



IN CITY COUNCIL

Marlborough, Mass., SEPTEMBER 18, 2023

PAGE 1

ORDERED:

IN CITY COUNCIL
DECISION ON A SPECIAL PERMIT
ORDER NO. 23-1008939D

The City Council of the City of Marlborough hereby **GRANTS** the Application for a Special Permit to George Voyiatzis (the "Applicant") for a multifamily dwelling project at 358 and 364 Lincoln Street in the Neighborhood Business Zoning District, as provided in this Decision and subject to the following Findings of Fact and Conditions.

FINDINGS OF FACT

1. The Applicant, George Voyiatzis, is the Manager of Lincoln 358 Realty, LLC, which owns the property located 358 and 364 Lincoln Street in Marlborough, MA, being shown on Assessors Map 69 as Parcels 265 and 267, as shown on the Plans referenced in paragraph 5 below (the "Site"). The Applicant has a mailing address of 115 Pleasant Street, Cambridge, MA 02139.
2. In accordance with Section 650-12.B, Section 650-17, Section 650-18(A)(4), and Section 650-39 of the Zoning Ordinance of the City of Marlborough (the "Zoning Ordinance"), the Applicant proposes a multifamily dwelling at the Site (the "Use"). As shown on the Plans referenced in paragraph 5 below, the Use consists of 17 residential units in a former armory building, a parking area with 32 spaces, and landscaped areas.
3. The Applicant filed with the City Clerk of the City of Marlborough an Application for a Special Permit ("Application") for the Use.
4. In connection with the Application, the Applicant submitted a certified list of abutters, filing fees, and a site plan entitled "Proposed Addition To: 358 Lincoln Street" by Spruhan Engineering, P.C., with the last revision date of July 22, 2023 (the "Plans") attached hereto as **"ATTACHMENT A."**
5. The Application was certified as complete by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, in accordance with the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.
6. The Site is located in the Neighborhood Business Zoning District.
7. The Site has an area of 24,768 square feet +/- as shown on the Plans.
8. The armory building on the Site is preexisting nonconforming with respect to front, side, and rear yard setbacks, and parking.



IN CITY COUNCIL

Marlborough, Mass., SEPTEMBER 18, 2023

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ORDERED:

9. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.
10. The Marlborough City Council, pursuant to Massachusetts General Laws Chapter 40A, opened a public hearing on the Application on Monday, August 21, 2023. The public hearing was held at the Marlborough City Hall, 140 Main Street. The hearing was closed on August 21, 2023.
11. The Applicant, through its representatives, presented testimony at the public hearing detailing the Use, describing its impact upon municipal services, the neighborhood, and traffic.
12. At the public hearing, five members of the public spoke in favor of the use and no members of the public spoke in opposition to the Use.
13. Councilor Teona Brown was absent from the single session of the public hearing on the Application. Prior to the vote on this decision, Councilor Brown filed a written certification as to examination of all the evidence and testimony received at the hearing session as set forth in **"ATTACHMENT B"** hereto, made as part of the record of the hearing, in accordance with Massachusetts General Laws Chapter 39, Section 23D.

BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING FINDINGS AND TAKES THE FOLLOWING ACTIONS

- A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.
- B. The City Council finds that the proposed change of the preexisting nonconforming building to a multifamily dwelling use with parking areas and landscaping would not be substantially more detrimental to the neighborhood than the prior armory use of the Site.
- C. The City Council finds that the floor and ground area of the preexisting nonconforming building is not enlarged by more than 25% as part of the Use.
- D. The City Council finds that the proposed Use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.



IN CITY COUNCIL

Marlborough, Mass., SEPTEMBER 18, 2023

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ORDERED:

- E. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby **GRANTS** the Applicant a Special Permit for a multifamily dwelling at the Site as shown on the Plans filed, **SUBJECT TO THE FOLLOWING CONDITIONS**, which conditions shall be binding on the Applicant, its successors and/or assigns:
1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts and shall be built according to the Plans as may be amended during Site Plan Review.
 2. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review by the Site Plan Review Committee, in accordance with the City of Marlborough Site Plan Review Ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications, or amendments, as required during the process of Site Plan Review, shall be further conditions attached to the building permit, and a final certificate of occupancy shall not be issued until the Applicant has complied with all conditions, provided that the Site Plan Committee may authorize the phasing of site and building work depending upon weather conditions and other factors. Subsequent Site Plan Review shall be consistent with the conditions of this Special Permit and the Plans submitted, reviewed, and approved by the City Council as the Special Permit Granting Authority.
 3. Modification of Plans. Notwithstanding conditions #1 and #2 above, the Site Plan Review Committee may approve minor amendments to the Plan's, so long as said changes do not materially increase the impervious area of the Use, alter traffic flow, or materially increase the size of the building, or increase the number of residential units, all as shown on the Plans.
 4. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.



IN CITY COUNCIL

Marlborough, Mass., SEPTEMBER 18, 2023

PAGE 4

ORDERED:

5. Storm Water and Erosion Control Management. The Applicant shall ensure that its site superintendent during construction of the project is competent in stormwater and erosion control management. This individual(s)' credentials shall be acceptable to the Engineering Division of the City's Department of Public Works and the City's Conservation Commission. This individual(s) shall be responsible for checking the Site before, during, and after storm events including weekends and evenings when storms are predicted. This individual(s) shall ensure that no untreated stormwater leaves the Site consistent with the State's and the City's stormwater regulations. This individual(s) shall ensure compliance with the approved sequence of construction plan and the approved erosion control plan. The Applicant shall grant this individual(s) complete authority of the Site as it relates to stormwater and erosion controls.
6. Landscaping and Screening. As part of site plan review, the Site Plan Review Committee shall review the Site's landscaping and screening and shall be authorized to require additional fencing or landscaping as needed to provide appropriate buffers and screening for the adjacent properties and future residents of the Site.
7. Landscaping Easement over 31 Gay Street. Prior to the issuance of a building permit for the Use, the Applicant shall obtain and have recorded with the Middlesex South District Registry of Deeds a permanent landscaping easement over a portion of the abutting property located at 31 Gay Street, as shown on the Plans. The landscaping shown on the approved site plan within this easement area shall be maintained in perpetuity as part of the 358 and 364 Lincoln Street property maintenance.
8. Lighting. Exterior lighting at the Site shall be downward facing and shielded to minimize impacts on neighboring properties, with a lighting plan for the Site to be reviewed and further conditioned during the Site Plan Review process.
9. Electric Utilities. The Use shall have all-electric utilities, including heat, air conditioning, and hot water.
10. Compliance with Applicable Laws. The Applicant shall comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of the Use.
11. Recording of Decision. In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council's office, the Building Department, and the City Solicitor's office.



IN CITY COUNCIL

Marlborough, Mass., SEPTEMBER 18, 2023

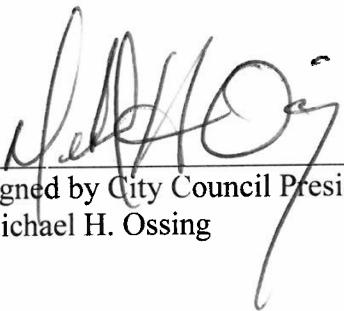
PAGE 5

ORDERED:

Yea: 10 – Nay: 0 – Abstain: 1

Yea: Wagner, Doucette, Brown, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.

Abstain: Dumais



Signed by City Council President
Michael H. Ossing

ADOPTED
In City Council
23-1008939D

ORDER NO. 23-1008939D

ATTACHMENT

A



SITE PLAN

PROPOSED ADDITION TO: 358 LINCOLN STREET MARLBOROUGH, MA 01752

I CERTIFY THAT THIS PLAN WAS CREATED BY AN INSTRUMENT SURVEY ON THE GROUND PERFORMED APRIL 30, 2021 & THAT ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

EDMOND SPRUHAN P.E.

PROPERTY OWNER:
LINCOLN 358 REALTY, LLC.
115 PLEASANT STREET
CAMBRIDGE, MA 02139
PH: (608) 479-6405

ENGINEER:
SPRUHAN ENGINEERING, P.C.
80 JEWETT STREET
NEWTON, MA 02458
PH: (617) 816-0722

DEVELOPER:
GEORGE VOMATZIS
115 PLEASANT STREET
CAMBRIDGE, MA 02139
PH: (608) 479-6405

ARCHITECT:
LUCIO TRABUCCO ARCHITECTS
109 HIGHLAND AVE., UNIT B1
NEEDHAM, MA 02494
PH: (617) 828-7258

FOOTNOTES:

SITE PLANS:

ISSUED FOR SITE PLAN REVIEW
DATE ISSUED: 5-17-23
LATEST ISSUE: 7-22-23

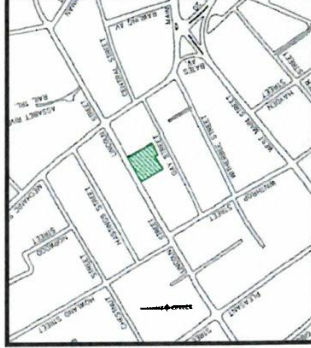
INDEX:

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C1	COVER SHEET
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E1.2	EXISTING FLOOR PLANS
E2	PROPOSED PLOT PLAN
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A1.1	PROPOSED GROUND FLOOR PLAN
A1.2	PROPOSED SECOND FLOOR PLAN
A1.3	PROPOSED THIRD FLOOR PLAN
A2	PROPOSED (FRONT / REAR) ELEVATIONS
A2.1	PROPOSED (LEFT / RIGHT) ELEVATIONS
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E5	PROPOSED LANDSCAPE PLAN
E5.1	LANDSCAPE PLAN NOTES

ZONING TABLE

ASSESSOR'S MAP: MAP 69, PARCEL 265, 267
ZONING DISTRICT: ZONE "NR" NEIGHBORHOOD BUSINESS DISTRICT
HISTORIC DISTRICT: N/A
FLOOR PLAN DISTRICT: ZONE X
PROPOSED USE: RESIDENTIAL CONDOMINIUMS
BUILDING AREA: 29,848 S.F.

	EXISTING	REQUIRED	PROPOSED
ZONING REQUIREMENTS			
LOT SIZE:	24,768 S.F.	22,097 S.F.	24,768 S.F.
LOT FRONTAGE:	157'	50'	181'
MAX. BUILDING HEIGHT:	75' (MAX)	35' (MAX)	35' (MAX)
FRONT YARD SETBACK:	21'-0"	25'	21'-0"
SIDE YARD SETBACK:	5'	5'	5'
REAR YARD SETBACK:	5'	5'	5'
PARKING SPACES FROM BUILDING:	N/A	5	25
STANDARD IN-LOT:	0	32	32
STANDARD OFF-LOT:	0	20	20
MIN. ACCESSIBLE PARKING:	0	1	1
ACCESSIBLE PARKING:	0	1	1
LANDSCAPE REQUIREMENTS:	N/A	25% (MIN)	33.30%
NOTES: 1. ENFORCE ZONING REGULATIONS.			
	REQUIRED	PROPOSED	
(1) Three Bedroom Unit	N/A	2	2
(4) Two Bedroom Units	N/A	25	25
(2) One Bedroom Units	N/A	3	3
(1) Office	N/A	31	31



APPROVED BY THE CITY OF MARLBOROUGH

PLANNING: _____

ENGINEERING: _____

BUILDING: _____

FIRE: _____

POLICE: _____

CONSERVATION: _____

BOARD OF HEALTH: _____

CITY COUNCIL APPROVAL

NUMBER: # _____

DATE: _____

REVISION DATE



Spruhan Engineering, P.C.
 40 MARKET ST., SUITE 11
 MARLBOROUGH, MA 01565
 TEL: 617-914-0722
 E-MAIL: SPRUHAN@SPRUHAN.PC.COM

**358 LINCOLN STREET
 MARLBOROUGH
 MASSACHUSETTS**

SURVEY PLAN

REVISION BLOCK

NO.	DESCRIPTION	DATE

All legal rights retained, but not limited to, the right to use, copy, reproduce, or transmit, in any form or by any means, the design, drawings, and plans, and the information contained therein, and to use the same as they may be used or incorporated in other projects, without the written consent of Spruhan Engineering, P.C. This is to be used in connection with the project, and in no way shall it be used for any other project. The dimensions on these drawings shall have precedence over scaled drawings. Spruhan Engineering, P.C. shall not be responsible for all dimensions and conditions on this project, and Spruhan Engineering, P.C., shall not be responsible for any existing conditions on this project, and Spruhan Engineering, P.C. shall not be responsible for any conditions on this project.

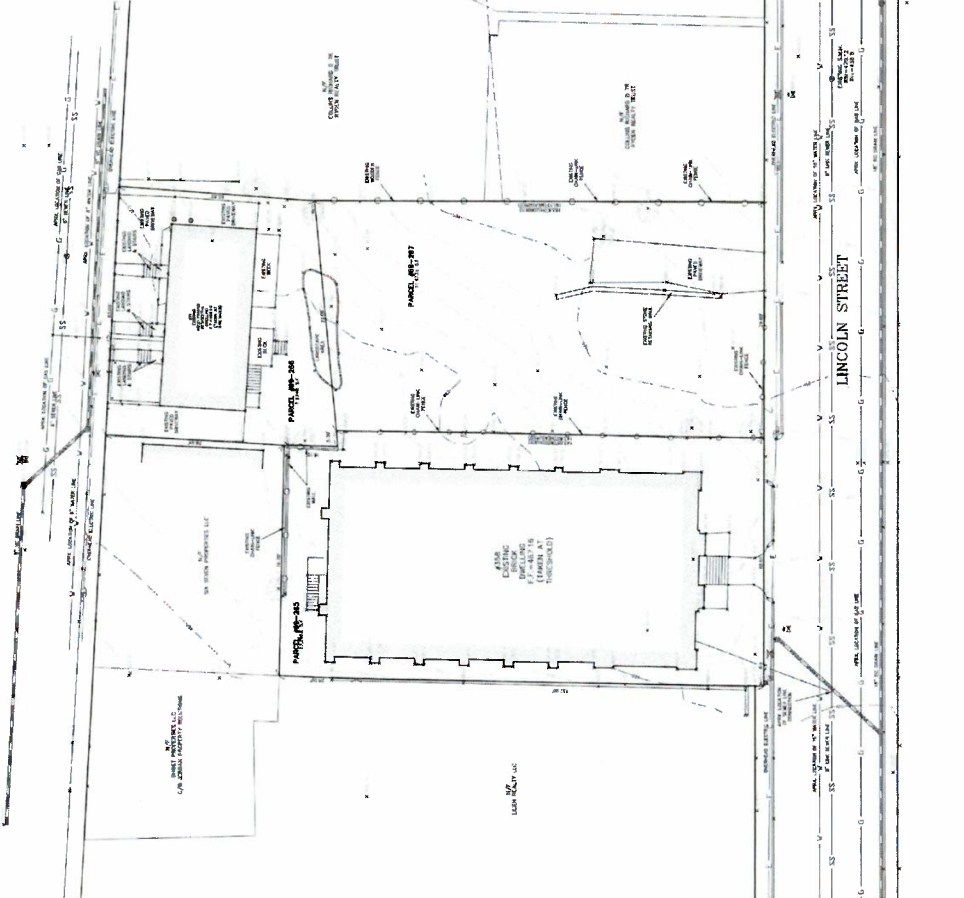
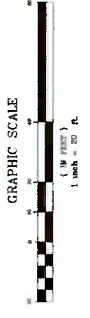
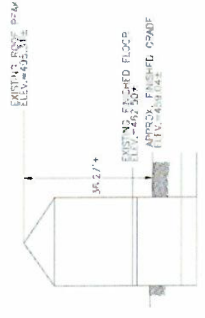
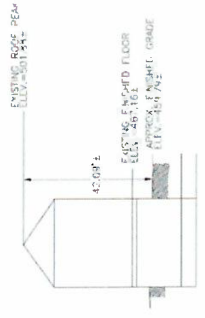


DATE: 4/30/2021
 DRAWN BY: K.K.
 CHECKED BY: E.S.
 APPROVAL BY: E.S.

**EXISTING
 CONDITIONS**

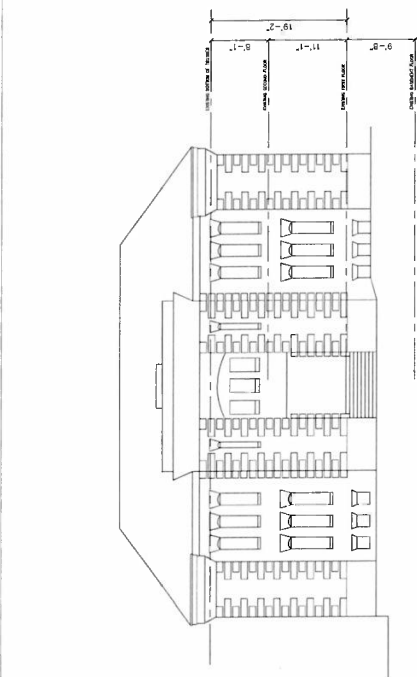
E1

- NOTES:**
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 12/21/2020.
 2. USED REFERENCE #34 - BOOK 889A, PAGE 472
 3. USED REFERENCE #35 - BOOK 889A, PAGE 187
 4. USED REFERENCE #36 - BOOK 819, PAGE 157
 5. USED REFERENCE #37 - BOOK 819, PAGE 157
 6. WINDLEY COUNTY SOUTH DISTRICT RECORD OF DEEDS
 7. THIS PLAN IS NOT INTENDED TO BE RECORDED
 8. I CERTIFY THAT THE DOWLING SHOWS IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 2501 (DNR), IN COMPANY NUMBER: 25001, ON ED 7/7/2016.
 9. THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY AS TO THE ACCURACY OF THE DATA, NOR DOES IT CONSTITUTE A GUARANTEE OR WARRANTY AS TO THE EXISTENCE OF ANY UTILITIES OR CONDITIONS ON THE LAND. HOWEVER THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EXISTING UTILITIES OR CONDITIONS ARE SHOWN.
 10. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
 11. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS SPRUHAN ENGINEERING, P.C. ARE NOT A ZONING DEPARTMENT AND THE INFORMATION IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE.
 12. HEIGHTS ARE NOT INTENDED TO BE USED FOR THE PURPOSES OF ZONING ANALYSIS.
 13. THE ELEVATIONS SHOWN ARE BASED ON CITY OF MARLBOROUGH DATUM.

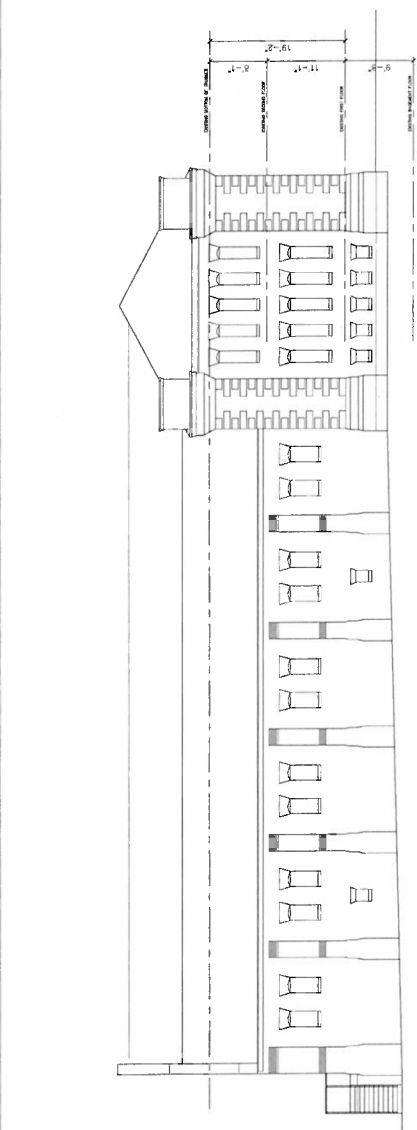


LEGEND

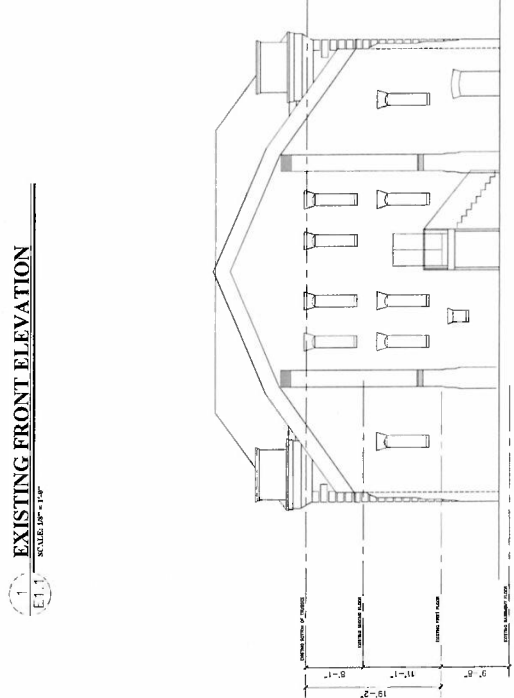
	ROUND
	IRON PIPE/REBAR
	STONE POST
	TREE
	TREE SWAMP
	SHRUBBERY/TOWERS
	BON LAP
	SCREEN MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	WATER VALVE
	HYDRANT
	GAS VALVE
	ELECTRIC MANHOLE
	UTILITY POLE
	LIGHT POLE
	MANHOLE
	SPOT GRADE
	TOP OF WALL
	BOTTOM OF WALL
	EXISTING BUILDING
	RETAINING WALL
	STONE WALL
	FENCE
	TREE LINE
	SEWER LINE
	DRAIN LINE
	WATER LINE
	GAS LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD WIRES
	CONTOUR LINE (20FPS)
	CONTOUR LINE (5FPS)



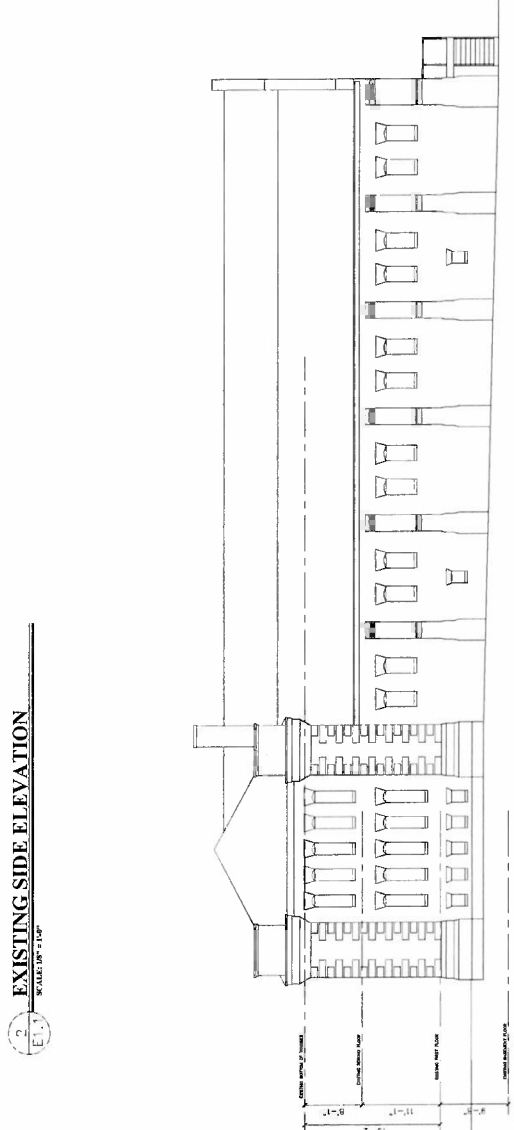
1
EXISTING FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



2
EXISTING SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



3
EXISTING REAR ELEVATION
 SCALE: 1/8" = 1'-0"



4
EXISTING SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
 3. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
 4. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
 5. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.

NO. REV. SIZES

ALTERATIONS TO:
 358-364 LINCOLN STREET
 MARLBOROUGH, MA,

TRABUCCO ARCHITECTS
 220 STATE STREET
 MARLBOROUGH, MASSACHUSETTS 01501
 TEL: 508-253-1111 FAX: 508-253-1112
 WWW.TRABUCCOARCHITECTS.COM

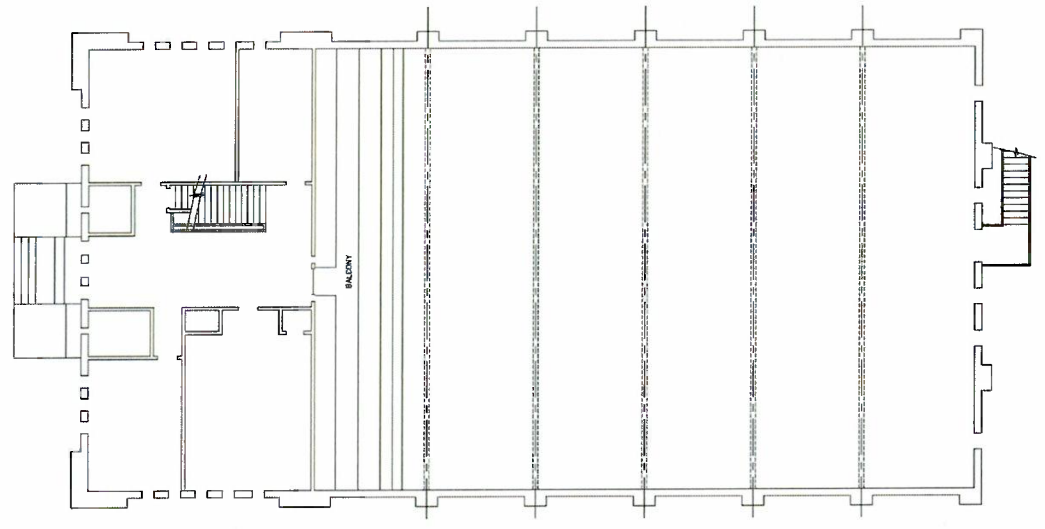


DATE: 10/24/2018
 DRAWN BY: [Name]
 CHECKED BY: [Name]

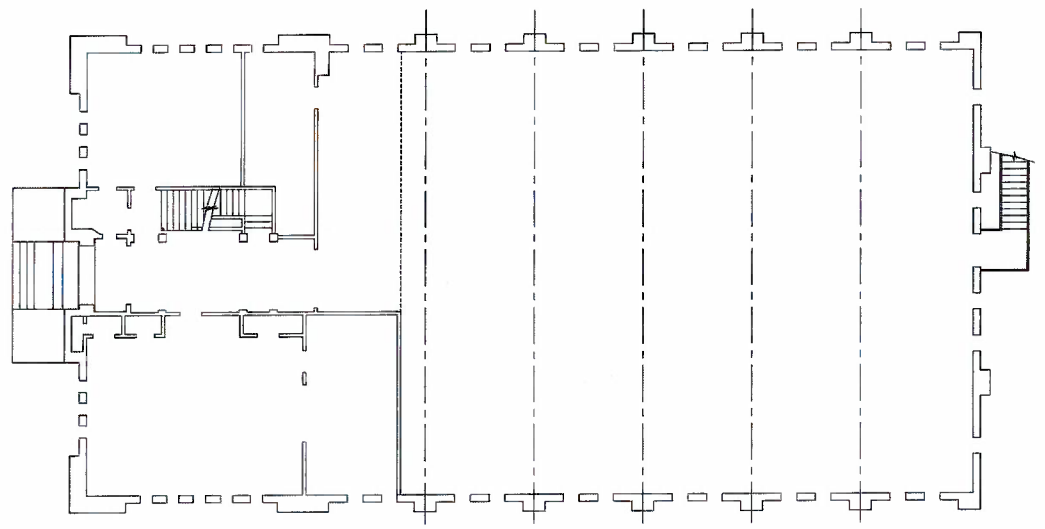
EXIST.
 FLOOR
 PLANS

SCALE: AS NOTED
 PROJECT NO.: 18038

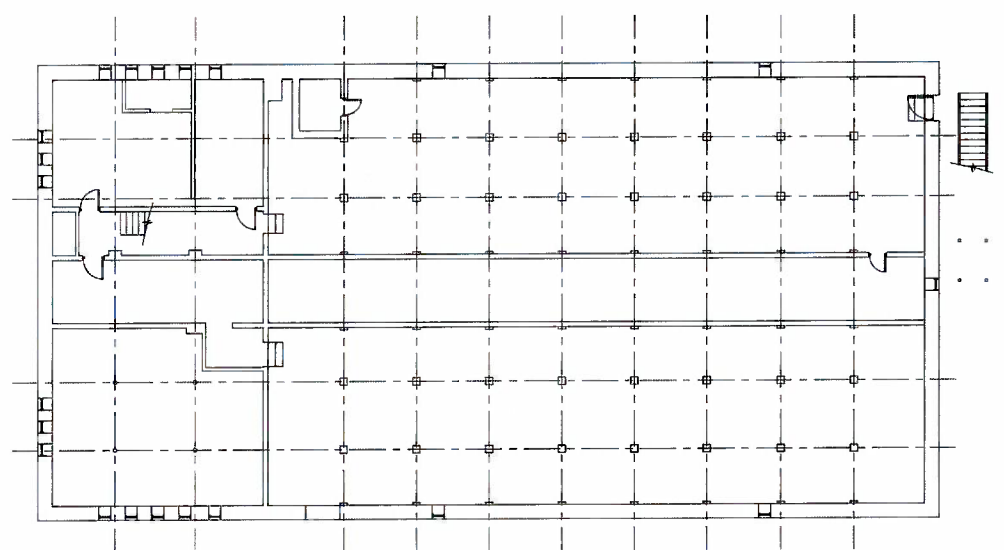
E1.2



1 EXISTING SECOND FLOOR PLAN
 E1.0 SCALE: 1/8" = 1'-0"



2 EXISTING GROUND FLOOR PLAN
 E1.0 SCALE: 1/8" = 1'-0"



3 EXISTING BASEMENT FLOOR PLAN
 E1.0 SCALE: 1/8" = 1'-0"



Spruhan Engineering, P.C.
 80 BETH ST. SUITE 11
 MARLBOROUGH, MA 01758
 Tel. 517-516-0772
 Email: edmond@spruhaneng.com

**358 LINCOLN STREET
 MARLBOROUGH
 MASSACHUSETTS**

CIVIL PLAN

REVISION BLOCK

BY	DESCRIPTION	DATE

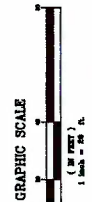
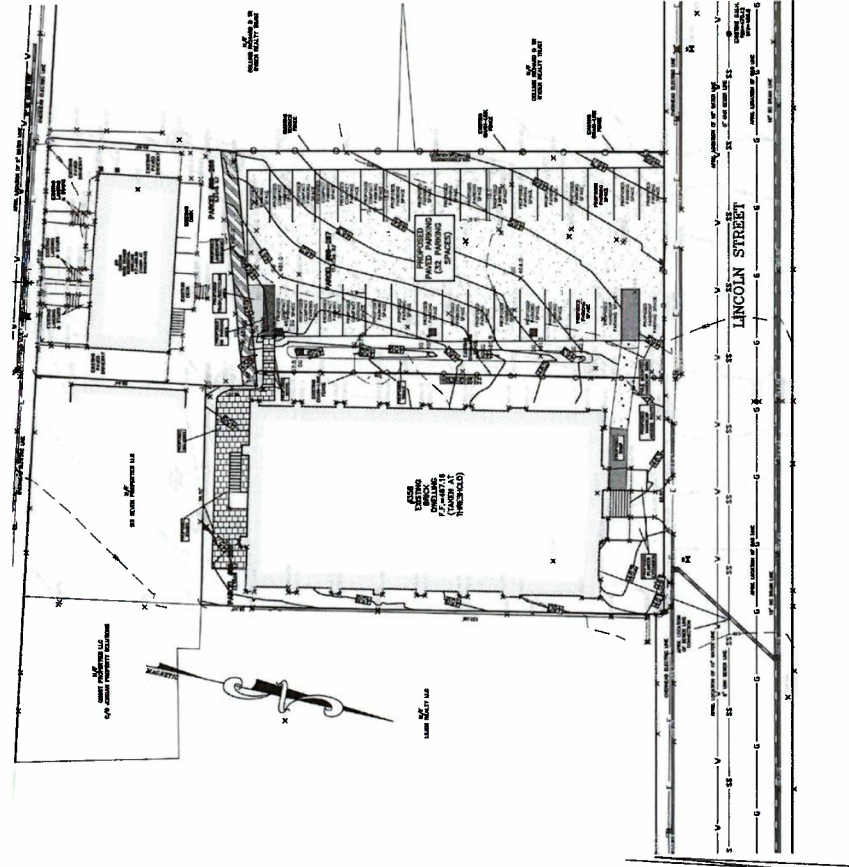
All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans of this project, and the site, are the property of Spruhan Engineering, P.C. They may not be used or re-used in whole or in part, without the prior written consent of Spruhan Engineering, P.C. All other rights are reserved by Spruhan Engineering, P.C. Without prejudice to the above, the contractor shall have precedence over scaled dimensions. Contractors shall verify and be responsible for the accuracy of all field data for this project, and Spruhan Engineering, P.C. must be notified of any variation from the above dimensions and conditions shown by the drawings.



DATE	5/17/2013
DRAWN BY	D.E.P.
CHECKED BY	E.S.
APPROVED BY	E.S.

**PROPOSED PLOT
 PLAN
 E2**

- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY THE FIRM SPRUHAN ENGINEERING, P.C. AS OF 11/27/2012.
 2. FIELD MEASUREMENTS AND PHOTOGRAPHS WERE OBTAINED FROM A SURVEYOR LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS, STATE LICENSE NO. 1474.
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. ALL ELEVATIONS WERE TAKEN AT THE POINTS SHOWN ON THIS PLAN. ELEVATIONS AT OTHER POINTS WERE DETERMINED BY INTERPOLATION.
 5. THE PLAN IS NOT INTENDED TO BE RECORDED.
 6. ALL ELEVATIONS WERE TAKEN AT THE POINTS SHOWN ON THIS PLAN. ELEVATIONS AT OTHER POINTS WERE DETERMINED BY INTERPOLATION.
 7. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF THE ORIGINAL DATA PROVIDED BY THE CLIENT. SPRUHAN ENGINEERING, P.C. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE ORIGINAL DATA PROVIDED BY THE CLIENT.
 8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF MARLBOROUGH DATUM.



LEGEND

□	BOUND
○	IRON PIP/WPE
●	TREE
⊙	SEWER MANHOLE
⊗	CATCH BASIN
⊕	WATER VALVE
⊖	GAS VALVE
⊗	UTILITY POLE
⊙	MANHOLE
X	SPOT GRADE
—	EXISTING BUILDING
- - -	STONE WALL
—	TREE LINE
—	SEWER LINE
—	DRAIN LINE
—	WATER LINE
—	GAS LINE
—	OVERHEAD WIRE
- - -	CONTOUR LINE (1' IN 1')
—	CONTOUR LINE (2' IN 1')



Spruhan Engineering, P.C.
80 LEWETT ST. (SUITE 1)
NEWTON, MA 02458
Tel: 617-816-0722
Email: edmond@spruhaneng.com

355 LINCOLN STREET
MARLBOROUGH
MASSACHUSETTS

CIVIL PLAN

REVISION BLOCK

Table with columns: NO., DESCRIPTION, DATE. Contains one blank row.



DATE: 10/13/2023
DRAWN BY: G.P.
CHECKED BY: L.S.
APPROVED BY: E.S.

PROPOSED DRAINAGE
PLAN
E2.1

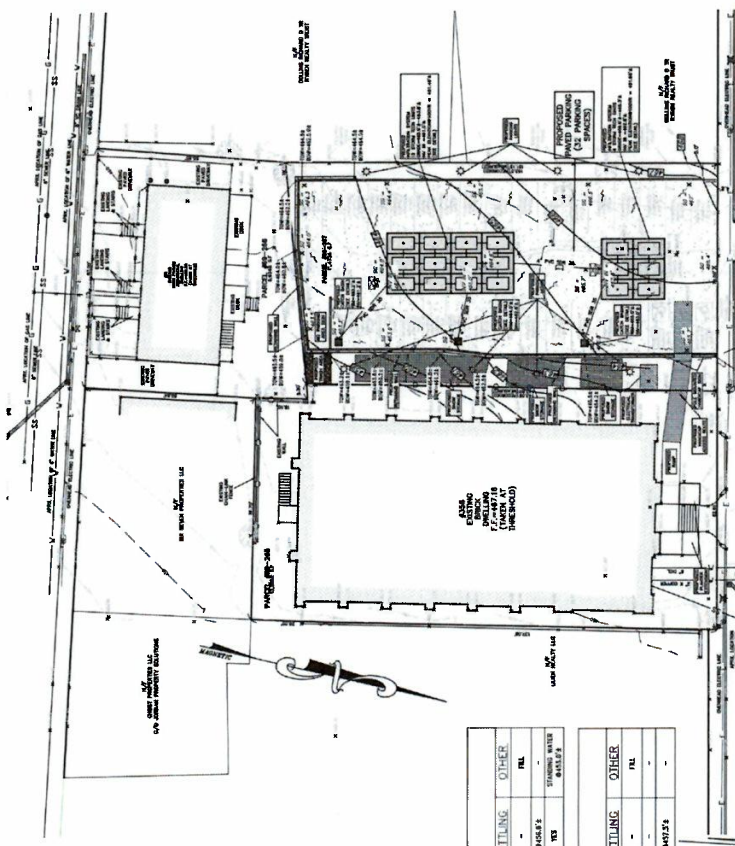
- NOTES
1. THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 10/27/2023.
2. BEED REFERENCE FROM ROOM 0004, PAGE 432...
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. THE CITY OF MARLBOROUGH HAS REVIEWED THIS PLAN AND ISSUED A PERMIT.
5. THE DRAINAGE SHOWN ARE BASED ON CITY OF MARLBOROUGH DATUM.

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY INDEPENDENT...
2. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS...
3. ALL WORK SHALL COMPLY TO CITY OF MARLBOROUGH GENERAL CONSTRUCTION...
4. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES AND THE LOCATION OF ALL UTILITIES...
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTING...
6. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS IS BASED...
7. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES AND THE LOCATION OF ALL UTILITIES...
8. NO LOGS, HOLELOGS OR OTHER RECORDING MATERIALS ARE TO BE LEFT WITHIN 6'...
9. PAVEMENT SHALL BE PLACED TO A MINIMUM OF 18" BELOW THE FINISH GRADE...
10. BASE MATERIAL SHALL BE CLEAN BANK SAND, CONFORMING TO ASTM D-1557...
11. ALL CURBS SHALL BE CUT ALONG A STRAIGHT LINE...
12. ANY PAVEMENT REQUIRED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE...
13. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES AND THE LOCATION OF ALL UTILITIES...
14. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MARLBOROUGH...
15. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES AND THE LOCATION OF ALL UTILITIES...
16. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MARLBOROUGH...

HYDROCAD RESULTS SUMMARY

Table with columns: STORM EVENT, EXISTING, PROPOSED, EXISTING, PROPOSED, EXISTING, PROPOSED. Rows for 2-Year, 10-Year, 25-Year, 100-Year events.



LEGEND table listing symbols for BOULD, IRON PIPE/PIPE, TREE, SLOPER MARKER, CATCH BASIN, WATER VALVE, GAS VALVE, UTILITY POLE, MANHOLE, SPOT GRADE, EXISTING BUILDING, STONE WALL, FENCE, TREE LINE, SEWER LINE, DRAIN LINE, WATER LINE, GAS LINE, OVERHEAD WIRES, CONTOUR LINE (DASH), CONTOUR LINE (SOLID).

DRAINAGE AREA SUMMARY

EXISTING ROOF AREA = 6,662.2 S.F.
EXISTING PAVEMENT AREA = 13,534.8 S.F.
EXISTING LANDSCAPE AREA = 163,838.8 S.F.
PROPOSED ROOF AREA = 6,662.2 S.F.
PROPOSED PAVEMENT AREA = 13,534.8 S.F.
PROPOSED LANDSCAPE AREA = 17,546.7 S.F.
TOTAL EXISTING IMPERVIOUS AREA = 6,133.3 S.F.
TOTAL PROPOSED IMPERVIOUS AREA = 7,464.1 S.F.
TOTAL INCREASE IN IMPERVIOUS AREA = 1,330.8 S.F.

DEEP OBSERVATION HOLE LOG:

GENERAL NOTE: COMMENTS FOR THE AREA PERFORMED AT 355 LINCOLN ST., MARLBOROUGH MA, BY EDWARD M. SPRUHAN, PE, AS OF 10/27/2023.
HOLE LOG #1: 8' - 12' SANDY SILT, 12' - 18' SANDY SILT, 18' - 24' SANDY SILT, 24' - 30' SANDY SILT.
HOLE LOG #2: 8' - 12' SANDY SILT, 12' - 18' SANDY SILT, 18' - 24' SANDY SILT, 24' - 30' SANDY SILT.

HOLE LOG #1 table with columns: DEPTH, ELEVATION, HORIZON, TEXTURE, COLOR, MOTTILING, OTHER.

HOLE LOG #2 table with columns: DEPTH, ELEVATION, HORIZON, TEXTURE, COLOR, MOTTILING, OTHER.

GRAPHIC SCALE
1" = 10' (HORIZONTAL)
1" = 4' (VERTICAL)



Spruhan
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Email: espruhan@spruhaneng.com

358 LINCOLN STREET
MARLBOROUGH
MASSACHUSETTS

CIVIL PLAN

REVISION BLOCK

BY	DESCRIPTION	DATE

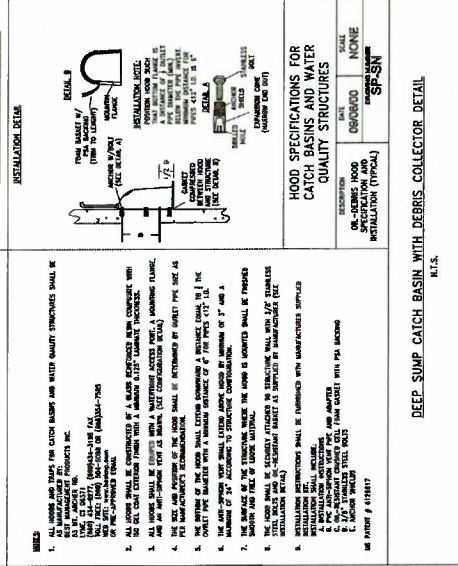
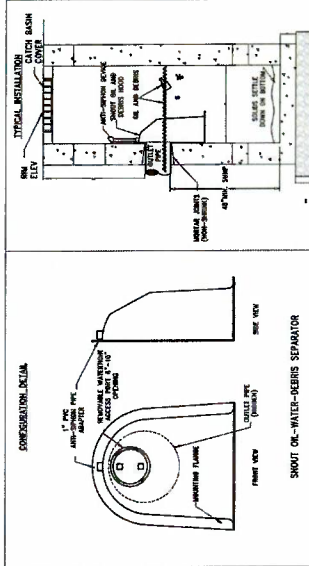
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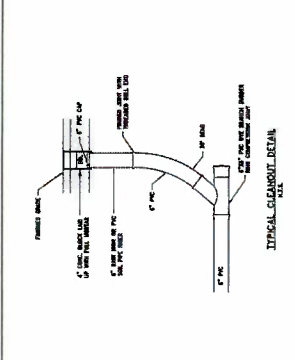
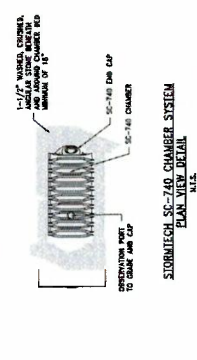
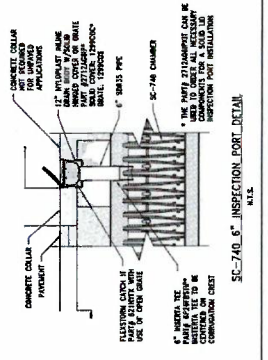
DATE: 5/15/2023
CHECKED BY: E.S.
APPROVED BY: E.S.

DETAILS

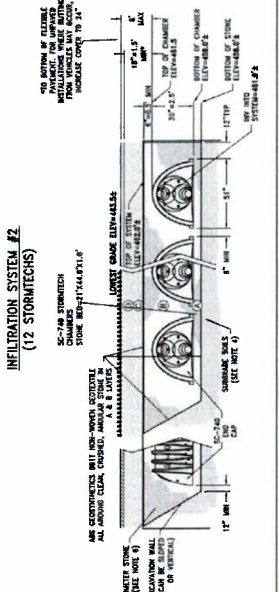
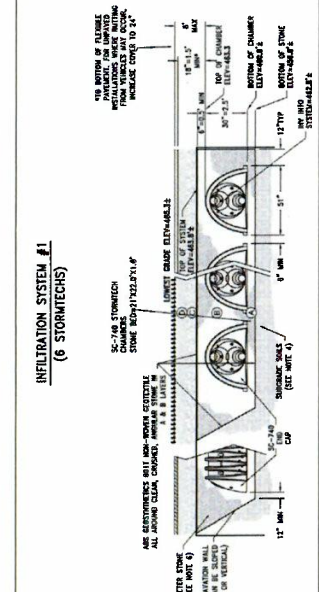
E2.2



- NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS SHALL BE AS SPECIFIED IN THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS AND THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS SHALL BE AS SPECIFIED IN THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS AND THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS SHALL BE AS SPECIFIED IN THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS.
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 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS AND THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS SHALL BE AS SPECIFIED IN THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS.



MATERIAL LOCATION	DESCRIPTION	COMPLETION / SCHEDULE
1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS AND THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS SHALL BE AS SPECIFIED IN THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS.		
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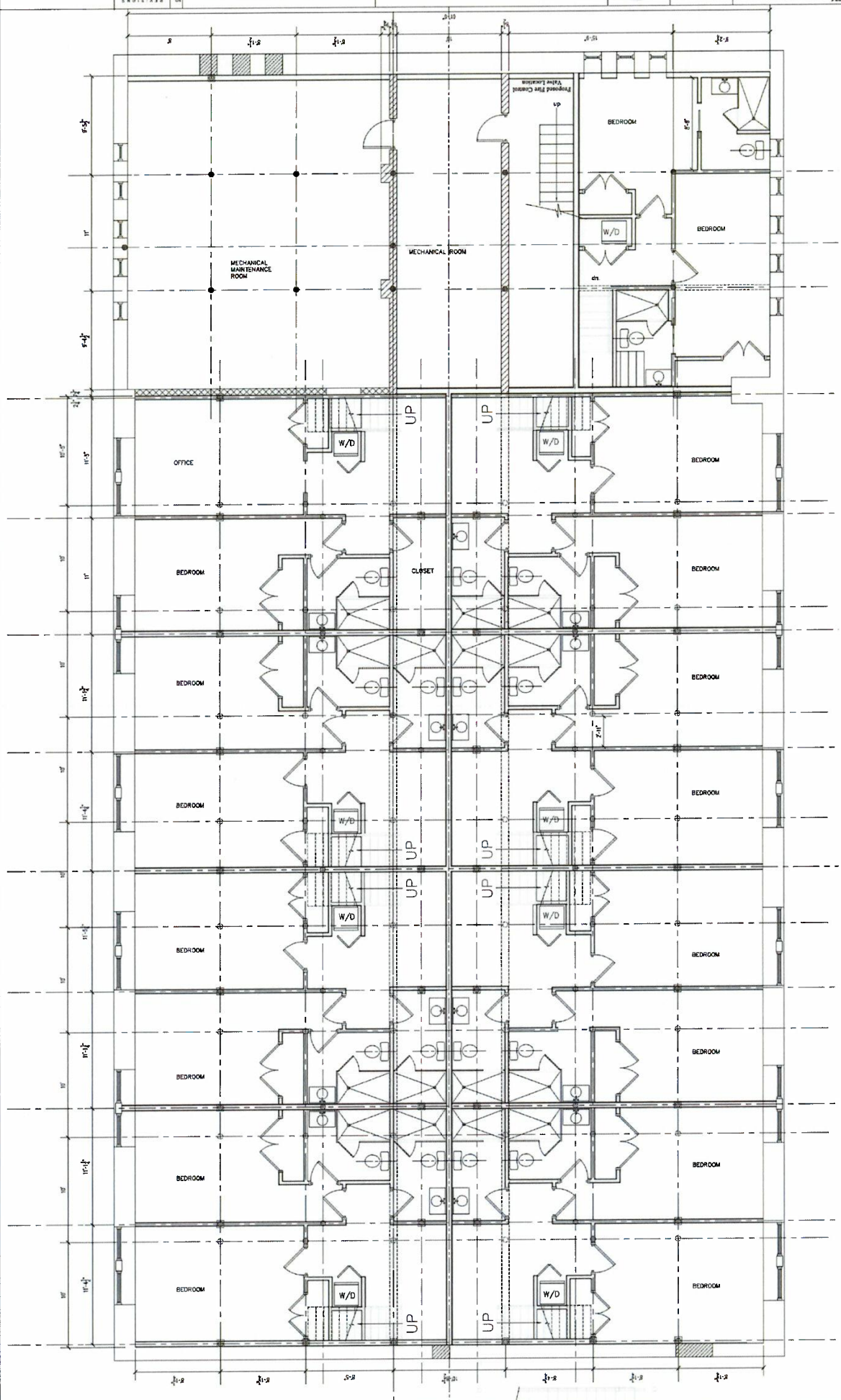
- NOTES:**
1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2118 'STANDARD SPECIFICATIONS FOR POLYPROPYLENE (PP) COMPACTED WALL STORMTECH COLLECTION CHAMBERS', OR ASTM F2122 'STANDARD SPECIFICATIONS FOR POLYPROPYLENE (PP) COMPACTED WALL STORMTECH COLLECTION CHAMBERS'. ALL CHAMBERS SHALL BE PROVIDED WITH 40% TYPICAL 'STANDARD SPECIFICATIONS FOR POLYPROPYLENE (PP) COMPACTED WALL STORMTECH COLLECTION CHAMBERS'.
 2. 'ACCEPTABLE FILL MATERIALS' SHALL AVOID PROVIDING MATERIALS, LOGS, BRANCHES, GRASSHOPPS, OR OTHER OBSTRUCTIONS FOR INFILTRATION.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS AND THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS SHALL BE AS SPECIFIED IN THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS.
 4. THE CITY ENGINEER IS RESPONSIBLE FOR VERIFYING THE BEARING CAPACITY (ALLOWABLE BEARING CAPACITY) OF THE SURROUNDING SOILS AND THE FOUNDATION SHALL BE EXTENDED UNLESS OTHERWISE SPECIFIED.
 5. PERMITS SHALL BE OBTAINED UNLESS OTHERWISE SPECIFIED.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS AND THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS SHALL BE AS SPECIFIED IN THE CITY ENGINEERING AND WATER DEPARTMENT SPECIFICATIONS.



TRABUCCO ARCHITECTS
50 MARKET STREET, SUITE 202
NANTUCKET, MASSACHUSETTS 01904
PHONE: 508-548-1100 FAX: 508-548-1101
WWW.TRABUCCOARCHITECTS.COM

ALTERATIONS TO:
358-364 LINCOLN STREET
MARLBOROUGH, MA,
PROJECT NO. 2023-001

DATE: 20 JUNE 2023
SCALE: AS NOTED
PROJECT: 1002

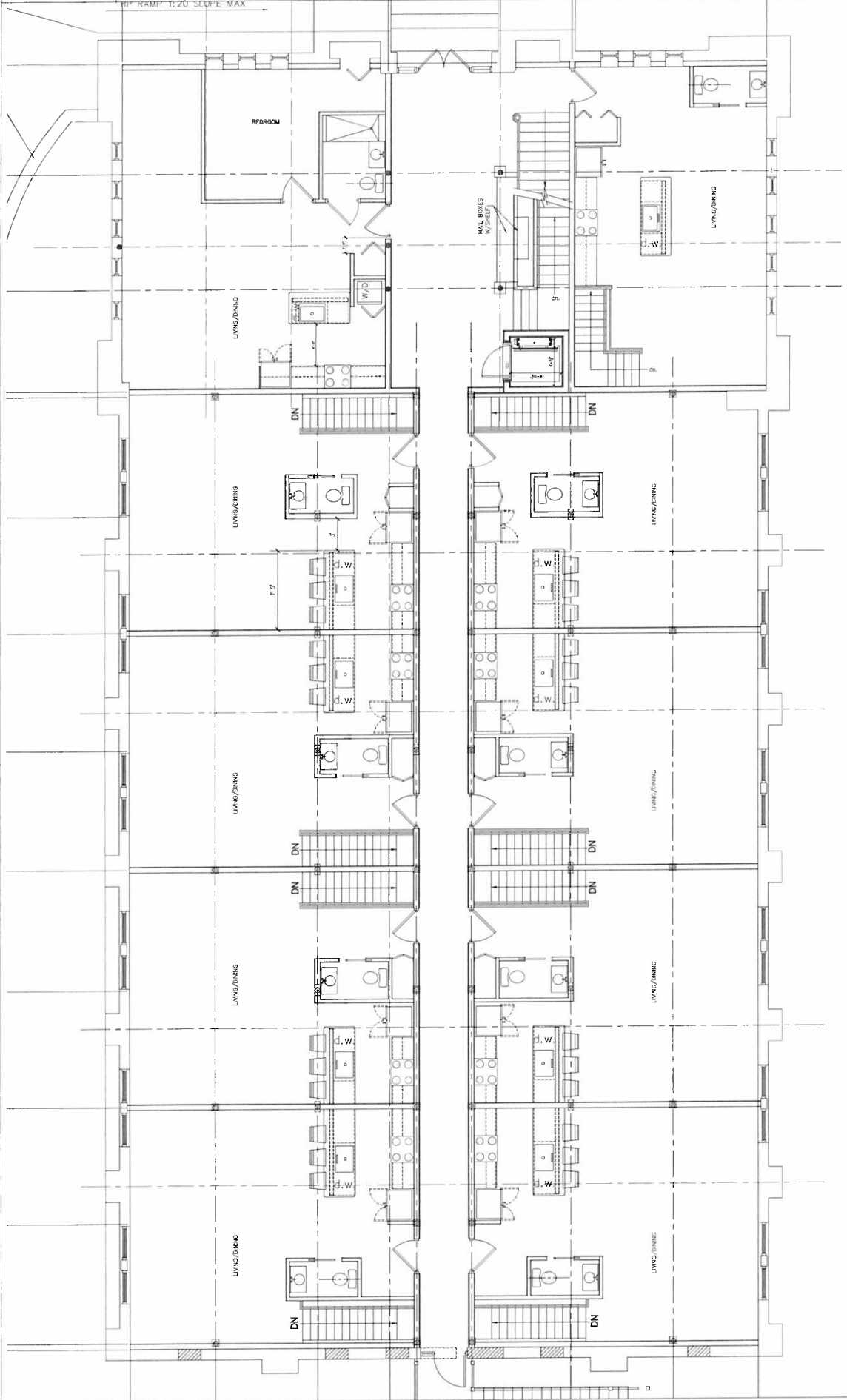


1 PROPOSED LAYOUT BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

A1.0

DATE:	12/11/10
SCALE:	AS NOTED
PROJECT NO.:	1000
CLIENT:	AS NOTED
DESIGNER:	AS NOTED
ARCHITECT:	AS NOTED

ALTERATIONS TO:
 358-364 LINCOLN STREET
 MARLBOROUGH, MA, 01752
 DATE: 12/11/10



PROPOSED LAYOUT GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"

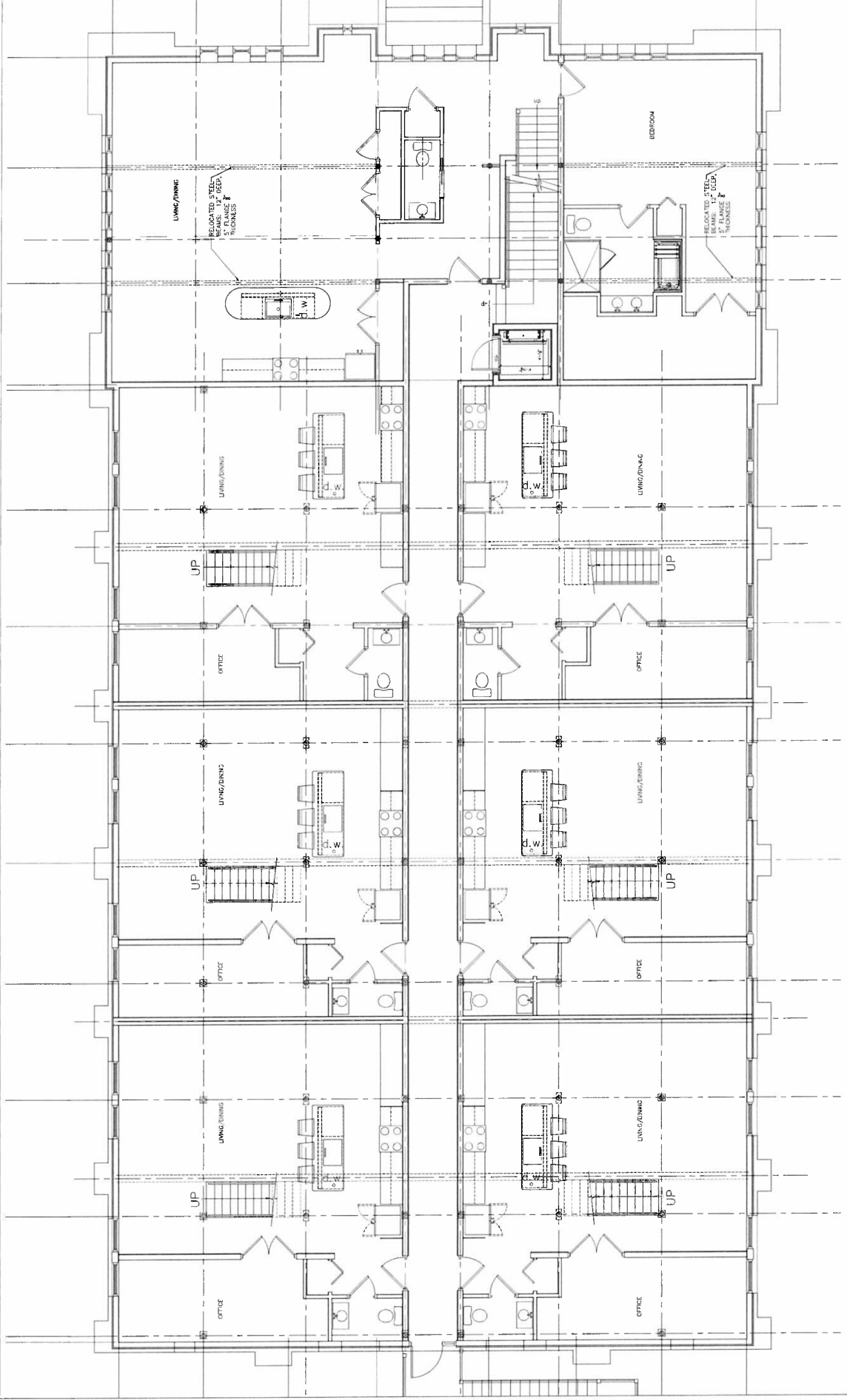


DATE	11/11/11
BY	AS
SCALE	1/8" = 1'-0"
PROJECT NO.	11-000000
CLIENT	AS



TRABUCCO ARCHITECTS
 60 KERRICK STREET, SUITE 202
 NASHUA, VERMONT 05701
 PHONE: 802.241.1111
 FAX: 802.241.1112
 WWW.TRABUCCOARCHITECTS.COM

ALTERNATIONS TO:
 358-364 LINCOLN STREET
 MARLBOROUGH, MA



PROPOSED LAYOUT SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"



REV: 001
 DATE: 11/11/11
 BY: AS

Notes:
 1. All dimensions are in feet and inches.
 2. All work is to be in accordance with the approved plans.
 3. All materials and workmanship shall be in accordance with the approved specifications.
 4. All work shall be in accordance with the approved schedule.

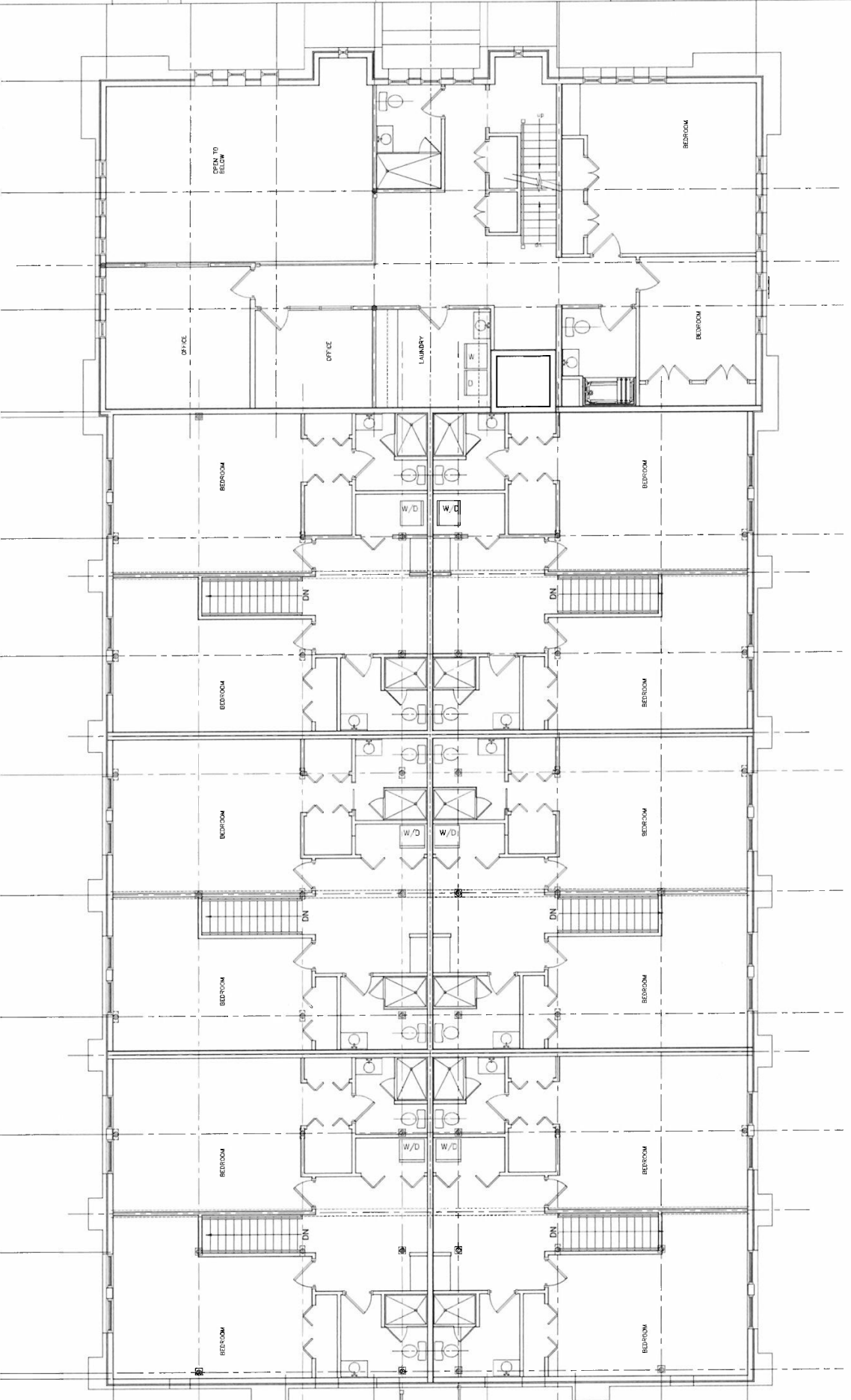


TRABUCCO ARCHITECTS
60 West Street, Suite 204
Marlborough, MA 01752
Tel: 508-251-1200
www.trabuccoarchitects.com

ALTERATIONS TO:
358-364 LINCOLN STREET
MARLBOROUGH, MA

REV 5 01/15

GENERAL NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS BUILDING CODE AND ALL APPLICABLE REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
4. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

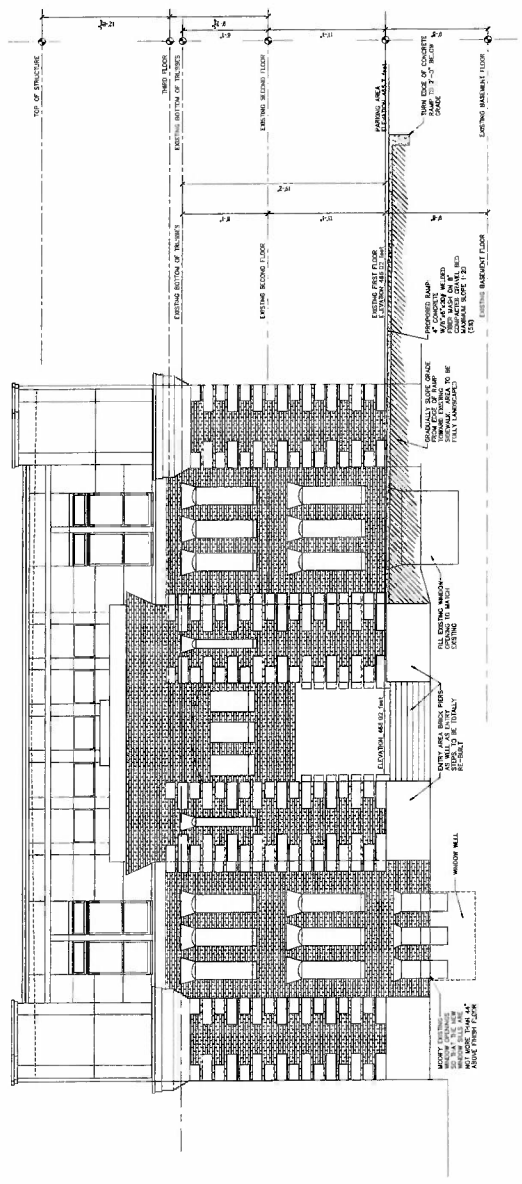


PROPOSED THIRD FLOOR PLAN

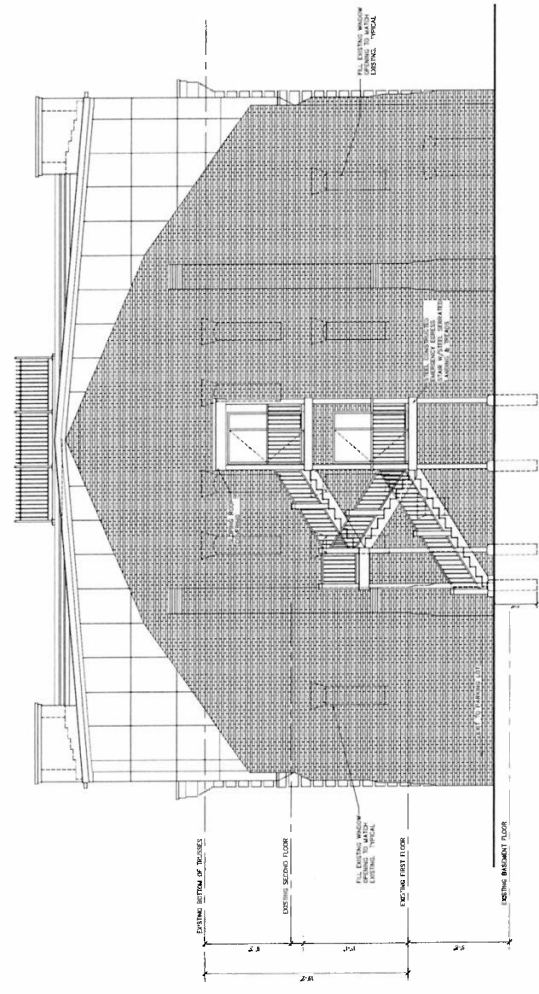
SCALE: 1/8" = 1'-0"



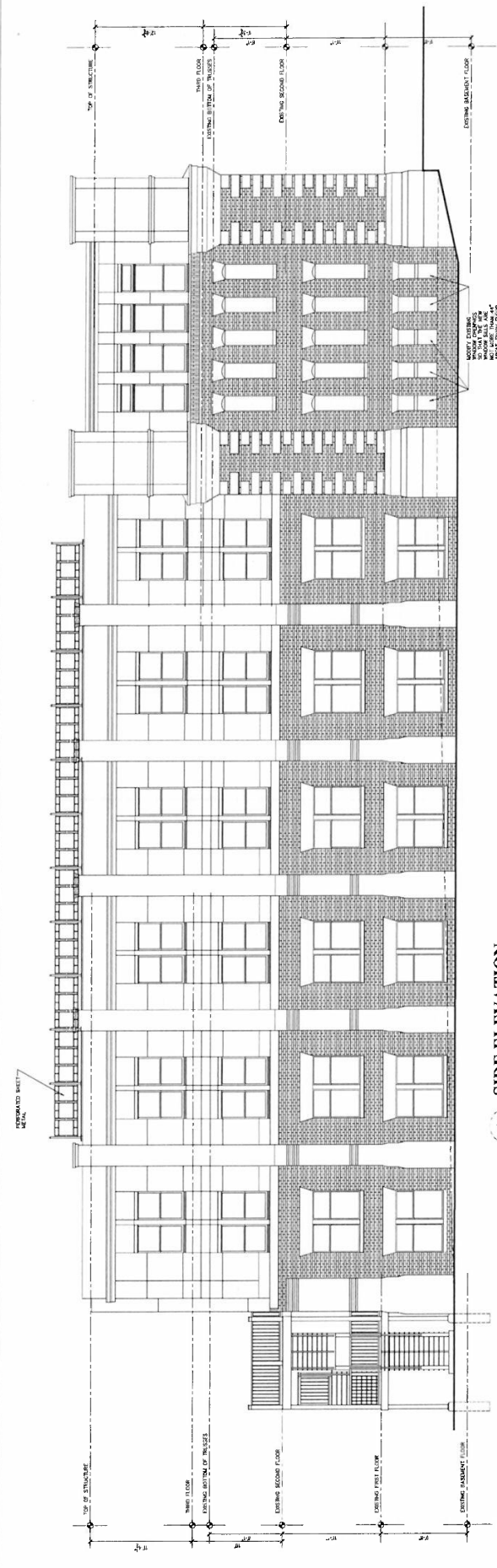
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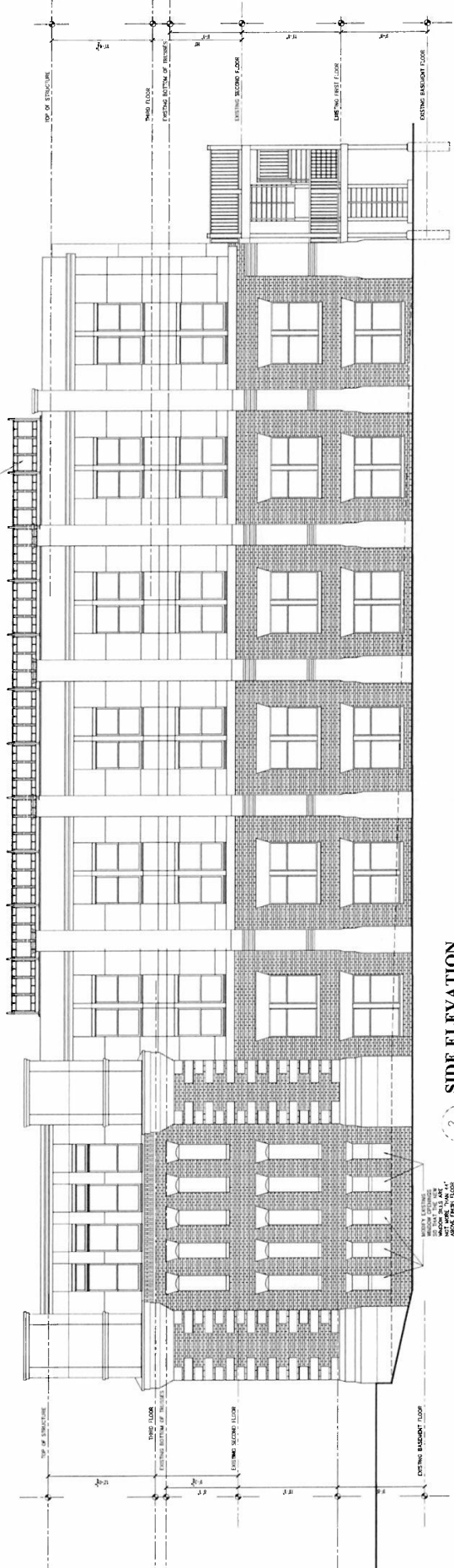
1 LINCOLN STREET (FRONT) ELEVATION
 SCALE: 3/8" = 1'-0"



2 REAR ELEVATION
 SCALE: 3/8" = 1'-0"



1 SIDE ELEVATION
 SCALE: 3/8" = 1'-0"



2 SIDE ELEVATION
 SCALE: 3/8" = 1'-0"



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ALTERATIONS TO:
358-364 LINCOLN STREET
MARLBOROUGH, MA.

TRABUCCO ARCHITECTS
300 South Street, Suite 202
Marlborough, Massachusetts 01503
Tel: 508-253-1010
Fax: 508-253-1011
www.trabucco-architects.com



KEY	Quant.	Name	Size
Trees			
COC	5	Pink Flower Dogwood (Cornus florida var. 'Flamingo Mini Showers')	10-15' height
CC	4	White Flower Dogwood (Cornus florida)	10-15' height
CC	2	White Flower Dogwood (Cornus florida)	10-15' height
CC	2	Magnolia Littleleaf (Magnolia Littleleaf)	2.5-3' height
ACT	5	Flowering Dogwood (Cornus florida)	10-15' height
Shrubs			
E1	6	Emerald Nymphs (Eucalyptus)	10-15'
E2	6	Emerald Nymphs (Eucalyptus)	10-15'
E3	6	Emerald Nymphs (Eucalyptus)	10-15'
E4	6	Emerald Nymphs (Eucalyptus)	10-15'
E5	6	Emerald Nymphs (Eucalyptus)	10-15'
E6	6	Emerald Nymphs (Eucalyptus)	10-15'
E7	6	Emerald Nymphs (Eucalyptus)	10-15'
E8	6	Emerald Nymphs (Eucalyptus)	10-15'
E9	6	Emerald Nymphs (Eucalyptus)	10-15'
E10	6	Emerald Nymphs (Eucalyptus)	10-15'
E11	6	Emerald Nymphs (Eucalyptus)	10-15'
E12	6	Emerald Nymphs (Eucalyptus)	10-15'
E13	6	Emerald Nymphs (Eucalyptus)	10-15'
E14	6	Emerald Nymphs (Eucalyptus)	10-15'
E15	6	Emerald Nymphs (Eucalyptus)	10-15'
E16	6	Emerald Nymphs (Eucalyptus)	10-15'
E17	6	Emerald Nymphs (Eucalyptus)	10-15'
E18	6	Emerald Nymphs (Eucalyptus)	10-15'
E19	6	Emerald Nymphs (Eucalyptus)	10-15'
E20	6	Emerald Nymphs (Eucalyptus)	10-15'
E21	6	Emerald Nymphs (Eucalyptus)	10-15'
E22	6	Emerald Nymphs (Eucalyptus)	10-15'
E23	6	Emerald Nymphs (Eucalyptus)	10-15'
E24	6	Emerald Nymphs (Eucalyptus)	10-15'
E25	6	Emerald Nymphs (Eucalyptus)	10-15'
Perennials / Grasses			
PER1	25	Hydrangea 'Nancy's Jewel'	2 gallon pot
PER2	40	Daylily 'Stella de Oro'	2 gallon container
PER3	40	Daylily 'Stella de Oro'	2 gallon container
PER4	8	Red Hot Chilli Lips (Echinacea)	2 gallon pot
PER5	8	Red Hot Chilli Lips (Echinacea)	2 gallon pot
Annuals (MSP)			
MSP1	31	Dark Maroon Petunias (Petunia)	18" x 18"
MSP2	10	White Petunias (Petunia)	18" x 18"
MSP3	10	White Petunias (Petunia)	18" x 18"
MSP4	10	White Petunias (Petunia)	18" x 18"
MSP5	10	White Petunias (Petunia)	18" x 18"
MSP6	10	White Petunias (Petunia)	18" x 18"
MSP7	10	White Petunias (Petunia)	18" x 18"
MSP8	10	White Petunias (Petunia)	18" x 18"
MSP9	10	White Petunias (Petunia)	18" x 18"
MSP10	10	White Petunias (Petunia)	18" x 18"
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MSP26	10	White Petunias (Petunia)	18" x 18"
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MSP45	10	White Petunias (Petunia)	18" x 18"
MSP46	10	White Petunias (Petunia)	18" x 18"
MSP47	10	White Petunias (Petunia)	18" x 18"
MSP48	10	White Petunias (Petunia)	18" x 18"
MSP49	10	White Petunias (Petunia)	18" x 18"
MSP50	10	White Petunias (Petunia)	18" x 18"
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MSP52	10	White Petunias (Petunia)	18" x 18"
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MSP66	10	White Petunias (Petunia)	18" x 18"
MSP67	10	White Petunias (Petunia)	18" x 18"
MSP68	10	White Petunias (Petunia)	18" x 18"
MSP69	10	White Petunias (Petunia)	18" x 18"
MSP70	10	White Petunias (Petunia)	18" x 18"
MSP71	10	White Petunias (Petunia)	18" x 18"
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MSP75	10	White Petunias (Petunia)	18" x 18"
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MSP79	10	White Petunias (Petunia)	18" x 18"
MSP80	10	White Petunias (Petunia)	18" x 18"
MSP81	10	White Petunias (Petunia)	18" x 18"
MSP82	10	White Petunias (Petunia)	18" x 18"
MSP83	10	White Petunias (Petunia)	18" x 18"
MSP84	10	White Petunias (Petunia)	18" x 18"
MSP85	10	White Petunias (Petunia)	18" x 18"
MSP86	10	White Petunias (Petunia)	18" x 18"
MSP87	10	White Petunias (Petunia)	18" x 18"
MSP88	10	White Petunias (Petunia)	18" x 18"
MSP89	10	White Petunias (Petunia)	18" x 18"
MSP90	10	White Petunias (Petunia)	18" x 18"
MSP91	10	White Petunias (Petunia)	18" x 18"
MSP92	10	White Petunias (Petunia)	18" x 18"
MSP93	10	White Petunias (Petunia)	18" x 18"
MSP94	10	White Petunias (Petunia)	18" x 18"
MSP95	10	White Petunias (Petunia)	18" x 18"
MSP96	10	White Petunias (Petunia)	18" x 18"
MSP97	10	White Petunias (Petunia)	18" x 18"
MSP98	10	White Petunias (Petunia)	18" x 18"
MSP99	10	White Petunias (Petunia)	18" x 18"
MSP100	10	White Petunias (Petunia)	18" x 18"



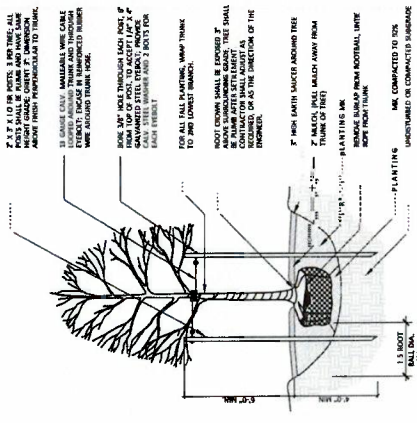
Proposed Landscape Plan
358 Lincoln St. Marlborough, MA 01752

Date: 7/22/23
 Rec:

 Date:

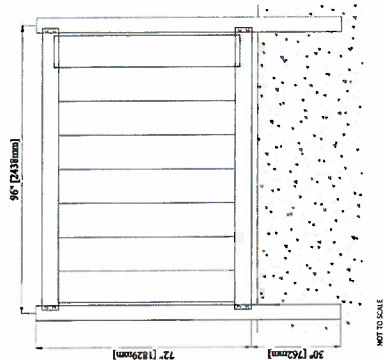
 Scale: 1" = 8' 0"

Sheet No. **E5**



Detail 1

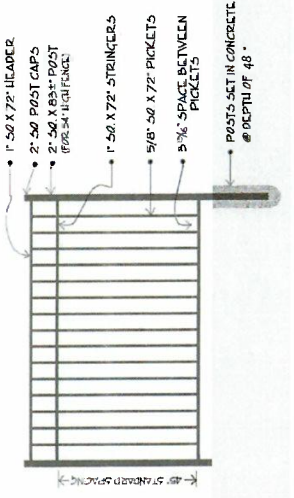
DECIDUOUS TREE PLANTING
NOT TO SCALE



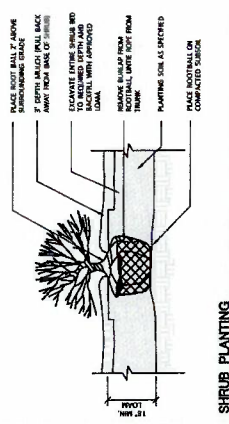
Detail 4

Detail 5

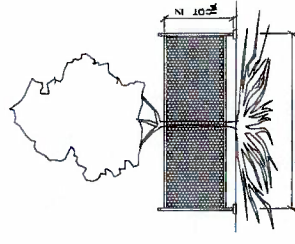
TYPICAL ALUMINUM FENCE SECTION WITH INSTALLATION DETAIL



NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



Detail 2

TREE PROTECTION DETAIL
NOT TO SCALE

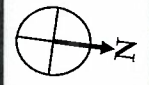
NOTES AND SPECIFICATIONS

- The existing conditions and base plan information have come from a plan submitted by the owner and prepared by Continental Land Survey LLC dated 4/21/15. The layout of work should be adjusted to reflect field conditions. It is recommended that any discrepancies be reviewed with the Owner, Installation Contractor(s) and the Landscape Designer to propose logical adjustments.
- Utility locations prior to the start of work.
- Contractor shall take steps to protect any existing trees within the work area prior to the start of work. Any trees that are to be removed must have the stumps removed as well contingent upon possible damage to the building foundation. In such cases they should be ground down as far as possible below finished grade.
- All plants will conform to the current "The American Standard for Nursery Stock" published by the American Association of Nurserymen. All plants shall be certified by a Licensed Nursery.
- The lawn areas should have a minimum of 6" of screened loam. The shrub and perennial bed areas and ground cover areas should have a minimum of 4" of screened loam. The final specifications are the decision of the Owner and Contractor based on the existing soil conditions and soil compaction issues that may occur during construction.
- NOTE: Modifications to the grading in the landscape areas are subject to the final engineering drawings. All excavations shall include positive surface drainage to existing or new catch basin areas and adjacent paved surfaces to prevent ponding or pooling of surface water within the landscaped and lawn areas.
- All trees and shrubs shall be planted slightly above (1" on shrubs and perennials—2" for trees) the finished grade as they grew in the ground on firm, well-drained soil in plant pots. The plant pots should be empty (i.e. they should be empty of any soil) or they should be covered with a layer of mulch (e.g. bark mulch) or straw to make certain that the root flare is not covered with soil.
- Amend the existing soil (or new loam) with compost or composted loam during installation. If the excavated soil is rocky and poor, remove from the site and use loam-compost mix for the planting backfill material. (See Note 1)
- Amend the existing soil (or new loam) with compost or composted loam around the tree and shrub. Amend the soil around the tree and shrub with a 1/2" to 2" depth. Do not use dyed mulch or ground recycled wood, stumps or pallets. Review final mulch selection with the Owner and Landscape Designer.
- Contractor shall stake or guy all deciduous non-flowering trees 3.5" caliper and greater and tree trunks 4" or greater in diameter with collar and anchor and tree guard the first 6 feet in height.
- Review materials and methods with the Owner and Landscape Designer. Generally, the street trees will be staked with a minimum of two stakes (2" x 2" minimum) but ground anchors with wire may be used within bed areas if it is determined that there will not be a safety issue with public access. Staking or guying of trees and evergreens smaller than these specifications should be discussed with the Owner and Landscape Designer.
- The Owner and Landscape Designer will make the final decision on any plant substitutions. Selected specimens must be tagged or reviewed and approved by the Owner and/or Landscape Designer.
- The Contractor shall maintain all new plants until provisional acceptance by the Owner and/or Landscape Designer. All new plants will be guaranteed to be alive and capable of new growth for a period of one year from the date of acceptance. Transplanted plants will not be guaranteed. The Owner and/or Landscape Designer will make the final acceptance at the end of the guarantee period. Any plants deemed unacceptable by the Owner and/or Landscape Designer shall be replaced promptly at the contractor's expense including the installation cost.

Sheet No.

Rev. Date

Date: 3/31/23



ATTACHMENT

B



City of Marlborough
Office of the City Council

CERTIFICATION PURSUANT TO MGL CHAPTER. 39, §23D ("MULLIN RULE")

I, Teona Brown (name), hereby do swear and certify

under the pains and penalties of perjury as follows:

1. I am a member of the Marlborough City Council (council, board or commission).
2. I missed a single hearing session on the matter of Order No.23-1008939
Special Permit for the conversion of former Armory to a 17-unit residential building

which was held on August 21, 2023.

3. On September 10, 2023 (date) I examined all the evidence and testimony received at the hearing session that I missed which included a review of (initial which one(s) applicable):

- a. official audio recording of the missed hearing session; or
- b. official video recording of the missed hearing session; or
- c. official transcript of the missed hearing session.

This certification shall become a part of the record of the proceedings in the above matter.

Signed under the pains and penalties of perjury this 11th day of September, 2023.

Teona Brown
Signature of Member