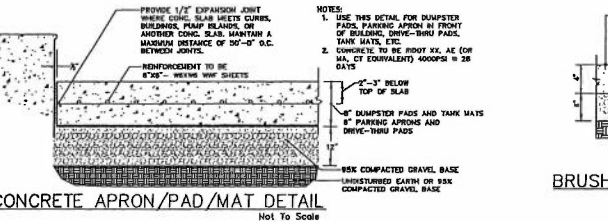
SECTION THRU PUMP ISLAND
Not to Scale



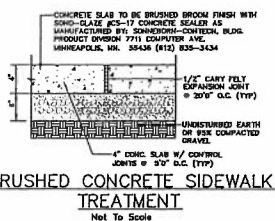
CONCRETE SIDEWALK REPLACEMENT DETAIL
Not to Scale



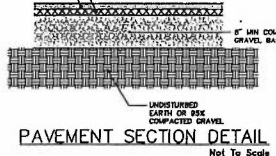
LIGHT POLE BASE
Not to Scale



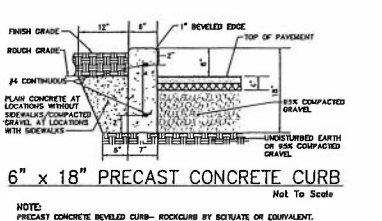
CONCRETE APRON/PAD/MAT DETAIL
Not to Scale



BRUSHED CONCRETE SIDEWALK TREATMENT
Not to Scale



PAVEMENT SECTION DETAIL
Not to Scale

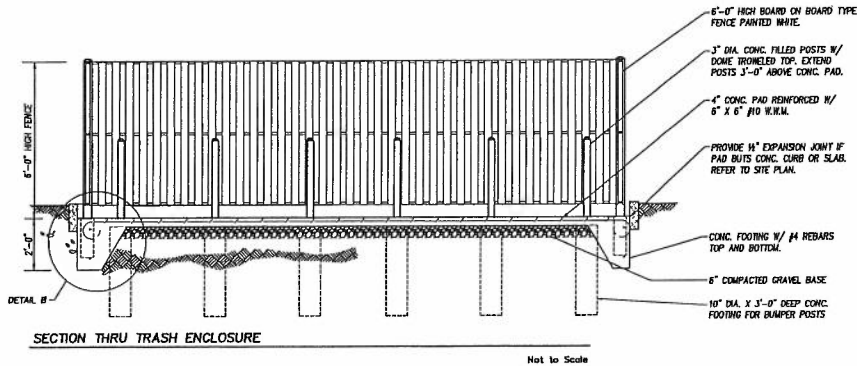


6" x 18" PRECAST CONCRETE CURB
Not to Scale

PROCESSED BY THE CITY OF WASHINGTON, DC. THE CITY ENGINEER HAS REVIEWED THIS SET OF DRAWINGS FOR CONFORMANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF PUBLIC WORKS. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWINGS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE USER ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS SET OF DRAWINGS. NO PART OF THIS SET OF DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE CITY OF WASHINGTON, DC.

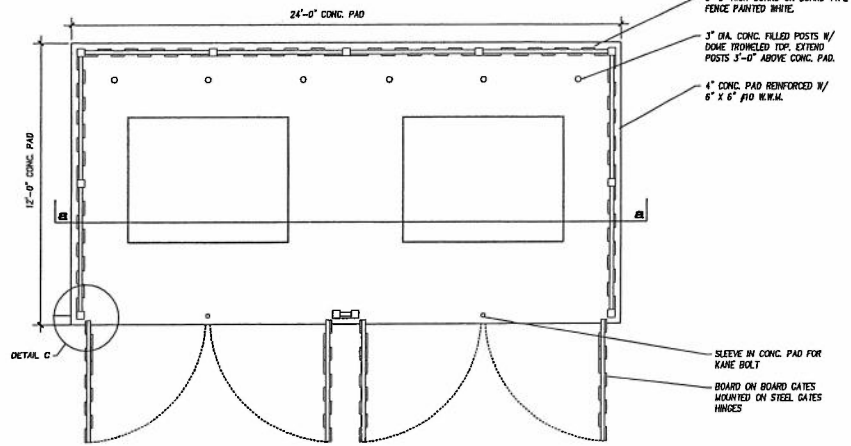
AYOUB ENGINEERING
 ENGINEERS & ARCHITECTS
 ADDRESS: 411 BROADWAY STREET, FAWCETT, RHODE ISLAND 02861
 TEL: 401-728-5533

ONE ENERGY, INC
 120 LANESIDE AVENUE, WESTBOROUGH, MA 01581
 PREPARED FOR: SEASONS CORNER MARKET
 121 COLTON ST., WARBURGH, MA
 SHEET DESCRIPTION: SITE DETAIL SHEET
 PROJECT NO.: 0873.116
 SCALE: AS NOTED
 DRAWN BY: AK
 DATE: 01/17/10
 SHEET NO.: SD-1



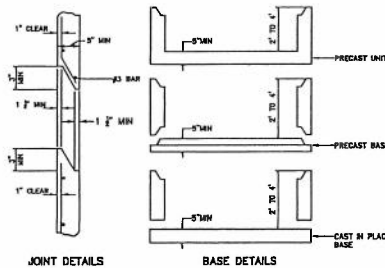
SECTION THRU TRASH ENCLOSURE

Not to Scale



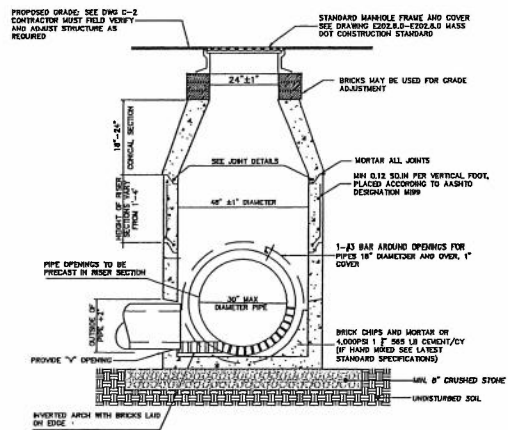
TRASH ENCLOSURE

Not to Scale



JOINT DETAILS

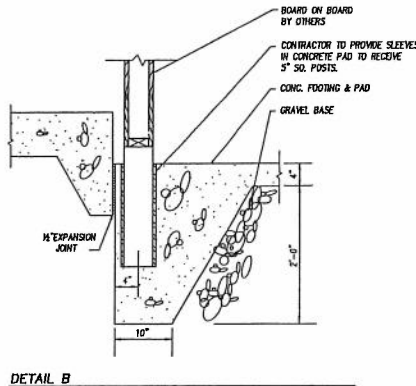
BASE DETAILS



DRAIN MANHOLE DETAIL

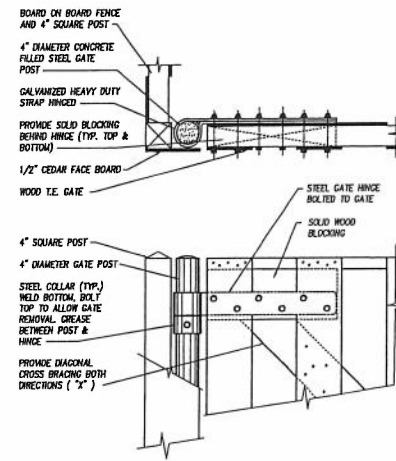
Not to Scale

NOTES:
1. SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING



DETAIL B

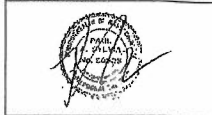
Not to Scale



DETAIL C

Not to Scale

I AM AN ENGINEER AND I HEREBY CERTIFY THAT I HAVE REVIEWED THE DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MASSACHUSETTS. I HAVE REVIEWED THE DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MASSACHUSETTS. I HAVE REVIEWED THE DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MASSACHUSETTS.

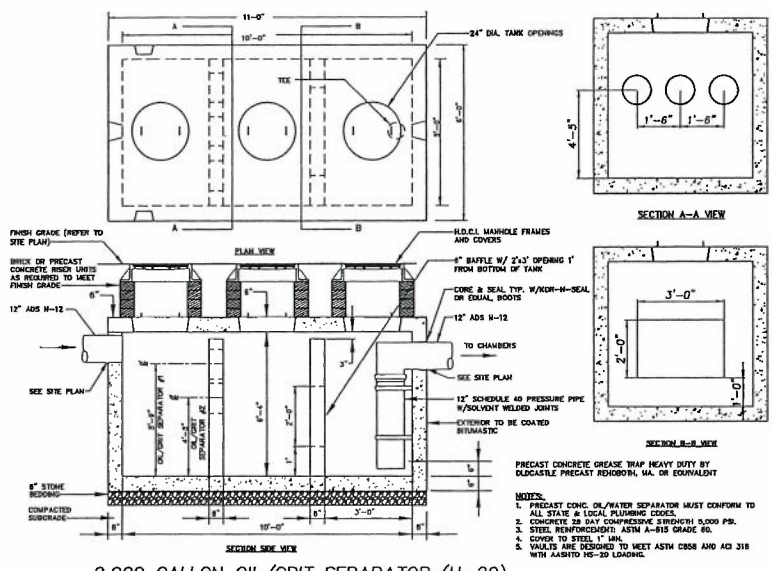


REV	DATE	DESCRIPTION

AYOUB ENGINEERING
ENGINEER & ARCHITECTS
ADDRESS:
AIA, BOSTON CORNER
FANTUCKET, PROVIDENCE, RHODE ISLAND 02861
(401) 728-5533

ONE ENERGY, INC
PROJECT ADDRESS
470 LAKESTON AVENUE
MARLBOROUGH, MA 01752
PREPARED FOR
SEASONS CORNER MARKET
121 BOLTON ST. MARLBOROUGH, MA
SHEET DESCRIPTION
SITE DETAIL SHEET

PROJECT NO.	0672.116	SHEET NO.	SD-2
SCALE	AS NOTED		
DRAWN BY	JK		
DATE	9/17/10		

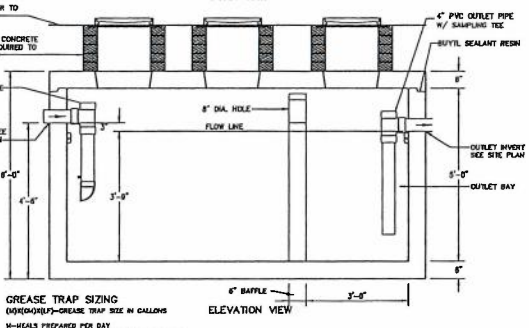
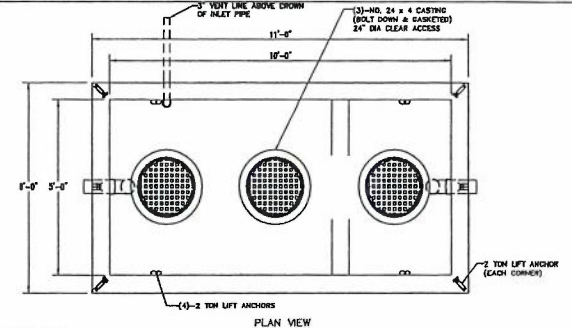


2,000 GALLON OIL/GRIT SEPARATOR (H-20)

- GENERAL NOTES:**
- UTILITY NOTES:**
1. NEW BRICKWORK TO BE 1" MIN HIGH OF COPPER SERVICE COORDINATE INSTALLATION TO EXISTING MAIN WITH LOCAL WATER DEPARTMENT. IF NEW SERVICE IS REQUIRED WATER SERVICE SHALL BE INSTALLED PER LOCAL WATER DEPT.
 2. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING SANITARY SEWER WITHIN MANHOLE AND CONNECT NEW SEWER TO EXISTING MANHOLE USING APPROVED METHOD.
 3. CONTRACTOR SHALL SCAFFOLD AND REPAIR AS REQUIRED PER PLAN TO FACILITATE UTILITY INSTALLATION AND CONSTRUCTION OF NEW CONDUITS. INSTALLATION OF GAS SERVICE AND METER SHALL BE APPROVED BY AND COORDINATED WITH TOWN AND LOCAL GAS COMPANY.
 4. INSTALLATION OF NEW ELECTRIC/CABLE/TELEPHONE SERVICES SHALL BE APPROVED BY AND COORDINATED WITH TOWN AND LOCAL UTILITY COMPANIES.

- GENERAL CONSTRUCTION NOTES:**
1. THE MATERIALS AND CONSTRUCTION OF ALL PROPOSED UTILITIES SHALL CONFORM TO THE TOWN D.P.W. STANDARDS AND SPECIFICATIONS AND ALL APPLICABLE D.P.W. STANDARDS AND SPECIFICATIONS, LATEST EDITION.
 2. THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROVED AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. UNDERGROUND UTILITIES SHOWN ARE FROM FIELD OBSERVATION AND THE BEST AVAILABLE RECORD INFORMATION AND ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDEGROUND PIPES OF STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES RELATIVE TO THE LOCATION AND ELEVATION OF ALL EXISTING LINES. THE CONTRACTOR SHALL CONTACT "DIP SAW" AT 1-800-922-1422 72 HOURS PRIOR TO ANY EXCAVATION AND/OR SUBSURFACE TESTING TO INFORM THE UTILITY COMPANIES OF ANY EXCAVATION.

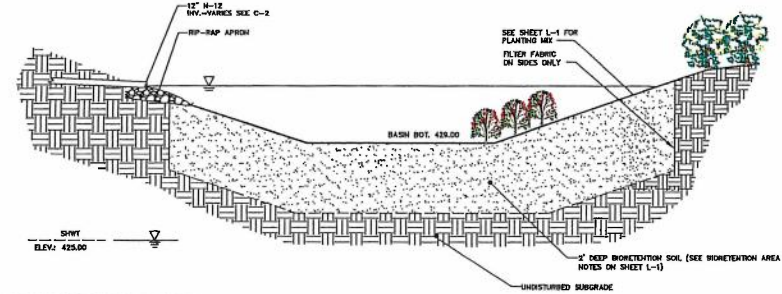
- NOTES:**
1. PRECAST CONG. OIL/WATER SEPARATOR MUST CONFORM TO ALL STATE & LOCAL PLUMBING CODES.
 2. CONCRETE 28 DAY COMPRESSIVE STRENGTH 5000 P.S.I.
 3. STEEL REINFORCING: ASTM A-618 GRADE 60.
 4. COVER TO STEEL 1" MIN.
 5. WALLS ARE DESIGNED TO MEET ASTM C989 AND AIC 318 WITH AASHTO HS-20 LOADING.



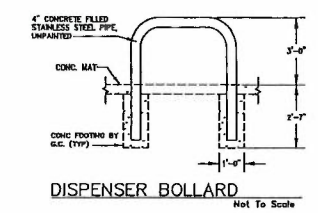
GREASE TRAP SIZING
 (M)(2)(M)² / (H) = GREASE TRAP SIZE IN GALLONS
 M=HEADS PREPARED PER DAY
 H=3-GALLONS OF WASTE WATER PER MEAL (3 LUNCH)
 L=LOADING FACTOR (.75 WITHOUT DISHWASHER)
 (300)(3)(.75) = 1125 GALLONS

1,500 GALLON GREASE TRAP

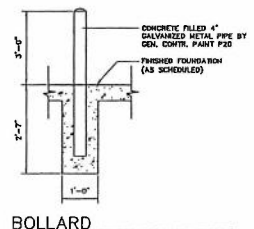
- NOTES:**
1. PRECAST CONCRETE GREASE TRAP HEAVY DUTY BY OLDCASTLE PRECAST OF AVON, CT (MODEL CT-1000) OR EQUIVALENT
 2. PRECAST CONG. GREASE TRAP MUST CONFORM TO ALL STATE & LOCAL PLUMBING CODES
 3. SEE SHEET C-3 FOR INVERT ELEVATION
 4. DECISION IN ACCORDANCE WITH ASTM C 989 FOR AASHTO HS20-44 VEHICLE LOADING
 5. INVERT ELEVATION TO BE DETERMINED ONCE THE EXISTING SEWER LINE ELEVATION HAS BEEN VERIFIED.
 6. CONCRETE 5000 PSI MINIMUM STRENGTH WEB DATA.



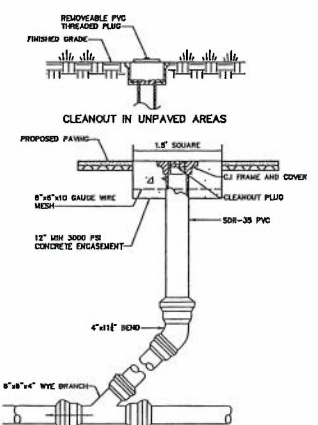
BIORETENTION BASIN
 TYPICAL CROSS-SECTION



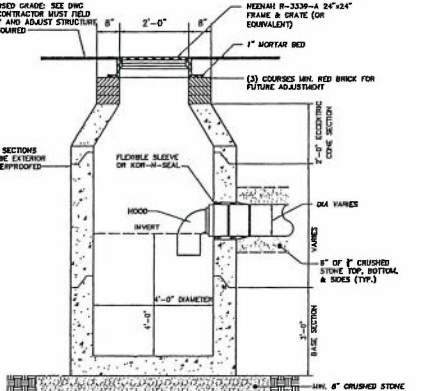
DISPENSER BOLLARD



BOLLARD



**CLEANOUT IN PAVED AREAS
 EXTERIOR CLEAN-OUT**



CATCH BASIN WITH HOOD

I HAVE EXAMINED THESE PLANS AND REPRESENTED FOR THE ARCHITECT, ENGINEER, CONTRACTOR, SUBCONTRACTOR OR SUPPLIER. I HAVE REVIEWED THE DRAWINGS AND SPECIFICATIONS FOR CONFORMANCE WITH THE PROVISIONS OF THE PROJECT ORDER BY THE BOARD OF ARCHITECTS AND ENGINEERS OF THE STATE OF MASSACHUSETTS. I AM NOT PROVIDING CONTRACT ADMINISTRATION, SUPERVISION, OR CONSTRUCTION MANAGEMENT SERVICES. I AM NOT PROVIDING CONTRACT ADMINISTRATION, SUPERVISION, OR CONSTRUCTION MANAGEMENT SERVICES. I AM NOT PROVIDING CONTRACT ADMINISTRATION, SUPERVISION, OR CONSTRUCTION MANAGEMENT SERVICES.

AYOUB ENGINEERING
 614 BENEFIT STREET
 MARLBOROUGH, MA 01551
 401-728-6533

PROJECT ADDRESS
ONE ENERGY, INC
 20 DEEBER AVENUE
 MARLBOROUGH, MA 01551

PREPARED FOR
SEASONS CORNER MARKET
 121 BOLTON ST. MARLBOROUGH, MA

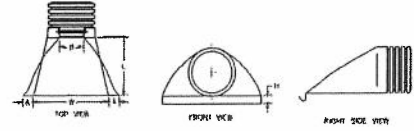
SHEET DESCRIPTION
SITE DETAIL SHEET

PROJECT NO. 0773.115
 SCALE AS NOTED
 DRAWN BY AK
 DATE 01/17/10

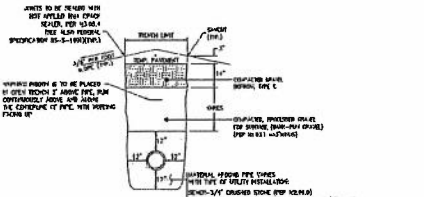
SHEET NO.
SD-3

Diameter	PIPE DIAMETER IN (mm)				
	12	16	24	30	36
Height	2.00	2.75	4.00	5.00	6.00
Weight	1.50	2.25	3.75	5.25	6.75
W (lb/ft)	(100)	(150)	(250)	(350)	(450)
W (kg/m)	(149)	(224)	(371)	(520)	(669)
W (lb/ft)	1.50	2.25	3.75	5.25	6.75
W (kg/m)	(100)	(150)	(250)	(350)	(450)
W (lb/ft)	1.50	2.25	3.75	5.25	6.75
W (kg/m)	(100)	(150)	(250)	(350)	(450)

Product detail may vary slightly from actual product appearance



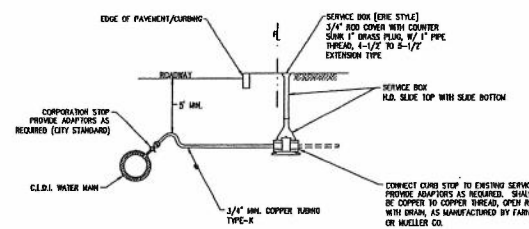
FLARED END DETAIL



NOTE:

1. TEMPORARY FAVENMENT TO BE PLACED FOR A MINIMUM OF 24 HOURS BEFORE SOIL IS TO BE COMPLETELY REMOVED FROM TRENCH.
2. WATER TABLE PIPE IS TO HAVE MINIMUM COVER DEPTH OF 3 FEET FROM FINISHED SURFACE.

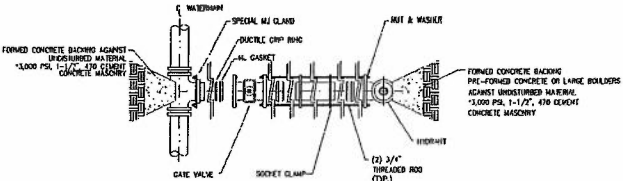
TYPICAL EXCAVATION TRENCH
Not to Scale



NOTES:

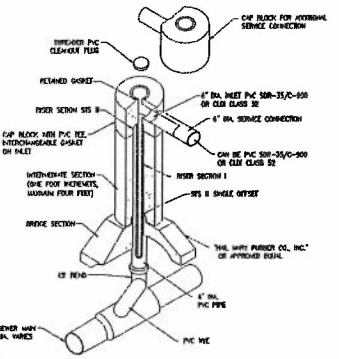
1. FLUSH ALL NEW SERVICE LINES PRIOR TO CONNECTION.
2. UPON CONNECTION, REMOVE AND DISPOSE OF OLD SERVICE LINE FROM CORPORATION VALVE TO CURB STOP, CURB STOP AND BOX.
3. COVER TUBING TYPE-K AND CURB STOP TO BE ENCASED IN 12" MIN. SAND.
4. ALL FITTINGS, CONNECTIONS, CORPORATION, CURB STOPS AND SERVICE APPURTENANCES SHALL BE SERVICE BRASS AS FOLLOWS: SERVICE BRASS SHALL CONFORM TO ASTM STANDARD C-800 (LATEST REVISION) AND FLANGE JOINT END CONNECTIONS SHALL CONSIST OF BURMA-H BEVELED GASKET FOR WATER TIGHT SEAL, AN INDEPENDENT, SPURT-CLAMP LOCKING DEVICE OR STAINLESS STEEL BEVELED GASKET SHALL BE INCORPORATED IN THE DESIGN FOR ADDITIONAL RESTRAINT, FORD, WELLS, OR RED RED SERVICE BRASS IS ACCEPTED IN BIGHT SUBSTITUTE.

TYPICAL SERVICE CONNECTION
N.T.A.



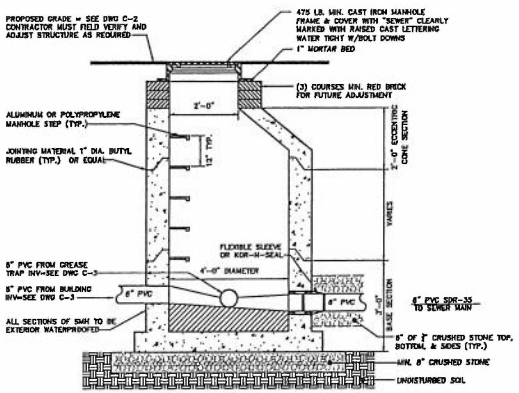
VALVE CONNECTION

Not to Scale



- NOTES:
1. 24" R-24-200 FRAME AND COVER HS-20 LOADING SHALL BE USED WITH "SEWER" OR COVER OR APPROVED EQUAL.
 2. PRECAST STRUCTURES WILL ONLY BE REQUIRED FOR CHANGE IN ELEVATION OR CHANGE IN DIRECTION NOT FOR RANS IN EXCESS OF 90°.

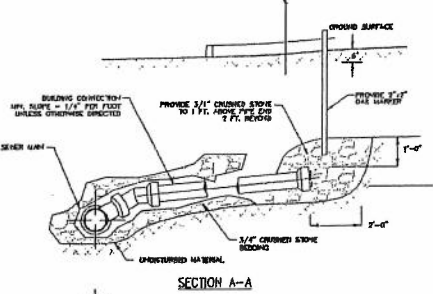
PRECAST SEWER CLEANOUT
Not to Scale



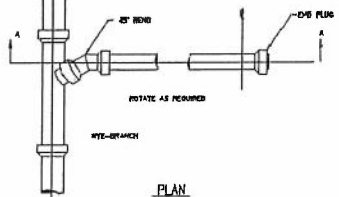
SEWER MANHOLE

Not to Scale

- NOTES:
1. STRUCTURES SHALL BE DESIGNED FOR HS-20 LOADING



SECTION A-A



PLAN

SEWER SERVICE CONNECTION
Not to Scale

FROM ENGINEER OFFICE (ENCLOSURE) RESPONSIBILITY FOR ALL DESIGN, CONSTRUCTION, AND OPERATIONAL ASPECTS OF THE WORK IS THE CONTRACTOR'S. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT AND FOR THE SAFETY AND PROTECTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT AND FOR THE SAFETY AND PROTECTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT AND FOR THE SAFETY AND PROTECTION OF THE PROJECT.

NO.	DATE	REVISIONS

AYOUB ENGINEERING
ENGINEER'S ADDRESS:
112 BENNETT STREET
PANTUOGUE, MASSACHUSETTS 02861
401-728-5853

ONE ENERGY, INC.
PROJECT ADDRESS:
121 BOSTON ST. MARLBOROUGH, MA 01722

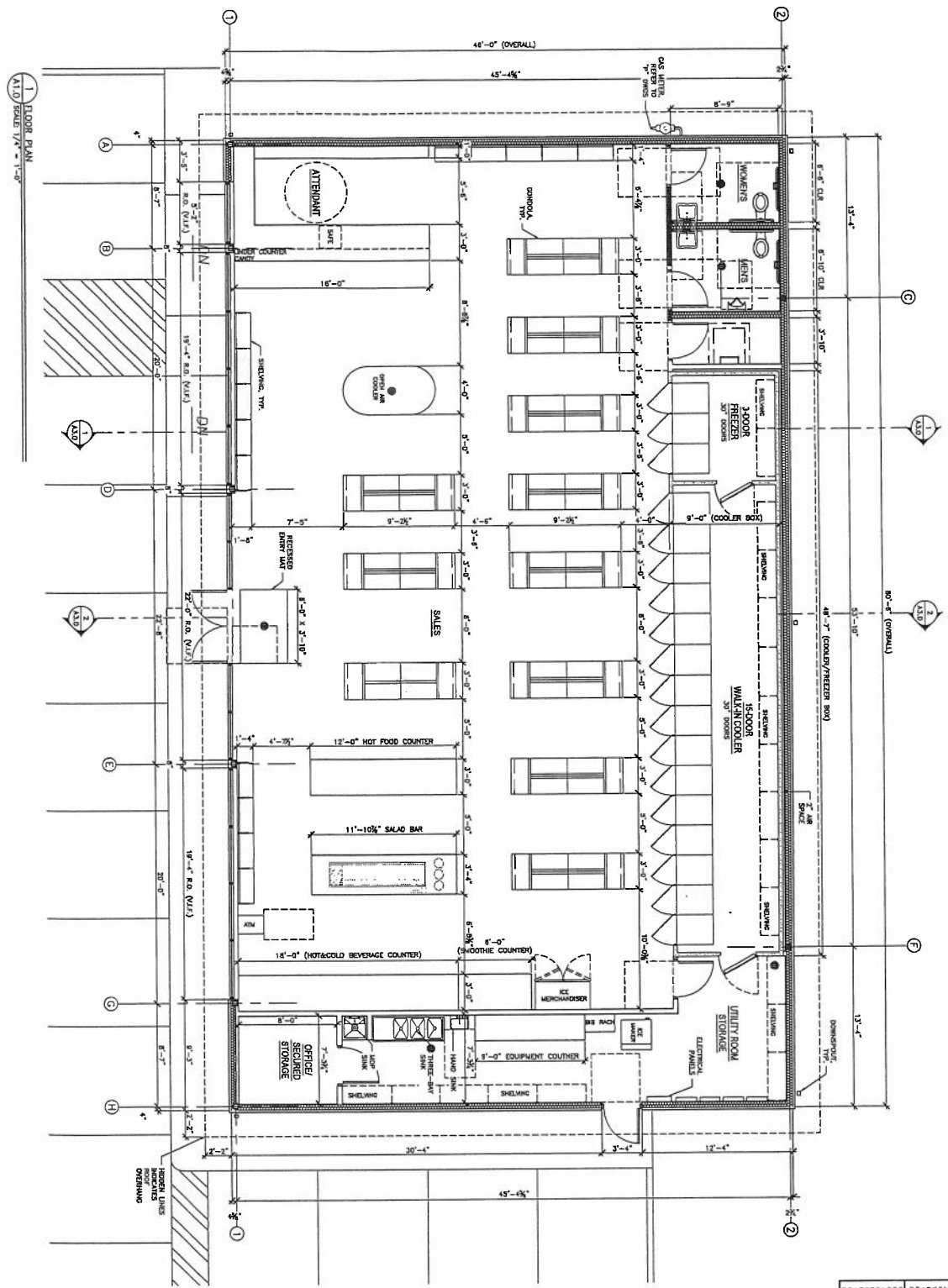
DESIGNED FOR:
SEASONS CORNER MARKET
121 BOSTON ST. MARLBOROUGH, MA 01722

SHEET DESCRIPTION:
SITE DETAIL SHEET

PROJECT NO. 0872.118
SCALE AS NOTED
DRAWN BY AK
DATE 04/17/10

SHEET NO. **SD-4**

WALL ASSEMBLIES:
 STUD WALL ASSEMBLY, SEE WALL TYPES
 INSULATED GIRD WALL ASSEMBLY, SEE WALL TYPES
 COOLING/FREEZER WALL ASSEMBLY, BY OWNER



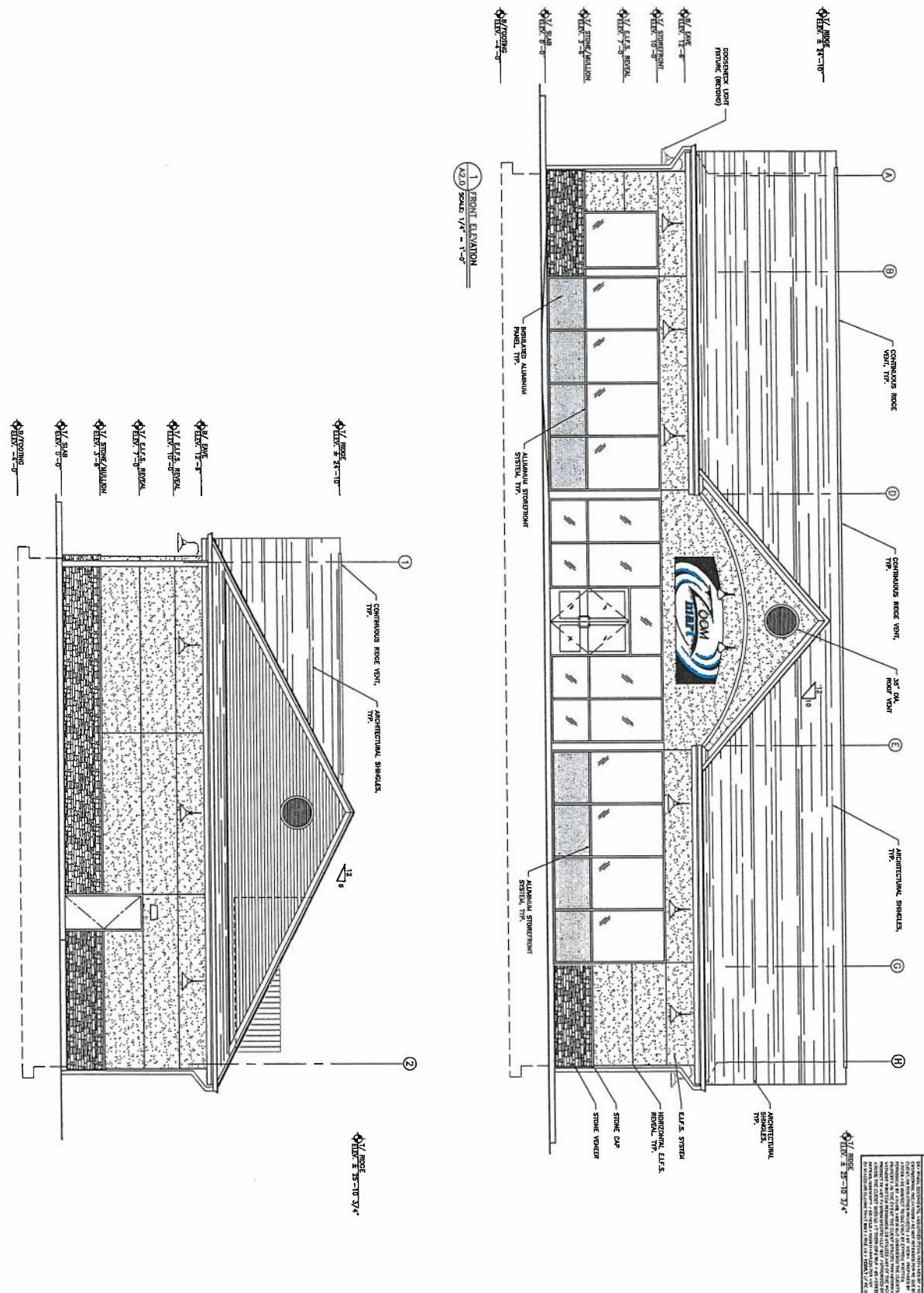
A1.0

PROJECT NO. 082119
 DATE 11/20/19
 DRAWN BY NAG
 CHECKED BY EPL
 PROJECT LOCATION
MARLBOROUGH, MA
 122 BOLTON STREET
 SHEET DESCRIPTION
FLOOR PLAN

PREPARED FOR
ONE ENERGY, INC.
 45 LAKESIDE AVENUE, SUITE 302
 MARLBOROUGH, MA 01752

PREPARED BY
AYOUB
 ENGINEERING
 ENGINEERS & ARCHITECTS

REV	PER	DATE	DESCRIPTION	BY



REVISIONS

REV	PER	DATE	DESCRIPTION	BY

PREPARED BY
AYVOUB
ENGINEERING
ENGINEERS & ARCHITECTS

U.S. MAPLE STREET
MARLBOROUGH, MASSACHUSETTS 01501
978-335-3021

PREPARED FOR
ONE ENERGY, INC.
426 LAKESIDE AVENUE, SUITE 302
MARLBOROUGH MA 01752

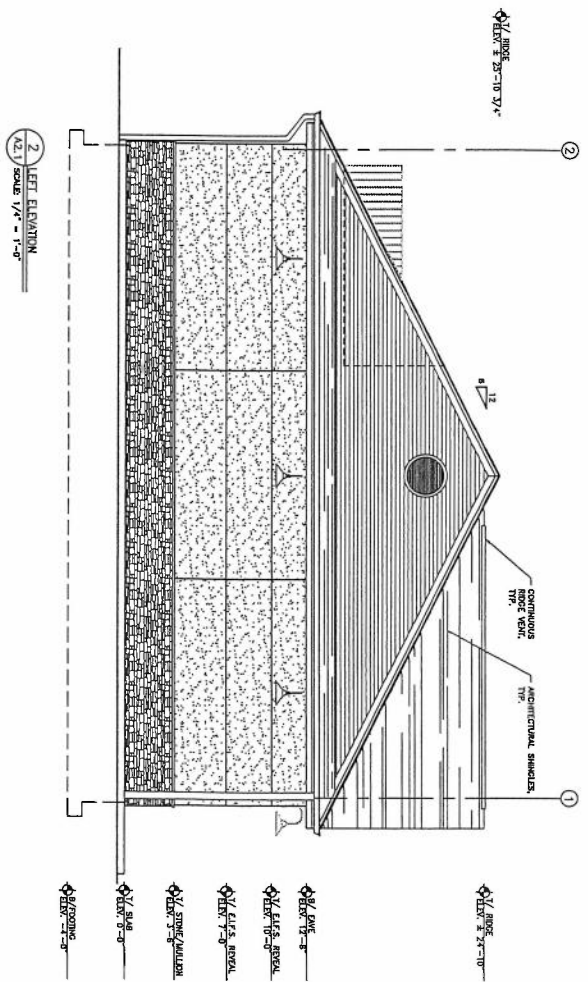
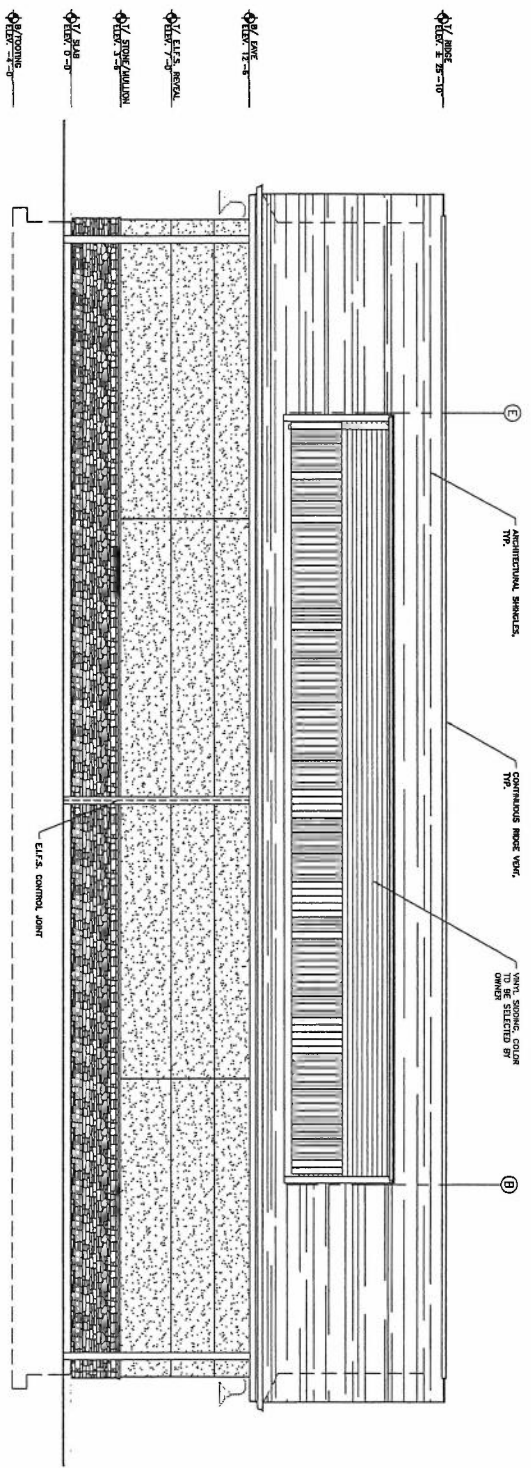
PROJECT LOCATION
MARLBOROUGH, MA
121 BOLTON STREET

SHEET DESCRIPTION
EXTERIOR ELEVATIONS

PROJECT NO. 082.119
SCALE: AS SHOWN
DATE: 11/20/09
DRAWING NUMBER
A2.0

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REV	PER	DATE	DESCRIPTION	BY



PROJECT NO. 083114
 SCALE AS SHOWN
 DRAWN BY LHC/STB
 DATE 11/04/19
 DRAWN/AMENDED

PROJECT LOCATION
MARLBOROUGH, MA
 121 BOLTON STREET

SHEET DESCRIPTION
EXTERIOR ELEVATIONS

PREPARED FOR
ONE ENERGY, INC.
 421 LAKESIDE AVENUE, SUITE 302
 MARLBOROUGH, MA 01752

PREPARED BY
AYOUB ENGINEERING
 ENGINEERS & ARCHITECTS
 555 N. 9th St.
 Suite 1100
 Minneapolis, MN 55415