



# IN CITY COUNCIL

Marlborough, Mass., MARCH 14, 2022

ORDERED:

## IN CITY COUNCIL

### NOTICE OF DECISION GRANT OF SPECIAL PERMIT

Special Permit Application of:  
J&D Land Holdings LLC  
804 Boston Post Road  
Sudbury, MA 01776  
Order No. 21/22-1008441E

Locus:  
101 Airport Boulevard, Unit #12  
Marlborough, MA 01752  
Assessors Map 73, Parcel 52-12

### DECISION

The City Council of the City of Marlborough hereby **GRANTS** the Application of J&D Land Holding LLC, with a mailing address of 804 Boston Post Road, Sudbury, Massachusetts, as provided in the DECISION and subject to the Findings of Fact and Conditions contained therein.

Decision date: March 14, 2022.

The Decision of the City Council was filed in the Office of the City Clerk of Marlborough on the 16<sup>th</sup> day of March 2022.

This is to certify that twenty (20) days have passed since the filing of the within decision and no appeal has been filed with this office.

Given at Marlborough this 6<sup>th</sup> day of April 2022.

Given under Chapter 40A Section 17 of the General Laws.

A TRUE COPY  
ATTEST:

City Clerk



# IN CITY COUNCIL

Marlborough, Mass., MARCH 14, 2022  
PAGE 1

ORDERED:

## IN CITY COUNCIL

### DECISION ON A SPECIAL PERMIT J&D LAND HOLDINGS LLC

### DECISION ON A SPECIAL PERMIT ORDER NO. 21/22-1008441E

The City Council of the City of Marlborough hereby **GRANTS** the Application for a Special Permit to J&D Land Holdings LLC (the "Applicant") for a contractor's yard and a landscape contractor's yard at 101 Airport Boulevard (Unit 12), in the Limited Industrial Zoning District, as provided in this Decision and subject to the following Findings of Fact and Conditions.

#### FINDINGS OF FACT

1. The Applicant, J&D Land Holdings LLC, is a Massachusetts limited liability company with an address of 804 Boston Post Road, Sudbury, MA 01776.
2. The Applicant is the owner of the property located at 101 Airport Boulevard (Unit 12), Marlborough, MA, being shown as Parcel 52-1-12 on Assessors Map 73 (the "Site").
3. In accordance with Article V, Section 650-17 and Section 650-18(A)(48), of the Zoning Ordinance of the City of Marlborough (the "Zoning Ordinance"), the Applicant proposes a contractor's yard and a landscape contractor's yard at the Site (the "Use"). As shown on the Plans referenced in paragraph 5 below, the Use consists of a building, accessory parking, outdoor storage areas, and landscaped areas.
4. The Applicant, by and through its counsel, filed with City Clerk of the City of Marlborough an Application for a Special Permit ("Application") for the Use.
5. In connection with the Application, the Applicant submitted a certified list of abutters, filing fees, a site plan entitled "Proposed Site Plan of Use Area #12 101 Airport Boulevard in Marlborough, MA" by Connorstone Engineering, with the last revision date of October 12, 2021, and a landscaping plan entitled "Proposed Landscape Plan of Use Area #12 in Marlborough, MA" by Connorstone Engineering, with the last revision date of October 12, 2021 (collectively the "Plans") attached hereto as **"Attachment A."**
6. The Application was certified as complete by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, in accordance with the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.



# IN CITY COUNCIL

Marlborough, Mass., MARCH 14, 2022  
PAGE 2

## ORDERED:

7. The Site is located in the Limited Industrial Zoning District.
8. The Site has an area of 46,543 square feet +/- as shown on the Plans.
9. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.
10. The Marlborough City Council, pursuant to Massachusetts General Laws Chapter 40A, opened a public hearing on the Application on Monday, December 6, 2021. The public hearing was held at the Marlborough City Hall, 140 Main Street. The hearing was closed on December 6, 2021.
11. The Applicant, through its representatives, presented testimony at the public hearing detailing the Use, describing its impact upon municipal services, the neighborhood, and traffic.
12. At the public hearing, no members of the public spoke in opposition to the Use.

## **BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING FINDINGS AND TAKES THE FOLLOWING ACTIONS**

- A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.
- B. The City Council finds that the proposed Use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.
- C. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby **GRANTS** the Applicant a Special Permit for a contractor's yard and a landscape contractor's yard at 101 Airport Boulevard (Unit 12) as shown on the Plans filed, **SUBJECT TO THE FOLLOWING CONDITIONS**, which conditions shall be binding on the Applicant, its successors and/or assigns:



# IN CITY COUNCIL

Marlborough, Mass., MARCH 14, 2022

ORDERED:

PAGE 3

1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts and shall be built according to the Plans as may be amended during Site Plan Review.
2. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review by the Site Plan Review Committee, in accordance with the City of Marlborough Site Plan Review Ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications, or amendments, as required during the process of Site Plan Review, shall be further conditions attached to the building permit, and a final certificate of occupancy shall not be issued until the Applicant has complied with all conditions, provided that the Site Plan Committee may authorize the phasing of site work depending upon weather conditions and other factors. Subsequent Site Plan Review shall be consistent with the conditions of this Special Permit and the Plans submitted, reviewed and approved by the City Council as the Special Permit Granting Authority.
3. Modification of Plans. Notwithstanding conditions #1 and #2 above, the City Council or the Site Plan Review Committee may approve engineering changes to the Plan's, so long as said changes do not change the Use as approved herein, or materially increase the impervious area of the Use, reduce the green area, alter traffic flow, or increase the size of the building, all as shown on the Plans.
4. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.
5. Storm Water and Erosion Control Management. The Applicant, its successors and/or assigns, shall ensure that its site superintendent during construction of the project is competent in stormwater and erosion control management. This individual(s)' credentials shall be acceptable to the Engineering Division of the City's Department of Public Works and the City's Conservation Commission. This individual(s) shall be responsible for checking the Site before, during, and after storm events including weekends and evenings when storms are predicted. This individual(s) shall ensure that no untreated stormwater leaves the Site consistent with the State's and the City's stormwater regulations. This individual(s) shall ensure compliance with the approved sequence of construction plan and the approved erosion control plan. The Applicant, its successors and/or assigns, shall grant this individual(s) complete authority of the Site as it relates to stormwater and erosion controls.



# IN CITY COUNCIL

Marlborough, Mass., MARCH 14, 2022

PAGE 4

## ORDERED:

6. Screening. In accordance with Section 650-18(A)(48) of the Zoning Ordinance, the Applicant shall install fencing, vegetated screening, or a combination of screening types, to screen areas of the Site used for the storage of vehicles, equipment, and materials from the street and adjacent properties, and shall maintain the fencing and plantings in good repair. Said screening shall comply with the requirements of all applicable City Ordinances.
7. Outdoor Storage Areas. In accordance with Section 650-18(A)(48) of the Zoning Ordinance, the outdoor storage of vehicles, equipment, and materials shall be located on impervious and otherwise dust-free surfaces. Materials shall be stored with sufficient protections to avoid damage to landscaped areas and to avoid interference with the proper functioning of stormwater infrastructure. Lawn areas shall be separated from adjacent parking/storage areas with curbing. Any storage of bark mulch at the Site shall be subject to fire safety conditions approved through the Site Plan Review process. The Site shall not be used to store grass clippings or similar landscaping debris that may generate odors.
8. Indoor Storage Areas. Building areas used to store vehicles, equipment, and materials indoors shall be equipped with floor drainage systems designed to prevent fuel, oil, and other hazardous materials from entering the stormwater or sewer systems, approved through the Site Plan Review process.
9. Vehicle Repairs and Maintenance. The Site may not be used for major repairs of vehicles and equipment, but minor maintenance of vehicles and equipment which are exclusively operated as part of the Use may be performed indoors only, subject to Condition 10.
10. Noise and Air Quality. The Applicant, its successors and/or assigns, shall comply with the City's Noise Ordinance, and shall comply with all state and federal requirements governing air quality and emissions.
11. Lighting. Exterior lighting at the Site shall be downward facing and shielded to minimize impacts on neighboring properties, with a lighting plan for the Site to be reviewed and further conditioned during the Site Plan Review process. Exterior lighting at the Site shall be shut off outside of operating hours, except for lighting necessary for security and emergency access.
12. Compliance with Applicable Laws. The Applicant, its successors and/or assigns agrees to comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of the Use.



## IN CITY COUNCIL

Marlborough, Mass., MARCH 14, 2022  
PAGE 5

### ORDERED:

13. Recording of Decision. In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council's office, the Building Department, and the City Solicitor's office.

**Yea: 10 – Nay: 0 – Abstain: 1**

**Yea: Wagner, Doucette, Dumais, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

**Abstain: Brown.**

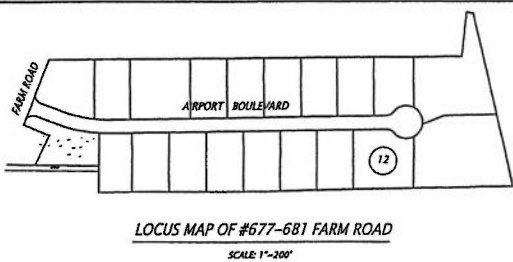
Signed by City Council President  
Michael H. Ossing

ADOPTED  
In City Council  
21/22-1008441E

ORDER NO. 21/22-1008441E

# ATTACHMENT

# A



**GENERAL NOTES:**

- EXISTING BOUNDARY LINES AND TOPOGRAPHY IS BASED UPON PLANS PREPARED BY CONTROL POINT ASSOCIATES, INC. DATES 1-1-2011 PLANS AND CO. PE PROVIDED BY OWNER. ELEVATIONS ARE BASED UPON MVD 1985 DATUM.
- THE PARCELS IS SHOWN ON ASSESSORS MAP 77, PARCELS 22 AND MAP 42, PARCELS 1481A.
- EXISTING UTILITY LINES SHOWN ON THE DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THE DESIGNER DOES NOT GUARANTEE THE ACCURACY OF ALL UTILITY LINES AND DEPTHS. CONTRACTOR SHALL VERIFY SIZE, LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT THE SALES 1-800-348-7252 (72 HOURS BEFORE WORKING) AND TOWN DEPT FOR UTILITY LOCATIONS PRIOR TO CONSTRUCTION. NOT ALL UTILITIES SHALL BE UTILIZED FOR UTILITY CONNECTIONS.

**CONSTRUCTION NOTES:**

- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY RECORDED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS OR THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) CONSTRUCTION STANDARDS AND THE MHD STANDARDS SPECIFICATIONS FOR HIGHWAYS AND BRIDGES; HOWEVER IS MORE STRINGENT.
- THE WATER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE TOWN OF MARLBOROUGH OFFICE DESIGN RULES AND REGULATIONS. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS TO BE OBTAINED BY THE CONTRACTOR. WHEN REQUIRED, HOISTING, PILING, LOCATION AND SIZE OF WATER SERVICES, FIRE DEPARTMENT STANDARD CONNECTIONS, AND SPINNER CONNECTIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- THE SEWER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE TOWN OF MARLBOROUGH OFFICE DESIGN RULES AND REGULATIONS. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS TO BE OBTAINED BY THE CONTRACTOR. WHEN REQUIRED, HOISTING, PILING, LOCATION AND SIZE OF WATER SERVICES, FIRE DEPARTMENT STANDARD CONNECTIONS, AND SPINNER CONNECTIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, TO KEEP ACCURATE AS-BUILT MEASUREMENTS / RECORDS OF ALL UNDERGROUND OR CONCEALED WORK.
- THE LAYOUT AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CABLE UTILITY CONNECTIONS AND SERVICES SHALL IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.
- THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTY AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
- A STREET OPENING PERMIT SHALL BE OBTAINED FROM THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK IN THE PUBLIC WAY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS.
- UTILITY CONSTRUCTION BY CITY WAIVES BACHELOR WITH CONTROLLED SKILLSET FILL.
- ALL CONSTRUCTION MATERIALS, STRUCTURES, STAMPS, ETC. ON SITE SHALL BE STORED IN A MANNER TO THE SATISFACTION OF THE CITY ENGINEER OR HIS DESIGNEE.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE OFFICE OF TRAFFIC OPERATIONS, FEDERAL HIGHWAY ADMINISTRATION, U.S. DEPARTMENT OF TRANSPORTATION.
- ALL RAMP, CURB CUTS, SIDEWALKS, AND ACCESSIBLE SPACES SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (2010 ADA CHAPTER 1-11.1).
- JOINTS BETWEEN PROPOSED INTERMEDIATE CONCRETE PAVEMENT AND EXISTING PAVEMENT TO REMAIN SHALL BE SAWCUT AND SEALED AND NOT FORMED BUSHED JOINTS AT ALL.

**COORDINATION WITH PLANS BY OTHERS:**

- SEPARATE PLANS PREPARED BY OTHERS FOR LANDSCAPE AND SIGNAGE.
- COORDINATE PROPOSED UTILITY LOCATIONS, SIZES, ELEVATIONS, AND MATERIALS WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- ANY CONFLICT BETWEEN THESE PLANS AND PLANS BY OTHERS SHALL BE REPORTED TO THE ENGINEER AND OWNER IMMEDIATELY.

**SYMBOLS & ABBREVIATIONS LEGEND**

- PROF. DRAIN LINE/UNAVAILABLE
- EXISTING SENIOR LINE/UNAVAILABLE
- EXISTING DRAIN LINE/UNAVAILABLE
- CURB BENCH
- FLARED END
- HEAD WALL
- HYDRANT
- GAS LINE/GATE
- WATER LINE/GATE
- TELEPHONE LINE/UNAVAILABLE
- ELECTRIC LINE/UNAVAILABLE
- ELECTRIC TRANSFORMER
- OVERHEAD WIRE
- FINISH GRADE CONTOUR
- UNION CONTOUR
- MAJOR CONTOUR
- UTILITY POLE
- SIOW
- CHAIN LINK FENCE
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- BRANNONS CONCRETE BERM
- MODIFIED CAPE COD BERM
- TRUCK LANE
- STEEL WALL
- RETAINING WALL
- BURIAL
- HIGH DENSITY POLYETHYLENE

**PARKING TABULATION:**

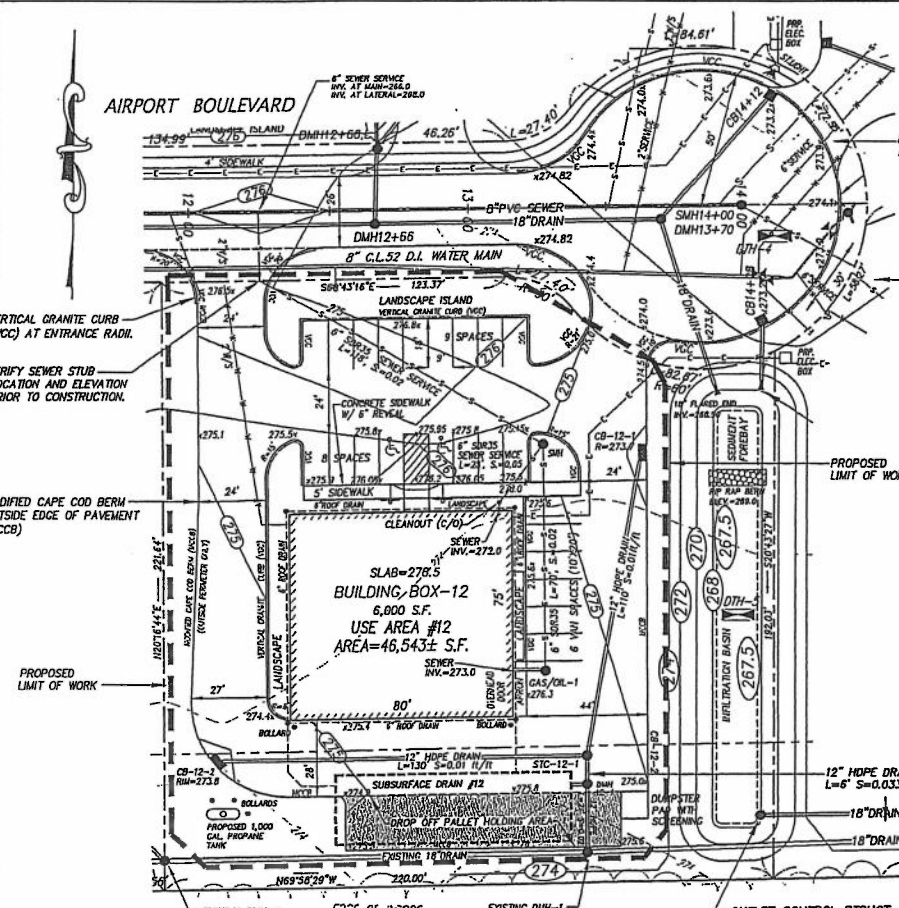
PARKING PROVIDED AT 3 SPACES PER 1,000 S.F. (MINIMUM)  
 REQUIRED PARKING = 4,600 S.F./1,000 S.F. x 3 = 13.8 SPACES  
 PROPOSED PARKING PROVIDED = 23 SPACES

**ZONING: LIMITED INDUSTRIAL "LI"**

LOT REQUIREMENTS	REQUIRED
AREA	2 ACRES
FRONTAGE	200 FEET
FRONT YARD	30 FEET
SIDE YARD	50 FEET
REAR YARD	50 FEET
BUILDING HEIGHT	W/W 0-150' OF RESIDENTIAL ZONE 30' W/W 151-250' OF RESIDENTIAL ZONE 30' W/W 251-300' OF RESIDENTIAL ZONE 40' W/W 401-500' OF RESIDENTIAL ZONE 35'

LOT COVERAGE ALLOWED = 60%  
 USE AREA #12 COVERAGE PROPOSED = 27,745 SF. = 58.8%

BS-1 (2-15-10)	FILL	BS-3 (2-15-10)	CRUSH SAND
12-12" CI	7% SAND	0-4" #8	100%#20
12-12" CI	2.5%#4	4-4" CI	7% SAND
12-12" CI	2.5%#4	4-4" CI	2.5%#4
12-12" CI	2.5%#4	4-4" CI	2.5%#4
12-12" CI	2.5%#4	4-4" CI	2.5%#4
NO WATER, NO BITUMES	NO REVEAL	NO WATER, NO BITUMES	NO REVEAL



**EXISTING DMH-2, (PROPOSED DESIGN INFO. RIM=275.0)**

18\"/>
18\"/>
18\"/>

**EXISTING DMH-1, RIM=274.5**

18\"/>
18\"/>
18\"/>

**DMH-2, DOUBLE CRATE RIM=275.0**

12\"/>
12\"/>
12\"/>

**DMH-1, DOUBLE CRATE RIM=274.5**

12\"/>
12\"/>
12\"/>

**DMH-1, DOUBLE CRATE RIM=274.5**

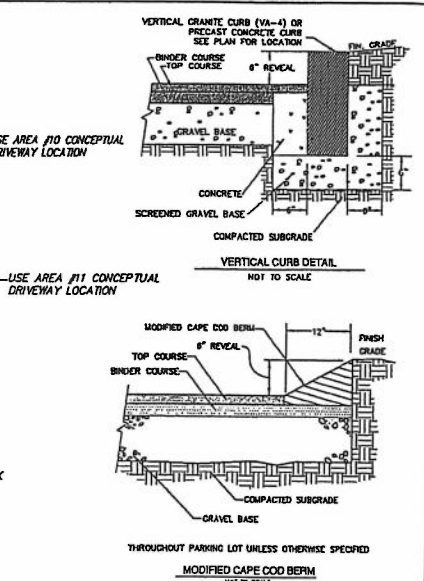
12\"/>
12\"/>
12\"/>

**SEWER TABULATION**

DMH	SIZE	LENGTH	INLET	OUTLET
DMH-1	18\"/>			
DMH-2	18\"/>			
DMH-3	18\"/>			

**DRAINAGE TABULATION**

DMH	SIZE	LENGTH	INLET	OUTLET
DMH-1	12\"/>			
DMH-2	12\"/>			
DMH-3	12\"/>			



THROUGHOUT PARKING LOT UNLESS OTHERWISE SPECIFIED  
 MODIFIED CAPE COD BERM  
 NOT TO SCALE



APPROVED  
 SITE PLAN REVIEW COMMITTEE  
 DATE:

GRAPHIC SCALE: 1"=20'  
 0 5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100 FEET  
 0 1 2 3 4 5 6 7 8 9 10 METERS

PREPARED FOR:  
 CAPITAL GROUP PROPERTIES  
 259 TURNPIKE ROAD, SUITE 100  
 SOUTHBOROUGH, MA

OWNER:  
 MARLBOROUGH INDUSTRIAL, LLC  
 259 TURNPIKE ROAD, SUITE 100  
 SOUTHBOROUGH, MA

MAP 77, PARCEL 22 & MAP 42, PARCELS 1481A

**CONNORSTONE ENGINEERING INC.**  
 CIVIL ENGINEERS AND LAND SURVEYORS  
 10 SOUTHWEST CUTOFF, SUITE 7  
 NORTHBOROUGH, MASSACHUSETTS 01532  
 PHONE 508-393-9727 FAX 508-393-5242

PROPOSED SITE PLAN  
 OF  
 USE AREA #12  
 101 AIRPORT BOULEVARD  
 IN  
 MARLBOROUGH, MA

NO.	DATE	REVISION
10-12-2017		PALETT HOLDING AREA
11-15-2019		SEWER REVISION, ADD MANHOLE
10-23-2020		DRAINAGE & UTILITY REVISION
1-24-2021		UTILITY ACCESS
2-11-2021		CHECK REVISION
2-24-2021		INCREASING COMMENTS

DATE: JANUARY 31, 2020  
 SCALE: 1"=20' SHEET 1 OF 3



**EROSION AND SEDIMENTATION CONTROL NOTES:**

1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
2. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH RECOMMENDATIONS AS CONTAINED IN THE SITE PLAN APPROVAL ORDINANCE.
3. PRIOR TO PERMITTING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND SHALL REMAIN IN PLACE UNTIL THE PROJECT IS COMPLETE.
4. THE PLAN SHOWS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL OBTAIN ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSARILY BY THE CONDITIONS OR AS DIRECTED BY THE OWNER, THE BOARD OF SUPERVISORS, OR THE CONSTRUCTION CONTRACTOR TO COMPLY WITH ALL LOCAL REQUIREMENTS AND CONTROL CONSTRUCTION IMPACTS TO PREVENT EXCESSIVE SEDIMENTATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL THE PROJECT IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY RESTORED. AT NO TIME SHALL THE CONTRACTOR BE RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
6. THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A DAILY BASIS AND IMMEDIATELY AFTER EACH RAINFALL EVENT. THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENTATION AND EROSION CONTROLS AS NECESSARILY BY THE CONDITIONS OR AS DIRECTED BY THE OWNER, THE BOARD OF SUPERVISORS, OR THE CONSTRUCTION CONTRACTOR TO COMPLY WITH ALL LOCAL REQUIREMENTS AND CONTROL CONSTRUCTION IMPACTS TO PREVENT EXCESSIVE SEDIMENTATION.
7. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERMANENT SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED. PERIODS SHALL BE INSTALLED AROUND STOCKPILES IN EXCESS OF 10 FEET IN HEIGHT.
8. DISTURBED AREAS SHALL BE STABILIZED BY SEEDING AND SOILING, OR BY OTHER APPROVED METHODS, AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN ESTABLISHED. SEEDING SHALL BE COMPLETED WITHIN 14 DAYS OF THE DATE OF THE FINISHED GRADE. SOILING SHALL BE COMPLETED WITHIN 30 DAYS OF THE DATE OF THE FINISHED GRADE.
9. RE-VEGETATION OPERATIONS, IF REQUIRED, SHALL BE COMPLETED WITHIN 14 DAYS OF THE DATE OF THE FINISHED GRADE. RE-VEGETATION SHALL BE COMPLETED WITHIN 30 DAYS OF THE DATE OF THE FINISHED GRADE.
10. STABILIZED AREAS SHALL BE MAINTAINED TO PREVENT EROSION. THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENTATION AND EROSION CONTROLS AS NECESSARILY BY THE CONDITIONS OR AS DIRECTED BY THE OWNER, THE BOARD OF SUPERVISORS, OR THE CONSTRUCTION CONTRACTOR TO COMPLY WITH ALL LOCAL REQUIREMENTS AND CONTROL CONSTRUCTION IMPACTS TO PREVENT EXCESSIVE SEDIMENTATION.
11. STREET CLOSING SHALL BE IN ACCORDANCE WITH THE CITY OF MARLBOROUGH ORDINANCES. THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENTATION AND EROSION CONTROLS AS NECESSARILY BY THE CONDITIONS OR AS DIRECTED BY THE OWNER, THE BOARD OF SUPERVISORS, OR THE CONSTRUCTION CONTRACTOR TO COMPLY WITH ALL LOCAL REQUIREMENTS AND CONTROL CONSTRUCTION IMPACTS TO PREVENT EXCESSIVE SEDIMENTATION.
12. ALL EXISTING AND PROPOSED MANHOLE SYSTEMS SHALL BE MAINTAINED AND PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENTATION AND EROSION CONTROLS AS NECESSARILY BY THE CONDITIONS OR AS DIRECTED BY THE OWNER, THE BOARD OF SUPERVISORS, OR THE CONSTRUCTION CONTRACTOR TO COMPLY WITH ALL LOCAL REQUIREMENTS AND CONTROL CONSTRUCTION IMPACTS TO PREVENT EXCESSIVE SEDIMENTATION.
13. ALL EXISTING AND PROPOSED MANHOLE SYSTEMS SHALL BE MAINTAINED AND PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENTATION AND EROSION CONTROLS AS NECESSARILY BY THE CONDITIONS OR AS DIRECTED BY THE OWNER, THE BOARD OF SUPERVISORS, OR THE CONSTRUCTION CONTRACTOR TO COMPLY WITH ALL LOCAL REQUIREMENTS AND CONTROL CONSTRUCTION IMPACTS TO PREVENT EXCESSIVE SEDIMENTATION.
14. ALL EXISTING AND PROPOSED MANHOLE SYSTEMS SHALL BE MAINTAINED AND PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENTATION AND EROSION CONTROLS AS NECESSARILY BY THE CONDITIONS OR AS DIRECTED BY THE OWNER, THE BOARD OF SUPERVISORS, OR THE CONSTRUCTION CONTRACTOR TO COMPLY WITH ALL LOCAL REQUIREMENTS AND CONTROL CONSTRUCTION IMPACTS TO PREVENT EXCESSIVE SEDIMENTATION.
15. EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY RESTORED. METHODS FOR SOIL STOCKPILES SHALL INCLUDE WATER SPRINKLING AND OTHER METHODS APPROVED BY THE OWNER.
16. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF THE DATE OF THE FINISHED GRADE. THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENTATION AND EROSION CONTROLS AS NECESSARILY BY THE CONDITIONS OR AS DIRECTED BY THE OWNER, THE BOARD OF SUPERVISORS, OR THE CONSTRUCTION CONTRACTOR TO COMPLY WITH ALL LOCAL REQUIREMENTS AND CONTROL CONSTRUCTION IMPACTS TO PREVENT EXCESSIVE SEDIMENTATION.
17. EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY RESTORED. METHODS FOR SOIL STOCKPILES SHALL INCLUDE WATER SPRINKLING AND OTHER METHODS APPROVED BY THE OWNER.
18. EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY RESTORED. METHODS FOR SOIL STOCKPILES SHALL INCLUDE WATER SPRINKLING AND OTHER METHODS APPROVED BY THE OWNER.

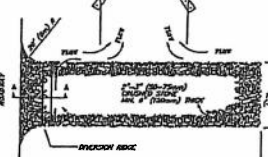


1. SILT SAND SHALL BE PLACED IN THE CATCH BASIN AND COMPACTED TO A MINIMUM OF 95% RELATIVE DENSITY.
2. THE SILT SAND SHALL BE PLACED IN THE CATCH BASIN AND COMPACTED TO A MINIMUM OF 95% RELATIVE DENSITY.
3. SILT SAND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY RESTORED.

**SILT SAND OR EQUAL, SEDIMENT CONTAINMENT SYSTEM**  
NOT TO SCALE

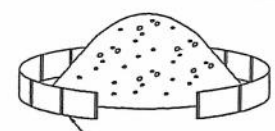


1. SILT SAND SHALL BE PLACED IN THE CATCH BASIN AND COMPACTED TO A MINIMUM OF 95% RELATIVE DENSITY.
2. THE SILT SAND SHALL BE PLACED IN THE CATCH BASIN AND COMPACTED TO A MINIMUM OF 95% RELATIVE DENSITY.
3. SILT SAND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY RESTORED.



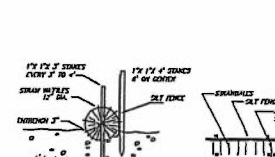
1. THE ENTRANCE SHALL BE MAINTAINED BY A CONSTRUCTION THAT WILL PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE ENTRANCE OR EXIT.
2. THE ENTRANCE SHALL BE MAINTAINED BY A CONSTRUCTION THAT WILL PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE ENTRANCE OR EXIT.
3. THE ENTRANCE SHALL BE MAINTAINED BY A CONSTRUCTION THAT WILL PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE ENTRANCE OR EXIT.
4. THE ENTRANCE SHALL BE MAINTAINED BY A CONSTRUCTION THAT WILL PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE ENTRANCE OR EXIT.

**TEMPORARY GRAVE CONSTRUCTION ENTRANCE/EXIT**  
NOT TO SCALE



1. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERMANENT SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED.
2. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERMANENT SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED.
3. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERMANENT SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED.
4. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERMANENT SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED.

**SOIL STOCKPILE DETAIL**  
NOT TO SCALE



1. STRAW BOLL INSTALLATION REQUIRES THE PLACEMENT AND SECURING STAPLING OF THE BOLL IN A MINIMUM 3" DEEP, RAINFALL MUST NOT BE ALLOWED TO RUN UNDER OR AROUND BOLL.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

**EROSION BARRIER**  
NOT TO SCALE

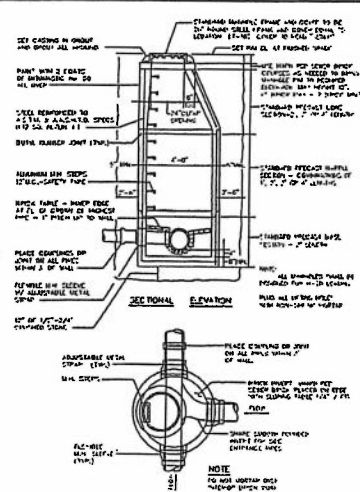
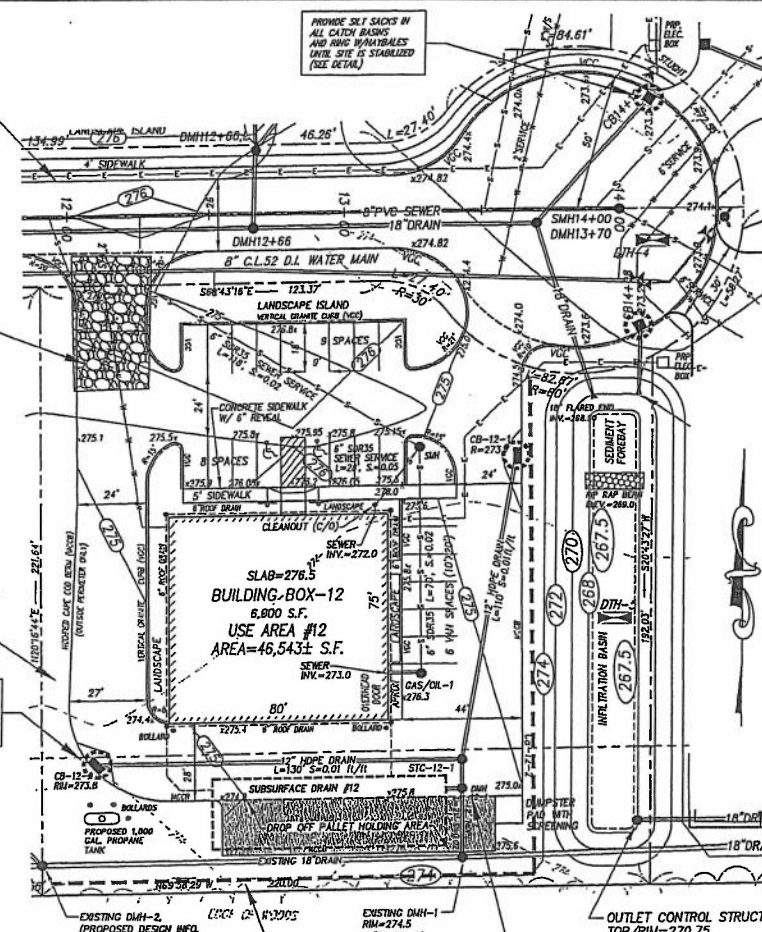
DISTURBED AREAS TO BE STABILIZED WITH LEAN & SEED UNTIL TIME OF USE AREA DEVELOPMENT (TYP.)

PROMISE SILT SACKS IN ALL CATCH BASINS AND RING WHARFABLES UNTIL SITE IS STABILIZED (SEE DETAIL)

PROMISE SILT SACKS IN ALL CATCH BASINS AND RING WHARFABLES UNTIL SITE IS STABILIZED (SEE DETAIL)

PROMISE SILT SACKS IN ALL CATCH BASINS AND RING WHARFABLES UNTIL SITE IS STABILIZED (SEE DETAIL)

PROMISE SILT SACKS IN ALL CATCH BASINS AND RING WHARFABLES UNTIL SITE IS STABILIZED (SEE DETAIL)



**TYPICAL PRECAST CONCRETE MANHOLE DETAIL**  
NOT TO SCALE

PREPARED FOR:  
CAPITAL GROUP PROPERTIES  
259 TURNPIKE ROAD, SUITE 100  
SOUTHBOROUGH, MA

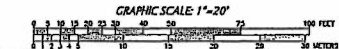
OWNER:  
MARLBOROUGH INDUSTRIAL, LLC  
259 TURNPIKE ROAD, SUITE 100  
SOUTHBOROUGH, MA

CONORSTONE  
ENGINEERING INC.  
CIVIL ENGINEERS AND LAND SURVEYORS  
10 SOUTHWEST CUTOFF, SUITE 7  
NORTHBOROUGH, MASSACHUSETTS 01532  
PHONE: 508-393-9727 FAX: 508-393-5242

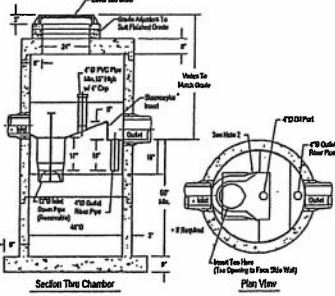
EROSION CONTROL PLAN  
OF  
USE AREA #12  
IN  
MARLBOROUGH, MA

DATE	DESCRIPTION
10-12-2021	PERMIT HOLDING AREA
11-18-2020	SEWER REVISION AND MANHOLE
10-28-2020	DRAINAGE & UTILITY REVISIONS
3-28-2020	UTILITY REVISIONS
3-11-2020	CIVIL REVISION
3-4-2020	ENGINEERING COMMENTS

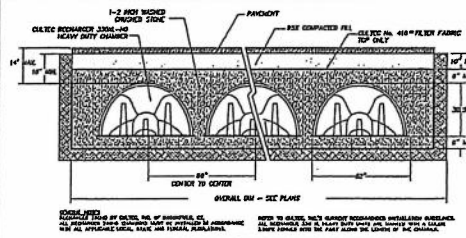
DESIGNED BY: BEN  
CHECKED BY: VC  
DATE: JANUARY 31, 2020  
SCALE: 1" = 20'  
SHEET 2 OF 3



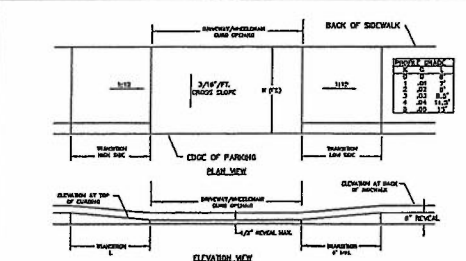
**STC 450L Precast Concrete Stormceptor**  
(450 U.S. Gallon Capacity)



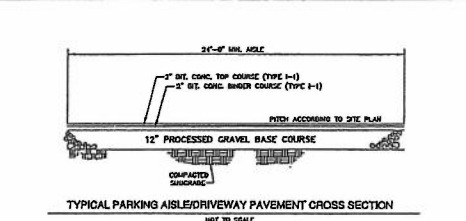
- NOTES:**
1. The Use Of Plastic Connections Is Recommended At The Inlet and Outlet Where Applicable.
  2. The Cover Shall Be Installed Over The Inlet Only Pipe and The Out Pipe.
  3. The Stormceptor System Is Produced By One of the Following U.S. Patents: #2381448, #3484011, #5725760, #5755165, #5248184, #6067654, #6077490.
  4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.



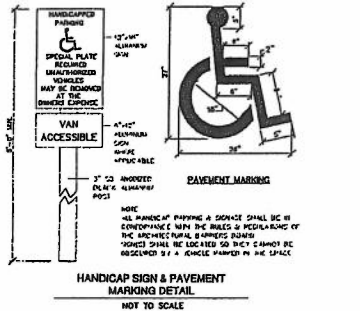
**CULTEC RECHARGER 330 XLHD CHAMBER SYSTEM**  
PAVED TRAFFIC APPLICATION  
TYPICAL CROSS SECTION DETAIL



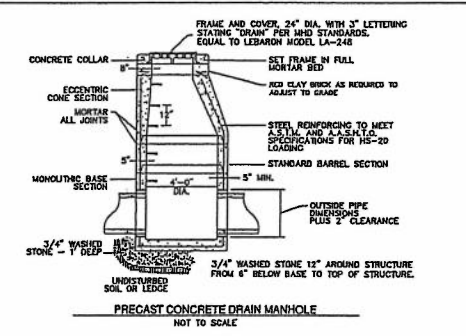
**DRIVEWAY/WHEELCHAIR CURB OPENINGS**  
NOT TO SCALE



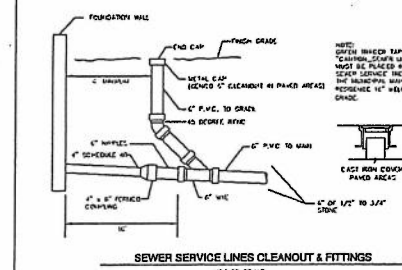
**TYPICAL PARKING AISLE/DRIVEWAY PAVEMENT CROSS SECTION**  
NOT TO SCALE



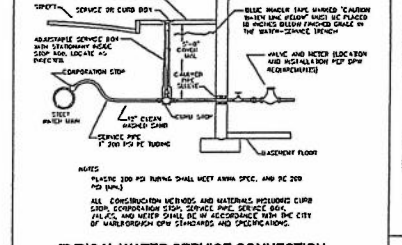
**HANDICAP SIGN & PAVEMENT MARKING DETAIL**  
NOT TO SCALE



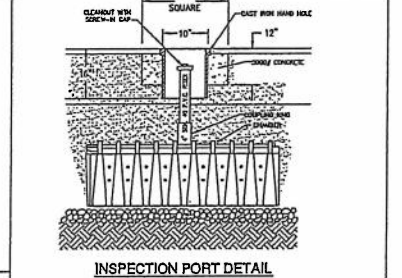
**PRECAST CONCRETE DOUBLE GRATE CATCH BASIN**  
W/RT GRANITE CURB TRAY  
NOT TO SCALE



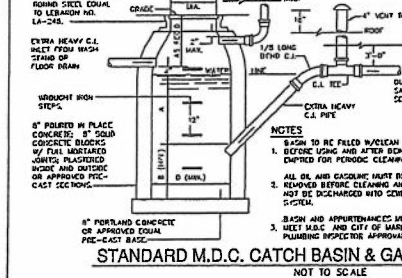
**SEWER SERVICE LINES CLEANOUT & FITTINGS**  
NOT TO SCALE



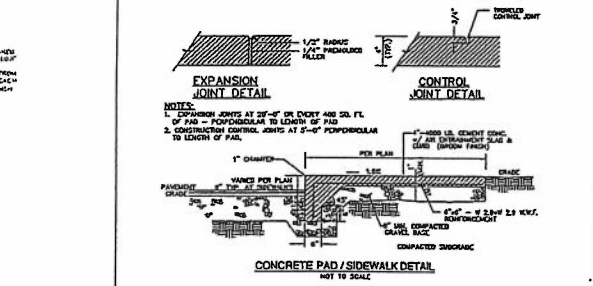
**TYPICAL WATER SERVICE CONNECTION**  
NOT TO SCALE



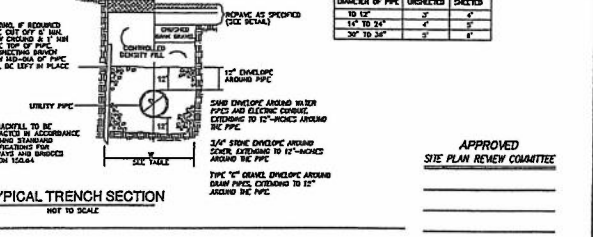
**INSPECTION PORT DETAIL**  
NOT TO SCALE



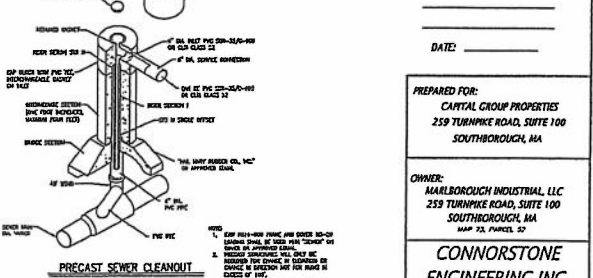
**STANDARD M.D.C. CATCH BASIN & GASOLINE TRAP DETAILS**  
NOT TO SCALE



**EXPANSION JOINT DETAIL**  
**CONTROL JOINT DETAIL**



**TYPICAL TRENCH SECTION**  
NOT TO SCALE



**PRECAST SEWER CLEANOUT**  
NOT TO SCALE

INLET 1	0	A	B
4"	3'-0"	3'-0"	3'-0"
6"	3'-0"	3'-0"	3'-0"
8"	3'-0"	3'-0"	3'-0"
10"	3'-0"	3'-0"	3'-0"
12"	3'-0"	3'-0"	3'-0"
14"	3'-0"	3'-0"	3'-0"
16"	3'-0"	3'-0"	3'-0"
18"	3'-0"	3'-0"	3'-0"
20"	3'-0"	3'-0"	3'-0"
24"	3'-0"	3'-0"	3'-0"
30"	3'-0"	3'-0"	3'-0"
36"	3'-0"	3'-0"	3'-0"
42"	3'-0"	3'-0"	3'-0"
48"	3'-0"	3'-0"	3'-0"
54"	3'-0"	3'-0"	3'-0"
60"	3'-0"	3'-0"	3'-0"

NOTE: FOR BATCH LARGER THAN 48" THE BATCH AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE. CIRCULAR BINS ARE RECOMMENDED.

**APPROVED**  
**SITE PLAN REVIEW CHECKLIST**

DATE: \_\_\_\_\_

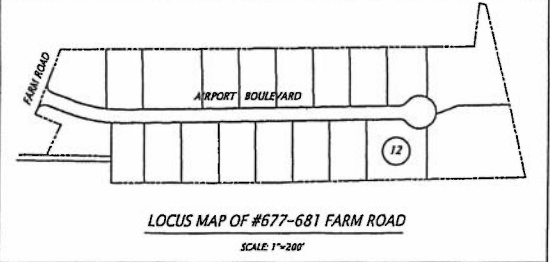
PREPARED FOR:  
CAPITAL GROUP PROPERTIES  
259 TURNPIKE ROAD, SUITE 100  
SOUTHBOROUGH, MA

OWNER:  
MARLBOROUGH INDUSTRIAL, LLC  
259 TURNPIKE ROAD, SUITE 100  
SOUTHBOROUGH, MA  
MAP 23, PARCEL 52

**CONNORSTONE**  
**ENGINEERING INC.**  
CIVIL ENGINEERS AND LAND SURVEYORS  
10 SOUTHWEST CUTTOPS, SUITE 7  
NORTHBOROUGH, MASSACHUSETTS 01532  
PHONE: 508-393-9777 FAX: 508-393-5242

**PROPOSED SITE PLAN**  
OF  
USE AREA #12  
101 AIRPORT BOULEVARD  
IN  
MARLBOROUGH, MA

DATE	DESCRIPTION
10-12-2021	PAVEMENT HOLDING AREA
11-18-2021	SEWER REVISION, ADD MANHOLE
10-29-2021	DEBRIS & UTILITY REVISIONS
5-23-2020	UTILITY REVISIONS
3-11-2019	CLUB REVISION
1-4-2019	ENGINEERING CONSULTANT
REVISION:	DESCRIPTION:
DRAWN BY: AM	CHECKED BY: VC
DATE: JANUARY 31, 2020	
SCALE: NONE SHEET 3 OF 3.	



**GRAPHIC LEGEND**

	PROTECTIVE PLANTING TO REMAIN, TYP.
	DECIDUOUS SHADE TREES
	ORNAMENTAL & FLOWERING TREES
	EVERGREEN SHRUBS
	DECIDUOUS SHRUBS
	PERENNIALS / GRASSES
	SEEDED LAWN
	DRY ISLAND WETLAND (WETLAND SEED MIX)
	HIGH WETLAND BORDER

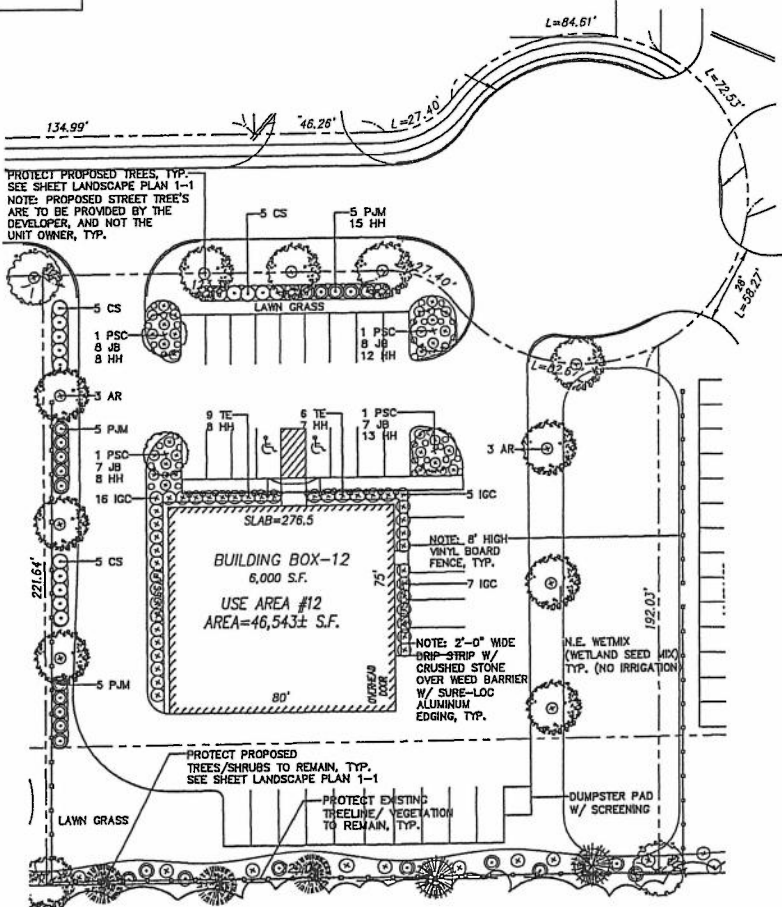
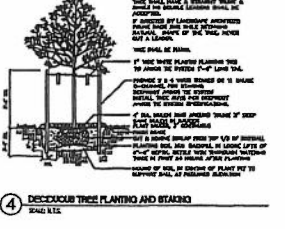
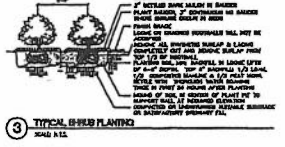
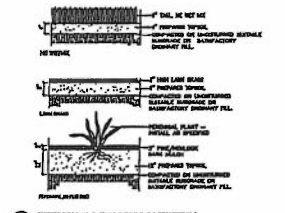
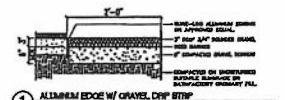
**LOT 12 PLANT MATERIAL LIST - 677-681 FARM ROAD, MARLBOROUGH, MA.**

SPAL.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>DECIDUOUS AND ORNAMENTAL TREES</b>						
01	1	KOHLER STRONG	RED MAPLE	1 1/2" DBH	Ball	10' HIGH BRONZE
02	1	FRAXINUS VERNIX	WHITE BIRCH	1 1/2" DBH	Ball	10' HIGH BRONZE
03	2	KOHLER STRONG	RED MAPLE	1 1/2" DBH	Ball	10' HIGH BRONZE
04	2	FRAXINUS VERNIX	WHITE BIRCH	1 1/2" DBH	Ball	10' HIGH BRONZE
05	2	KOHLER STRONG	RED MAPLE	1 1/2" DBH	Ball	10' HIGH BRONZE
06	2	FRAXINUS VERNIX	WHITE BIRCH	1 1/2" DBH	Ball	10' HIGH BRONZE
07	1	KOHLER STRONG	RED MAPLE	1 1/2" DBH	Ball	10' HIGH BRONZE
08	1	FRAXINUS VERNIX	WHITE BIRCH	1 1/2" DBH	Ball	10' HIGH BRONZE
09	1	KOHLER STRONG	RED MAPLE	1 1/2" DBH	Ball	10' HIGH BRONZE
10	1	FRAXINUS VERNIX	WHITE BIRCH	1 1/2" DBH	Ball	10' HIGH BRONZE
<b>PERENNIALS</b>						
11	1	HOBBOBLER	SPRING BELLFLOWER	1 1/2" DBH	Ball	10' HIGH BRONZE
12	1	HOBBOBLER	SPRING BELLFLOWER	1 1/2" DBH	Ball	10' HIGH BRONZE

- GENERAL NOTES:**
- CONTRACTOR SHALL VERIFY ALL SITE NOTES PRIOR TO BEGINNING WORK. CONDITIONS FOR INCREASED CONTRACTOR TO MAINTAIN PROPER RECORDS AND TO BE KEPT UP TO DATE.
  - CONTRACTOR SHALL NOTIFY / COORDINATE WITH THE CITY OF MARLBOROUGH.
  - PRIOR TO THE PRE-CONSTRUCTION MEETING THE CONTRACTOR SHALL VERIFY THE CITY OF MARLBOROUGH.
  - ALL CONTRACTORS SHALL NOTIFY SITE PRIOR TO ANY EXISTING CONDITIONS FOR INCREASED.
  - CONTRACTOR SHALL NOTIFY ALL PLANT MATERIAL IN DRAWINGS SUFFICIENT TO COMPLETE THE PLANTING WORK ON THE DRAWINGS, SEE SPECIFICATIONS.
  - ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS ESTABLISHED BY THE AMERICAN HEDDING ASSOCIATION OF THE AMERICAN ASSOCIATION OF LANDSCAPE ARCHITECTS (AASL) - CURRENT EDITION.
  - ALL PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
  - THE LOCATION OF ALL PROPOSED PLANT MATERIAL FOR APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF PLANTING.
  - THE LANDSCAPE ARCHITECT SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.
  - ALL CONSTRUCTION SHALL BE MAINTAINED WITH LAWN OR SOIL AS INDICATED BY DRAWINGS AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT.
  - "SOIL ROOTS" SHALL BE ADDED TO ALL NEW TREE PLANTING PITS. ALL NEW LAWN SHALL BE TENDED AND MAINTAINED AS STATED IN THE LAWN REPORT, PROVIDED BY LAWN SERVICE.
  - LANDSCAPE CONTRACTOR SHALL SUBMIT A MAINTENANCE SCHEDULE PROGRAM FOR THE (30) DAY MAINTENANCE PERIOD FOR REVIEW BY THE LANDSCAPE ARCHITECT & TO BE OBSERVED FOR ALL PROPOSED PLANT MATERIAL.
  - PROTECT EXISTING PLANT MATERIAL WITHIN CONSTRUCTION LIMITS. PROVIDE MAINTENANCE PROGRAM FOR ALL PROPOSED / EXISTING PLANT MATERIAL DURING CONSTRUCTION.
  - ALL TRANSPORTED PLANT MATERIAL IS CHECKED BY THE CONTRACTOR AND SHALL BE PREPARED FOR TRANSPORTATION FOR EACH SPECIES AT THE APPROPRIATE SEASON. THE CONTRACTOR SHALL REPLACE ANY TRANSPORTED PLANT MATERIAL THAT DIES WITH THE SAME SPECIES AND SPECIES OF PLANT MATERIAL. THE NEW PLANT MATERIAL SHALL BE MAINTAINED & GUARANTEED AS NEW PLANT MATERIAL.

**LANDSCAPE NOTES:**

- LOAN DEPTHS SHALL BE AS FOLLOWS:
- LAWN AREAS - 8" ROLLS TRENCHES
  - LANDSCAPE
  - LANDSCAPE/UTILITY METERS FOR RAIN/WATER
  - ENHANCED PERENNIALS, PERENNIALS
  - ORCHIDS, PERENNIALS, PERENNIALS
  - ORCHIDS, PERENNIALS, PERENNIALS
  - PLANT BENCH - 1" LOAN DEPTH IN THE PLANTED AREA WITH 6" BENCH
  - ISOLATED PLANTED ISLANDS - 1" - 6" LOAN DEPTH
  - NEW ISLAND WETLAND (WETLAND SEED MIX) 8" ROLLS TRENCHES, 18"
- Wetland/Vegetation (Wetland Seed Mix)**
- | Common Name | Latin Name | Quantity |
|-------------|------------|----------|
| Common Name | Latin Name | Quantity |
| Common Name | Latin Name | Quantity |
| Common Name | Latin Name | Quantity |
| Common Name | Latin Name | Quantity |
| Common Name | Latin Name | Quantity |
| Common Name | Latin Name | Quantity |
| Common Name | Latin Name | Quantity |
| Common Name | Latin Name | Quantity |
| Common Name | Latin Name | Quantity |
| Common Name | Latin Name | Quantity |



GRAPHIC SCALE: 1"=20'

0 10 20 30 40 50 60 70 80 90 100 FEET

0 10 20 30 40 50 METERS

APPROVED CITY COUNCIL

DATE: \_\_\_\_\_

APPROVED SITE PLAN REVIEW COMMITTEE

DATE: \_\_\_\_\_

WILLIAM PLENDER ASSOCIATES  
LANDSCAPE ARCHITECTS

PREPARED FOR:  
CAPITAL GROUP PROPERTIES  
259 TURNPIKE ROAD, SUITE 100  
SOUTHBOROUGH, MA

OWNER:  
MARLBOROUGH INDUSTRIAL, LLC  
259 TURNPIKE ROAD, SUITE 100  
SOUTHBOROUGH, MA  
MAP 73, PARCELS 32 & 33 & 34 & 35 & 36 PARCELS 141&15

**CONNORSTONE ENGINEERING INC.**  
CIVIL ENGINEERS AND LAND SURVEYORS  
10 SOUTHWEST CUTOFF, SUITE 7  
NORTHBOROUGH, MASSACHUSETTS 01552  
PHONE: 508-393-9727 FAX: 508-393-5242

PROPOSED LANDSCAPE PLAN OF USE AREA #12 IN MARLBOROUGH, MA

1-16-12-21 REVISION FOR TOWN REVIEW  
DRAWN BY: WFF CHECK BY: WFF  
DATE: JANUARY 31, 2020  
SCALE: 1"=20' SHEET 1 OF 1