



IN CITY COUNCIL

Marlborough, Mass., OCTOBER 7, 2019

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ORDERED:

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IN CITY COUNCIL

DECISION ON A SPECIAL PERMIT VINCENZA SAMBATARO

CITY OF MARLBOROUGH
CITY COUNCIL ORDER NO. 19-1007571F
X 18/19-1007135

DECISION ON AN APPLIATION FOR SPECIAL PERMIT

The City Council of the City of Marlborough hereby GRANTS the Application for a Special Permit to Vincenza Sambataro (the "Applicant") to build and operate a Mixed Use Development at 161-175 Main Street, as provided in this Decision and subject to the following Findings of Fact and Conditions.

FINDINGS OF FACT

1. The Applicant, Vincenza Sambataro, is an individual with an address of 22 Indian Rock Road, Wayland, Massachusetts 01778.
2. The Applicant is the owner and prospective owner of the property located at 161-175 Main Street, Marlborough, Massachusetts, being shown as Parcels 76A, 77, 78, and 79 on Assessors Map 70, currently owned by the Applicant, and portions of Parcels 33A, 34, and 77A on Assessors Map 70 and portions of the adjacent stair property currently owned by the City of Marlborough (collectively, the "Site").
3. In accordance with Article VI, Section 650-34, of the Zoning Ordinance of the City of Marlborough ("Zoning Ordinance"), the Applicant proposes to build a 97,891 square foot Mixed Use Development at 161-175 Main Street, in a building with 67 residential units, 43 on-site parking spaces, and street level commercial units (the "Use").
4. For purposes of the Zoning Ordinance, the Site is located in the Marlborough Village District, with a small 98 square foot portion in the Business District.
5. The Site has an area of 21,650 square feet +/- as per the Site Plan referenced in paragraph 7 below, plus 1,592 +/- square feet not currently owned by Applicant.



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6. The Applicant, by and through its counsel, filed with City Clerk of the City of Marlborough an Application for a Special Permit on February 20, 2019 (“Application”) for the following aspects of the Use:
 - A. A seventh (7th) story and a total building height of 81 feet, including within 50 feet of a residential zone, to accommodate a roof deck, authorized by special permit in accordance with Section 650-34.F(1) and Section 650-41, Attachment 2, Note 12;
 - B. Total lot coverage of 94%, authorized by special permit in accordance with Section 650-41, Attachment 2, Note 13;
 - C. A rear setback of 0 feet, authorized by special permit in accordance with Section 650-41, Attachment 2, Note 15;
 - D. A Mixed-Use Development over a 98 square foot portion of the Site zoned Business, authorized by special permit in accordance with Section 650-17, Attachment 1; and
 - E. Authorization for the issuance of building permits for more than 100 residential units in the Village District in a single calendar year, authorized by special permit in accordance with Section 650-34. G(1).
7. In connection with the Application, the Applicant submitted a certified list of abutters, filing fees, a detailed site plan entitled “E On Main” by Bruce Saluk and Assoc. Inc., said plans being comprised of Cover Sheet and Sheets EX, C1, C2, C3, C4, C5, C6, C7, and C8, with the last revision date of July 15, 2019 (said set of plans hereinafter, collectively, the “Site Plan”); and a set of twenty-one (21) architectural drawing sheets entitled “E on Main Retail and Residential” by JD LaGrasse & Associates, with the last revision date of July 12, 2019 (collectively with the Site Plan, the “Plans”), attached hereto as **“Attachment A.”**
8. The Application was certified by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, as having complied with Rule 4, items (a) through (m), of the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.



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9. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.
10. The Marlborough City Council, pursuant to Massachusetts General Laws Chapter 40A, opened a public hearing on the Application on Monday, April 8, 2019. The hearing was closed on that date.
11. The Applicant, through its representatives, presented testimony at the public hearing detailing the Use, describing its impact upon municipal services, the neighborhood, and traffic.
12. At the public hearing, two members of the public spoke in opposition to the Use.
13. The Applicant, through its representatives, submitted a shadow study dated April 30, 2019, demonstrating that the shadow cast by the proposed building on December 21 at 9:00 a.m., the date each year when shadows are the longest, would not impact the property located at 15 Grant Court.
14. The Applicant, through its representatives, conducted balloon tests on May 29, 2019 and July 23, 2019, to demonstrate the height of the proposed building, with notices of the balloon tests being mailed to property owners listed on the certified list of abutters and being posted on the City website.

BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING FINDINGS AND TAKES THE FOLLOWING ACTIONS

- A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.
- B. The City Council finds that the proposed Use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.
- C. The City Council finds that public safety will not be impacted by a reduction of the underground rear setback to zero feet and the reduction will yield a better design for the Use.



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ORDERED:

- D. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby **GRANTS** the Applicant a Special Permit to build and operate a Mixed Use Development as shown on the Plans filed, **SUBJECT TO THE FOLLOWING CONDITIONS**, which conditions shall be binding on the Applicant, its successors and/or assigns:
1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable laws, codes, and regulations, including without limitation, Building Code and Zoning Ordinance, in effect in the City of Marlborough and the Commonwealth of Massachusetts, and shall be built in compliance with this Special Permit and according to the Plans as may be amended during Site Plan Review.
 2. Compliance with Applicable Laws. The Applicant, its successors and/or assigns agrees to comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of the Use.
 3. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review by the City Council in accordance with Section 650-34 of the Zoning Ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications or amendments, as required during the process of Site Plan Review, shall be further conditions of this Special Permit and conditions attached to the building permit, and no occupancy permit shall be issued until the Applicant has complied with all conditions. Site Plan Review shall be consistent with the conditions of this Special Permit and the Plans submitted, reviewed and approved by the City Council as the Special Permit Granting Authority. Conditions imposed by site plan review, as approved by the City Council, shall also be conditions of this Special Permit, and any violations of those conditions shall be violations of this Special Permit. Modification of site plan shall be permitted to the extent allowed by the ordinances of the City of Marlborough.
 4. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.



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ORDERED:

5. Storm Water and Erosion Control Management. The Applicant, its successors and/or assigns, shall ensure that its site superintendent during construction of the project is competent in stormwater and erosion control management. This individual(s)' credentials shall be acceptable to the Engineering Division of the City's Department of Public Works and the City's Conservation Commission. This individual(s) shall be responsible for checking the Site before, during, and after storm events including weekends and evenings when storms are predicted. This individual(s) shall ensure that no untreated stormwater leaves the Site consistent with the State's and the City's stormwater regulations. This individual(s) shall ensure compliance with the approved sequence of construction plan and the approved erosion control plan. The Applicant, its successors and/or assigns, shall grant this individual(s) complete authority of the Site as it relates to stormwater and erosion controls.
6. Noise. In addition to complying with all City ordinances and regulations concerning noise and nuisances, the Applicant, its successors and/or assigns, shall stipulate in the bylaws governing the Use that no individual(s) shall use the exterior areas of the building's roof deck or exterior patios and balconies of the building in such a way as to generate noise that unreasonably disturbs neighboring properties. Amplified sound shall not be permitted on the north side of the exterior area of the building's roof deck.
7. Roof Deck Use. The roof top and roof deck shall be for the exclusive use of the residents of the building on the Site and/or their guests and shall not be utilized for outside events or rented or leased.
- 7A. Roof Deck Occupancy. The maximum number of people allowed on the building's roof top and roof deck level at one time shall be 325.
- 7B. Lighting. Exterior lighting at the Site shall be downward facing and shielded to minimize impacts on neighboring properties.
8. Recording of Decision. In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council's office, the Building Department, and the City Solicitor's office.



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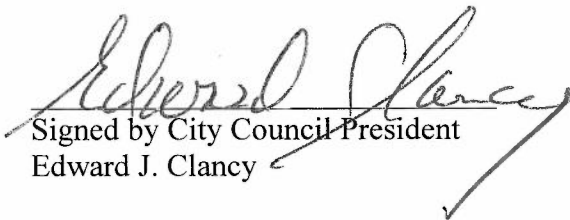
PAGE 6

ORDERED:

Yea: 10 – Nay: 1

Yea: Delano, Doucette, Dumais, Tunnera, Clancy, Landers, Juairé, Oram, Ossing & Robey.

Nay: Irish


Signed by City Council President
Edward J. Clancy

ADOPTED
In City Council
19-1007571F
X 18/19-1007135

ATTACHMENT "A"

E ON MAIN

163-175 MAIN STREET MARLBOROUGH, MA

SITE PLAN - AMENDED -

MARLBOROUGH, MA ZONING CHART		
THE LAND SHOWN IS LISTED AS ASSESSOR LOTS 76A, 77-78 AND A PORTION OF LOTS 33A, 34, 77A ON MAP 70 AND CITY STAIRWAY LIND. WITH THE EXCEPTION OF PARCEL 78A, THE PROPERTY IS LOCATED IN THE MARLBOROUGH VILLAGE DISTRICT (MD). *1		
ITEM	REQUIRED	PROPOSED
LOT AREA (MIN.)	5000 SF	21,650 SF *1
FRONTAGE	25 FT	207.89 FT *1
FRONT SETBACK	0 FT	0 FT
SIDE SETBACK	0 FT	0 FT
REAR SETBACK	10 FT	10 FT ABOVE GROUND 0 FT UNDERGROUND *5
COVERAGE	80% MAX	94% *2
BUILDING HEIGHT	70 FT (MAX)	81 FT *3
DISTANCE FROM A RESIDENTIAL DISTRICT	-----	PROPERTY COTERMINOUS WITH ZONE "RB"
TOTAL PRIVATE OPEN SPACE	6700 SF	>6700 SF *4

PARKING SCHEDULE		
ITEM	REQUIRED	PROPOSED
STUDIO & 1 BEDROOM (36 UNITSx0.75)	27	-----
2 BEDROOM (31 UNITSx1.25)	39	-----
TOTAL PARKING	66	43 (42 QUALIFYING)*6
COMPACT PARKING	33% MAX	15(14 QUALIFYING) *6
STANDARD PARKING	-----	26
ACCESSIBLE PARKING	2	2

FOOTNOTES:

- *1 INCLUDES 1562 SF OF CITY LAND TO BE PURCHASED BY THE DEVELOPER FOLLOWING CITY APPROVALS. ASSESSOR PARCEL 70-76A WILL MERGE WITH PARCEL 70-77 WHEN THE CITY UPDATES THE ASSESSOR MAPS. THE 918 SF OF ASSESSOR PARCEL 70-76A AT THE REAR OF THE PROPERTY IS LOCATED IN THE BUSINESS ZONE. THE APPLICANT IS SEEKING A SPECIAL PERMIT FOR A MIXED USE DEVELOPMENT IN A BUSINESS ZONE FOR ASSESSOR PARCEL 70-76A.
- *2 SPECIAL PERMIT SOUGHT FOR AN INCREASE IN MAXIMUM COVERAGE IN SECTION 650-41.
- *3 SPECIAL PERMIT SOUGHT TO ALLOW FOR AN INCREASE IN HEIGHT IN SECTION 650-34(F)1 TO 7 STORES AND UP TO 85 FT, INCLUDING WITHIN 50 FT OF A RESIDENTIAL ZONE.
- *4 WAIVER TO SECTION 650-34-(H)4 IS SOUGHT TO ALLOW OPEN SPACE REQUIREMENT TO BE MET WITH UNIT BALCONIES AND COMMON SPACE LOCATED ABOVE THE GROUND LEVEL.
- *5 SPECIAL PERMIT TO SECTION 605-41 IS SOUGHT FOR A 0 FT REAR UNDERGROUND SETBACK.
- *6 THERE ARE 43 SPACES SHOWN ON THE PLAN: 15 COMPACT AND 28 STANDARD AND ACCESSIBLE SPACES. ONE (1) COMPACT SPACES THAT EXCEED THE 33% ALLOWED COMPACT SPACES ARE NOT LISTED IN THE PARKING SCHEDULE AS QUALIFYING. PAYMENT IN LIEU OF PARKING SHALL BE MADE PER SECTION 650-34(E)2.



OWNER & APPLICANT:

VINCENZA SAMBATARO
c/o MIRICK O'CONNELL
100 FRONT STREET
WORCESTER, MA 01608
TEL: 508-929-1678 (ATTY. BRIAN R. FALK)

ARCHITECT:

JD LaGrasse & Associates, Inc.
Architects, Engineers & Land Planners
One Elm Square
ANDOVER, MA 01810
TEL: 978-470-3675

ENGINEER & SURVEYOR:

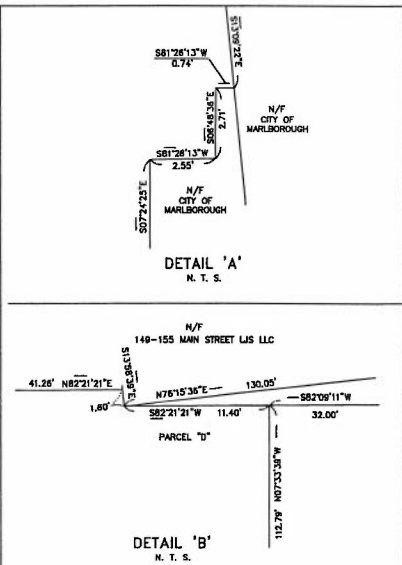
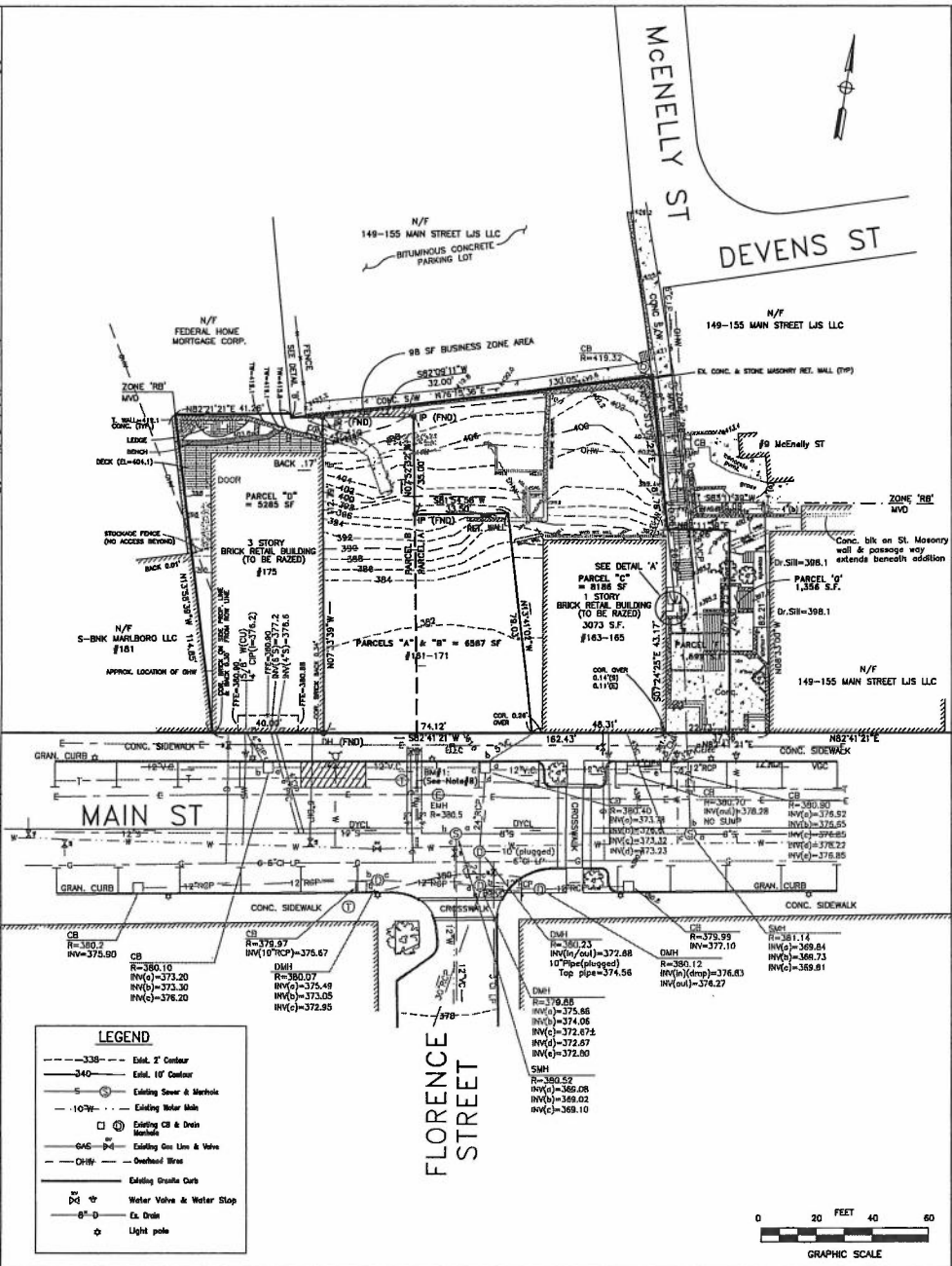
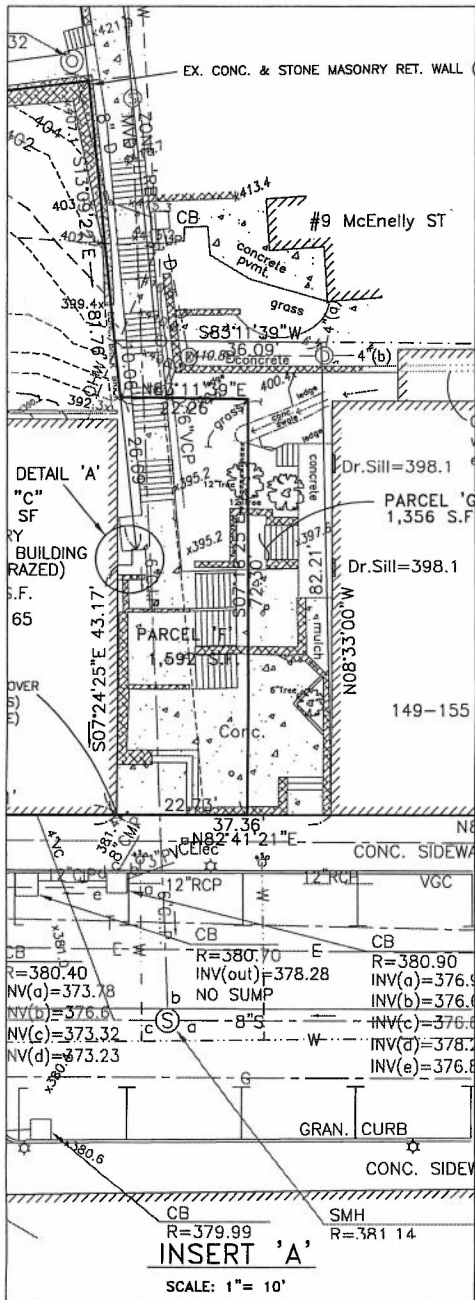
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752
TEL: 508-485-1662
FAX: 508-481-9929

SHEET INDEX

	DATE	REV. DATE
COVER SHEET -----	1-15-18	7-15-19
EX: EXISTING CONDITIONS -----	1-15-18	5-2-19
C1: LAYOUT PLAN -----	1-15-18	7-15-19
C2: GRADING & EROSION CONTROL -----	1-15-18	7-15-19
C3: DRAINAGE, WATER, SEWER & UTILITIES -----	1-15-18	7-15-19
C4: PLAN & PROFILE -----	5-23-18	7-15-19
C5: PLANTING -----	1-15-18	7-15-19
C6: DETAILS -----	1-15-18	5-31-18
C7: DETAILS -----	1-15-18	2-14-19
C8: DETAILS -----	7-11-18	7-15-19

SITE PLAN APPROVAL # _____

PLANS LISTED ON THIS SHEET WITH REVISION DATES AS SHOWN	
APPROVED:	
ENGINEERING: _____	DATE: _____
BUILDING: _____	DATE: _____
CONSERVATION: _____	DATE: _____
FIRE DEPT: _____	DATE: _____
POLICE DEPT: _____	DATE: _____
BOARD OF HEALTH: _____	DATE: _____



NOTES:

- 1.) PARCELS A, B, C & D, CONSISTING OF 21,650 SF(0.50Ac.), ARE OWNED BY VINCENZA SAMBATARO. THESE 4 PARCELS ARE LISTED AS ASSESSOR LOTS 76A,77,78,79 ON MAP 70. PARCEL 76A WILL MERGE WITH PARCEL 77 WHEN THE CITY UPDATES THE ASSESSOR MAPS.
- 2.) PARCEL 'I' (1592 SF) INCLUDES 4 PARCELS OWNED BY THE CITY OF MARLBOROUGH. THREE PARCELS ARE LISTED AS ASSESSOR LOTS 33A, 77A & 34 ON MAP 70. THE 4TH PARCEL IS A PORTION OF THE STAIRWAY OWNED BY THE CITY OF MARLBOROUGH. WITH THE EXCEPTION OF THE 98 SF BUSINESS ZONE AREA SHOWN, THESE PROPERTIES ARE LOCATED IN THE MARLBOROUGH VILLAGE DISTRICT(MVD). THE PROPERTY IS NOT LOCATED IN A FEMA SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA F.I.R.M. MAP #2501700481F, DATED JULY 7, 2014.
- 3.) PLAN REFERENCES:
PLAN 1356 OF 1975 IN BK 12910 PG 555
PLAN 2058 OF 1976 IN BK 12855 PG 119
PLAN 217 OF 1981 IN BK 14228 PG 23
LAND COURT PLAN 11469A BK 141 PG 487
- 4.) PARCELS 'A' & 'B' SHOWN ARE LISTED AS 169-171 MAIN STREET AND THE DEED REFERENCE IS BK 70,281 PG 571.
PARCEL 'C' SHOWN IS LISTED AS 163-165 MAIN STREET AND THE DEED REFERENCE IS BK 70,281 PG 571.
PARCEL 'D' SHOWN IS LISTED AS 175 MAIN STREET AND THE DEED REFERENCE IS BK 1519 PG 42.
PARCEL 'E' CONSISTS OF 4 PARCELS WITH DEED REFERENCES BK 12910 PG 555, BK 12865 PG 119, BK 12932 PG 584 AND THE BOOK & PAGE FOR THE STAIRWAY PARCEL TO BE DISCLOSED BY TITLE.
- 5.) THE ELEVATIONS SHOWN ARE ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (1929 NAVD).
- 6.) THE INSTRUMENT SURVEY SHOWN WAS PERFORMED DURING JULY 2016.
- 7.) THE UTILITIES SHOWN ON THIS PLAN ARE PARTLY FROM EXISTING MUNICIPAL, UTILITY MARK OUTFITS, RECORD DRAWINGS AND ARE APPROXIMATE. ONLY THERE MAY BE EXISTING LINES OTHER THAN THOSE SHOWN HEREON. THE CONTRACTOR IS REQUIRED TO CONTACT THE PROPER UTILITY COMPANIES & DIG SAFE PRIOR TO BEGINNING WORK. OUR FIRM DOES NOT WARRANT OR GUARANTEE THE LOCATION OF ANY UTILITY, PIPING AND SERVICES.
- 8.) THE SURVEY SHOWN WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE AND IS SUBJECT TO CHANGE THAT SAID TITLE MAY DISCLOSE.
- 9.) THE DEED FOR PARCEL 'C' DOES NOT EXCEPT FROM THE LOCUS PREMISES A 98 SF PARCEL SHOWN AS LOT A-1 RECORDED ON PLAN 217 OF 1981.
- 10.) BENCHMARKS:
BM#1 = CHISELED SQUARE IN LIGHTPOLE BASE. ELEV=380.77
BM#2 = CHISELED SQUARE NW COR. OF GRANITE BLOCK BESIDE CITY HALL FRONT STEPS. ELEV=386.81

OWNER & APPLICANT:
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c/o MIRICK O'CONNELL
100 FRONT STREET
ROCHESTER, MA 01756
(ATTY. BRIAN R. FALK)

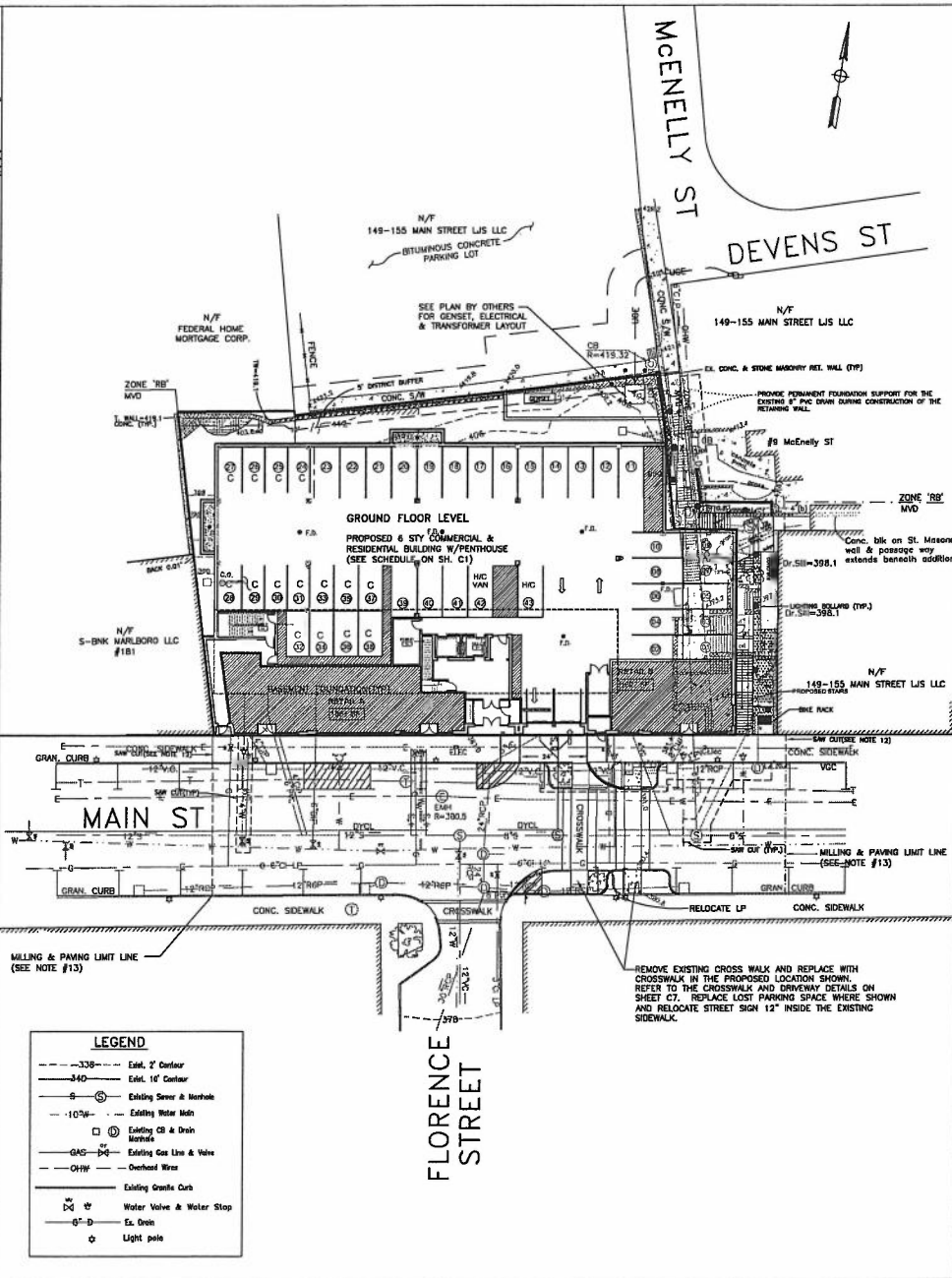
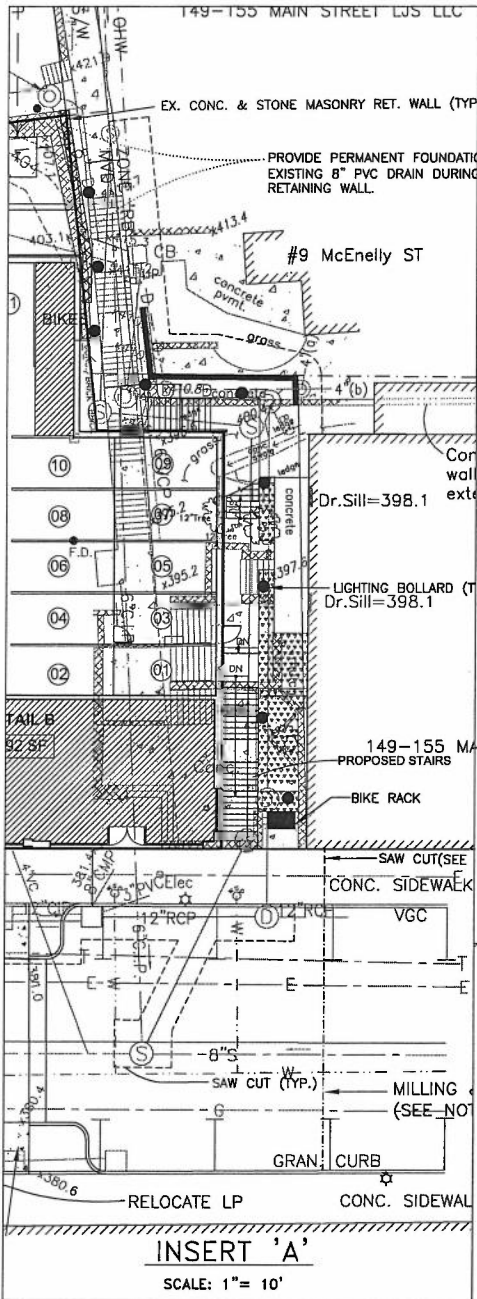
PREPARED BY:
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578 BOSTON POST ROAD EAST
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TEL: 508-481-8925
FAX: 508-481-8925

**EXISTING CONDITIONS PLAN
E ON MAIN
163-175 MAIN STREET -
MARLBOROUGH, MA**

DATE: JANUARY 15, 2018

EX

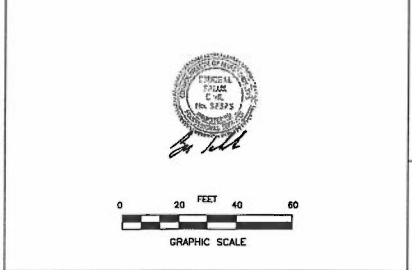
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- NOTES:**
- THE BUILDING USE AND AREA SCHEDULE IS AS FOLLOWS:
 - GROUND FLOOR (ELY=381.00)
 - COMMERCIAL SPACE
 - LOBBY, VESTIBULE, MAIL ROOM, STAIRS, ELEVATOR & TRASH/RECYCLE & EDRESS
 - GROSS PARKING AREA (90 SPACES)
 - LOT COVERAGE:
 - SEE ZONING SCHEDULE ON THE COVER SHEET
 - ANY MINOR MODIFICATIONS, AS DETERMINED BY THE CITY ENGINEER, TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED. THE CONTRACTOR SHALL BE PROPERLY LICENSED AND BONDED WITHIN THE CITY PRIOR TO CONSTRUCTION, AND SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT OF WAY.
 - ALL HANDICAP PARKING, RAMP AND ACCESS SHALL CONFORM TO AHS REQUIREMENTS. REFER TO S21 CMR.
 - ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
 - ALL PROPOSED SIGNAGE SHALL COMPLY WITH THE EXISTING CITY OF MARLBOROUGH PER THE ROAD OPENING PERMIT REQUIREMENTS.
 - CURBING TYPE & ENTRANCES SHOWN ARE SUBJECT TO APPROVALS BY THE CITY OF MARLBOROUGH PER THE ROAD OPENING PERMIT REQUIREMENTS.
 - ALL MATERIALS/CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE CODE OF THE CITY OF MARLBOROUGH. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY CONSERVATION COMMISSION REQUIREMENTS (SEE SHEET C2 FOR ADDITIONAL REQUIREMENTS).
 - CITY INSPECTORS REQUIRE A MINIMUM NOTICE OF 24 HOURS PRIOR TO INSPECTION.
 - REFER TO THE GRADING PLAN (SH. C2) NOTES CONCERNING EROSION CONTROL.
 - REFER TO THE ARCHITECTS PLAN FOR BUILDING AREA & SCENCE LIGHTING AND SIGNAGE.
 - SIDEWALK SAW CUTS SHALL BE AT THE NEAREST PANEL JOINT ON THE EXTERIOR SIDE OF THE SAW CUTS SHOWN. THE SIDEWALK ALONG THE FRONTAGE OF THE PROPERTY SHALL BE REPLACED WHERE EXISTING FOR THE BUILDING FOUNDATION DISTURBS OR COMPROMISES THE INTEGRITY OF THE EXISTING SIDEWALK. EXISTING SIDEWALKS ADJACENT TO CROSSWALK, BUMP CUTS AND DRIVEWAY, THE SIDEWALK SHALL BE FRAMED & POURED THE FULL WIDTH OF THE SIDEWALK AND FORMED TO LEAVE A SPACE FOR THE BRICK TO SET ON TOP OF (BONDED TO THE CONCRETE) THE CONCRETE SIDEWALK AND SHALL BE FLUSH WITH THE NEW SIDEWALK.
 - THE SECTION OF MAIN STREET ALONG THE PROJECT FRONTAGE SHALL BE MILLED & REPAVED, FROM CURB TO CURB TO ENCOMPASS ALL TRENCHES AND SIDEWALK/CURB RECONSTRUCTION. THIS WILL FACILITATE REMOVAL OF THE OLD BRICK STAMPED AND PAINTED CROSSWALK AND THE CONSTRUCTION OF THE NEW STAMPED BRICK PATTERN CROSSWALK IN THE NEW PAVEMENT. SEE THE CROSSWALK DETAIL ON SHEET C7.
 - A PRE-CONSTRUCTION MEETING IS REQUIRED BETWEEN THE DEVELOPER/CONTRACTOR, POLICE AND FIRE DEPARTMENTS. A TRAFFIC MANAGEMENT PLAN SHALL BE SUBMITTED TO THE CITY OFFICIALS 3 DAYS PRIOR TO THE MEETING.
 - SEE SHEET C3 FOR ABANDONMENT, REPLACEMENT AND REMOVAL OF EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE, UNDERGROUND GAS, WATER AND SEWER SERVICES.
 - SEE SHEET C3 FOR ALL PROPOSED OR EXISTING WATER, GARAGE FLOOR DRAIN, SEWER AND DRAIN CONNECTIONS.
 - REPLACEMENT OF THE EXISTING STAIRWAY AND SIDEWALK BETWEEN MAIN STREET AND THE REAR PROPERTY LINE SHALL BE PROVIDED BY THE DEVELOPER. THE REPLACED SECTION OF THE STAIRWAY AND SIDEWALK SHALL INCLUDE A THERMAL ELECTRICAL HEATING SYSTEM. THE ELECTRICAL CONNECTION FOR STAIRWAY HEATING & LIGHTING SHALL BE ON A SEPARATE LETER THAT IS PAID BY THE CITY. THE PROPOSED STAIRWAY DESIGN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

FLOOR	FLR ELEV	G/S	STUDIO	1 BED	2 BED
BASEMENT	388.30	4,231			
GROUND	381.00	18,322			
2ND FLOOR	387.00	14,281	0		7
3RD FLOOR	409.00	14,276	1	7	6
4TH FLOOR	418.77	14,275	0	8	6
5TH FLOOR	428.54	14,278	1	7	6
6TH FLOOR	438.31	12,800	1	5	6
PENTHOUSE	448.75	4,848			
ROOF	481.75				
TOTALS:	97,891		3	33	33
				TOTAL UNITS 67	

- LEGEND**
- 338--- Estab. 2' Contour
 - 340--- Estab. 10' Contour
 - 6--- Existing Sewer & Manhole
 - 1074--- Existing Water Main
 - 12--- Existing CB & Drain Manhole
 - GAS--- Existing Gas Line & Valve
 - OHW--- Overhead Wire
 - Existing Gravel Curb
 - Water Valve & Water Stop
 - Ex. Dr.
 - Light pole



NO.	DATE	BY	DESCRIPTION
1	1/15/18	BRUCE SALLUK	PREPARED
2	1/15/18	BRUCE SALLUK	REVISED
3	1/15/18	BRUCE SALLUK	REVISED
4	1/15/18	BRUCE SALLUK	REVISED
5	1/15/18	BRUCE SALLUK	REVISED
6	1/15/18	BRUCE SALLUK	REVISED
7	1/15/18	BRUCE SALLUK	REVISED
8	1/15/18	BRUCE SALLUK	REVISED
9	1/15/18	BRUCE SALLUK	REVISED
10	1/15/18	BRUCE SALLUK	REVISED

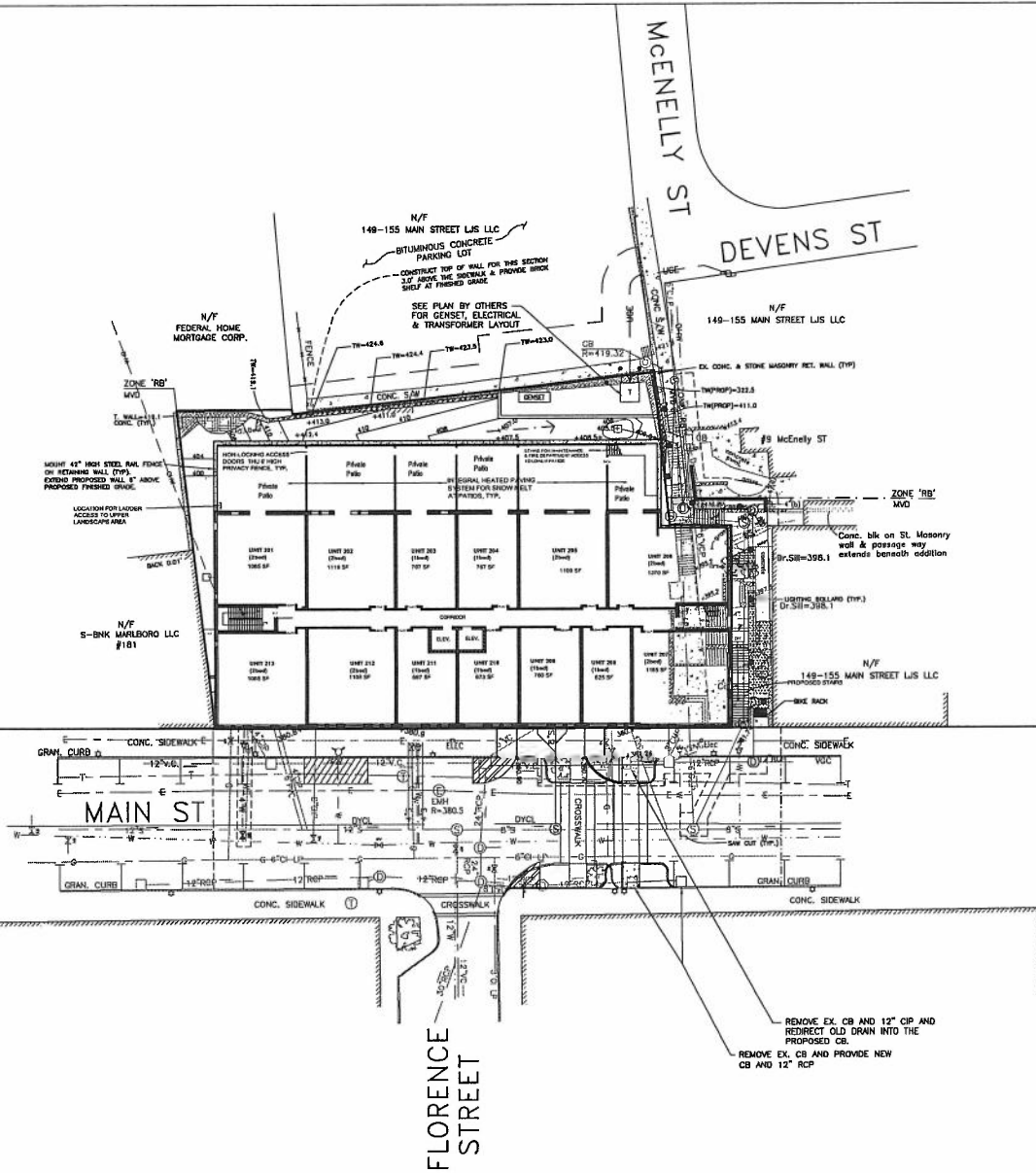
PREPARED BY:
 BRUCE SALLUK & ASSOC., INC.
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 TEL: 508-481-9923
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LAYOUT PLAN
 E ON MAIN
 - 163-175 MAIN STREET -
 MARLBOROUGH, MA

DATE: JANUARY 15, 2018

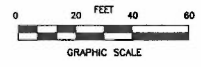
OWNER & APPLICANT:
 100 FRANK STREET
 WORCESTER, MA 01608
 TEL: 508-825-1678
 (ATTY. BRIAN R. FALO)

C1
 FILE: 2607C1.dwg



GRADING & EROSION CONTROL NOTES:

- 1.) The elevations shown are based on Mean Sea Level datum (1929 N.V.D.)
 - 2.) Refer to the Demolition Plan for the site demolition stage. Material storage & stockpile areas shall include erosion control barriers consisting of stacked haybales, wattles and siltation fence to prevent erosion onto the public way and adjoining properties.
 - 3.) Prior to commencing work, the contractor shall familiarize himself with the soil types on the site, and provide the appropriate erosion control measures, as outlined on this plan and required by the Marlborough Conservation Commission agent. The contractor shall be responsible for providing erosion and temporary storm runoff control measures that include siltation fence, wattles, ditches, temporary sediment basins, etc. as necessary to contain soil and excess runoff on the site.
- The general sequence of erosion control measures shall be as follows:
- a.) Install all siltation fencing and stacked wattles, along the front property line.
 - b.) Construct a sedimentation trap down gradient of the excavation area during the construction earthwork stage. Construct other temporary sedimentation trap(s) where required at the beginning stage of earthwork. Retain storm water within the trap(s), and filter the water using silt bags or other approved means prior to discharge. Periodically remove sediment at bottom of the silt traps to remove sediment at bottom of the silt traps to allow for natural infiltration.
 - c.) Construct the end-tracking berm at the site entrance consisting of a 3/4" x 2" crushed stone 12" depth by 30' long times the width of the traveled construction access. The stone shall project above grade to form a berm barrier that prevents sediment from washing into adjoining properties and the public road.
 - 4.) Demolished material from the existing buildings & site shall be stockpiled, transported, disposed of or reprocessed in accordance with state and federal regulations.
 - 5.) Provide excavation & trench wall protection in accordance with OSHA Standards, as specified by the geotechnical engineer.
 - 6.) The contractor shall follow the stabilization management practices and sequence proposed by the structural and geotechnical engineers. Soil management plan includes protection and stabilization of the soils, walls and improvements on the adjoining properties.
 - 7.) Soil stabilization measures shall be implemented immediately after finish grading. Loam and seed shall be applied as soon as reasonably possible.
 - 8.) See sheet C3 for abandonment, replacement and removal of existing overhead electric, telephone and cable and underground gas, water and sewer services.
 - 9.) See sheet C3 for all proposed or existing water, sewer and drain service connections.
 - 10.) The retaining walls shown hereon are for presentation only, and shall not be used for construction. See retaining wall design by others for all dimensions, heights and material specifications.



DATE	1/15/2018	BY	BRUCE SALLUK
SCALE	AS SHOWN	CHECKED	BRUCE SALLUK
PROJECT	149-175 MAIN STREET	DATE	1/15/2018
CLIENT	VINCENZA SAMBATARO	BY	BRUCE SALLUK
PROJECT NO.	149-175 MAIN STREET	CHECKED	BRUCE SALLUK
DATE	1/15/2018	DATE	1/15/2018
SCALE	AS SHOWN	SCALE	AS SHOWN

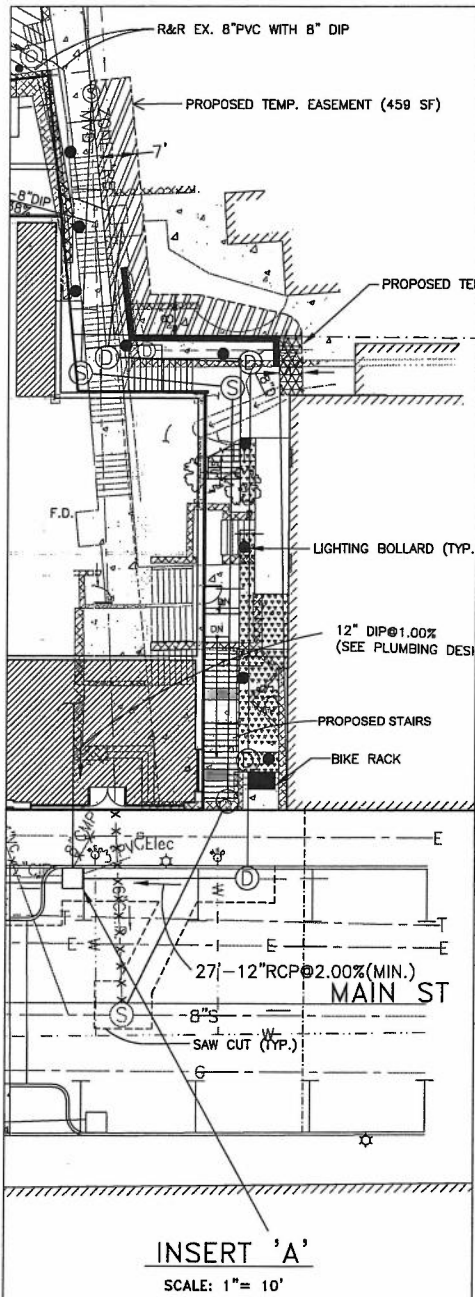
PREPARED BY:
BRUCE SALLUK & ASSOC., INC.
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 578 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752
 TEL: 508-548-1462
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**GRADING PLAN
 E ON MAIN
 149-175 MAIN STREET -
 MARLBOROUGH, MA**

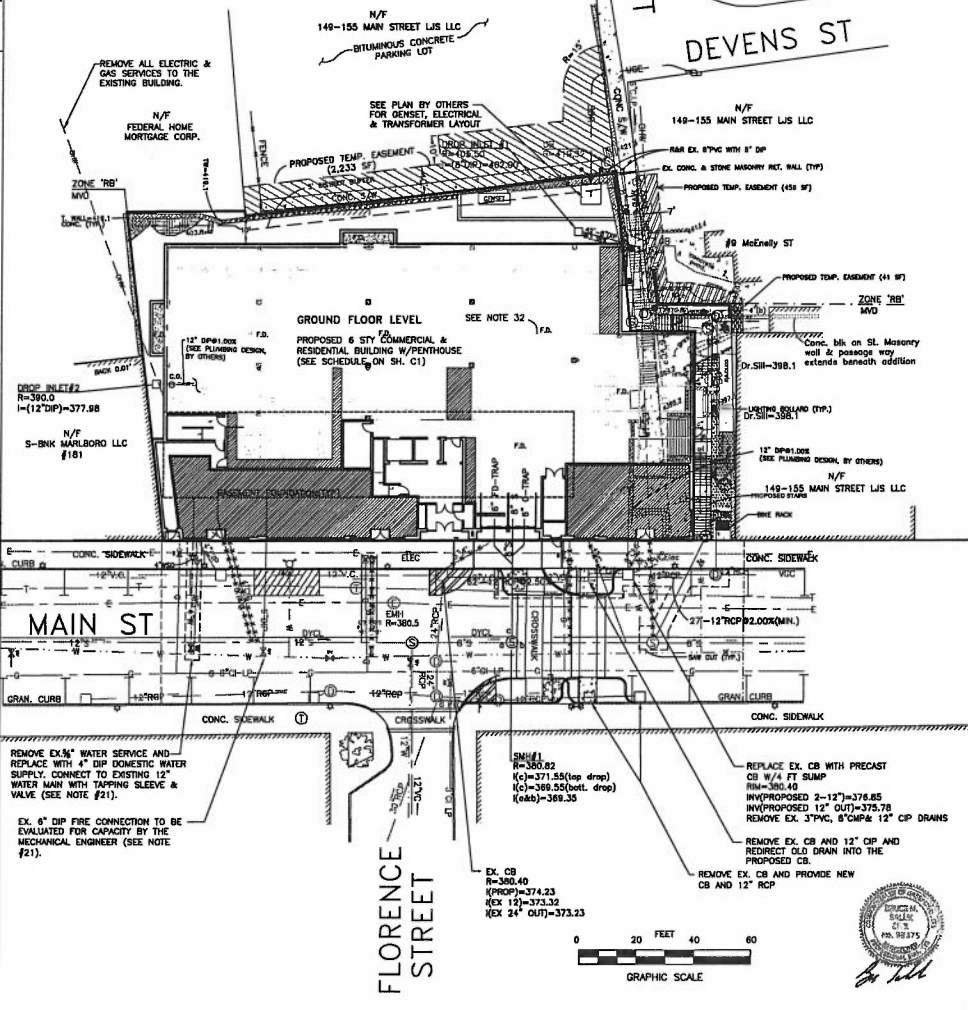
DATE: JANUARY 15, 2018

OWNER & APPLICANT:
VINCENZA SAMBATARO
 c/o MIRICK O'CONNELL
 100 FRONT STREET
 WOBURN, MA 01896
 TEL: 908-528-1878
 (ATTN: BRANK R. FAJAL)

C2



LEGEND	
---	330 --- Exst. 2' Contour
---	340 --- Exst. 10' Contour
---	5 --- Exsting Sewer & Manhole
---	10' --- Exsting Water Main
□	Exsting CB & Drain Manhole
---	Gas --- Exsting Gas Line & Valve
---	OHWP --- Overhead Wires
---	Exsting Credits Durb
W	Water Valve & Water Stop
B	Ex. Drain
⊙	Light pole
---X---X---X---	Water or Sewer Pipe to be Removed & Capped



- WATER, SEWER & DRAINAGE NOTES:**
- Materials and construction and associated work shall conform to Mass. DPW Standard Specifications. Refer to the document entitled Standard Specifications for Highways and Bridges, 1908 as amended.
 - Manholes & Catch Basins shall be reinforced precast concrete conforming to ASTM Specification Section C478-70T.
 - Manhole frames & covers shall be Enst Jordan Iron Works. See detail sheet for Product numbers.
 - Provide pipe joint a maximum of 3' from manhole walls.
 - Reinforcing for all precast units shall conform to ASTM Specification Section A 185 and shall include reinforcing in bell spigot of riser sections. Reinforcing shall be placed in accordance with AASHTO Designation N159.
 - In the event that rock is encountered, the contractor shall maintain a 12-inch minimum separation between the pipe and the rock.
 - Suitable backfill material shall be select excavated material from which frozen material, humus, peat, roots, vegetation, trash, rocks, and stones larger than 6-inches have been removed.
 - Composition of backfill material between centerline of pipe and trench pavement shall be done in 12-inch layers, or less, as required to prevent trench settlement. The contractor will be responsible for excessive trench settlement following final paving.
 - Utilities shown on this plan are partly from existing available City and utility Co. records information only. There may be existing lines other than those shown hereon. The contractor shall be required to contact the proper utility companies & DISSAFE prior to beginning any construction on the site. Our firm does not warrant or guarantee the location of any utilities hereon.
 - Unless otherwise noted on the drawings, drain lines greater than 12 inches in diameter shall be reinforced concrete conforming to ASTM C-78 Class 4, Wall B circular reinforcement. Where specified, 12-inch through 48-inch diameter Class 5 drain lines shall be Wall B.
 - Roof Drain shall be connected to the proposed 12" DIP drain pipe and/or as specified in the building plumbing design drawings.
 - The elevations shown are based on Mean Sea Level datum (1929 N.Y.D.).
 - Refer to additional Water, Sewer & Drainage notes on the Detail Sheets.
 - The contractor shall obtain a Street Opening Permit prior to any construction within the City right-of-way.
 - All water and sewer material and construction shall conform to the City of Marlborough requirements (see Street Opening Permit).
 - All water and sewer construction shall be inspected by the City of Marlborough before being backfilled.
 - The City shall be notified of least 24 hours prior to the required inspections.
 - If sewer and water line cross, install the sewer below the water service and provide 18" minimum separation between the pipe outside diameters. Provide 1 full length of sewer pipe centered on the crossing. The full length of sewer pipe shall be SDR-26 Specification ASTM D2241 with a 150 PSI rating. Connect the SDR 35 & SDR 26 pipes using pressure rated adaptors by Fernco, or approved equal.
 - The contractor shall be properly licensed and bonded with the City prior to construction.
 - The contractor shall obtain a Tranching Permit prior to any tranching on public or private property.
 - The proposed 4" domestic water service shown is for the entire building (commercial & residential). The existing 6" DIP Fire line shall also service the entire building. The Mechanical Engineer shall determine if the 4" domestic water and 6" fire services will provide the required flow. Any existing water services which will be discontinued for the existing buildings and the building that burned down or for #183-185, shall be shut off at the main and the pipe removed from that point.
 - Line easements, if required, for the USE&T service from the existing U.P. to the proposed building shall be provided by the facility owners.
 - The contractor shall provide building foundation and site dewatering & subdrainage per the design in accordance to design by the geotechnical engineer or others.
 - The contractor shall locate and tie in all existing drains & sewer services encountered into the new and/or replacement drains & sewers; respectively. All sewer, water and drain services shall be maintained throughout the construction stage.
 - Drain & Sewer pipe along the stairway shall be Class 52 (CL) DIP where the pipe slope exceeds 10%.
 - Provide a 20L sidewalk trench drain w/4"x12" Tee fitting discharge connection to the 12" diameter DIP drain. Use Zurn, or equal.
 - The electrical, telephone and cable connections to the building shall be underground connections from Main Street, or as approved by the facility owners.
 - The existing gas service connections shall be evictated and/or replaced as approved/required by the gas facility company.
 - A gas, oil and sand separator (GOS) is required inside the parking garage. Floor drains shall be connected to the GOS. The GOS5 discharge pipe shall be connected to the interior building sewer in accordance with the Plumbing Code. See the gas, oil and sand separator detail.
 - The restaurant grease interceptor shall be designed by the mechanical engineer that designed the restaurant kitchen plumbing system. The design shall be in accordance with 248 CMR 10.09. The grease trap shall be sized, tested and certified according to PDI-0101 or ASME A112.14.3 or ASME A112.14.4.
 - Clearance for service connections to the sewer main shall be located inside the building.
 - For sewer, drainage, water, grease trap, floor drain trap, etc., inside the building, refer to the Plumbing design by others.

NO.	DATE	DESCRIPTION
1	10/1/2018	ISSUED FOR PERMIT
2	10/1/2018	ISSUED FOR PERMIT
3	10/1/2018	ISSUED FOR PERMIT
4	10/1/2018	ISSUED FOR PERMIT
5	10/1/2018	ISSUED FOR PERMIT
6	10/1/2018	ISSUED FOR PERMIT
7	10/1/2018	ISSUED FOR PERMIT
8	10/1/2018	ISSUED FOR PERMIT
9	10/1/2018	ISSUED FOR PERMIT
10	10/1/2018	ISSUED FOR PERMIT

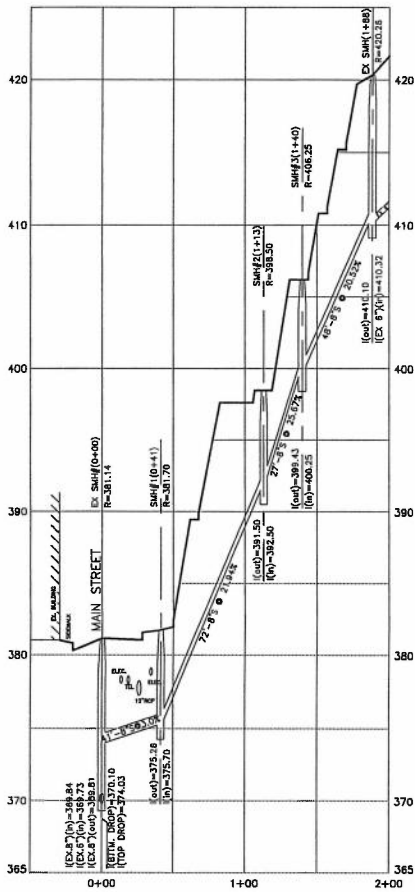
PREPARED BY:
BRUCE SALUK & ASSOC., INC.
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 FAX: 508-481-9923

DRAINAGE, WATER, SEWER & UTILITIES
E ON MAIN
 163-175 MAIN STREET
 MARLBOROUGH, MA

DATE: JANUARY 15, 2018

OWNER & APPLICANT:
VINCENZA SAMBATARO
 100 FRANK STILES DRIVE
 WORCESTER, MA 01608
 TEL: 508-329-1678
 (ATTY: BRIAN R. FALCO)

C3
 FILE: 2697C1.dwg

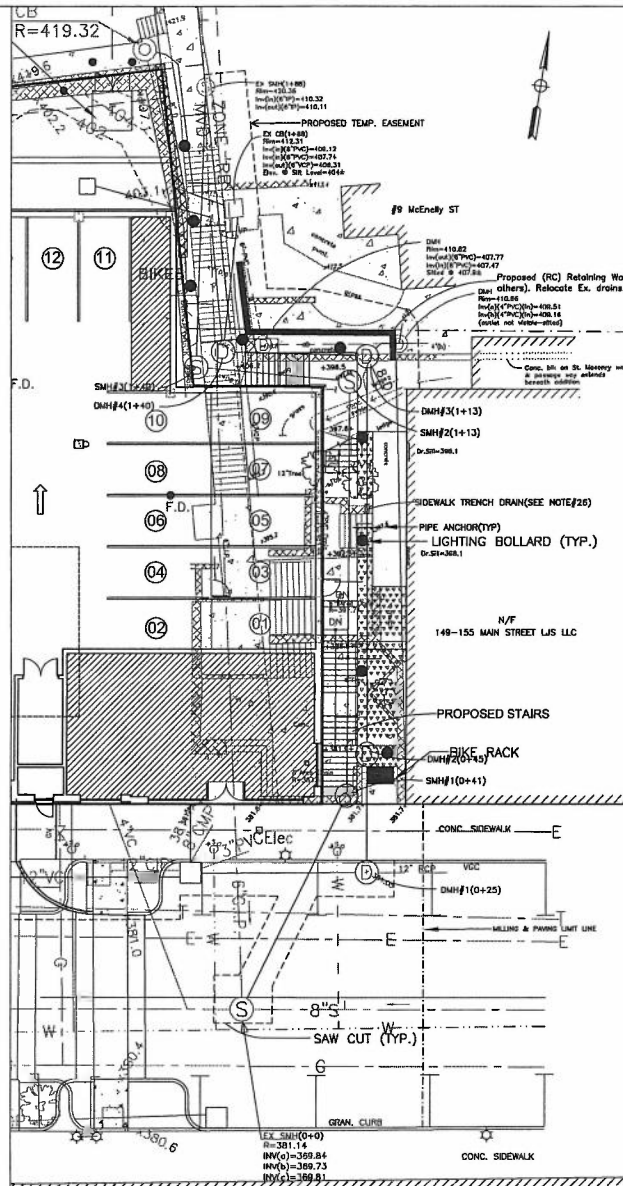


SEWER NOTES:

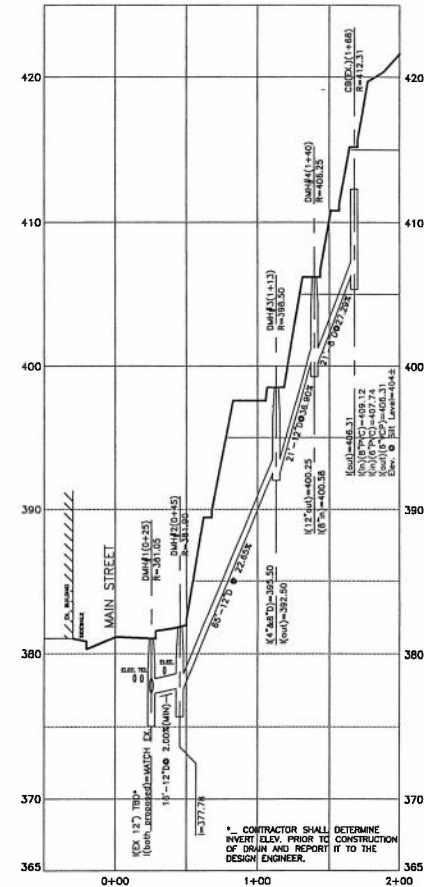
1. Prior to the pre-construction conference, the contractor shall submit a sewer flow bypass management plan to the City engineer. Construction shall not start until the plan has been approved by the City Engineer.
2. The contractor shall determine the locations of existing house connections to the existing sewer.
3. Pipe shall be Class 52 DIP (CL).
4. Banked SMH invert bench walls shall be provided where the inlet pipe slope exceeds 10% and where the change in flow direction exceeds 70 degrees. For these SMH's the outside bench shall be constructed 24" above the bottom of the inverted arch channel.

SEWER PROFILE

HORIZONTAL SCALE: 1" = 40
 VERTICAL SCALE: 1" = 4'



PLAN VIEW



DRAINAGE NOTES:

1. Baseline for profile, stations and finished grade are along proposed sewer alignment, only.
2. Pipe shall be class 52 DIP (CL).

DRAIN PROFILE

HORIZONTAL SCALE: 1" = 40
 VERTICAL SCALE: 1" = 4'



DATE	BY	CHKD BY	APP'D BY
11/20/19	J. M. O'NEILL	J. M. O'NEILL	J. M. O'NEILL
11/20/19	J. M. O'NEILL	J. M. O'NEILL	J. M. O'NEILL
11/20/19	J. M. O'NEILL	J. M. O'NEILL	J. M. O'NEILL
11/20/19	J. M. O'NEILL	J. M. O'NEILL	J. M. O'NEILL

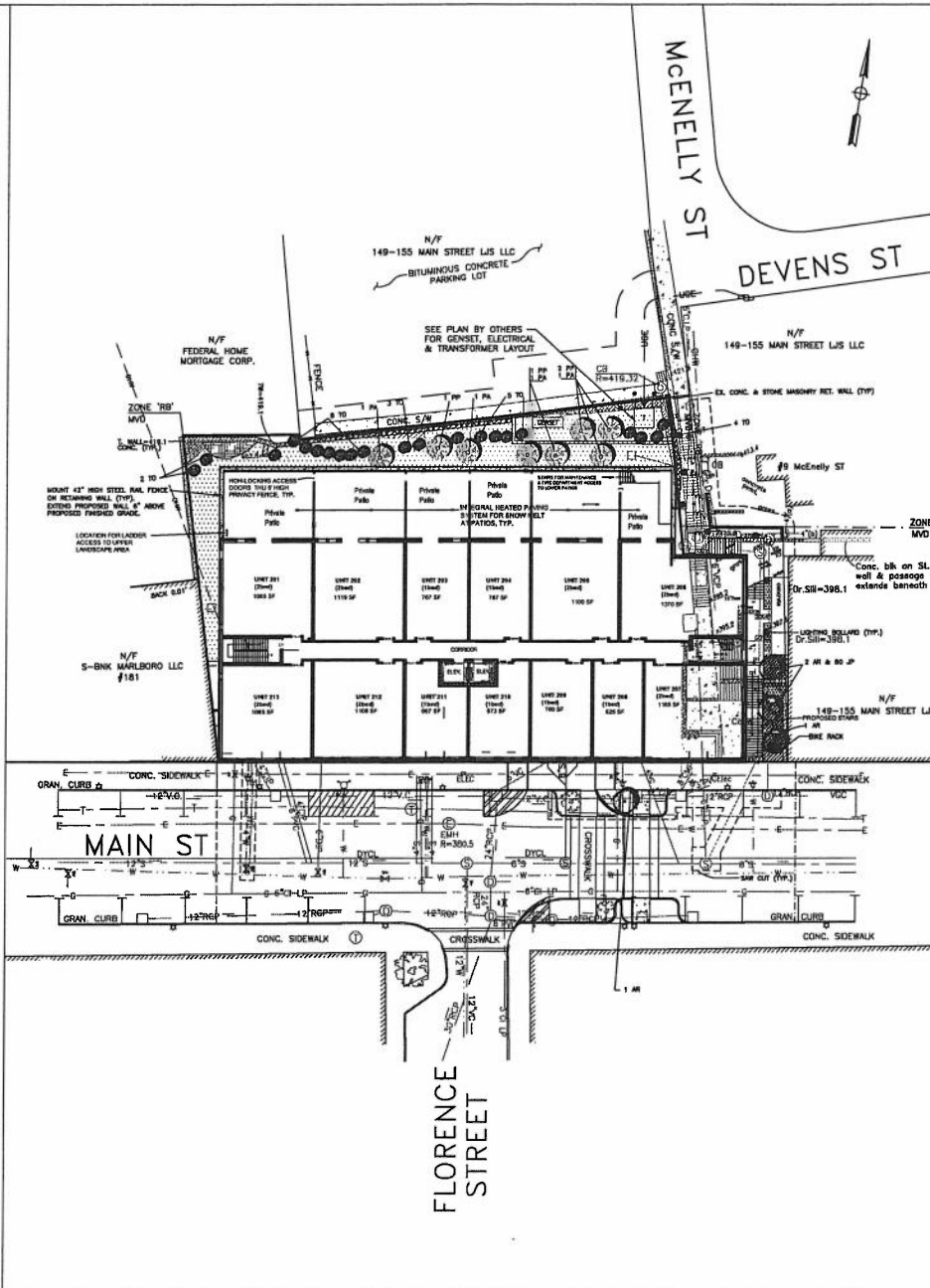
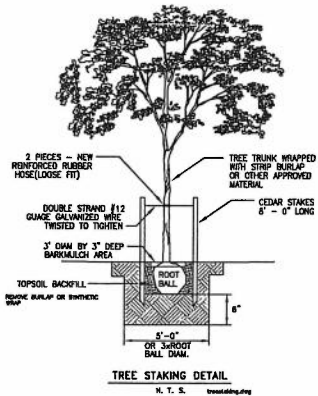
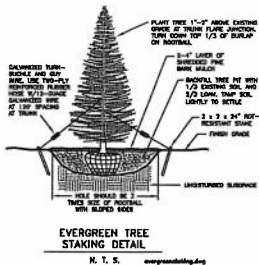
PREPARED BY:
 BRUCE SALUK & ASSOC., INC.
 CIVIL ENGINEERING & LAND SURVEYING
 100 WASHINGTON STREET, SUITE 200
 MARLBOROUGH, MA 01501
 TEL: 508-485-1852
 FAX: 508-481-8928

PLAN & PROFILE
 E ON MAIN
 163-175 MAIN STREET -
 MARLBOROUGH, MA

DATE: MAY 23, 2018

OWNER & APPLICANT:
 VINCENZA SAMBATARO
 C/O FRANK STREET
 WORCESTER, MA 01608
 TEL: 508-233-1678
 (ATTY. BRIAN R. FALK)

C4

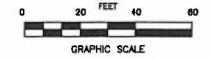


PLANTING LEGEND				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
TO	23	THALIA OCCIDENTALIS	AMERICAN ARBORVITAE	3" CALIPER
AR	4	ACER RUBRUM	ARMSTRONG MAPLE	3" CALIPER
PP	4	PICEA PUMGENS	COLORADO SPRUCE	3" CALIPER
PA	4	PICEA ABIES	NORWAY SPRUCE	3" CALIPER
SHRUBS				
JP	80	JUNIPERUS HORIZONTALIS	LOW SPREADING JUNIPER (BAR HARBOR)	
GROUND COVER				
WM	4500	VINCA MINOR, OR PACHYSANDRA TERMINALS	WIRTLE OR PACHYSANDRA	FLATS

PLANTING NOTES:

- 1.) FOR LOAM & SEED AREAS, PROVIDE 4" LOAM AND SEED MIX COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA.
- 2.) PROVIDE PLANTS OF SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
- 3.) FINAL PLANT LOCATIONS TO BE ADJUSTED IN FIELD AS NECESSARY TO PROVIDE REQUIRED OFFSETS TO CONSTRUCTION APPURTENANCES AND UTILITIES, ETC.
- 4.) PLANTINGS ARE SUBJECT TO CHANGE DUE TO NURSERY STOCK AVAILABILITY, AS APPROVED.
- 5.) PLANTING AND WORKMANSHIP SHALL COMPLY WITH THE FOLLOWING:
 - STAKING MATERIALS TO BE REMOVED 1 YEAR AFTER PLANTING.
 - OWNER REPLACES PLANTS THAT DIE WITHIN 180 DAYS.
- 6.) PROVIDE JUTE MESH TO STABILIZE SOIL UNTIL VEGETATION HAS ESTABLISHED ITSELF ENOUGH TO PREVENT EROSION, WHERE NECESSARY PROVIDE PERMANENT POLYMER JUTE MESH.
- 7.) A 24" DEPTH OF STRUCTURAL SOIL & 4" OF TOP SOIL SHALL BE PROVIDED WITHIN IN THE PROPOSED BUMP OUT AREAS ON MAIN STREET.

LEGEND	
---	3/8" --- Eddt. 2" Contour
---	3/4" --- Eddt. 10" Contour
---	--- Existing Sewer Line
---	--- Existing Water Main
□	Existing CS & Drain Outside
⊙	Existing Sewer Manhole
---	--- Existing Gas Line
---	--- Overhead Wire
---	--- Existing Granite Curb
⊕	GAS VALVE
⊖	WATER VALVE
⊙	WATER STOP
⊕	LIGHT POLE
⊖	8" DRAIN PIPE
[Pattern]	LOAM & GROUND COVER
[Pattern]	BARK MULCH



NO.	DATE	BY	DESCRIPTION
1	12/15/23	MM	ISSUED FOR PERMIT
2	12/15/23	MM	ISSUED FOR PERMIT
3	12/15/23	MM	ISSUED FOR PERMIT
4	12/15/23	MM	ISSUED FOR PERMIT
5	12/15/23	MM	ISSUED FOR PERMIT
6	12/15/23	MM	ISSUED FOR PERMIT
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10	12/15/23	MM	ISSUED FOR PERMIT

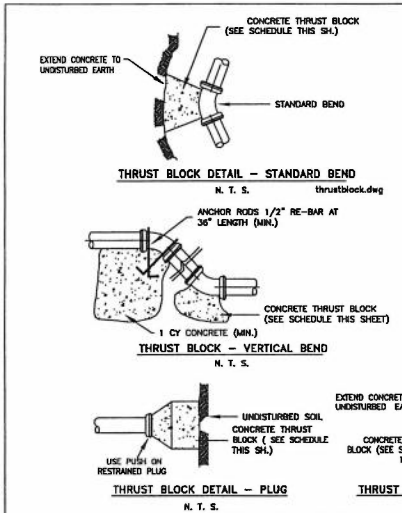
PREPARED BY:
BRUCE SALUK & ASSOC., INC.
574 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752
TEL: 508-485-1682
FAX: 508-481-9929

PLANTING PLAN
E ON MAIN
163-175 MAIN STREET
MARLBOROUGH, MA

DATE: JANUARY 15, 2018

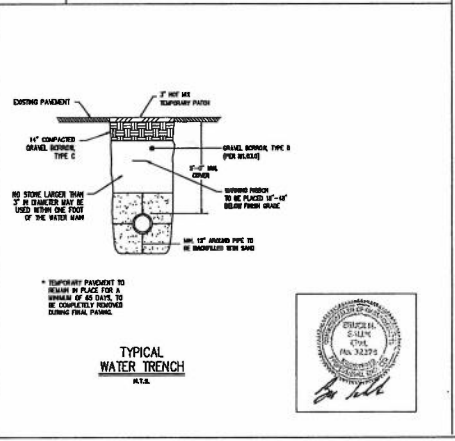
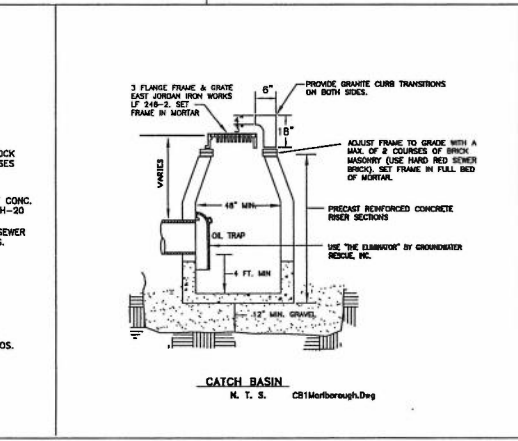
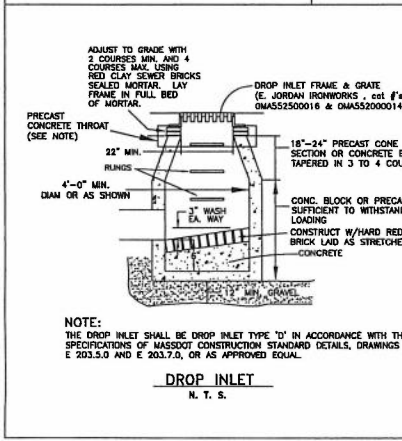
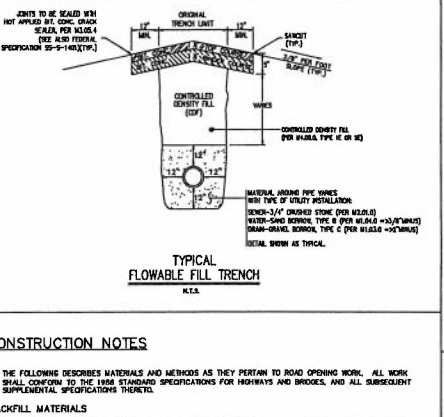
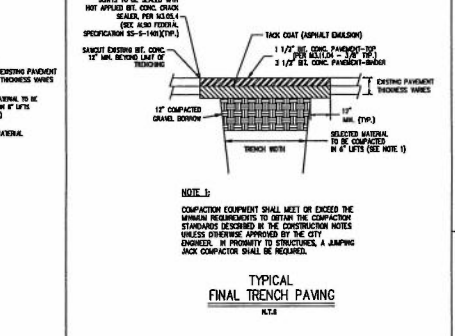
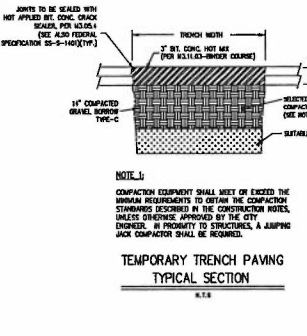
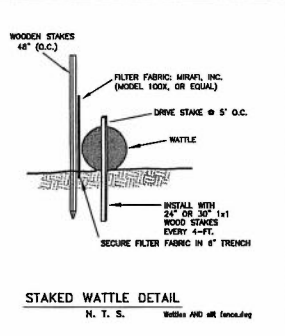
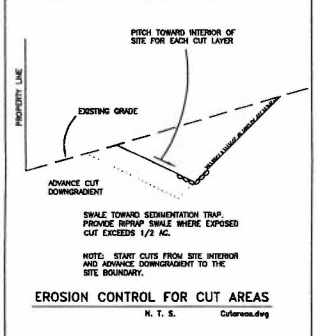
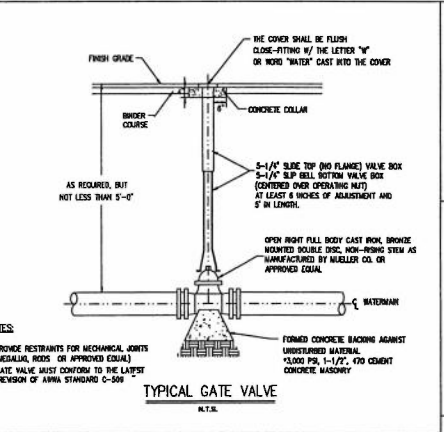
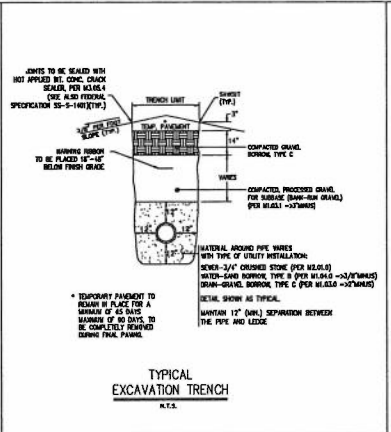
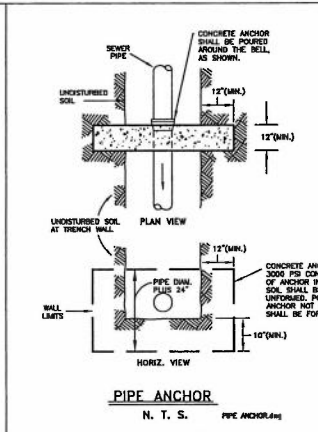
OWNER & APPLICANT:
VINCENT & SARA LARK
c/o MIRICK O'CONNELL
100 FRONT STREET
WORCESTER, MA 01608
TEL: 508-929-8778
(ATTY: BRIAN R. FALLO)

C5



THRUST BLOCK SCHEDULE			
MAIN	TEES & PLUGS	45°	22 1/2°
4"	16	4	4

NOTES:
 1) VALUES IN TABLE ARE REQUIRED CONCRETE THRUST BLOCK BEARING AREA IN SQUARE FEET AGAINST UNDISTURBED SOIL.
 2) USE THE RODS AND MEGA LUGS FOR ALL FITTINGS.



CONSTRUCTION NOTES

THE FOLLOWING DESCRIBES MATERIALS AND METHODS AS THEY PERTAIN TO ROAD OPENING WORK. ALL WORK SHALL CONFORM TO THE 1984 STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, AND ALL SUBSEQUENT SUPPLEMENTAL SPECIFICATIONS THEREIN.

BACKFILL MATERIALS

EXCAVATIONS IN THE STREET PAVEMENT AREAS SHALL BE CAREFULLY BACKFILLED WITH LAYERS OF SUITABLE GRAVEL. THE THICKNESS (12) INCHES OF BEDDING MATERIAL AROUND PIPES SHALL BE SAND (M.S.O.S.) FOR WATER & CRUMBED STONE (M.S.O.S.) FOR SEWER. GRAVEL BORROW - TYPE C (M.S.O.S.) FOR DRAIN OR AS SPECIFIED BY THE OWNER OF THE UTILITY AND APPROVED BY THE CITY OF MARLBOROUGH. BACKFILL MATERIAL SHALL CONSIST OF CONTROLLED DENSITY FILL (CDF) - TYPE H OR SE (M.S.O.S.) FOR ALL MAJOR HIGHWAYS OF THE CITY OR AS DIRECTED BY THE COMMISSIONER OF PUBLIC WORKS.

SUITABLE GRAVEL MATERIAL FOR BACKFILLING SHALL BE GRANULAR FILL CONSISTING OF SIZE SUBSTANTIALLY FREE FROM CLAY, ORGANIC MATERIALS, LOAM, WOOD, TRASH OR OTHER ORGANIC/INORGANIC MATERIAL WHICH MAY COMPRESSIBLE OR WHICH CANNOT BE PROPERLY COMPACTED. IT SHALL NOT CONTAIN STONES BROKEN CONCRETE, MASONRY RUBBLE OR OTHER SIMILAR MATERIALS. IT SHALL HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE READILY SPREAD AND COMPACTED. IT SHALL NOT CONTAIN ANY SODIUM, ICE OR FROZEN SOIL.

COMPACTON OF BACKFILL

BACKFILL SHALL BE UNIFORMLY DISTRIBUTED IN SUCCESSIVE LAYERS, EACH LAYER BEING THOROUGHLY COMPACTED BEFORE THE SUCCESSIVE LAYER IS PLACED. THE ENTIRE BIRTH OF THE TRENCH SHALL BE MECHANICALLY OR HAND TAMPAED IN 32 (8) INCH LIFTS, A MINIMUM OF TWO (2) FEET ABOVE THE UTILITY INSTALLATION, AND MECHANICALLY TAMPAED THE REMAINDER OF THE FILL IN LIFT DEPTHS NOT GREATER THAN 24 (6) INCHES. THE TOP LAYER OF BACKFILL SHALL BE FOURTEEN (14) INCHES ON A TEMPORARY TRENCH, AND TWELVE (12) INCHES ON A PERMANENT TRENCH) OF GRAVEL COMPACTED TO 97% OF MAXIMUM DENSITY.

GRADING ROLLING AND FINISHING

PAVEMENT PLACED SHALL BE PLACED AND RAINED TO A UNIFORM SURFACE, ROLLED TO THE REQUIRED THICKNESS AND TO A GRADE THAT WILL MATCH THE EXISTING SURFACE FROM SURFACE. THE PERMITTEE SHALL MAINTAIN THE SURFACING AND SHALL PROMPTLY FILL WITH SUITABLE MATERIAL ANY DEPRESSION AND HOLES THAT MAY OCCUR SO AS TO KEEP THE SURFACING TO A SAFE AND SATISFACTORY CONDITION FOR TRAFFIC.

TEMPORARY PAVEMENT

A TEMPORARY PAVEMENT SHALL BE PLACED ON THE SURFACE OF THE FILL AND THOROUGHLY COMPACTED. A TEMPORARY PAVEMENT SHALL BE CLASS I BITUMINOUS CONCRETE TYPE I-1 THREE (3) INCHES THICK (SEE EXCAVATION TRENCH DETAIL). \"COLD PATCH\" MAY BE ALLOWED IF APPROVED BY THE COMMISSIONER OF PUBLIC WORKS DUE TO ADVERSE WEATHER CONDITIONS. IF PLATES ARE USED THEY SHALL BE RAISED TO MATCH THE EXISTING PAVEMENT. TEMPORARY PAVING OR STEEL PLATING SHALL IMMEDIATELY FOLLOW THE BACKFILLING OPERATION.

PERMANENT PAVING

THE FINAL BITUMINOUS CONCRETE SURFACE SHALL NOT BE PLACED ANY EARLIER THAN 60 DAYS OR LATER THAN 90 DAYS FROM THE DATE OF COMPLETION OF THE TEMPORARY SURFACE WITHOUT APPROVAL FROM THE COMMISSIONER OF PUBLIC WORKS. THE EXCAVATION PAVEMENT AND SUB-BASE SHALL BE EXCAVATED TO THE GRADE REQUIRED BY THE PERMIT PRIOR TO PLACEMENT OF THE FINAL BITUMINOUS CONCRETE SURFACE. THE MINIMUM COMPACTED DEPTH SHALL BE LESS THAN THE EXISTING ROADWAY WHICH COURSE AND SHALL NOT BE LESS THAN THREE AND ONE-HALF (3 1/2) INCHES IN DEPTH AND THE TOP COURSE SHALL BE ONE AND ONE-HALF (1 1/2) INCHES IN DEPTH. IN SOME INSTANCES, BEFORE A SIMPLE TRENCH EXCAVATION, PAVEMENT DETAILS AND REINFORCEMENT REQUIREMENTS WILL BE INCLUDED AS A SPECIAL CONDITION IN THE PERMIT (SEE PAVEMENT REQUIREMENTS ON ROUTE 65).

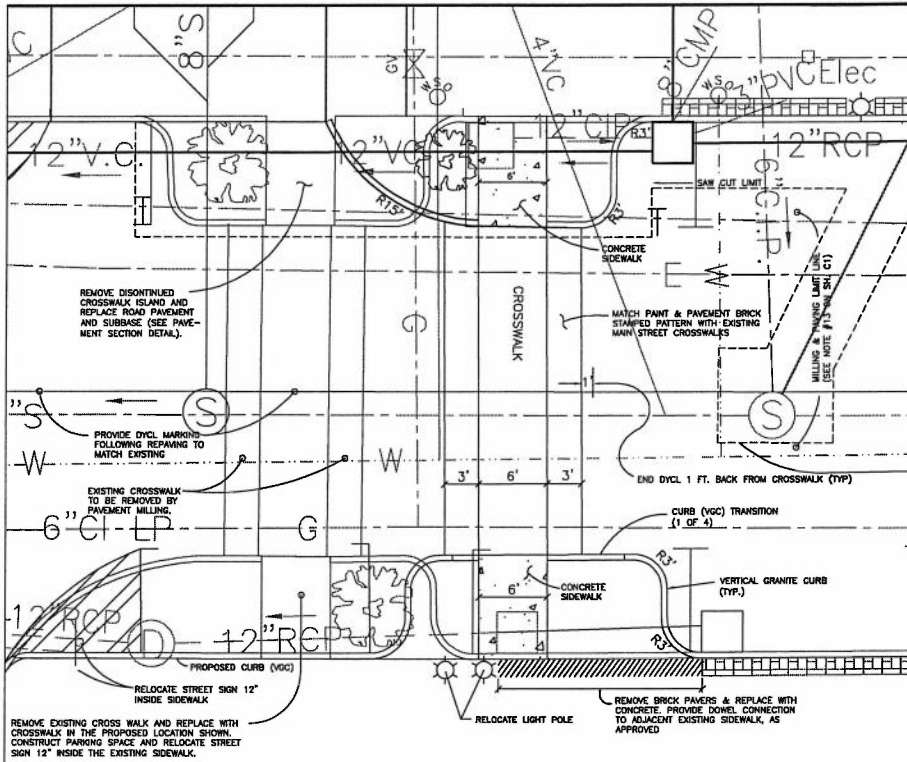
PREPARED BY: **W. & A. ASSOC., INC.**
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DETAIL SHEET
E ON MAIN
 163-175 MAIN STREET -
 MARLBOROUGH, MA

DATE: JANUARY 15, 2018

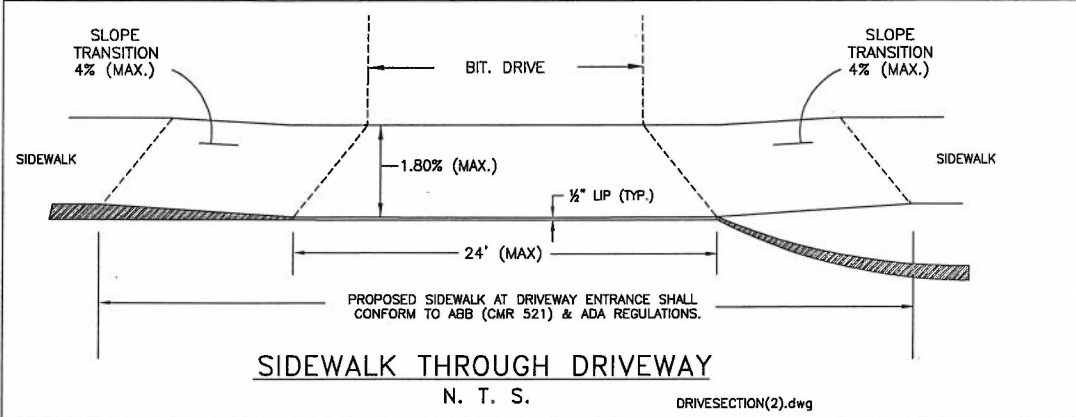
OWNER & APPLICANT:
 CITY OF MARLBOROUGH
 160 FRONT STREET
 WORCESTER, MA 01608
 TEL: 508-828-1678
 (ATTY. BRIAN R. FALCY)

FILE: 2667C1.dwg

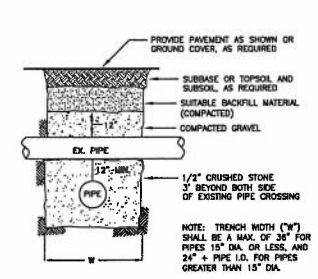


NOTES:
 1. CROSSWALK SHALL BE CONSTRUCTED TO CONFORM WITH 521CMR & A.D.A. REGULATIONS.
 2. FOR THE PLANTING BEDS WITHIN THE MAIN STREET R.O.W. PROVIDE 12\"/>

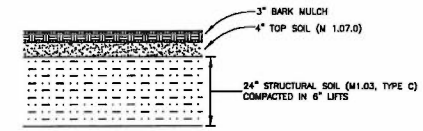
CROSSWALK DETAIL
 SCALE: 1" = 5'



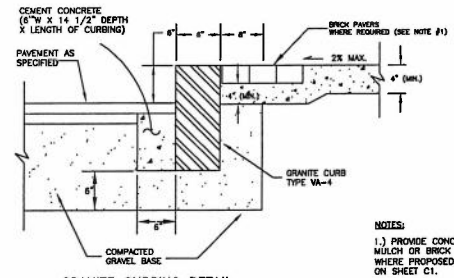
SIDEWALK THROUGH DRIVEWAY
 N. T. S. DRIVESECTION(2).dwg



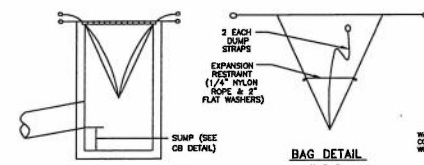
PIPE CROSSING DETAIL
 N. T. S.



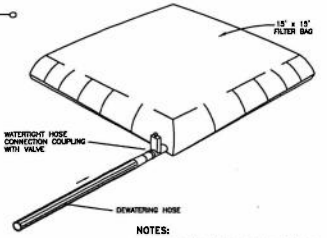
GRANITE CURBING DETAIL
 N. T. S.



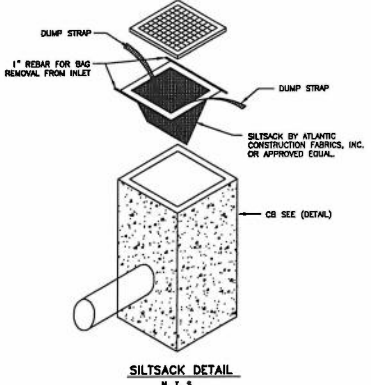
NOTES:
 1.) PROVIDE CONCRETE SIDEWALK, BARK MULCH OR BRICK SHELF & BRICK PAVERS WHERE PROPOSED, REFER TO NOTE # 12 ON SHEET C1.



INSTALLATION DETAIL
 N. T. S.



DEWATERING FILTER BAG DETAIL
 N. T. S.



SILTSACK DETAIL
 N. T. S.

NO.	DATE	BY	DESCRIPTION
1	12/01/18	BRUCE SALLUK	ISSUED FOR PERMITTING
2	12/01/18	CITY ENGINEER	ISSUED FOR PERMITTING
3	12/01/18	PROJECT MANAGER	ISSUED FOR PERMITTING
4	12/01/18	PROJECT MANAGER	ISSUED FOR PERMITTING
5	12/01/18	PROJECT MANAGER	ISSUED FOR PERMITTING

PREPARED BY:
 BRUCE SALLUK & ASSOC., INC.
 575 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752
 TEL: 508-485-1882
 FAX: 508-481-9929

DETAIL SHEET
E ON MAIN
 - 163-175 MAIN STREET -
 MARLBOROUGH, MA

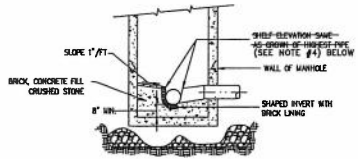
DATE: JANUARY 15, 2018

OWNER & APPLICANT:
 WILSON & WILSON
 c/o MURICK O'CONNELL
 100 FRONT STREET
 WORCESTER, MA 01608
 TEL: 508-928-1678
 (ATTY: BRIAN R. FALJO)

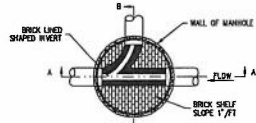


C7

FILE: 2697C1.dwg

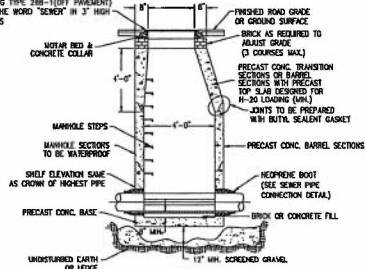


SECTION B-B



PLAN

FRAME & COVER TO BE EAST JORDAN IRON WORKS LA-268 (ON PAVEMENT) LACKING TYPE 208-110FT PREHEAT WITH THE WORD "SEWER" IN 3" HIGH LETTERS

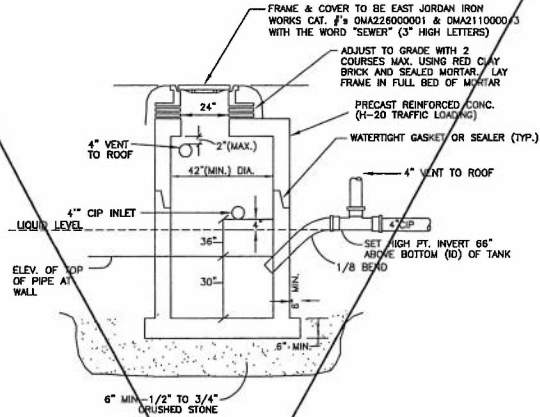


SECTION A-A
PRECAST SEWER MANHOLE
N.T.S.

NOTE: DETAIL WAS TAKEN FROM THE CITY OF MARLBOROUGH STANDARD DETAILS

SEWER NOTES:

1. Prior to the pre-construction conference, the contractor shall submit a sewer flow bypass management plan to the City engineer. Construction shall not start until the plan has been approved by the City Engineer.
2. The contractor shall determine the locations of existing house connections to the existing sewer.
3. Pipe shall be Class 52 DIP (CL).
4. Banked SMH invert bench walls shall be provided where the inlet pipe slope exceeds 10% and where the change in flow direction exceeds 70 degrees. For these SMH's the outside bench shall be constructed 24" above the bottom of the inverted arch channel.

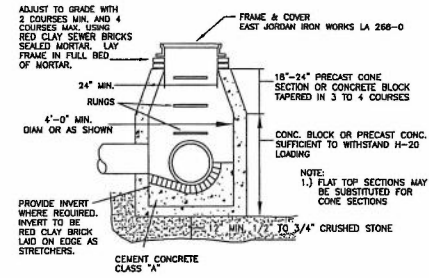


CONSTRUCTION NOTES FOR GASOLINE, OIL & SAND SEPARATOR

- 1.) SEPARATOR IS TO BE LOCATED OUTSIDE OF A BUILDING WHERE POSSIBLE AND THE COVER SHALL BE A MINIMUM OF 24" IN DIAMETER. IF THE SEPARATOR MUST BE INSTALLED INSIDE OF A BUILDING, THE COVER MUST BE SEALED TIGHT.
- 2.) THE SEPARATOR MUST BE CONSTRUCTED AND INSTALLED TO PREVENT SURFACE WATER FROM ENTERING.
- 3.) THE INVERT OF THE SEPARATOR INLET PIPE SHALL BE NO LESS THAN 4" ABOVE THE WATER LINE.
- 4.) THE SEPARATOR SHALL BE FILLED WITH WATER, TESTED AND INSPECTED PRIOR TO BEING PUT INTO SERVICE.
- 5.) THE NON CORROSIVE STEPS SHALL BE INSTALLED 18" APART.
- 6.) THE CHAMBER VENT AND OUTLET VENT SHALL BE RETURNED TO THE INSIDE OF THE BUILDING AND EXTENDED THROUGH THE ROOF.
- 7.) THE CHAMBER VENT MUST BE LOCATED AS CLOSE TO THE TOP OF THE TANK AS POSSIBLE.
- 8.) PRECAST CONCRETE UNITS SHALL MEET OR EXCEED ASTM C-478 STANDARD OF 4,000 PSI.
- 9.) JOINT SECTIONS ON PRECAST CONCRETE SEPARATORS SHALL USE BUTYL RUBBER JOINT SEALANT PER ASTM C-890.
- 10.) ALL PIPE PENETRATIONS IN THE SEPARATOR SHALL BE SEALED WITH HYDRAULIC CEMENT ONLY.
- 11.) ALLOWABLE PIPING MATERIAL:
 - a.) NO-LOB CAST IRON WITH PRODUCT ACCEPTED CLAMPS
 - b.) SERVICE WEIGHT CAST IRON WITH PRODUCT ACCEPTED GASKETS OR LEAD & OAKUM JOINTS
 - c.) EXTRA HEAVY CAST IRON WITH PRODUCT ACCEPTED GASKETS OR LEAD & OAKUM JOINTS
- 12.) THE CAPACITY OF THE GAS, OIL & SAND SEPARATOR SHALL BE AS SHOWN IN FIGURE 15 OF 248 CMR 10.22.

GAS, OIL & SAND SEPARATOR

N. T. S. Gas & Oil Trap.dwg



STORM DRAIN MANHOLE W/ STEP
H. T. S. D:\H4Marbora.dwg

N.I.C.
REFER TO GAS, OIL & SAND SEPARATOR DETAIL ON THE PLUMBING DWGS IN THE CONTRACT DOCUMENTS.

NO.	DATE	BY	CHKD.

PREPARED BY:
BRUCE SALLIK & ASSOC., INC.
PLUMBING & HEATING CONTRACTORS
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752
TEL: 508-485-1583
FAX: 508-481-9529

DETAIL SHEET
E ON MAIN
163-175 MAIN STREET
MARLBOROUGH, MA

DATE: JULY 11, 2018

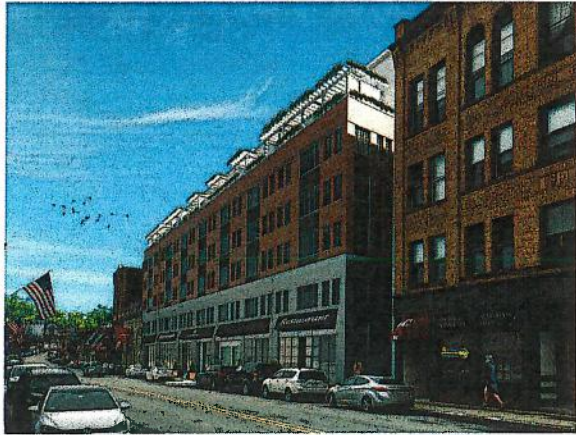
OWNER & APPLICANT:
VINCENTA SAMBATARO
c/o MIRICK O'CONNELL
1000 STATE STREET
WOBURN, MA 01896
TEL: 508-928-1678
(ATTY. BRIAN R. FALK)



C8
FILE: 2697C1.dwg

E on MAIN

Retail and Residential



163-175 Main Street

Marlborough, MA

DESIGN TEAM

DEVELOPER

VINCENZA SAMATARO
60 BIRCK O'CONNELL
107 FRONT STREET, WORCESTER, MA 01608
978-925-1678

ARCHITECT

J.D. LAGRASSE & ASSOCIATES Inc. 15 CARLEISLE STREET, ANDOVER, MA 01810
978-476-2675 ERIC INHAN DALLM - ARCHITECT
978-573-4858

STRUCTURAL ENGINEER

GOLDSTEIN MILANO LLC
125 MAIN STREET, READINO, MA 01867
978-470-6990

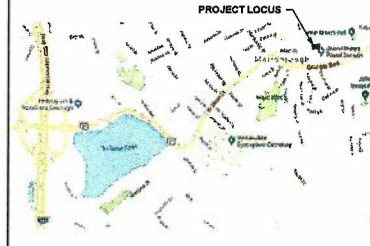
CIVIL

BRUCE GALLIK & ASSOCIATES Inc.
576 BOSTON POST ROAD EAST, MARLBOROUGH, MA 01752
508-455-1982

MEP

SUN ENGINEERS
311 GREAT ROAD, LITTLETON, MA 01460
978-486-4301

LOCUS PLAN



SHEET LIST

SHEET NUMBER	SHEET NAME	DATED ISSUED	DATE REVISED	COMMENTS
D1 GENERAL				
G000	COVER SHEET	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
05 ARCHITECTURAL				
A001	UNIT AREA PLANS & SQUARE FOOTAGE	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A100	BASEMENT PLAN	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A101	GROUND FLOOR PLAN	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A102	SECOND FLOOR PLAN	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A103	THIRD FLOOR PLAN	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A104	FOURTH FLOOR PLAN	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A105	FIFTH FLOOR PLAN	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A106	SIXTH FLOOR PLAN	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A107	ROOF DECK	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A108	ROOF PLAN	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A200	SOUTH EXTERIOR ELEVATION	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A201	EAST & WEST EXTERIOR ELEVATIONS	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A202	NORTH EXTERIOR ELEVATION	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A300	BUILDING SECTION I	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A301	BUILDING SECTION II	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
07 PRESENTATION				
A220a	SE Perspective View	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A221a	NE Perspective	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL
A222a	NW Perspective	12 JULY 2019		MUNICIPAL SITE PLAN REVIEW / APPROVAL

FLOOR	GSF	PARKING	UNITS			USE
			Studio	1 Bed	2 Bed	
Basement	4,231					Utility
Ground	19,322	43 Spaces				Retail / Parking
Second	14,261		0	6	7	Residential
Third	14,276		1	7	6	Residential
Fourth	14,276		0	8	6	Residential
Fifth	14,276		1	7	6	Residential
Sixth	12,600		1	5	6	Residential
Roof Deck	4,649					Amenities
TOTALS	97,891	43 Spaces	3	33	31	

TOTAL UNITS 67

* 2 H/C, 22 Compact (of which 15 are tandem spaces); 26 Full (of which 17 are tandem spaces)

MUNICIPAL SITE PLAN REVIEW / APPROVAL
12 JULY 2019

J.D. LaGrasse
Architects, Inc.
15 Carlesle Street, Andover, MA 01810
Tel: 978-476-2675 Fax: 978-476-2676
www.jdlagrasses.com

ERIC INHAN DALLM
ARCHITECT
15 CARLEISLE STREET
ANDOVER, MA 01810
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WWW.ERICINHANDALLM.COM

E on MAIN
163-175 Main Street
Marlborough, MA

COVER SHEET

JDLAI 2018©
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Revisions
07/12/19
2/64

G000



Architect/Engineer/Lead Plumber
 One Elm Square
 Andover, MA 01810
 T. 978-470-3675
 www.jdengineers.com

PROJECT NO. 2019-001
 UNIT AREA PLANS & SQUARE FOOTAGE

E on MAIN
 105-175 Main Street
 Marlborough, MA

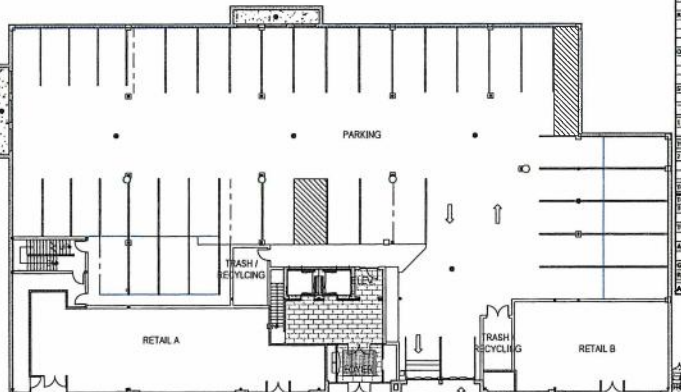
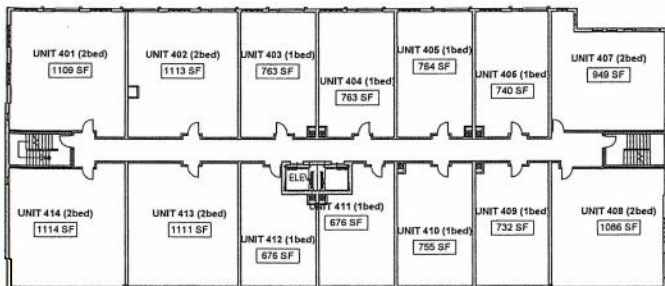
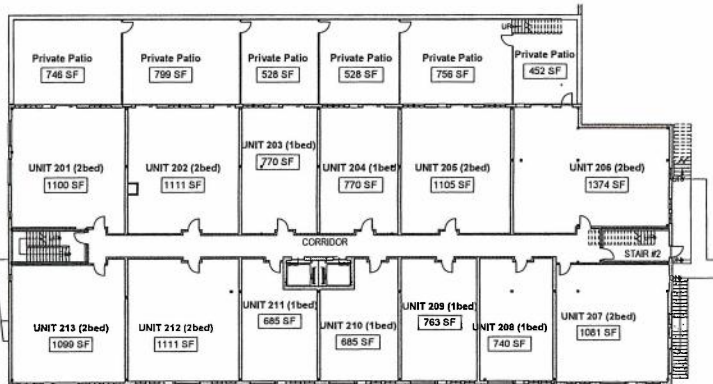
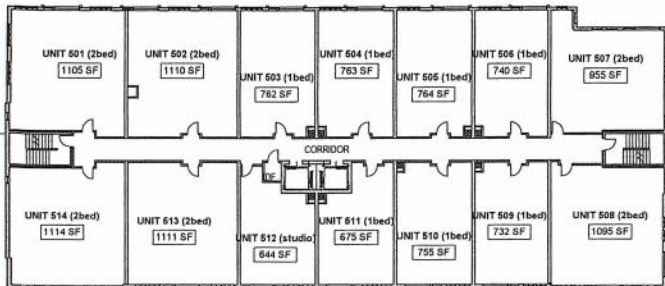
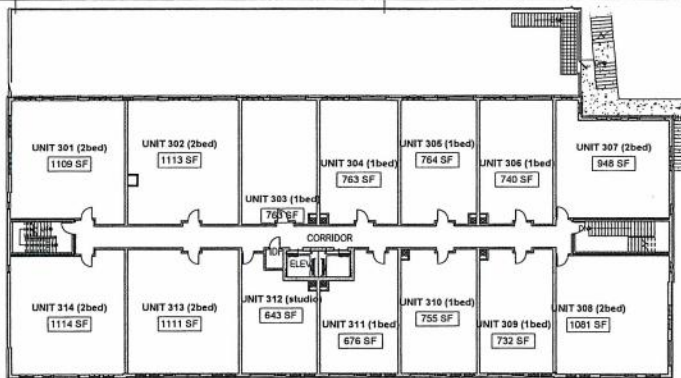
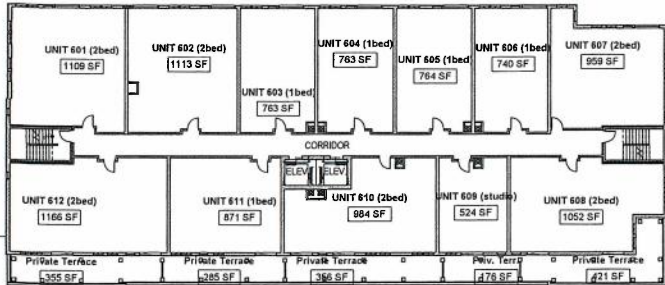
UNIT AREA PLANS & SQUARE FOOTAGE

PROPOSED BY: JDLAI 2019 ©

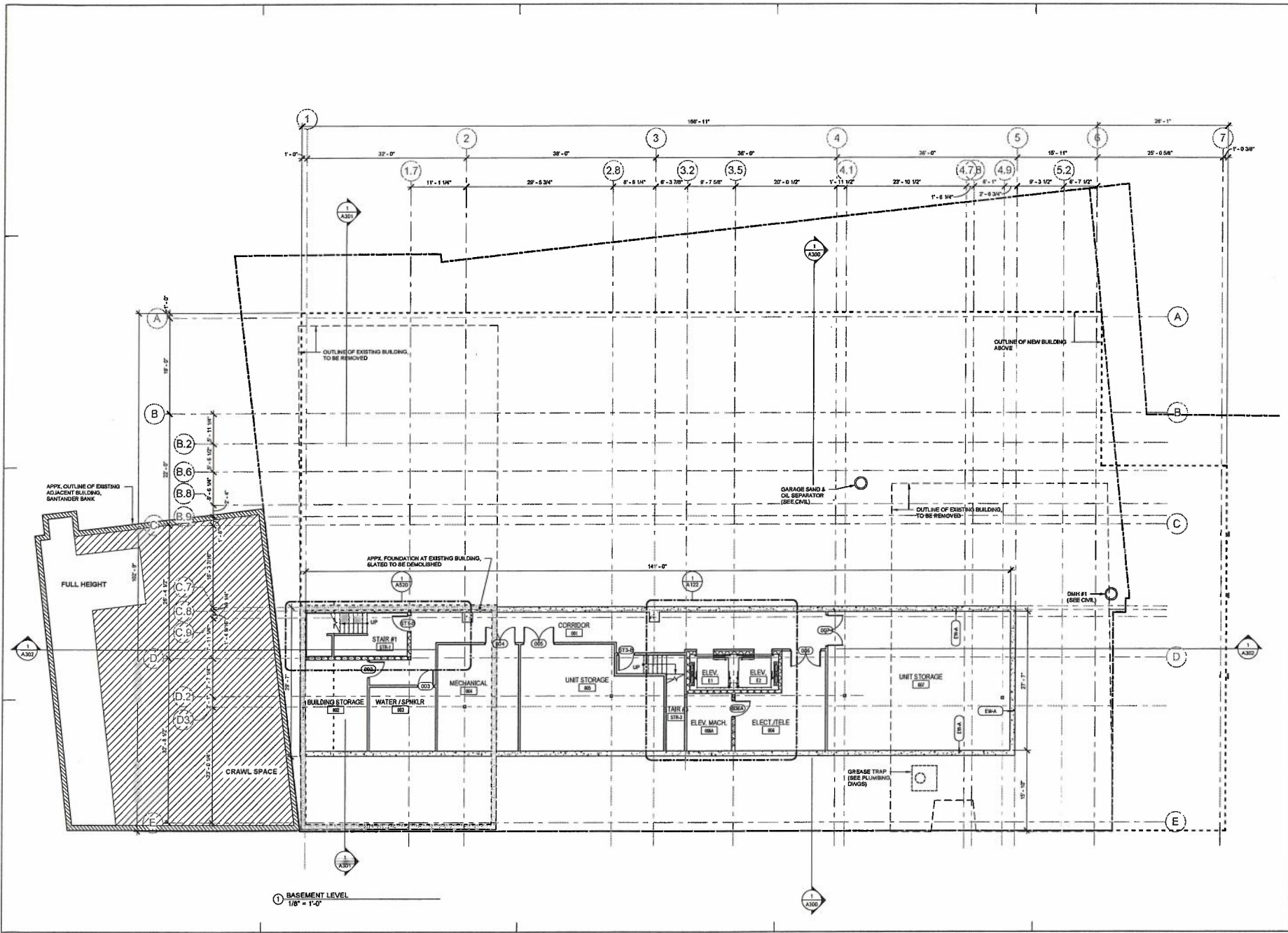
DATE: 07/13/19

SCALE: 1/16" = 1'-0"
 SHEET NO: 2104

A001



Unit Type	Area SF	Basement	Ground	2nd	3rd	4th	5th	6th	Roof	Totals
UNIT STORAGE	1,871									1,871
PARKING (covered)	14,504									14,504
RETAIL	1,861									1,861
STORAGE AREA/MECHANICAL	615									615
STUDIO	1,871			1,871						3,742
NORMAL STORAGE										
RECYCLING	341			3,256	7,376	5,280	3,256	3,256		24,515
TOTAL 1st FLOOR				11,933	7,376	5,280	3,256	3,256		31,103
2nd FLOOR										
TOTAL 2nd FLOOR										
TOTAL 3rd FLOOR										
TOTAL 4th FLOOR										
TOTAL 5th FLOOR										
TOTAL 6th FLOOR										
TOTAL NON-RENTABLE	2,476	18,231	13,390	24,309	18,390	18,390	18,390	18,390		100,000
TOTAL 6 UNITS										63
AVERAGE UNIT SF										843
GSF / FLOOR	4,233	19,822	14,261	14,274	14,274	14,274	14,274	14,274	12,600	97,889
RENTABLE %			0.86	0.86	0.87	0.86	0.86	0.85		0.86
AVERAGE RENTABLE % (Only rentable hours included in city)										



① BASEMENT LEVEL
1/8" = 1'-0"

DATE PLOTTED: 01/11/19 10:58 AM

PROJECT: 2784

LOCATION: 152-172 MAIN STREET, ANDOVER, MA

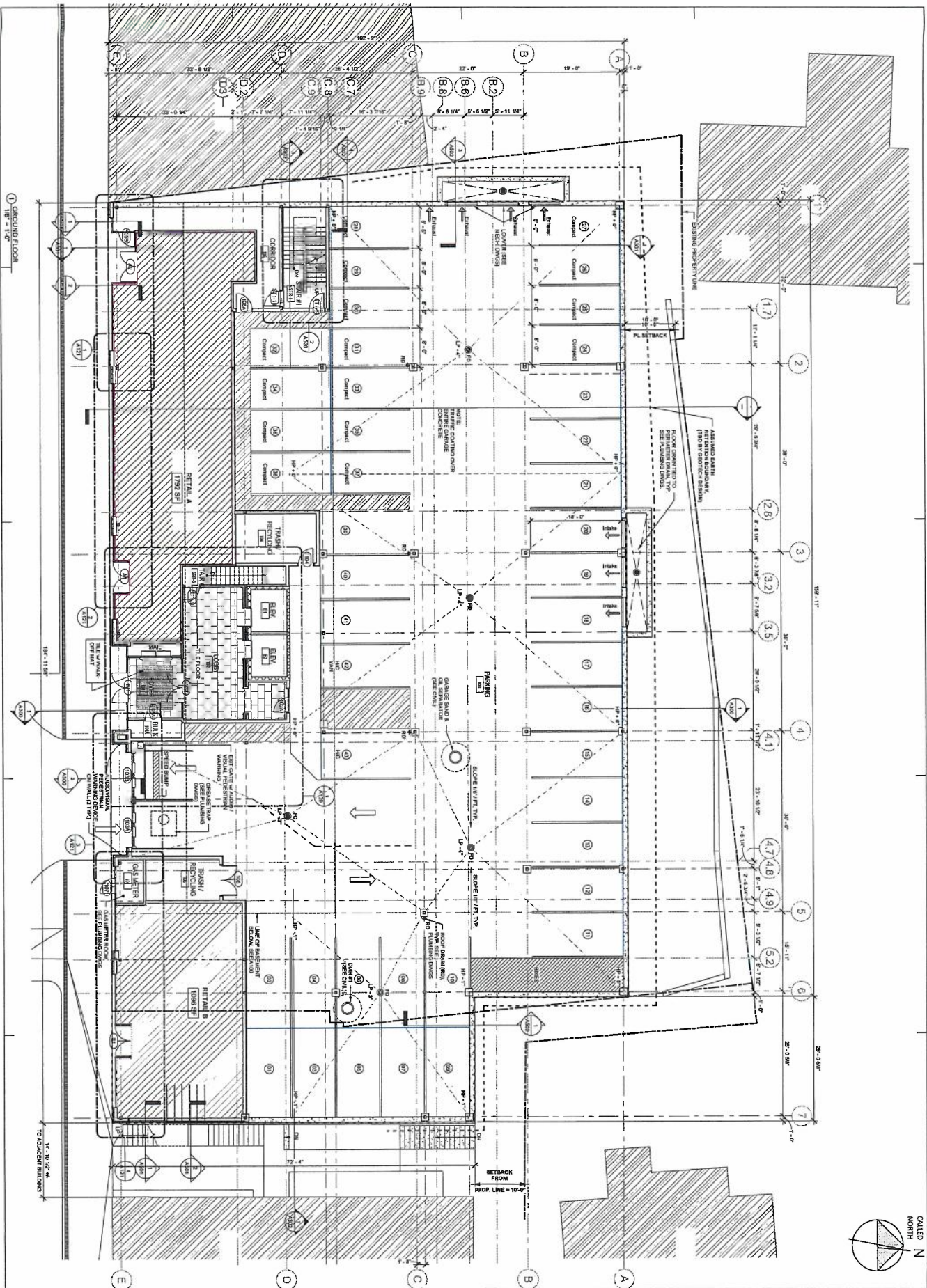
E on MAIN
Middleborough, MA
152-172 Main Street

BASEMENT PLAN

PREPARED BY: JDLAI 2019 ©
DATE: 07/19/19
SCALE: 1/8" = 1'-0"
SHEET NO: 2784

NO.	DATE	REVISIONS

A100



① GROUND FLOOR
1/8" = 1'-0"

A101

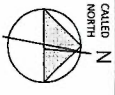
NO.	DATE	DESCRIPTION
1	07/20/20	AS ISSUED
2	07/20/20	AS ISSUED
3	07/20/20	AS ISSUED

Prepared for: **DDA AT 2019 ©**
 Location: **Approver**
 Title: **Approver**
GROUND FLOOR PLAN

E on MAIN
 163-175 Main Street Marlborough, MA

CRISTINA M. DUM
 ARCHITECT
 ARCHITECT

JD
 One Elm Street
 Marlborough, MA 01501
 Tel: 508-261-8200
 www.jdarchitect.com





Architect/Engineer/Lead Planner
 One Elm Square
 Andover, MA 01810
 T. 978-470-3675
 www.jdarchitect.com

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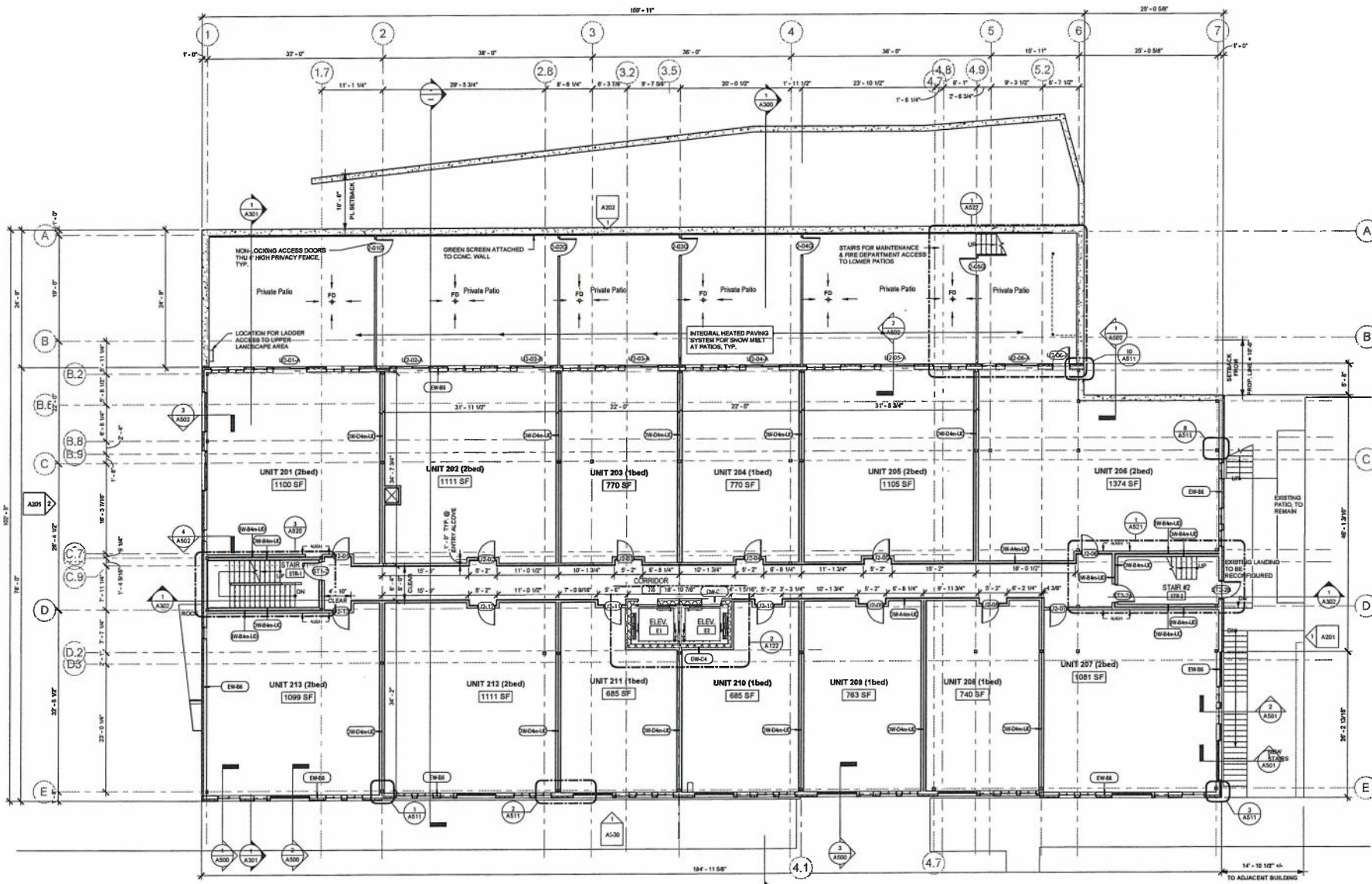
E on MAIN
 183-175 Main Street
 Marlborough, MA

SECOND FLOOR PLAN

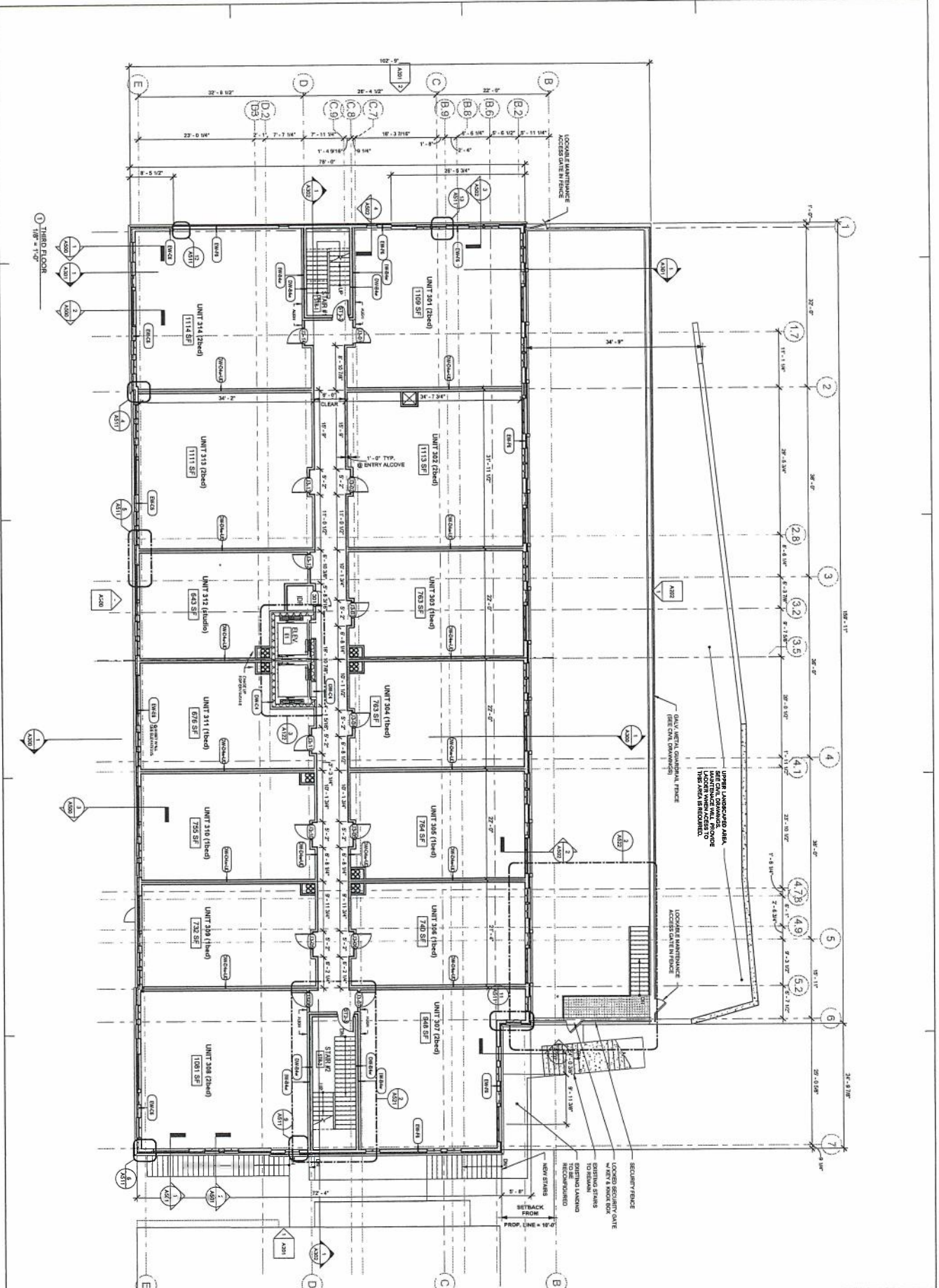
Prepared for:
 Location: Apartment
 Date:
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Date	Revisions
07/13/19	
10/18/19	
2/24	

A102



1 SECOND FLOOR
 1/8" = 1'-0"



NO.	DATE	BY	CHKD.
1	07/27/19	JDA	JDA
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99	07/27/19	JDA	JDA
100	07/27/19	JDA	JDA

prepared for: **JDJ AT 2019 ©**
 location: **Apogee**
 title: **THIRD FLOOR PLAN**

E on MAIN
 163-175 Main Street
 Marlborough, MA

Architectural Firm
 163-175 Main Street
 Marlborough, MA 01501
 Tel: 508-261-8810
 Fax: 508-261-8811
 www.jpd.com



A103



JD
 1200 STATE ST
 SUITE 200
 ANDOVER, MA 01810
 T. 978-470-3675
 www.jdmarchitects.com

E on MAIN
 152-173 Main Street
 Middleborough, MA

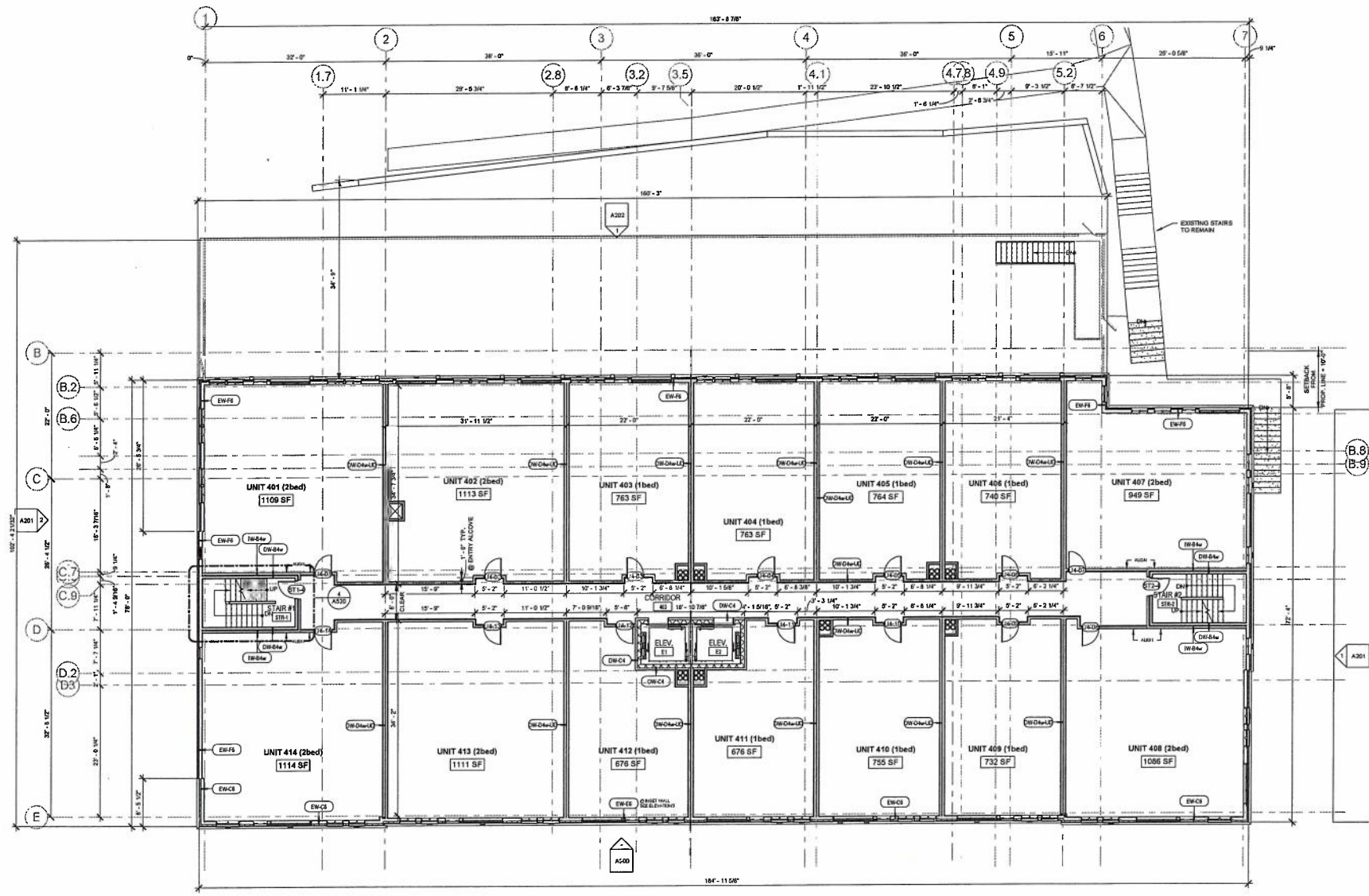
FOURTH FLOOR PLAN

PROPOSED BY: JDLAI 2019 ©
 DESIGNER: JDLAI
 DATE: 07/12/19
 SCALE: 1/8" = 1'-0"
 SHEET: 2764

A104

NO.	REV.	REVISIONS
01	07/12/19	
02	10" = 1'-0"	
03	2764	

A104



FOURTH FLOOR
 1/8" = 1'-0"



Architect/Engineer/Interior Designer
 One Elm Square
 Andover, MA 01810
 T. 978-400-5075
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Sheet No. 3
 OF 10
 PROJECT NO. 2019-001

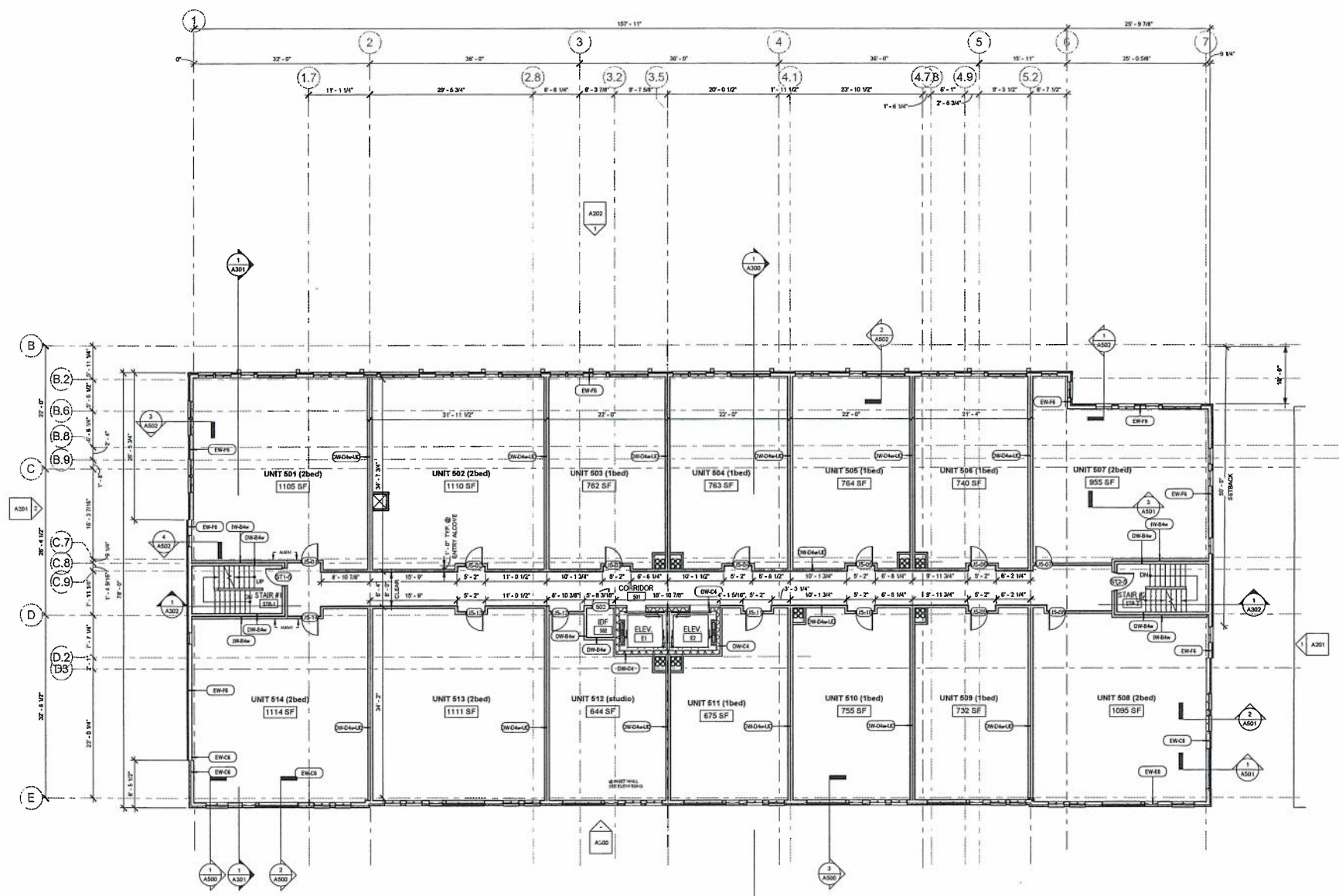
E on MAIN
 103-75 Main Street
 Marlborough, MA

FIFTH FLOOR PLAN

DATE: 07/19/19
 SCALE: 1/8" = 1'-0"
 DRAWN BY: JDL
 CHECKED BY: JDL

NO.	DATE	REVISIONS

A105



FIFTH FLOOR
 1/8" = 1'-0"



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 Andover, MA 01810
 T. 978-470-3675
 www.lap.com/eldirect

PROJECT NO. 2019-001
 SHEET NO. A106
 DATE 07/17/19

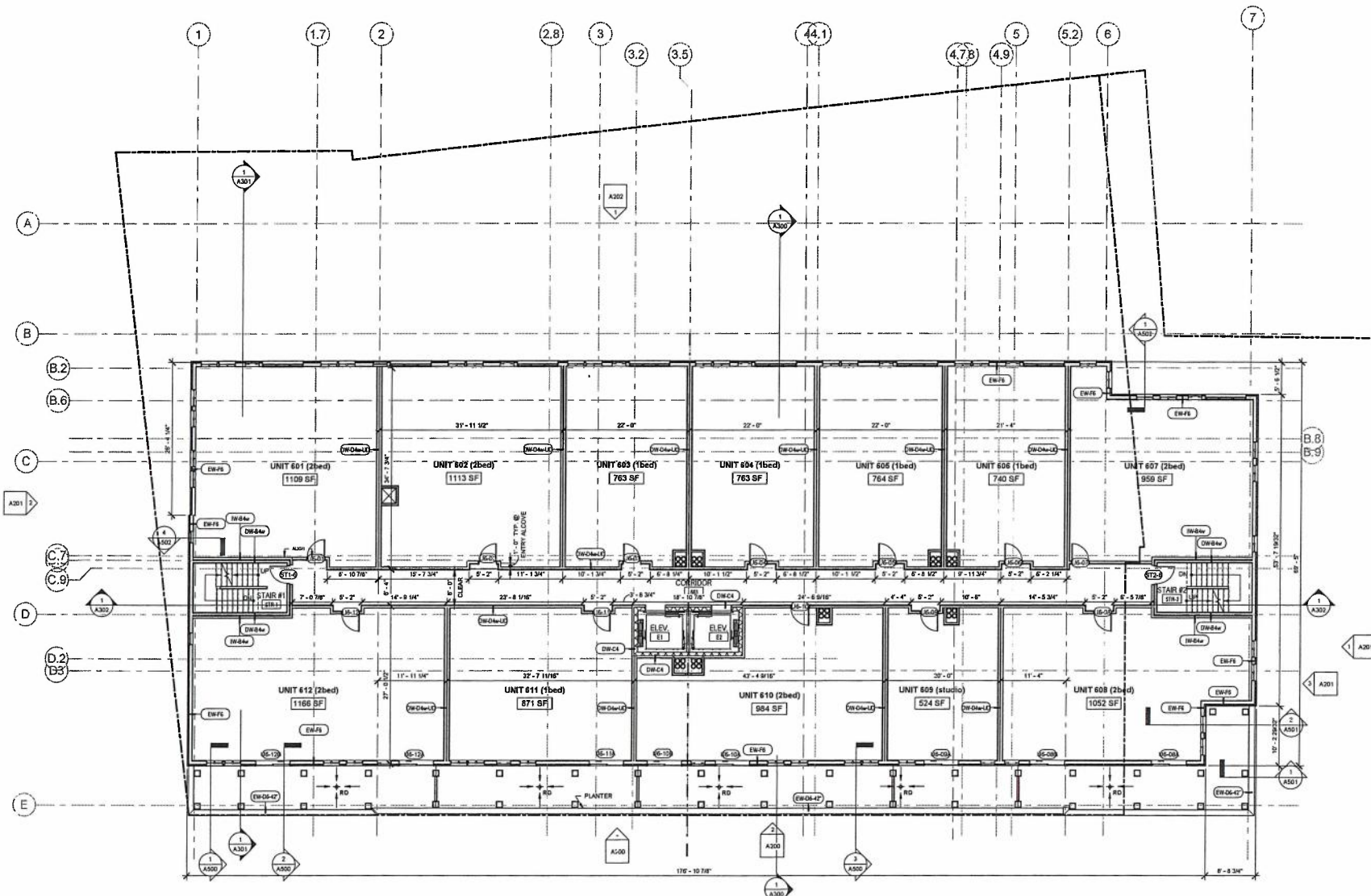
E on MAIN
 185-175 Main Street
 Marlborough, MA

SIXTH FLOOR PLAN
 Prepared for: JDLAI 2019
 Location: Apartment
 Title:

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Rev	Date	Description
01	07/17/19	ISSUE FOR PERMIT

A106



① SIXTH FLOOR
 1/8" = 1'-0"



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Sheet No. _____
 Date _____

Project Name _____

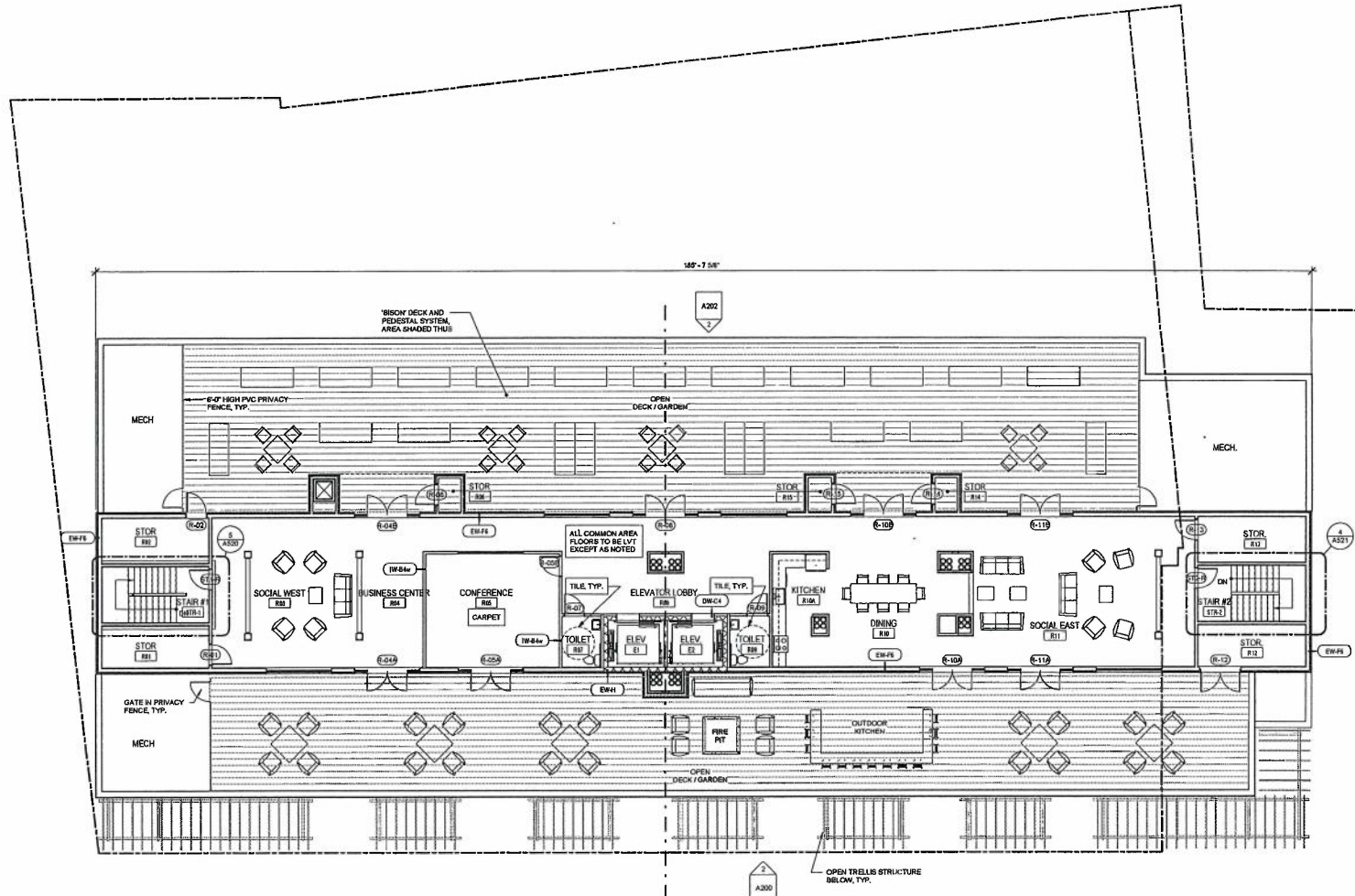
Location: **E on MAIN**
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 Marlborough, MA

Prepared For: _____
 Location: _____
 Title: _____
 Date: _____

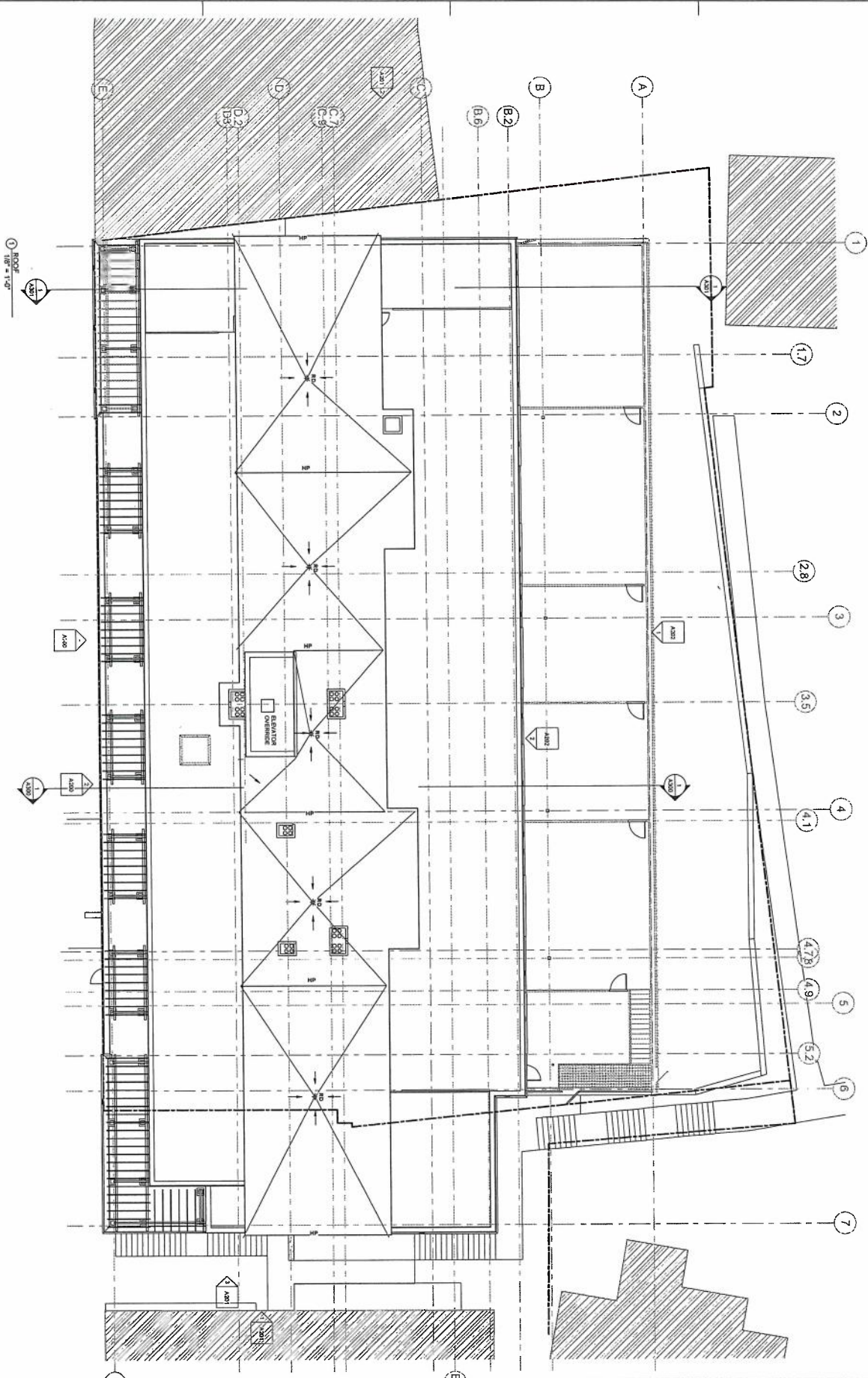
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Rev	By	Revisions
01	07/12/19	
02	10" = 1'-0"	
03	2784	

Sheet No. **A107**



1 ROOF DECK
 1/8" = 1'-0"



1 ROOF
1/4" = 1'-0"

A108

DATE	07/2013
BY	JD
CHECKED	JD
SCALE	1/4" = 1'-0"
PROJECT	2104
DESCRIPTION	ROOF PLAN

prepared for:
 locissex Approve
 title
ROOF PLAN

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 TEL: 508-261-1111
 WWW.JDARCHITECTS.COM

A200

DATE	2019
SCALE	1/8" = 1'-0"
NO.	02/1919
REVISION	
BY	
CHK	

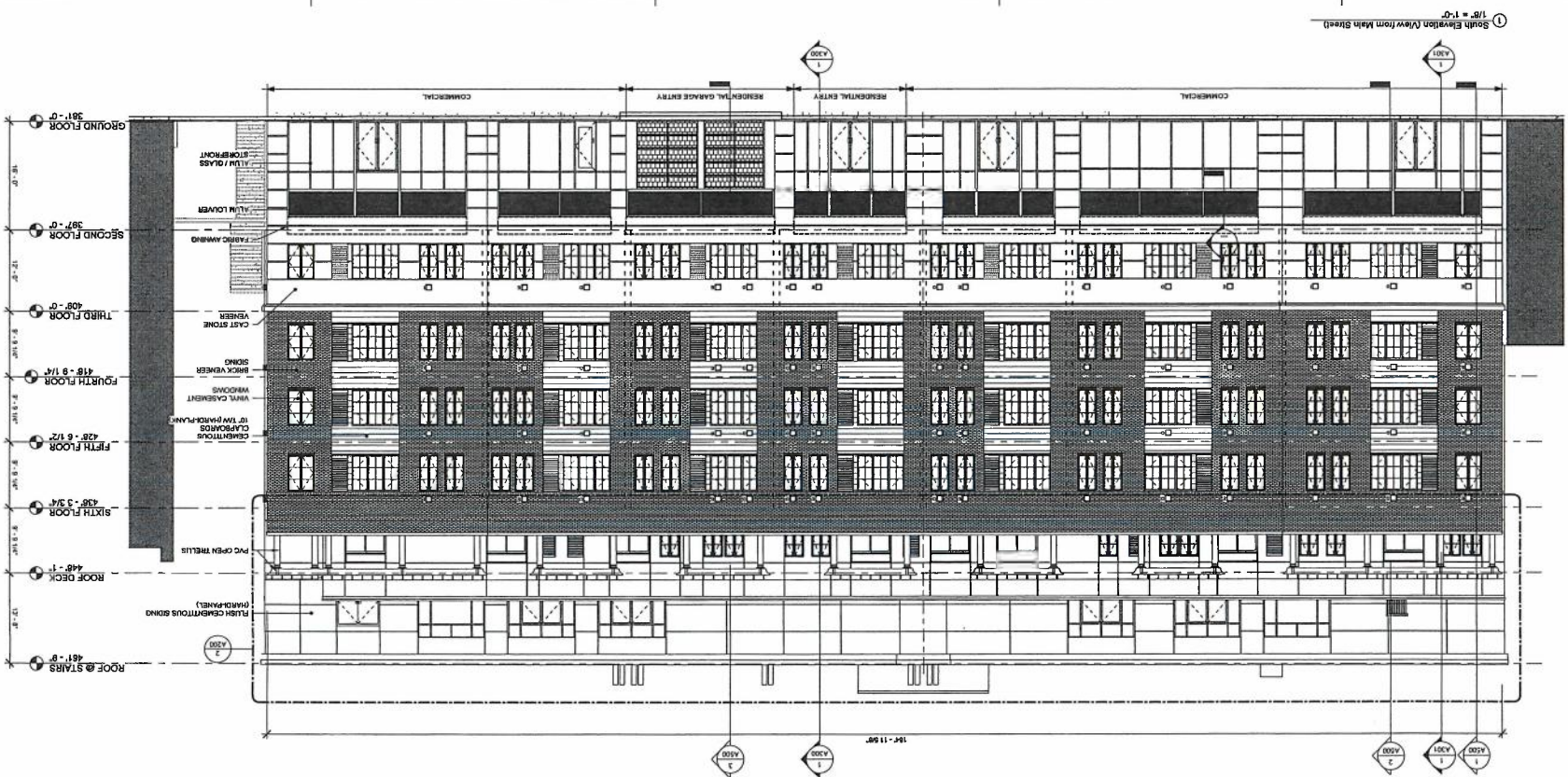
Prepared for:
Project: **Agway**
Architect: **Agway**

SOUTH EXTERIOR ELEVATION

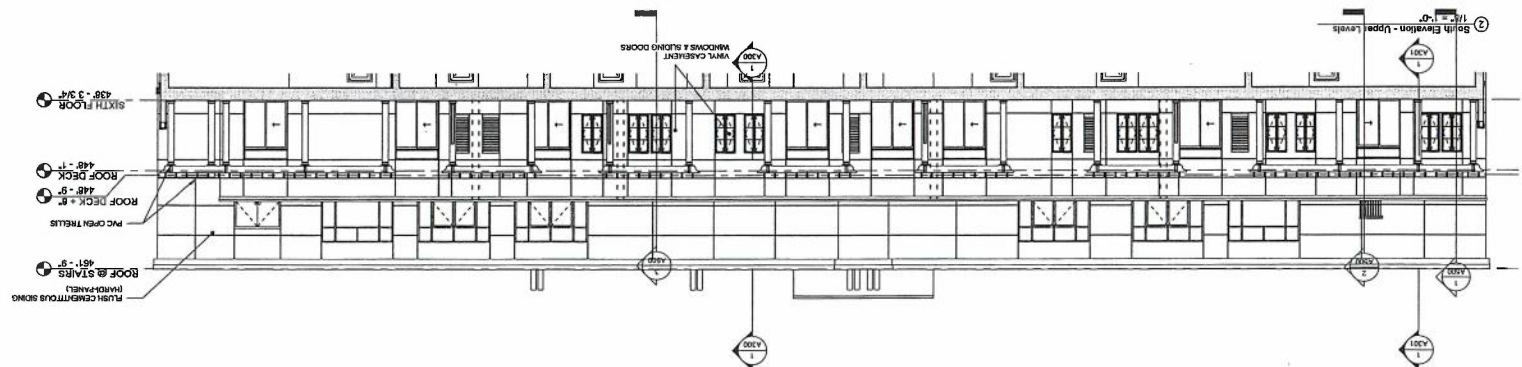
100-175 Main Street
Marlborough, MA

100-175 MAIN STREET
MARLBOROUGH, MA
01501
TEL: 508-251-1111
WWW.AGWAY.COM

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Address: 114 01810
Tel: 778-470-2075
www.jdarchitect.com



1/8" = 1'-0" South Elevation (View from Main Street)



1/8" = 1'-0" South Elevation - Upper Levels



Architect/Engineer/Lead Designer
 One Elm Square
 Andover, MA, 01810
 T 978-770-5255
 www.jd-engineer.com

PROJECT NO. 2019-001
 PROJECT NAME: EAST & WEST EXTERIOR ELEVATIONS
 PROJECT ADDRESS: 185-175 MAIN STREET, MAINTONBOROUGH, MA

E on MAIN
 185-175 Main Street
 Maitonborough, MA

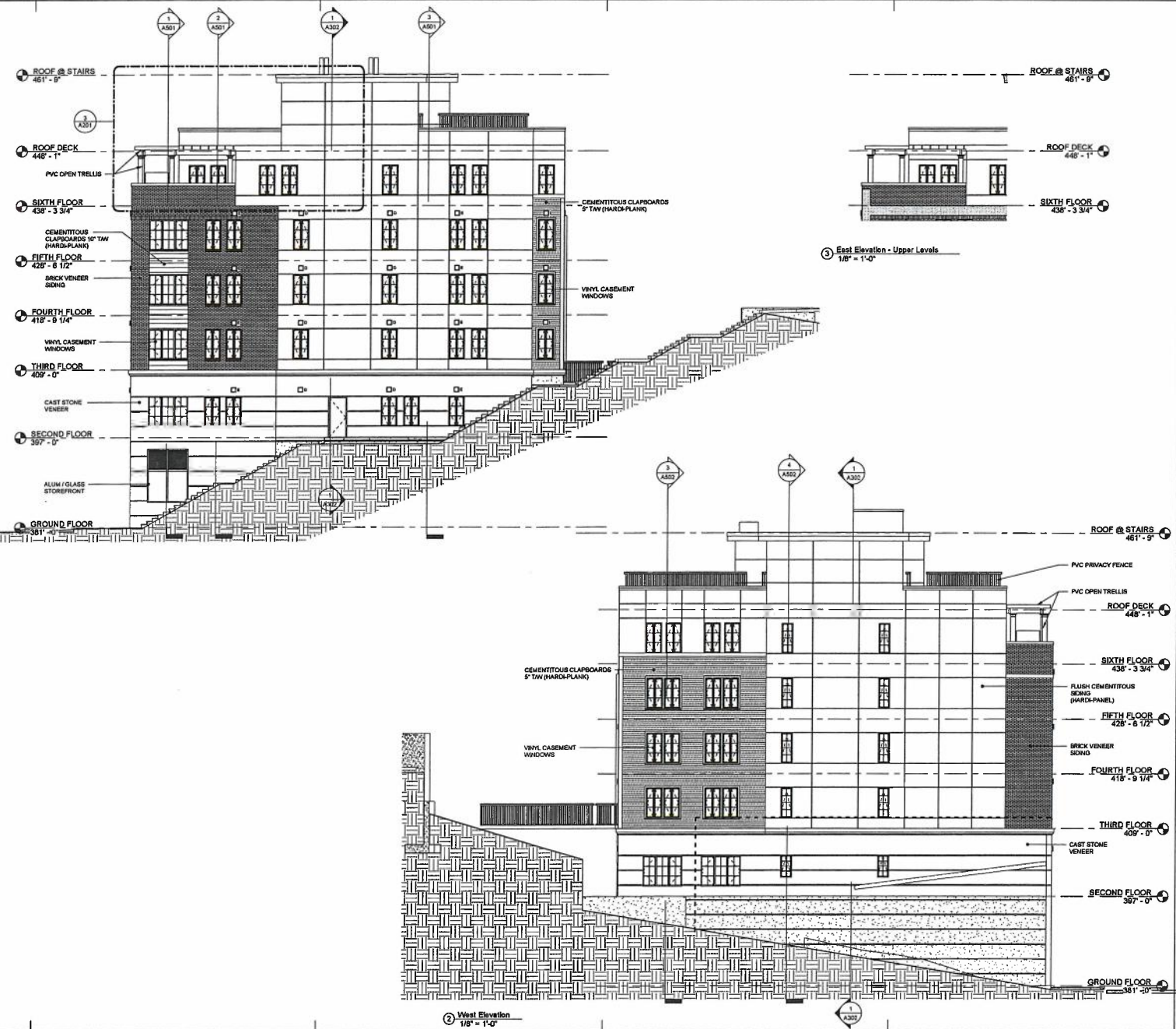
EAST & WEST EXTERIOR ELEVATIONS

Prepared For: JDLAI 2019 ©
 Designer: Approver:

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Drawn	Rev.
07/13/19	1
07/13/19	2
07/13/19	3
07/13/19	4
07/13/19	5
07/13/19	6
07/13/19	7
07/13/19	8
07/13/19	9
07/13/19	10

A201



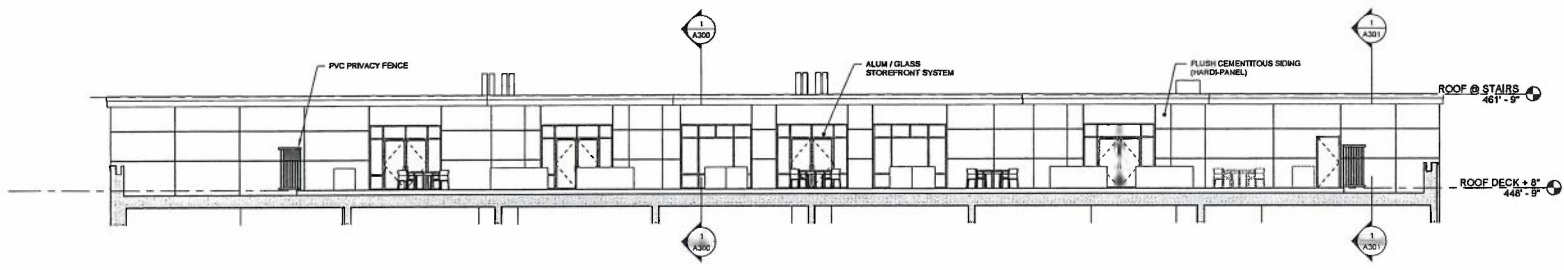
① East Elevation (Public Stairs)
 1/8" = 1'-0"

② East Elevation - Upper Levels
 1/8" = 1'-0"

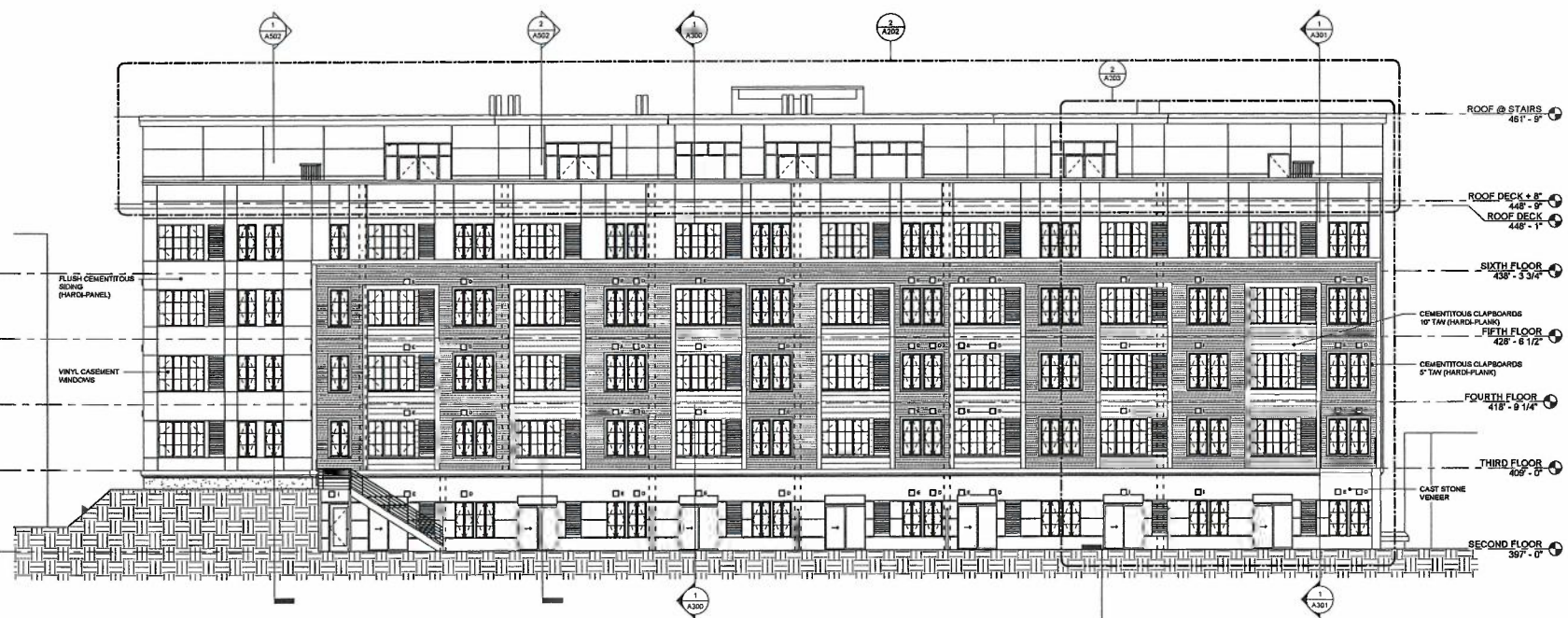
③ West Elevation
 1/8" = 1'-0"



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② North Elevation - Upper Levels
 1/8" = 1'-0"



① North Elevation (View from Residential Neighborhood "French Hill")
 1/8" = 1'-0"

Site

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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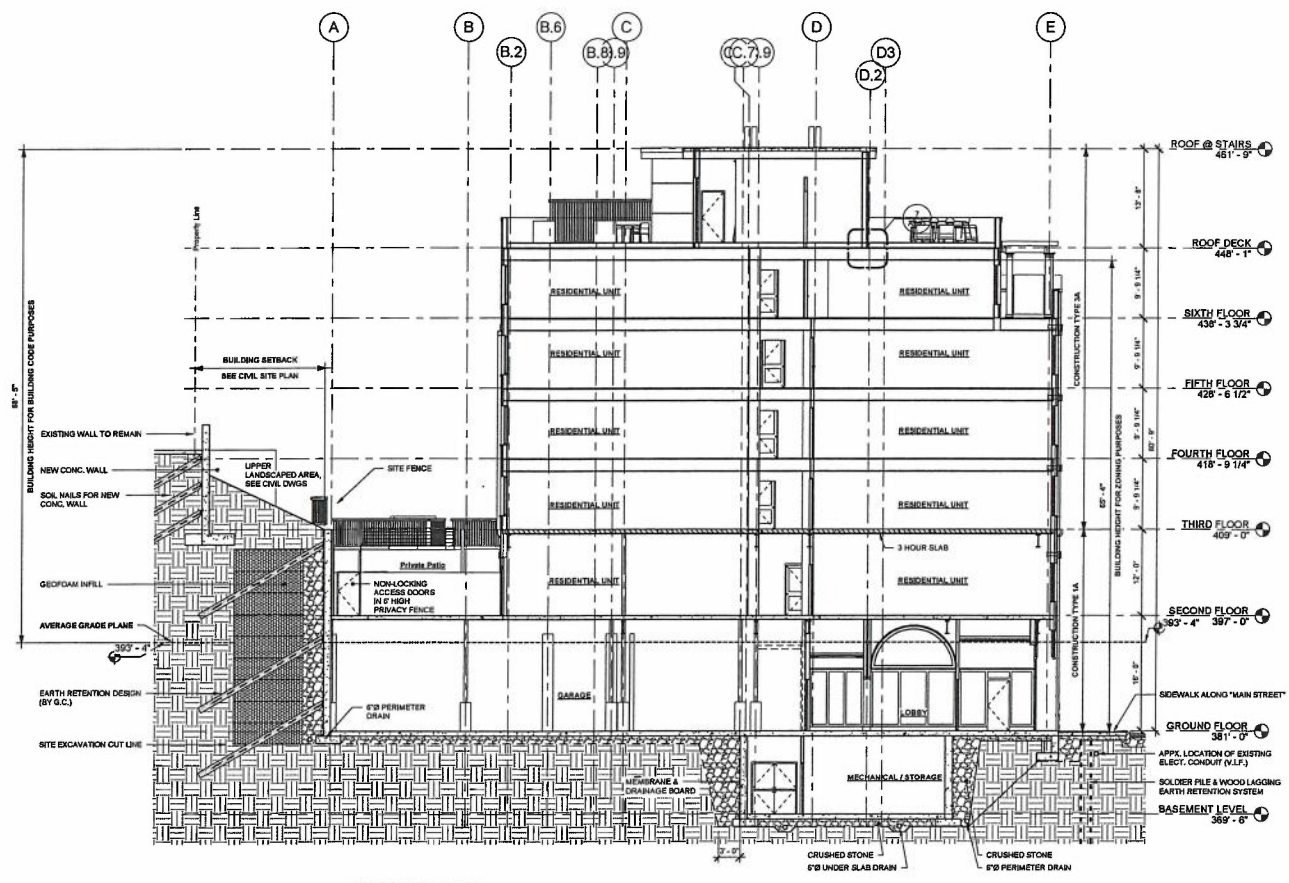
NORTH EXTERIOR ELEVATION

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 Location: **Andover, MA**
 Date: **07/12/19**

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Sheet No. **A202**

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10/1/19	02	
11/1/19	03	
12/1/19	04	
01/1/20	05	
02/1/20	06	
03/1/20	07	
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09/1/27	97	
10/1/27	98	
11/1/27	99	
12/1/27	100	



1 N-S Building Cross Section
1/8" = 1'-0"



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 www.jdgroupinc.com

Rev

E on MAIN

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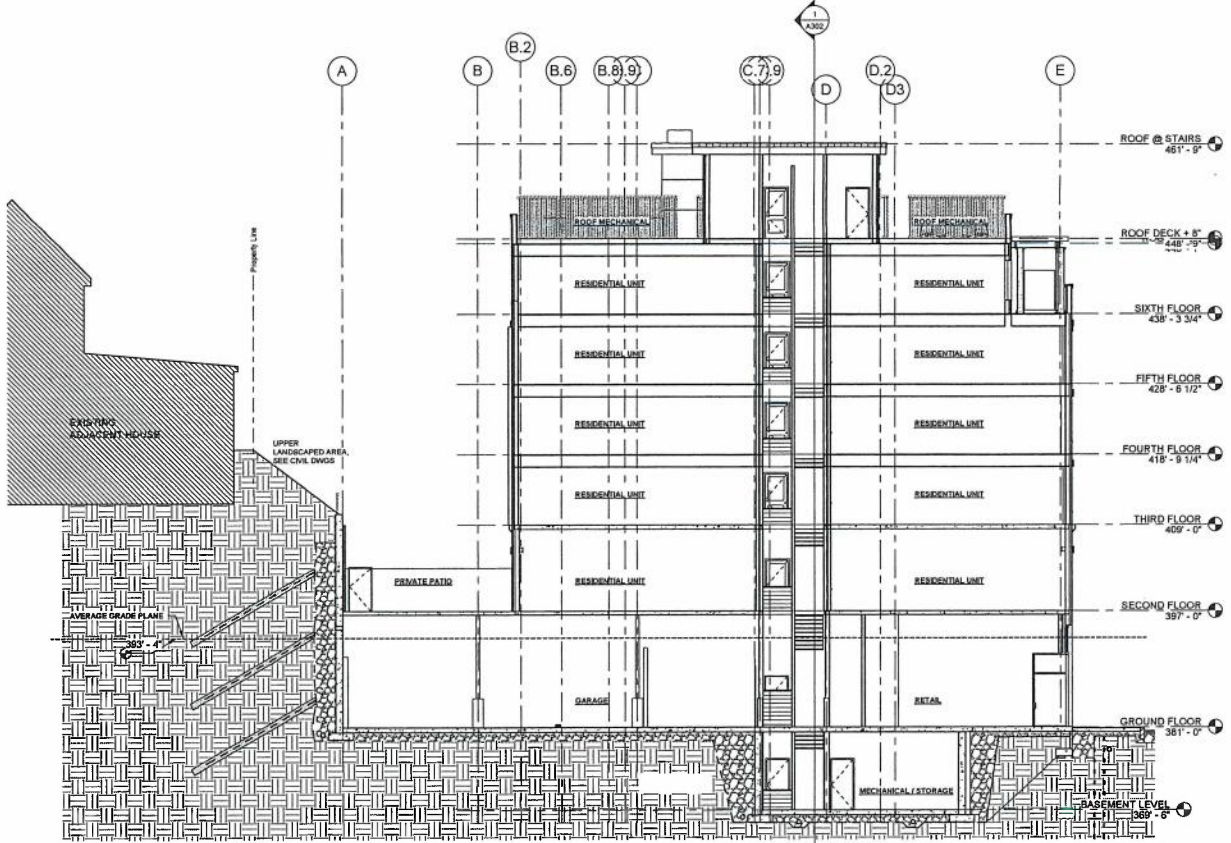
BUILDING SECTION II

Prepared by: Apprentice
 Location:
 Title:

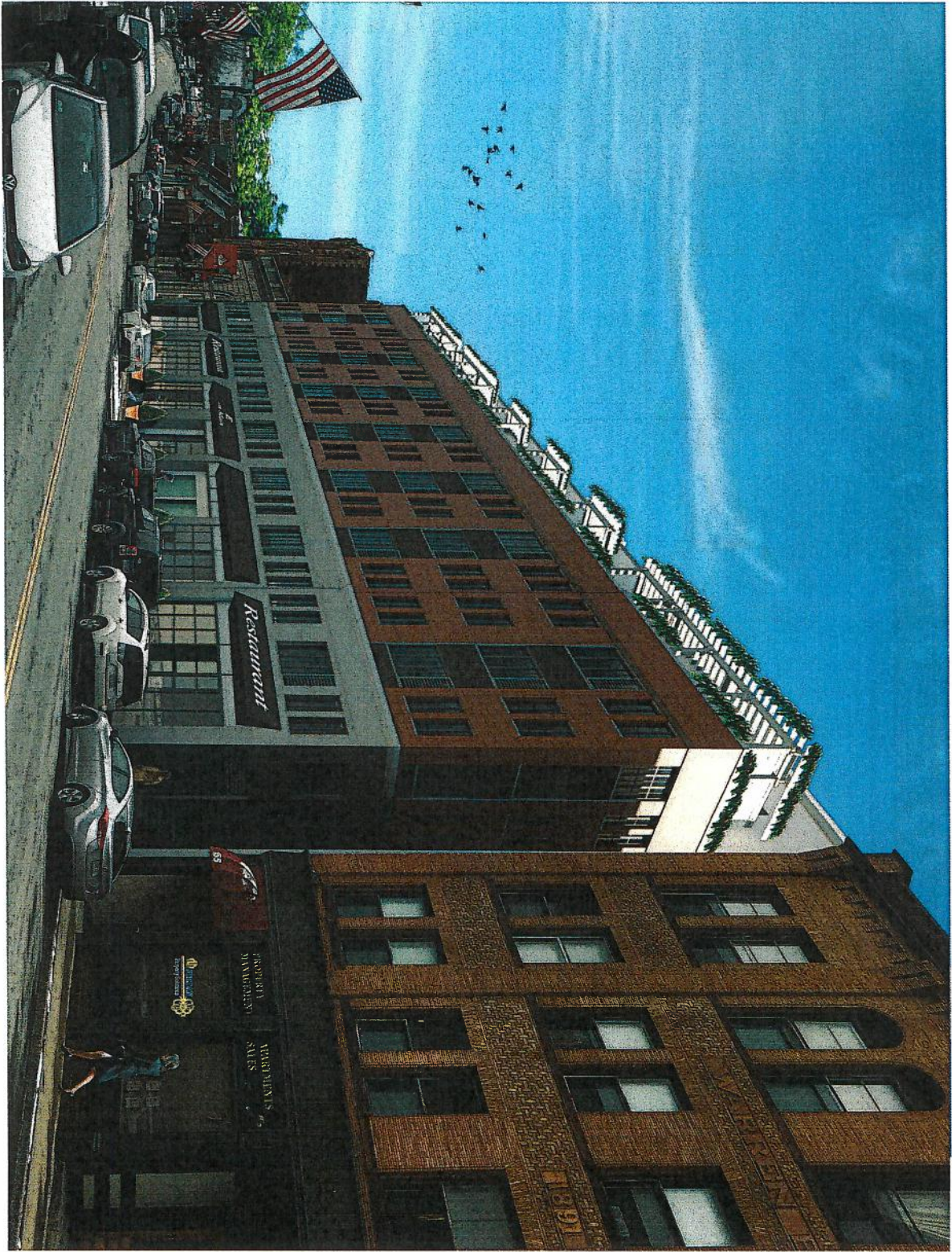
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Rev. desc.	
Date:	
Rev. no.	
Rev. desc.	

A301



1 N-S Cross Section @ House on North Side Hill
 1/8" = 1'-0"



A220a

NO.	DATE	REVISIONS
1	01/11/10	2354

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prepared for:
 location: Approver
 title:
 SE Perspective View

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 ARCHITECT
 LLC ARCHITECTS
 127 WASHINGTON STREET
 MARLBOROUGH, MA 01501

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 One Elm Square, Andover, MA 01810
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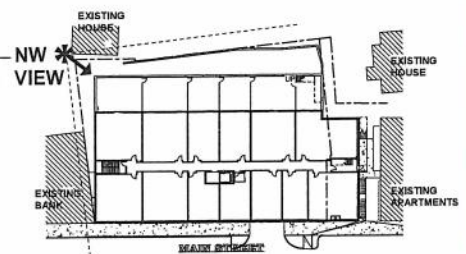
A221a	DATE	2/24
	NO.	02/15/19
	REVISION	
	DATE	

prepared for: **JDLA 20190**
 location: **Approver**
 title: **NE Perspective**

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① NW PERSPECTIVE LOCUS KEY
1" = 40'-0"

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NW Perspective

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DATE	BY
REVISIONS	
DATE	07/12/18
NO.	
DATE	2764

A222a