



IN CITY COUNCIL

Marlborough, Mass., FEBRUARY 25, 2019

PAGE 1

ORDERED:

DECISION ON AN APPLICATION FOR SPECIAL PERMIT

MARLBOROUGH TOTG, LLC
57 Main Street, Marlborough, MA

CITY OF MARLBOROUGH
CITY COUNCIL ORDER No. 18/19-1007424E

The City Council of the City of Marlborough hereby **GRANTS** the Application for Special Permit of Applicant (the "Application"), as provided in the Decision and **SUBJECT TO THE FOLLOWING FINDINGS OF FACT AND CONDITIONS:**

EVIDENCE

1. The Applicant is Marlborough TOTG, LLC ("TOTG"), a duly organized and existing Massachusetts Limited Liability Corporation with a principal mailing address of 206 Ayer Road, Suite 5, Harvard, MA 01451 (the "Applicant"). Mark C. O'Hagan is the manager of the Applicant.
2. The location of the proposed project is 57 Main Street, Marlborough, MA and more particularly identified on the City of Marlborough Assessor's Map 70 on Parcels 291, 293, 294, and furthermore particularly described in deeds recorded with the Middlesex South District Registry of Deeds, Book 14539, Page 250; Book 14548, Page 518; and Book 28065, Page 95 (the "Site").
3. The owners of the Site are John P. Rowe Funeral Home, Inc. (as to Parcels 291 and 294); and John P. Rowe, Jr. and J. Peter Rowe, as tenants in common (as to Parcel 293).
4. The commercial structure currently housing a funeral home on the Site was constructed in approximately 1850. The Site is located within the Marlborough Village (MV) zoning district.



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5. The Applicant proposes to construct a mixed use project with a total of approximately 86,600 square feet within a 5-story building, which will include approximately 11,000 square feet of commercial space (office and restaurant) on the ground floor, 55 residential housing units on floors 2 through 5, and 83 parking spaces in the basement and at ground level (the "Project"). The Project is in general accordance with the requirements of the MV zoning district in chapter 650-34 of the Marlborough Zoning Ordinance; however, the proposed lot coverage for the Site is 84% as compared to the maximum of 80% as set forth in Chapter 650-41 of the Zoning Ordinance. The incremental increase in lot coverage is attributable to the proposed widening of Exchange Street, a proposed exterior patio for commercial use, and associated access ramps required by the Americans with Disabilities Act. The incremental increase in lot coverage requires a special permit from the City Council, pursuant to footnote 13 to the table in Chapter 650-41.
6. At present, Exchange Street is approximately nineteen feet wide near its intersection with Main Street. The City Engineer expressed concerns that the roadway could not safely accommodate the increase in traffic that the Project will generate. As there is no room within the right-of-way limits to widen the street, the Applicant has agreed to grant, on the Site, a permanent easement to the City of Marlborough for the purpose of widening the street. An Easement Plan has been drafted and submitted to the DPW Engineering Division for review. The Site Plans show that, with the proposed widening, Exchange Street would be a consistent twenty-three feet wide from Main Street to High Street. The encroachment of the street pavement onto the Site contributes to the increase in lot coverage for which the Special Permit is sought. The Applicant has also agreed to make other improvements to Exchange Street, both at its intersection with Main Street where the concrete apron will be removed and the wheelchair ramps will be replaced, as well as at its intersection with High Street where the radius of the rounding will be increased.
7. West of the Site and adjacent thereto lies Union Common. Although this area is owned by the First Church of Marlborough (Congregational), it is an important City landmark and many City-sponsored events are hosted on the Common. The Applicant has worked with City staff to review and limit necessary tree clearing and has agreed to upgrade the fencing separating the two properties. The Applicant has executed a Memorandum of Understanding with the First Church for the fence updates, and is working with the First Church to secure a recordable agreement. Said agreement will be provided to the Marlborough City Council upon execution and recordation.



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ORDERED:

8. The Applicant has complied with all the Rules and Regulations promulgated by the Marlborough City Council as they pertain to the Application for permission to increase lot coverage at the proposed mixed use building by 4% above the 80% maximum set forth in Chapter 650-41 of the Marlborough Zoning Ordinance. Specifically, the Application filed on October 2, 2018 with the City Clerk's office consisted of an original and two copies of the following: (a) Application to the City Council for Issuance of Special Permit; (b) Special Permit-Summary Impact Statement; (c) filing fee check; (d) plan delivery certification; (e) tax payment certification; (f) abutters list; (g) the proposed site plans and architectural plans, further described hereinbelow; and (h) the certification of the Building Commissioner on behalf of the Planning Director as to the Application's having complied with the provisions of Section 650-59C(7) (a), (b) and (c) of the City's Zoning Ordinance.
9. A public hearing was held on December 3, 2018, in compliance with the requirements of the City's Zoning Ordinance and the provisions of MGL Chapter 40A, as amended. All necessary abutters were provided notice as required by law, as certified by the Marlborough Assessors office. The time for the City Council to take final action on the Application is March 3, 2019.
10. The Applicant presented oral testimony and demonstrative evidence at the public hearing and represented that the proposed increase in lot coverage meets all applicable special permit criteria provided by MGL Chapter 40A, as amended, and the City's Zoning Ordinance.
11. The site plans submitted with the Application are entitled, "Tavern on the Green, 57 Main Street, Marlborough, MA Site Plan;" owner: John P. Rowe Funeral Home, Inc., 57 Main Street, Marlborough, MA 01752; applicant: Mark O'Hagan, MCO & Associates, Inc., 206 Ayer Road – Suite 5, Harvard, MA 01451; prepared by: Bruce Saluk & Assoc., Inc., Civil Engineering & Land Surveying, 576 Boston Post Road East, Marlborough, MA 01752; last revised: February 4, 2019; scale: 1" = 60' (7 sheets plus cover sheet) (the "Site Plans"), attached hereto as "Attachment A."
12. The architectural plans submitted with the Application are entitled "57 MAIN STREET - Marlborough;" Architect: Reeves Design Associates; last revised: February 4, 2019 (6 sheets plus cover sheet) (the "Architectural Plans"), attached hereto as "Attachment B."



IN CITY COUNCIL

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ORDERED:

BASED ON THE ABOVE EVIDENCE, THE MARLBOROUGH CITY COUNCIL MAKES THE FOLLOWING FINDINGS OF FACT AND TAKES THE FOLLOWING ACTIONS:

- A. The City Council finds that it may grant a special permit (“Special Permit”) subject to such terms and conditions as it deems necessary and reasonable to protect the citizens of the City of Marlborough (also referenced herein as the “City”).
- B. The City Council finds the Application for the Special Permit does not derogate from the intent or purpose of the Zoning Ordinance of the City of Marlborough, or MGL c. 40A.
- C. The City Council finds the coverage area being utilized beyond the 80% represents an appropriate use and is in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough.
- D. In particular, the proposed coverage increase is necessary and appropriate for site access and traffic improvements, and works towards enhancing the goals of the MV zoning district.
- E. The Applicant has complied with all the procedural rules and regulations of the City Council of the City of Marlborough and Chapter 650 (Zoning Code) of the City of Marlborough and MGL c. 40A, §§ 9 and 11.

GRANT OF SPECIAL PERMIT WITH CONDITIONS

The City Council, pursuant to its authority under MGL Chapter 40A and the City of Marlborough Zoning Ordinance, Chapter 650, **GRANTS** the Applicant a Special Permit, **SUBJECT TO THE FOLLOWING CONDITIONS**, which shall pertain to Applicant, its successors and assigns:



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ORDERED:

1. Since the Project exceeds 10,000 square feet, the City Council, acting pursuant to Chapter 650-34.B(3) of the Zoning Ordinance, conditions its approval of the Special Permit on its site plan review of the Project, as delegated in part to the Site Plan Review Committee for administrative site plan review under Chapter 270 of the City Code. Conditions imposed by administrative site plan review, as approved by the City Council, shall be conditions of this Special Permit, and any violations of those conditions shall be violations of this Special Permit. The Site Plans may be subject to modification by the City Council to the extent allowed by the Code of the City of Marlborough; and insofar as so modified, would be subject to further administrative site plan review. Other conditions and limitations may be imposed at the time of the final site plan approval by the City Council which are not inconsistent with any term or condition included in this Special Permit, and any violations of those conditions and limitations shall be violations of this Special Permit.
2. All plans, floor plans, photos, renderings, site evaluations, studies, reports, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.
3. Construction of the proposed building and related site improvements is to be done in accordance with all applicable codes in effect in the City of Marlborough as of the time when the building permit application is submitted to the Building Commissioner. The Applicant shall comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of the Project.
4. All work performed at the Site shall be in compliance with this Special Permit decision, including but not limited to the Site Plans and the Architectural Plans.
5. The Special Permit is conditioned on the Applicant's signing a permanent easement, in a form satisfactory to the City Solicitor's office, granting the City the right to use the Site to widen and, as widened, to maintain and repair, the roadway of Exchange Street, said easement being subject to eventual acceptance by the City Council.



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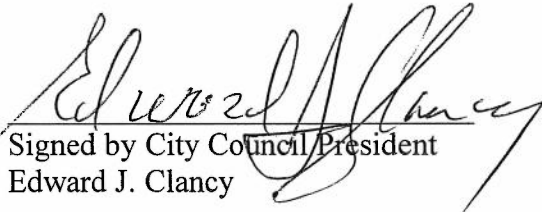
ORDERED:

6. In accordance with the provisions of MGL c. 40A, § 11, the Applicant at its expense shall record this Special Permit in the Middlesex South District Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant shall apply to the Building Commissioner for a building permit. The Applicant shall provide a copy of the recorded Special Permit to the City Council's office, to the Building Department, and to the City Solicitor's office.

Yea: 10 – Nay: 0 – Abstain: 1

Yea: Delano, Doucette, Tunnera, Irish, Clancy, Landers, Juairé, Oram, Ossing & Robey.

Abstain: Dumais


Signed by City Council President
Edward J. Clancy

ADOPTED
In City Council
18/19-1007424E
X 18/19-1007425C

ATTACHMENT A

TAVERN ON THE GREEN

57 MAIN STREET MARLBOROUGH, MA

SITE PLAN

MARLBOROUGH, MA ZONING CHART		
THE LAND SHOWN IS LISTED AS ASSESSOR LOTS 291, 293 & 294 ON MAP 70 AND IS LOCATED IN THE MARLBOROUGH VILLAGE DISTRICT (DVD), AND IS NOT LOCATED IN A FEMA SPECIAL FLOOD HAZARD ACCORDING TO FEMA F.I.R.M. MAP #2501700479F, DATED JULY 7, 2014.		
ITEM	REQUIRED	PROPOSED
LOT AREA (MIN.)	5000 SF	38,505 SF
FRONTAGE	50 FT	123.91FT
MAIN ST SETBACK	0 FT	0 FT
HIGH & EXCHANGE ST SETBACKS	10 FT	10.5 FT & 11.1 FT
SIDE SETBACK	0 FT	5.0 FT
COVERAGE	80% MAX	84% *1
BUILDING HEIGHT	70 FT (MAX)	5 STORIES @ 58 FT
LOT DISTANCE FROM A RESIDENTIAL DISTRICT	-----	12.5' FROM ZONE 'RB'
TOTAL OPEN SPACE	5500 SF	8,241 SF *2

PARKING SCHEDULE		
ITEM	SOUGHT	PROPOSED
COMPACT PARKING (8' x 16')	33% MAX	12 (14%)
STANDARD PARKING (9' x 18')	67	67
HANDICAP PARKING	4	4
TOTAL PARKING	83	83

FOOTNOTE:

*1- SPECIAL PERMIT SOUGHT FOR AN INCREASE IN COVERAGE UNDER SEC. 650-41.

*2- WAIVER TO SECTION 650-34 H(4) HAS BEEN REQUESTED TO ALLOW FOR OPEN SPACE REQUIREMENT TO BE MET WITH UNIT BALCONIES AND COMMON SPACE LOCATED ABOVE THE GROUND LEVEL.



OWNER: JOHN P. ROWE FUNERAL HOME, INC.
57 MAIN STREET
MARLBOROUGH, MA 01752

APPLICANT: MARK O'HAGAN
MCO & ASSOCIATES, INC.
206 AYER ROAD - SUITE 5
HARVARD, MA 01451
TEL: 978-456-8388

ARCHITECT: REEVES DESIGN ASSOCIATES, INC.
79 HIGHLAND STREET
MARLBOROUGH, MA 01752
TEL: 508-460-0144

ENGINEER & SURVEYOR: BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752
TEL: 508-485-1662
FAX: 508-481-9929

SHEET INDEX

	DATE	REV. DATE
EX: EXISTING CONDITIONS PLAN -----	2-3-18	11-19-18
C1: LAYOUT PLAN -----	6-14-18	2-4-19
C2: GRADING & EROSION CONTROL -----	6-14-18	2-4-19
C3: DRAINAGE & UTILITIES PLAN -----	6-14-18	2-4-19
C4: PLANTING PLAN -----	6-14-18	2-4-19
C5: DETAILS -----	6-14-18	7-10-18
C6: DETAILS -----	6-14-18	11-29-18

CITY COUNCIL SPECIAL PERMIT # _____

PLANS LISTED ON THIS SHEET WITH REVISION DATES AS SHOWN

APPROVED:

CITY COUNCIL: _____ DATE: _____

SITE PLAN APPROVAL # _____

PLANS LISTED ON THIS SHEET WITH REVISION DATES AS SHOWN

APPROVED:

ENGINEERING: _____ DATE: _____

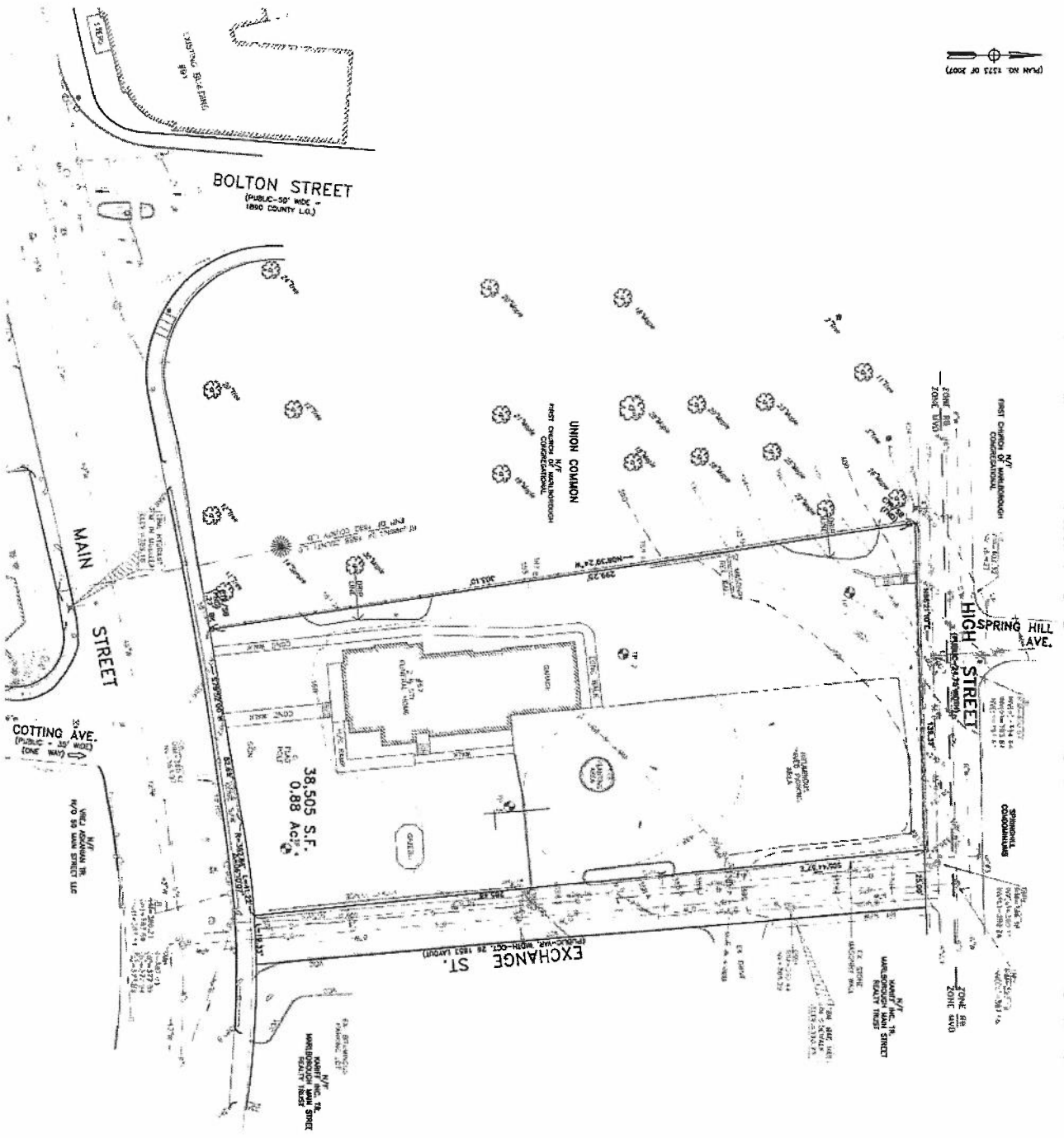
BUILDING: _____ DATE: _____

CONSERVATION: _____ DATE: _____

FIRE DEPT.: _____ DATE: _____

POLICE DEPT.: _____ DATE: _____

BOARD OF HEALTH: _____ DATE: _____

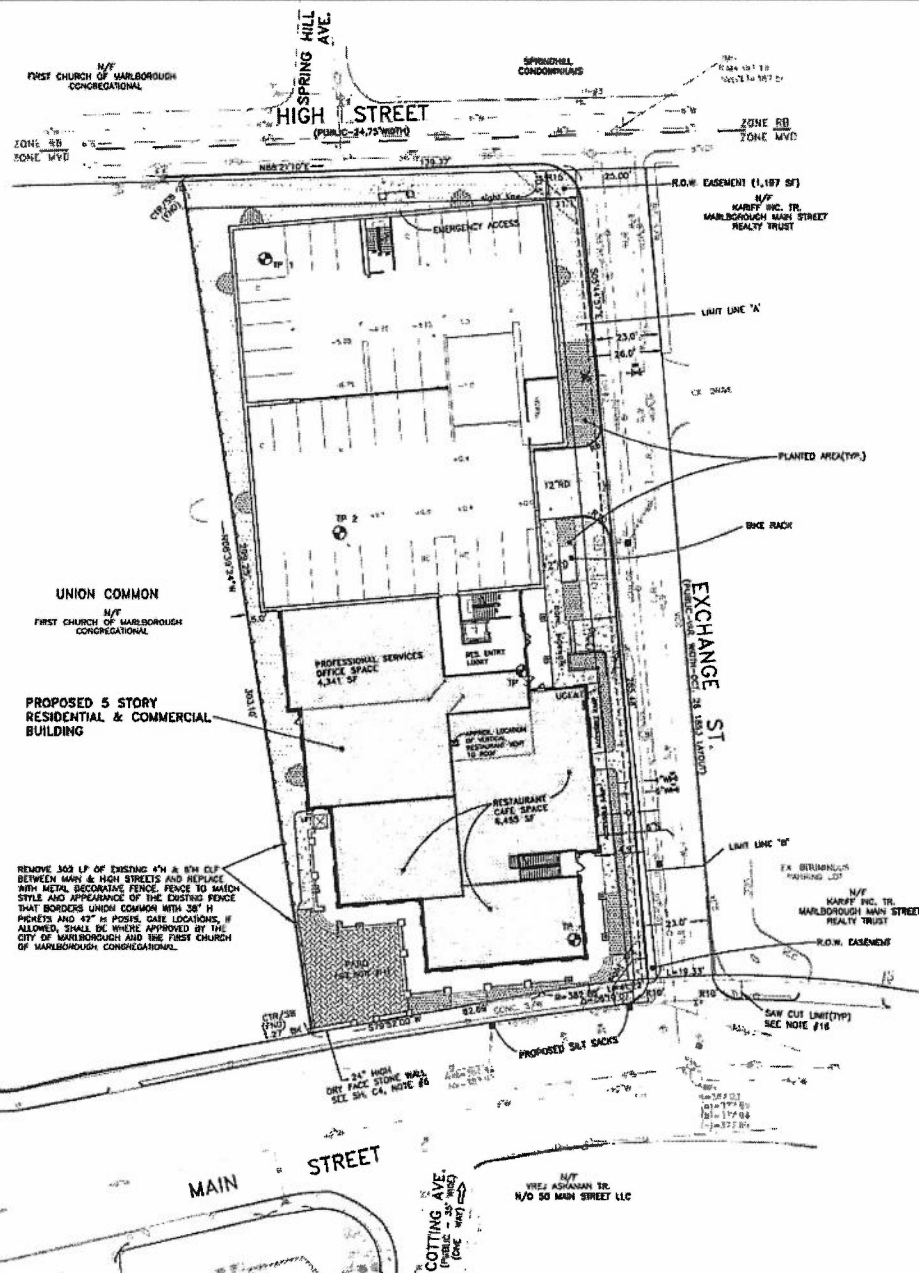


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- NOTES:**
- 1) THE LOTS SHOWN IN THIS PLAN ARE THE PROPERTY OF JOHN P. ROWE, JR., 57 MAIN STREET, MARLBOROUGH, MA 01752. THE LOTS SHOWN IN THIS PLAN ARE THE PROPERTY OF JOHN P. ROWE, JR., 57 MAIN STREET, MARLBOROUGH, MA 01752. THE LOTS SHOWN IN THIS PLAN ARE THE PROPERTY OF JOHN P. ROWE, JR., 57 MAIN STREET, MARLBOROUGH, MA 01752.
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	<p>OWNER: JOHN P. ROWE FUNERAL HOME, INC. 57 MAIN STREET MARLBOROUGH, MA 01752 TEL: 508-129-1478 DATE: FEBRUARY 3, 2018</p>	<p>APPLICANT: MARK O'HAGAN MCO & ASSOCIATES, INC. 206 AYER ROAD - SUITE 5 MARLBOROUGH, MA 01752 TEL: 978-456-8388</p>	<p>EXISTING CONDITIONS PLAN TAVERN ON THE GREEN - 57 MAIN STREET - MARLBOROUGH, MA</p>	<p>PREPARED BY: BRUCE SALUK & ASSOC., INC. CIVIL ENGINEERING & LAND SURVEYING 578 BOSTON POST ROAD EAST MARLBOROUGH, MA 01752 TEL: 508-485-1662 FAX: 508-481-9929</p>
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NOTES:

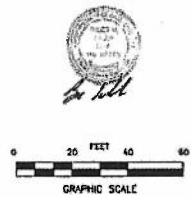
- 1.) THE BUILDING USE AND AREA SCHEDULE IS AS FOLLOWS:

LOWER GARAGE (ELEV=378.6)	= 19,500 GSF
GROUND FLOOR (ELEV=386.1)	
- COMMERCIAL SPACE	= 10,670 GSF
- COMMON AREA	= 530 GSF
- GARAGE(GROUND LEVEL)	= 780 GSF
- 2.) LOT COVERAGE:

TOTAL LOT AREA = 35,505 SF	TOTAL U.S. UNITS 53
PROPOSED COVERAGE AREA = 32,305 SF	
TOTAL % COVERAGE = 91%	
- 3.) ANY MINOR MODIFICATIONS, AS DETERMINED BY THE CITY ENGINEER TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED. THE CONTRACTOR SHALL BE PROPERLY LICENSED AND BONDED WITH THE CITY PRIOR TO CONSTRUCTION, AND SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT OF WAY.
- 4.) ALL HANDICAP PARKING, RAMPS AND ACCESS SHALL CONFORM TO AAS REQUIREMENTS. REFER TO 501 CMR.
- 5.) ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
- 6.) ALL PROPOSED SIGNAGE SHALL COMPLY WITH THE EXISTING CITY OF MARLBOROUGH SIGN ORDINANCE.
- 7.) CURBING TYPE & ENTRANCES SHOWN ARE SUBJECT TO APPROVALS BY THE CITY OF MARLBOROUGH FOR THE ROAD OPENING PERMIT REQUIREMENTS.
- 8.) ALL MATERIALS/CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE CODE OF THE CITY OF MARLBOROUGH. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY CONSTRUCTION COMMISSION REQUIREMENTS (SEE SHEET C2 FOR ADDITIONAL REQUIREMENTS).
- 9.) CITY INSPECTORS REQUIRE A MINIMUM NOTICE OF 24 HOURS PRIOR TO INSPECTION.
- 10.) REFER TO THE GRADING PLAN NOTES CONCERNING EROSION CONTROL.
- 11.) REFER TO THE ARCHITECTS PLAN FOR BUILDING AREA & SCENE LIGHTING AND SIGNAGE.
- 12.) A PRE-CONSTRUCTION MEETING IS REQUIRED BETWEEN THE DEVELOPER, CONTRACTOR, POLICE AND FIRE DEPARTMENTS. A TRAFFIC MANAGEMENT PLAN SHALL BE SUBMITTED TO THE CITY OFFICIALS 5 DAYS PRIOR TO THE MEETING.
- 13.) ALL OPEN SPACE AREAS ARE PRIVATE.
- 14.) PROPOSED RAMP & EXCHANGE STREET WIDENING IS SUBJECT TO CITY COUNCIL SPECIAL PERMIT UNDER SEC. 850-41 (FOOTING 13) FOR COVERAGE IN EXCESS OF 50%.
- 15.) THE SECTION OF EXCHANGE STREET FROM LIMIT LINE 'A' TO LIMIT LINE 'B' SHALL BE WALKED & REPAVED FOR THE FULL WIDTH OF THE ROAD TO ENCOMPASS ROAD RECONSTRUCTION. FROM LIMIT LINE 'B' TO MAIN STREET, REMOVE PAVEMENT & REGRADE SUBGRADE AND PAVEMENT AT A CONTRAVERSUS SLOPE (APPROX. 1%).
- 16.) SAW CUTS SHALL BE AT THE NEAREST PANEL JOINT ON THE EXTERIOR SIDE OF THE SAW CUTS SHOWING THE SCHEDULE ALONG THE FRONTAGE OF THE PROPERTY SHALL BE REPLACED WHERE EXCAVATION FOR THE BUILDING FOUNDATION DISTURBS OR COMPROMISES THE INTEGRITY OF THE EXISTING WALK. THE SIDEWALK SHALL BE FRAMED AND FOUNDED THE FULL WIDTH OF THE SIDEWALK AND FORMED TO LEAVE A SPACE FOR THE BRICK TO SIT ON TOP (BONDED TO THE CONCRETE). THE CONCRETE WALK SHALL BE FINISH WITH THE EXISTING WALK.

LEGEND

---	Ex. 1" Contour
---	Ex. 10" Contour
○	Sewer & Drain (ex.)
○	Mechanical Locations
---	Sanitary Sewer (ex.)
---	Catch Basin (ex.)
---	Drain Line (ex.)
---	Overhead Electric Wire (ex.)
---	Utility Pole (ex.) & Light Pole
---	Gate Valve, Hydrant, Water Shutoff
---	Water Line(ex)
---	Gas Service(ex)
---	Gas Gate (ex.)
---	Various concrete curb (Proposed)
---	Various granite curb (Proposed)



NO.	DATE	BY	DESCRIPTION
1	06/14/2018	MARK O'HAGAN	ISSUED FOR PERMIT
2	06/14/2018	MARK O'HAGAN	ISSUED FOR PERMIT
3	06/14/2018	MARK O'HAGAN	ISSUED FOR PERMIT
4	06/14/2018	MARK O'HAGAN	ISSUED FOR PERMIT
5	06/14/2018	MARK O'HAGAN	ISSUED FOR PERMIT

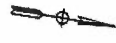
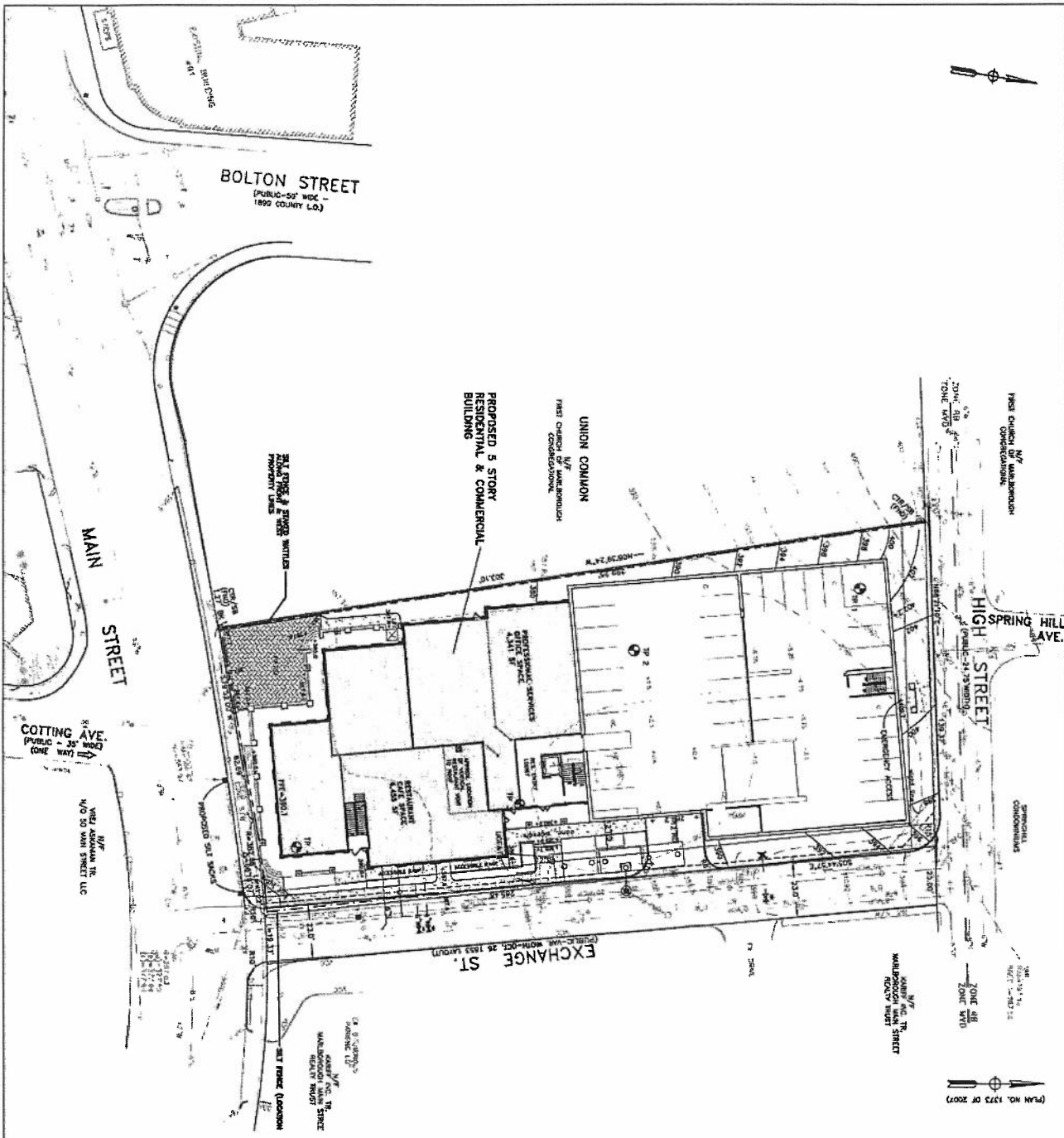
PREPARED BY:
 BRUCE SALKUK & ASSOC., INC.
 CIVIL ENGINEERING & LAND SURVEYING
 878 WESTON POST ROAD EAST
 MARLBOROUGH, MA 01501
 TEL: 508-463-1862
 FAX: 508-461-8929

**LAYOUT PLAN
 TAVERN ON THE GREEN
 - 57 MAIN STREET -
 MARLBOROUGH, MA**

APPLICANT:
 MARK O'HAGAN
 MCO & ASSOCIATES, INC.
 208 AFTER ROAD - 1ST FLOOR
 MARLBOROUGH, MA 01501
 TEL: 878-458-1388

OWNER:
 JOHN F. ROWE
 FUNERAL HOME, INC.
 57 MAIN STREET
 MARLBOROUGH, MA 01501
 TEL: 508-338-1878

DATE: JUNE 14, 2018
C1
 FILE: 2685C1.dwg



PLAN NO. 1975 OF 2007

GRADING & EROSION CONTROL NOTES:

- 1) The construction means are based on plans the town datum (1988 N.A.S.D.)
- 2) All work, including storm and erosion control, shall be done in accordance with the current edition of the Massachusetts Department of Environmental Protection's (MDEP) Erosion Control Manual, unless otherwise specified.
- 3) Prior to construction, the contractor shall install erosion control measures with the aid of the MDEP's Erosion Control Manual. The contractor shall be responsible for the design and installation of all erosion control measures. The contractor shall be responsible for the design and installation of all erosion control measures. The contractor shall be responsible for the design and installation of all erosion control measures.
- 4) The contractor shall be responsible for the design and installation of all erosion control measures.
- 5) The contractor shall be responsible for the design and installation of all erosion control measures.
- 6) The contractor shall be responsible for the design and installation of all erosion control measures.
- 7) The contractor shall be responsible for the design and installation of all erosion control measures.

LEGEND

---	1/4" P. Contour
---	1/2" P. Contour
---	3/4" P. Contour
---	1" P. Contour
---	2" P. Contour
---	3" P. Contour
---	4" P. Contour
---	5" P. Contour
---	6" P. Contour
---	7" P. Contour
---	8" P. Contour
---	9" P. Contour
---	10" P. Contour
---	11" P. Contour
---	12" P. Contour
---	13" P. Contour
---	14" P. Contour
---	15" P. Contour
---	16" P. Contour
---	17" P. Contour
---	18" P. Contour
---	19" P. Contour
---	20" P. Contour
---	21" P. Contour
---	22" P. Contour
---	23" P. Contour
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---	32" P. Contour
---	33" P. Contour
---	34" P. Contour
---	35" P. Contour
---	36" P. Contour
---	37" P. Contour
---	38" P. Contour
---	39" P. Contour
---	40" P. Contour
---	41" P. Contour
---	42" P. Contour
---	43" P. Contour
---	44" P. Contour
---	45" P. Contour
---	46" P. Contour
---	47" P. Contour
---	48" P. Contour
---	49" P. Contour
---	50" P. Contour



C2

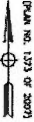
OWNER:
JOHN P. ROWE
FUNERAL HOME, INC.
57 MAIN STREET
MARLBOROUGH, MA 01752
TEL: 508-485-1478
DATE: JUNE 14, 2018

APPLICANT:
MARK O'HAGAN
MCO & ASSOCIATES, INC.
206 AYER ROAD - SUITE 5
MARLBOROUGH, MA 01752
TEL: 978-456-8386

**GRADING & EROSION CONTROL
TAVERN ON THE GREEN
- 57 MAIN STREET -
MARLBOROUGH, MA**

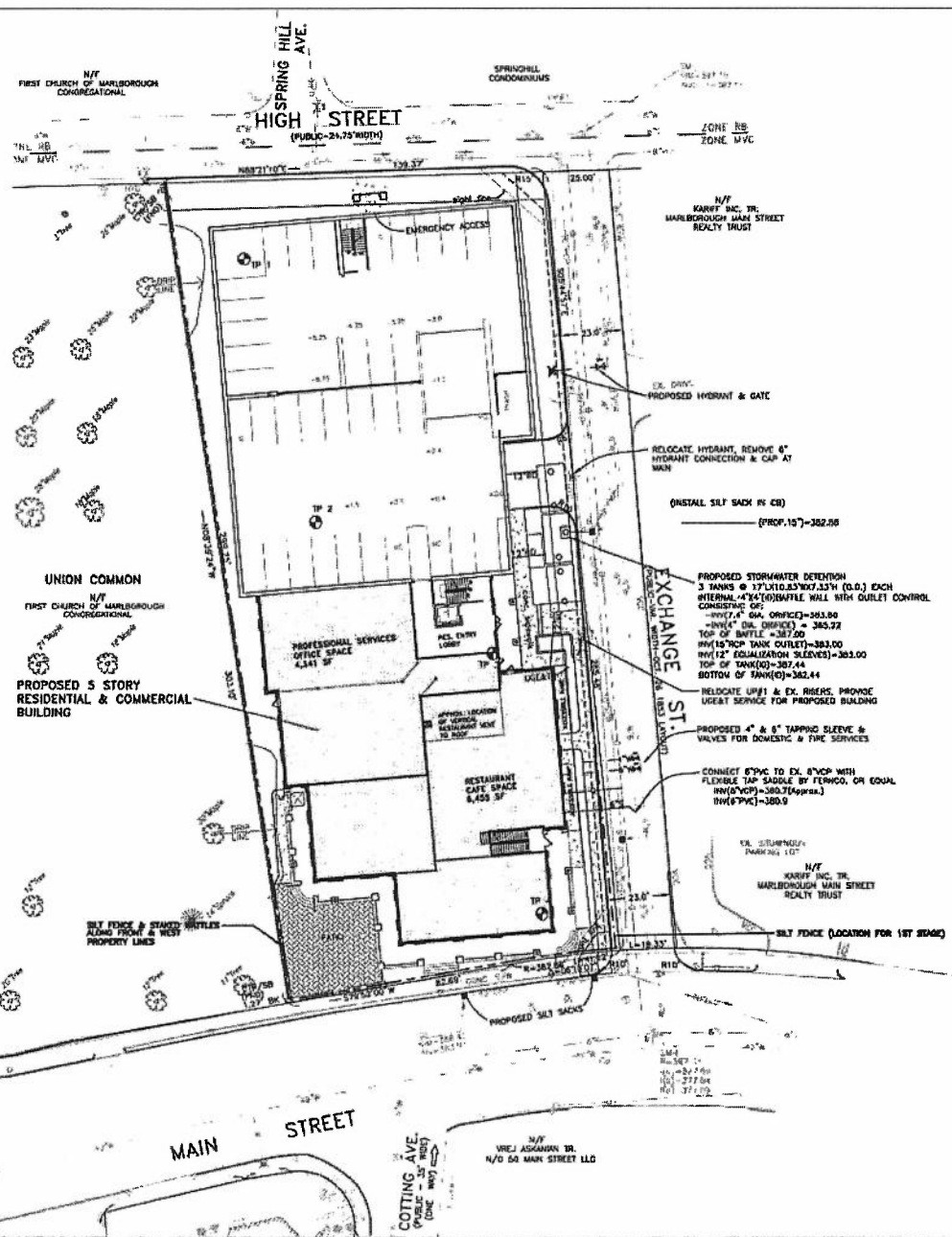
PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752
TEL: 508-485-1662
FAX: 508-481-9929

NO.	DATE	DESCRIPTION
1	06/14/18	ISSUED FOR PERMIT
2	06/14/18	ISSUED FOR PERMIT
3	06/14/18	ISSUED FOR PERMIT
4	06/14/18	ISSUED FOR PERMIT
5	06/14/18	ISSUED FOR PERMIT
6	06/14/18	ISSUED FOR PERMIT
7	06/14/18	ISSUED FOR PERMIT
8	06/14/18	ISSUED FOR PERMIT
9	06/14/18	ISSUED FOR PERMIT
10	06/14/18	ISSUED FOR PERMIT



LEGEND

---	Ex. 2' Contour
---	Ex. 10' Contour
○	Sewer & Drain (ex.)
○	Manhole Locations
○	Sanitary Sewer (ex.)
○	Catch Basin (ex.)
○	Drain (ex.)
○	Downspout Electric Wire (ex.)
○	Utility Pole (ex.) & Light Pole
○	Date Valve, Appoint, Water Shut-off
○	Water Line(ex.)
○	Gas Service(ex.)
○	Gas Code (ex.)
○	Marking, excavation curb (Proposed)
○	Vertical profile curb (Proposed)



WATER, SEWER & DRAINAGE NOTES:

1. Materials and construction and associated work shall conform to Mass. DPH Standard Specifications. Refer to the document entitled Standard Specifications for Highways and Bridges, 1988 as amended.
2. Manholes & Catch Basins shall be reinforced precast concrete conforming to ASTM Specification Section C478-701.
3. Manhole frames & covers shall be East Jordan Iron Works. See detail sheet for Product numbers.
4. Provide pipe joint a minimum of 3' from manhole walls.
5. Reinforcing for all precast units shall conform to ASTM Specification Section A 185 and shall include reinforcing in both surget of their sections. Reinforcing shall be placed in accordance with AISHTD Designation M189.
6. In the event that rock is encountered, the contractor shall maintain a 12-inch minimum separation between the pipe and the rock.
7. Suitable bestfit material shall be select excavated material from which frozen material, stumps, pool, roots, vegetation, trash, rocks, and stones larger than 6-inches have been removed.
8. Connection of backfill material between centerline of pipe and trench pavement shall be done in 12-inch layers, or less, as required to prevent trench settlement. The contractor will be responsible for excavation trench settlement following final paving.
9. Utilities shown on this plan are partly from existing available City and State Co. records information and are approximate, only. There may be existing lines other than those shown herein. The contractor shall be required to contact the proper utility companies & Digimap prior to beginning any construction on the site. Our firm does not warrant or guarantee the location of any utilities herein.
10. Unless otherwise noted on the drawings, drain lines greater than 12 inches in diameter shall be reinforced concrete pipe - forming to ASTM C-70 Class 4, Wall B circular reinforcement. Where specified, 12-inch through 48-inch diameter Class 3 drain lines shall be Wall B.
11. Roof Drain shall be connected to the proposed 12" DIP drain pipe and/or as specified in the including plumbing design drawings.
12. The elevations shown are based on NAVD 1988 datum.
13. Refer to additional Water, Sewer & Drainage notes on the Detail Sheets.
14. The contractor shall obtain a Street Opening Permit prior to any construction within the City right-of-way.
15. All water and sewer material and construction shall conform to the City of Marlborough requirements (see Street Opening Permit).
16. All water and sewer construction shall be inspected by the City of Marlborough before being backfilled.
17. The City shall be notified at least 24 hours prior to the required inspections.
18. Where sewer and water lines cross, install the sewer below the water service and provide 18" minimum separation between the pipe outside of manhole. Provide 3 full length of sewer pipe installed on the crossing. The full length of sewer pipe shall be 30R-26, Specification ASTM D2241 with a 100 PSI rating. Connect the 30R 35 & 30R 26 pipes using pressure rated adaptors by Fernco, or approved equal.
19. The contractor shall be properly licensed and bonded with the City prior to construction.
20. The contractor shall obtain a Franchising Permit prior to any landscaping on public or private property.
21. The contractor shall provide building foundation drainage in accordance to design by the geotechnical engineer or others.
22. A gas, oil and sand separator (GOSS) is required inside the parking garage. Floor drains shall be connected to the GOSS. The GOSS discharge pipe shall be connected to the interior building sewer in accordance with the Plumbing Code. See the gas, oil and sand separator detail. Provide an ejector pump located in the basement to discharge the GOSS discharge into the building sewer.
23. The restaurant grease interceptor shall be designed by the mechanical engineer that designed the restaurant kitchen plumbing system. The design shall be in accordance with 248 CMR 30.09. The grease trap shall be sized, tested and certified according to PSI-C101 or ASME A112.14.3 or ASME A112.14.4.
24. All existing service lines that are to be discontinued shall be cut and capped at the main.

DATE	06/14/2018
SCALE	AS SHOWN
PROJECT	57 MAIN STREET - BURE 5
CLIENT	MARK O'HAGAN
DESIGNER	JOHN F. ROWE
CHECKER	MARK O'HAGAN
APPROVER	MARK O'HAGAN

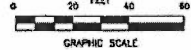
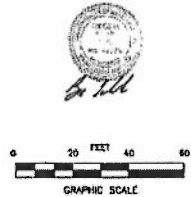
PREPARED BY:
 BRUCE SALUX & ASSOC., INC.
 CIVIL ENGINEERING & LAND SURVEYING
 578 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752
 TEL: 508-461-1646
 FAX: 508-461-8878

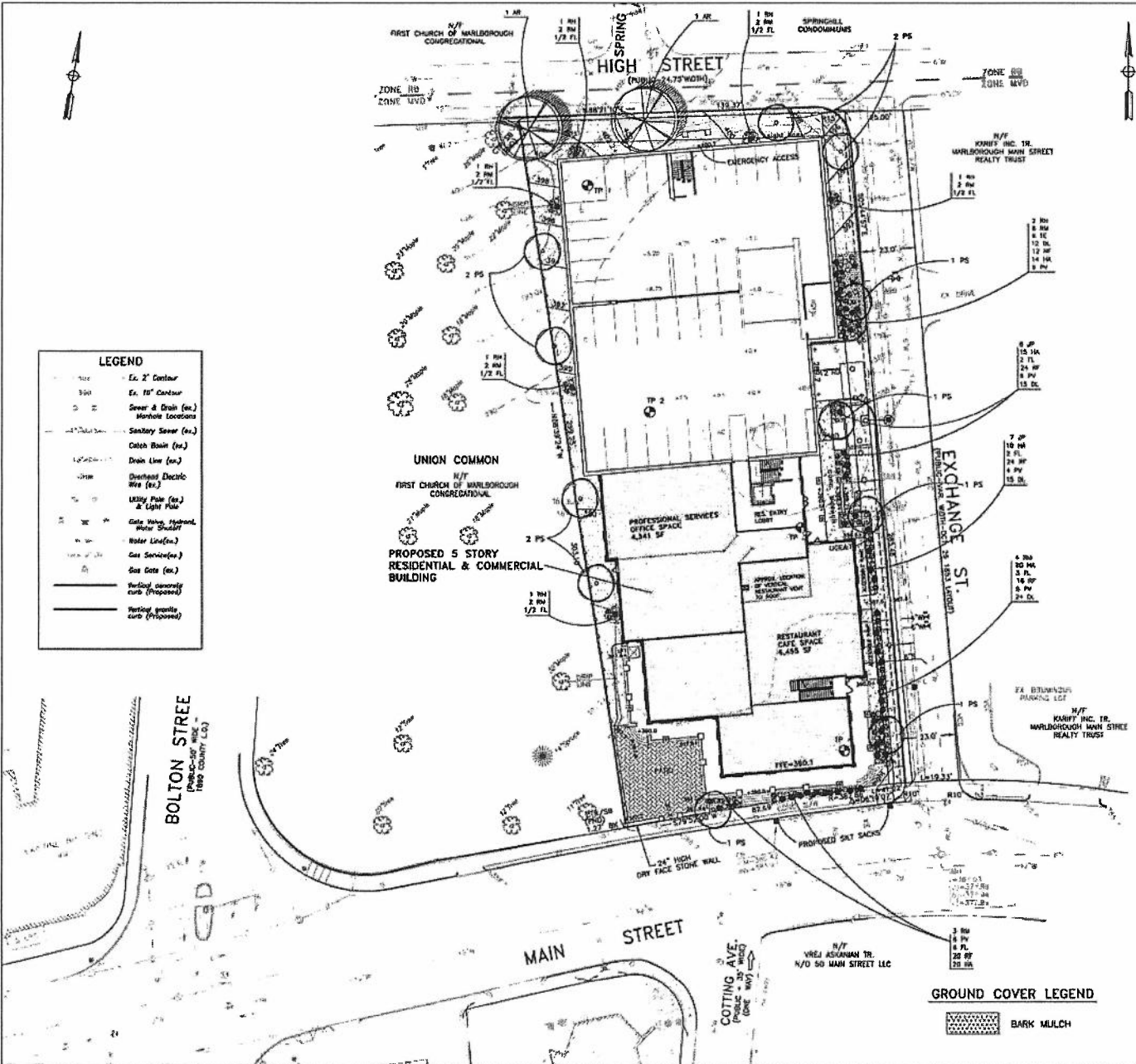
**DRAINAGE & UTILITIES PLAN
 TAVERN ON THE GREEN
 - 57 MAIN STREET -
 MARLBOROUGH, MA**

APPLICANT:
 MARK O'HAGAN
 MCO & ASSOCIATES, INC.
 208 WATER ROAD - BURE 5
 MARLBOROUGH, MA 01752
 TEL: 508-461-1646

OWNER:
 JOHN F. ROWE
 FUNERAL HOME, INC.
 57 MAIN STREET
 MARLBOROUGH, MA 01752
 TEL: 508-461-1646

DATE: JUNE 14, 2018
 FILE: 2685C1.dwg





LEGEND	
—	Ex. 2' Contour
—	Ex. 10' Contour
○	Sewer & Drain (ex.)
○	Manhole Locations
—	Sanitary Sewer (ex.)
—	Catch Basin (ex.)
—	Drain Line (ex.)
—	Overhead Electric Wire (ex.)
—	Utility Pole (ex.) & Light Pole
—	Gate Valve, Hydrant, Water Street
—	Water Line (ex.)
—	Gas Service (ex.)
—	Site Date (ex.)
—	Vertical, generally curb (Proposed)
—	Vertical, generally curb (Proposed)

GROUND COVER LEGEND



PLANTING LEGEND*				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
PS 11	1	Malva X	Pink Spirea	3" Caliper
AR 2	2	Aster Rubens 'Victoria Blue'	October glory Blue Aster	3" Caliper
SP 16	1	Rudbeckia Feltgata	Black Eyed Susan	—
D. 44	1	Hemerocallis	Daylily	—
FR 25	1	Fernoxia Macgregoriae	Steel Turbuck Fern	20"
PL 18 175	1	Myrica, Myrs, Comarostaphylos	Shrubbery provided by client, 100% shade for winter, deciduous	—
TC 8	1	Taxus Canadensis	Live Spreading Yew	18"-24"
SP 15	1	Asteraceae Polyzonata	Live Spreading Juniper (Ever Green)	—
WR 27	1	Rhododendron	Annie Hobbs's Day	2'-3'
SH 8	1	Rhododendron 'F.J.M.'	F.J.M. Rhododendron	2'-3'
HA 78	1	HEDERA	EMERALD GREEN HEDERA	—

PLANTING NOTES:

- 1.) FOR LOW & SEED AREAS, PROVIDE 4" LOW AND SEED MIX COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA.
- 2.) PROVIDE PLANS OF SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "ARCHITECT STANDARDS FOR NURSERY STOCK".
- 3.) FINAL PLANT LOCATIONS TO BE ADJUSTED IN FIELD AS NECESSARY TO PROVIDE REQUIRED OFFSETS TO CONSTRUCTION APPROPRIATE AND UTILITIES, ETC.
- 4.) PLANTINGS ARE SUBJECT TO CHANGE DUE TO NURSERY STOCK AVAILABILITY, AS APPROVED.
- 5.) PLANTING AND WORKMANSHIP SHALL COMPLY WITH THE FOLLOWING:
 - STAKES MATERIALS TO BE REMOVED 1 YEAR AFTER PLANTING.
 - OWNER REPLACES PLANTS THAT DIE WITHIN 180 DAYS.
- 6.) THE PATIO WALL SHALL BE DRY FACE ANGLIAR FLAT SECTIONS OF GRANITE WALL DIMENSIONS SHALL BE 18" WIDE & 24" HIGH WITH FLAT STONE TOP. CURB SHALL BE BRICK OR BLAZE OR EQUAL, AND SHALL EXTEND 3" BEYOND WALL FACE. THE COLUMNS AT END OF WALLS SHALL BE 24" x 24" x 36" HIGH. PLANTERS ON TOP OF WALL AND GATE AT SIDEWALK ENTRANCE ARE OPTIONAL.
- 7.) PROPOSED PLANTINGS BETWEEN THE SIDEWALK AND PROPERTY LINE REQUIRE CITY APPROVAL.
- 8.) AREAS THAT WILL REQUIRE CONSTRUCTION OF SOILS WITHIN THE DRIP ZONE OF PROPOSED TREES, I.E. PROPOSED SIDEWALK OR PAVEMENT, SHALL BE CONSTRUCTED WITH A STRUCTURAL SOIL SUITABLE FOR TREE GROWTH. SAID STRUCTURAL SOIL IS A TWO-PART SYSTEM CONSISTING OF 3/4"-1 1/2" CRUSHED STONE. THE TWO PART CONSISTS OF 20% S&T ON CLAY LOAM TEXTURE AND 2-5% OF ORGANIC MATTER. THE SOIL AND STONE MIXTURE SHALL FOLLOW GEOSPAC HYPODOL TACTIFIER. THE SOIL SHALL COMPLY WITH CA-STRUCTURAL SOIL SPECIFICATIONS AVAILABLE AT WWW.COMMERCELOAM.COM, OR APPROVED EQUAL. THE STRUCTURAL SOIL QUANTITY SHALL BE 24" DEPTH FOR ALL AREAS BENEATH PROPOSED SIDEWALKS AND PAVEMENT WITH THE TREE DRIP ZONE.
- 9.) PRIOR TO THE PRE CONSTRUCTION MEETING WITH CITY OFFICIALS, THE CONTRACTOR SHALL OBTAIN A TREE PROTECTION REPORT FROM A CERTIFIED ARBORIST FOR THE PROTECTION OF 2 EXISTING MAPLES ON THE UNION COMMON PROPERTY. THE DRIP LINES OF BOTH TREES EXTENDING BEYOND THE PROPERTY LINE SHOWN ON THE PLAN. THE REPORT BY THE ARBORIST SHALL INCLUDE CONSTRUCTION STAGE GUIDELINES FOR THE PROTECTION OF BOTH TREES AND SHALL BE SUBMITTED TO SITE PLAN REVIEW COMMITTEE 1 WEEK BEFORE THE SCHEDULED PRE-CONSTRUCTION MEETING.

NO.	DATE	BY	REVISION
1			
2			
3			
4			
5			

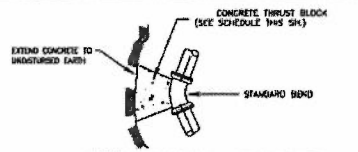
PREPARED BY:
 BRUCE SALUK & ASSOC., INC.
 CIVIL ENGINEERING & LAND SURVEYING
 1000 MAIN STREET
 MARLBOROUGH, MA 01752
 TEL: 508-465-1662
 FAX: 508-465-4811-8928

**PLANTING PLAN
 TAVERN ON THE GREEN
 - 57 MAIN STREET -
 MARLBOROUGH, MA**

APPLICANT:
 MARK O'HAGAN
 MCO & ASSOCIATES, INC.
 1000 MAIN STREET SUITE 5
 MARLBOROUGH, MA 01752
 TEL: 978-458-4388

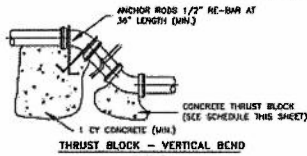
OWNER:
 JOHN P. FUNERAL HOME, INC.
 1000 MAIN STREET
 MARLBOROUGH, MA 01752
 TEL: 508-738-1078

DATE: JUNE 14, 2018
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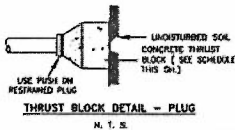


THRUST BLOCK SCHEDULE			
MAIN	TEES & PLUGS	45°	22 1/2°
4"	18	4	4

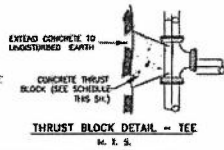
THRUST BLOCK DETAIL - STANDARD BEND
N. T. S. thrustblock.dwg



THRUST BLOCK DETAIL - VERTICAL BEND
N. T. S.

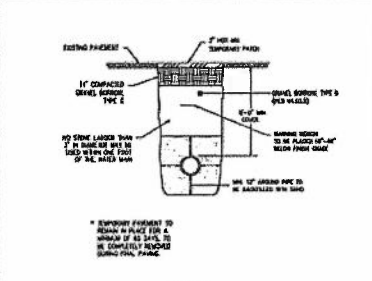


THRUST BLOCK DETAIL - PLUG
N. T. S.

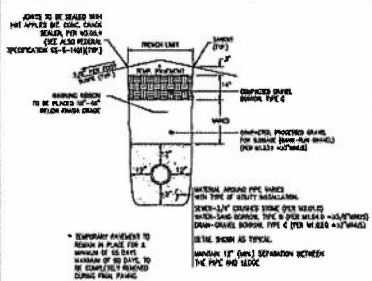


THRUST BLOCK DETAIL - TEE
N. T. S.

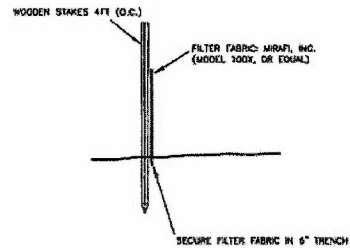
- NOTES:
- VALUES IN TABLE ARE REQUIRED CONCRETE THRUST BLOCK BEARING AREA IN SQUARE FEET AGAINST UNDISTURBED SOIL.
 - USE THE ROSES AND WEDGE LUGS FOR ALL FITTINGS.



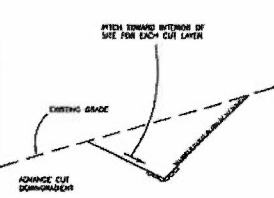
TYPICAL WATER TRENCH
N.T.S.



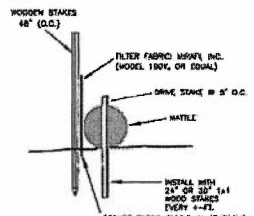
TYPICAL EXCAVATION TRENCH
N.T.S.



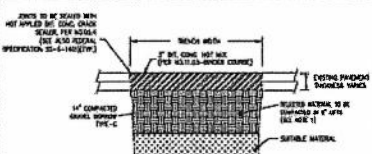
SILT FENCE DETAIL
H. T. S.



EROSION CONTROL FOR CUT AREAS
N. T. S. Cutarea.dwg

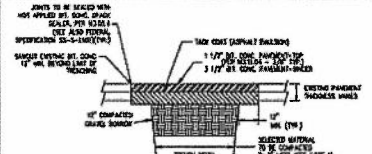


STAKED WATTLE DETAIL
N. T. S. Wattle and st. fence.dwg



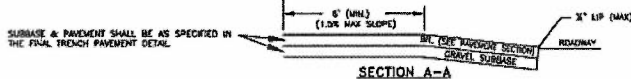
NOTE 1:
COMPACTION EQUIPMENT SHALL MEET OR EXCEED THE HUMAN REQUIREMENTS TO OBTAIN THE COMPACTION STANDARDS INDICATED IN THE CONSTRUCTION NOTES, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. IN PRIORITY TO SPECIFICATION, A JUMPING JACK COMPACTOR SHALL BE REQUIRED.

TEMPORARY TRENCH PAVING
TYPICAL SECTION
N.T.S.



NOTE 1:
COMPACTION EQUIPMENT SHALL MEET OR EXCEED THE HUMAN REQUIREMENTS TO OBTAIN THE COMPACTION STANDARDS INDICATED IN THE CONSTRUCTION NOTES, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. IN PRIORITY TO SPECIFICATION, A JUMPING JACK COMPACTOR SHALL BE REQUIRED.

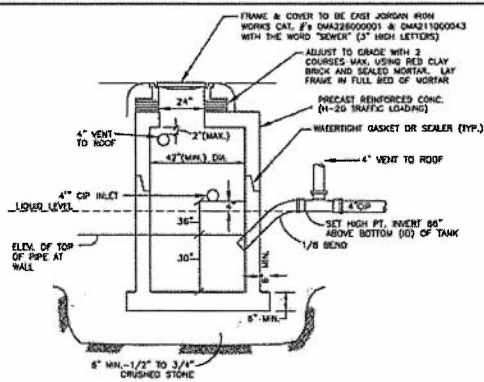
TYPICAL FINAL TRENCH PAVING
N.T.S.



DRIVEWAY APRON
SECTION A-A

CONSTRUCTION NOTES FOR GASOLINE, OIL & SAND SEPARATOR

- SEPARATOR IS TO BE LOCATED OUTSIDE OF A BUILDING WHERE POSSIBLE AND THE COVER SHALL BE A MINIMUM OF 24" IN DIAMETER. IF THE SEPARATOR MUST BE INSTALLED INSIDE OF A BUILDING, THE COVER MUST BE SEALED TIGHT.
- THE SEPARATOR MUST BE CONSTRUCTED AND INSTALLED TO PREVENT SURFACE WATER FROM ENTERING.
- THE INVERT OF THE SEPARATOR INLET PIPE SHALL BE NO LESS THAN 4" ABOVE THE WATER LINE.
- THE SEPARATOR SHALL BE FILLED WITH WATER, TESTED AND INSPECTED PRIOR TO BEING PUT INTO SERVICE.
- THE NON CORROSIVE STEPS SHALL BE INSTALLED 18" APART.
- THE CHAMBER VENT AND OUTLET VENT SHALL BE RETURNED TO THE INSIDE OF THE BUILDING AND EXTENDED THROUGH THE ROOF.
- THE CHAMBER VENT MUST BE LOCATED AS CLOSE TO THE TOP OF THE TANK AS POSSIBLE.
- PRECAST CONCRETE UNITS SHALL MEET OR EXCEED ASTM C-478 STANDARD OF 4,000 PSI.
- JOINT SECTIONS ON PRECAST CONCRETE SEPARATORS SHALL USE DUALY RUBBER JOINT SEALANT PER ASTM C-880.
- ALL PIPE PENETRATIONS IN THE SEPARATOR SHALL BE SEALED WITH HYDRAULIC CEMENT DUALY.
 - NO-1140 CAST IRON WITH PRODUCT ACCEPTED CLAMPS
 - SERVICE WEIGHT CAST IRON WITH PRODUCT ACCEPTED GASKETS OR LEAD & OILUM JOINTS
 - EXTRA HEAVY CAST IRON WITH PRODUCT ACCEPTED GASKETS OR LEAD & OILUM JOINTS
- THE CAPACITY OF THE GAS, OIL & SAND SEPARATOR SHALL BE AS SHOWN IN FIGURE 15 OF 348 DD-10.27.
- THE SEPARATOR SHALL BE LOCATED IN THE LOWER GARAGE LEVEL AND FLOW TO A PUMP SYSTEM.



GAS, OIL & SAND SEPARATOR
N. T. S. Cos & Oil Trap.dwg

CONSTRUCTION NOTES

THE FOLLOWING DESCRIBES MATERIALS AND METHODS AS THEY PERTAIN TO ROAD OPENING WORK. ALL WORK SHALL CONFORM TO THE TYPICAL STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, AND ALL SUBSEQUENT SUPPLEMENTAL SPECIFICATIONS THEREIN.

BACKFILL MATERIALS

EXCAVATIONS IN THE STREET PAVEMENT AREAS SHALL BE CAREFULLY BACKFILLED WITH LAYERS OF INERTIAL GRAVEL. THE THICKNESS OF EACH LAYER OF INERTIAL GRAVEL SHALL BE AS SPECIFIED BY THE CITY ENGINEER AND APPROVED BY THE CITY OF MARLBOROUGH. BACKFILL MATERIAL SHALL CONSIST OF CONTROLLED DENSITY FILL (CDF) - TYPE II, OR 2 1/2" (64.0MM) FOR ALL LAYERS EXCEPT THE LAST OR AS DIRECTED BY THE COMMISSIONER OF PUBLIC WORKS.

INERTIAL GRAVEL MATERIAL FOR BACKFILLING SHALL BE GRANULAR FILL CONSISTING OF SOIL SUBSTITUTES FREE FROM CLAY, ORGANIC MATERIALS, LEAD, WOOD, TRASH OR OTHER UNDESIRABLE MATERIALS WHICH MAY COMPRESS OR OTHER DAMAGE BE INCURRED BY COMPACTING. IT SHALL ALSO BE FREE FROM CONCRETE, MAJORITY RUBBLE OR OTHER SIMILAR MATERIALS OF WHICH HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE EASILY SPREAD AND COMPACTED. IT SHALL NOT CONTAIN ANY SHORE OR OTHER DEBRIS.

COMPACTION OF BACKFILL

BACKFILL SHALL BE UNIFORMLY DISTRIBUTED IN SUCCESSIVE LAYERS, EACH LAYER BEING THOROUGHLY COMPACTED BEFORE THE SUCCESSIVE LAYER IS PLACED. THE DURING WITHIN OF THE TRENCH SHALL BE MECHANICALLY OR HAND TRIMMED TO THE (2) INCHES OF THE (2) FEET ABOVE THE UTILITY INSTALLATION, AND MECHANICALLY TRIMMED THE REMAINDER OF THE FILL IN LEFT OPENING NOT EXCEEDING 24" (610MM). THE TOP LAYER OF BACKFILL SHALL BE FURTHER (4) INCHES FOR A REMOVAL TRENCH, AND TRIMMED (2) INCHES ON A PERMANENT TRENCH OF GENERAL COMPACTION TO SIZE OF MAXIMUM DENSITY.

GRADING ROLLING AND FINISHING

PAVEMENT PLACED SHALL BE PLACED AND COMPACTED TO A GRADDED SURFACE, ROLLED TO THE REQUIRED THICKNESS AND TO A GRADE THAT WILL MATCH THE EXISTING SURROUNDING ROAD SURFACE. THE FINISHES SHALL MATCH THE SURROUNDING AND SHALL PROBABLY FALL WITHIN TOLERANCE MATERIAL ANY DEPRESSION AND HOLES THAT MAY OCCUR OR AS TO KEEP THE SURFACE TO A SAFE AND SATISFACTORY CONDITION FOR TRAFFIC.

TEMPORARY PAVEMENT

A TEMPORARY PAVEMENT SHALL BE PLACED ON THE SURFACE OF THE FILL AND THOROUGHLY COMPACTED. A TEMPORARY PAVEMENT SHALL BE CLASS 1 BITUMINOUS CONCRETE TYPE 1-1 THREE (3) INCHES THICK (SEE EXCAVATION TRENCH DETAIL). "COLD PATCH" MAY BE ALLOWED IF APPROVED BY THE COMMISSIONER OF PUBLIC WORKS DUE TO ADVISE WEATHER CONDITIONS. IF PLATES ARE USED THEY SHALL BE DAMPED TO MATCH THE EXISTING PAVEMENT. TEMPORARY PAVING ON STREET PLACING SHALL UNDEFINITELY FOLLOW THE ROADWAY LAYOUT.

PERMANENT PAVING

THE FINAL BITUMINOUS CONCRETE SURFACE SHALL NOT BE PLACED ANY SOONER THAN 90 DAYS OR NO LATER THAN 90 DAYS FROM THE DATE OF COMPLETION OF THE TEMPORARY SURFACE WITHOUT APPROVAL FROM THE COMMISSIONER OF PUBLIC WORKS. TEMPORARY PAVEMENT SHALL BE PLACED AND FINISHED TO THE GRADE REQUIRED BY THE CITY ENGINEER TO FACILITATE THE PLACEMENT OF THE PERMANENT CONCRETE SURFACE. THE UNDER COURSE SHALL NOT BE LESS THAN THE EXISTING SURROUNDING COURSE AND SHALL NOT BE LESS THAN ONE AND ONE-HALF (1 1/2) INCHES IN DEPTH AND THE TOP COURSE SHALL BE ONE AND ONE-HALF (1 1/2) INCHES IN DEPTH. IN SOME INSTANCES, WITHIN A SPECIAL TRENCH EXCAVATING PAVEMENT DETAIL AND REPAIRING REQUIREMENTS WILL BE INCLUDED AS A SPECIAL CONDITION IN THE PERM. P.E.A. PAVEMENT REQUIREMENTS IN ROUTE 251.

PROJECT NO.	DATE

PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
578 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01501
TEL: 508-483-1642
FAX: 508-483-1628

DETAILS ON THE GREEN
TAVERN ON THE GREEN
- 57 MAIN STREET -
MARLBOROUGH, MA

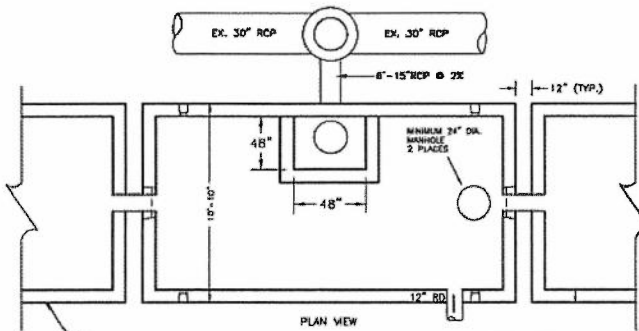
APPLICANT:
MARK O'HAGAN
MCO & ASSOCIATES, INC.
208 ADEP ROAD - SUITE 5
MARLBOROUGH, MA 01501
TEL: 878-458-4338

OWNER:
JOHN P. ROWE
FUNERAL HOME, INC.
578 MAIN STREET
MARLBOROUGH, MA 01501
TEL: 508-458-4338

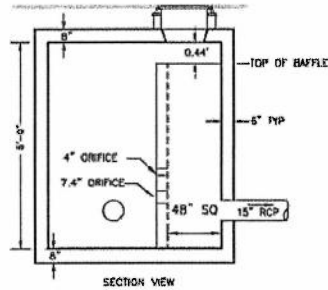
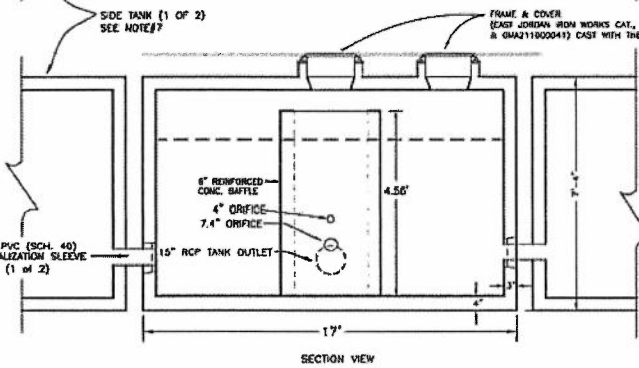
DATE: JUNE 14, 2015

C5

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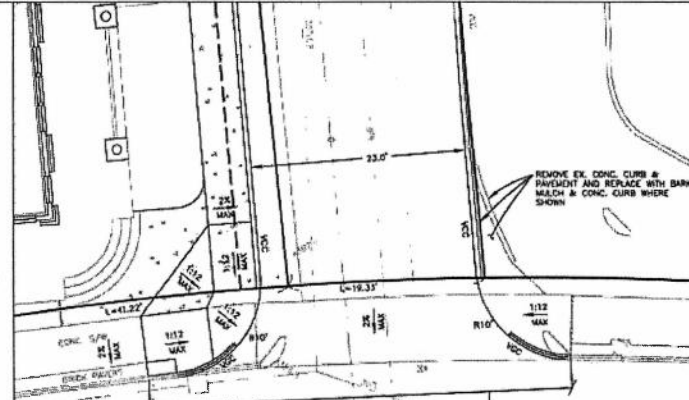


- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. ALL REINFORCEMENT PER ASTM C1227.
 3. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN.
 4. EXISTING PIPE SEALS TO BE COURED OR PRECAST FOR DRAIN PIPE SHOWS.
 5. USE SHEA CONCRETE 4000 GALLON H-20 TRAFFIC LOADING OR APPROVED EQUAL.
 6. SEE PLAN FOR PIPE SPACINGS.
 7. SIDE TANKS SHALL BE SAME OVERALL DIMENSIONS AS CENTER TANK WITHOUT THE BAFFLE.



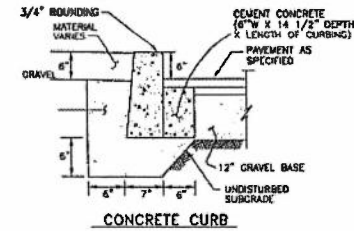
DETENTION/WATER QUALITY TANK

N. T. S. WATER QUALITY TANKING

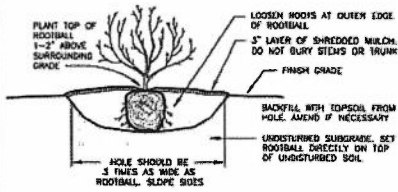


NOTE:
SIDEWALK CURB CUTS & PAVEMENT CROSSWALK SHALL MEET ADA REQUIREMENTS.

EXCHANGE STREET INTERSECTION
SCALE: 1"=6'

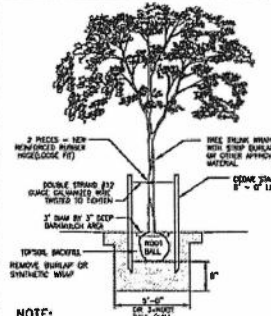


CONCRETE CURB
N. T. S. concurb.dwg



SHRUB PLANTING DETAIL

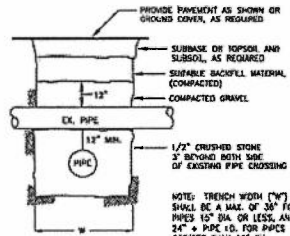
N. T. S. shrubplanting.dwg



NOTE:
STRUCTURAL SOIL SHALL BE USED BENEATH TREE DRIP ZONE WITHIN PROPOSED PAVED AREAS. SEE NOTE #8 ON SHEET C4.

TREE STAKING DETAIL

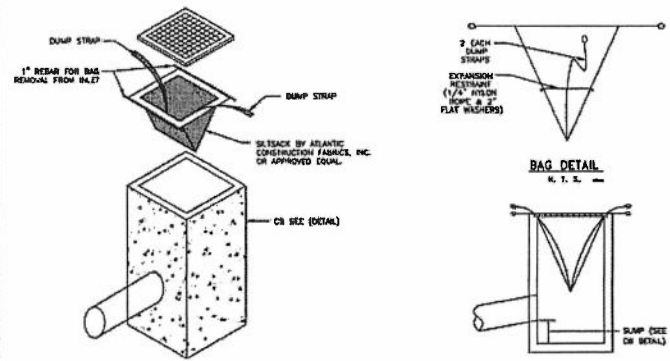
N. T. S. treestaking.dwg



NOTE: TRENCH WIDTH (TW) SHALL BE A MAX. OF 36" FOR PIPES 15" DIA. OR LESS, AND 24" + PIPE ID. FOR PIPES GREATER THAN 15" DIA.

PIPE CROSSING DETAIL

N. T. S.



SILTSACK DETAIL

N. T. S.

INSTALLATION DETAIL

N. T. S.

NO.	DATE	BY	CHKD.
1	06/14/2018	HT	HT
2	06/14/2018	HT	HT
3	06/14/2018	HT	HT
4	06/14/2018	HT	HT

PREPARED BY:
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FAX: 508-461-8978

DETAILS ON THE GREEN
TAVERN ON THE GREEN
- 57 MAIN STREET -
MARLBOROUGH, MA

APPLICANT:
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208 WATER ROAD - SUITE 5
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TEL: 978-686-1000

OWNER:
JOHN F. ROWE
FUNERAL HOME, INC.
57 MAIN STREET
MARLBOROUGH, MA 01752
TEL: 508-758-1878
DATE: JUNE 14, 2018

C6

FILE: 2685C1.dwg

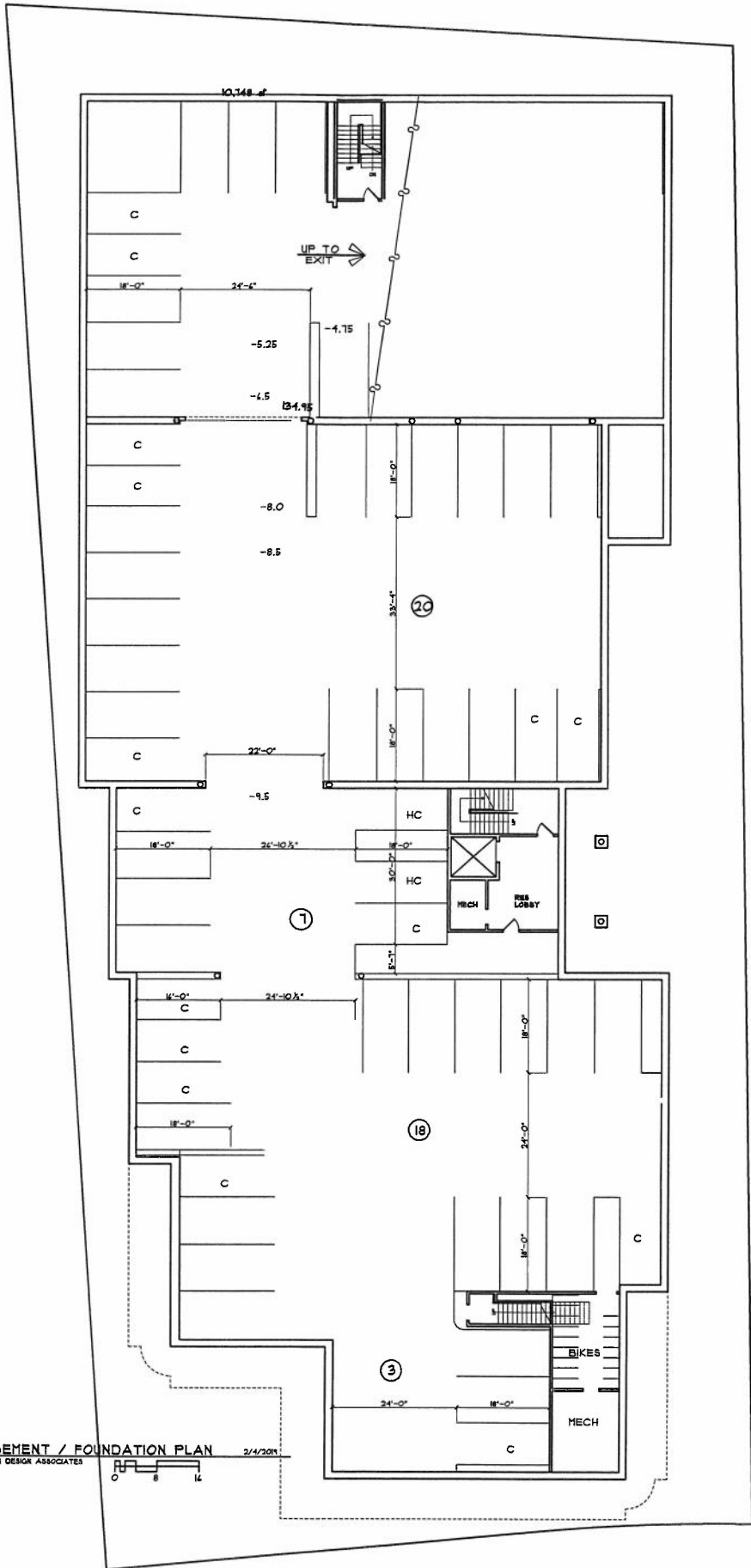
ATTACHMENT B



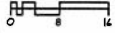
R. MINERVA-2017

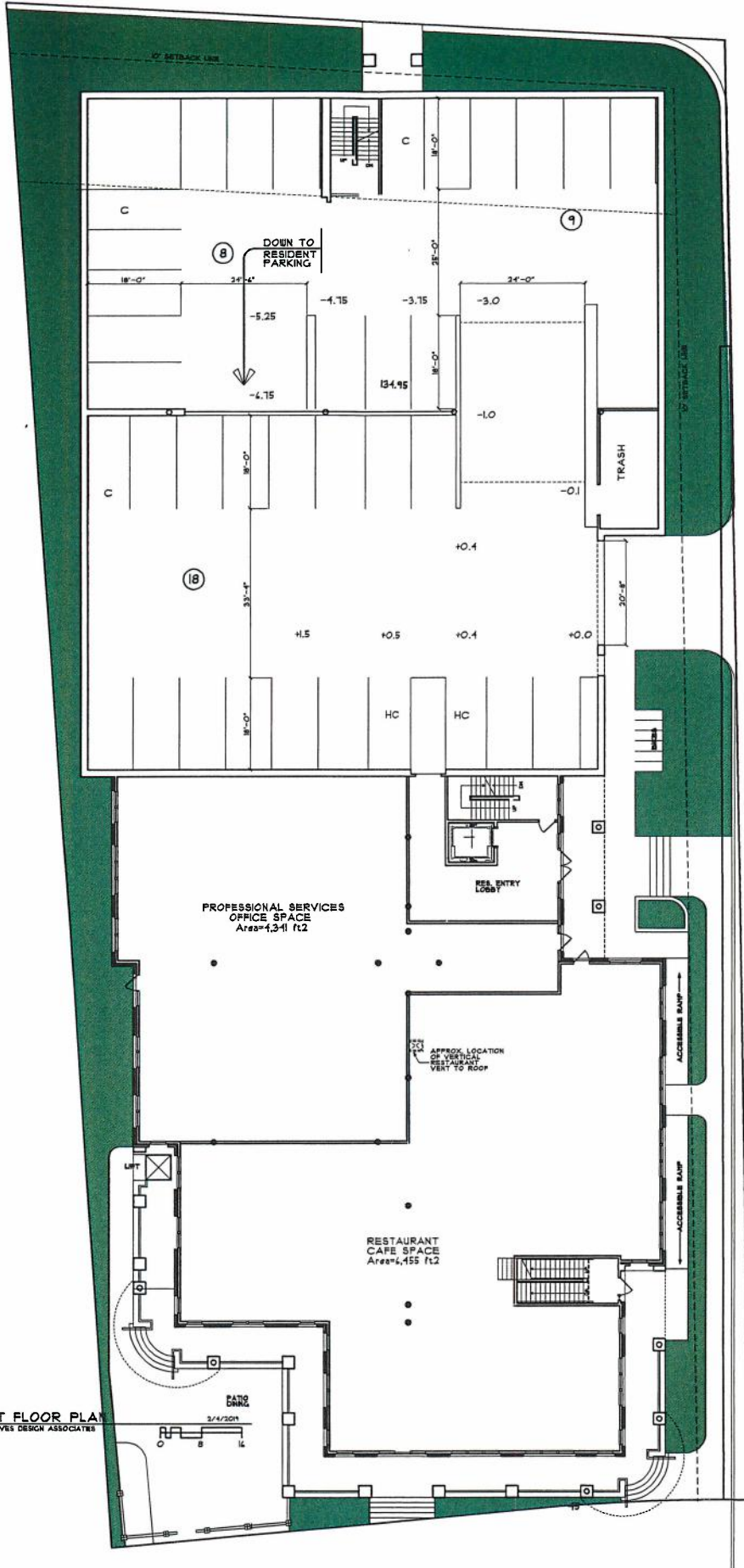
57 MAIN STREET - Marlborough

MCO & Associates, Inc. - Developer
Reeves Design Associates - Architect
Bruce Saluk Associates, Inc. - Civil Engineer

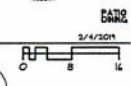


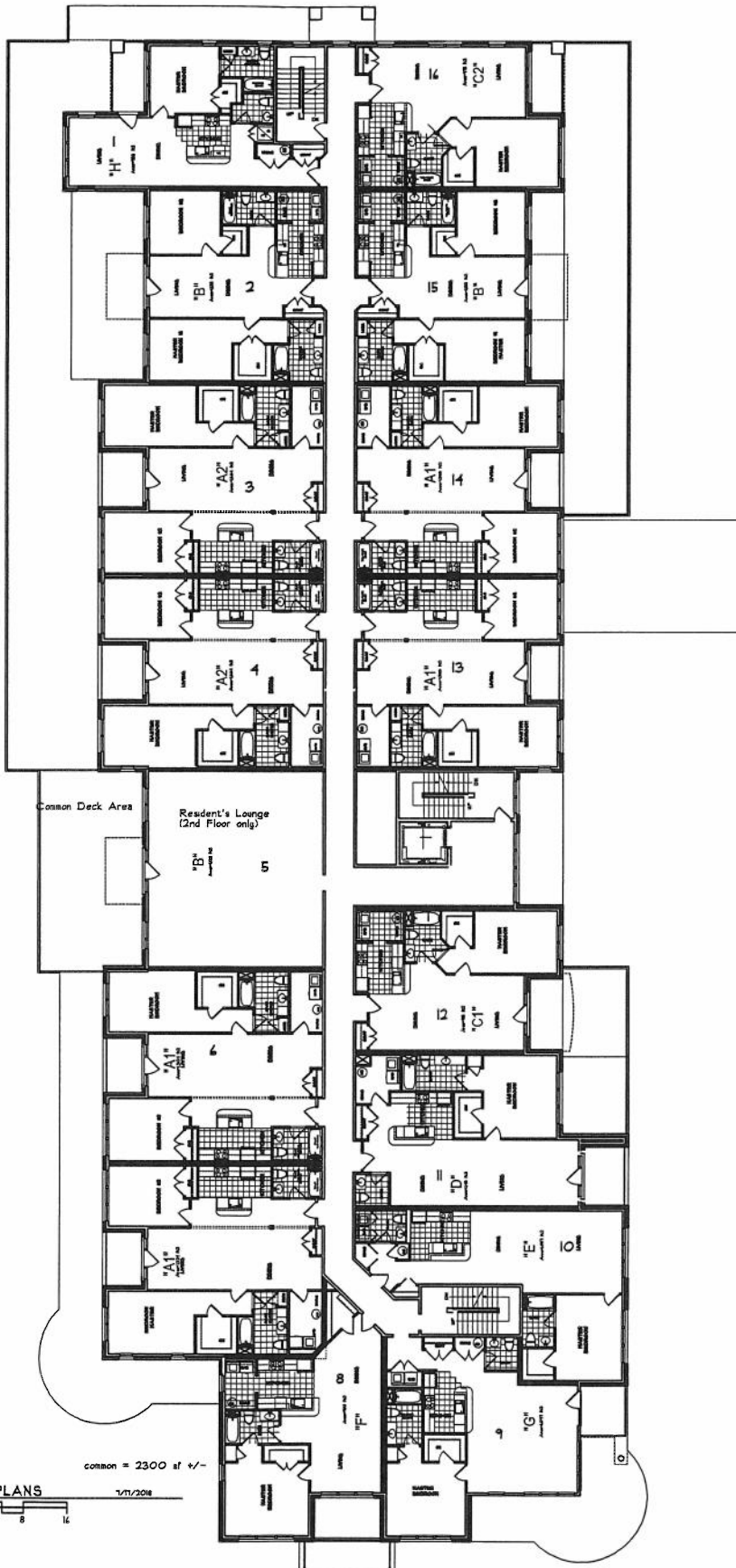
BASEMENT / FOUNDATION PLAN 2/4/2014
 REEVER DESIGN ASSOCIATES





1ST FLOOR PLAN
 REEVES DESIGN ASSOCIATES





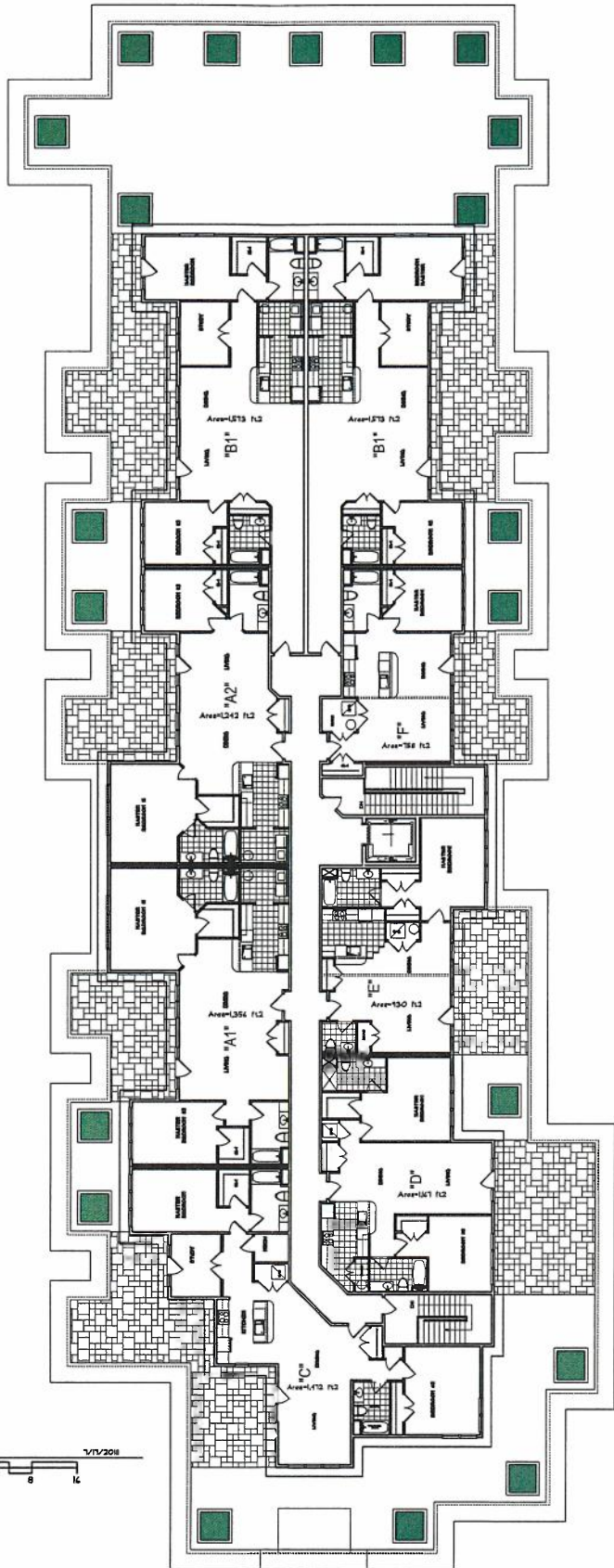
2ND thru 4TH FLOOR PLANS

REEVES DESIGN ASSOCIATES

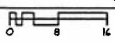


common = 2300 sf +/-

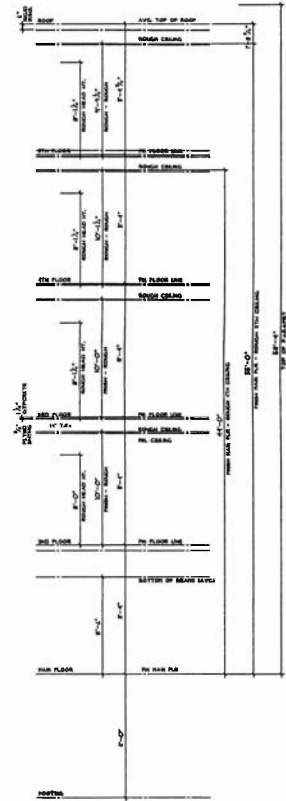
7/1/2018



5TH FLOOR PLAN
REEVES DESIGN ASSOCIATES



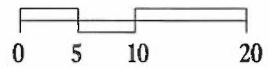
7/1/2018



MATERIALS STUDY for FRONT FACADE (Main Street) - Design Review

Reeves Design Associates

2/2/2018





57 MAIN STREET
CONCEPT SKETCH
VIEW from SOUTHEAST

Reeves Design Associates