



IN CITY COUNCIL

Marlborough, Mass., FEBRUARY 25, 2019
PAGE 1

ORDERED:

DECISION ON A SPECIAL PERMIT

AVALONBAY COMMUNITIES, INC.
0 Simarano Drive, Marlborough, MA

CITY OF MARLBOROUGH
CITY COUNCIL ORDER NO. 18/19-1007314G

The City Council of the City of Marlborough (the “**City Council**”) hereby **GRANTS** the Application for Special Permit of Applicant, as provided in this Special Permit Decision (the “**Special Permit**”) and **SUBJECT TO THE FOLLOWING FINDINGS OF FACT AND CONDITIONS:**

EVIDENCE

1. On May 21, 2018, AvalonBay Communities, Inc., a duly organized and existing Maryland corporation with a principal place of business of 600 Atlantic Avenue, 20th Floor, Boston, Massachusetts 02110 (the “**Applicant**”), filed with the City Clerk of the City of Marlborough, an Application for Special Permit (the “**Application**”) seeking authorization to construct: (i) 123 multifamily dwelling units; and (ii) parking and improvements associated therewith (collectively, the “**Project**”).
2. The Project is proposed on a property located on the corner of Simarano Drive and Forest Street in Marlborough, MA, more particularly identified on the City of Marlborough Assessor’s Maps as Parcel 1 on Map 100, and furthermore particularly shown as Lot 1D-4 on that certain plan entitled, “Plan of Land in Marlborough, Massachusetts (Middlesex County),” Scale: 1”= 100’, dated February 7, 2019, prepared by BSC Group, Inc. (the “**Site**”). Said Plan of Land is being submitted to the Marlborough Planning Board at its February 25, 2019 meeting; is subject to revision by the Marlborough DPW Engineering Division prior to any vote of endorsement by the Board; and, as may be so revised, is anticipated to be voted upon by the Board for endorsement purposes at its March 11, 2019 meeting. If and when said Plan of Land is so revised and endorsed, this Special Permit shall adopt said Plan of Land, with its latest date of revision, as identifying the Site for purposes of this Special Permit.
3. The Site is owned by Atlantic-Marlboro Realty LLC, a duly organized Delaware limited liability company (the “**Owner**”). The Owner has consented to the Applicant filing the Application.



IN CITY COUNCIL

Marlborough, Mass., FEBRUARY 25, 2019

PAGE 2

ORDERED:

4. The Site is located within the Results Way Mixed Use Overlay District (the “**RWMUOD**”), subject to § 650-33 of the Zoning Ordinance of the City of Marlborough (the “**Zoning Ordinance**”), which allows multifamily dwelling use up to 350 units as-of-right and in excess of 350 units pursuant to a Special Permit issued by the City Council.
5. In accordance with Zoning Ordinance § 650-33.C(1), on May 6, 2013 the City Council approved a Master Concept Plan setting forth the general development plan governing development in the RWMUOD, which Master Concept Plan is proposed by the Owner to be amended by a vote of the City Council scheduled for its February 25, 2019 regular meeting, and to be replaced with that certain plan entitled, “Marlborough Hills, Concept Master Plan,” dated January 23, 2019 (as so amended, the “**Amended Master Concept Plan**”).
6. In accordance with Zoning Ordinance § 650-33.C(2), on May 7, 2013 the City Council and the Owner entered into a Development Agreement setting forth restrictions, proposed phasing, and all required mitigation for development within the RWMUOD, including a one-time per-unit financial contribution associated with residential development within the RWMUOD (the “**Residential Development Contribution**”), which Development Agreement is proposed by the Owner to be amended by a vote of the City Council scheduled for its February 25, 2019 regular meeting (as so amended, the “**First Amendment to Development Agreement**”).
7. Pursuant to Site Plan Permit #SC-2013-0012 dated September 23, 2013, an affiliate of the Applicant constructed 350 multifamily dwelling units on adjacent property also located within the RWMUOD.
8. As a result, pursuant to Zoning Ordinance § 650-33.E(2)(a), the Project requires a Special Permit from the City Council because it involve the construction of a total number of multifamily dwelling units within the RWMUOD in excess of 350 units.
9. On May 21, 2018, the Building Commissioner, acting on behalf of the City Planner, provided to the City Council a Certificate of Completeness of Application as required by Paragraph 7 of the Rules and Regulations of Application/Petition for Special Permit set forth in Zoning Ordinance § 650-59.



IN CITY COUNCIL

Marlborough, Mass., FEBRUARY 25, 2019

PAGE 3

ORDERED:

10. The City Council held a public hearing on August 27, 2018, in compliance with the requirements of the Code of the City of Marlborough and by the provisions of M.G.L. Chapter 40A, as amended, and all necessary abutters were provided notice as required by law, as certified by the Office of the Board of Assessors of Marlborough. Following testimony by the Applicant and members of the public, the City Council closed the public hearing and the matter was referred to the Urban Affairs & Housing Committee. By agreement of the parties, the time for the Council to take final action on the Application has been extended to April 9, 2019.
11. The Urban Affairs Committee held open meetings on the matter on January 22, 2019 and February 4, 2019, following which the Urban Affairs Committee voted to recommend that the City Council approve the Application, as amended.
12. At each of the August 27, 2018 City Council public hearing and the January 22, 2019 and February 4, 2019, Urban Affairs Committee open meetings, the Applicant presented oral testimony and demonstrative evidence representing that the Project meets all applicable Special Permit criteria provided by M.G.L. Chapter 40A, as amended, and the Code of the City of Marlborough including, without limitation, Zoning Ordinance § 650-18(A)(4) and § 650-59, and that the use sought and its impact and characteristics are not in conflict with public health, safety, convenience and welfare and not detrimental nor offensive so long as the conditions, safeguards or limitations imposed herein are complied with.
13. Together with the Application, the Applicant submitted a plan set, including site plans and architectural plans, entitled, "Avalon Marlborough II, 200 Forest St. (Map 100, Parcel 1), Marlborough, MA - Application for Special Permit & Site Plan Approval," consisting of 39 sheets: T0.01-T0.03; ALTA/NSPS Land Title Survey - Lot 1D-3 (1 of 1); Civil Drawings: C1-C5, C6A-C6B, C7-C12; Landscape Drawings: L1.0, L2.0, L4.1, L5.2, L6.2, L7.1, L9.1, L10.0, L10.1, L11.0, L11.1, L11.2; D1.0, D5.0-D6.0; Architectural Drawings: A1.01-A1.07," prepared by H.W. Moore Associates, Inc. (Civil Engineer) and The Architectural Team, Inc. (Architect), dated May 17, 2018, last revised January 30, 2019 (the "Plans").
14. The Applicant has complied with all the Rules and Regulations promulgated by the City Council as they pertain to the Application.
15. The Plans are attached hereto as "Attachment A."



IN CITY COUNCIL

Marlborough, Mass., FEBRUARY 25, 2019

PAGE 4

ORDERED:

**BASED ON THE ABOVE EVIDENCE, THE MARLBOROUGH CITY COUNCIL
MAKES THE FOLLOWING FINDINGS OF FACT AND TAKES THE FOLLOWING
ACTIONS:**

FINDINGS OF FACT

- A. The Applicant has complied with all the Rules and Regulations promulgated by the City Council as they pertain to the Application for a Special Permit to construct the Project on the Site.
- B. All necessary fees for the proposed Special Permit have been paid.
- C. The Application was properly completed and filed by Applicant, and all necessary abutters were provided notice as required by law, as certified by the Assessor's Office of Marlborough prior to Application submission.
- D. The Plans accompanying the Application were completed in accordance with the all applicable Rules and Regulations.
- E. The Summary Impact Statement filed with the Application is sufficient for the Application and no further studies or requirements, other than the Traffic Impact Evaluation dated April 11, 2018 and conducted by VHB for the Applicant, are necessary.
- F. The City Department reports, as required by the Code of the City of Marlborough, have been received and incorporated as deemed appropriate by the City Council into this Special Permit.
- G. The uses sought by Applicant, and their impacts and characteristics, are not in conflict with the public health, safety, convenience and welfare and are not detrimental or offensive to the neighborhood, so long as the conditions, safeguards or limitations imposed herein are complied with; and further, the construction of the Project on the Site is appropriate for the Site and is in harmony with, and does not derogate from, the intent and purpose of M.G.L. Chapter 40A and/or the Zoning Ordinance for the City of Marlborough.
- H. The Project is consistent with the Amended Master Concept Plan and the First Amendment to Development Agreement.



IN CITY COUNCIL

Marlborough, Mass., FEBRUARY 25, 2019

PAGE 5

ORDERED:

GRANT OF SPECIAL PERMIT WITH CONDITIONS

The City Council, pursuant to its authority under M.G.L. Chapter 40A and the Code of the City of Marlborough, therefore **GRANTS** to the Applicant a Special Permit to construct the Project on the Site, **SUBJECT TO THE FOLLOWING CONDITIONS**, which shall pertain to Applicant, its parent company(ies), subsidiaries, successors and assigns:

CONDITIONS

1. The City Council conditions its approval of the Special Permit on its site plan review of the Project, as delegated in part to the Site Plan Review Committee for administrative site plan review as provided under Chapter 270 of the City Code entitled, "Building and Site Development." Conditions imposed by administrative site plan review, as approved by the City Council pursuant to Zoning Ordinance § 650-33.B(1), shall be conditions of this Special Permit, and any violations of those conditions shall be violations of this Special Permit. The Plans may be subject to further modification by the City Council to the extent allowed by the Code of the City of Marlborough; and insofar as so modified, would be subject to further administrative site plan review. Other conditions and limitations which are not inconsistent with any term or condition attached to this Special Permit may be imposed at the time of the final site plan approval by the City Council, and any violations of those conditions and limitations shall be violations of this Special Permit.
2. All plans, floor plans, photos, renderings, site evaluations, studies, reports, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.
3. All work performed at the Site under the Special Permit shall be in compliance with this Special Permit. No other building or construction under the Special Permit shall occur or happen without a change or modification of the Special Permit as approved by the City Council, except if the Building Commissioner deems a change to the Plans to be minor in nature as per General Provision 1 in the Site Plan Review Committee's recommended conditions.
4. Construction of the Project shall be in accordance with all applicable building codes currently in effect in the City of Marlborough. The Applicant shall comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of the Project.



IN CITY COUNCIL

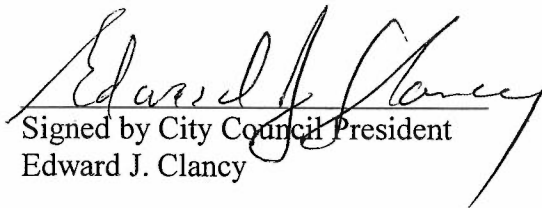
Marlborough, Mass., FEBRUARY 25, 2019
PAGE 6

ORDERED:

5. The Applicant shall satisfy all applicable conditions or mitigation requirements set forth in the First Amendment to Development Agreement, including the payment of the Residential Development Contribution associated with the additional 123 units included in the Project. In accordance with Zoning Ordinance § 650-33.C(2) and as contemplated by the First Amendment to Development Agreement, these payments shall be the only mitigation payments required for the construction, use or occupancy of the Project; provided, however, that for purposes of this Condition 5, the \$25,000 payment recited in Condition 22 of the Site Plan Review Committee's recommended conditions shall not be considered as a mitigation payment nor as any part of the Residential Development Contribution, but shall be considered as separate and distinct therefrom.
6. The architectural design of the Project shall be reasonably consistent with the architectural plans, floor plans and renderings submitted by Applicant to the City Council and the Urban Affairs Committee.
7. The exterior features of the Project, including landscaping, shall be maintained in good condition and shall be reasonably consistent with the plans submitted and representations made to the City Council.
8. In accordance with the provisions of M.G.L. c. 40A, § 11, the Applicant at its expense shall record this Special Permit in the Middlesex South District Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant shall apply to the Building Commissioner for a building permit concerning the Project. The Applicant shall provide a copy of the recorded Special Permit to the City Council's office, the Building Commissioner's office, and the City Solicitor's office.

Yea: 11 – Nay: 0

Yea: Delano, Doucette, Dumais, Tunnera, Irish, Clancy, Landers, Juairé, Oram, Ossing & Robey.


Signed by City Council President
Edward J. Clancy

ADOPTED
In City Council
18/19-1007314G
X 18/19-1007313B
X 18/19-1007315B

ATTACHMENT A

AVALON MARLBOROUGH II

200 FOREST STREET (MAP 100, PARCEL 1)
MARLBOROUGH, MA

APPLICATION FOR SPECIAL PERMIT & SITE PLAN APPROVAL



SUBMISSIONS :

| | |
|-------------------|--|
| May 17, 2018 | SPECIAL PERMIT & SITE PLAN APPROVAL SUBMISSION |
| October 09, 2018 | REVISED SPECIAL PERMIT & SITE PLAN APPROVAL SUBMISSION |
| December 12, 2018 | REVISED SPECIAL PERMIT & SITE PLAN APPROVAL SUBMISSION |
| January 30, 2019 | REVISED SPECIAL PERMIT & SITE PLAN APPROVAL SUBMISSION |

DEVELOPMENT TEAM :

| | |
|------------------------------|--|
| OWNER / APPLICANT | AVALONBAY COMMUNITIES, INC. 400 ATLANTIC AVE, 300 FLOOR BOSTON, MA 02116 PHONE # : 617.854.5000 FAX # : |
| ARCHITECT | THE ARCHITECTURAL TEAM, INC. 62 COMMONDANT'S WAY AT DORCHESTER HILL CHELSEA, MA 02150 PHONE # : 617.884.4329 FAX # : 617.884.4329 |
| CIVIL ENGINEER | H. W. MOORE ASSOCIATES & ASSOCIATES HANCOCK SURVEY ASSOCIATES, INC. 121 E. BERKELEY STREET, 4TH FLOOR BOSTON, MA 02118 PHONE # : 617.357.8145 FAX # : 617.357.8145 |
| LANDSCAPE ARCHITECT | HAWK DESIGN 30 PLEASANT STREET BOSTON, MA 02114 PHONE # : 617.242.6200 FAX # : 617.242.6218 |
| SURVEYOR | BSC GROUP 25 WELLS STREET WORCESTER, MA 01600 PHONE # : FAX # : |
| GEOTECHNICAL ENGINEER | SANDORF HEAD & ASSOCIATES, INC. 1 TECHNOLOGY PARK DRIVE WESTON, MA 01886 PHONE # : 978.262.5000 FAX # : 978.262.0907 |
| TRAFFIC ENGINEER | VANASSE HANGEN BRUSTIN, INC. 161 WALTON STREET WATERBURY, MA 02470 PHONE # : 617.424.1118 FAX # : |

SIGNATURE BLOCK :

RECOMMENDED BY SITE PLAN REVIEW COMMITTEE:

Kevin J. Breen, Fire Chief

DATE

David Giorgi, Police Chief

DATE

Thomas DiPersio, Jr, P.E. , City Engineer

DATE

Jeffrey Cooke, Building Commissioner / Acting City Planner

DATE

Priscilla Ryder, Conservation Officer

DATE

Cathleen Liberty, Director of Public Health

DATE

APPROVED BY MARLBOROUGH CITY COUNCIL:

Edward Clancy, City Council President

DATE

NOTE :
SEE DRAWING T0.02 FOR DRAWING PLAN INDEX.
SEE DRAWING C0 FOR LOCUS MAP.
SEE DRAWING C1 FOR ZONING SCHEDULE.

tat |
the architectural team

The Architectural Team, Inc.
50 Commondant's Way at Admiral's Hill
Chelsea MA 02150
T 617.884.4329
F 617.884.4329
www.architecturaltteam.com
©2011 The Architectural Team, Inc.

Consultant:

Revision:

| | |
|---|------------|
| 1 | 10/09/2018 |
| 2 | 12/12/2018 |
| 3 | 01/30/2019 |

Architect of Record:

Drawn: Y.Y

Checked: E.B.

Scale: NOT TO SCALE

Key Plan:

Project Name:
**AVALON
MARLBOROUGH II**

200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:
PROJECT COVER

Project Number:
17030

Issue Date:
May 17, 2018

Sheet Number:
T0.01

Tuesday, January 29, 2019 1:03:37 PM
P:\17030.00 - Avalon Marlborough II\Drawings\Working\CAD\01 - Title Sheet\TAT - 30x42 - Site Plan Approval Submission Revised_2018-12-24.dwg

Consultant:

Revision:

Architect of Record:



Drawn: Y.Y.

Checked: E.B.

Scale: AS NOTED

Key Plan:

Project Name:
**AVALON
MARLBOROUGH II**

200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:

**ARCHITECTURAL SITE
PLAN**

Project Number:

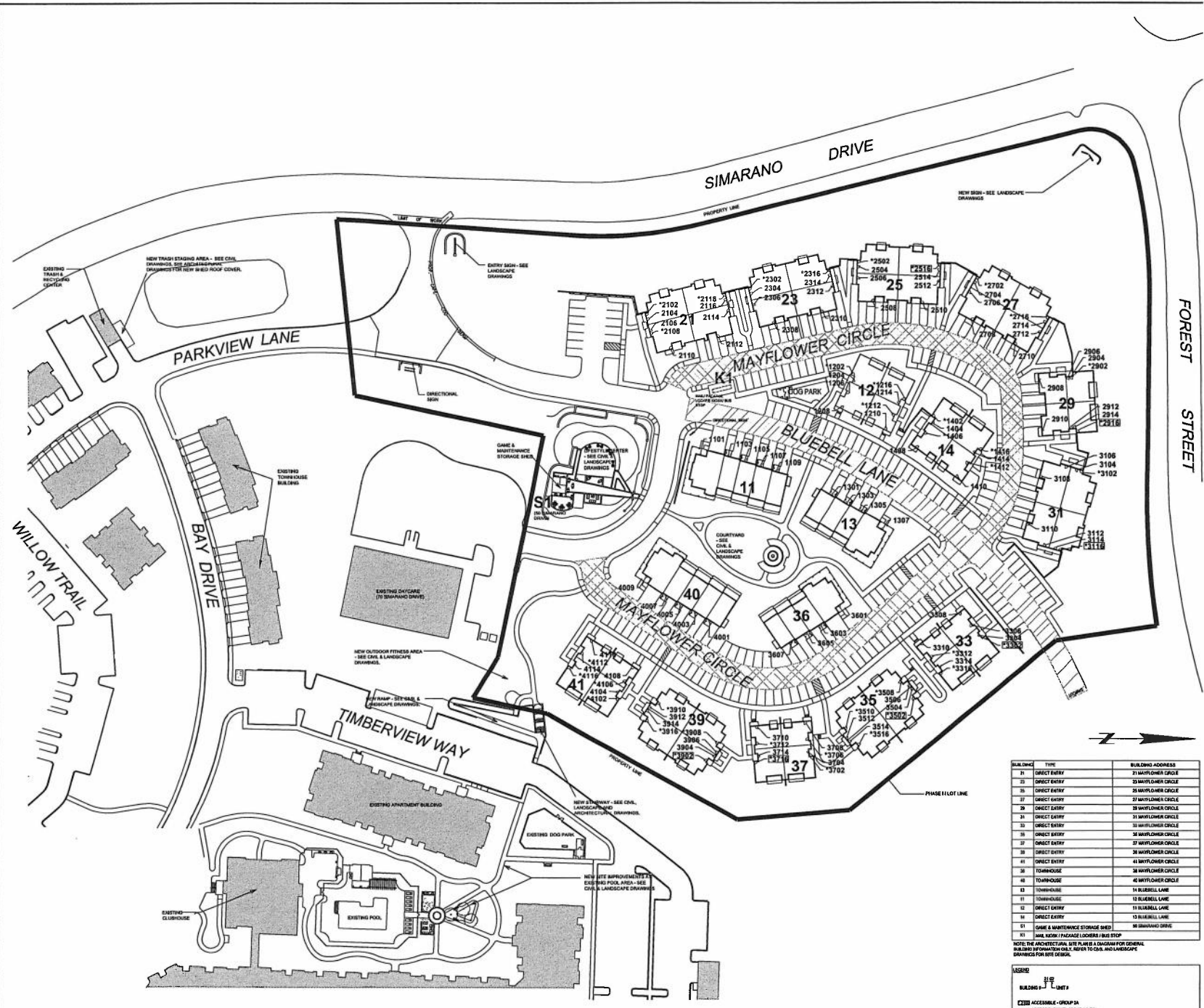
17030

Issue Date:

January 30, 2019

Sheet Number:

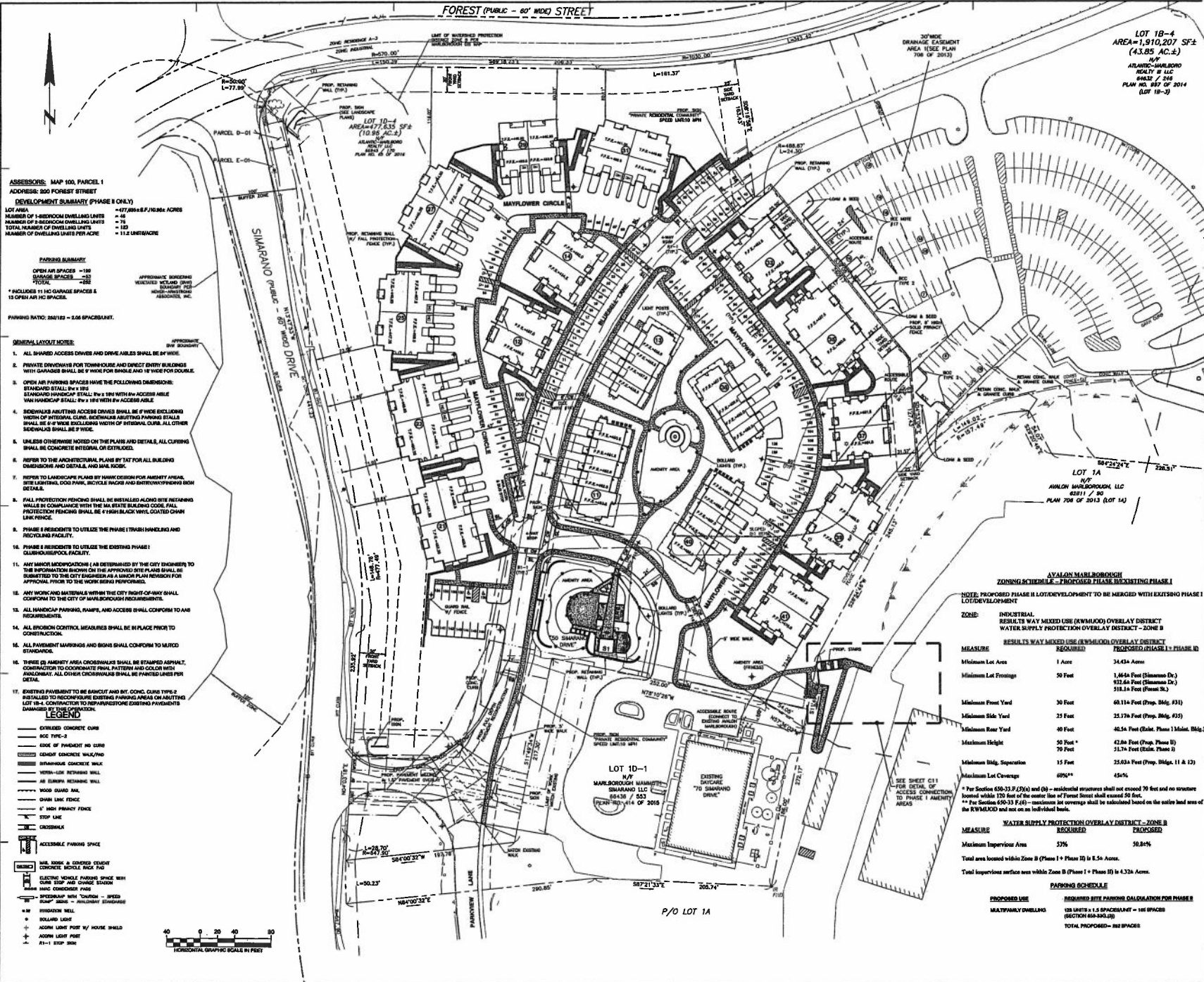
T0.03



| BUILDING | TYPE | BUILDING ADDRESS |
|----------|--|---------------------|
| 21 | DIRECT ENTRY | 21 MAYFLOWER CIRCLE |
| 22 | DIRECT ENTRY | 22 MAYFLOWER CIRCLE |
| 23 | DIRECT ENTRY | 23 MAYFLOWER CIRCLE |
| 24 | DIRECT ENTRY | 24 MAYFLOWER CIRCLE |
| 25 | DIRECT ENTRY | 25 MAYFLOWER CIRCLE |
| 26 | DIRECT ENTRY | 26 MAYFLOWER CIRCLE |
| 27 | DIRECT ENTRY | 27 MAYFLOWER CIRCLE |
| 28 | DIRECT ENTRY | 28 MAYFLOWER CIRCLE |
| 29 | DIRECT ENTRY | 29 MAYFLOWER CIRCLE |
| 30 | DIRECT ENTRY | 30 MAYFLOWER CIRCLE |
| 31 | DIRECT ENTRY | 31 MAYFLOWER CIRCLE |
| 32 | DIRECT ENTRY | 32 MAYFLOWER CIRCLE |
| 33 | DIRECT ENTRY | 33 MAYFLOWER CIRCLE |
| 34 | DIRECT ENTRY | 34 MAYFLOWER CIRCLE |
| 35 | DIRECT ENTRY | 35 MAYFLOWER CIRCLE |
| 36 | DIRECT ENTRY | 36 MAYFLOWER CIRCLE |
| 37 | DIRECT ENTRY | 37 MAYFLOWER CIRCLE |
| 38 | DIRECT ENTRY | 38 MAYFLOWER CIRCLE |
| 39 | DIRECT ENTRY | 39 MAYFLOWER CIRCLE |
| 40 | DIRECT ENTRY | 40 MAYFLOWER CIRCLE |
| 41 | TOWNHOUSE | 11 BLUEBELL LANE |
| 42 | TOWNHOUSE | 12 BLUEBELL LANE |
| 43 | TOWNHOUSE | 13 BLUEBELL LANE |
| 44 | TOWNHOUSE | 14 BLUEBELL LANE |
| 45 | TOWNHOUSE | 15 BLUEBELL LANE |
| 46 | TOWNHOUSE | 16 BLUEBELL LANE |
| 47 | TOWNHOUSE | 17 BLUEBELL LANE |
| 48 | TOWNHOUSE | 18 BLUEBELL LANE |
| 49 | TOWNHOUSE | 19 BLUEBELL LANE |
| 50 | TOWNHOUSE | 20 BLUEBELL LANE |
| 51 | GAME & MAINTENANCE STORAGE SHED | 50 SIMARANO DRIVE |
| 52 | MAIL ROOM / PAZAZZO LOCKERS / BUS STOP | |

NOTE: THE ARCHITECTURAL SITE PLAN IS A DIAGRAM FOR GENERAL BUILDING INFORMATION ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR SITE DESIGN.

| LEGEND |
|-------------------------|
| EXISTING |
| NEW |
| BUILDING FOOTPRINT |
| ACCESSIBLE GROUP 2A |
| ACCESSIBLE GROUP 1 & 2A |



ASSESSORS: MAP 100, PARCEL 1
ADDRESS: 800 FOREST STREET
DEVELOPMENT SUMMARY (PHASE II ONLY)
 LOT AREA = 437.88 ± SF (10.06 ± ACRES)
 NUMBER OF 1-BEDROOM DWELLING UNITS = 48
 NUMBER OF 2-BEDROOM DWELLING UNITS = 120
 TOTAL NUMBER OF DWELLING UNITS = 168
 NUMBER OF DWELLING UNITS PER ACRE = 11.2 UNITS/ACRE

PARKING SUMMARY
 OPEN AIR SPACES = 149
 GARAGE SPACES = 202
 TOTAL = 351
 * INCLUDES 11 IN-GARAGE SPACES & 19 OPEN AIR SPACE
 PARKING RATIO: 2.0212 - 3.08 SPACES/UNIT

GENERAL LAYOUT NOTES:

1. ALL SHARED ACCESS DRIVES AND DRIVE AISLES SHALL BE 14' WIDE.
2. PRIVATE DRIVEWAYS FOR TOWNHOUSE AND DIRECT ENTRY BUILDING WITH GARAGES SHALL BE 14' WIDE FOR SINGLE AND 18' WIDE FOR DOUBLE.
3. OPEN AIR PARKING SPACES HAVE THE FOLLOWING DIMENSIONS: STANDARD STALL 8' x 18', STANDARD HANDICAP STALL 9' x 18' WITH AN ACCESSIBLE VAN HANDICAP STALL 8' x 12' WITH AN ACCESSIBLE VAN.
4. SIDEWALKS ADJUTING ACCESS DRIVES SHALL BE 6' WIDE EXCLUDING WIDTH OF INTERNAL CURB. SIDEWALKS ADJUTING PARKING STALLS SHALL BE 6' WIDE EXCLUDING WIDTH OF SIDEWALK CURB. ALL OTHER SIDEWALKS SHALL BE 6' WIDE.
5. UNLESS OTHERWISE NOTED ON THE PLAN AND DETAILS, ALL CURBING SHALL BE CONCRETE, INTERIOR OR EXTERIOR.
6. REFER TO THE ARCHITECTURAL PLANS BY SET FOR ALL BUILDING DIMENSIONS AND DETAILS AND MAIL ROOMS.
7. REFER TO LANDSCAPE PLAN BY HANK DESIGN FOR AMBITY AREA, SITE LUMBERAL, GOLF PARK, BICYCLE RACKS AND ENTRYWAY/FRONTYARD SIGN DETAILS.
8. FALL PROTECTION FENCING SHALL BE INSTALLED ALONG SITE PERIMETER WALLS IN COMPLIANCE WITH THE MASS BULLETIN CODE. FALL PROTECTION FENCING SHALL BE 4' HIGH BLACK W/SLATED OPAW LINK FENCE.
9. PHASE I RESIDENTS TO UTILIZE THE PHASE I TRASH HANDLING AND RECYCLING FACILITY.
10. PHASE I RESIDENTS TO UTILIZE THE EXISTING PHASE I CLUBHOUSE/POOL FACILITY.
11. ANY MAJOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION BELOW ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MAJOR PLAN REVISION FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
12. ANY WORK AND MATERIALS WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
13. ALL HANDICAP PARKING, RAMP, AND ACCESS SHALL CONFORM TO AHS REQUIREMENTS.
14. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
15. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD STANDARDS.
16. TRAFFIC IS AMBITY AREA CROSSINGS SHALL BE STAMPED ASPHALT, CONTRACTOR TO COORDINATE FINAL PATTERN AND COLOR WITH ALLOWANCE. ALL OTHER CROSSINGS SHALL BE PAVED LINES PER DETAIL.
17. EXISTING PAVEMENT TO BE BARICUT AND BIT, CONC. CURB TYPE 2 INSTALLED TO RECONSTRUCT EXISTING PARKING AREAS ON ADJUTING LOT 18-A. CONNECTION TO RECONSTRUCTED EXISTING PAVEMENTS DAMAGED BY EROSION.


LOT 18-A
 AREA = 1,919,237 SF ±
 (43.85 AC. ±)
 N/P
 AVALON-MARLBOROUGH
 REALTY LLC
 6612 / 24E
 PLAN NO. 807 OF 2014
 (LOT 18-B)

tat
 the architectural team

The Architectural Team, Inc.
 50 Comaundant's Way at Admiral's Hill
 Chelsea MA 02150
 T 617.889.4402
 F 617.884.4329
 www.architecturaltteam.com
 0851 The Architectural Team, Inc.

Consultant:
H.W. Moore
 A S S O C I A T E S, I N C.
 CIVIL ENGINEERING/LAND PLANNING
 A Division of Henselkinson Associates
 151 E Berkeley Street
 Boston, MA 02118
 Tel: 617-347-6146
 Fax: 617-347-6066

Revision:
 1 10-09-2014 ADD MINORLY CORRECTIONS TO IMPROVE LOT 18-A
 2 11-16-2014 ADD PAVEMENT UNDERLAYMENT, GENERAL REVISIONS
 3 11-16-2014 REVISIONS TO TRAFFIC SIGN PLAN, REVISIONS TO TRAFFIC SIGN PLAN
 4 11-16-2014 REVISIONS TO TRAFFIC SIGN PLAN, REVISIONS TO TRAFFIC SIGN PLAN
 5 11-16-2014 REVISIONS TO TRAFFIC SIGN PLAN, REVISIONS TO TRAFFIC SIGN PLAN
 6 11-16-2014 REVISIONS TO TRAFFIC SIGN PLAN, REVISIONS TO TRAFFIC SIGN PLAN

Engineer of Record:

 James H. Moore
 Professional Engineer
 State of Massachusetts

Drawn:
 Checked:
 Scale: 1"=40'
 Key Plan:

Project Name:
Avalon Marlborough II

Marlborough, MA

Sheet Name:

LAYOUT PLAN

Project Number:
17030

Issue Date:
May 17, 2018

Sheet Number:
C1

ZONING SCHEDULE - AVALON MARLBOROUGH PHASE I LOT DEVELOPMENT

NOTE: PROPOSED PHASE II LOT DEVELOPMENT TO BE MERGED WITH EXISTING PHASE I LOT DEVELOPMENT

ZONE: INDUSTRIAL RESULTS WAY MIXED USE (RW/MUDD) OVERLAY DISTRICT
 WATER SUPPLY PROTECTION OVERLAY DISTRICT - ZONE B

MEASURE RESULTS WAY MIXED USE (RW/MUDD) OVERLAY DISTRICT
 REQUIRED: PROPOSED PHASE I PHASE II

| | | |
|--------------------------|-----------|---|
| Minimum Lot Area | 1 Acre | 24,624 Acres |
| Minimum Lot Frontage | 50 Feet | 1,664 Feet (Simpson Dr) 932 Feet (Simpson Dr) 518 Feet (Forest St.) |
| Minimum Front Yard | 30 Feet | 60.114 Feet (Prop. Bldg. #31) |
| Minimum Side Yard | 25 Feet | 25.174 Feet (Prop. Bldg. #32) |
| Minimum Rear Yard | 40 Feet | 40.54 Feet (Euler, Phase I Main Bldg.) |
| Maximum Height | 50 Feet * | 42.60 Feet (Prop. Phase II) 70 Feet (Prop. Phase I) |
| Minimum Sldg. Separation | 15 Feet | 25.632 Feet (Prop. Bldgs. II & I2) |
| Minimum Lot Coverage | 80%* | 45% |

* Per Section 550-33 F(5)(A) and (6) - residential structures shall not exceed 70 feet and no structure located within 250 feet of the center line of Forest Street shall exceed 50 feet.
 ** Per Section 550-33 F(6) - maximum lot coverage shall be calculated based on the entire land area of the RW/MUDD and not on an individual basis.

WATER SUPPLY PROTECTION OVERLAY DISTRICT - ZONE B

MEASURE REQUIREMENTS
 Maximum Impervious Area 57% 50.84%
 Total area located within Zone B (Phase I + Phase II) is 8.54 Acres.
 Total impervious surface area within Zone B (Phase I + Phase II) is 4.324 Acres.

PARKING SCHEDULE

| | |
|----------------------|---|
| PROPOSED USE | INDUSTRIAL SITE PARKING CALCULATION FOR PHASE II |
| MULTIFAMILY DWELLING | 128 UNITS x 1.8 SPACES/UNIT = 230 SPACES (SECTION 650-34D)(2) |
| | TOTAL PROPOSED = 232 SPACES |

Project No. 17030 - Avalon Marlborough II - Phase II - Lot 18-A
 Date: 5/17/2018
 Scale: 1"=40'
 5/17/2018
 H.W. Moore
 151 E Berkeley Street
 Boston, MA 02118
 Tel: 617-347-6146
 Fax: 617-347-6066
 www.henselkinson.com
 0851 Henselkinson Associates
 A Division of Henselkinson Associates

FOREST (PUBLIC) 60' WIDE STREET


LOT 1B-4
AREA=1,910,207 SF±
(43.65 AC.±)
N/T
ATLANTIC-MARLBOROUGH
REalty II LLC
#4833 / 246
PLAN NO. 307 OF 2014
(LOT 1B-3)

tat
the architectural team

The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.869.4022
F 617.864.4329
www.architecturalteam.com
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Consultant:
H.W. Moore
ASSOCIATES, INC.
ONE Development Lane, Suite 400
A Division of Thomas Associates
125 E. Bayshore Street
Boston, MA 02116
Tel: 617-552-9442
Tel: 617-552-9443

Revision:
1 10-09-2014 ADD GENERAL CONNECTION TO ADDRESS EOT 15.
2 11-16-2014 OBSERVATION PORTS TO
3 11-08-2014 BLOCK "B" 11, 14, 15 WINDOW METAL WORK,
4 10-13-2014 SITE PLAN REVIEW COMMITTEE COMMENTS
5 01-23-2015 SITE PLAN REVIEW COMMITTEE COMMENTS

Engineer of Record:


Drawn:
Checked:
Scale: 1"=40'
Key Plan:

Project Name:
Avalon Marlborough II

Marlborough, MA

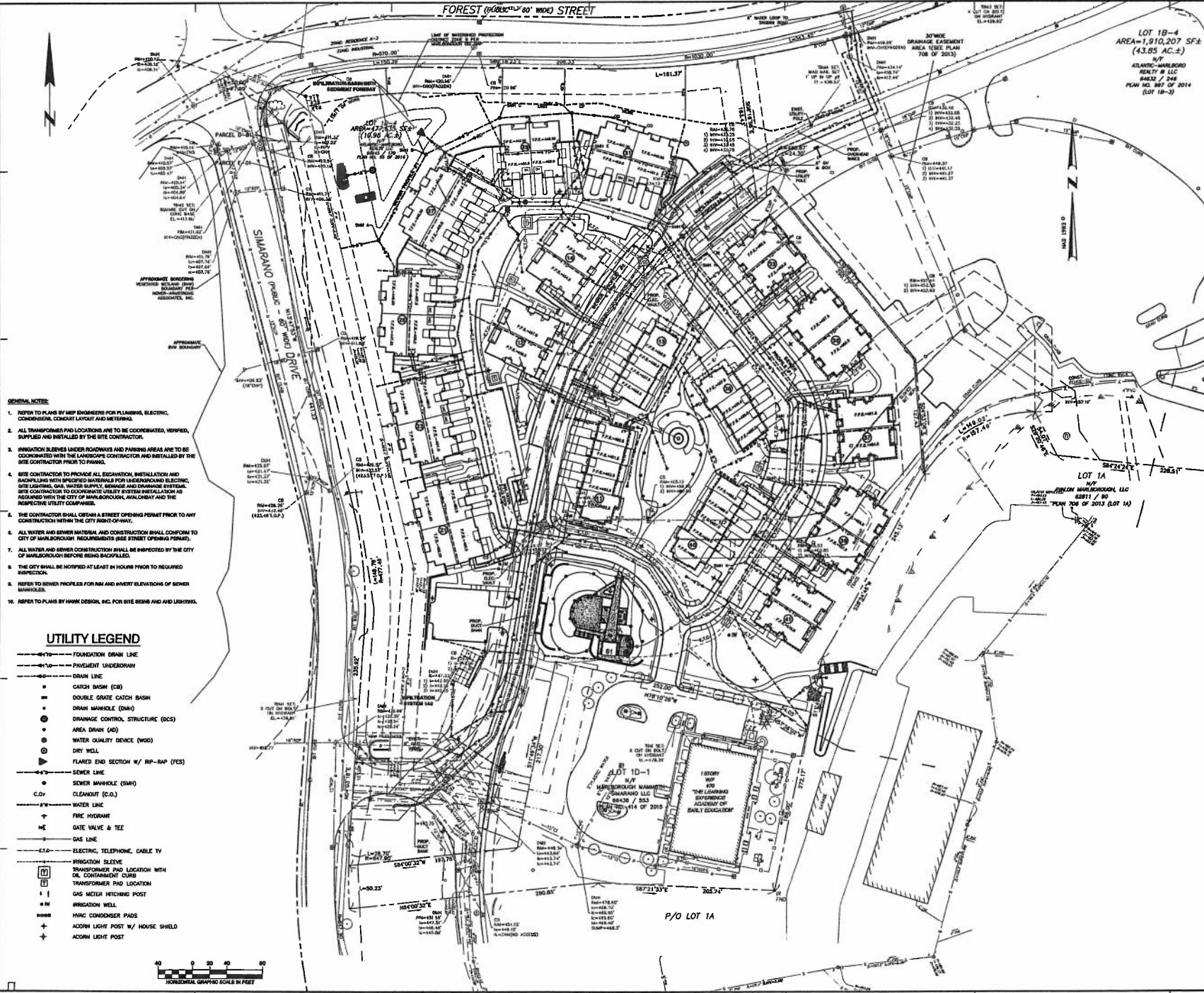
Sheet Name:

UTILITY PLAN

Project Number:
17030

Issue Date:
May 17, 2018

Sheet Number:
C2



- GENERAL NOTES:**
- REFER TO PLANS BY MEP ENGINEERS FOR PLUMBING, ELECTRIC, CONDENSER, CONDUIT LAYOUT AND SCHEDULING.
 - ALL TRANSFORMER PAD LOCATIONS ARE TO BE COORDINATED, VERIFIED, SUPPLIED AND INSTALLED BY THE SITE CONTRACTOR.
 - IRRIGATION SLEEVES UNDER ROADWAYS AND PARKING AREAS ARE TO BE COORDINATED WITH THE LANDSCAPE CONTRACTOR AND INSTALLED BY THE SITE CONTRACTOR PRIOR TO PAVING.
 - SITE CONTRACTOR TO PROVIDE ALL EXCAVATION, INSTALLATION AND SCHEDULING WITH SPECIFIED MATERIALS FOR UNDERGROUND ELECTRIC, GAS, WATER, GAS, WATER SUPPLY, SEWERAGE AND DRAINAGE SYSTEMS. SITE CONTRACTOR TO COORDINATE UTILITY SYSTEMS WITH THE CITY OF MARLBOROUGH, MASSACHUSETTS AND THE RESPECTIVE UTILITY COMPANIES.
 - THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
 - ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT).
 - ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BEING BACKFILLED.
 - THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO REQUIRED INSPECTION.
 - REFER TO SEWER PROFILES FOR RIM AND INVERT ELEVATIONS OF SEWER MANHOLES.
 - REFER TO PLANS BY MARK DESIGN, INC. FOR SITE SIGN AND LIGHT FIXTURES.

UTILITY LEGEND

- FOUNDATION DRAIN LINE
- PAVEMENT UNDERDRAIN
- DRAIN LINE
- CATCH BASIN (CB)
- DOUBLE GRATE CATCH BASIN
- DRAIN MANHOLE (DMH)
- DRAINAGE CONTROL STRUCTURE (DCS)
- AREA DRAIN (AD)
- WATER QUALITY DEVICE (WQD)
- DRY WELL
- FLARED END SECTION W/ RIP-RAP (FES)
- SEWER LINE
- SEWER MANHOLE (SMH)
- CLEANOUT (C.O.)
- WATER LINE
- FIRE HYDRANT
- GATE VALVE & TEE
- GAS LINE
- ELECTRIC, TELEPHONE, CABLE TV
- IRRIGATION SLEEVE
- TRANSFORMER PAD LOCATION WITH OIL CONTAINMENT CURB
- TRANSFORMER PAD LOCATION
- GAS METER HITCHING POST
- IRRIGATION WELL
- HVAC CONDENSER PADS
- ACORN LIGHT POST W/ HOUSE SHIELD
- ACORN LIGHT POST



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FOREST (60'-0" WIDE) STREET

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Revision:
1 10-06-2018 ADD REMOVAL CONNECTION TO EXISTING TOP OF 18"
2 11-15-2018 OBSERVATION POINTS TO
3 11-29-2018 BLOCK 11, 12, 13 & 14 RESPONSE REVIEW BLOCK
4 12-14-2018 SPECIAL DRIVING LINE OF SIGHT
5 12-15-2018 SITE PLAN REVIEW COMMITTEE COMMENTS
6 01-09-2019 SITE PLAN REVIEW COMMITTEE COMMENTS

Engineer of Record:



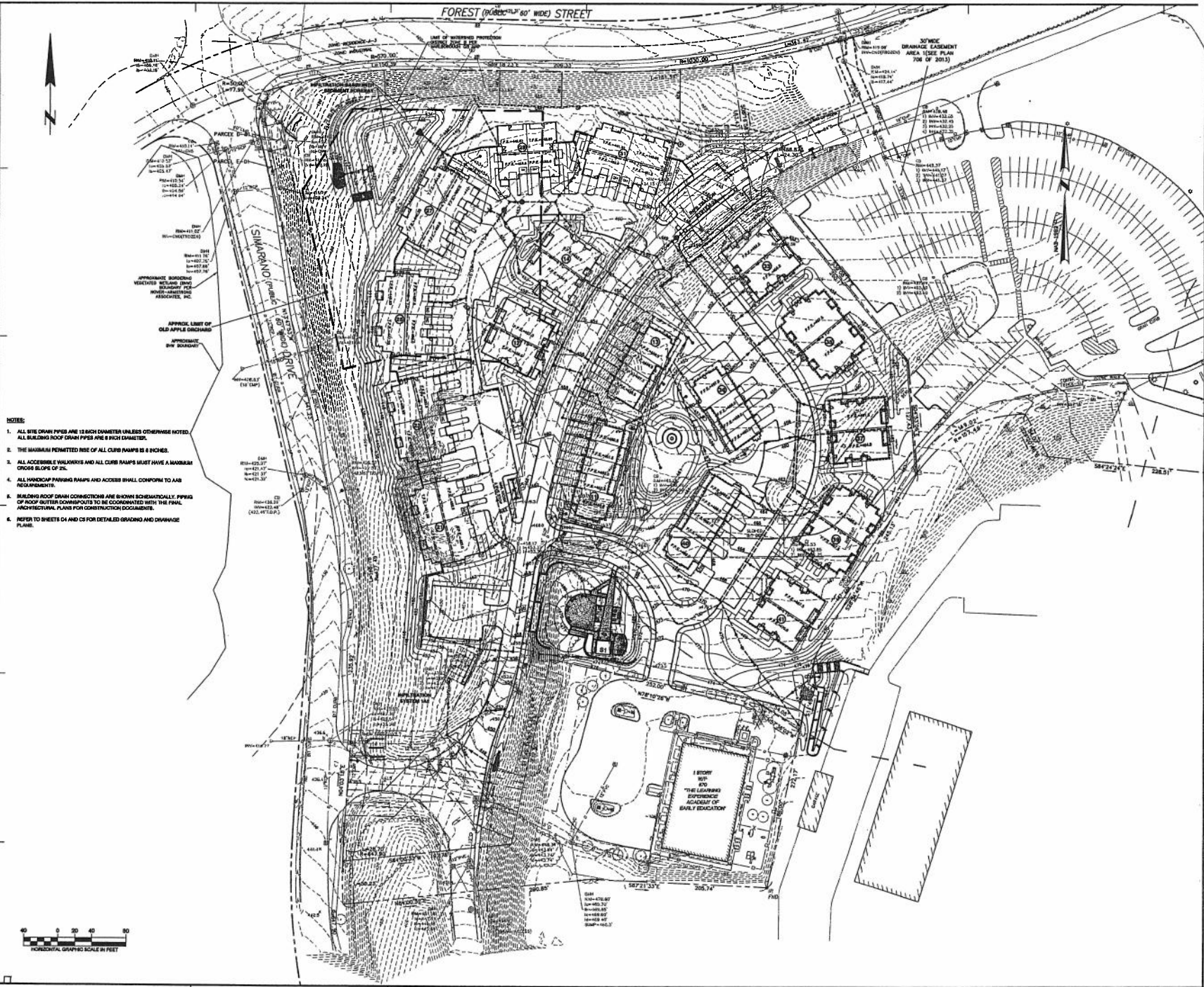
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Scale: 1"=40'
Key Plan:

Project Name:
Avalon Marlborough II

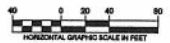
Marlborough, MA

Sheet Name:
**OVERALL
GRADING &
DRAINAGE PLAN**

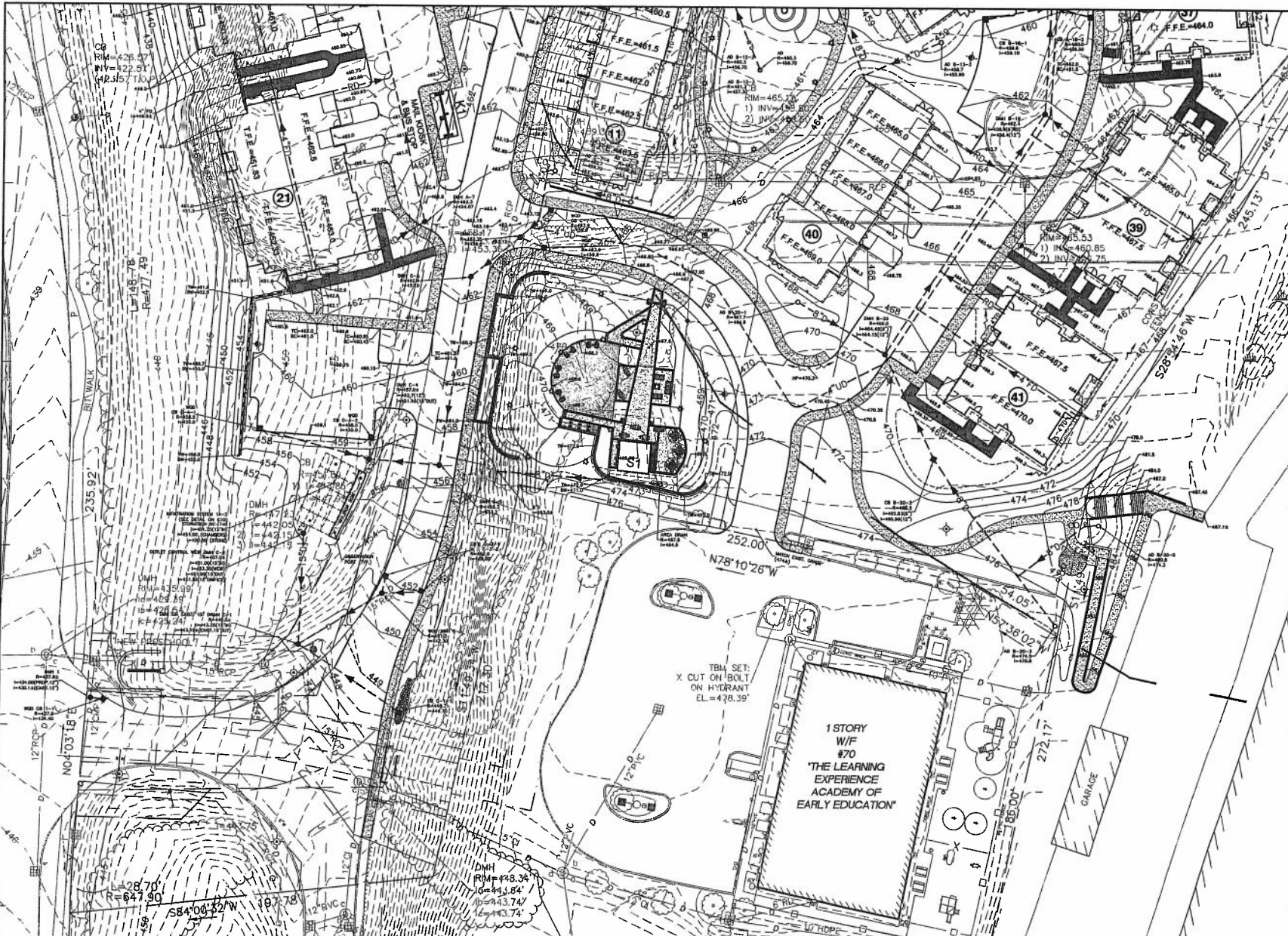
Project Number:
17030
Issue Date:
May 17, 2018
Sheet Number:
C3



- NOTES:
1. ALL SITE DRAIN PIPES ARE 12 INCH DIAMETER UNLESS OTHERWISE NOTED. ALL BUILDING ROOF DRAIN PIPES ARE 8 INCH DIAMETER.
 2. THE MAXIMUM PERMITTED RISE OF ALL CURB RAMPS IS 8 INCHES.
 3. ALL ACCESSIBLE WALKWAYS AND ALL CURB RAMPS MUST HAVE A MINIMUM CROSS SLOPE OF 2%.
 4. ALL HANDICAP PARKING RAMPS AND ACCESS SHALL CONFORM TO AAS AND STANDARDS.
 5. BUILDING ROOF DRAIN CONNECTIONS ARE SHOWN SCHEMATICALLY. PIPING OF ROOF GUTTER DOWNPOINTS TO BE COORDINATED WITH THE FINAL ARCHITECTURAL PLANS FOR CONSTRUCTION OCCASIONS.
 6. REFER TO SHEETS D4 AND D5 FOR DETAILED GRADING AND DRAINAGE PLANS.



DATE PLOTTED: 05/17/2018 10:58:11 AM. PLOTTER: HP DesignJet 2400. PLOT SCALE: 1"=40'. PLOT SHEET: C3 OF 10.



- NOTES:**
1. ALL SITE DRAIN PIPES ARE 12 INCH DIAMETER UNLESS OTHERWISE NOTED. ALL BUILDING ROOF DRAIN PIPES ARE 8 INCH DIAMETER, ALL AREA DRAIN PIPES ARE 6 INCH DIAMETER.
 2. THE MAXIMUM PERMITTED PISE OF ALL CURB RAMPS IS 6 INCHES.
 3. ALL ACCESSIBLE WALKWAYS AND ALL CURB RAMPS MUST HAVE A MAXIMUM CROSS SLOPE OF 2%.
 4. ALL HANDICAP PARKING RAMPS AND ACCESS SHALL CONFORM TO ADA REQUIREMENTS.
 5. BUILDING ROOF DRAIN CONNECTIONS ARE SHOWN SCHEMATICALLY. PIPING OF ROOF GUTTER DOWNPOUTS TO BE COORDINATED WITH THE FINAL ARCHITECTURAL PLANS FOR CONSTRUCTION DOCUMENTS.
 6. CONTRACTOR TO COORDINATE FOUNDATION DRAINS (FFDs) WITH STRUCTURAL DRAWINGS.



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- Revision:
1. 10-06-2018 ADD SERVICE CONNECTION TO SUPPLEMENT BLDG AND PARTIAL UNDERGROUND, GENERAL REVISION
 2. 11-06-2018 CORRECTING PORTS TO INFILTRATION SYSTEM IN EXISTING UNDERGROUND
 3. 11-06-2018 ADD 12" RCP TO EXISTING RETAINMENT WALL, RELOC GRADING, DIMENSIONAL LIST OF WORK
 4. 12-13-2018 SITE PLAN REVIEW COMMITTEE COMMENTS
 5. 01-09-2019 SITE PLAN REVIEW COMMITTEE COMMENTS

Engineer of Record:

James H. Moore

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Scale: 1"=20'
Key Plan:

Project Name:
Avalon Marlborough II

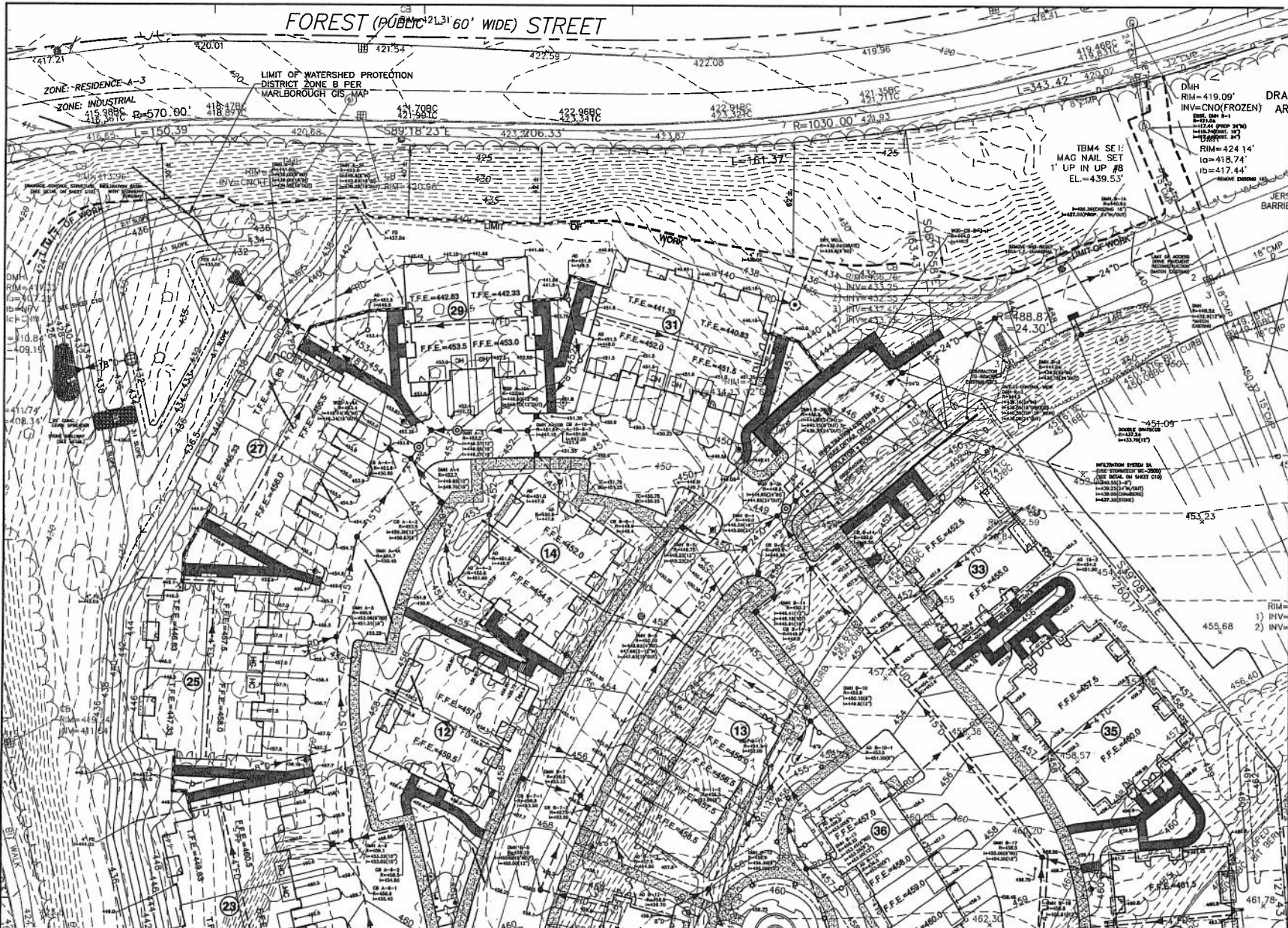
Marlborough, MA

Sheet Name:
DETAILED GRADING & DRAINAGE PLAN

Project Number:
17030

Issue Date:
May 17, 2018

Sheet Number:
C4



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Revision:

- 10-09-2011 ADD SEWER CONNECTION TO EXISTING LOT 18-A. OBSERVATION POINTS TO EXISTING SEWER MAIN.
- 11-05-2011 ADD FINISH FLOOR ELEVATIONS TO ALL EXISTING AND NEW BUILDINGS. ADD FINISH FLOOR ELEVATIONS TO ALL EXISTING AND NEW BUILDINGS. PART OF WORK.
- 12-12-2011 SITE PLAN COMMITTEE REVIEW.
- 01-25-2012 SITE PLAN REVIEW COMMITTEE COMMENTS.

Engineer of Record:

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Key Plan:

1) INV = _____

2) INV = _____

Project Name:
Avalon Marlborough II

Marlborough, MA

Sheet Name:
**DETAILED
GRADING &
DRAINAGE PLAN**

Project Number:
17030

Issue Date:
May 17, 2018

Sheet Number:
C5

- NOTES:**
1. ALL SITE DRAIN PIPES ARE 18 INCH DIAMETER UNLESS OTHERWISE NOTED. ALL BUILDING ROOF DRAIN PIPES ARE 6 INCH DIAMETER. ALL AREA DRAIN PIPES ARE 8 INCH DIAMETER.
 2. THE MAXIMUM PERMITTED RISE OF ALL CURB RAMPS IS 8 INCHES.
 3. ALL ACCESSIBLE WALKWAYS AND ALL CURB RAMPS MUST HAVE A MAXIMUM CROSS SLOPE OF 5%.
 4. ALL HANDICAP PARKING RAMPS AND ACCESS SHALL CONFORM TO AAS REQUIREMENTS.
 5. BUILDING ROOF DRAIN CONNECTIONS ARE SHOWN SCHEMATICALLY. PIPES OF ROOF BUTTER DOWNSPOUTS TO BE COORDINATED WITH THE FINAL ARCHITECTURAL PLANS FOR CONSTRUCTION DOCUMENTS.
 6. CONTRACTOR TO COORDINATE FOUNDATION DRAINS (479) WITH STRUCTURAL DRAWINGS.



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FOREST (PUBLIC - 60' WIDE) STREET

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Revision:
1 01-30-2019 SITE PLAN REVIEW COMMITTEE COMMENTS

Engineer of Record:



Drawn:

Checked:

Scale: 1"=40'

Key Plan:

Project Name:
Avalon Marlborough II

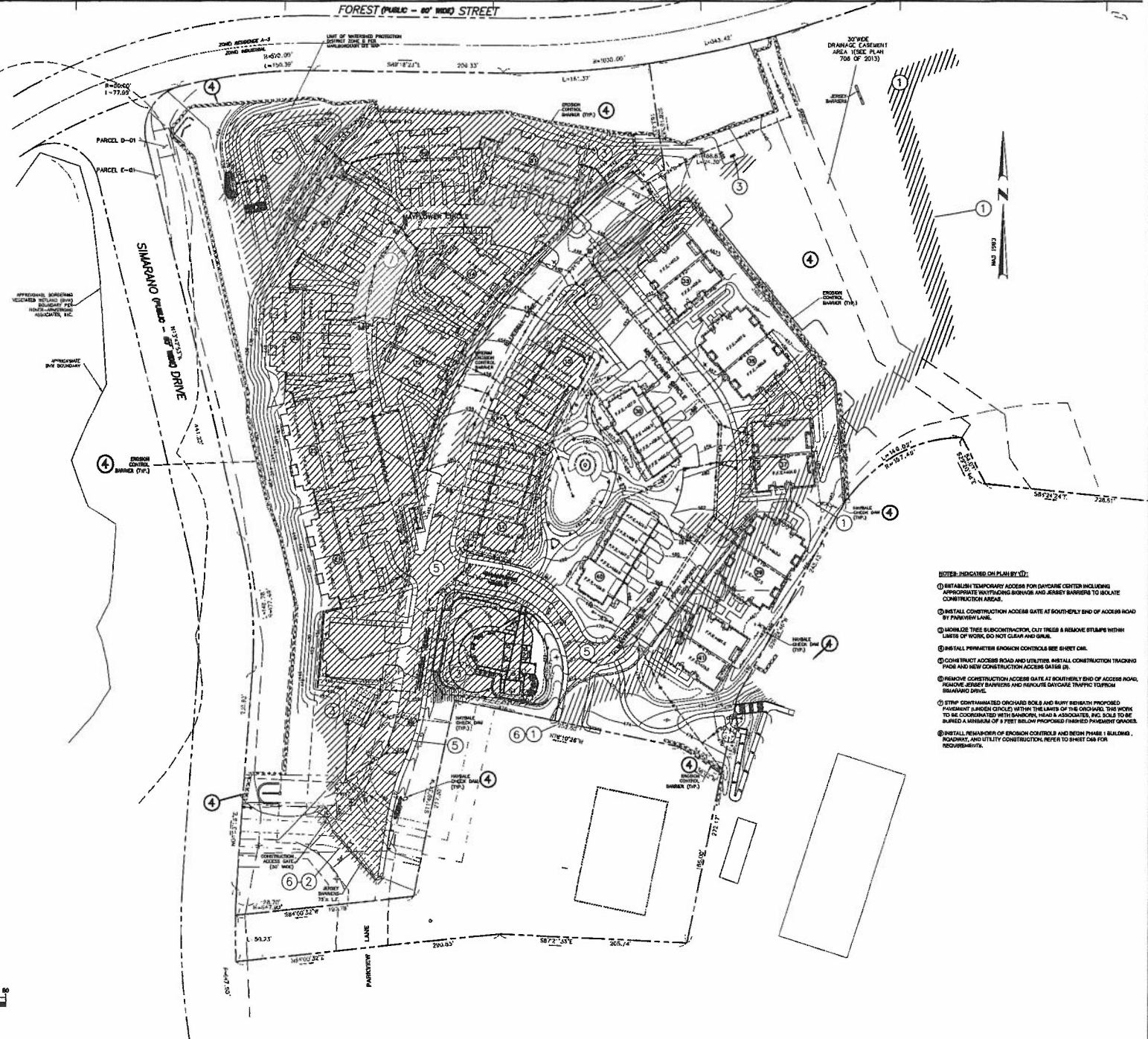
Marlborough, MA

Sheet Name:
**CONSTRUCTION
LOGISTICS
PLAN**

Project Number:
17030

Issue Date:
January 9, 2019

Sheet Number:
C6A



- NOTES INDICATED ON PLAN BY (1):
- 1) ESTABLISH TEMPORARY ACCESS FOR DAYCARE CENTER INCLUDING APPROPRIATE WAFFLING BARRIERS AND JERSEY BARRIERS TO ISOLATE CONSTRUCTION AREAS.
 - 2) INSTALL CONSTRUCTION ACCESS GATE AT SOUTHERLY END OF ACCESS ROAD BY PARKVIEW LANE.
 - 3) KNOWLEDGE TREE SUBCONTRACTOR CUT TREES & REMOVE STUMPS WITHIN LIMITS OF WORK. DO NOT CLEAR AND GRASS.
 - 4) INSTALL PERIMETER EROSION CONTROLS SEE SHEET C61.
 - 5) CONSTRUCT ACCESS ROAD AND UTILIZE INSTALL CONSTRUCTION TRACKING PADS AND NEW CONSTRUCTION ACCESS GATES (2).
 - 6) REMOVE CONSTRUCTION ACCESS GATE AT SOUTHERLY END OF ACCESS ROAD, REMOVE EROSION BARRIERS AND RELOCATE DAYCARE TRAFFIC TO FROM SHAWANO DRIVE.
 - 7) STOP CONTAMINATED DRIVELAND SOILS AND RUFFY SIDEWALK PROPOSED PAVEMENT LARGER CIRCLES WITHIN THE LANE OF THE DRIVEWAY. THE WORK TO BE COORDINATED WITH SHAWANO, HEAR & ASSOCIATES, INC. SOILS TO BE SURFED A MINIMUM OF 3 FEET BELOW PROPOSED FINISHED PAVEMENT GRADES.
 - 8) INSTALL REINFORCEMENT OF EROSION CONTROLS AND BENCH PHASE 1 BUILDING, ROADWAY, AND UTILITY CONSTRUCTION REFER TO SHEET C64 FOR REQUIREMENTS.



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FOREST (PUBLIC - 80' WIDE) STREET


30' WIDE DRAINAGE EASEMENT AREA (SEE PLAN 708 OF 2013) (L=454.62)

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Revision:
1 10-09-2018 ADD EROSION CONTROL TO ALL PHASE 1 & 2 ADD PAVEMENT LANDSCAPING, GENERAL REVISION
2 11-15-2018 REVISIONS TO THE TRACKING SYSTEM
3 11-29-2018 TRACKING SYSTEM REVISIONS, REVISIONS TO THE TRACKING SYSTEM, TRACKING SYSTEM, TRACKING SYSTEM, TRACKING SYSTEM
4 12-13-2018 SITE PLAN COMMITTEE REVIEW
5 01-04-2019 COORD. WITH CITY, SHEET NO. 1
6 01-08-2019 SITE PLAN REVIEW COMMITTEE COMMENTS

Engineer of Record:


Drawn:
Checked:
Scale: 1"=40'
Key Plan:

Project Name:
Avalon Marlborough II

Marlborough, MA

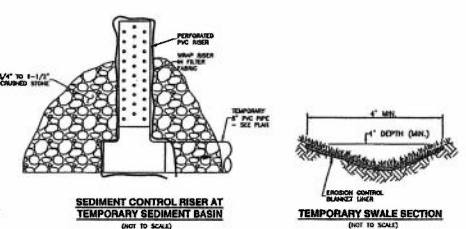
Sheet Name:
EROSION CONTROL PLAN

Project Number:
17030

Issue Date:
May 17, 2018

Sheet Number:
C6B

- SITE PREPARATION NOTES:**
1. PRIOR TO CONSTRUCTION, AN EROSION CONTROL BARRIERS SYSTEM OF STAINLESS STEEL SHALL BE STALLED ALONG THE TOP OF ALL SLOPES AND TERRACES AS SHOWN ON THE PLAN TO PREVENT EROSION AND PROTECT THE PLAN OF EROSION CONTROL. THE SYSTEM SHALL BE INSTALLED AS SHOWN ON THE PLAN TO PREVENT EROSION AND PROTECT THE PLAN OF EROSION CONTROL. THE SYSTEM SHALL BE INSTALLED AS SHOWN ON THE PLAN TO PREVENT EROSION AND PROTECT THE PLAN OF EROSION CONTROL.
 2. NO EROSION CONTROL OR ALTERNATIVE SHALL OCCUR BEYOND THE PERMITS EROSION CONTROL BARRIERS. THESE SYSTEMS ARE THE LAST OF MANY EROSION CONTROL BARRIERS. THERE SHALL BE SUFFICIENT OVERLAP OF ADJACENT EROSION CONTROL SYSTEMS TO PREVENT EROSION. ACCORDINGLY, EROSION CONTROL SHALL BE INSTALLED AS SHOWN ON THE PLAN TO PREVENT EROSION AND PROTECT THE PLAN OF EROSION CONTROL. THE SYSTEM SHALL BE INSTALLED AS SHOWN ON THE PLAN TO PREVENT EROSION AND PROTECT THE PLAN OF EROSION CONTROL.
 3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FURNISH A SCHEDULE FOR INSPECTION AND MAINTENANCE OF THE EROSION CONTROL BARRIERS. THE SCHEDULE SHALL BE FURNISHED TO THE CITY AND THE STATE OF MASSACHUSETTS. THE SCHEDULE SHALL BE FURNISHED TO THE CITY AND THE STATE OF MASSACHUSETTS. THE SCHEDULE SHALL BE FURNISHED TO THE CITY AND THE STATE OF MASSACHUSETTS.
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 6. EROSION CONTROL BARRIERS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL BARRIERS THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL BARRIERS THROUGHOUT THE CONSTRUCTION PERIOD.
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- EROSION CONTROL LEGEND**
- PHASE 1
 - PHASE 2
 - [Hatched Box] PHASE 1 CONSTRUCTION TRACKING PAD
 - [Hatched Box] PHASE 2 CONSTRUCTION TRACKING PAD
 - [Circle with SB] TEMP. SEDIMENT BASIN
 - TO --- TEMP. DRAIN PIPE
 - TEMP. SWALE



CONSTRUCTION PHASING LEGEND

- PHASE 1
- PHASE 2

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- Revisions:**
1. 10-08-2018 ADD SCHEDULE CONNECTION TO INTERMEDIATE
 2. 10-08-2018 CORRECT CONNECTION POINT TO
 3. 11-15-2018 CORRECT CONNECTION POINT TO
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Engineer of Record:



Drawn:
Checked:
Scale: AS NOTED
Key Plan:

Project Name:
Avalon Marlborough II

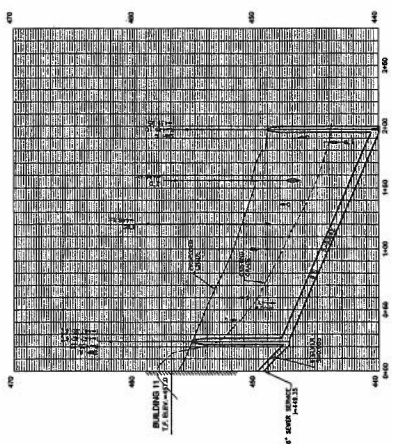
Marlborough, MA

Sheet Name:
SEWER PROFILES

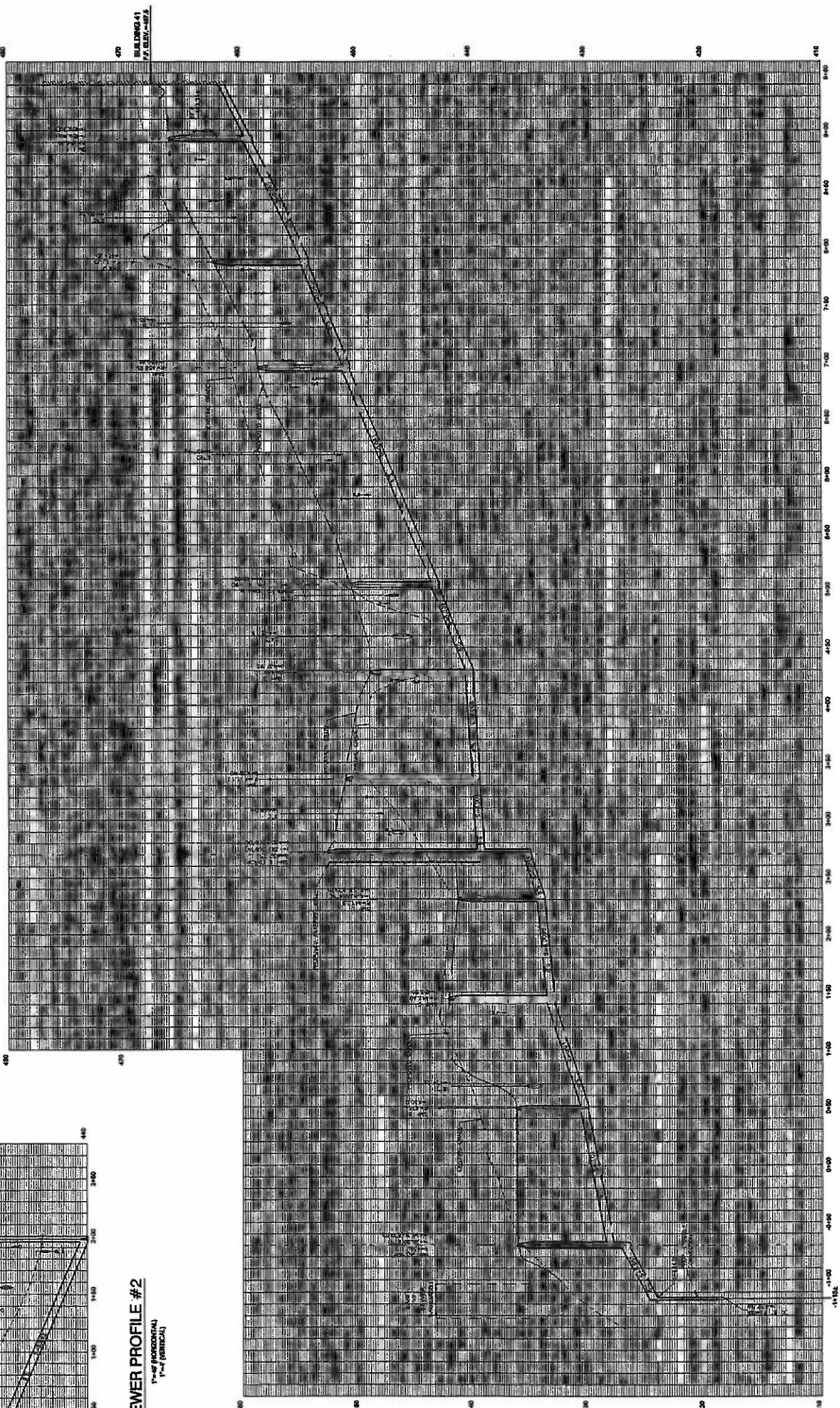
Project Number:
17030

Issue Date:
May 17, 2018

Sheet Number:
C7



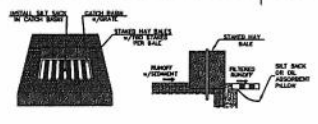
SEWER PROFILE #2
1"=4' HORIZONTAL
1"=4' VERTICAL



SEWER PROFILE #1
1"=4' HORIZONTAL
1"=4' VERTICAL

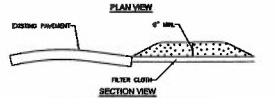
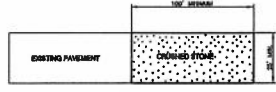


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NOTES:
 1. SILT BACK SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED AFTER SITE HAS STABILIZED.
 2. HAY BALE PROTECTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED AFTER SITE HAS STABILIZED.
 3. HAY BALE PROTECTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED AFTER SITE HAS STABILIZED.

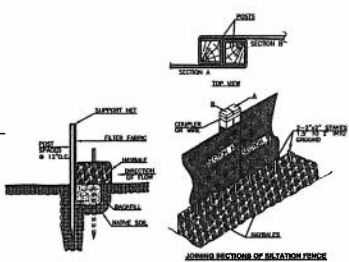
HAY BALE CATCH BASIN PROTECTION
(NOT TO SCALE)



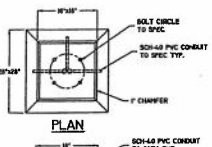
CONSTRUCTION TRACKING PAD
(NOT TO SCALE)

TRACKING PAD NOTES:
 STONE SIZE: 2\"/>

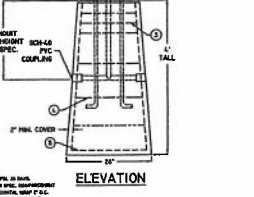
FRAMING CLAY: SHALL BE PLACED OVER THE EXISTING AREA PRIOR TO LAYING OF STONE.
 MAINTENANCE: THE ENTIRE TRACKING PAD SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING ON PAVED OR UNPAVED SURFACES. THE TRACKING PAD SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED AFTER SITE HAS STABILIZED.



HAYBALES & SILTATION FENCE
(NOT TO SCALE)



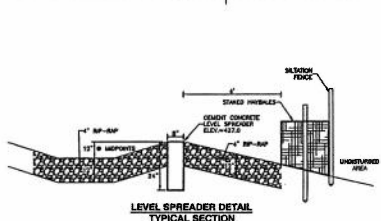
PLAN



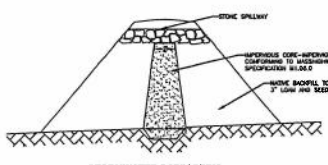
ELEVATION

DETAILS NOTES:
 1. CONCRETE SHALL BE 2800 PSI.
 2. REINFORCEMENT SHALL BE #4 BARS.
 3. ALL REINFORCEMENT SHALL BE #4 BARS.
 4. ALL REINFORCEMENT SHALL BE #4 BARS.

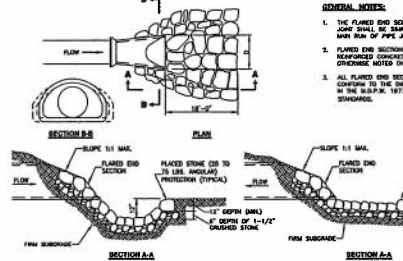
18\"/>



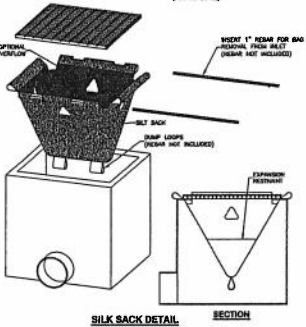
LEVEL SPREADER DETAIL
(NOT TO SCALE)



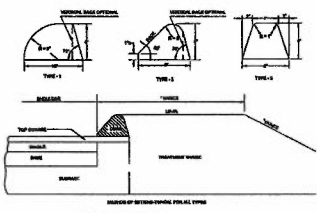
STORMWATER BASIN BERM
(NOT TO SCALE)



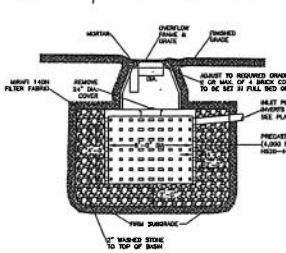
FLARED END SECTION (FES) AND STILLING BASIN
(NOT TO SCALE)



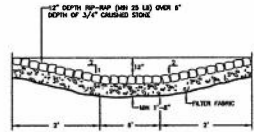
SILK BACK DETAIL
(NOT TO SCALE)



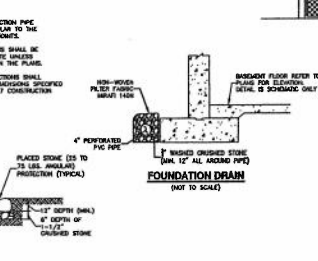
mesqDOT HOT MIX ASPHALT CURBS
(NOT TO SCALE)



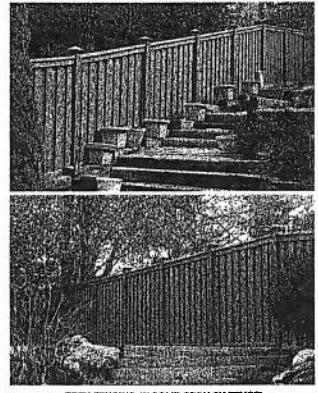
DRY WELL WITH OVERFLOW GRATE
(NOT TO SCALE)



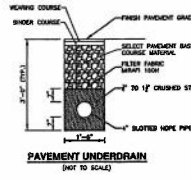
STORMWATER BASIN STONE SPILLWAY
(NOT TO SCALE)



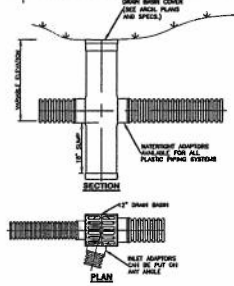
FOUNDATION DRAIN
(NOT TO SCALE)



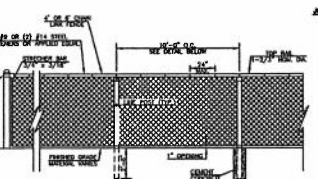
TREX FENCING (6\"/>



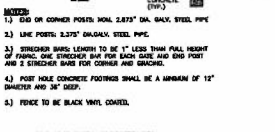
PAVEMENT UNDERDRAIN
(NOT TO SCALE)



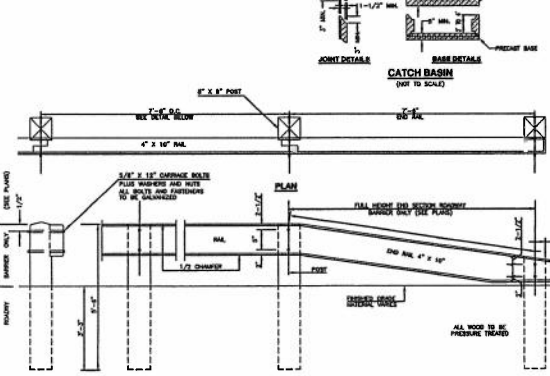
TYPICAL INSTALLATION NYLOPLAST 12-INCH AREA DRAIN BASIN
(NOT TO SCALE)



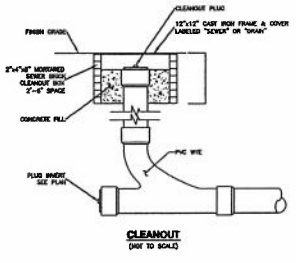
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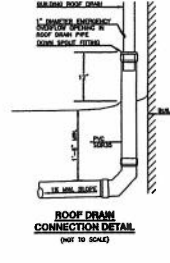
CATCH BASIN
(NOT TO SCALE)



SINGLE FACE WOOD GUARD RAIL DETAIL
(NOT TO SCALE)



CLEANOUT
(NOT TO SCALE)



ROOF DRAIN CONNECTION DETAIL
(NOT TO SCALE)

tat
 the architectural team

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 A DIVISION OF HANSON ASSOCIATES
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 Boston, MA 02116
 Tel: 617-552-5145
 Fax: 617-557-5455

Revision:
 1 10-08-2018 ADD 1\"/>

Engineer of Record:

Drawn:
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Scale: AS NOTED
Key Plan:

Project Name:
Avalon Marlborough II

Marlborough, MA

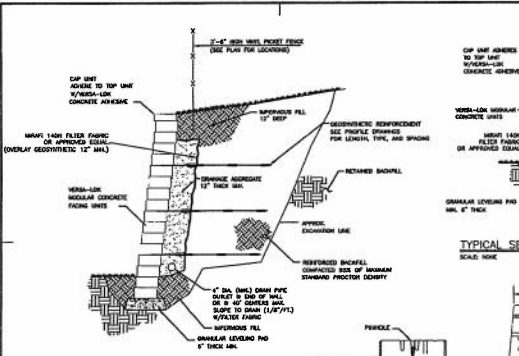
Sheet Name:

DETAILS

Project Number:
17030

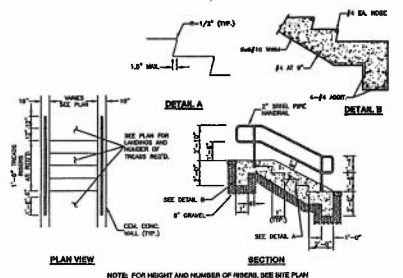
Issue Date:
May 17, 2018

Sheet Number:
C8

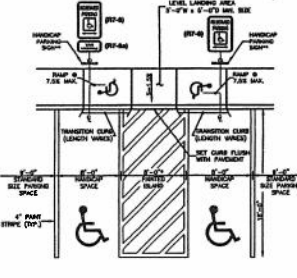


TYPICAL SECTION - UNREINFORCED RETAINING WALL

VERSA-TUFF PIN



CONCRETE STAIRS DETAIL

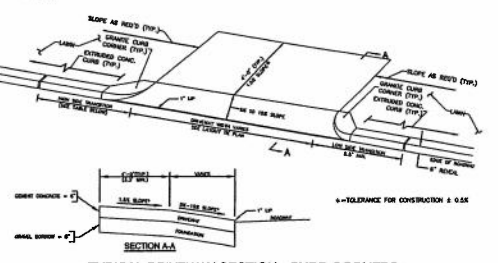


TYPICAL VAN ACCESSIBLE HANDICAP PARKING LAYOUT PLAN

GENERAL NOTES

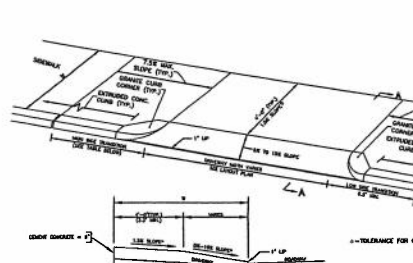
1. REMOVE VEGETATION AND ORGANIC SOIL FROM WALL AND GEOMETRIC ALIGNMENT.
2. BORROW CUT ALL DRAINAGE SLOPES.
3. DO NOT USE EXHAUST WELDS EXCEPT BY SITE SOIL ENGINEER TO REMOVE UNDESIRABLE SOIL.
4. SITE SOIL ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPATIBLE PER THE DESIGN DIMENSIONS AND PARAMETERS.
5. LEAVING AND SHALL CONFORM TO COMPACTED COURSE SAND OR OTHER APPROVED GRAVEL.
6. CONTRACTOR NOT TO PUT ON A LEAN CONCRETE PAD. CONCRETE PAD SHALL BE SUBSEQUENT TO THIS WALL.
7. MINIMUM DRAINAGE OF WALL BEHIND FINISH GRADE SHALL BE 1" FOR WALL HEIGHTS UNDER 4 FEET AND 2" FOR WALLS OVER 4 FEET. UNLESS SHOWN OTHERWISE.
8. FOR WALLS TO BE CONCRETE, COMPACT FILL IN FRONT OF WALLS AT THE SAME TIME THE FILL BEHIND WALLS IS COMPLETED.
9. DRAINAGE AGGREGATE SHALL BE INSTALLED DIRECTLY BEHIND THE WALL. MINIMUM 12" OF THE TOP OF THE WALL. DRAINAGE AGGREGATE SHALL NOT EXCEED BELOW FINISH GRADE IN FRONT OF WALL.
10. COMPACTED FILL SHALL BE TO USE OF MINIMUM STANDARD PROCTOR DENSITY (90-100).
11. COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE OPEN SOILS REPORT.
12. COMPACTION WHEN 3 FT. OF WALL SHALL BE LIMITED TO HAVE UNCHECKED EQUIPMENT.
13. USE ELEVATION DRAINAGE FOR GEOMETRIC TYPE, LENGTH AND LOCATION REQUIRED.
14. GEOMETRIC SHALL BE PLACED WITH STRONGEST DIRECTION PERPENDICULAR TO WALL. FOLLOWING GEOGRAPHIC ANGLE'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
15. CONTRACTOR SHALL DIRECT SURFACE DRAINAGE TO AVOID DAMAGING WALL WHILE LAIDING CONSTRUCTION.
16. ANY SURFACE DRAINAGE FEATURES (TREES, DRAINAGE, PAVEMENT, OR TYP) SHALL BE REINSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.
17. FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.

TYPICAL SECTION - REINFORCED RETAINING WALL



TYPICAL DRIVEWAY SECTION - CURB CORNERS (TOWNHOUSE BUILDINGS 38 & 40)

VERSA-LOK RETAINING WALL DETAILS



TYPICAL DRIVEWAY SECTION - CURB CORNERS (TOWNHOUSE BUILDINGS 12 & 14)

CONCRETE STAIRS DETAIL

NOTE: FOR HEIGHT AND NUMBER OF RISERS, SEE SITE PLAN

NOT TO SCALE



TYPICAL INSTALLATION



DETAIL OF DETECTABLE WARNING PANEL

NOTE: PANELS MAY BE CONCRETE, PRECAST OR CAST IN PLACE OR OTHER SUITABLE MATERIAL. PERMANENTLY APPLIED TO THE SAME DETECTABLE WARNING SURFACE SHALL CONTRAST VISUALLY WITH ADJACENT SURFACES EITHER LIGHT-OR-DARK, OR DARK-OR-LIGHT.

DETECTABLE WARNING PANEL FOR WHEELCHAIR RAMP

NOT TO SCALE

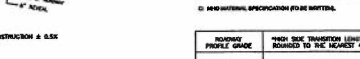
DETECTABLE WARNING APPLICATION NOTES

1. TRANSFERRED BORDERS AND CURB BORDERS SHALL BE PLACED ON THE TRANSFERRED BORDERS OF THE SURFACE. THE SURFACE OF THE TRANSFERRED BORDERS SHALL BE PLACED ON THE TRANSFERRED BORDERS OF THE SURFACE.
2. AT CURB CORNERS WITH A PROTECTIVE CURB, THE EDGE OF THE 2 FOOT LENGTH OF DETECTABLE WARNING SHALL BE PLACED TO THE CURB CORNER AS SHOWN IN PLAN VIEW.
3. IF TRANSFERRED BORDERS WITHOUT A CURB, THE EDGE OF THE 2 FOOT LENGTH OF DETECTABLE WARNING SHALL BE PLACED TO THE CURB CORNER AS SHOWN IN PLAN VIEW.
4. IF TRANSFERRED BORDERS WITHOUT A CURB, THE EDGE OF THE 2 FOOT LENGTH OF DETECTABLE WARNING SHALL BE PLACED TO THE CURB CORNER AS SHOWN IN PLAN VIEW.

NOT TO SCALE

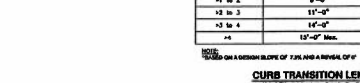
| WHEELCHAIR PROFILE CLASS | MIN. CURB TRANSITION LENGTH (SEE NOTE 1) | MIN. CURB HEIGHT |
|--------------------------|--|------------------|
| 2 | 2'-0" | 4" |
| 3 | 2'-0" | 4" |
| 4 | 2'-0" | 4" |
| 5 | 2'-0" | 4" |
| 6 | 2'-0" | 4" |

NOTE: CURB TRANSITION LENGTHS FOR WHEELCHAIR CURB CUT RAMPS



CURB TRANSITION LENGTHS FOR WHEELCHAIR CURB CUT RAMPS

NOT TO SCALE



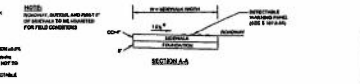
WHEELCHAIR RAMP ON NARROW CROSSWALK WITH DETECTABLE WARNING PANEL

NOT TO SCALE



PAINTED STOP LINE

NOT TO SCALE



PAINTED CROSSWALK

NOT TO SCALE

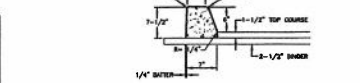
CONCRETE WALK AND INTEGRAL CURB

NOT TO SCALE



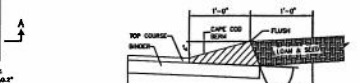
CONCRETE WALK AND INTEGRAL CURB

NOT TO SCALE



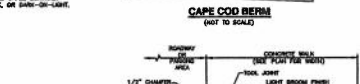
CAPE COD BERM

NOT TO SCALE



DETAIL OF DETECTABLE WARNING PANEL

NOT TO SCALE



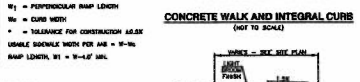
TYPICAL DRIVEWAY SECTION - CURB CORNERS

NOT TO SCALE



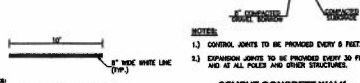
DETAIL OF DETECTABLE WARNING PANEL

NOT TO SCALE



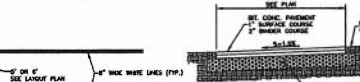
CONCRETE WALK AND INTEGRAL CURB

NOT TO SCALE



CEMENT CONCRETE WALK

NOT TO SCALE



BITUMINOUS CONCRETE WALK

NOT TO SCALE



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Revision:

- 1 16-09-2018 COORDINATE PAVEMENT SECTION WITH INTERFERENCES, REVISION
- 2 13-10-2018 SEE PLAN REVIEW COMMITTEE COMMENTS
- 3 04-09-2018 SITE PLAN REVIEW COMMITTEE COMMENTS

Engineer of Record:



Drawn:

Checked:

Scale: AS NOTED

Key Plan:

Project Name:

Avalon Marlborough II

Marlborough, MA

Sheet Name:

DETAILS

Project Number:

17030

Issue Date:

May 17, 2018

Sheet Number:

C9

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Revision:
1 10-08-09 INFILTRATION SYSTEM A1 - CLARIFY TITLE
2 12-18-09 SEE PLAN NUMBER COMMITTEE COMMENTS
3 01-05-10 SEE PLAN NUMBER COMMITTEE COMMENTS

Engineer of Record:



Drawn:
Checked:
Scale: AS NOTED
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Project Name:
Avalon Marlborough II

Marlborough, MA

Sheet Name:

DETAILS

Project Number:

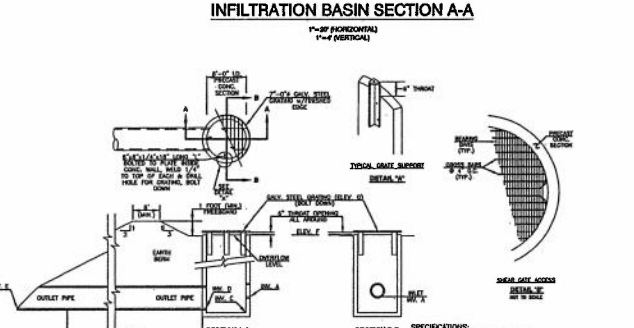
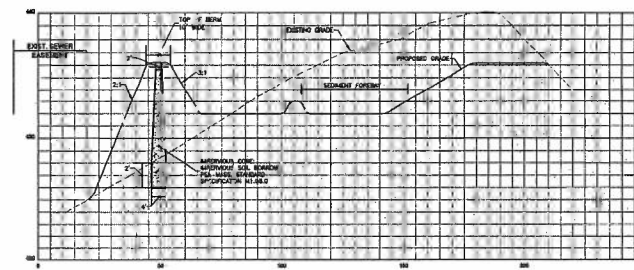
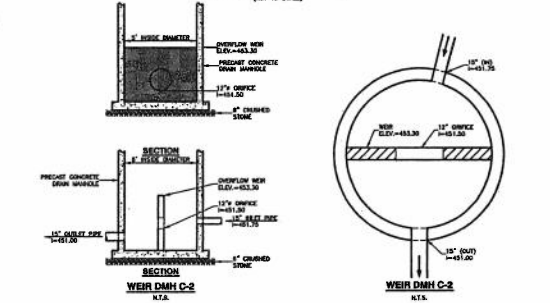
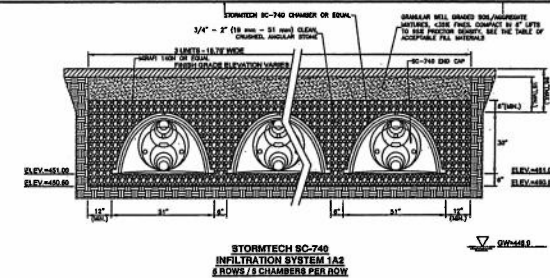
17030

Issue Date:

May 17, 2018

Sheet Number:

C10



NOTES:

- FOR ELEVATIONS & DIMENSIONS SEE ATTACHED SCHEDULE.
- CONTRACTOR SHALL VERIFY SHIELD IS FILED PRIOR TO STRUCTURE INSTALLATION.

| STRUCTURE | DEPTH | DIAMETER | LOCATION |
|-----------|-------|----------|----------|
| A-1A | 425.0 | 425.0 | 425.0 |

CONTECH
ODS 3016-C
(NOT TO SCALE)

CONTECH
ODS 3018-C
(NOT TO SCALE)

CONTECH
ODS 3019-C
(NOT TO SCALE)

CONTECH
ODS 3020-C
(NOT TO SCALE)

CONTECH
ODS 3021-C
(NOT TO SCALE)

CONTECH
ODS 3022-C
(NOT TO SCALE)

CONTECH
ODS 3023-C
(NOT TO SCALE)

CONTECH
ODS 3024-C
(NOT TO SCALE)

CONTECH
ODS 3025-C
(NOT TO SCALE)

CONTECH
ODS 3026-C
(NOT TO SCALE)

CONTECH
ODS 3027-C
(NOT TO SCALE)

CONTECH
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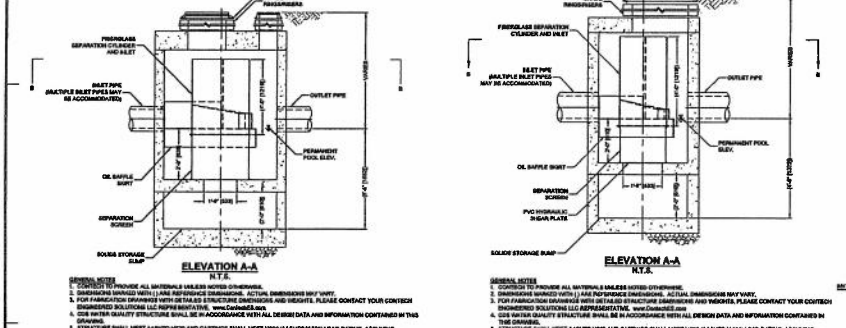
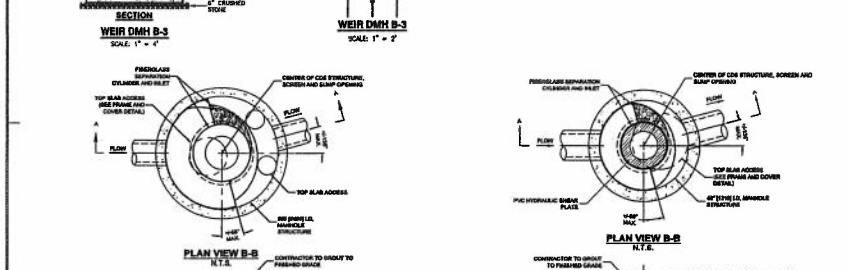
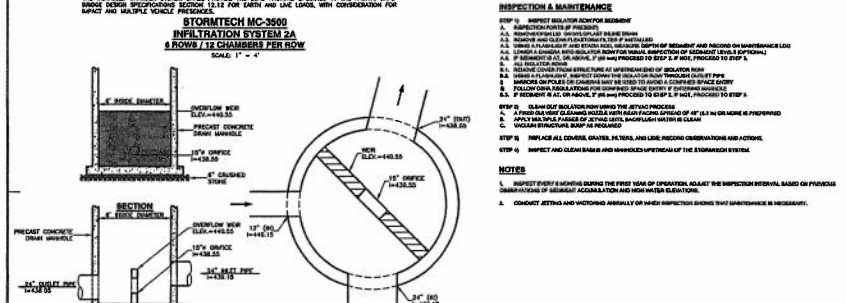
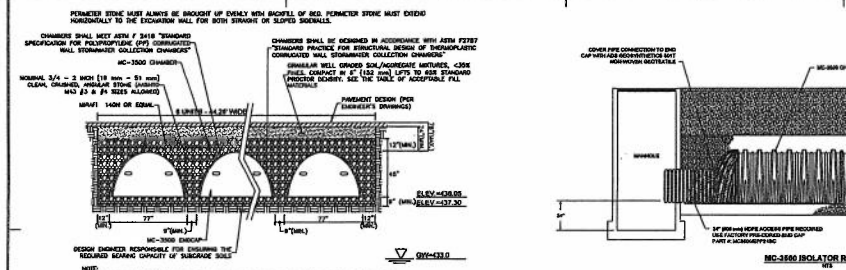
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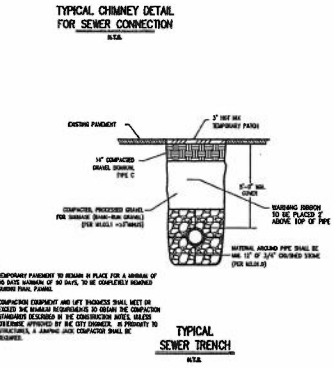
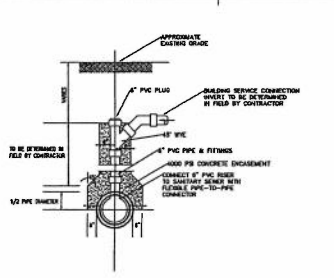
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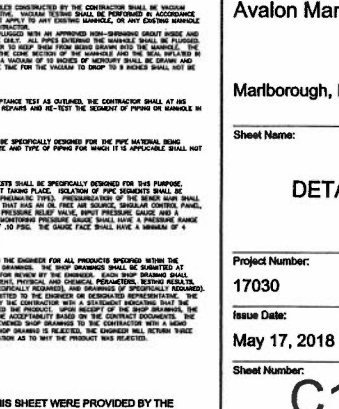
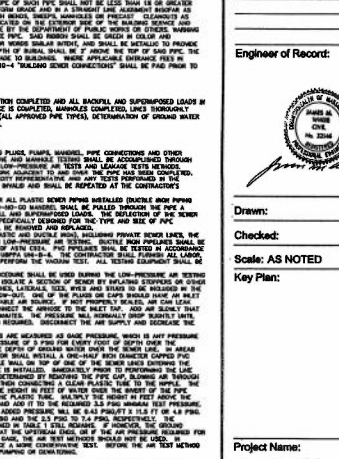
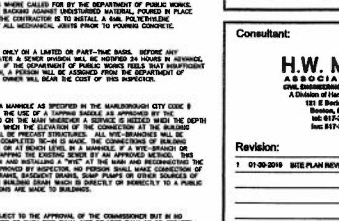
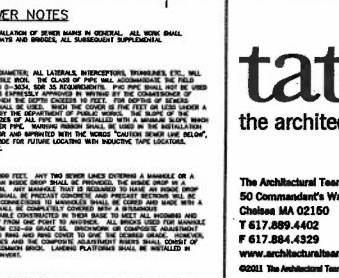
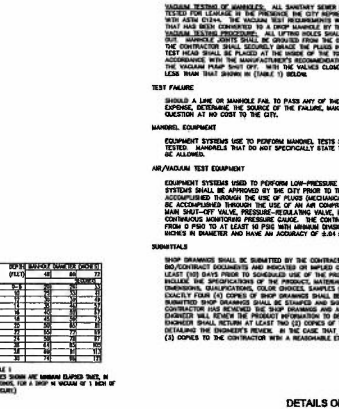
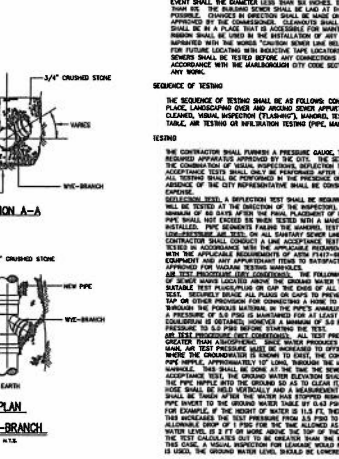
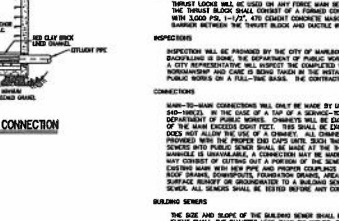
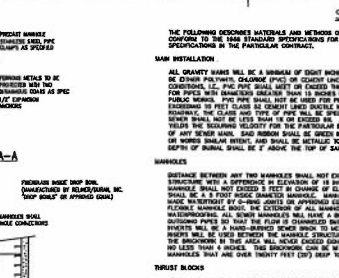
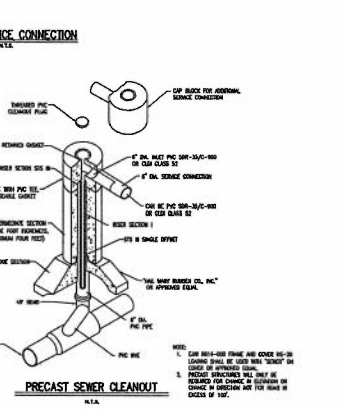
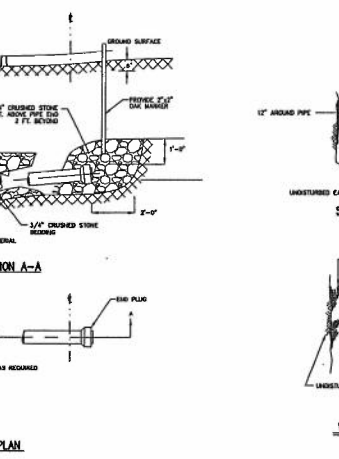
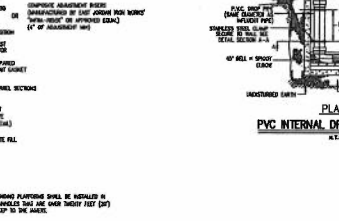
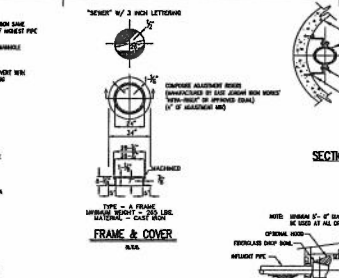
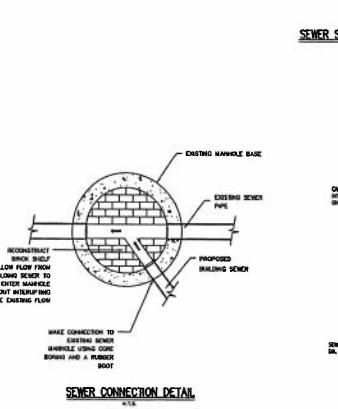
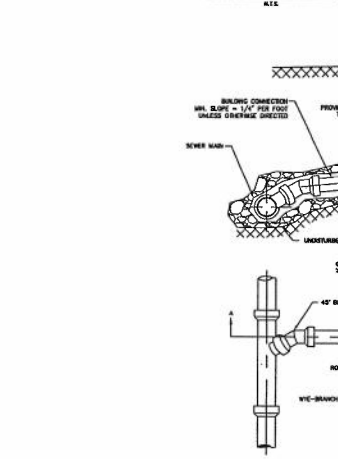
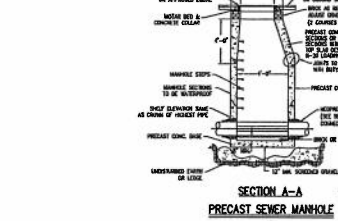
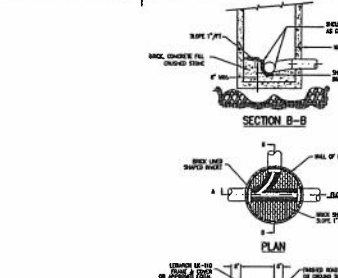


PIPELINE (GRAVITY AND FORCE MAIN) NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SHALL MAINTAIN RECORDS OF ALL LOCATIONS OF ALL UTILITIES.
2. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL LOCATIONS OF ALL UTILITIES.
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5. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL LOCATIONS OF ALL UTILITIES.

MANHOLE NOTES

1. MANHOLE FRAMES AND COVERS ARE TO BE SET IN PLACE AT LEAST 2 FEET ABOVE FINISHED GRADE UNLESS OTHERWISE SPECIFIED.
2. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL LOCATIONS OF ALL UTILITIES.
3. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL LOCATIONS OF ALL UTILITIES.
4. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL LOCATIONS OF ALL UTILITIES.
5. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL LOCATIONS OF ALL UTILITIES.



DETAILS ON THIS SHEET WERE PROVIDED BY THE MARLBOROUGH DEPARTMENT OF PUBLIC WORKS

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Consultant:

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A Division of Hensel Associates

1151 Broadway
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Tel: 617-267-9100
Fax: 617-267-9100

Revisor:

1 01-2019 SITE PLAN REVIEW COMMITTEE COMMENTS

Engineer of Record:

Drawn:

Checked:

Scale: AS NOTED

Key Plan:

Project Name:
Avalon Marlborough II

Marlborough, MA

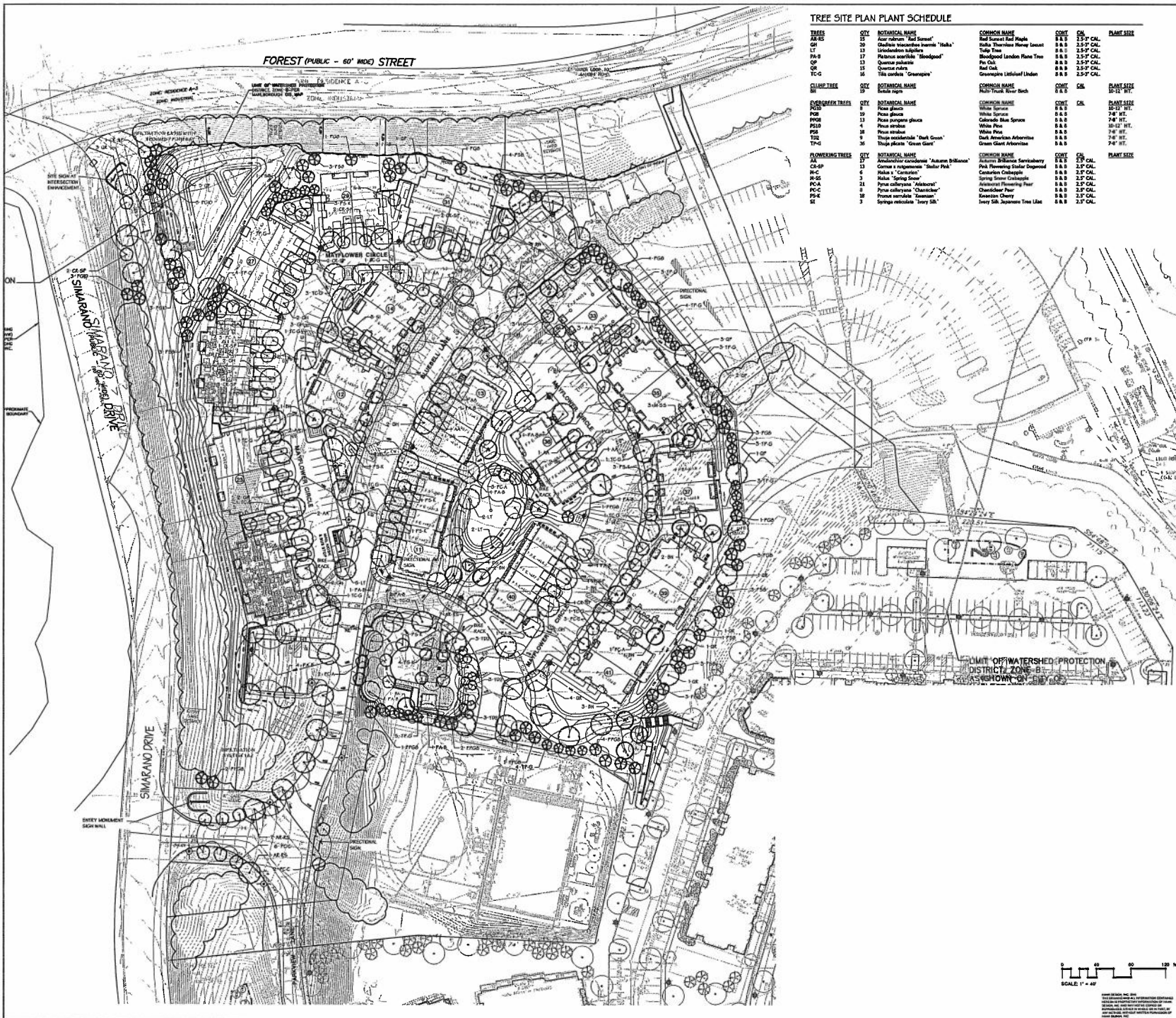
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DETAILS

Project Number:
17030

Issue Date:
May 17, 2018

Sheet Number:
C12



TREE SITE PLAN PLANT SCHEDULE

| TREE | QTY | BOTANICAL NAME | COMMON NAME | CONF. | CH. | PLANT SIZE |
|-----------------|-----|---|-------------------------------|--------|--------|------------|
| AR-5 | 2 | Aster rubrum "Red Sunset" | Red Sunset Aster | 3.5' F | 3.5' F | 3.5' F |
| GP | 1 | Gleditsia triacanthos var. inermis "Haha" | Haha Tree | 2.5' F | 2.5' F | 2.5' F |
| LT | 1 | Liquidambar styraciflua | Black Gum | 3.5' F | 3.5' F | 3.5' F |
| PK-9 | 1 | Platanus occidentalis "Bloodgood" | Bloodgood London Plane Tree | 3.5' F | 3.5' F | 3.5' F |
| OP | 1 | Quercus prinus | Pin Oak | 3.5' F | 3.5' F | 3.5' F |
| OR | 1 | Quercus rubra | Red Oak | 3.5' F | 3.5' F | 3.5' F |
| TC-G | 1 | Tilia cordata "Greenapp" | Greenapp Linedale Linden | 3.5' F | 3.5' F | 3.5' F |
| CLUMP TREE | QTY | BOTANICAL NAME | COMMON NAME | CONF. | CH. | PLANT SIZE |
| BT | 1 | Betula nigra | Nail-Tree River Birch | 3.5' F | 3.5' F | 3.5' F |
| EVERGREEN TREES | QTY | BOTANICAL NAME | COMMON NAME | CONF. | CH. | PLANT SIZE |
| PCS | 8 | Pinus glauca | White Spruce | 3.5' F | 3.5' F | 3.5' F |
| POB | 1 | Pinus strobus | White Spruce | 3.5' F | 3.5' F | 3.5' F |
| PPB | 1 | Pinus strobus glauca | Colorado Blue Spruce | 3.5' F | 3.5' F | 3.5' F |
| PS10 | 4 | Pinus serotina | White Pine | 3.5' F | 3.5' F | 3.5' F |
| QF | 1 | Quercus prinus | White Pine | 3.5' F | 3.5' F | 3.5' F |
| TG | 9 | Thuja occidentalis "Dark Green" | Dark American Arborvitae | 3.5' F | 3.5' F | 3.5' F |
| TP-G | 1 | Thuja occidentalis "Green Giant" | Green Giant Arborvitae | 3.5' F | 3.5' F | 3.5' F |
| FLOWERING TREES | QTY | BOTANICAL NAME | COMMON NAME | CONF. | CH. | PLANT SIZE |
| AB | 1 | Abutilon grandiflorum "Autumn Brilliance" | Autumn Brilliance Shrubber | 3.5' F | 3.5' F | 3.5' F |
| CB-SP | 1 | Cornus rugosissima "Dancer Pink" | Pink Flowering Spice Dogwood | 3.5' F | 3.5' F | 3.5' F |
| H-C | 6 | Halesia "Candida" | Carolinian Spicebush | 3.5' F | 3.5' F | 3.5' F |
| MS | 1 | Morus "Spring Green" | Spring Green Mulberry | 3.5' F | 3.5' F | 3.5' F |
| PCA | 2 | Prunella coccinea "Autumnal" | Autumnal Flowering Pear | 3.5' F | 3.5' F | 3.5' F |
| PC-C | 1 | Prunella coccinea "Chantrelle" | Chantrelle Pear | 3.5' F | 3.5' F | 3.5' F |
| PS-K | 1 | Prunus serotina "Zwaaneni" | Keweenaw Cherry | 3.5' F | 3.5' F | 3.5' F |
| SI | 1 | Syringa reticulata "Troy Silk" | Troy Silk Japanese Tree Lilac | 3.5' F | 3.5' F | 3.5' F |

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Revision:
1. 12/12/18
2. 01/03/19

Architect of Record:

Drawn: TRM
Checked: TM
Scale: 1"=40'-0"
Key Plan:

Project Name:
**AVALON
MARLBOROUGH II**

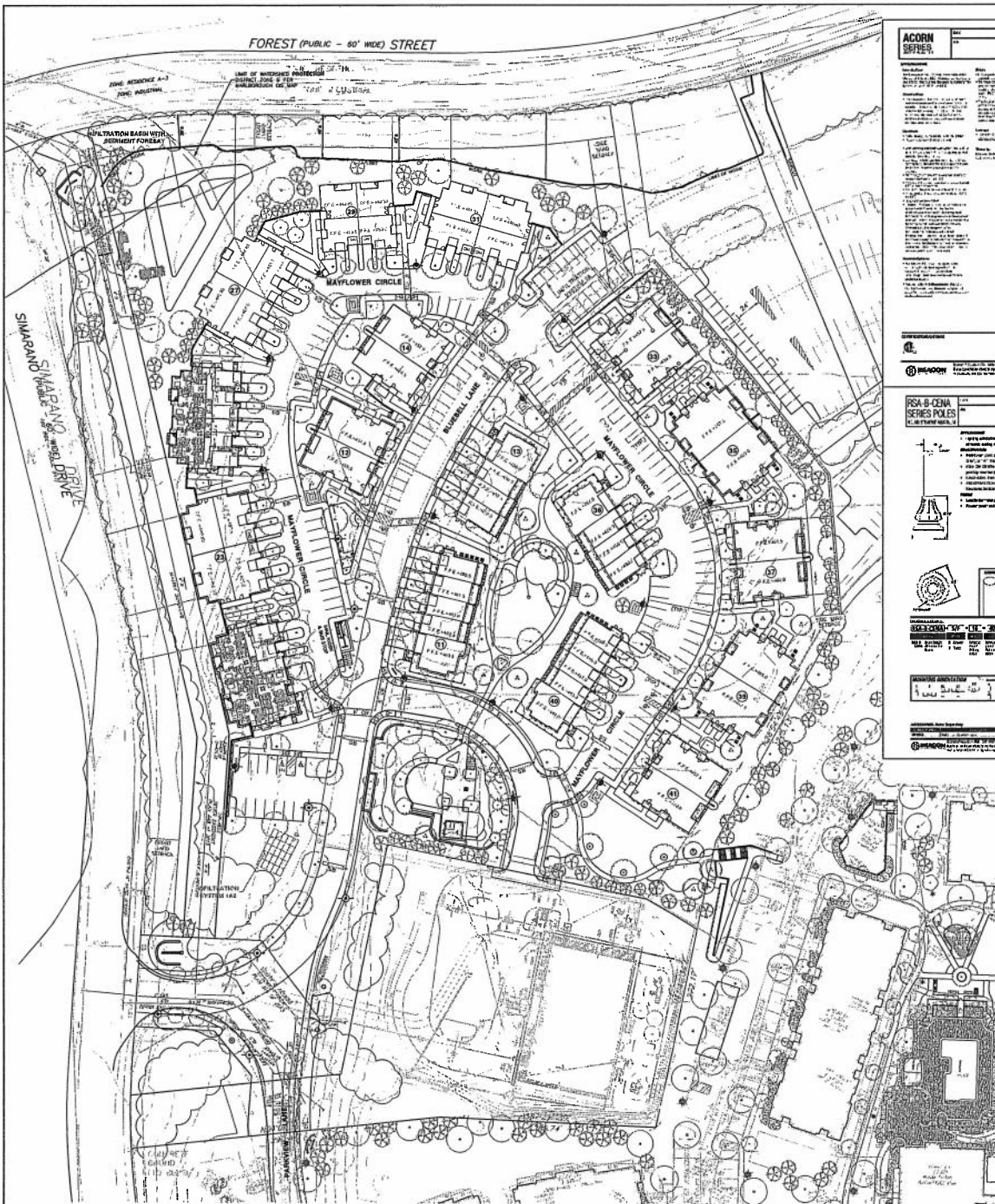
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MARLBOROUGH, MA

Sheet Name:
**SITE TREE PLANTING
PLAN**

Project Number:
17030

Issue Date:
May 17, 2018

Sheet Number:
L1.0



ACORN SERIES

MANUFACTURER: BRADON

DESCRIPTION: ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT

SYMBOL: 8

MANUFACTURER: BRADON

DESCRIPTION: ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT

SYMBOL: 10

FINISH SCHEDULE

MANUFACTURER: BRADON

DESCRIPTION: ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT

SYMBOL: 8

MANUFACTURER: BRADON

DESCRIPTION: ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT

SYMBOL: 10

RSA 8-CENA SERIES POLES

MANUFACTURER: BRADON

DESCRIPTION: RSA 8-CENA SERIES POLES

SYMBOL: 8

MANUFACTURER: BRADON

DESCRIPTION: RSA 8-CENA SERIES POLES

SYMBOL: 10

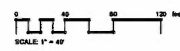
FINISH SCHEDULE

| NO. | DESCRIPTION | QTY | UNIT | PRICE | TOTAL |
|-----|---|-----|------|--------|---------|
| 1 | ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT | 10 | EA | 120.00 | 1200.00 |
| 2 | ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT | 10 | EA | 120.00 | 1200.00 |
| 3 | ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT | 10 | EA | 120.00 | 1200.00 |
| 4 | ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT | 10 | EA | 120.00 | 1200.00 |
| 5 | ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT | 10 | EA | 120.00 | 1200.00 |
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| 8 | ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT | 10 | EA | 120.00 | 1200.00 |
| 9 | ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT | 10 | EA | 120.00 | 1200.00 |
| 10 | ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT | 10 | EA | 120.00 | 1200.00 |

Site Lighting Legend

| SYMBOL | QTY | DESCRIPTION | MANUFACTURER | SPECIFICATION |
|--------|-----|--|-----------------|---|
| 8 | 10 | ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT | BRADON PRODUCTS | 2424/AR3/F32/24H/274KLM/18WPEC-1201T/8BT POLE BASE: RSA8VCENA/F72H/40/8/8BT |
| 10 | 10 | ACORN STYLE POST LIGHT WITH LED FIXTURE MOUNTED ON 12' HEIGHT POST TO BE DARK SKY COMPLIANT WITH HOUSE SIDE SHIELD | BRADON PRODUCTS | 2424/AR3/F32/24H/274KLM/18WPEC-1201T/8BT POLE BASE: RSA8VCENA/F72H/40/8/8BT |

NOTE: SEE PLAN ENLARGEMENTS FOR:
 - LANDSCAPE UP LIGHTS
 - PATH BOLLARDS
 - STEP & WALL LIGHTS
 - SIGN SPOT LIGHTS



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 1. 12/12/18
 2. 01/30/19

Architect of Record:

 1/30/19

Drawn: TRM
 Checked: TM
 Scale: 1"=40'-0"
 Key Plan:



Project Name:
**AVALON
 MARLBOROUGH II**

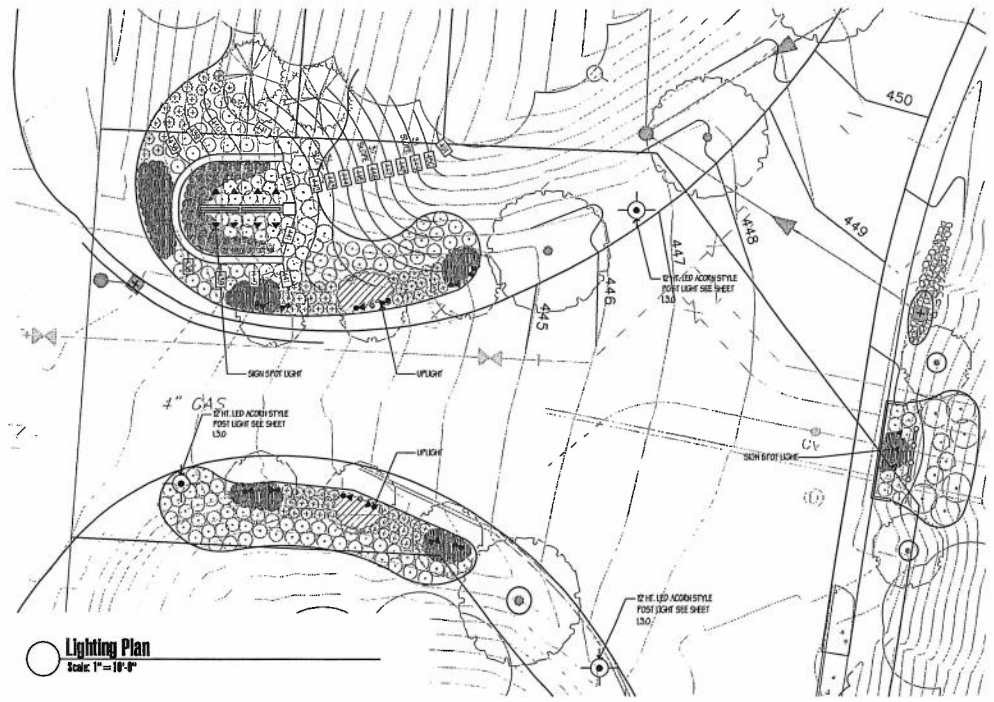
200 FOREST STREET
 MARLBOROUGH, MA

SHEET NAME:
**SITE LIGHTING
 PLAN**

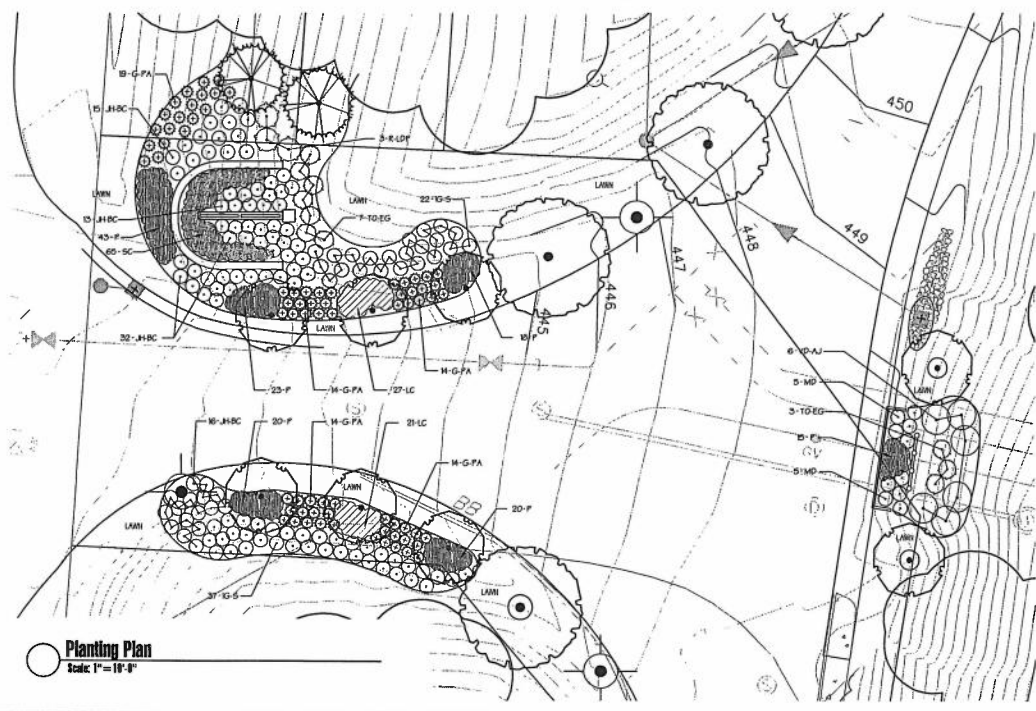
Project Number:
 17030

Issue Date:
 May 17, 2018

Sheet Number:
L2.0





Lighting Plan
Scale: 1" = 10'-0"



Planting Plan
Scale: 1" = 10'-0"

Lighting Schedule

| SYMBOL | QUANTITY | DESCRIPTION | MANUFACTURER | SPECIFICATION |
|---|----------|-----------------|---------------------|------------------------------------|
|  | 12 EA | UP LIGHTING | PROGRESS LIGHTING | P10234-31 W P0662 QUICK MOUNT POST |
|  | 11 EA | SIGN SPOT LIGHT | PROGRESS COMMERCIAL | P001-100LED-20 |

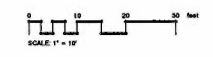
NOTE:
1. SEE SHEET L2.0 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
2. SEE SHEET B.50 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE

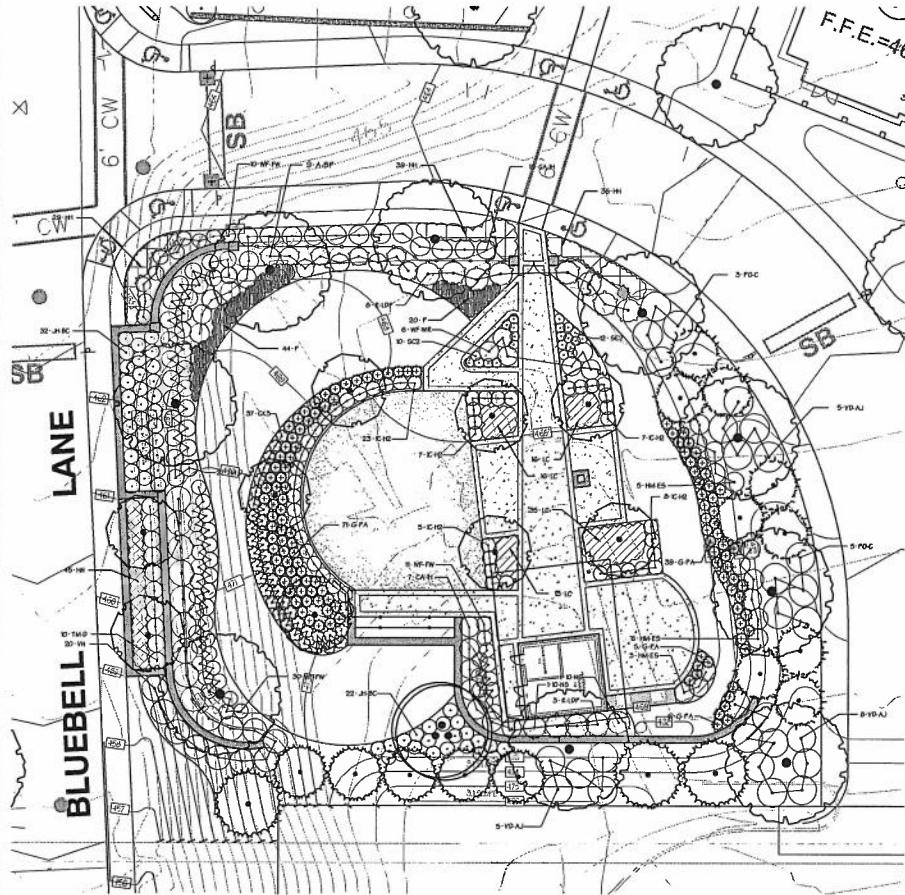
PLANT SCHEDULE ENTRY

| SHRUBS | QTY | NOTAFICAL NAME | COMMON NAME | CONT. | CHL. | SIZE |
|--------|-----|-------------------------------------|--------------------------------|-----------|------|-------------|
| BDS | 20 | Sex gulum "Shoreland" | Shoreland Juniper | 2.5' B.B. | | 2-2.5' HT. |
| 31-8C | 20 | Zarjanes holoseriale "Blue Chip" | Blue Chip Juniper | Cont. | | 18-24" SPD. |
| NP | 10 | Nerandens decussata | Shoreland Carpet Cypress | Cont. | | 13-18" SPD. |
| PL-EP | 3 | Bladdieretia "Sea's Dark Purple" | Sea's Dark Purple Bladdieretia | B.B. | | 3.5-4' HT. |
| TO-8G | 10 | Thunja occidentalis "Emerald Green" | Emerald Green Arborvitae | B.B. | | 6-7' HT. |
| 10-AJ | 8 | Viburnum dentatum "Autumn Jazz" | Autumn Jazz Viburnum | B.B. | | 3.5-4' HT. |

| GRASSES | QTY | NOTAFICAL NAME | COMMON NAME | CONT. | CHL. | SIZE |
|---------|-----|----------------------------------|-----------------------------|--------|------|------|
| D-10 | 21 | Perovetion alpinoerulea "Herald" | Herald Dwarf Fountain Grass | 2 gal. | | |

| GROUND COVERS | QTY | NOTAFICAL NAME | COMMON NAME | CONT. | SPACING |
|---------------|-----|-----------------|--------------------|--------|----------|
| LC | 20 | Liriope spicata | Creeping Lily Turf | 2 gal. | 18" x 6" |
| P | 171 | Pennatum | Armed Pennum | 1 gal. | 18" x 6" |
| SC | 81 | Seasonal Color | Seasonal Color | 1 gal. | 18" x 6" |



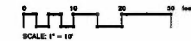


Planting Plan
Scale: 1" = 10'-0"

- NOTE:**
 1. SEE SHEET L2.0 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
 2. SEE SHEET B.50 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE

PLANT SCHEDULE LIFESTYLE

| SCHEDULE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | SIZE |
|---------------|-----|--|-------------------------------|-------|-------------|
| ARB | 3 | <i>Kalmia latifolia</i> "Bartram Red" | Bayberry | 3.0 | 2'-0" HT. |
| CA-1M | 28 | <i>Conoclinium ovale</i> "Terry White" | White-eyed Blackberry Dogwood | 0.8 | 2'-0" HT. |
| SH-1S | 14 | <i>Hydrangea macrophylla</i> "Endless Summer" | Endless Summer Hydrangea | 0.8 | 3.5'-0" HT. |
| SC-1S | 39 | <i>Sieris versicolor</i> "White" | White Japanese Holly | 0.8 | 2.5'-0" HT. |
| SC-1S | 2 | <i>Sieris versicolor</i> "Holly Starburst" | Holly Starburst Holly | 0.8 | 4.5'-0" HT. |
| 2K-1C | 54 | <i>Zantedhaa bicolorata</i> "Blue Chip" | Blue Chip Zantedha | CONC. | 36-36" DIA. |
| PO-C | 9 | <i>Physocarpus opulifolius</i> "Coppertina" | Coppertina Manchurian | 0.8 | 5.0'-0" HT. |
| R-1-1P | 11 | <i>Rhododendron</i> "Lark & Dark Ruby" | Lark & Dark Ruby Rhododendron | 0.8 | 3.5'-0" HT. |
| SC-1 | 22 | <i>Spiraea japonica</i> "Double Play Candy Corn" | Double Play Candy Corn | CONC. | 36-36" HT. |
| TN-D | 39 | <i>Taxus x media</i> "Densoloma" | Densoloma Yew | 0.8 | 2.0'-0" HT. |
| YD-AJ | 18 | <i>Viburnum dentatum</i> "Autumn Jazz" | Autumn Jazz Viburnum | 0.8 | 3.5'-0" HT. |
| V-1 | 20 | <i>Viburnum platanus</i> "Kempner" | Dorsetia Viburnum | 0.8 | 4'-0" HT. |
| WF-W | 11 | <i>Wiggle Wanda</i> "Five Wives" | Five Wives Wiggle | 0.8 | 3.0'-0" HT. |
| WF-W | 6 | <i>Wiggle Wanda</i> "Wine & Roses" | Wine & Roses Wiggle | 0.8 | 3'-0" HT. |
| GRASSES | QTY | BOTANICAL NAME | COMMON NAME | CONT. | SIZE |
| CC-1 | 37 | <i>Calamagrostis canadensis</i> "Earl Fennell" | Earl Fennell Grass | 2 gal | |
| G-PA | 122 | <i>Panicum alpestris</i> "Hameln" | Hameln Dwarf Fountain Grass | 2 gal | |
| GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | CONT. | SPACING |
| HC | 304 | <i>Hemerocallis</i> "Happy Returns" | Happy Returns Daylily | 1 gal | 30" x 6" |
| CC | 15 | <i>Thymus praecox</i> "Herbaceous" | English Thyme | 1 gal | 30" x 6" |
| LC | 86 | <i>Liriodendron tulipifera</i> | Creeching Lily Turf | 2 gal | 30" x 6" |
| F | 64 | <i>Pennisetum</i> | Hameln Fountain Grass | 1 gal | 30" x 6" |




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 Checked: TM
 Scale: AS NOTED
 Key Plan:



Project Name:
**AVALON
 MARLBOROUGH II**

200 FOREST STREET
 MARLBOROUGH, MA

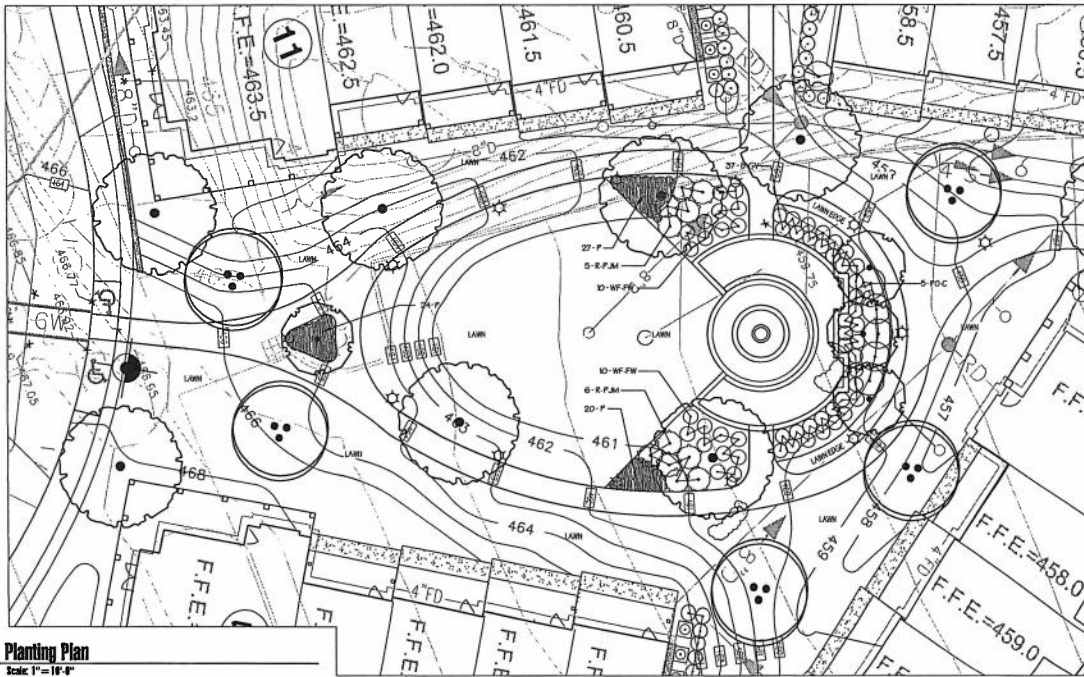
Sheet Name:

**LIFESTYLE CENTER
 ENLARGEMENT
 PLAN**

Project Number:
17030

Issue Date:
January 30, 2019

Sheet Number:
L5.2



Planting Plan
Scale: 1" = 10'-0"

NOTE:
1. SEE SHEET L2.0 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
2. SEE SHEET 0.50 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE

PLANT SCHEDULE AMENITY PARK

| SUBLINE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | SIZE |
|---------------|-----|--------------------------------------|----------------------|-------|-------------|
| S-GV | 20 | Sassafras "Green Velvet" | Green Velvet Dogwood | 8 A B | 2'-0" |
| POC | 5 | Physocarpus opulifolius "Copperline" | Copperline Dogwood | 8 A B | 1.5'-4" HT. |
| B-PH | 11 | Brodiaea sp. "Pink" | Pink Brodiaea | 8 A B | 2'-0" HT. |
| WF-FW | 20 | Waxyleafed "Fire Wreath" | Fire Wreath | 8 A B | 2'-2.5" HT. |
| GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | CONT. | SPACING |
| P | 71 | Panicum | Annual Panicum | 1 gal | 10' x 10' |

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Project Name:

**AVALON
MARLBOROUGH II**

200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:

**AMENITY PARK
ENLARGEMENT
PLAN**

Project Number:

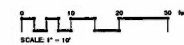
17030

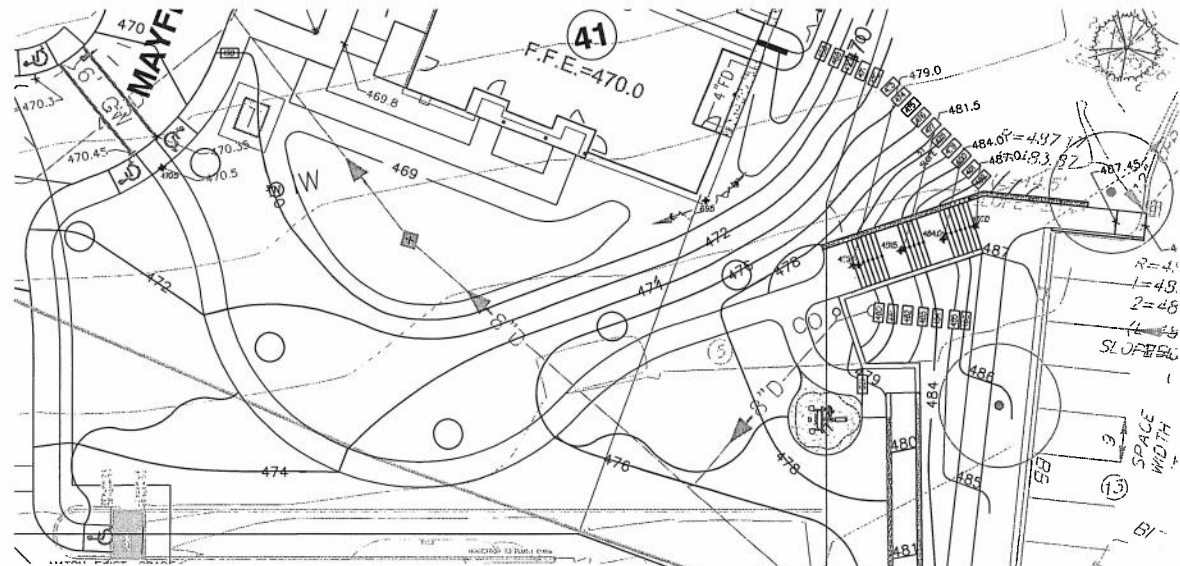
Issue Date:

January 30, 2019

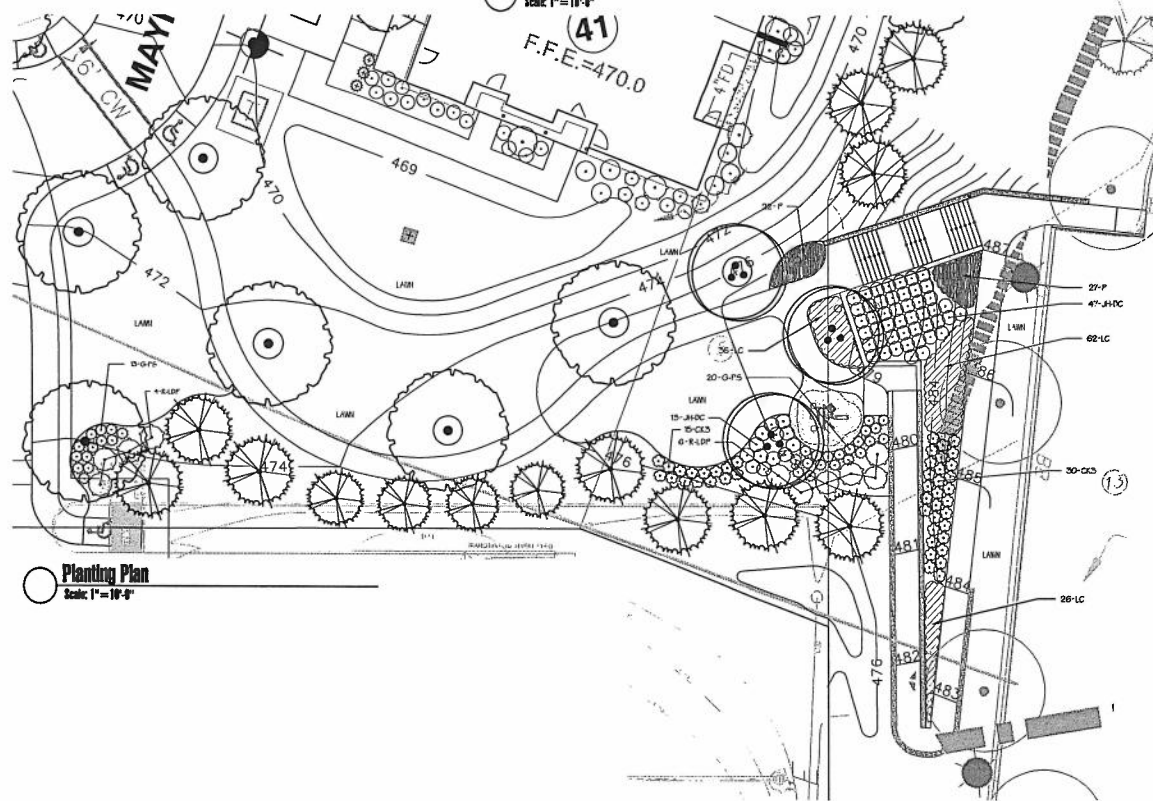
Sheet Number:

L6.2





Grading Plan
Scale: 1" = 10'-0"

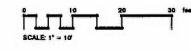


Planting Plan
Scale: 1" = 10'-0"

NOTE:
1. SEE SHEET 12.0 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
2. SEE SHEET 8.00 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE

PLANT SCHEDULE FITNESS STATION

| SPECIES | QTY | BOTANICAL NAME | COMMON NAME | CONT. | SIZE |
|---------------|-----|---|--------------------------------|-------|-------------|
| SHRUBS | 60 | Juniperus horizontalis 'Blue Chip' | Blue Chip Juniper | Cont. | 18-24" SHO. |
| SHRUBS | 10 | Rhododendron 'Lee's Dark Purple' | Lee's Dark Purple Rhododendron | 8 & 8 | 3.5'-4' HT. |
| GRASSES | 45 | Calamagrostis canadensis 'East Pointer' | Pasture Seed Grass | 3 gal | |
| GRASSES | 33 | Panicum virgatum 'Shenandoah' | Switch Grass | 2 gal | |
| GROUND COVERS | 124 | Lilium spicata | Crowding Lily Turf | 2 gal | 20" o.c. |
| GROUND COVERS | 49 | Perezovia | Assorted Perezovia | 1 gal | 20" o.c. |



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Scale: AS NOTED
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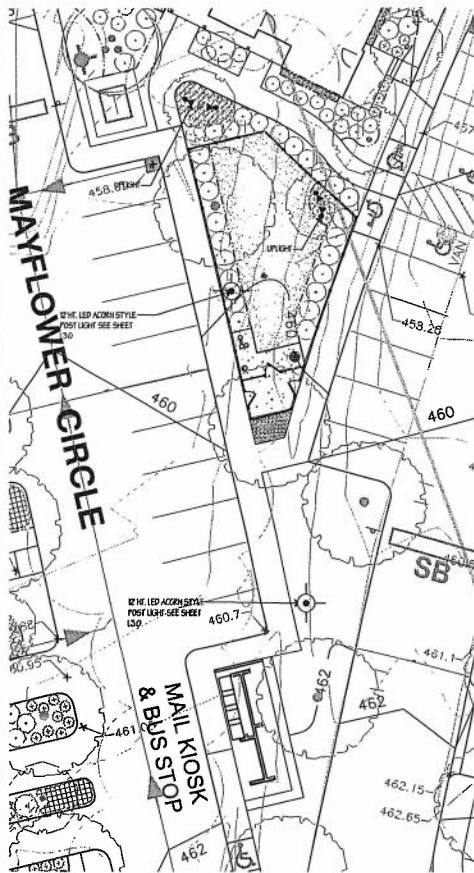
Project Name:
**AVALON
MARLBOROUGH II**

200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:
**PHASE 1 CONNECTOR
ENLARGEMENT
PLAN**

Project Number:
17030
Issue Date:
January 30, 2018
Sheet Number:

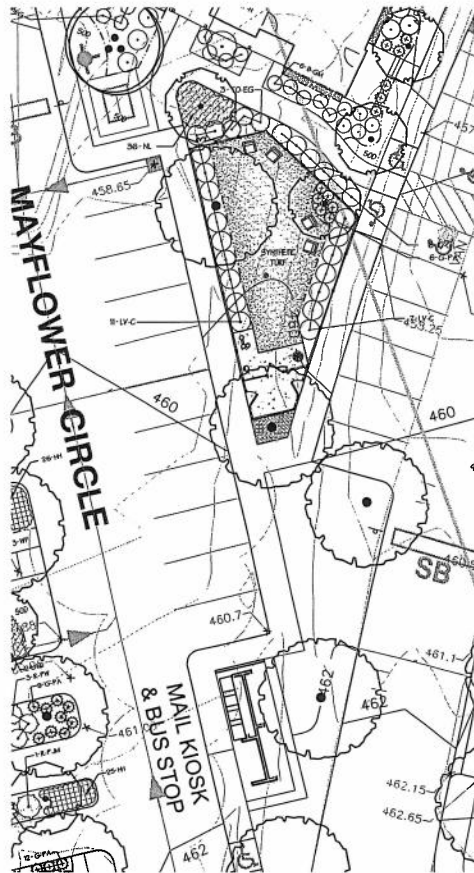
L7.1



Lighting Plan
Scale: 1" = 10'-0"

Lighting Schedule

| SYMBOL | QUANTITY | DESCRIPTION | MANUFACTURER | SPECIFICATION |
|--------|----------|-------------|-------------------|------------------------------------|
| ⬅ | 4 EA | UP LIGHTING | PROGRESS LIGHTING | P2234-S1 W/ P2062 QUICK MOUNT POST |

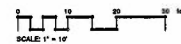


Planting Plan
Scale: 1" = 10'-0"

- NOTE:**
- SEE SHEET L2.8 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
 - SEE SHEET B.60 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE

PLANT SCHEDULE DOG PARK

| SHRUBS | SYM | BOTANICAL NAME | COMMON NAME | CONT | SIZE |
|---------------|-----|------------------------------------|--------------------------------|-------|----------|
| 12-CL | 6 | Blue crested "Green Larkspur" | Green Larkspur, Japanese Holly | 8.0.0 | 2-3' HT. |
| 12-C | 18 | Ligustrum vulgare "Chapelwood" | Chapelwood Privet | 8.0.0 | 2-3' HT. |
| 12-EC | 3 | Thuja occidentalis "Emerald Green" | Emerald Green Arborvitae | 8.0.0 | 6-7' HT. |
| GRASSES | SYM | BOTANICAL NAME | COMMON NAME | CONT | SIZE |
| G-PA | 8 | Pennisetum alopecuroides "Hameln" | Hameln Dwarf Fountain Grass | 2 gal | |
| GROUND COVERS | SYM | BOTANICAL NAME | COMMON NAME | CONT | SPECIFIC |
| 12 | 2 | Hesperis "Little Tink" | Crocus | 1 gal | 30" etc. |



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Revision:

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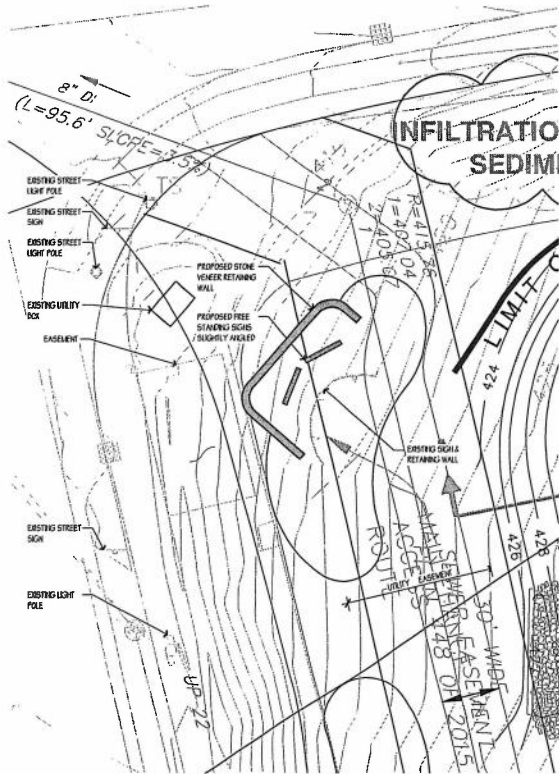
Project Name:
**AVALON
MARLBOROUGH II**

**200 FOREST STREET
MARLBOROUGH, MA**

Sheet Name:
**DOG PARK
ENLARGEMENT
PLAN**

Project Number:
17030
Issue Date:
January 30, 2018
Sheet Number:

L9.1



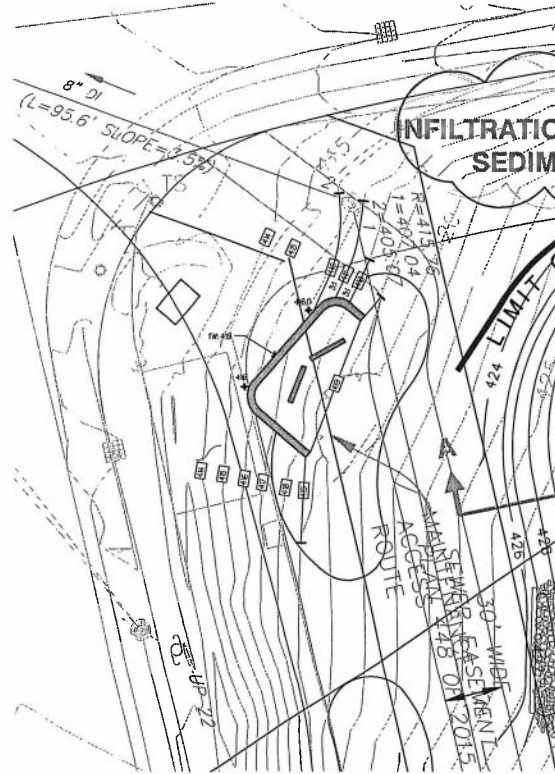
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Scale: 1" = 10'-0"



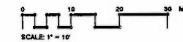
Layout Plan

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Grading Plan

Scale: 1" = 10'-0"



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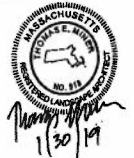
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Key Plan:



Project Name:

**AVALON
MARLBOROUGH II**

200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:

**INTERSECTION
ENHANCEMENT
ENLARGEMENT
PLAN**

Project Number:

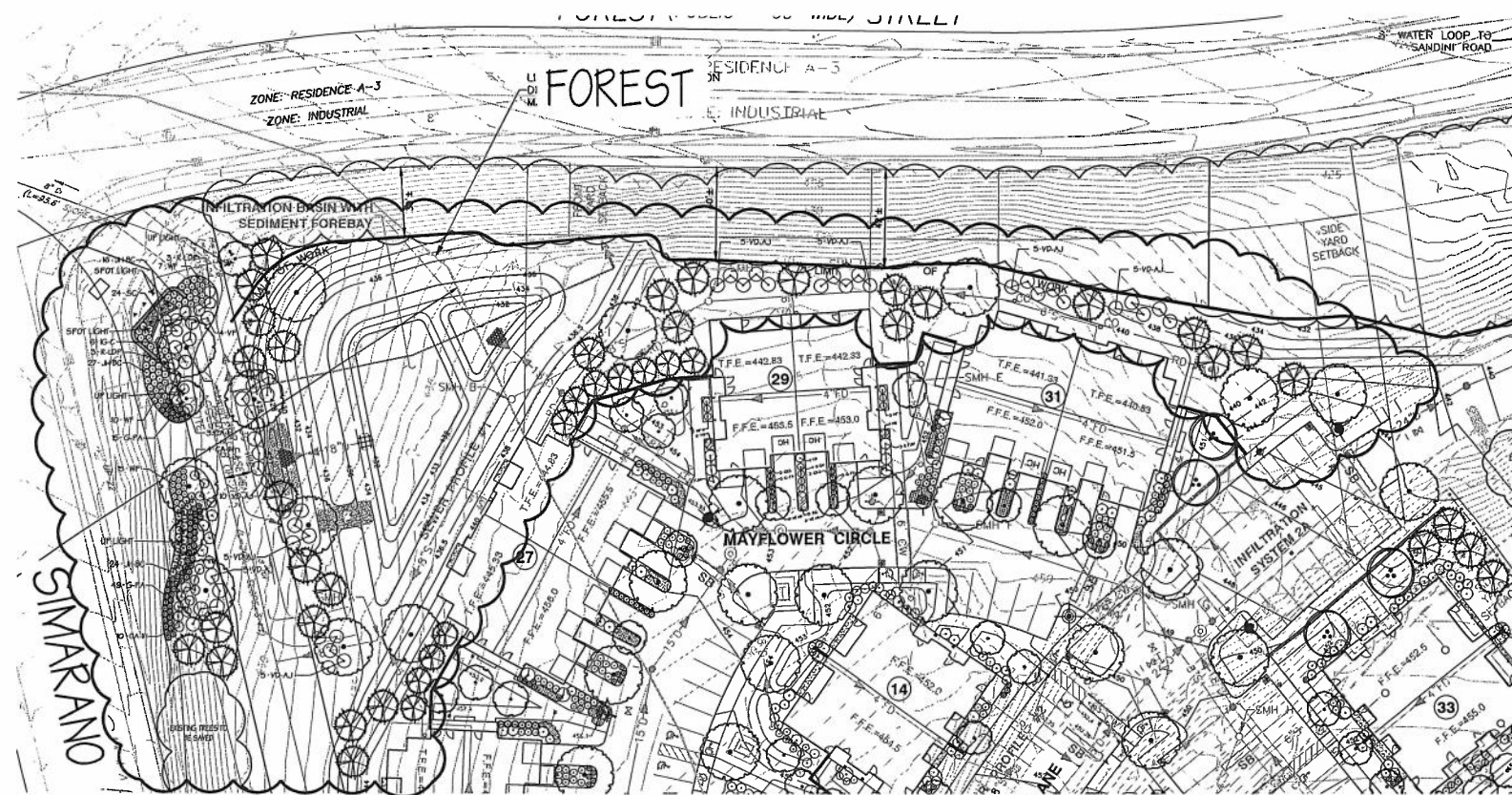
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Issue Date:



December 12, 2018

Sheet Number:

L10.0



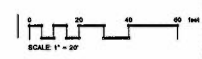
Lighting Schedule

| SYMBOL | QUANTITY | DESCRIPTION | MANUFACTURER | SPECIFICATION |
|---|----------|-----------------|---------------------|-----------------------------------|
|  | 6 EA | UP LIGHTING | PROGRESS LIGHTING | P8254-31 W P8562 QUICK MOUNT POST |
|  | 7 EA | SIGN SPOT LIGHT | PROGRESS COMMERCIAL | PC0FL-COOLP-20 |

NOTE:
1. SEE SHEET L2.0 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
2. SEE SHEET R.50 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE

PLANT SCHEDULE INTERSECTION 1

| SUBURS | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SIZE |
|-----------------|-----|---|--------------------------------|--------|-------------|
| CA-0N | 6 | <i>Cornus alba</i> "Jelly Baby" | Verticillate European Dogwood | 8 & 8 | 3' HT. |
| UC-C | 6 | <i>Blue salix</i> "Compass" | Compact Salix | 8 & 8 | 3' HT. |
| 3H-0C | 67 | <i>Juncus communis</i> "Blue Chip" | Blue Chip Juniper | Com. | 18-24" SPD. |
| 8-L0P | 11 | <i>Rhododendron</i> "Lee's Dark Purple" | Lee's Dark Purple Rhododendron | 8 & 8 | 2.5'-4' HT. |
| VP-AJ | 35 | <i>Wiburnum dentatum</i> "Autumn Jazz" | Autumn Jazz Viburnum | 8 & 8 | 3.5'-4' HT. |
| VP | 5 | <i>Wiburnum albatrum</i> "Rhapsody" | Rhapsody Viburnum | 8 & 8 | 4' HT. |
| WF | 32 | <i>Wigwag Florida</i> "Fire Wine" | Fire Wine Wigwag | 8 & 8 | 2-2.5' HT. |
| GRASES | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SIZE |
| G-18 | 60 | <i>Panicum alterniflorum</i> "Humilis" | Stolon Dwarf Panicum Grass | 2 1/4" | |
| SEASONAL COLORS | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SPACING |
| SC | 20 | Seasonal Color | Seasonal Color | 1 pt | 20' o.c. |



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Architect of Record:

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Checked: TM
Scale: AS NOTED
Key Plan:

Project Name:
**AVALON
MARLBOROUGH II**

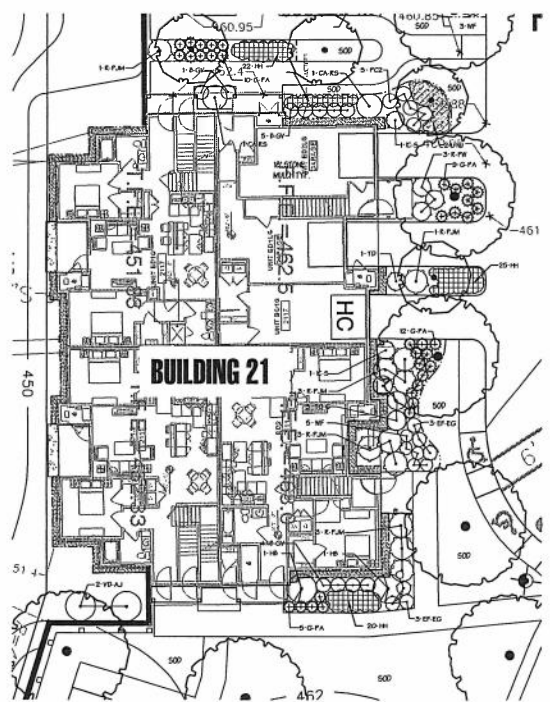
200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:
**BUILDING TYPICAL
PLANTING PLAN**

Project Number:
17030

Issue Date:
January 30, 2019

Sheet Number:
L11.0

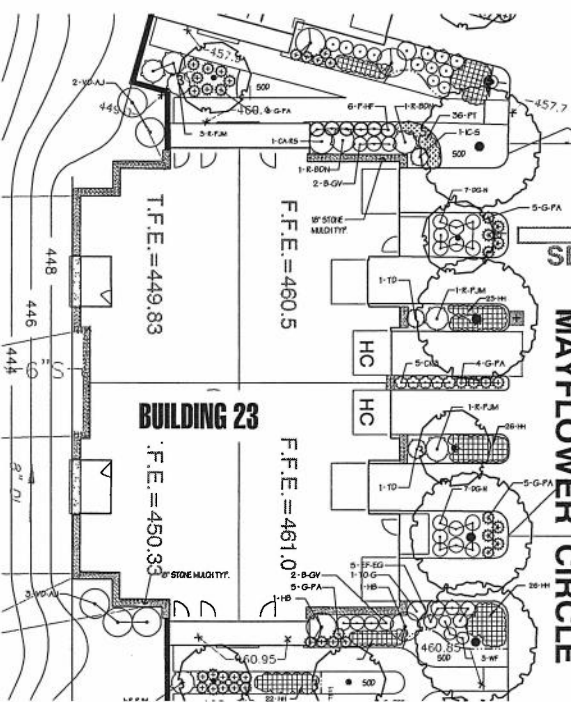


Building 21
Scale: 1" = 10'-0"

NOTE:
1. SEE SHEET L2.0 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
2. SEE SHEET 0.50 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE

PLANT SCHEDULE BUILDINGS: 21

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | COUNT | CAL | SIZE |
|---------------|-----|----------------------------------|-----------------------------|-------|-----|------------|
| B-DV | 2 | Buxus 'Green Velvet' | Green Velvet Boxwood | 2 | 1 | 2'-0" HT. |
| CA-RS | 2 | Quercus laevis 'Ruby Spice' | Ruby Spice Oak | 2 | 1 | 2'-0" HT. |
| EF-G | 6 | Euonymus alatus 'Emerald Gaiety' | Emerald Gaiety Euonymus | 6 | 1 | 3'-0" SPO. |
| HC | 2 | Hibiscus syriacus 'Blue Chiffon' | Blue Chiffon Hibiscus | 2 | 1 | 4'-0" HT. |
| HS | 2 | Hamamelis virginica | Winged Tree | 2 | 1 | 5'-0" HT. |
| PC | 3 | Prunella japonica 'Cavendish' | Cavendish Japanese Holly | 3 | 1 | 2'-0" HT. |
| R-FM | 13 | Rhododendron 'F.M.' | F.M. Rhododendron | 13 | 1 | 2'-0" HT. |
| R-W | 3 | Rhododendron 'Pony William' | Pony William Rhododendron | 3 | 1 | 2'-0" HT. |
| TD | 1 | Thuja occidentalis 'Dappled Sun' | Dappled Sun Arborvitae | 1 | 1 | 4'-0" HT. |
| TO-G | 3 | Thuja occidentalis 'Globe' | Globe Arborvitae | 3 | 1 | 2'-0" HT. |
| VO-AJ | 2 | Viburnum dentatum 'Autumn Jazz' | Autumn Jazz Viburnum | 2 | 1 | 2'-0" HT. |
| WF | 5 | Wegelia bertha 'Fire Wine' | Fire Wine Weigela | 5 | 1 | 2'-0" HT. |
| GRASSES | | | | | | |
| G-R | 2 | Panicum blanchardii 'Hameln' | Hameln Dwarf Fountain Grass | 2 | 1 | 12" H.C. |
| GROUND COVERS | | | | | | |
| HL | 21 | Hemerocallis 'Happy Returns' | Happy Returns Daylily | 1 | 1 | 12" H.C. |
| HL | 21 | Hebe 'Little Trudy' | Hebe | 1 | 1 | 12" H.C. |

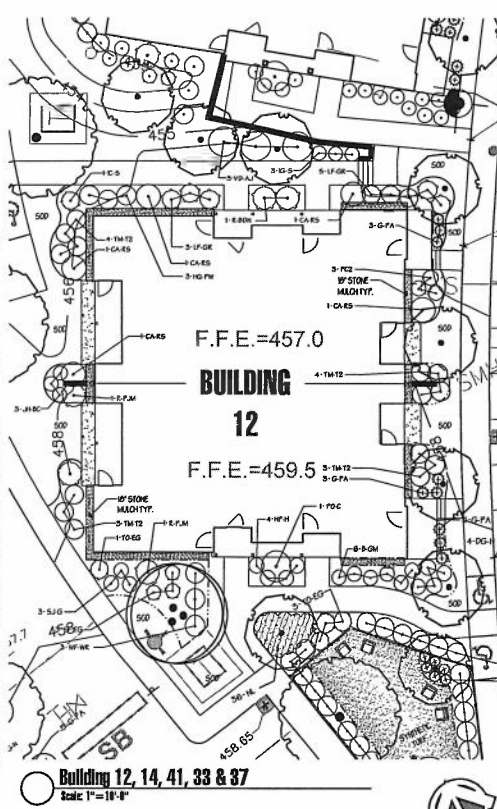


Building 23, 25, 27 & 31
Scale: 1" = 10'-0"

NOTE:
1. SEE SHEET L2.0 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
2. SEE SHEET 0.50 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE

PLANT SCHEDULE BUILDINGS: 23, 25, 27 & 31

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | COUNT | CAL | SIZE |
|--------------------|-----|--|-----------------------------|-------|-----|-------------|
| B-DV | 7 | Buxus 'Green Velvet' | Green Velvet Boxwood | 7 | 1 | 2'-0" HT. |
| CA-RS | 1 | Quercus laevis 'Ruby Spice' | Ruby Spice Oak | 1 | 1 | 2'-0" HT. |
| GC-H | 14 | Quercus grisea 'Miles' | Miles Oak | 14 | 1 | 18-24" SPO. |
| EF-G | 3 | Euonymus alatus 'Emerald Gaiety' | Emerald Gaiety Euonymus | 3 | 1 | 3'-0" SPO. |
| HS | 2 | Hibiscus syriacus 'Blue Chiffon' | Blue Chiffon Hibiscus | 2 | 1 | 4'-0" HT. |
| PC | 2 | Prunella japonica 'Cavendish' | Cavendish Japanese Holly | 2 | 1 | 2'-0" HT. |
| R-DV | 2 | Rhododendron 'Doris' | Doris Rhododendron | 2 | 1 | 5'-0" HT. |
| R-FM | 3 | Rhododendron 'F.M.' | F.M. Rhododendron | 3 | 1 | 2'-0" HT. |
| R-W | 3 | Rhododendron 'Pony William' | Pony William Rhododendron | 3 | 1 | 2'-0" HT. |
| TD | 2 | Thuja occidentalis 'Dappled Sun' | Dappled Sun Arborvitae | 2 | 1 | 4'-0" HT. |
| TO-G | 3 | Thuja occidentalis 'Globe' | Globe Arborvitae | 3 | 1 | 2'-0" HT. |
| VO-AJ | 3 | Viburnum dentatum 'Autumn Jazz' | Autumn Jazz Viburnum | 3 | 1 | 2'-0" HT. |
| WF | 4 | Wegelia bertha 'Fire Wine' | Fire Wine Weigela | 4 | 1 | 2'-0" HT. |
| ANNUALS/PERENNIALS | | | | | | |
| F-F | 2 | Fuchsia terminalis | Flamingo Fuchsia | 1 | 1 | 12" H.C. |
| GRASSES | | | | | | |
| CS | 3 | Chloroglossis x scabriflora 'Red Fountain' | Red Fountain Grass | 3 | 1 | 24" H.C. |
| F-F | 27 | Festuca ovina 'Hameln' | Hameln Dwarf Fountain Grass | 2 | 1 | 12" H.C. |
| GROUND COVERS | | | | | | |
| HL | 31 | Hemerocallis 'Happy Returns' | Happy Returns Daylily | 1 | 1 | 12" H.C. |
| PF | 36 | Polypodium terrene | Japanese Spurge | 1 | 1 | 12" H.C. |

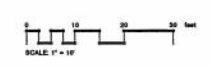


Building 12, 14, 41, 33 & 37
Scale: 1" = 10'-0"

NOTE:
1. SEE SHEET L2.0 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
2. SEE SHEET 0.50 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE


PLANT SCHEDULE BUILDINGS: 12, 14, 41, 33 & 37

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | COUNT | CAL | SIZE |
|---------------|-----|----------------------------------|-----------------------------|-------|-----|-------------|
| B-DV | 6 | Buxus 'Green Velvet' | Green Velvet Boxwood | 6 | 1 | 2'-0" HT. |
| CA-RS | 5 | Quercus laevis 'Ruby Spice' | Ruby Spice Oak | 5 | 1 | 2'-0" HT. |
| GC-H | 4 | Quercus grisea 'Miles' | Miles Oak | 4 | 1 | 18-24" SPO. |
| EF-G | 3 | Euonymus alatus 'Emerald Gaiety' | Emerald Gaiety Euonymus | 3 | 1 | 3'-0" SPO. |
| HS | 4 | Hibiscus syriacus 'Blue Chiffon' | Blue Chiffon Hibiscus | 4 | 1 | 4'-0" HT. |
| PC | 3 | Prunella japonica 'Cavendish' | Cavendish Japanese Holly | 3 | 1 | 2'-0" HT. |
| R-DV | 2 | Rhododendron 'Doris' | Doris Rhododendron | 2 | 1 | 5'-0" HT. |
| R-FM | 3 | Rhododendron 'F.M.' | F.M. Rhododendron | 3 | 1 | 2'-0" HT. |
| R-W | 3 | Rhododendron 'Pony William' | Pony William Rhododendron | 3 | 1 | 2'-0" HT. |
| TD | 1 | Thuja occidentalis 'Dappled Sun' | Dappled Sun Arborvitae | 1 | 1 | 4'-0" HT. |
| TO-G | 3 | Thuja occidentalis 'Globe' | Globe Arborvitae | 3 | 1 | 2'-0" HT. |
| VO-AJ | 3 | Viburnum dentatum 'Autumn Jazz' | Autumn Jazz Viburnum | 3 | 1 | 2'-0" HT. |
| WF | 4 | Wegelia bertha 'Fire Wine' | Fire Wine Weigela | 4 | 1 | 2'-0" HT. |
| GRASSES | | | | | | |
| G-R | 2 | Panicum blanchardii 'Hameln' | Hameln Dwarf Fountain Grass | 2 | 1 | 12" H.C. |
| GROUND COVERS | | | | | | |
| HL | 21 | Hemerocallis 'Happy Returns' | Happy Returns Daylily | 1 | 1 | 12" H.C. |
| HL | 21 | Hebe 'Little Trudy' | Hebe | 1 | 1 | 12" H.C. |



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Architect of Record:

1/30/19

Drawn: TRM
Checked: TM
Scale: AS NOTED
Key Plan:

Project Name:
**AVALON
MARLBOROUGH II**

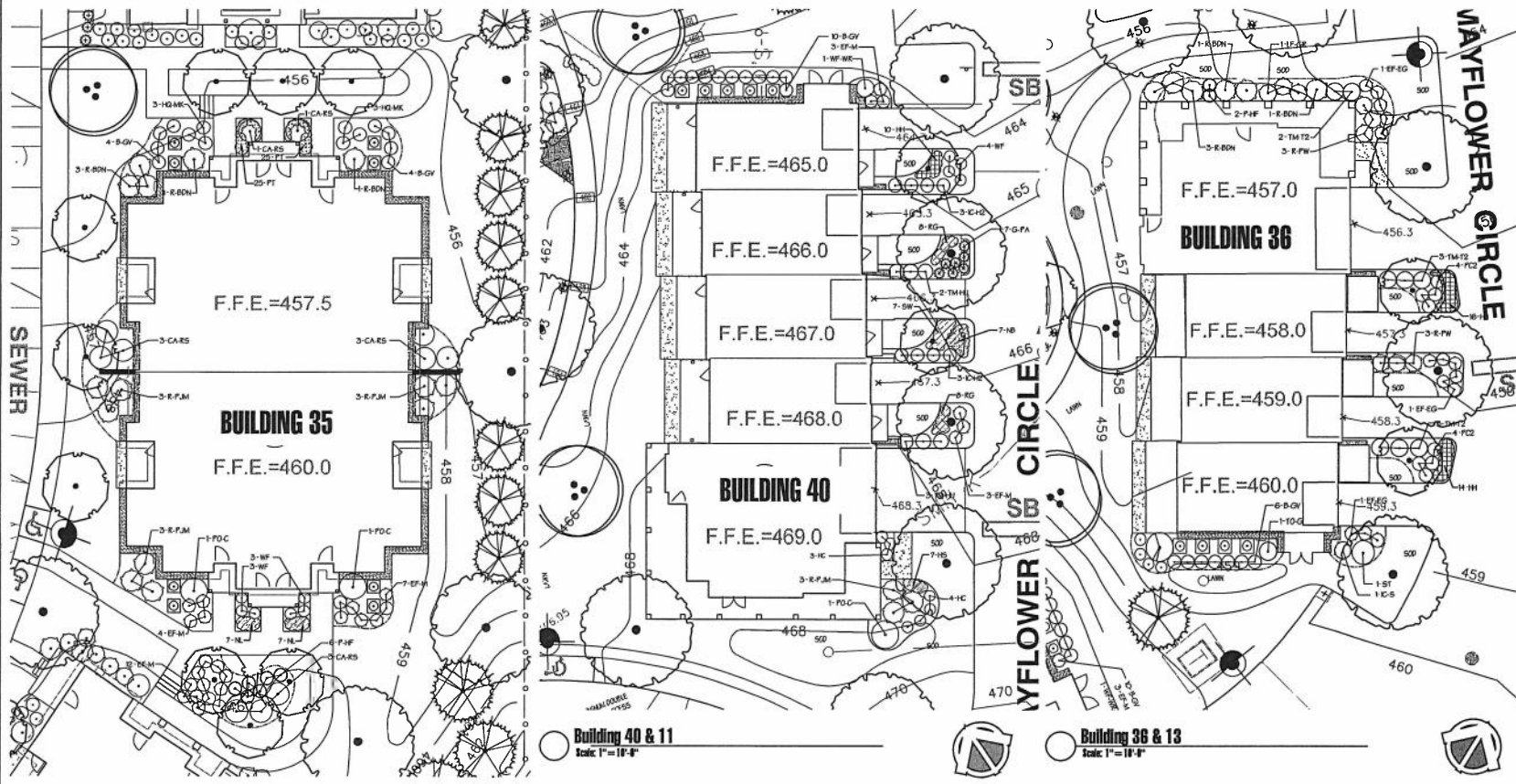
200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:
**BUILDING TYPICAL
PLANTING PLAN**

Project Number:
17030

Issue Date:
January 30, 2019

Sheet Number:
L11.1



NOTE:
1. SEE SHEET L2.0 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
2. SEE SHEET B.50 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE

PLANT SCHEDULE BUILDING 35 & 39

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SIZE |
|---------------|-----|--------------------------------------|-------------------------|-------|-------------|
| B-GV | 8 | Buxus 'Green Velvet' | Green Velvet Boxwood | 8 x 8 | 2' HT. |
| CA-RS | 8 | Quercus alba 'Hale's Select' | Hale's Select Oak | 8 x 8 | 2' HT. |
| EP-H | 12 | Euonymus alatus 'Alatum' | Winged Euonymus | 12 | 3' SPD |
| HQ-HC | 8 | Hydrangea paniculata 'Mophead' | Mophead Hydrangea | 8 x 8 | 2-3' HT. |
| POC | 2 | Physocarpus opulifolius 'Copperline' | Copperline Physocarpus | 8 x 8 | 2.5'-4' HT. |
| R-BN | 8 | Rhododendron 'Boule de Neige' | White Snow Rhododendron | 8 x 8 | 3' HT. |
| R-DM | 8 | Rhododendron 'Fragrant' | Fragrant Rhododendron | 8 x 8 | 3' HT. |
| WF | 6 | Wigwag florida 'Fire Wreath' | Fire Wreath Ligustrum | 8 x 8 | 2-2.5' HT. |
| GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SPACING |
| IL | 15 | Hepta x 'Little Tink' | Japanese Spurge | 1 gal | 12" x 12" |
| PT | 50 | Pedicularis ternata | Japanese Spurge | 1 gal | 12" x 12" |

NOTE:
1. SEE SHEET L2.0 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
2. SEE SHEET B.50 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE

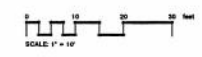
PLANT SCHEDULE BUILDING 40 & 11

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SIZE |
|---------------|-----|---------------------------------------|------------------------|-------|-------------|
| B-GV | 82 | Buxus 'Green Velvet' | Green Velvet Boxwood | 8 x 8 | 2' HT. |
| EP-H | 8 | Euonymus alatus 'Alatum' | Winged Euonymus | 8 x 8 | 3' SPD |
| HS | 1 | Hibiscus syriacus 'Blue Chiffon' | Blue Chiffon Hibiscus | 8 x 8 | 4' HT. |
| HC | 7 | Hydrangea macrophylla 'Olden's Blue' | Olden's Blue Hydrangea | 8 x 8 | 2.5'-4' HT. |
| IC-HZ | 8 | Ilex cornuta 'Tidwell' | Tidwell Holly | 8 x 8 | 2.5' HT. |
| POC | 1 | Physocarpus opulifolius 'Copperline' | Copperline Physocarpus | 8 x 8 | 2.5'-4' HT. |
| R-FM | 3 | Rhododendron 'FPM' | FPM Rhododendron | 8 x 8 | 3' HT. |
| TR-HZ | 8 | Taxus x media 'Hills Upright' | Hills Upright Yew | 8 x 8 | 2-2.5' HT. |
| WF | 8 | Wigwag florida 'Fire Wreath' | Fire Wreath Ligustrum | 8 x 8 | 2-2.5' HT. |
| WF-WR | 8 | Wigwag florida 'Wine & Roses' | Wine & Roses Ligustrum | 8 x 8 | 3' HT. |
| GRASSES | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SIZE |
| GR | 7 | Pennisetum clandestinum 'Dreadnaught' | Dreadnaught Pennisetum | 2 gal | |
| GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SPACING |
| HS | 39 | Hemerocallis x 'Happy Returns' | Happy Returns Daylily | 1 gal | 18" x 18" |
| HS | 7 | Hemerocallis 'Star Spots' | Star Spots Daylily | 1 gal | 18" x 18" |
| HS | 7 | Hemerocallis 'Blue Wonder' | Blue Wonder Daylily | 1 gal | 24" x 24" |
| RZ | 18 | Rudbeckia hirta 'Goldstruck' | Goldstruck Rudbeckia | 1 gal | 18" x 18" |
| SW | 7 | Spiraea japonica 'Waltuna' | Waltuna Spiraea | 1 gal | 24" x 24" |

NOTE:
1. SEE SHEET L2.0 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
2. SEE SHEET B.50 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE

PLANT SCHEDULE BUILDING 36 & 13

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SIZE |
|--------------------|-----|------------------------------------|--------------------------|-------|-------------|
| B-GV | 7 | Buxus 'Green Velvet' | Green Velvet Boxwood | 8 x 8 | 2' HT. |
| EP-H | 11 | Euonymus alatus 'Alatum' | Winged Euonymus | 8 x 8 | 3' SPD |
| IC-S | 1 | Ilex cornuta 'Shade' | Shade Holly | 8 x 8 | 3.5'-4' HT. |
| IC-GL | 3 | Lawsonia bicolor 'Grand's Rainbow' | Grand's Rainbow Lawsonia | 8 x 8 | 38" HT. |
| ICZ | 6 | Pinus japonica 'Castanea' | Castanea Japanese Holly | 8 x 8 | 2-2.5' HT. |
| R-BN | 8 | Rhododendron 'Boule de Neige' | White Snow Rhododendron | 8 x 8 | 3' HT. |
| R-FM | 8 | Rhododendron 'Fragrant' | Fragrant Rhododendron | 8 x 8 | 2-2.5' HT. |
| TR-HZ | 8 | Taxus x media 'Tidwell' | Tidwell Yew | 8 x 8 | 2-2.5' HT. |
| ANNUALS/PERENNIALS | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SIZE |
| P1P | 2 | Hasta x 'Flowers' | Hasta | 1 gal | |
| GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SPACING |
| GR | 30 | Hemerocallis x 'Happy Returns' | Happy Returns Daylily | 1 gal | 18" x 18" |



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Revision:

Architect of Record:



Drawn: TRM

Checked: TM

Scale: AS NOTED

Key Plan:

Project Name:

**AVALON
MARLBOROUGH II**

200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:

**BUILDING TYPICAL
PLANTING PLAN**

Project Number:

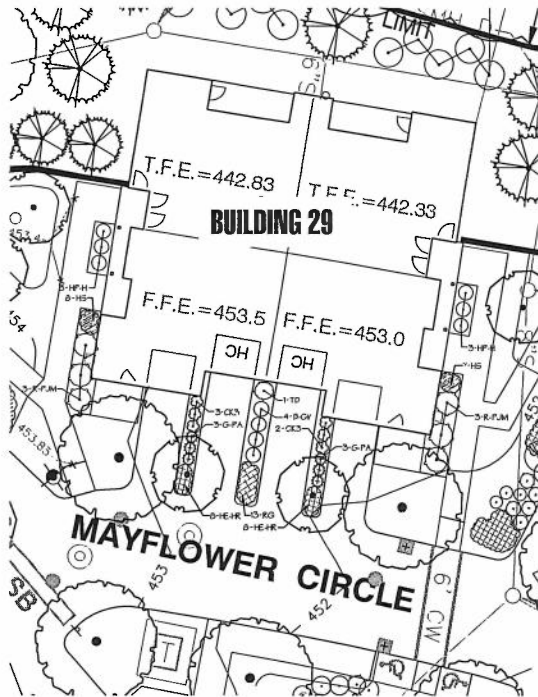
17030

Issue Date:

January 30, 2019

Sheet Number:

L11.2



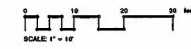
Building 29
Scale: 1" = 10'-0"

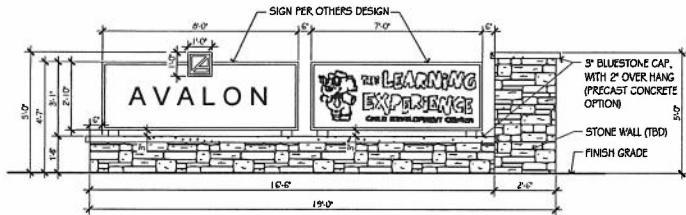
NOTE:

1. SEE SHEET L2.8 SITE LANDSCAPE PLAN FOR TREE IDENTIFICATION & QUANTITIES
2. SEE SHEET 0.50 FOR PLANT DETAILS AND MASTER PLANT SCHEDULE

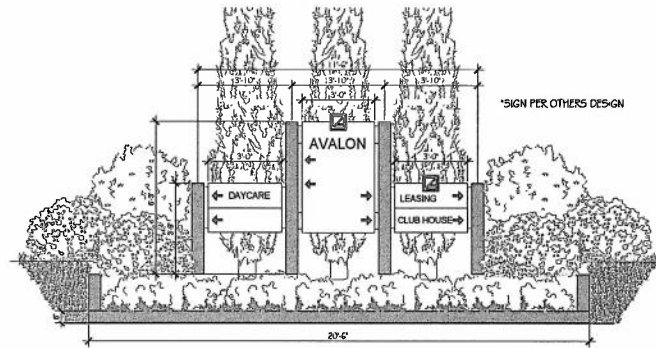
PLANT SCHEDULE BUILDING 29

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SIZE |
|---------------|-----|---|------------------------------|-------|-------------|
| B-2V | 4 | Buxus 'Green Velvet' | Green Velvet Boxwood | 6 x 6 | 2' HT. |
| HPH | 6 | Hesperis matronalis 'Hidolan' | Hidolan St. John's Wort | Cont. | 18-24" SPD. |
| R-2H | 6 | Rhododendron 'FHM' | FHM Rhododendron | 6 x 6 | 3' HT. |
| TD | 1 | Thuja occidentalis 'Draped's Spire' | Draped's Spire Arborvitae | 8 x 8 | 6-7' HT. |
| GRASSES | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SIZE |
| CCJ | 4 | Calamagrostis x acutiflora 'Jarl Founier' | Feather Reed Grass | 3 gal | |
| G-8H | 6 | Panicum illynoense 'Hidolan' | Hidolan Dwarf Fountain Grass | 1 gal | |
| GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | COUNT | SIZE |
| RE-8R | 36 | Hemerocallis 'Happy Returns' | Happy Returns Daylily | 1 gal | 18" x 6" |
| HS | 15 | Heuchera 'Silver Scrolls' | Coral Bell | 1 gal | 18" x 6" |
| RG | 13 | Rudbeckia hirta subvar. 'Goldsturm' | Black-eyed Susan | 1 gal | 18" x 6" |

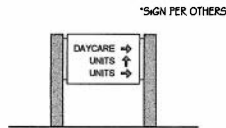




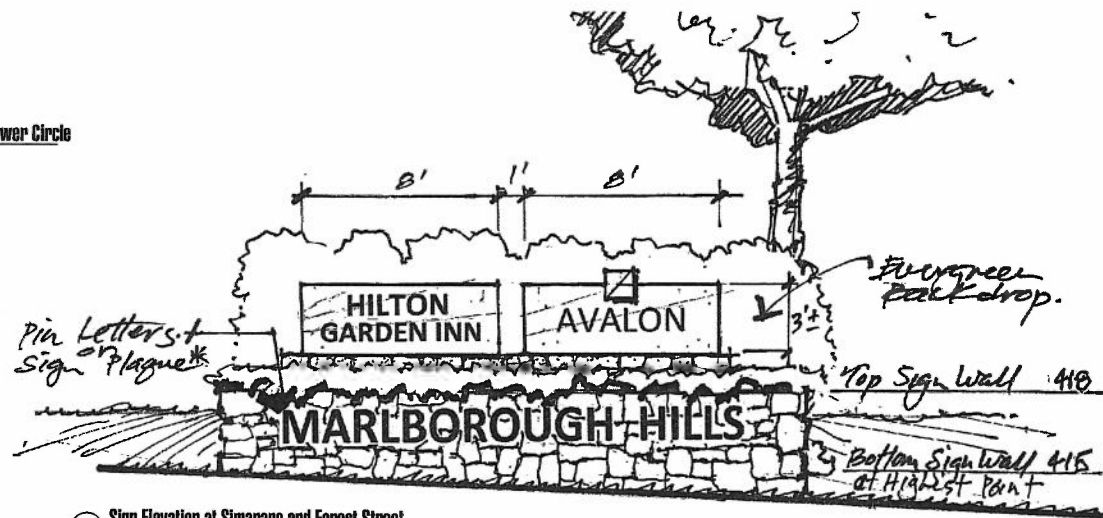
Monument Entry Sign Wall at Simarano Drive
Scale: 1/2" = 1'-0"



Directional Sign at Park View Lane and Phase II Main Entrance
Scale: 1/2" = 1'-0"



Directional Sign at Intersection of Bluebell Lane & Mayflower Circle
Scale: 1/2" = 1'-0"

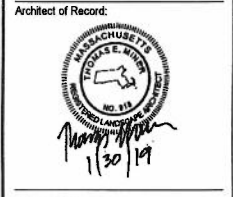


Sign Elevation at Simarano and Forest Street
Scale: 1/2" = 1'-0"

Consultant:
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Revision:
1. 12/12/18
2. 01/01/19

Architect of Record:



Drawn: TRM
Checked: TRM
Scale:
Key Plan:

Project Name:
**AVALON
MARLBOROUGH II**

200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:
PLANTING NOTES

Project Number:
17030

Issue Date:
May 17, 2018

Sheet Number:
D6.0

1.0 GENERAL LANDSCAPE NOTES

- 1) **CONTRACTOR REQUIREMENTS:** ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS FROM ALL FEDERAL, STATE AND LOCAL AUTHORITIES.
- 2) THE CONTRACTOR SHALL ARRANGE FOR AND OBTAIN ALL PERMITS AND LICENSES NECESSARY FOR THE WORK DESCRIBED HEREIN AND SHALL OBTAIN ALL THE NECESSARY PERMITS PRIOR TO THE START OF ANY WORK.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE OF ALL EXISTING UTILITIES.
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2.0 PLANTING MATERIALS

- 1) PLANTING MATERIALS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 2) ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE. ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE.
- 3) ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE. ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE.
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- 10) ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE. ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE.
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- 12) ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE. ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE.
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- 14) ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE. ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE.
- 15) ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE. ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE.
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- 17) ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE. ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE.
- 18) ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE. ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE.
- 19) ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE. ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE.
- 20) ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE. ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS STATE.

3.0 INSTALLATION

- 1) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 2) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 3) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 4) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 5) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 6) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 7) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 8) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
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- 18) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 19) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 20) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.

3.0 INSTALLATION CONT.

- 1) CONTAINER GROWN STOCK SHALL BE REMOVED FROM CONTAINERS BY CUTTING CONTAINER AWAY TO AVOID ROOT DAMAGE TO PLANT ROOT SYSTEM. PLANT ROOTS SHALL BE PROTECTED FROM ALTERNATE ROOTING LOCATIONS BY COVERING WITH MULCH. MULCH SHALL BE FLOOY ON PAGES 60 TO 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000.
- 2) BATTERED, THOROUGHLY WATER UNTIL SOIL IS SATURATED AROUND ALL TREES AND SHRUBS AFTER PLANTING AND THROUGHOUT THE 1ST PERIOD UNTIL FINAL ACCEPTANCE FROM CLIENT. DURING DRY CONDITIONS, WATER IS REQUIRED TO MAINTAIN PLANTS IN A SUITABLE CONDITION.
- 3) PRUNING: ONLY REMOVE DEAD OR BROKEN BRANCHES FROM PLANTS.
- 4) STAKING AND GUYING: ALL TREES TO BE STAKED AND GUYED WITHIN 48 HOURS OF PLANTING. METHODS AND MATERIALS FOR STAKING AND GUYING ARE ILLUSTRATED IN INDIVIDUAL PLANTING DETAILS. STAKES AND GUYING SHALL BE NEATLY PLACED AND NOT RESTRICTIVE TO TREE DEVELOPMENT.
- 5) STAKE OUT PLANT LOCATIONS: PRIOR TO PLANTING THE CONTRACTOR SHALL LAYOUT THE EXACT LOCATION OF EACH PLANT AND PROPOSED LOCATIONS FOR BIR PLANTS FOR REVIEW BY THE OWNER AND LANDSCAPE ARCHITECT.
- 6) PLANTING FIELD ADJUSTMENTS: ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 7) LARGE GROUND PLANTS: LARGE GROUND PLANTS ARE NOT TO BE PLANTED IN FRONT OF WINDOWS OR UNDER BUILDING OVERHANGS UNLESS THE LANDSCAPE ARCHITECT HAS SPECIFICALLY REQUESTED OTHERWISE.
- 8) SHRUBS PLANTED NEAR WINDOWS: SHRUBS PLANTED NEAR WINDOWS SHALL BE PLANTED IN A MANNER THAT DOES NOT OBSTRUCT THE VIEW FROM THE WINDOW. SHRUBS SHALL BE PLANTED IN A MANNER THAT DOES NOT OBSTRUCT THE VIEW FROM THE WINDOW.
- 9) PLANT BED DETAIL: PLANT BEDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 10) I.D.A. - THE AMERICAN WITH DISABILITIES ACT STANDARDS REQUIRE THAT A 3' FOOT WIDE CLEARANCE BE MAINTAINED AT ALL TIMES. ALL PLANTS SHALL BE PLANTED IN A MANNER THAT DOES NOT OBSTRUCT THE CLEARANCE.
- 11) TREE SPACING: TREE SPACING SHALL BE MAINTAINED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 12) TREE SPACING: TREE SPACING SHALL BE MAINTAINED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
- 13) TREE SPACING: TREE SPACING SHALL BE MAINTAINED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
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- 20) TREE SPACING: TREE SPACING SHALL BE MAINTAINED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.

4.0 SEEDING AND SODDING

- 1) SEEDING OF LAWN AREAS: GRASS SEED APPLICATION SHALL BE SPREAD AT THE RATE OF 8 LBS PER 1000 SQUARE FEET. SEEDING SHALL BE ACCOMPLISHED BY MEANS OF A HYDRO-SEEDING PROCESS. ALSO SEE SECTION 13.
- 2) WATERING OF SEEDING AREAS: 14 HOURS AFTER HYDRO SEEDING, THE CONTRACTOR SHALL WATER THE SEEDING AREAS LIGHTLY AND SURFICULTIVALLY TO A DEPTH OF 1/2 INCHES (1/2) 1 TIME A DAY (BETWEEN THE HOURS OF 7PM AND 1AM) UNTIL THE SEEDS ARE ESTABLISHED.
- 3) SEEDING AREA PROTECTION: THE CONTRACTOR SHALL BRIST SUITABLE SIGNS AND BARRIERS TO NOTIFY THE PUBLIC TO KEEP OFF THE SEEDING AREAS UNTIL WELL ESTABLISHED. ANY TRAFFIC DAMAGE AND VANDALISM THAT MAY OCCUR PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE REPAIRED AND RESEEDED AT THE OWNER'S EXPENSE. ANY DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
- 4) LAYING OF SOGS: A KENTUCKY BLUEGRASS SOG 12" X 12" BY LOCAL SOURCE AS SELECTED BY CONTRACTOR SHALL BE LAYED OUT FROM THE BARE FIELD WITH 1/2 INCHES OF SOG. SOGS SHALL BE LAID IMMEDIATELY WITH ANY STONES SO BEING UNLIDDED GRASS SIDE UP AND KEPT BARRIERS LAID TOGETHER TIGHTLY TOGETHER WITHOUT OVERLAPPING WITH THE JOINTS STaggered. AFTER SOGGING IS COMPLETE, SOG LAYING, THE CONTRACTOR SHALL WATER THE SOGGED AREAS TO A DEPTH OF AT LEAST SIX INCHES AFTER THE SOGGING PROCESS. OWNER SHALL THEN BE RESPONSIBLE FOR WATERING. THE RESPONSIBILITY SHALL BE DETERMINED BY RAIN FALL AND WINDS WITH THE UPPER TWO OR THREE INCHES OF SOG NOT DRYING OUT HARSHLY.
- 5) SOGGED AREA INSPECTION AND ACCEPTANCE: FOUR WEEKS AFTER CONTRACTOR COMPLETES INSTALLATION, LANDSCAPE ARCHITECT SHALL INSPECT THE LAWN TO DETERMINE THE ACCEPTABILITY OF THE INSTALLATION. SOGGED AREAS FAILING TO SHOW ADEQUATE ROOTING INTO THE SUBSOIL, OVERLAPPING, COARSE SEPARATION, UNIFORMITY OF THE SURFACE, UNIFORM COLOUR AND EXCESSIVE BROWNNESS MUST BE CORRECTED. ANY SOGGED AREA THAT FAILS TO MEET THE ABOVE CRITERIA SHALL BE REPAIRED AND RESEEDED AT THE CONTRACTOR'S EXPENSE.
- 6) FINAL APPROVAL, SEEDING AND SOGGED AREAS WILL RECEIVE FINAL APPROVAL IF COVERED BY RAIN AND CONTINUED FREE OF BARE SPOTS AND SEED FREE SOG AREAS BY OCT 1ST. IF RAIN AND CONTINUED FREE OF BARE SPOTS AND SEED FREE SOG AREAS BY OCT 1ST. IF RAIN AND CONTINUED FREE OF BARE SPOTS AND SEED FREE SOG AREAS BY OCT 1ST.

5.0 LANDSCAPE IRRIGATION

- 1) LANDSCAPE IRRIGATION TO BE PROVIDED FOR ALL MAINTAINED AREAS. IRRIGATION PLAN TO BE SUPPLIED BY IRRIGATION CONTRACTOR FOR CLIENT AND 100 REVISED PRIOR TO INSTALLATION.
- 2) BUILT CONTROLLERS AND WATER SAVING IRRIGATION HEADS SHALL BE USED.

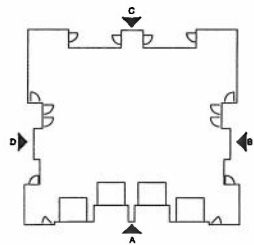
6.0 SITE CLEAN UP

- 1) SITE WORK CONDITIONS: EXCESS WASTE MATERIAL SHALL BE REMOVED DAILY FROM PLANTING AREAS. ALL WASTE MATERIAL SHALL BE REMOVED FROM THE SITE PRIOR TO THE END OF EACH WORKDAY.
- 2) CLEAN PAVED AREAS UTILIZED FOR MATERIALS STORAGE AT END OF EACH WORKDAY.
- 3) MAINTAIN VEHICLES AND EQUIPMENT IN CLEAN CONDITION TO PREVENT SOILING OF ROADS, DRIVEWAYS OR OTHER PAVED OR BURNEDED AREAS.
- 4) REMOVE PROTECTIVE BARRIERS AND SIGNAGE AT TERMINATION OF LAWN ESTABLISHMENT.

General Construction Detail Notes:

1. ALL SPECIFICATIONS AND INSTALLATIONS SHALL COMPLY WITH THE LATEST AVALON/AT CONSTRUCTION STANDARDS AND DESIGN STANDARDS.

Standard Notes:
1. ALL SPECIFICATIONS AND INSTALLATIONS SHALL COMPLY WITH THE LATEST AVALON/AT CONSTRUCTION STANDARDS AND DESIGN STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE OF ALL EXISTING UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE OF ALL EXISTING UTILITIES.
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KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01 HORIZONTAL VINYL SIDING
 - EL02 CULTURED STONE VENEER
 - EL04 ALUMINUM GUTTER AND DOWNSPOUTS
 - EL06 ASPHALT FINISHES
 - EL07 VINYL SIDING
 - EL08 CONDENSING SINE
 - EL09 INSULATED GARAGE DOOR
 - EL10 VINYL TRIM
 - EL12 ALUMINUM PRIVACY SCREEN
 - EL13 COLIUM
 - EL14 RETAINING WALL - SEE CIVIL DRAWINGS
 - EL15 HALLS/DOORS
 - EL16 EXTERIOR DOOR - SEE NOTE 1
 - EL17 ALUMINUM GUARDRAIL
 - EL18 BICYCLE RACK
 - EL19 RIDGE VENT
 - EL20 FIBER CEMENT PANEL
 - EL21 BRICK VINYL SIDING
 - EL22 METAL PANEL ROOF
- NOTE 1 - FINISH HORIZONTAL SIDING TO SPECIFIED ALL OCCURRING FRONT COLORED DOOR & WINDOW TRIM IN FINISH IN ALL ENTRY DOORS.



D TYPICAL DIRECT ENTRY ELEVATION (D) - BUILDING 29
SCALE: 1/8" = 1'-0"



C TYPICAL DIRECT ENTRY ELEVATION (C) - BUILDING 29
SCALE: 1/8" = 1'-0"



B TYPICAL DIRECT ENTRY ELEVATION (B) - BUILDING 29
SCALE: 1/8" = 1'-0"



A TYPICAL DIRECT ENTRY ELEVATION (A) - BUILDING 29
SCALE: 1/8" = 1'-0"

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| Revision: | |
| 1 | 12-12-2018 |
| 2 | 01-30-2019 |
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Architect of Record:

Drawn: Y.Y.
Checked: E.B.
Scale: 1/8" = 1'-0"
Key Plan:



Project Name:
**AVALON
MARLBOROUGH II**

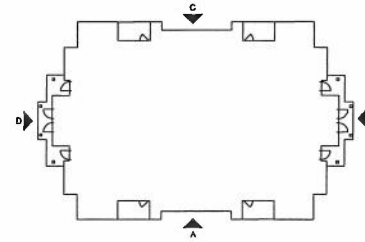
200 FOREST STREET
MARLBOROUGH, MA
Sheet Name:

**EXTERIOR ELEVATIONS
DIRECT ENTRY
BUILDING 29**

Project Number:
17030
Issue Date:
May 17, 2018
Sheet Number:

A1.01

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KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01 HORIZONTAL VINYL SIDING
 - EL02 OLD FIELDS STONE VENEER
 - EL04 ALUMINUM GUTTER AND DOWNSPOUTS
 - EL05 ASPHALT SHINGLES
 - EL06 VINYL WINDOW
 - EL07 CONDENSING UNIT
 - EL08 INSULATED GARAGE DOOR
 - EL09 VINYL TRIM
 - EL10 ALUMINUM PRIVACY SCREEN
 - EL11 COLUMN
 - EL12 SETBACK WALL - SEE CIVIL DRAWINGS
 - EL13 MALDEN
 - EL14 EXTERIOR DOOR - SEE NOTE 1
 - EL15 ALUMINUM QUADRAIR
 - EL16 RECYCLED PAINT
 - EL17 ROOF VENT
 - EL18 FIBER CEMENT PANEL
 - EL19 SHINGLED VINYL SIDING
 - EL20 METAL PANEL ROOF
 - EL21 METAL PANEL ROOF
- *NOTE 1 - CONDENSING UNITS SHALL BE LOCATED AT ALL OCCUPANCY UNITS EXCEPT FROM DOOR AND FROM FUTURE OCCUPANCY UNITS TO BE DETERMINED.

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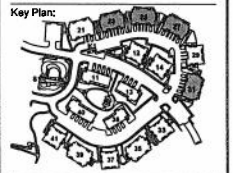
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Revision:

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| 1 | 12-12-2018 |
| 2 | 01-30-2019 |

Architect of Record:

Drawn: Y.Y.
Checked: E.B.
Scale: 1/8" = 1'-0"
Key Plan:



Project Name:
**AVALON
MARLBOROUGH II**

200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:
**EXTERIOR ELEVATIONS
DIRECT ENTRY
BUILDINGS 23, 25, 27 & 31**

Project Number:
17030

Issue Date:
May 17, 2018

Sheet Number:
A1.02



D TYPICAL DIRECT ENTRY ELEVATION (D) - BUILDINGS 23, 25, 27, & 31
SCALE: 1/8" = 1'-0"



C TYPICAL DIRECT ENTRY ELEVATION (C) - BUILDINGS 23, 25, 27, & 31
SCALE: 1/8" = 1'-0"

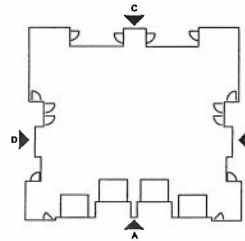


B TYPICAL DIRECT ENTRY ELEVATION (B) - BUILDINGS 23, 25, 27, & 31
SCALE: 1/8" = 1'-0"



A TYPICAL DIRECT ENTRY ELEVATION (A) - BUILDINGS 23, 25, 27, & 31
SCALE: 1/8" = 1'-0"

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KEYNOTE LEGEND - EXTERIOR ELEVATIONS

| | |
|------|------------------------------------|
| EL01 | HORIZONTAL VINYL SIDING |
| EL02 | COLORADO PINE VENEER |
| EL04 | ALUMINUM GUTTER AND DOWNSPOUTS |
| EL05 | ADHESIVE SHINGLES |
| EL06 | VINYL WINDOW |
| EL07 | CONCRETE/STUCCO UNIT |
| EL08 | INSULATED GARAGE DOOR |
| EL09 | VINYL TRIM |
| EL10 | ALUMINUM PRIVACY SCREEN |
| EL11 | CEILING |
| EL12 | RECYCLED WALL - SEE CIVIL DRAWINGS |
| EL13 | UNIBLOCK |
| EL14 | EXTENSION DOOR - SEE NOTE 1 |
| EL15 | ALUMINUM GUARDRAIL |
| EL16 | BICYCLE RACK |
| EL17 | MOOSE VENT |
| EL18 | FRESH CEILING PANEL |
| EL19 | ARTIC. PANEL ROOF |
| EL20 | SHAKE VINYL SIDING |
| EL21 | ARTIC. PANEL ROOF |

NOTE: FINISH: UNIBLOCK SHALL BE IDENTICAL TO IDENTICAL UNIBLOCK FINISH AND UNIBLOCK SHALL BE IDENTICAL TO IDENTICAL UNIBLOCK.

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Revision:

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- 2 01-30-2019

Architect of Record:



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Checked: E.B.

Scale: 1/8" = 1'-0"

Key Plan:



Project Name:

**AVALON
MARLBOROUGH II**

200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:

**EXTERIOR ELEVATIONS
DIRECT ENTRY
BUILDINGS 12, 14, 33, 37
& 41**

Project Number:

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Sheet Number:

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D TYPICAL DIRECT ENTRY ELEVATION (D) - BUILDINGS 12, 14, 33, 37 & 41
SCALE: 1/8" = 1'-0"



C TYPICAL DIRECT ENTRY ELEVATION (C) - BUILDINGS 12, 14, 33, 37 & 41
SCALE: 1/8" = 1'-0"



B TYPICAL DIRECT ENTRY ELEVATION (B) - BUILDINGS 12, 14, 33, 37 & 41
SCALE: 1/8" = 1'-0"

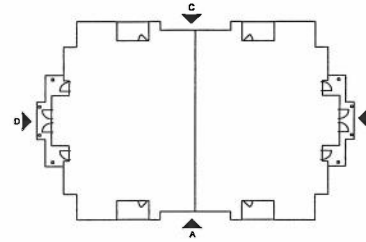


A TYPICAL DIRECT ENTRY ELEVATION (A) - BUILDINGS 12, 14, 33, 37 & 41
SCALE: 1/8" = 1'-0"

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01 HORIZONTAL VINYL SIDING
- EL02 CULTURED STONE VENEER
- EL03 ALUMINUM GUTTER AND DOWNPOUTS
- EL04 AIRWALL FINISHER
- EL05 VINYL WINDOW
- EL06 CONDENSING UNIT
- EL07 INSULATED GARAGE DOOR
- EL08 VINYL TRIM
- EL09 ALUMINUM PRIVACY SCREEN
- EL10 COLUNNE
- EL11 RETAINING WALL - SEE CIVIL DRAWINGS
- EL12 BRICKS
- EL13 ALUMINUM GUARDRAIL
- EL14 EXTENSION DOOR - SEE NOTE 1
- EL15 BICYCLE RACK
- EL16 RIDGE VENT
- EL17 FIBER CEMENT PANEL
- EL18 SHAKE VINYL SIDING
- EL19 UNIT #1, FRONT PORCH
- EL20
- EL21

NOTE 1 - PROVIDE VENTING THROUGH ROOF - VERIFY WITH LOCAL BUILDING DEPARTMENT FOR APPROVED METHODS AND MATERIALS.



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Consultant:

Revision:

| | |
|---|------------|
| 1 | 12-12-2018 |
| 2 | 01-30-2019 |
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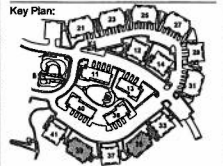
Architect of Record:



Drawn: Y.Y

Checked: E.B.

Scale: 1/8" = 1'-0"



Project Name:
**AVALON
MARLBOROUGH II**

200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:
**EXTERIOR ELEVATIONS
DIRECT ENTRY
BUILDINGS 35 & 39**

Project Number:
17030

Issue Date:
May 17, 2018

Sheet Number:
A1.04



D TYPICAL DIRECT ENTRY ELEVATION (D) - BUILDINGS 35 & 39
SCALE: 1/4" = 1'-0"



C TYPICAL DIRECT ENTRY ELEVATION (C) - BUILDINGS 35 & 39
SCALE: 1/4" = 1'-0"



B TYPICAL DIRECT ENTRY ELEVATION (B) - BUILDINGS 35 & 39
SCALE: 1/4" = 1'-0"

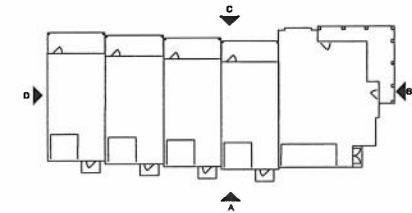


A TYPICAL DIRECT ENTRY ELEVATION (A) - BUILDINGS 35 & 39
SCALE: 1/4" = 1'-0"

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 Plot: 17030_Avalon Marlborough II.dwg

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01 HORIZONTAL VINYL SIDING
 - EL02 CALCURED STONE VENEER
 - EL04 ALUMINUM GUTTER AND DOWNSPOUTS
 - EL05 ASPHALT SHINGLES
 - EL06 VINYL WINDOW
 - EL07 CONDENSING UNIT
 - EL08 INSULATED GARAGE DOOR
 - EL09 VINYL TRIM
 - EL10 ALUMINUM PRIVACY SCREEN
 - EL11 COLUMN - SEE CIVIL DRAWINGS
 - EL12 RESTROOM WALL - SEE CIVIL DRAWINGS
 - EL13 MAILBOXES
 - EL14 EXTERIOR DOOR - SEE NOTE 1
 - EL15 ALUMINUM QUADRANT
 - EL16 BRICK/CLAY TILE
 - EL17 RIDGE VENT
 - EL18 FIBER CEMENT PANEL
 - EL19 SHAKE VINYL SIDING
 - EL20 METAL PANEL ROOF
 - EL21
- NOTE 1 - PROVIDE POWER DOOR OPENER TO GARAGE AT ALL UNITS. PROVIDE POWER DOOR OPENER TO GARAGE AT ALL UNITS. PROVIDE POWER DOOR OPENER TO GARAGE AT ALL UNITS.



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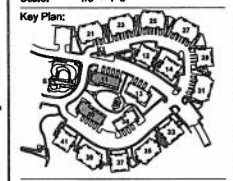
Consultant:

Revision:
 1 12-12-2018
 2 01-30-2019

Architect of Record:



Drawn: Y.Y.
 Checked: E.B.
 Scale: 1/8" = 1'-0"
 Key Plan:



Project Name:
**AVALON
 MARLBOROUGH II**

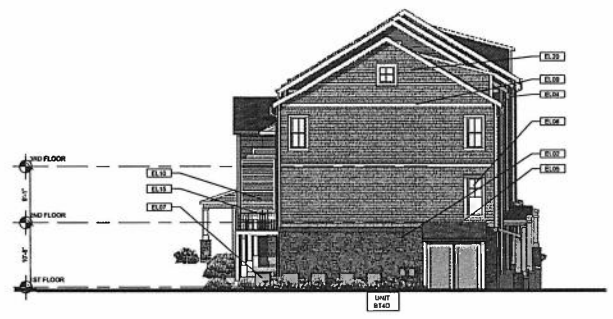
200 FOREST STREET
 MARLBOROUGH, MA

Sheet Name:
**EXTERIOR ELEVATIONS
 DIRECT ENTRY
 BUILDINGS 11 & 40**

Project Number:
 17030

Issue Date:
 May 17, 2018

Sheet Number:
A1.05



D TYPICAL DIRECT ENTRY ELEVATION (D) - BUILDINGS 11 & 40
 SCALE: 1/8" = 1'-0"



C TYPICAL DIRECT ENTRY ELEVATION (C) - BUILDINGS 11 & 40
 SCALE: 1/8" = 1'-0"



B TYPICAL DIRECT ENTRY ELEVATION (B) - BUILDINGS 11 & 40
 SCALE: 1/8" = 1'-0"

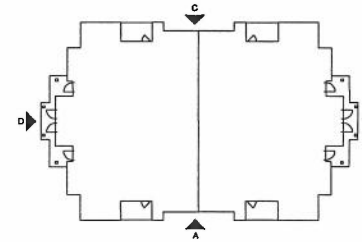


A TYPICAL DIRECT ENTRY ELEVATION (A) - BUILDINGS 11 & 40
 SCALE: 1/8" = 1'-0"

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KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01 HORIZONTAL VINYL SIDING
 - EL02 CLAY-TILED 8-TONE VENEER
 - EL03 ALUMINUM BUTTER AND DOWNSPOUTS
 - EL04 ASPHALT SHINGLES
 - EL05 VINYL WINDOW
 - EL06 CONDENSING UNIT
 - EL07 INSULATED GARAGE DOOR
 - EL08 VINYL TRIM
 - EL09 ALUMINUM PRIVACY SCREEN
 - EL10 COLLEBY
 - EL11 RETAINING WALL - SEE CIVIL DRAWINGS
 - EL12 MAILBOXES
 - EL13 EXTERIOR DOOR - SEE NOTE 1
 - EL14 ALUMINUM BURNING
 - EL15 BICYCLE RACK
 - EL16 FIBRE CEMENT PANEL
 - EL17 FIBRE CEMENT PANEL
 - EL18 METAL PANEL ROOF
 - EL19 SHADE VINYL SIDING
 - EL20 METAL PANEL ROOF
- NOTE 1 - PROVIDE GARAGE DOOR WITH 10' CLEARANCE AT ALL EXTERIOR WALLS. PROVIDE SECURITY DOOR LATCHING SYSTEM ON DOOR AT ALL ENTRY DOORS.



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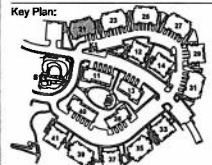
Revision:

- 1 12-12-2018
- 2 01-30-2019

Architect of Record:



Drawn: Y.Y
Checked: E.S.
Scale: 1/8" = 1'-0"
Key Plan:



Project Name:
**AVALON
MARLBOROUGH II**

200 FOREST STREET
MARLBOROUGH, MA

Sheet Name:

**EXTERIOR ELEVATIONS
DIRECT ENTRY
BUILDING 21**

Project Number:

17030

Issue Date:

December 12, 2018

Sheet Number:

A1.07

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 Plot: 17030-01-102-04.dwg



D TYPICAL DIRECT ENTRY ELEVATION (D) - BUILDING 21
SCALE: 1/8" = 1'-0"



C TYPICAL DIRECT ENTRY ELEVATION (C) - BUILDING 21
SCALE: 1/8" = 1'-0"



B TYPICAL DIRECT ENTRY ELEVATION (B) - BUILDING 21
SCALE: 1/8" = 1'-0"



A TYPICAL DIRECT ENTRY ELEVATION (A) - BUILDING 21
SCALE: 1/8" = 1'-0"