



# IN CITY COUNCIL

Marlborough, Mass. SEPTEMBER 13, 2021

ORDERED:

PAGE 1

## IN CITY COUNCIL

### DECISION ON A SPECIAL PERMIT RASING CANE'S RESTAURANTS, LLC

#### DECISION ON A SPECIAL PERMIT ORDER NO. 21-1008307E

The City Council of the City of Marlborough hereby **GRANTS** the application for a Special Permit to Raising Cane's Restaurants, LLC for the installation of a new restaurant with dual lane drive through service at 141 Boston Post Road West (Route 20), Marlborough, Massachusetts, as provided in this Decision and subject to the following Findings of Fact and Conditions.

#### FINDINGS OF FACT

1. The Applicant, Raising Cane's Restaurants, LLC, has offices located at 6800 Bishop Road, Plano, Texas, and is hereinafter referred to as the "Applicant."
2. The Applicant is party to a lease agreement with RK Associates Marlborough, Inc., which owns the premises known and numbered as 141 Boston Post Road West (Route 20), Marlborough, Massachusetts and further described on Marlborough Assessor's Maps at Map 78, Parcel 15A (hereinafter, the "Site"). In accordance with Article V, Sections 650-14(B)(2) and 650-17 of the Zoning Ordinance of the City of Marlborough, Applicant is seeking the approval of a new restaurant with dual lane drive through service at the Site (hereinafter, the "Project").
3. The Applicant has filed with City Clerk of the City of Marlborough an application for a Special Permit (hereinafter, the "Application").
4. The Site is located in the Business zoning district as determined by the Zoning Map of the City of Marlborough.
5. In connection with the Application, Applicant has submitted a certified list of abutters, filing fees, and a detailed site plan titled "Proposed Site Plan Documents for Raising Cane's Proposed Restaurant with Drive-Thru. Location of Site: 141 Boston Post Road West, City of Marlborough, Middlesex County, Massachusetts, Map #78, Lot 15A", prepared by Bohler Engineering, 352 Turnpike Road, Southborough, MA, scale 1"=80', dated April 9, 2021, most recently revised July 12, 2021 (hereinafter, the "Plans") attached here to as **Attachment "A"**.



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6. The Application was certified as complete by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, in accordance with the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.
7. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.
8. The Marlborough City Council, pursuant to Massachusetts General Laws, Chapter 40A, held a public hearing on the Application on Monday, June 21, 2021, which was continued to Monday, July 19, 2021.
9. Applicant, through its counsel, traffic consultant and civil engineering consultant, presented testimony at the public hearing detailing the application, describing its impact upon municipal services, the neighborhood, and traffic.
10. At the public hearing, no members of the public spoke in favor of the Project and one member of the public indicated they were not in opposition and raised certain traffic concerns with respect to the Project.
11. The Applicant submits that the Project will provide an added benefit to the community in the form of desired quality food services provided in an efficient manner. The Applicant further submits that the Project is in harmony with the general purpose and intent of the City Zoning Code as required for the issuance of a Special Permit.

**BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING  
FINDINGS AND TAKES THE FOLLOWING ACTIONS**

- A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.
- B. The City Council finds that the proposed use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by Applicant, its successors and/or assigns to the conditions more fully set forth herein.



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- C. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby **GRANTS** Applicant a Special Permit to construct a restaurant with dual lane drive through service as shown on the Plans filed, **SUBJECT TO THE FOLLOWING CONDITIONS**, which conditions shall be binding on Applicant, its successors and/or assigns:
1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts and shall be built according to the Plans as may be amended during Site Plan Review.
  2. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review in accordance with the City of Marlborough site plan review ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications, or amendments, as required during the process of Site Plan Review, shall be further conditions attached to the building permit, and no occupancy permit shall be issued until Applicant has complied with all conditions. Subsequent Site Plan Review shall be consistent with the conditions of this Special Permit and the Plans submitted, reviewed, and approved by the City Council as the Special Permit Granting Authority. Any changes to the Plans which alter the traffic patterns or landscaping, or reduce the overall green space of the Project, will require subsequent approval by the City Council.
  3. Compliance with Applicable Laws. Applicant, its successors and/or assigns agrees to comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of Applicant's Project.
  4. Signage. The locations and design of signage shall be reviewed and approved by the City of Marlborough during Site Plan Review in accordance with the sign ordinance of the City of Marlborough. It is a further condition that the location of the signage shall not be substantially different than that shown on the Plans submitted herewith, allowing, however, for minor changes in the field so as to avoid conflicts with existing City infrastructure.
  5. Pavement Markings/Traffic Signage. The location and placement of pavement markings and traffic directional signage shall be reviewed and approved by the City of Marlborough during Site Plan Review in accordance with applicable rules and regulations of the City of Marlborough.
  6. No Overnight Parking. There shall be no overnight parking at the Site.



# IN CITY COUNCIL

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7. Landscaping. Applicant, its successors and/or assignees agrees to maintain the Project landscaping substantially in conformance with the Plans as submitted to the City Council and/or the City Council's Urban Affairs Committee, as may be amended during Site Plan Review.
8. Noise. The drive through shall employ a speaker system of a quality that seeks to minimize the noise emanating from the speaker system and in full compliance with the noise ordinance of the City of Marlborough. The drive through audio speakers also shall not produce noise at the property line greater than that which would be allowed at the property line in a Residential zoning district, in accordance with the noise ordinance of the City of Marlborough.
9. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.
10. Engineering Changes. Site Plan Review Committee may make engineering changes to the Plans, so long as said changes do not change the use of the Project as approved herein, or materially increase the impervious area of the Project, reduce the green area, or increase the size of the building shown on the Plans.
11. Parking Areas. Parking areas will be swept and maintained by Applicant, its successors and/or assigns as necessary. Applicant, its successors and/or assigns shall be responsible for providing, installing and maintaining all signage or markings required by the Marlborough Traffic Commission. Such signage or markings shall meet the standards of the Manual on Uniform Traffic Control Devices.
12. Hours of Operation. The hours of operation for the restaurant will be Sunday through Thursday, 9:00 AM to 1:00 AM and Friday to Saturday, 9:00 AM to 3:30 AM. The hours of operation for the drive through facility will be Sunday through Thursday, 9:00 AM to 1:00 AM and Friday to Saturday, 9:00 AM to 3:30 AM.
13. Trenching; Staging. All trenching shall be in compliance with Massachusetts law and pursuant to permits issued by the Engineering Division of the City's Department of Public Works. During construction, no vehicles shall be staged on public ways.



## IN CITY COUNCIL

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14. Recording of Decision. In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council's office, the Building Department, and the City Solicitor's office.

**Yea: 10 – Nay: 1**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Ossing, Perlman, & Robey.**

**Nay: Oram.**

Signed by City Council President  
Michael H. Ossing

ADOPTED  
In City Council  
21-1008307E

ORDER NO. 21-1008307E

# ATTACHMENT

# A

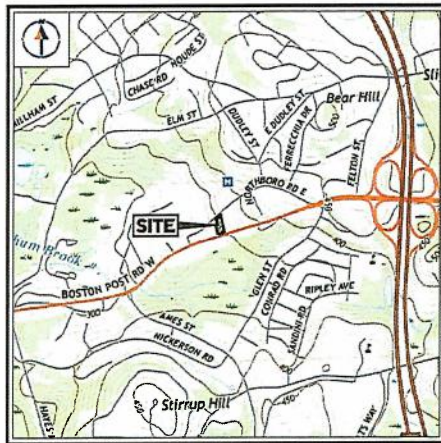
# PROPOSED SITE PLAN DOCUMENTS

FOR



## PROPOSED RESTAURANT WITH DRIVE-THRU

LOCATION OF SITE:  
141 BOSTON POST ROAD WEST, CITY OF MARLBOROUGH  
MIDDLESEX COUNTY, MASSACHUSETTS  
MAP #78, LOT 15A



USGS MAP

SCALE: 1" = 1,000'  
SOURCE: MARLBOROUGH MASSACHUSETTS USGS QUADRA01C



SITE MAP

SCALE: 1" = 60'

### DRAWING SHEET INDEX

| SHEET TITLE                                    | SHEET NUMBER |
|--|--------------|
| COVER SHEET                                    | C-101        |
| GENERAL NOTES SHEET                            | C-102        |
| DEMOLITION PLAN                                | C-201        |
| SITE LAYOUT PLAN                               | C-301        |
| DIMENSION CONTROL                              | C-302        |
| GRADING PLAN                                   | C-501        |
| UTILITY AND DRAINAGE PLAN                      | C-501        |
| EROSION AND SEDIMENT CONTROL PLAN              | C-601        |
| EROSION AND SEDIMENT CONTROL NOTES AND DETAILS | C-602        |
| LANDSCAPE PLAN                                 | C-701        |
| LANDSCAPE NOTES AND DETAILS                    | C-702        |
| IRRIGATION PLAN                                | C-703        |
| DETAIL SHEET                                   | C-901        |
| DETAIL SHEET                                   | C-902        |
| DETAIL SHEET                                   | C-903        |
| DETAIL SHEET                                   | C-904        |
| ALTANSIPS LAND TITLE SURVEY (BY OTHERS)        | 1 SHEET      |



Regional Support Office  
6800 Bishop Road, Plano, TX 75024  
Tel: 972-759-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE:

PROJECT:

RAISING CANE'S RESTAURANT  
141 BOSTON POST ROAD  
MARLBOROUGH, MA  
Prototype #EV  
RESTAURANT #RC0622

DESIGNED BY/FIRM/DATE:

**BOHLER**  
355 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900  
www.BohlerEngineering.com

PROTOTYPE UPDATE PHASE:

UPDATE ISSUE DATE:

PROJECT MANAGER: EDD

### ENTITLEMENT ISSUE

PROFESSIONAL OF RECORD:



SHEET REVISIONS: (show #s/revs per drawing)

| DATE:     | REVISION FROM:            |
|-----------|---------------------------|
| 1 07/2018 | ISSUE FOR PERMITS         |
| 2 07/2018 | DESIGN UPDATE FOR PERMITS |

SHEET TITLE:

COVER SHEET

DATE: 04/02/2018

PROJECT NUMBER: 1001204

DRAWN BY: AMT

SHEET NUMBER:

C-101

PREPARED BY

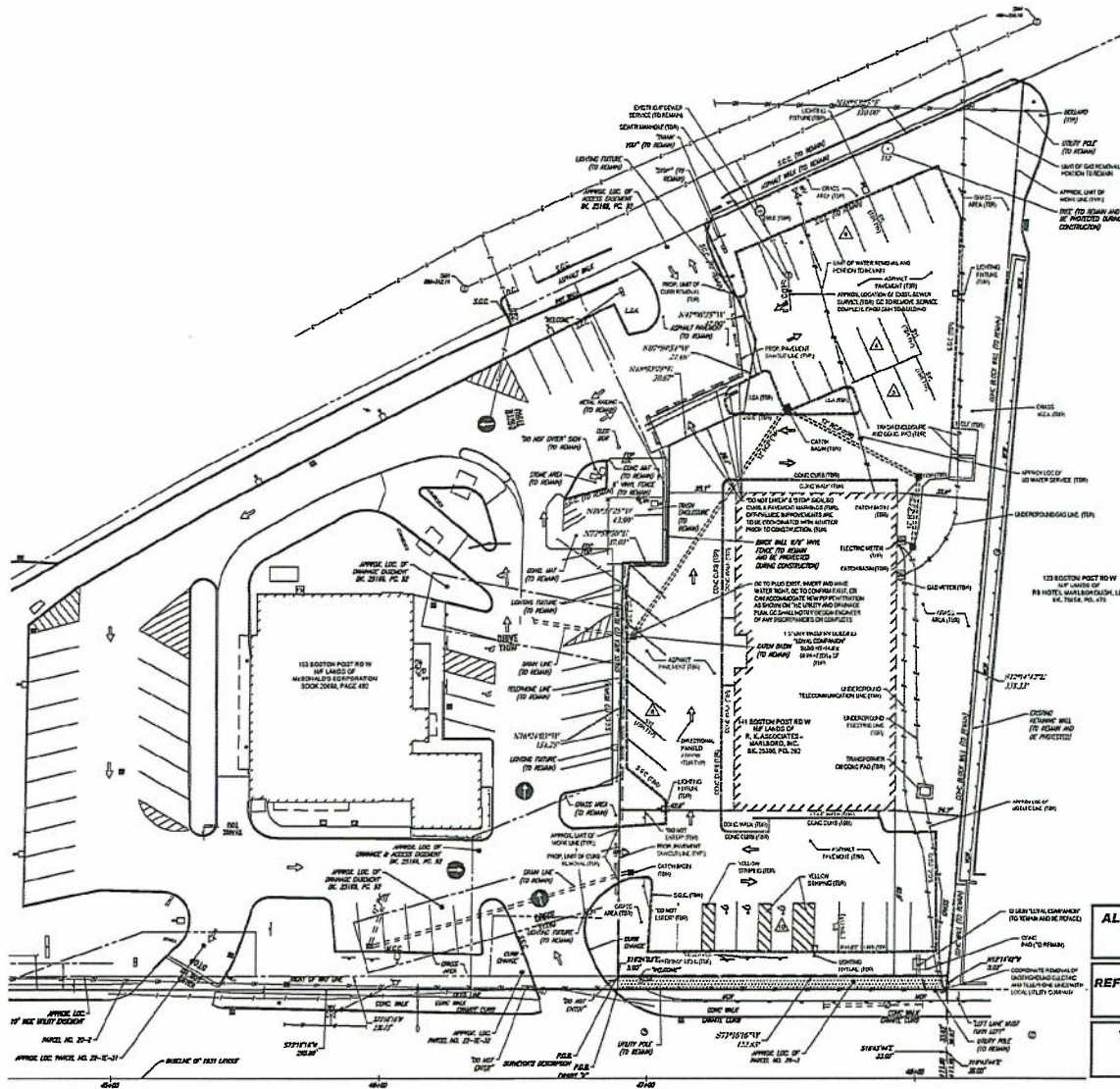
**BOHLER**







| PLAN DESCRIPTION     | EXISTING FEATURE     |
|----------------------|----------------------|
| PROPERTY LINE        | PROPERTY LINE        |
| SETBACK              | SETBACK              |
| SEWER MANHOLE        | SEWER MANHOLE        |
| CATCHBASIN           | CATCHBASIN           |
| WETLAND FLAG         | WETLAND FLAG         |
| WETLAND LINE         | WETLAND LINE         |
| SPILT ELEVATION      | SPILT ELEVATION      |
| TOP & BOTTOM OF CURB | TOP & BOTTOM OF CURB |
| CONCRETE             | CONCRETE             |
| PAVEMENT             | PAVEMENT             |
| REINFORCING          | REINFORCING          |
| GRAVEL               | GRAVEL               |
| TELEPHONE LINE       | TELEPHONE LINE       |
| ELECTRIC LINE        | ELECTRIC LINE        |
| WATER LINE           | WATER LINE           |
| SEWER LINE           | SEWER LINE           |
| WETLAND FLAG         | WETLAND FLAG         |
| WETLAND LINE         | WETLAND LINE         |
| PAVING CLEAR         | PAVING CLEAR         |
| SEWER                | SEWER                |
| SEWER MANHOLE        | SEWER MANHOLE        |
| SEWER LINE           | SEWER LINE           |
| WATER MANHOLE        | WATER MANHOLE        |
| ELECTRIC MANHOLE     | ELECTRIC MANHOLE     |
| WATER                | WATER                |
| WATER LINE           | WATER LINE           |
| TELEPHONE            | TELEPHONE            |
| TELEPHONE MANHOLE    | TELEPHONE MANHOLE    |
| TELEPHONE LINE       | TELEPHONE LINE       |



**ALL EXISTING FEATURES TO REMAIN TO BE PROTECTED DURING ALL PHASES OF CONSTRUCTION**

**REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES**

**THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL PURPOSES ONLY**



Restaurant Support Office  
6800 Deane Road, Suite 702  
Tel: 972-769-3100 Fax: 972-769-3101

PROTOTYPING ISSUE DATE:  
4/19/02  
**RAISING CANE'S RESTAURANT**  
141 BOSTON POST ROAD  
MARLBOROUGH, MA  
Prototyping #RC022

DESIGNERS: BOHLER//  
382 TYNYPH ROAD  
SOUTHBOROUGH, MA 01772  
Phone: 508-880-0000  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

PROTOTYPING UPDATE PHASE:  
UPDATE SHEET DATE:  
PROJECT NUMBER: 000

**ENTITLEMENT ISSUE**



PROFESSIONAL OF RECORD:

| SHEET NUMBER | DATE     | DESCRIPTION   |
|--------------|----------|---|
| 1            | 04/19/02 | PROVIDE DESIGN/CONSTRUCTION SERVICE AND TRAFFIC CONTROL DURING CONSTRUCTION |
| 2            | 01/12/01 | PROVIDE SERVICE FOR EXISTING RESTAURANT                                     |

**DEMOLITION PLAN**

DATE: 04/19/02  
PROJECT NUMBER: W01214  
DRAWN BY: AMP

SHEET NUMBER: **C-201**



**SITE INFORMATION**

1. **APPLICANT:**  
RAISING CANE'S DINER/FINCHES  
141 BOSTON POST ROAD  
MARLBOROUGH, MA 01568
2. **OWNER:**  
R.A. BANGS/CHIEF - MARLBOROUGH, MA  
50 GARDY STREET SUITE 200  
METHUEN, MA 01844
3. **PARCEL:**  
MAP #16, LOT #15A  
141 BOSTON POST ROAD WEST  
MARLBOROUGH  
MIDDLESEX COUNTY, MASSACHUSETTS

**PAVEMENT LEGEND**

|  |   |
|--|---|
|  | 1. ASPHALT CONCRETE PAVEMENT                                  |
|  | 2. CONCRETE PAVEMENT  |
|  | 3. ASPHALT CONCRETE PAVEMENT WITH AGGREGATE BASE              |
|  | 4. CONCRETE PAVEMENT WITH AGGREGATE BASE                      |
|  | 5. ASPHALT CONCRETE PAVEMENT WITH AGGREGATE BASE AND DRAINAGE |
|  | 6. CONCRETE PAVEMENT WITH AGGREGATE BASE AND DRAINAGE         |

**ZONING ANALYSIS TABLE**

| ZONE              | REQUIRED PERMIT               | REQUIRED                      | EXISTING                      | PROPOSED                      |
|-------------------|-------------------------------|-------------------------------|-------------------------------|-------------------------------|
| MAP #16, LOT #15A | 1. ZONING PERMIT              | 1. ZONING PERMIT              | 1. ZONING PERMIT              | 1. ZONING PERMIT              |
| MAP #16, LOT #15A | 2. CONSTRUCTION PERMIT        | 2. CONSTRUCTION PERMIT        | 2. CONSTRUCTION PERMIT        | 2. CONSTRUCTION PERMIT        |
| MAP #16, LOT #15A | 3. SIGNAGE PERMIT             | 3. SIGNAGE PERMIT             | 3. SIGNAGE PERMIT             | 3. SIGNAGE PERMIT             |
| MAP #16, LOT #15A | 4. LANDSCAPE PERMIT           | 4. LANDSCAPE PERMIT           | 4. LANDSCAPE PERMIT           | 4. LANDSCAPE PERMIT           |
| MAP #16, LOT #15A | 5. ACCESSORY STRUCTURE PERMIT | 5. ACCESSORY STRUCTURE PERMIT | 5. ACCESSORY STRUCTURE PERMIT | 5. ACCESSORY STRUCTURE PERMIT |
| MAP #16, LOT #15A | 6. SIGNAGE PERMIT             | 6. SIGNAGE PERMIT             | 6. SIGNAGE PERMIT             | 6. SIGNAGE PERMIT             |
| MAP #16, LOT #15A | 7. CONSTRUCTION PERMIT        | 7. CONSTRUCTION PERMIT        | 7. CONSTRUCTION PERMIT        | 7. CONSTRUCTION PERMIT        |
| MAP #16, LOT #15A | 8. SIGNAGE PERMIT             | 8. SIGNAGE PERMIT             | 8. SIGNAGE PERMIT             | 8. SIGNAGE PERMIT             |
| MAP #16, LOT #15A | 9. CONSTRUCTION PERMIT        | 9. CONSTRUCTION PERMIT        | 9. CONSTRUCTION PERMIT        | 9. CONSTRUCTION PERMIT        |
| MAP #16, LOT #15A | 10. SIGNAGE PERMIT            | 10. SIGNAGE PERMIT            | 10. SIGNAGE PERMIT            | 10. SIGNAGE PERMIT            |
| MAP #16, LOT #15A | 11. CONSTRUCTION PERMIT       | 11. CONSTRUCTION PERMIT       | 11. CONSTRUCTION PERMIT       | 11. CONSTRUCTION PERMIT       |
| MAP #16, LOT #15A | 12. SIGNAGE PERMIT            | 12. SIGNAGE PERMIT            | 12. SIGNAGE PERMIT            | 12. SIGNAGE PERMIT            |
| MAP #16, LOT #15A | 13. CONSTRUCTION PERMIT       | 13. CONSTRUCTION PERMIT       | 13. CONSTRUCTION PERMIT       | 13. CONSTRUCTION PERMIT       |
| MAP #16, LOT #15A | 14. SIGNAGE PERMIT            | 14. SIGNAGE PERMIT            | 14. SIGNAGE PERMIT            | 14. SIGNAGE PERMIT            |
| MAP #16, LOT #15A | 15. CONSTRUCTION PERMIT       | 15. CONSTRUCTION PERMIT       | 15. CONSTRUCTION PERMIT       | 15. CONSTRUCTION PERMIT       |
| MAP #16, LOT #15A | 16. SIGNAGE PERMIT            | 16. SIGNAGE PERMIT            | 16. SIGNAGE PERMIT            | 16. SIGNAGE PERMIT            |
| MAP #16, LOT #15A | 17. CONSTRUCTION PERMIT       | 17. CONSTRUCTION PERMIT       | 17. CONSTRUCTION PERMIT       | 17. CONSTRUCTION PERMIT       |
| MAP #16, LOT #15A | 18. SIGNAGE PERMIT            | 18. SIGNAGE PERMIT            | 18. SIGNAGE PERMIT            | 18. SIGNAGE PERMIT            |
| MAP #16, LOT #15A | 19. CONSTRUCTION PERMIT       | 19. CONSTRUCTION PERMIT       | 19. CONSTRUCTION PERMIT       | 19. CONSTRUCTION PERMIT       |
| MAP #16, LOT #15A | 20. SIGNAGE PERMIT            | 20. SIGNAGE PERMIT            | 20. SIGNAGE PERMIT            | 20. SIGNAGE PERMIT            |



Registered Office  
6800 Bishop Road, Dallas, TX 75204  
Tel: 972-759-3100 Fax: 972-759-3101

PROTOTYPE ISSUE DATE:

**RAISING CANE'S RESTAURANT**  
141 BOSTON POST ROAD  
MARLBOROUGH, MA  
Prototype 4EV  
RESTAURANT #RC022

DESIGNER INFORMATION:

**BOHLER**  
332 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
Phone: (508) 483-9900  
www.BohlerEngineering.com

PROTOTYPE UPDATE PHASE:

UPDATE ISSUE DATE:

PROJECT MANAGER: EGG

**ENTITLEMENT ISSUE**

PROFESSIONAL OF RECORD:



SHEET REVISIONS: Show Specific per Drawing

| NO. | DESCRIPTION          |
|-----|----------------------|
| 1   | ISSUE FOR PERMITTING |
| 2   | ISSUE FOR PERMITTING |

SHEET TITLE:

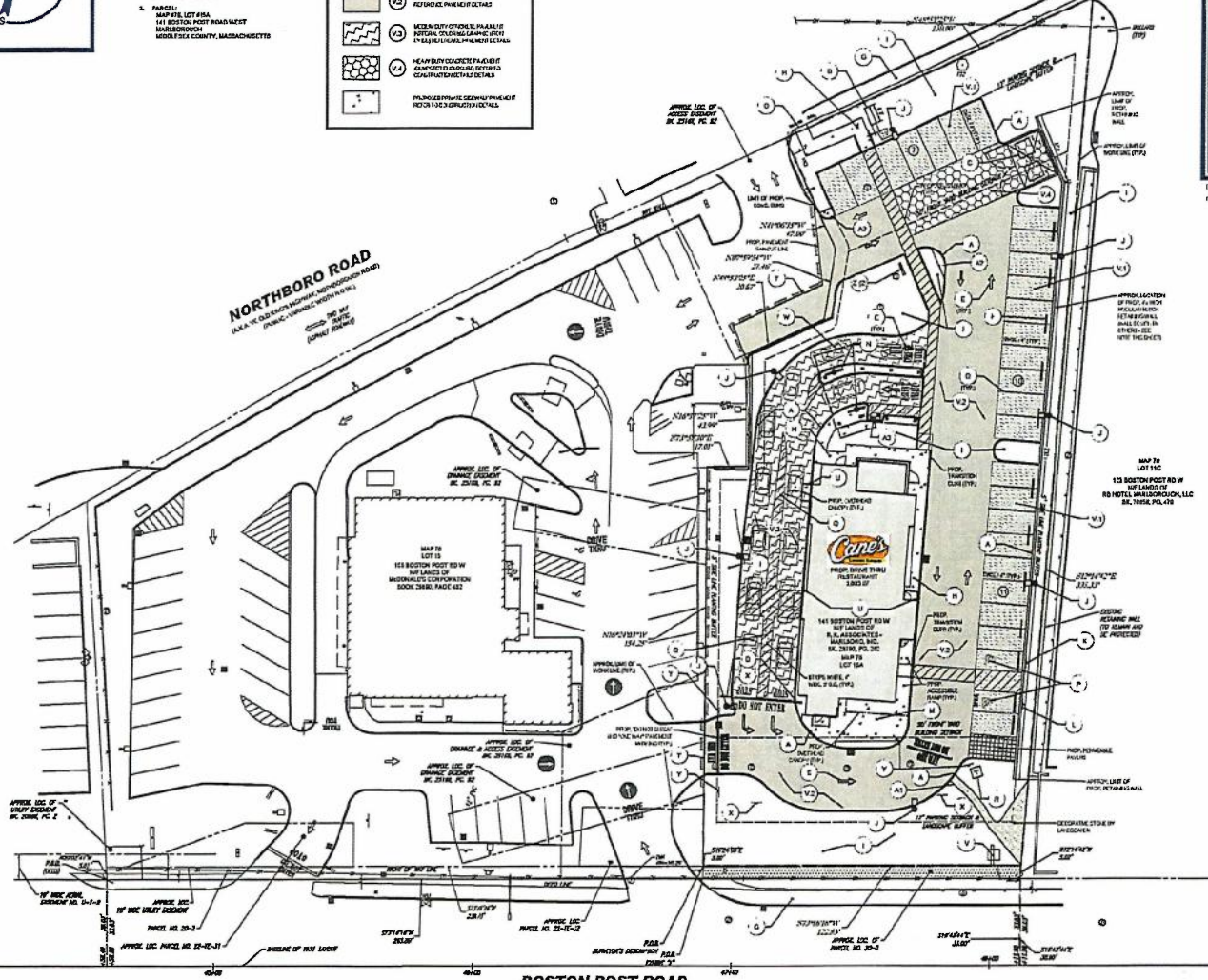
**SITE LAYOUT PLAN**

DATE: 04/03/21

PROJECT NUMBER: 200126

DRAWN BY: JKH

SHEET NUMBER: C-301



**LEGEND**

1. PROP. SIGN
2. PROP. SIGN WITH SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)
3. PROP. SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)
4. PROP. SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)
5. PROP. SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)
6. PROP. SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)
7. PROP. SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)
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11. PROP. SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)
12. PROP. SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)
13. PROP. SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)
14. PROP. SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)
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17. PROP. SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)
18. PROP. SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)
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20. PROP. SIGNAGE (SEE SIGNAGE PLAN FOR DETAILS)

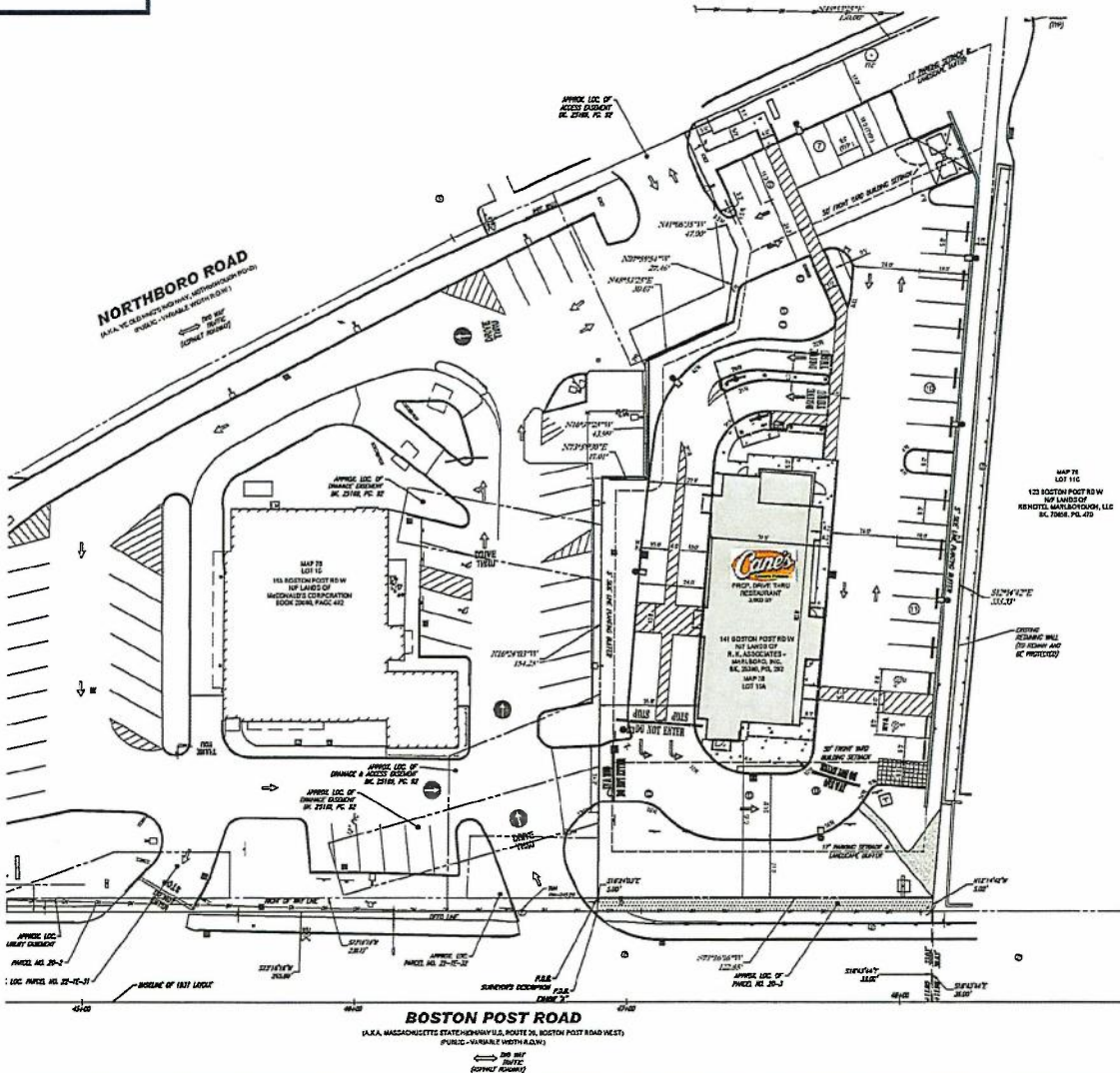
**PAINT STRIPING LEGEND**

- 1. 4" WHITE PAINT STRIPING
- 2. 4" WHITE PAINT STRIPING
- 3. 4" WHITE PAINT STRIPING
- 4. 4" WHITE PAINT STRIPING

**GENERAL CONTRACTOR TO PROVIDE A SITE SPECIFIC WALL DESIGN AND CALCULATIONS THROUGH THE GENERAL CONTRACTOR'S SELECTED WALL MANUFACTURER'S LICENSED PROFESSIONAL STRUCTURAL ENGINEER.**

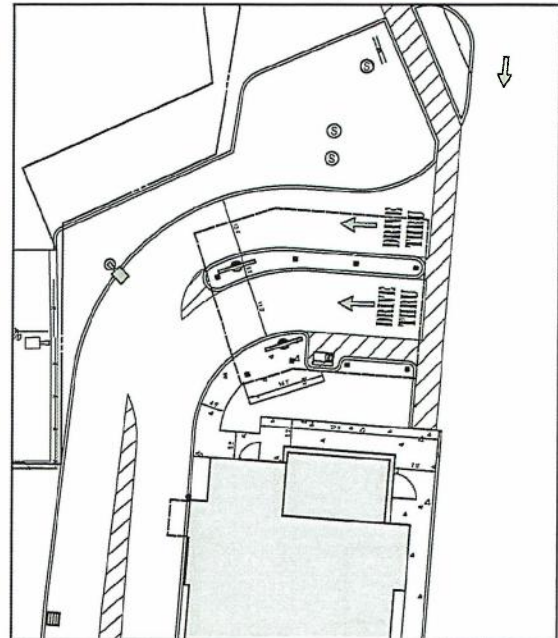
**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES**





| LEGEND |                        |
|--------|------------------------|
| ---    | PROPERTY LINE          |
| ---    | PAVEMENT SURFACE       |
| ---    | PROPOSED EASEMENT      |
| ---    | PROPOSED CONCRETE CURB |
| ---    | EXISTING CURB          |
| ⊙      | PROPOSED FIRE HYDRANT  |

- DIMENSION NOTES**
1. ALL DIMENSIONS ARE TO BE BY ARCHITECT'S OTHER VIEWS UNLESS NOTED.
  2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  3. ALL CURBS SHALL BE 4" FINISH-UP EXCEPT WHERE OTHERWISE NOTED OR SHOWN.
  4. REFER TO LANDSCAPE PLAN FOR PROPOSED PLANTING SCREENING AND LIGHTING.



**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES**



Restaurant Support Office  
 6200 Bishop Road, Plains, TX 75204  
 Tel: 572-569-3100 Fax: 572-569-3101

PROJECT NAME DATE:  
 STORE:  
**RAISING CANE'S RESTAURANT**  
 141 BOSTON POST ROAD  
 MARLBOROUGH, MA  
 Prototype #EV/  
 RESTAURANT #RC0622

DESIGNER INFORMATION:  
**BOHLER**  
 332 TURNPIKE ROAD  
 SOUTH BORO, MA 01772  
 Phone: 508-868-9000  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

PROJECT NUMBER: \_\_\_\_\_  
 PROJECT DATE: \_\_\_\_\_  
 PROJECT MANAGER: EGO

**ENTITLEMENT ISSUE**



| SHEET REVISIONS: (Show specific per Design) |                       |
|---|-----------------------|
| NO.   | DESCRIPTION           |
| 1   | ISSUED FOR PERMITTING |
| 2   | ISSUED FOR PERMITTING |

**DIMENSION CONTROL**

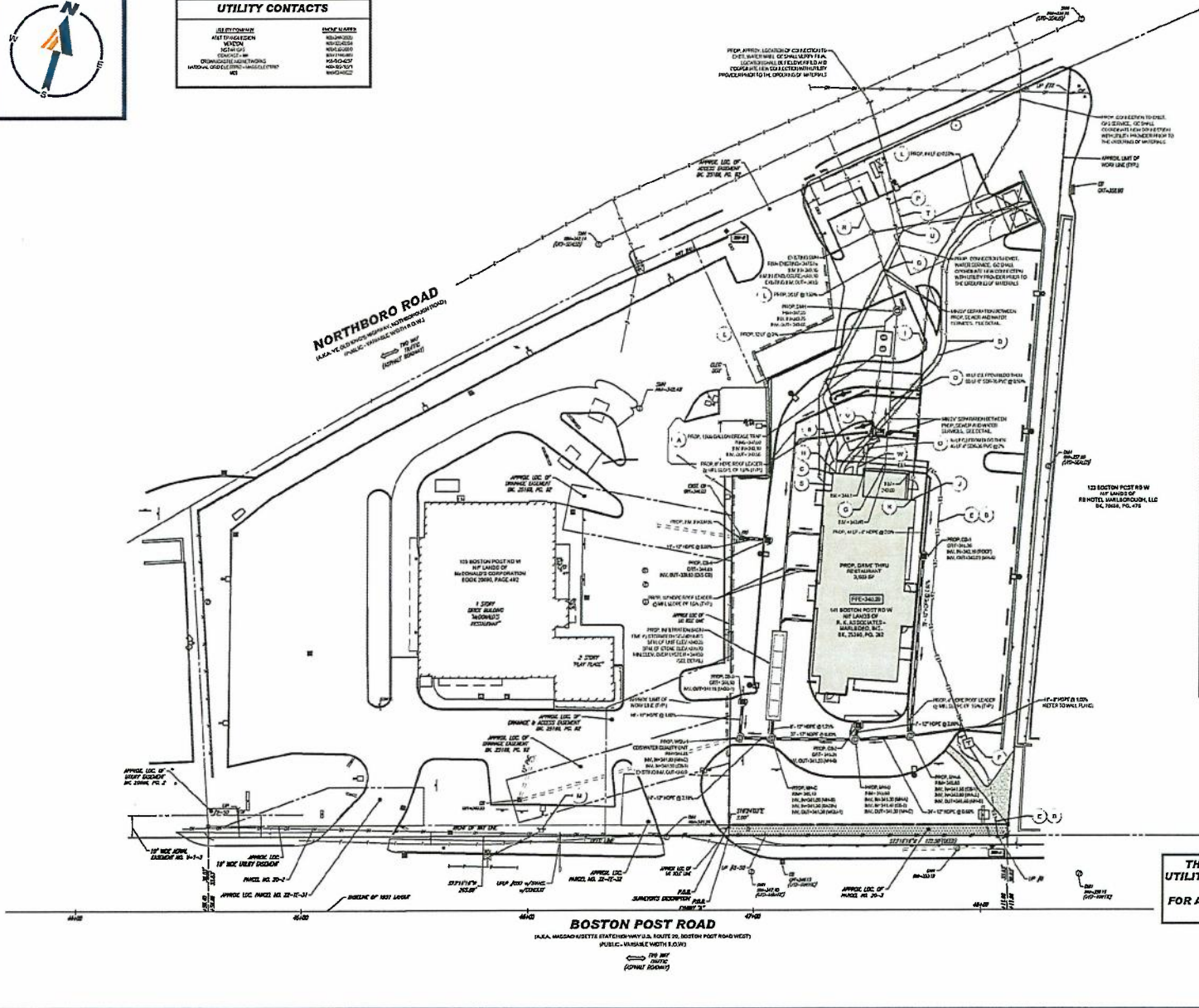
DATE: 06/27/2017  
 PROJECT NUMBER: W0128  
 DRAWN BY: JWP  
 SHEET NUMBER:

**C-302**





| UTILITY CONTACTS                         |              |
|--|--------------|
| UNION                                    | 609-952-3200 |
| AMERICAN WATER WORKS ASSOCIATION         | 800-551-7233 |
| AMERICAN ELECTRICITY WORKING             | 800-475-8822 |
| NATIONAL ASSOCIATION OF PUBLIC UTILITIES | 800-368-5868 |
| AMERICAN GAS ASSOCIATION                 | 800-475-8822 |
| AMERICAN WATER WORKS ASSOCIATION         | 800-551-7233 |
| AMERICAN ELECTRICITY WORKING             | 800-475-8822 |
| NATIONAL ASSOCIATION OF PUBLIC UTILITIES | 800-368-5868 |
| AMERICAN GAS ASSOCIATION                 | 800-475-8822 |



| LEGEND   |                   |
|----------|-------------------|
| (Symbol) | PROPERTY LINE     |
| (Symbol) | EXISTING DRAINAGE |
| (Symbol) | PROPOSED DRAINAGE |
| (Symbol) | PROPOSED 8\"/>    |

| UTILITY KEYNOTE LEGEND |             |
|------------------------|-------------|
| (A)                    | PROP. 1\"/> |

**THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES**



Restaurant Support Office  
8000 Bishop Road, Plain, TX 75224  
Tel: 972-769-3100 Fax: 972-769-1101

PROTOTYPE HOME SITE:  
**RAISING CANE'S RESTAURANT**  
141 BOSTON POST ROAD  
MARLBOROUGH, MA  
Prototype 4B/V  
RESTAURANT SRC0522

DESIGNER'S INFORMATION:  
**BOHLER**  
332 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
Phone: 508-488-0000  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

PROTOTYPE UTILITY PLAN SHEET:  
UPDATE DATE: 08/20/21  
PROJECT NUMBER: 050

**ENTITLEMENT ISSUE**

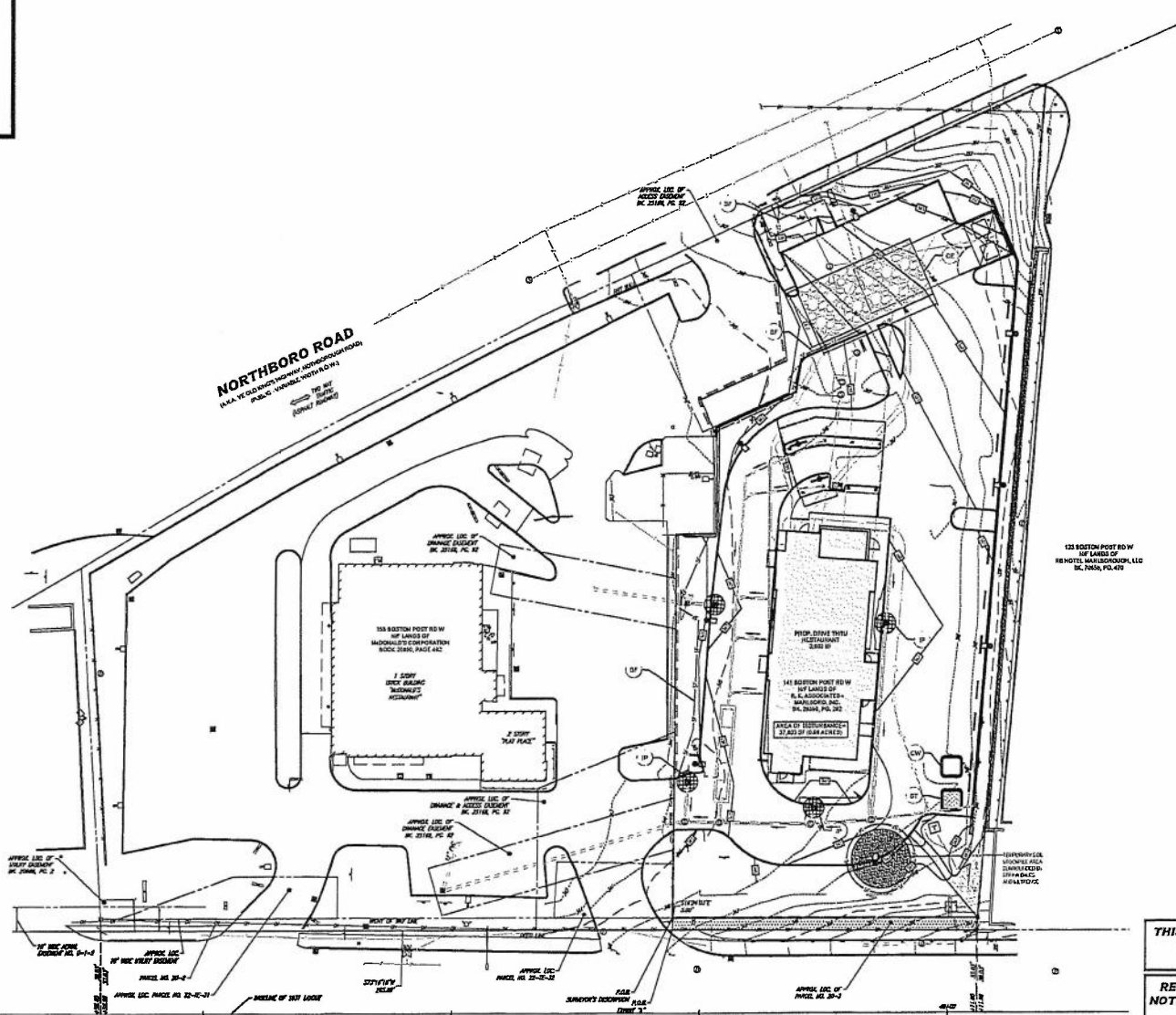


| SHEET NUMBER | DATE     | DESCRIPTION                       |
|--------------|----------|-----------------------------------|
| 1            | 08/20/21 | PROPOSED UTILITY PLAN FOR PERMITS |
| 2            | 08/20/21 | PROPOSED UTILITY PLAN FOR PERMITS |

SHEET TITLE:  
**UTILITY & DRAINAGE PLAN**  
DATE: 08/20/21  
PROJECT NUMBER: 0501241  
DRAWN BY: AWP  
SHEET NUMBER:  
**C-501**



**NORTHBORO ROAD**  
 ILLA.V. W. 2008 (MICHIGAN) HIGHWAY 2008 (MICHIGAN)  
 PUBLIC VARIABLE WIDTH ROAD



**LEGEND**

- PROPERTY LINE
- EXISTING ROAD
- PROPOSED LINE OF DISTURBANCE
- DIRECTION OF SIDEWALK FLOW (ARROW)
- 18\"/>

**BOSTON POST ROAD**  
 ILLA.V. MASSACHUSETTS STATE HIGHWAY U.S. ROUTE 26, BOSTON POST ROAD WEST  
 PUBLIC VARIABLE WIDTH ROAD

**THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY**

**REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS**



Restaurant Support Office  
 6800 Bishop Road, Plano, TX 75024  
 Tel: 972-769-3100 Fax: 972-769-3191

PROTOTYPE NAME DATE:  
 STORE:  
**RAISING CANE'S RESTAURANT**  
 141 BOSTON POST ROAD  
 MARLBOROUGH, MA  
 Prototype 4E/V  
 RESTAURANT WRC6822

DESIGNER INFORMATION:  
**BOHLER//**  
 332 TURNPIKE ROAD  
 SOUTHBOROUGH, MA 01772  
 Phone: (508) 480-9900  
 www.BohlerEngineering.com

PROTOTYPE UPDATE PHASE:  
 UPDATE ISSUE DATE:  
 PROJECT MANAGER: EOP

**ENTITLEMENT ISSUE**



PROJECT PROFESSIONAL: (Sheet Specific and Design)

| DATE:     | REVISION/ISSUE:   |
|-----------|---|
| 1 8/26/21 | ISSUE FOR PERMITS   |
| 2 8/13/21 | REVISED CIVIL/CADD FOR PERMITS AND TRAFFIC CONTROL REQUIREMENTS |
|           | REVISIONS FOR PERMITS AND TRAFFIC CONTROL REQUIREMENTS          |

**SHEET TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN**

DATE: 10/01/21  
 PROJECT NUMBER: W01218  
 SHEET NO.: 601  
 SHEET NUMBER: C-601











**IRRIGATION NOTES**

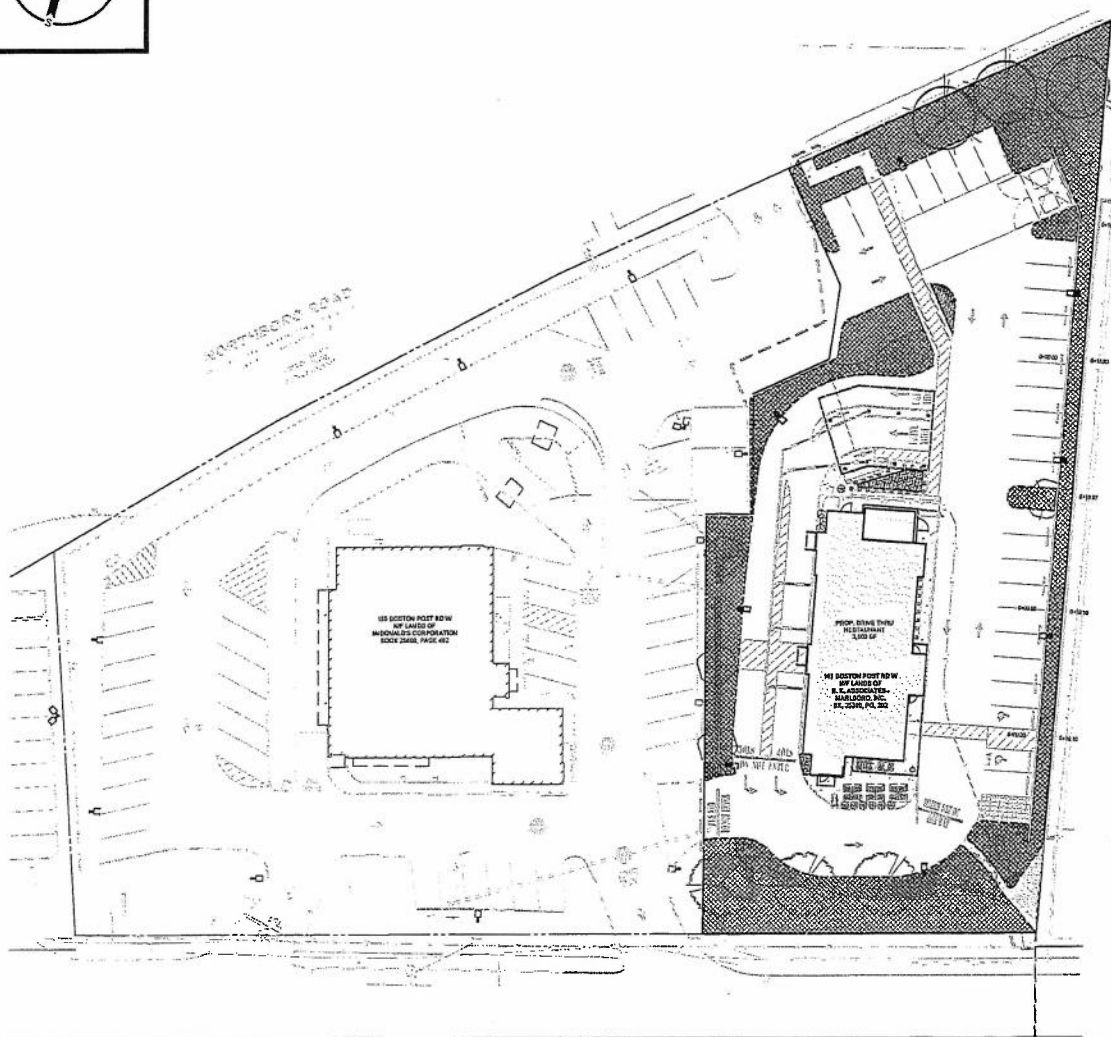
1. IRRIGATION CONTRACTOR TO LOCATE AND PROTECT ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
2. IRRIGATION PLAN IS DIMENSIONAL TO MATURE AND ALL SYSTEM COMPONENTS ARE SHOWN FOR CLARITY. ALL LOCATIONS OF LINES, VALVES, AND HEADS TO BE CONFIRMED IN FIELD AND LOCATED IN LANDSCAPE AREAS, AND JUST AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS. ALL VALVES TO BE LOCATED IN VALVE BOX WITH COVER AT GRADE. LOCATE BOX IN GRASS AREA WHEN POSSIBLE.
3. AUTOMATIC CONTROLLER AND WEATHER SENSOR TO BE LOCATED AS DIRECTED BY THE OWNER'S REPRESENTATIVE. WEATHER SENSOR TO BE FREE FROM OBSTRUCTIONS AND EXPOSED TO THE WEATHER.
4. 4# PEX REQUIRED PER ROTOR STATION, 30 PPS. REQUIRED PER SPRAY STATION, AND 4# PEX REQUIRED PER DRIP STATION. ALL SPRAY AND ROTOR BODIES TO HAVE PEX (IN-SYSTEM PRESSURE REGULATION).
5. PRESSURE REGULATOR REQUIRED BY LOCAL CODE IF STATIC WATER PRESSURE AT POINT OF CONNECTION FOR SITE IS GREATER THAN 40 PSI.
6. 4" x 4" x 24" PVC SLEEVES TO BE LOCATED AS SHOWN ON DRAWING. EXTEND SLEEVE 1" BEYOND BACK OF CURB OR PAVEMENT. SLEEVES TO BE LOCATED AND EXPOSED BY THE GENERAL CONTRACTOR PRIOR TO START OF IRRIGATION INSTALLATION.
7. POP-UP HEIGHT OF SPRAY HEADS TO BE AS FOLLOWS: 4" IN TURF ZONES, 12" IN SHRUB ZONES, AND 12" IN SEASONAL COLOR BEDS. ROTOR HEIGHT TO BE 4". MPR ROTOR NOZZLE SIZE IS INDICATED ON DRAWING FOR EACH ROTOR.
8. ALL PIPES, AUTOMATIC VALVES, BACKFLOW PREVENTOR, MANUAL VALVE AND METER TO BE LOCATED WITHIN PROPERTY LINES. SHOWN OUTSIDE ON DRAWING FOR CLARITY ONLY.
9. IRRIGATION METER AND BACKFLOW PREVENTOR TO BE PROVIDED BY THE GENERAL CONTRACTOR.
10. ALL 1.5" MAIN LINES (CLASS 200 PVC PIPE OR 100 PSI RATED POLYETHYLENE) TO BE INSTALLED.
11. ALL LATERAL AND SUBMAIN PIPE TO HAVE A MINIMUM OF 12" AND A MAXIMUM OF 18" COVER IF POSSIBLE.
12. NO ROCKS, BOULDER, OR OTHER EXTRANEUS MATERIALS TO BE USED IN BACKFILLING TRENCHES.
13. ALL PIPE, VALVES, DRIP, SPRAY HEADS, ROTORS, CONTROLLERS, AND WEATHER SENSORS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. FOR ANY QUESTIONS ON HANDBIRD PRODUCTS OR INSTALLATION OF HANDBIRD PRODUCTS CALL DANN HAHN 202-984-1146
14. ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE OR LIQUID TEFLON.
15. ALL LINES TO BE THOROUGHLY FLUSHED BEFORE INSTALLATION OF SPRINKLER HEADS.
16. MUST USE PRODUCTS SPECIFIED ON THIS DRAWING, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
17. IRRIGATION CONTRACTOR SHALL PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT. THIS DRAWING SHALL BE OVERSIGHTED WITHIN 24 HOURS OF COMPLETION OF INSTALLATION.
18. IRRIGATION CONTRACTOR TO PERFORM A WALK-THROUGH INSPECTION WITH THE OWNER REPRESENTATIVE OF THE FUNCTIONING SYSTEM PRIOR TO FINAL APPROVAL.
19. IRRIGATION IS TO BE INSTALLED IN AREAS DEDICATED ON THE PLAN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.

**TYPICAL IRRIGATION DESIGN GUIDELINES**

1. CONTRACTOR TO SUBMIT A FULLY AUTOMATED IRRIGATION SYSTEM DESIGN FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
2. IRRIGATION SYSTEM TO BE DESIGNED TO PROVIDE HEAD TO HEAD COVERAGE IN TURF AND SHRUB BEDS.
3. MINIMIZE OVER DISCHARGE ONTO SIDEWALK AND PAVED AREAS.
4. USE 1.5" MAINLINE AND 1" METER.
5. IRRIGATION MAINLINE, HEADS, VALVES, ETC ARE NOT TO BE PLACED IN THE PUBLIC ROW, CURBS AND DELTAORY TRUCKS HAVE DIFFICULTY MAKING TURNS WITH TIGHT RADII AND WILL JUMP THE CURBS CAUSING DAMAGE TO IRRIGATION HEADS AND LINES. AVOID PLACING HEADS, LATERAL LINES AND MAIN LINES IN AREAS OF POTENTIAL DAMAGE.
6. MINIMIZE OVERTHROW ONTO ADJACENT PROPERTY.
7. USE SMART CONTROLLER ON ALL IRRIGATION SYSTEMS. USE HANDBIRD SP-SMITH WITH WEATHER STATION USE HIGH EFFICIENCY IRRIGATION HEADS WITH LOW PRECIPITATION RATES TO AVOID RUNOFF AND WIND DRIFT, CONSERVE WATER AND REDUCE WATER USAGE COST.
8. USE DRIP IRRIGATION IN PLANTER BEDS ADJACENT TO BUILDING AND IN AREAS WITH MINIMAL PEDESTRIAN ACCESS.
9. KEEP SHRUBS BEDS, PLANTERS AND TURF AREAS ON SEPARATE ZONES.
10. USE SPRAY HEADS ON ANNUAL COLOR BEDS. ISOLATE COLOR BED ZONES WHEN PRACTICAL.
11. ALL IRRIGATION SYSTEM DESIGNS AND INSTALLATIONS MUST MEET LOCAL CODES AND ORDINANCES.



120 BOSTON POST RD W  
OFFICE OF  
RE HOTEL, MARLBOROUGH, MA  
RE, 01923, P.O. BOX 128



**THIS PLAN TO BE UTILIZED FOR IRRIGATION PURPOSES ONLY**

**REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS**



Restaurant Support Office  
6600 Bishop Road, Plano, TX 75024  
Tel: 972-765-3100 Fax: 972-765-3101

PHOTO TYPE REVISED DATE:

DATE:

**RAISING CANE'S RESTAURANT**  
141 BOSTON POST ROAD  
MARLBOROUGH, MA  
Prototype 487V  
RESTAURANT #RC0622

DESIGNER'S INFORMATION:

**BOHLER //**

302 TURNPIKE ROAD  
SOUTH BEND, MA 01772  
Phone: (508) 484-9100  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

PROJ. NO. 07-10-16-17-18-19-20

UPDATE ISSUE DATE:

PROJECT NUMBER: 000

**ENTITLEMENT ISSUE**

PROFESSIONAL OF RECORD:



SHEET REVISIONS: (Sheet 07 of 20) Designer

| NO. | DATE     | DESCRIPTION   |
|-----|----------|---|
| 1   | 08/09/09 | REVISED DESIGN TO ADD MORE SPRAY HEADS AND TRUCK DRIVEWAYS PER RAISING CANE'S REQUEST |
| 2   | 03/10/11 | REVISED DESIGN PER RAISING CANE'S REQUEST   |

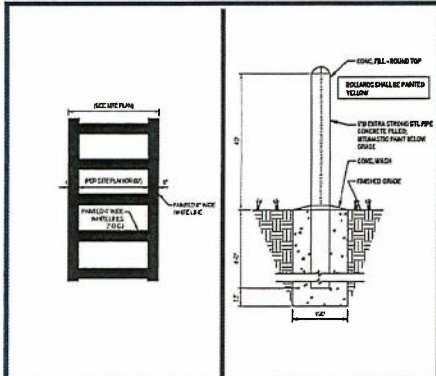
**IRRIGATION PLAN**

DATE: 06/08/11

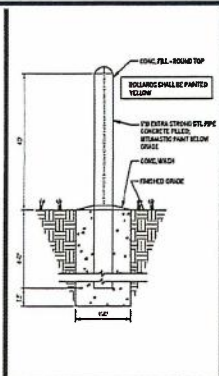
PROJECT NUMBER: 07-10-16-17-18-19-20

DRAWN BY: AMP

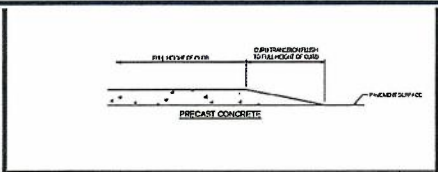
SHEET NUMBER: C-703



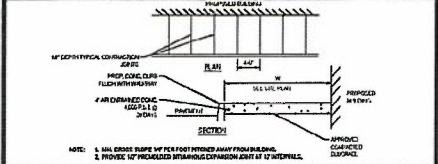
**CROSSWALK DETAIL** N.T.S.



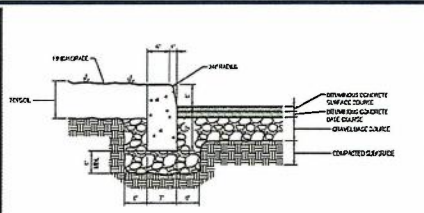
**BOLLARD DETAIL** N.T.S.



**TRANSITION CURB** N.T.S.

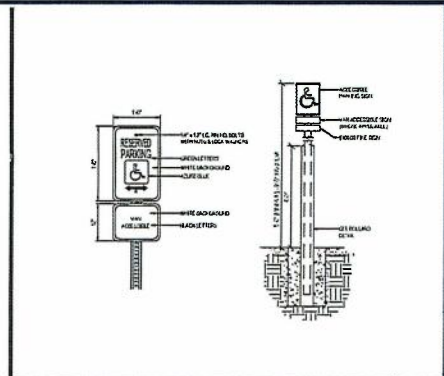


**SIDEWALK** N.T.S.

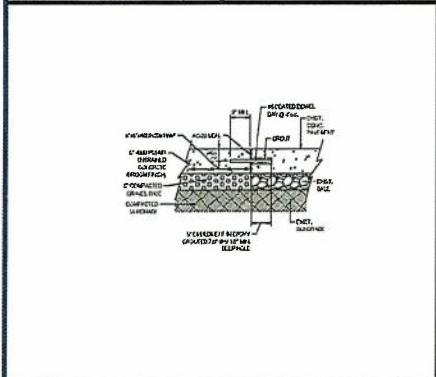


NOTE: 1. CURB SHALL CONSIST OF 4 IN. PSI OR EQUIVALENT CONCRETE. EXPOSED EDGES TO HAVE ROUNDED FINISH AND SURFACE SHALL BE TREATED WITH A CONCRETE FINISHING POLISH.  
 2. THE EDGES OF CURB SECTIONS SHALL BE CHAMFERED 1/4 INCH.  
 3. THE EDGES OF CURB SECTIONS SHALL MATCH THE ADJACENT CURB IN SIZE, COLOR AND FINISH.  
 4. CURB EDGES CONCRETE ON EDGING SHALL BE FITTED TOGETHER AS CLOSELY AS POSSIBLE.  
 5. EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM OF TWENTY FEET OR IN CENTER LONG PRECASTED CONCRETE JOINT FILLER HAVING A THICKNESS OF 1/2 INCH.

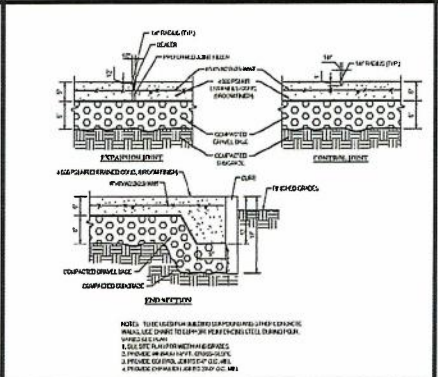
**PRECAST CONCRETE CURB** N.T.S.



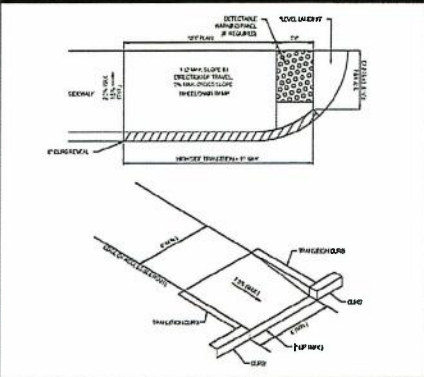
**ACCESSIBLE PARKING SIGN W/ BOLLARD DETAIL** N.T.S.



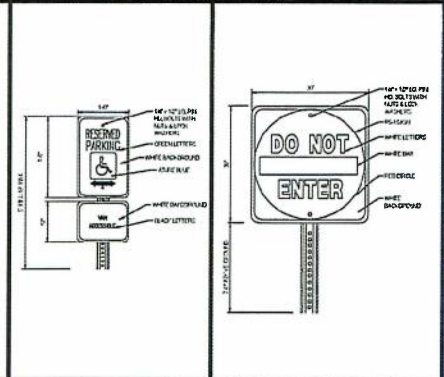
**CONCRETE SIDEWALK TIE-IN** N.T.S.



**TYPICAL CONCRETE SIDEWALK** N.T.S.



**ACCESSIBLE RAMP** N.T.S.



**HANDICAP SIGN** N.T.S.



Restaurant Support Office  
 6800 Blum Road, Ft. Worth, TX 76244  
 Tel: 972-769-3100 Fax: 972-769-3101

PROTOTYPE REUSE DATE:  
 NONE  
 RAISING CANE'S RESTAURANT  
 141 BOSTON POST ROAD  
 MARLBOROUGH, MA  
 Prototype 4REV  
 RESTAURANT #RC0622

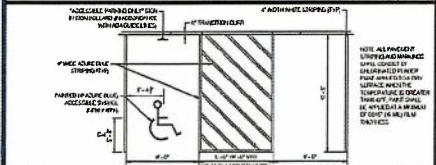
DESIGNER INFORMATION:  
**BOHLER**  
 332 TURNPIKE ROAD  
 BURLINGTON, MA 01772  
 Phone: (508) 488-9500  
 www.BohlerEngineering.com

PROTOTYPE UPDATE PHASE:  
 UPDATE ISSUE DATE:  
 PROJECT MANAGER: ESO

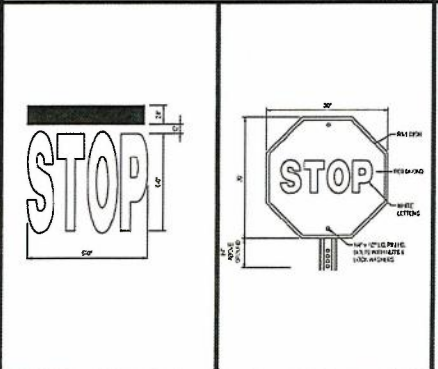
**ENTITLEMENT ISSUE**



PROFESSIONAL OF RECORD:



**ACCESSIBLE STALL MARKINGS & PARKING LOT STRIPING DETAIL** N.T.S.



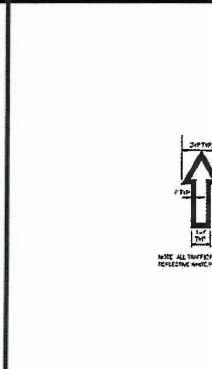
**"STOP" BAR DETAIL** N.T.S.



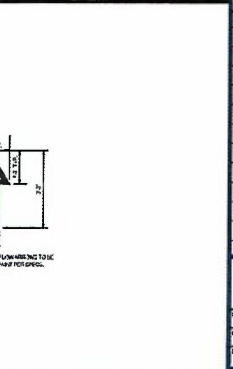
**STOP SIGN** N.T.S.



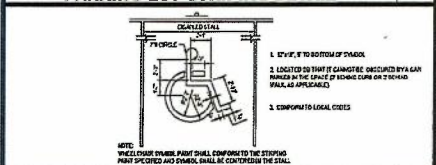
**NO RIGHT TURN SIGN** N.T.S.



**PEDESTRIAN CROSSING SIGN** N.T.S.



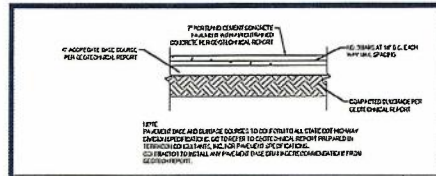
**TRAFFIC FLOW ARROW** N.T.S.



**ACCESSIBLE PARKING SPACE PAINTING DETAIL** N.T.S.

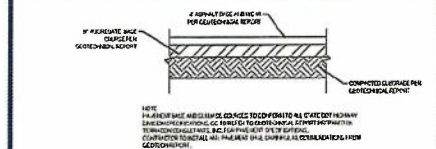
| SHEET REVISIONS: (Show Specific per Designer) |  |
|---|--|
| DATE:   | DESCRIPTION:   |
| 1 8/20/21                                     | REVISION TO CORRECT PAPER DIMENSIONS AND TRIM CUTTING DIMENSIONS |
| 2 8/21/21                                     | DIMENSIONAL UPDATE PER ARCHITECT REQUEST                         |

| DETAIL SHEET    |            |
|-----------------|------------|
| DATE:           | AUTHORITY: |
| PROJECT NUMBER: | NOTATION:  |
| DRAWN BY:       | APP:       |
| SHEET NUMBER:   |            |
| <b>C-901</b>    |            |



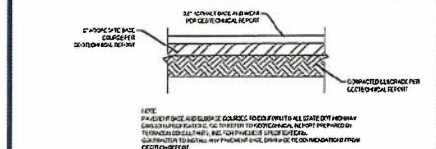
**HEAVY DUTY (DUMPSTER PAD) CONCRETE PAVEMENT SECTION**

N.T.S.



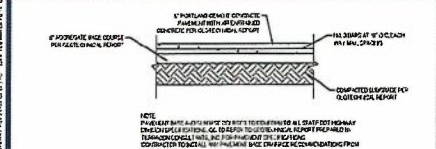
**HEAVY DUTY ASPHALT PAVEMENT SECTION**

N.T.S.



**STANDARD DUTY ASPHALT PAVEMENT SECTION**

N.T.S.



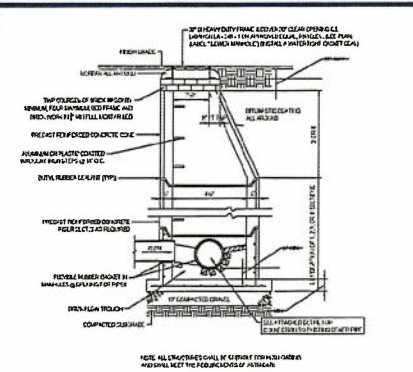
**STANDARD DUTY CONCRETE PAVEMENT SECTION**

N.T.S.



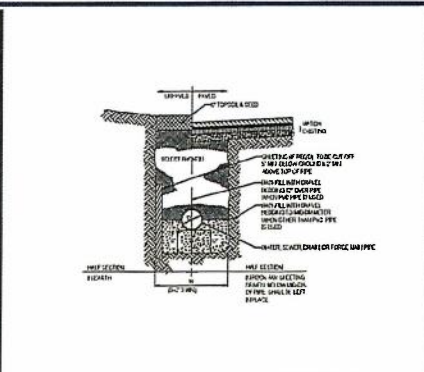
**MEDIUM DUTY CONCRETE PAVEMENT SECTION**

N.T.S.



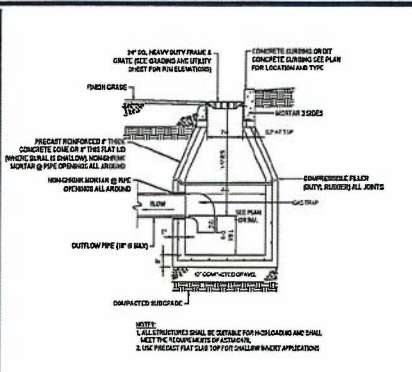
**TYP. PRECAST CONCRETE SANITARY MANHOLE**

N.T.S.



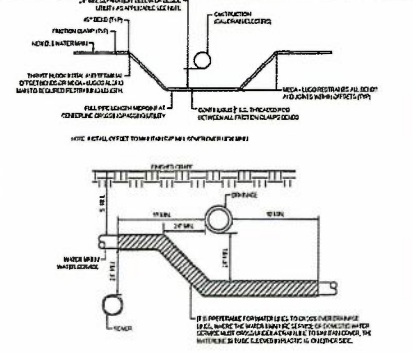
**TYPICAL UTILITY TRENCH**

N.T.S.



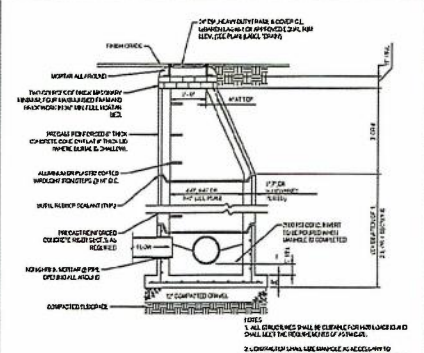
**PRECAST CONCRETE DEEP SUMP CATCH BASIN**

N.T.S.



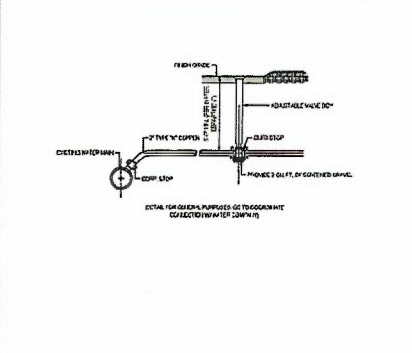
**WATER/SEWER CROSSING**

N.T.S.



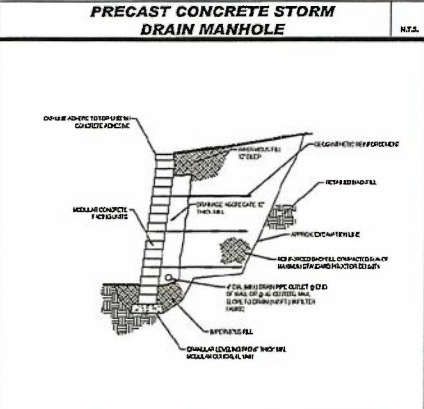
**PRECAST CONCRETE STORM DRAIN MANHOLE**

N.T.S.



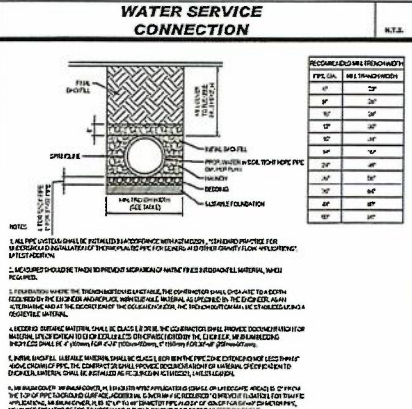
**WATER SERVICE CONNECTION**

N.T.S.



**REINFORCED RETAINING WALL**

N.T.S.



**HDPE STORM DRAINAGE TRENCH**

N.T.S.



Restaurant Support Office  
6800 Bayway Road, Plant, TX 75244  
Tel: 972-769-3100 Fax: 972-769-3101

PROTOTYPE DRAWING DATE:  
PROJECT:  
RAISING CANES RESTAURANT  
141 BOSTON POST ROAD  
MARLBOROUGH, MA  
Prototype 4EIV  
RESTAURANT #RC0622

DESIGNER INFORMATION:  
**BOHLER**  
332 TURNPIKE ROAD  
SOUTH BOROUGHS, MA 01772  
Phone: (508) 445-0502  
www.BohlerEngineering.com

PROTOTYPE UPDATE PHASE:  
UPDATE DRAWING DATE:  
PROJECT MANAGER: DGG

**ENTITLEMENT ISSUE**



SHEET REVISIONS: (Sheet Scale: per Drawing)

| NO. | DATE     | DESCRIPTION   |
|-----|----------|---|
| 1   | 08/01/01 | REVISED TO SHOW PERMIT FILE APPROVAL AND TRAILER INSTALLATION DETAILS |
| 2   | 07/02/01 | ADDITIONAL UPDATES PER PERMIT REVIEWER COMMENTS                       |

SHEET TITLE:  
**DETAIL SHEET**

DATE: 08/01/01  
PROJECT NUMBER: 001008  
DRAWN BY: JWP  
SHEET NUMBER:

**C-902**





Restaurant Support Office  
 6300 Biskey Road, Plano, TX 75024  
 Tel: 972-759-3100 Fax: 972-759-3101

PROTOTYPE ISSUE DATE:

STORE:  
**RAISING CANE'S RESTAURANT**  
 141 BOSTON POST ROAD  
 MARLBOROUGH, MA  
 Prototype #EV  
 RESTAURANT #RC0622

DESIGNER INFORMATION:

**BOHLER**  
 302 TURNPIKE ROAD  
 SOUTHBOROUGH, MA 01772  
 Phone: 508-485-1000  
 www.BohlerEngineering.com

PROTOTYPE UPDATE PHASE:

UPDATE ISSUE DATE:  
 PROJECT MANAGER: EDD

**ENTITLEMENT  
 ISSUE**

PROFESSIONAL OF RECORD:



SHEET REVISIONS: (Use Blank for Designer)

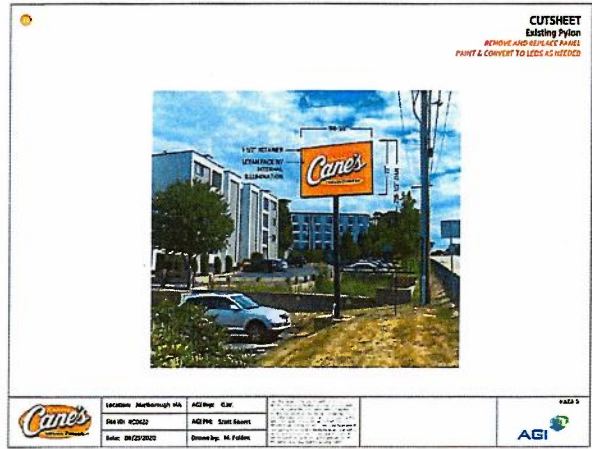
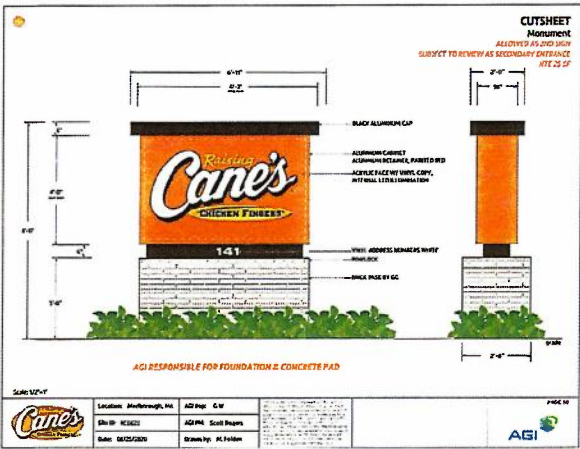
| DATE | DESCRIPTION                                     |
|------|---|
| 1    | ISSUE FOR PERMITS AND LOCAL REGULATORY AGENCIES |
| 2    | ISSUE FOR AMTUTORS REGISTRY                     |

SHEET TITLE:

**DETAIL  
 SHEET**

DATE: MAR0911  
 PROJECT NUMBER: W01109  
 DRAWN BY: JMF  
 SHEET NUMBER:

**C-904**



**PROPOSED GROUND SIGNS**

815

EXHIBIT A

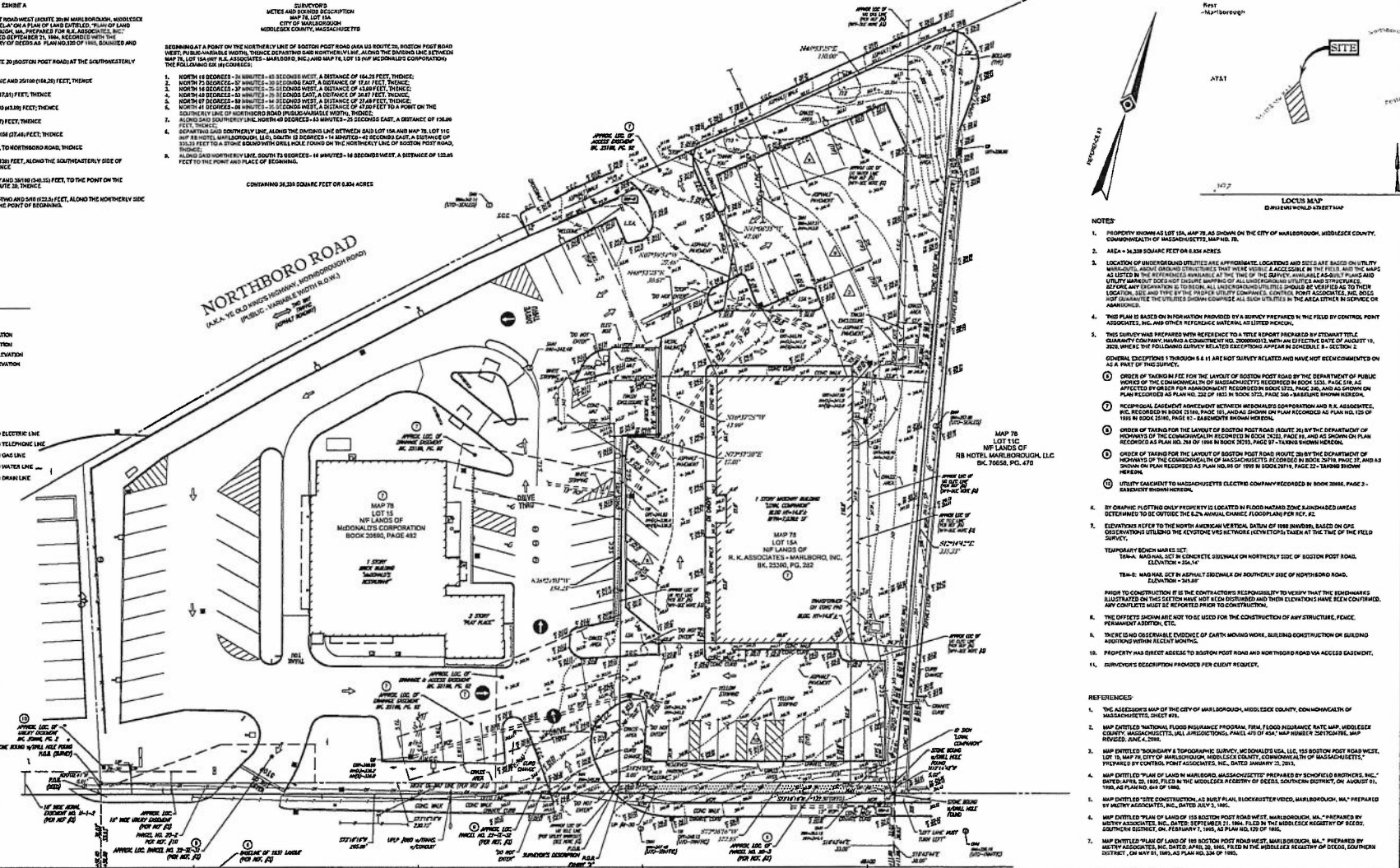
A CERTAIN PARCEL OF LAND ON EASTON POST ROAD... WOODLICK COUNTY, MASSACHUSETTS...

SURVEYORS METES AND BOUNDS DESCRIPTION

- 1. NORTH 18 DEGREES - 20 MINUTES - 45 SECONDS WEST... 2. NORTH 18 DEGREES - 20 MINUTES - 30 SECONDS EAST... 3. NORTH 18 DEGREES - 20 MINUTES - 30 SECONDS WEST... 4. NORTH 41 DEGREES - 40 MINUTES - 25 SECONDS WEST... 5. NORTH 41 DEGREES - 40 MINUTES - 25 SECONDS WEST... 6. ALONG THE SOUTHERLY LINE OF NORTHBORO ROAD... 7. ALONG THE SOUTHERLY LINE, NORTH 41 DEGREES - 40 MINUTES - 25 SECONDS EAST... 8. SEPARATING LAND SOUTHERLY LINE, ALONG THE DIVISION LINE BETWEEN SAID LOT 15A AND MAP 7B... 9. ALONG SAID NORTHERLY LINE, SOUTH 73 DEGREES - 14 MINUTES - 14 SECONDS WEST...

LEGEND

- EXISTING CONTOURS
EXISTING SPOT ELEVATION
EXISTING TOP OF CURB ELEVATION
EXISTING TOP OF CURB ELEVATION
EXISTING BOTTOM OF WALL ELEVATION
EXISTING FINISHED FLOOR ELEVATION
APPROX. LOC. UNDERGROUND ELECTRIC LINE
APPROX. LOC. UNDERGROUND TELEPHONE LINE
APPROX. LOC. UNDERGROUND GAS LINE
APPROX. LOC. UNDERGROUND DRAIN LINE
UTILITY POLE
UTILITY POLE LIGHT POLE
OUTWIRE
AREA LIGHT
CLEAN OUT
SEW
SOILS
METAL GUIDE RAIL
PAINTED ARROWS
CHAIN LINK FENCE
DEPRESSED CURB
EDGE OF CONCRETE
EDGE OF PAVEMENT
LANDSCAPED AREA
METAL COVER
RAILROAD TIE WALL
TYPICAL
DRAINAGE CUSTOMER MANHOLE
SANITARY CUSTOMER MANHOLE
TELEPHONE MANHOLE
CATCH BASIN INLET
PAVING SPICE COUNT
SOLID WHITE LINE
SOLID YELLOW LINE
SOLID ORANGE CURB
VERTICAL GRANITE CURB
GRATE ELEVATION
POINT OF BEGINNING
NO VISIBLE POLE
UNABLE TO OPEN
REINFORCED CONCRETE PIPE
INVERT ELEVATION
CAST IRON PIPE



UTILITIES
THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS DIGITAL SYSTEM... NATIONAL GRID ELECTRICITY & GAS ELECTRIC

UTILITY COMPANY
ASSET TO ADMINISTRATION
CONTRACT NO.
CONTRACTOR
NATIONAL GRID ELECTRICITY & GAS ELECTRIC

PROJECT NUMBER
099-200-2000
099-200-2001
099-200-2002
099-200-2003
099-200-2004

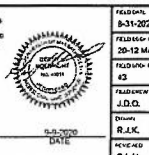
DATE
03-20-2020
03-20-2020
03-20-2020
03-20-2020
03-20-2020

DATE
03-20-2020
03-20-2020
03-20-2020
03-20-2020
03-20-2020

BOSTON POST ROAD (A.K.A. MASSACHUSETTS STATE HIGHWAY U.S. ROUTE 20, BOSTON POST ROAD WEST) (PUBLIC - VARIABLE WIDTH ROW)



THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE MASSACHUSETTS STANDARD DETAIL REQUIREMENTS FOR ALTIMETRIC LAND TITLE SURVEYS... GERRY L. HOLDRIGHT, PLS MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #46211



ALTA/NSP'S LAND TITLE SURVEY
RAISING CANE'S RESTAURANT, L.L.C.
141 BOSTON POST ROAD WEST
MAP 7B, LOT 15A
CITY OF MARLBOROUGH, MIDDLESEX COUNTY
COMMONWEALTH OF MASSACHUSETTS

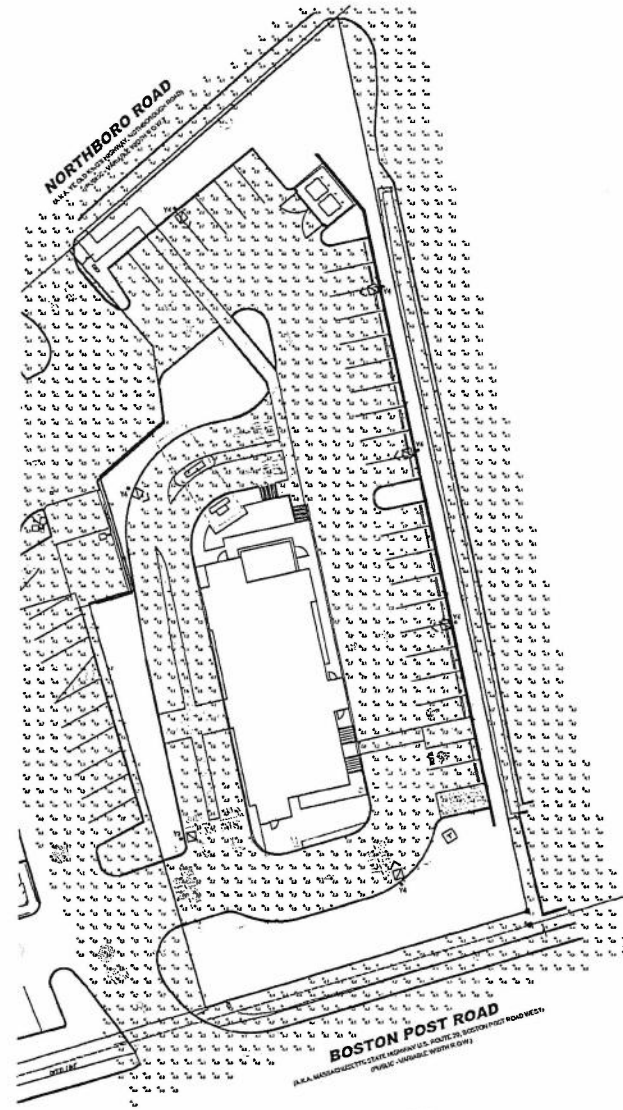
CONTROL POINT ASSOCIATES, INC.
SOUTH BOSTON, MA 02127
DATE 03-20-2020
SCALE 1"=20'

- NOTES
1. PROPERTY SHOWN AS LOT 15A, MAP 7B AS SHOWN ON THE CITY OF MARLBOROUGH, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 7B.
2. AREA = 3439 SQUARE FEET OR 0.84 ACRES
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND DEPTHS ARE BASED ON UTILITY UTILITIES HAVE BEEN OBTAINED THROUGH THE FIELD AND ACCESSIBLE BY THE FIELD AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY...
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED BY THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITH REFERENCE TO THE TITLE REPORT PREPARED BY ESTATE TITLE GUARANTY COMPANY HAVING A COMMITMENT NO. 200900015, WITH AN EFFECTIVE DATE OF AUGUST 19, 2009...
6. ORDER OF TAKING FOR THE LAYOUT OF BOSTON POST ROAD...
7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988...
8. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK...
9. PROPERTY HAS BEEN ACCESS TO BOSTON POST ROAD AND NORTHBORO ROAD VIA ACCESS GATEWAY.
10. SURVEYOR'S DESCRIPTION PROVIDES PER CLIENT REQUEST.

- REFERENCES
1. THE ASSESSED MAP OF THE CITY OF MARLBOROUGH, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, DISTRICT #10.
2. MAP DOTTED NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS, LAL JURISDICTIONAL, PANEL 475 OF 454, MAP NUMBER DATED/GATEWAY, MAP REVISED, JANUARY 2, 2016.
3. MAP DOTTED 'BOUNDARY & TOPOGRAPHIC SURVEY, MC DONALD'S USA, LLC, 155 BOSTON POST ROAD WEST, LOT 15, MAP 7B, CITY OF MARLBOROUGH, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED JANUARY 21, 2013.
4. MAP DOTTED 'PLAN OF LAND OF 155 BOSTON POST ROAD WEST, MARLBOROUGH, MA', PREPARED BY MERRY ASSOCIATES, INC., DATED JANUARY 15, 1993.
5. MAP DOTTED 'PLAN OF LAND OF 155 BOSTON POST ROAD WEST, MARLBOROUGH, MA', PREPARED BY MERRY ASSOCIATES, INC., DATED APRIL 26, 1993, AS PLANNED, 64 OF 1984.
6. MAP DOTTED 'PLAN OF LAND OF 155 BOSTON POST ROAD WEST, MARLBOROUGH, MA', PREPARED BY MERRY ASSOCIATES, INC., DATED APRIL 26, 1993, AS PLANNED, 102 OF 1984.
7. MAP DOTTED 'PLAN OF LAND OF 155 BOSTON POST ROAD WEST, MARLBOROUGH, MA', PREPARED BY MERRY ASSOCIATES, INC., DATED APRIL 26, 1993, AS PLANNED, 102 OF 1984.

| EXTERIOR LIGHTING FIXTURE SCHEDULE |      |       |  |  |
|------------------------------------|------|-------|--|--|
| TYPE                               | LAMP | WATTS | DESCRIPTION  | CATALOG NO.  |
| Y4                                 | LED  | 100   | LED POLE MOUNTED FIXTURE WITH TYPE 3 DISTRIBUTION, DARK BRONZE FINISH, MOUNTED ON A 3" TALL SQUARE STRAIGHT STEEL POLE.  | LEDPOLE4<br>KAZ42474-300-3-AN-01-SP-400000<br>POLE-LEDPOLE4<br>300-3-000-000-4000000 |
| Y5                                 | LED  | 100   | LED POLE MOUNTED FIXTURE WITH TYPE 1 DISTRIBUTION & DARK BRONZE FINISH, MOUNTED ON A 3" TALL SQUARE STRAIGHT STEEL POLE. | LEDPOLE5<br>KAZ42474-300-1-AN-01-SP-400000<br>POLE-LEDPOLE5<br>300-1-000-000-4000000 |

| STATISTICS (VALUES ARE MAINTAINED) |      |      |      |         |         |
|------------------------------------|------|------|------|---------|---------|
| Description                        | Avg  | Min  | Max  | Min/Max | Avg/Min |
| PARKING FIELD                      | 2.7% | 4.1% | 0.9% | 0.2%    | 2.5%    |
| PROPERTY LINE                      | 0.4% | 3.3% | 0.9% | 0%      | 3%      |



PHOTOMETRIC SITE PLAN  
SCALE 1" = 20'-0"



STORE  
**RAISING CANE'S RESTAURANT**  
 141 BOSTON POST ROAD W RT 20,  
 MARLBOROUGH, MA 01752  
 PROTOTYPE: P4EV-AV-CC  
 SCHEME: A  
 RESTAURANT #RC022  
 VERSION: 2020-2 RELEASE 7.14.2020



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ENGINEER INFORMATION

| SHEET REVISIONS |      |      |
|-----------------|------|------|
| #               | DATE | TYPE |
| 1               |      |      |
| 2               |      |      |
| 3               |      |      |
| 4               |      |      |
| 5               |      |      |
| 6               |      |      |
| 7               |      |      |
| 8               |      |      |
| 9               |      |      |
| 10              |      |      |

PHOTOMETRIC SITE PLAN  
 DATE: 04/19/2021  
 JOB NO.: 20241  
**PH1.0**  
 SHEET NO.