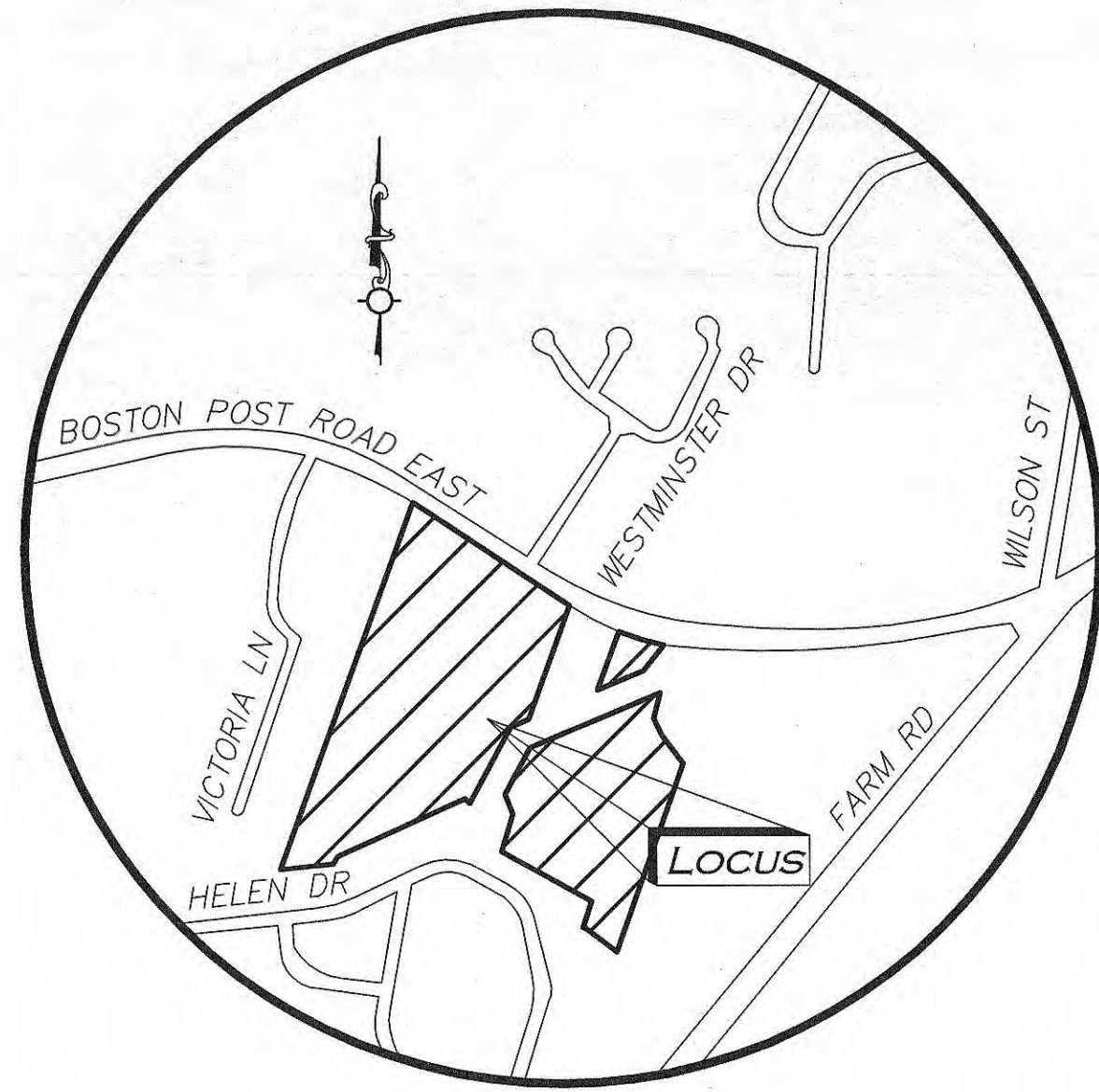


SITE DEVELOPMENT PLANS FOR VOLARIS MARLBOROUGH

339 BOSTON POST ROAD EAST MARLBOROUGH, MA



LOCUS MAP
NOT TO SCALE

APPLICANT:

WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902
203.210.2700

**LAND SURVEYOR, SITE ENGINEER
LANDSCAPE ARCHITECT:**

ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBBURN, MA 01801
781.935.6889

ARCHITECT:

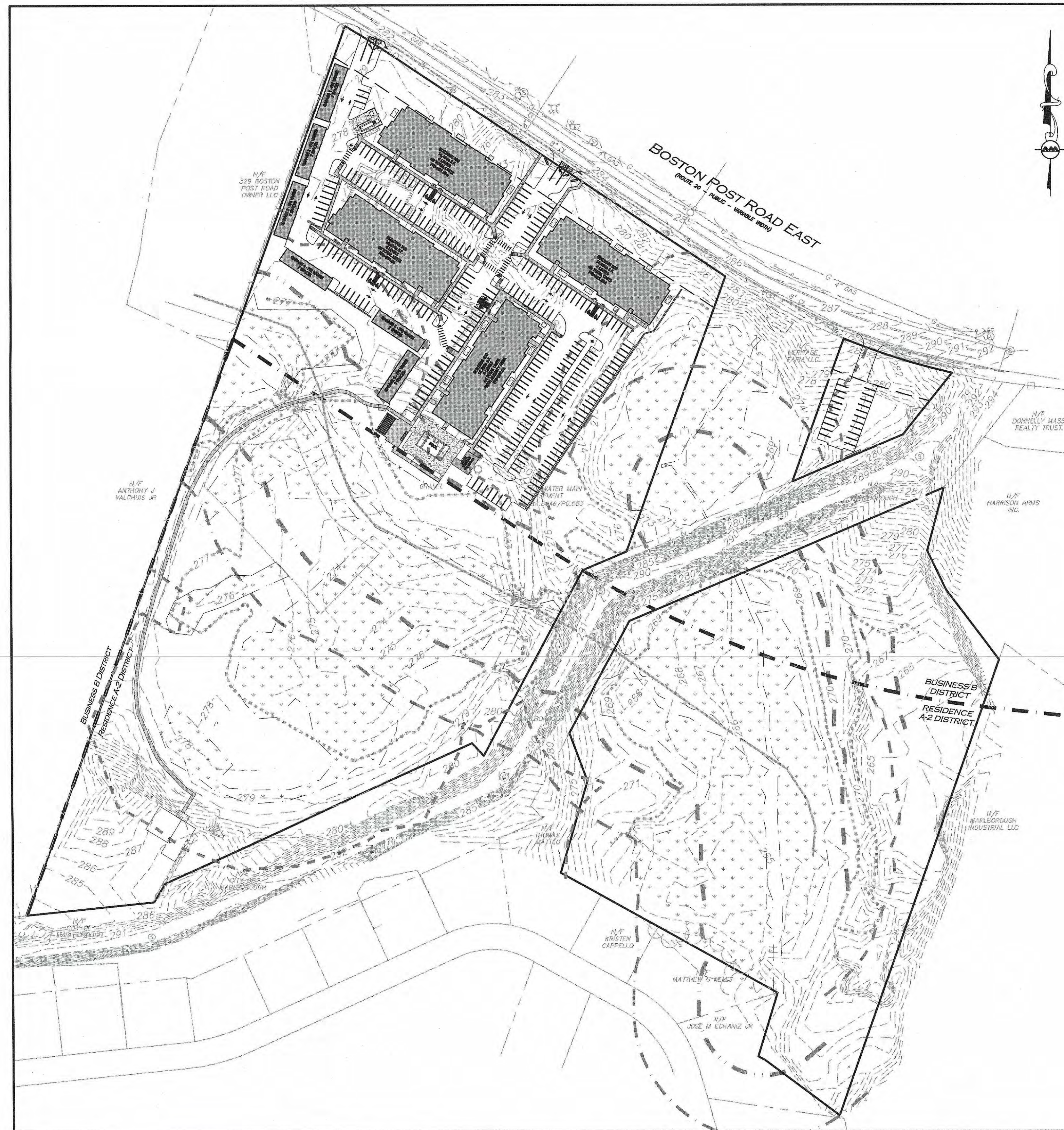
PHILLIPS ARCHITECTURE
5901 PEACHTREE DUNWOODY ROAD, SUITE A450
ATLANTA, GA 30328.
770.394.1616

**MECHANICAL, ELECTRICAL AND PLUMBING
CONSULTANT:**

ENGR3 CONSULTING ENGINEERS
100 NORTH POINT CENTER EAST, SUITE 200
ALPHARETTA, GA 30022

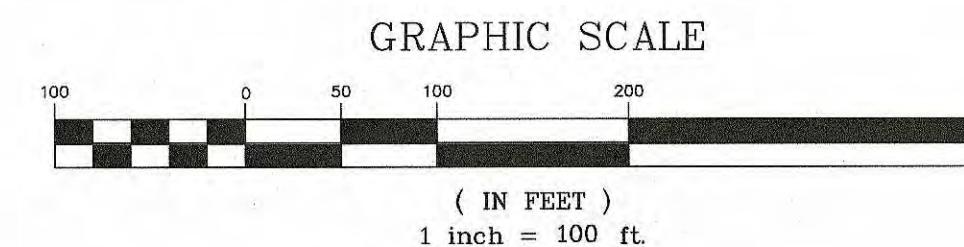
ENVIRONMENTAL CONSULTANT:

GODDARD CONSULTING, LLC
291 MAIN STREET SUITE #8
NORTHBOROUGH, MA 01532
508.393.3784



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LIST OF DRAWINGS

DRAWING TITLE	SHEET NO.	ISSUED	REVISED
CIVIL DRAWINGS			
EXISTING CONDITIONS PLAN FOR ANRAD	V-100	01-27-2020	-----
ABBREVIATIONS AND NOTES	C-001	12-20-2019	02-03-2020
LOCUS PLAN	C-100	12-20-2019	02-03-2020
EROSION CONTROL PLAN	C-102A	12-20-2019	02-20-2020
EROSION CONTROL PLAN	C-102B	12-20-2019	02-20-2020
SITE PREPARATION & DEMOLITION PLAN	C-103A	12-20-2019	02-20-2020
SITE PREPARATION & DEMOLITION PLAN	C-103B	12-20-2019	02-20-2020
LAYOUT & MATERIALS PLAN	C-104A	12-20-2019	04-14-2020
LANDSCAPE COVERAGE PLAN	C-104B	02-06-2020	04-14-2020
LOT COVERAGE PLAN	C-104C	02-06-2020	04-14-2020
GRADING PLAN	C-105	12-20-2019	02-20-2020
DRAINAGE PLAN	C-106A	12-20-2019	02-20-2020
DRAINAGE PLAN	C-106B	12-20-2019	02-20-2020
UTILITIES PLAN	C-107	12-20-2019	02-20-2020
FIRE TRUCK TURNING PLAN	C-108	12-20-2019	02-20-2020
CIVIL DETAILS	C-501	12-20-2019	02-03-2020
CIVIL DETAILS	C-502	12-20-2019	02-03-2020
CIVIL DETAILS	C-503	12-20-2019	02-03-2020
CIVIL DETAILS	C-504	12-20-2019	02-03-2020
CIVIL DETAILS	C-505	12-20-2019	02-03-2020
LANDSCAPE & HARDSCAPE DRAWINGS			
LANDSCAPE PLAN	L-101	12-20-2019	02-03-2020
LANDSCAPE PLAN	L-102	12-20-2019	02-03-2020
HARDSCAPE PLAN	L-103	12-20-2019	02-03-2020
HARDSCAPE & FURNISHINGS PLAN	L-104	12-20-2019	02-03-2020
CONCEPTUAL WETLAND REPLICATION	L-201	02-20-2020	-----
WETLAND REPLICATION DETAILS	L-202	02-20-2020	-----
LANDSCAPE DETAILS	L-501	12-20-2019	02-03-2020
HARDSCAPE DETAILS	L-502	12-20-2019	02-03-2020
HARDSCAPE DETAILS	L-503	12-20-2019	02-03-2020
BUILDING FLOOR PLANS & ELEVATIONS			
BUILDING A - FLOOR PLANS	A1-1.1 - A1-1.2	10-18-2019	1-31-2020
BUILDING B - FLOOR PLANS	A1-2.1 - A1-2.2	10-18-2019	1-31-2020
OVERALL ELEVATIONS - BUILDING 'TYPE A'	A4-1.1	10-18-2019	1-31-2020
OVERALL ELEVATIONS - 'TYPE A' COLOR	A4-1.1C	10-18-2019	1-31-2020
OVERALL ELEVATIONS - BUILDING 'TYPE B'	A4-2.1	10-18-2019	1-31-2020
OVERALL ELEVATIONS - 'TYPE B' COLOR	A4-2.1C	10-18-2019	1-31-2020

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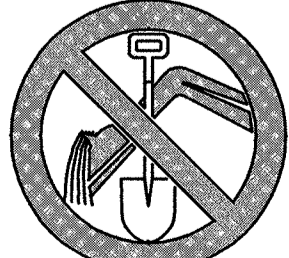
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RESUBMISSION FOR LOCAL APPROVAL: JANUARY 31, 2020
VARIOUS REVISIONS: FEBRUARY 3, 2020
VARIOUS REVISIONS: FEBRUARY 6, 2020
RESUBMITTED FOR LOCAL APPROVAL: FEBRUARY 20, 2020

UPDATED ZONING TABLE NOTES: APRIL 14, 2020

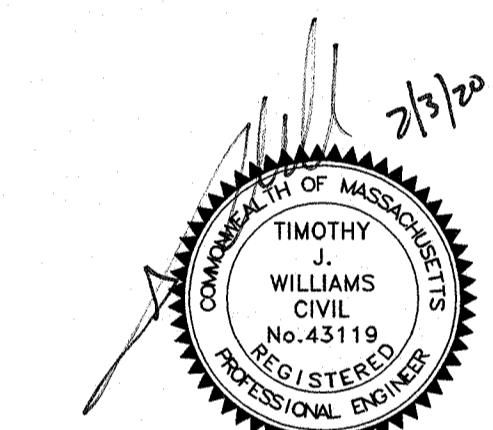


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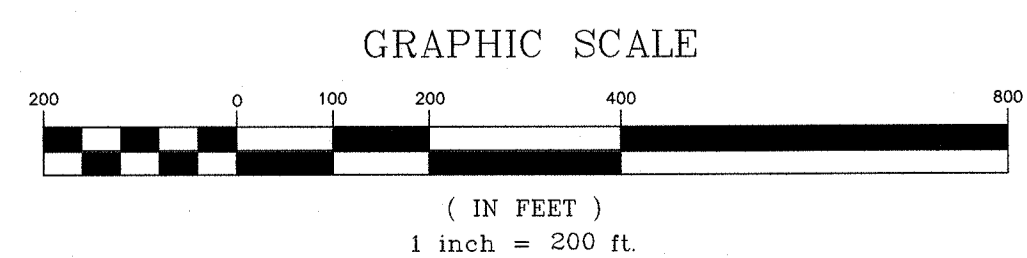
APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO.	2658-01	DATE:	12-20-2019
SCALE:	1"=200'	DWG. NAME:	C2658-01
DESIGNED BY:	SJL/DMR	CHECKED BY:	CMQ

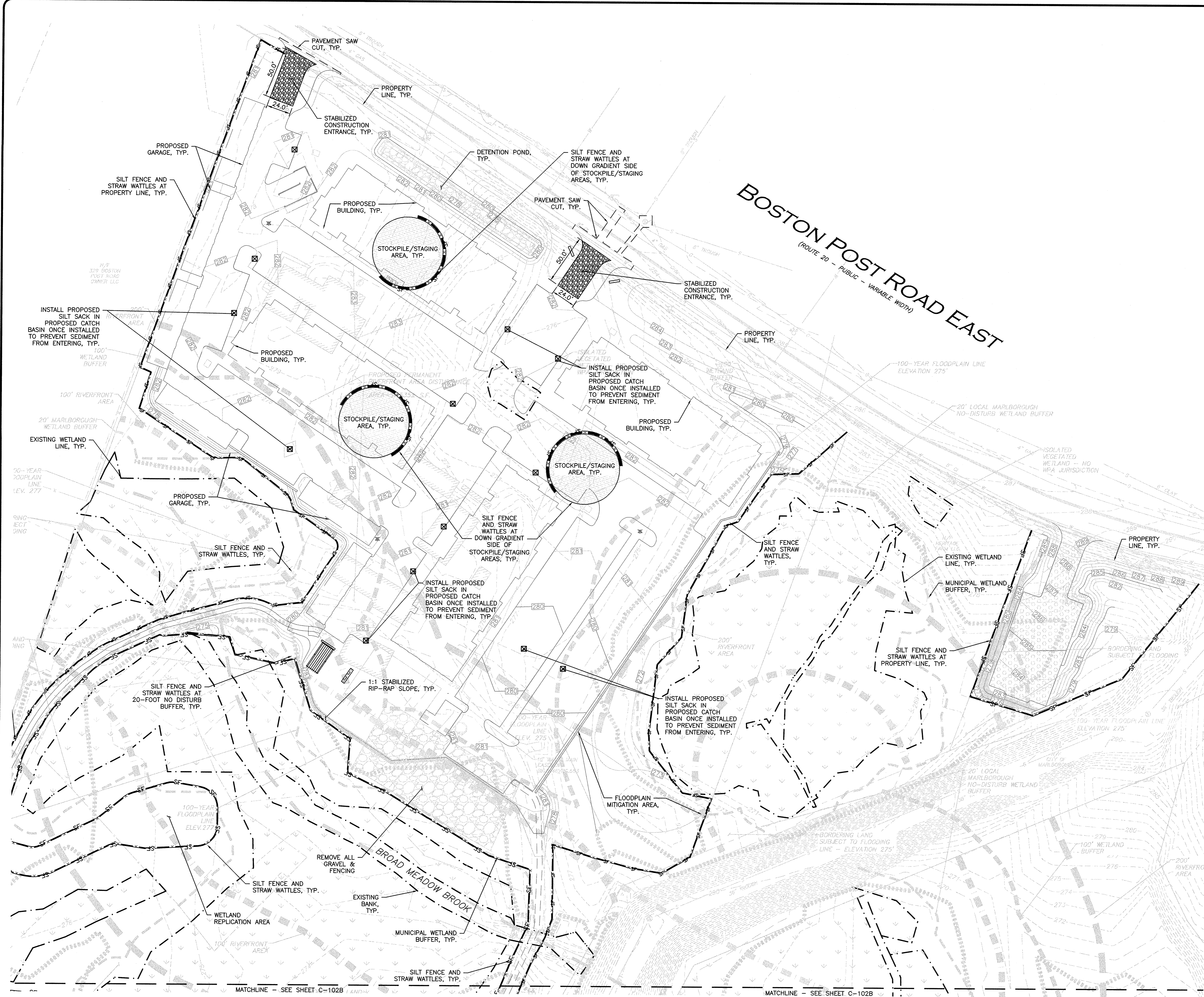
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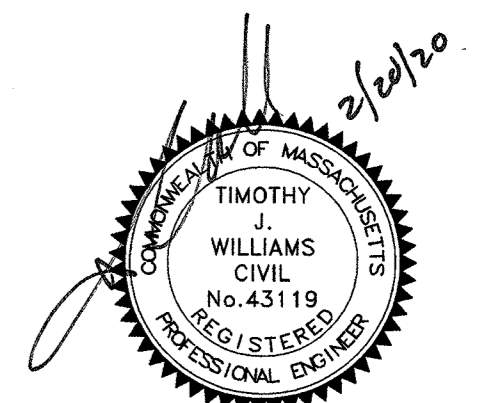
DRAWING TITLE:	SHEET No.
LOCUS PLAN	C-100

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LEGEND	
SILT FENCE	SF
TUBULAR BARRIER	—●—●—●
EROSION CONTROL FABRIC	▨
CATCH BASIN FILTER	⊠
STONE CHECK DAM	▩
STABILIZED ENTRANCE	▨▨▨▨▨▨
TURBIDITY CURTAIN	—TC—
STOCKPILE/STAGING AREA	▨▨▨▨▨▨

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APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO.	265801	DATE:	12-20-2019
SCALE:	1" = 40'	DWG. NAME:	C-2658-01
DESIGNED BY:	SIJ/DMR	CHECKED BY:	CMQ

PREPARED BY:

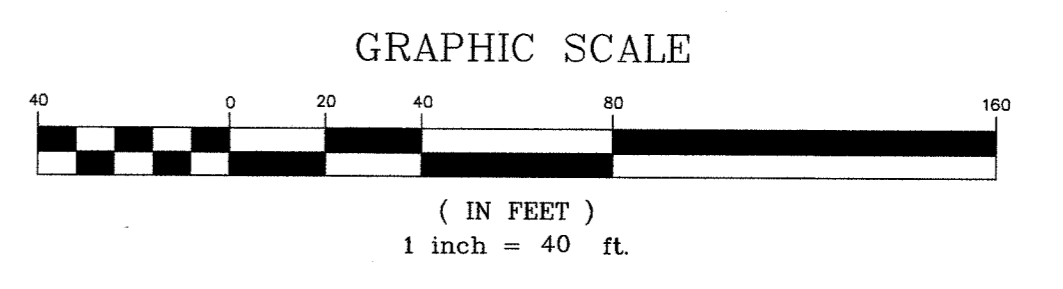
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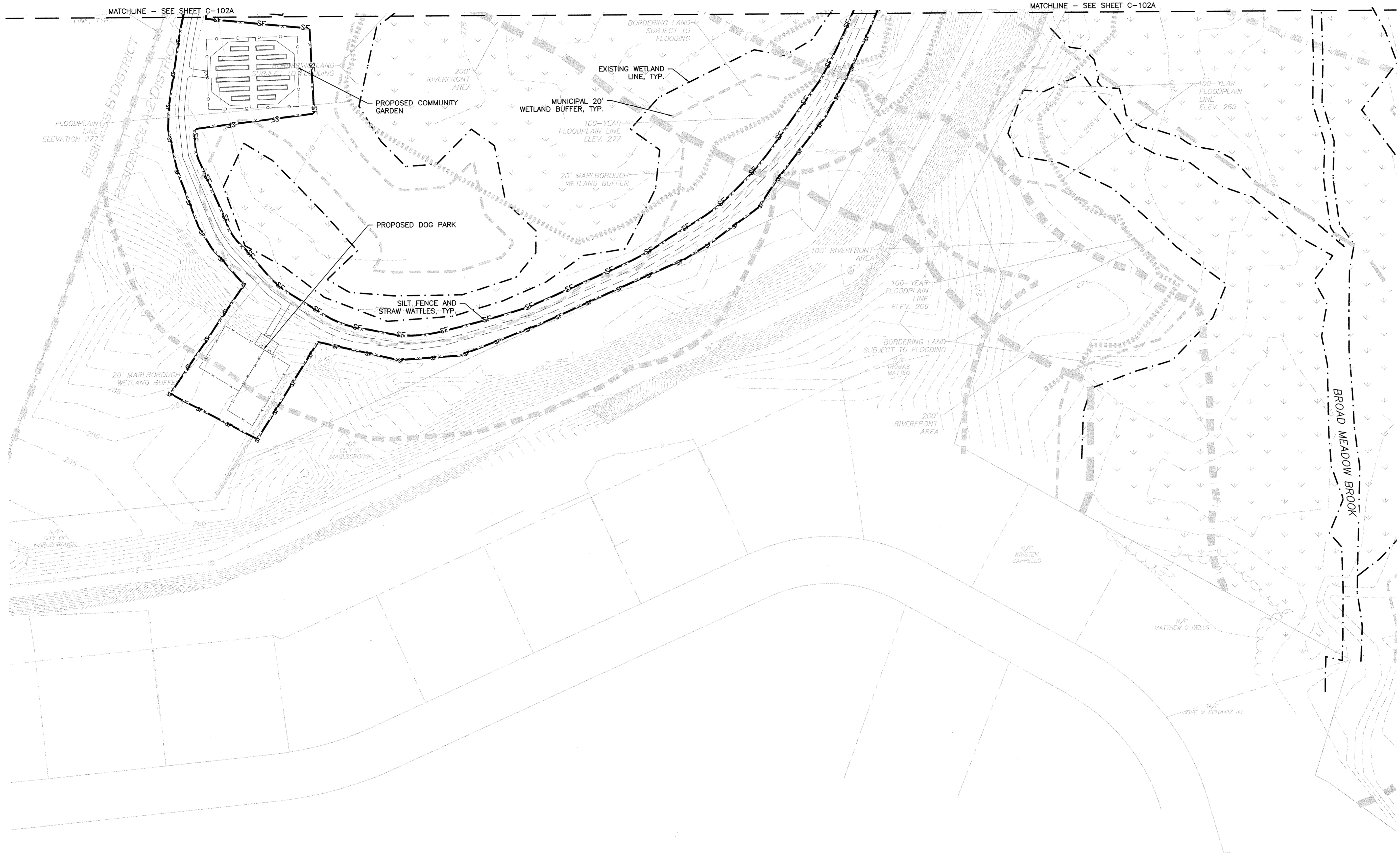
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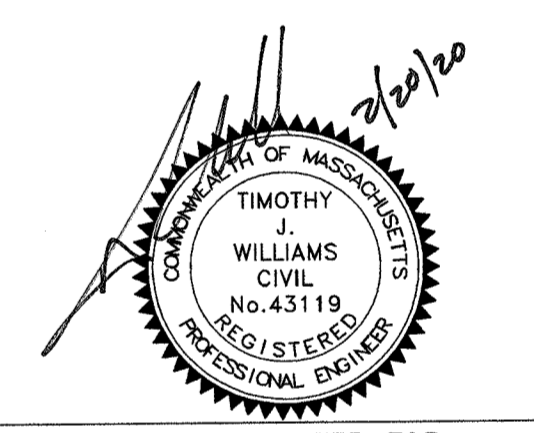
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LEGEND

- SILT FENCE — SF
- TUBULAR BARRIER — [Symbol]
- EROSION CONTROL FABRIC — [Symbol]
- CATCH BASIN FILTER — [Symbol]
- STONE CHECK DAM — [Symbol]
- STABILIZED ENTRANCE — [Symbol]
- TURBIDITY CURTAIN — TC
- STOCKPILE/STAGING AREA — [Symbol]

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MARLBOROUGH DEPT. OF PUBLIC WORKS: (508) 624-6910
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9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

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339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO.	2658-01	DATE	12-20-2019
SCALE:	1" = 40'	DWG. NAME:	C-2658-01
DESIGNED BY:	SJL/DMR	CHECKED BY:	CMQ

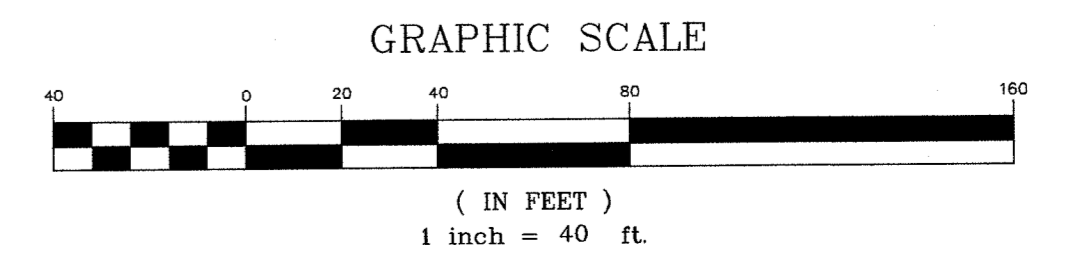
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DRAWING TITLE:	SHEET No.
EROSION CONTROL PLAN	C-102B



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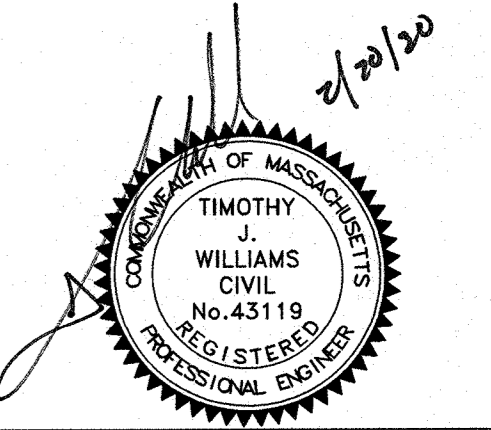
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1-888-344-7233

LEGEND

- LIMIT OF DISTURBANCE
- LIMIT OF 'CLEAR AND GRUB'
- BUILDING TO BE REMOVED
- PAVEMENT TO BE REMOVED
- UTILITY CUT AND CAP
- TEMPORARY FENCE

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 - EXISTING CONDITIONS BASE PLAN TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS" PREPARED BY ALLEN & MAJOR ASSOCIATES, SHEET V-101, ORIGINAL SCALE 1"=80' DATED DECEMBER 20, 2019.

CITY OF MARLBOROUGH
ASSESSORS MAP 72, LOT 315
ASSESSORS MAP 73, LOT 28
AREA=729,871 ± SF
(16.76 AC.)



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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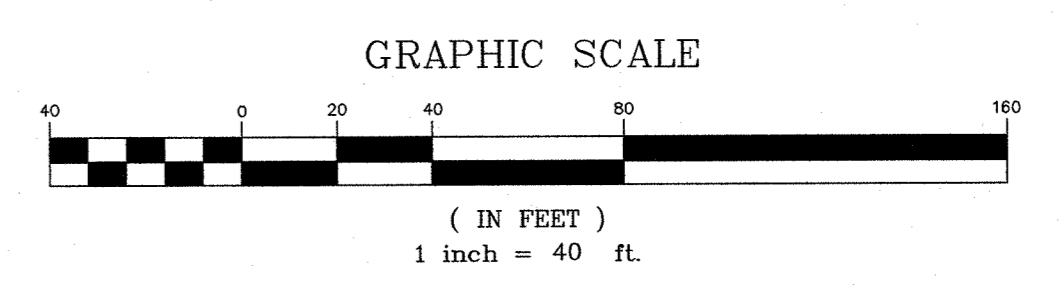
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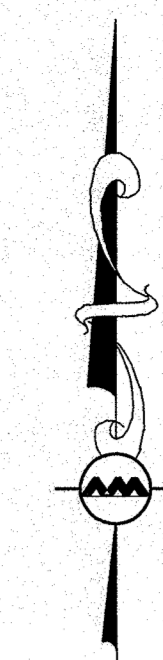
DRAWING TITLE: **SITE PREPARATION & DEMOLITION PLAN**
SHEET NO. **C-103A**

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LEGEND

LIMIT OF DISTURBANCE

LIMIT OF 'CLEAR AND GRUB'

BUILDING TO BE REMOVED

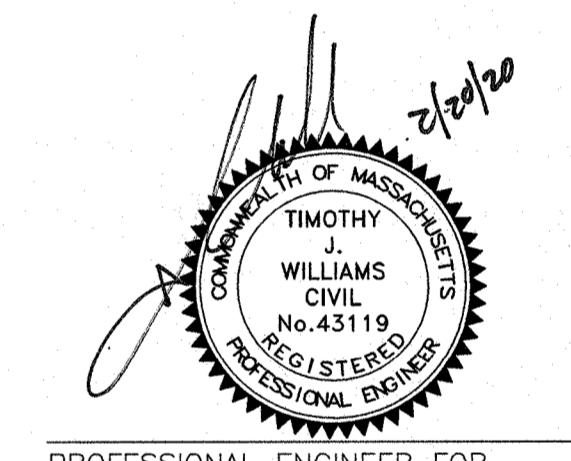
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UTILITY CUT AND CAP

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CITY OF MARLBOROUGH DEPT. OF PUBLIC WORKS: 1-508-624-6910
 4. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
 5. EXISTING CONDITIONS BASE PLAN TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS" PREPARED BY ALLEN & MAJOR ASSOCIATES, SHEET V-101, ORIGINAL SCALE 1"=80' DATED DECEMBER 20, 2019.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
5	02-20-20	VARIOUS REVISIONS
3	02-03-20	VARIOUS REVISIONS
2	01-31-20	RESUBMITTED FOR LOCAL APPROVAL
1	12-20-19	ISSUED FOR LOCAL APPROVAL

APPLICANT/OWNER:
W/P MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO.	2658-01	DATE:	12-20-2019
SCALE:	1" = 40'	DWG. NAME:	C-2658-01
DESIGNED BY:	SJL/DMR	CHECKED BY:	CMQ

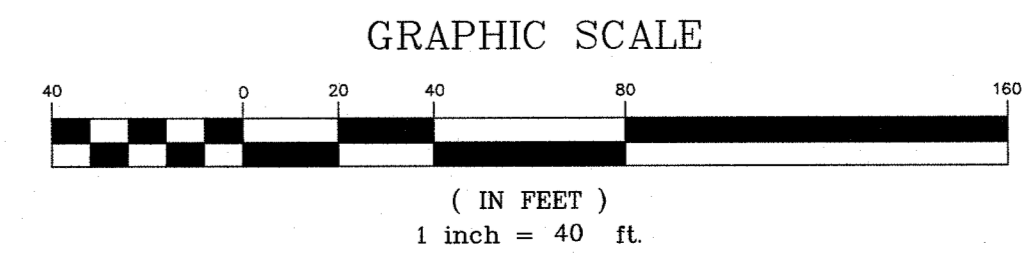
PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOUBURN MA 01801
TEL: (781) 935-5889
FAX: (781) 935-2896

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DRAWING TITLE: **SITE PREPARATION & DEMOLITION PLAN** SHEET No. **C-103B**



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1-888-344-7233

X:\PROJECTS\2658-01\CIVIL DRAWINGS\CURRENT\SITE PLANS\C-2658-01_SITE-PREP & DEMO.DWG

AL:\PROJECTS\2656-01\CIVIL DRAWINGS\CURRENT SITE PLANS\C-2656-01_LAYOUT & MATERIALS.DWG

PARKING SUMMARY CHART

OFF-STREET PARKING:
 USE: MULTI-FAMILY APARTMENT BUILDING
 2 SPACES PER DWELLING UNIT
 TOTAL NUMBER OF PROPOSED UNITS: 188 UNITS
 TOTAL PARKING REQUIREMENT: (188 UNITS x 2 SPACES/UNIT) = 376 SPACES
 PARKING RATIO = 376 TOTAL SPACES PROVIDED / 188 UNITS = 2.00 SPACES/UNIT

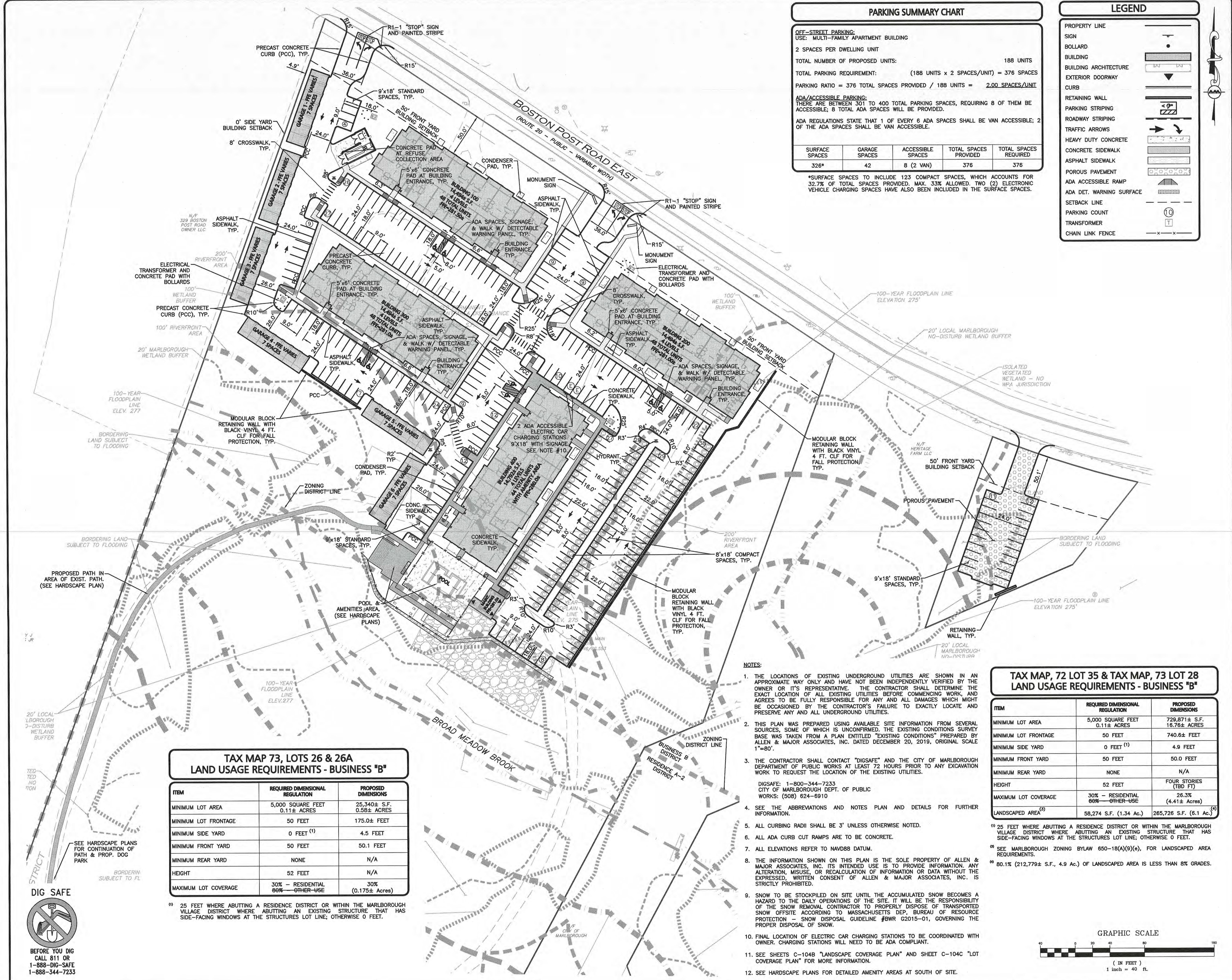
ADA/ACCESSIBLE PARKING:
 THERE ARE BETWEEN 301 TO 400 TOTAL PARKING SPACES, REQUIRING 8 OF THEM BE ACCESSIBLE; 8 TOTAL ADA SPACES WILL BE PROVIDED.
 ADA REGULATIONS STATE THAT 1 OF EVERY 6 ADA SPACES SHALL BE VAN ACCESSIBLE; 2 OF THE ADA SPACES SHALL BE VAN ACCESSIBLE.

SURFACE SPACES	GARAGE SPACES	ACCESSIBLE SPACES	TOTAL SPACES PROVIDED	TOTAL SPACES REQUIRED
326*	42	8 (2 VAN)	376	376

*SURFACE SPACES TO INCLUDE 123 COMPACT SPACES, WHICH ACCOUNTS FOR 32.7% OF TOTAL SPACES PROVIDED. MAX. 33% ALLOWED. TWO (2) ELECTRONIC VEHICLE CHARGING SPACES HAVE ALSO BEEN INCLUDED IN THE SURFACE SPACES.

LEGEND

PROPERTY LINE	---
SIGN	⊙
BOLLARD	•
BUILDING	▭
BUILDING ARCHITECTURE	▭
EXTERIOR DOORWAY	⊥
CURB	—
RETAINING WALL	▬
PARKING STRIPING	▬
ROADWAY STRIPING	▬
TRAFFIC ARROWS	→
HEAVY DUTY CONCRETE	▬
CONCRETE SIDEWALK	▬
ASPHALT SIDEWALK	▬
POROUS PAVEMENT	▬
ADA ACCESSIBLE RAMP	▬
ADA DET. WARNING SURFACE	▬
SETBACK LINE	---
PARKING COUNT	⑩
TRANSFORMER	⊕
CHAIN LINK FENCE	—x—x—



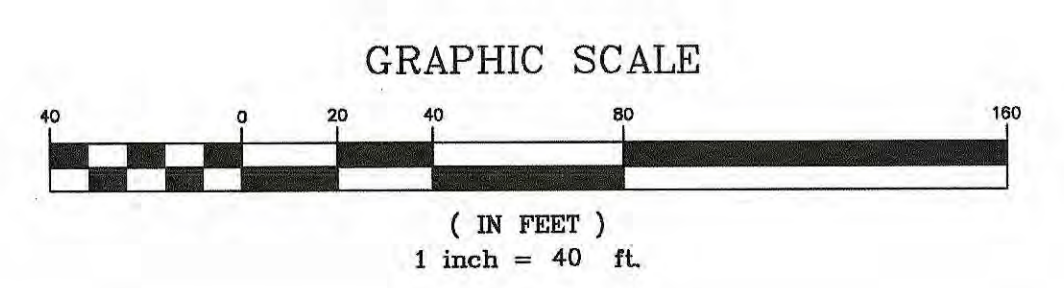
TAX MAP 73, LOTS 26 & 26A LAND USAGE REQUIREMENTS - BUSINESS "B"

ITEM	REQUIRED DIMENSIONAL REGULATION	PROPOSED DIMENSIONS
MINIMUM LOT AREA	5,000 SQUARE FEET 0.11± ACRES	25,340± S.F. 0.58± ACRES
MINIMUM LOT FRONTAGE	50 FEET	175.0± FEET
MINIMUM SIDE YARD	0 FEET (1)	4.5 FEET
MINIMUM FRONT YARD	50 FEET	50.1 FEET
MINIMUM REAR YARD	NONE	N/A
HEIGHT	52 FEET	N/A
MAXIMUM LOT COVERAGE	30% - RESIDENTIAL 60% - OTHER USE	30% (0.175± Acres)

TAX MAP, 72 LOT 35 & TAX MAP, 73 LOT 28 LAND USAGE REQUIREMENTS - BUSINESS "B"

ITEM	REQUIRED DIMENSIONAL REGULATION	PROPOSED DIMENSIONS
MINIMUM LOT AREA	5,000 SQUARE FEET 0.11± ACRES	729,871± S.F. 16.78± ACRES
MINIMUM LOT FRONTAGE	50 FEET	740.6± FEET
MINIMUM SIDE YARD	0 FEET (1)	4.9 FEET
MINIMUM FRONT YARD	50 FEET	50.0 FEET
MINIMUM REAR YARD	NONE	N/A
HEIGHT	52 FEET	FOUR STORIES (TBD FT)
MAXIMUM LOT COVERAGE	30% - RESIDENTIAL 60% - OTHER USE	26.3% (4.41± Acres)
LANDSCAPED AREA (2)	58,274 S.F. (1.34 Ac.)	265,726 S.F. (6.1 Ac.) (4)

- NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM SEVERAL SOURCES, SOME OF WHICH IS UNCONFIRMED. THE EXISTING CONDITIONS SURVEY BASE WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS" PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED DECEMBER 20, 2019, ORIGINAL SCALE 1"=80'.
 - THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
 DIGSAFE: 1-800-344-7233
 CITY OF MARLBOROUGH DEPT. OF PUBLIC WORKS: (508) 624-6910
 - SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
 - ALL CURBING RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
 - ALL ADA CURB CUT RAMPS ARE TO BE CONCRETE.
 - ALL ELEVATIONS REFER TO NAVD83 DATUM.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 - SNOW TO BE STOCKPILED ON SITE UNTIL THE ACCUMULATED SNOW BECOMES A HAZARD TO THE DAILY OPERATIONS OF THE SITE. IT WILL BE THE RESPONSIBILITY OF THE SNOW REMOVAL CONTRACTOR TO PROPERLY DISPOSE OF TRANSPORTED SNOW OFFSITE ACCORDING TO MASSACHUSETTS DEP, BUREAU OF RESOURCE PROTECTION - SNOW DISPOSAL GUIDELINE #BWR G2015-01, GOVERNING THE PROPER DISPOSAL OF SNOW.
 - FINAL LOCATION OF ELECTRIC CAR CHARGING STATIONS TO BE COORDINATED WITH OWNER. CHARGING STATIONS WILL NEED TO BE ADA COMPLIANT.
 - SEE SHEETS C-104B "LANDSCAPE COVERAGE PLAN" AND SHEET C-104C "LOT COVERAGE PLAN" FOR MORE INFORMATION.
 - SEE HARDSCAPE PLANS FOR DETAILED AMENITY AREAS AT SOUTH OF SITE.



PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

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APPLICANT/OWNER:
 WP MARLBOROUGH MA OWNER, LLC
 9 WEST BROAD STREET, SUITE 800
 STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO. 2658-01 DATE: 12-20-2019
 SCALE: 1" = 40' DWG. NAME: C-2658-01
 DESIGNED BY: SJL/DMR CHECKED BY: CMQ



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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET NO. C-104A

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LEGEND:

LANDSCAPED AREA

LANDSCAPED AREA WITH 8% SLOPES OR GREATER

- NOTES:**
1. THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM SEVERAL SOURCES, SOME OF WHICH IS UNCONFIRMED. THE EXISTING CONDITIONS SURVEY BASE WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS" PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED DECEMBER 20, 2019, ORIGINAL SCALE 1"=80'.
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 3. LANDSCAPE REQUIREMENTS HAVE BEEN CALCULATED PER SECTION 650-18(A)(9)(e) OF THE CITY OF MARLBOROUGH ZONING BYLAWS.
 4. ALL LANDSCAPED AREAS SHOWN CAN ACCOMMODATE A 30' DIAMETER CIRCLE AND TOTAL WIDTHS OF AREAS PROVIDED AVERAGE GREATER THAN 40'.

**TAX MAP, 72 LOT 35 & TAX MAP, 73 LOT 28
LAND USAGE REQUIREMENTS - BUSINESS "B"**

ITEM	REQUIRED DIMENSIONAL REGULATION	PROPOSED DIMENSIONS
MINIMUM LOT AREA	5,000 SQUARE FEET 0.11± ACRES	729,871± S.F. 16.76± ACRES
MINIMUM LOT FRONTAGE	50 FEET	740.6± FEET
MINIMUM SIDE YARD	0 FEET ⁽¹⁾	4.9 FEET
MINIMUM FRONT YARD	50 FEET	50.0 FEET
MINIMUM REAR YARD	NONE	N/A
HEIGHT	52 FEET	FOUR STORIES (TD, FT)
MAXIMUM LOT COVERAGE	30% - RESIDENTIAL 60% - OTHER-USE	26.3% (4.41± Acres)
LANDSCAPED AREA ⁽³⁾	58,274 S.F. (1.34 Ac.)	265,726 S.F. (6.1 Ac.) ⁽⁴⁾

⁽¹⁾ 25 FEET WHERE ABUTTING A RESIDENCE DISTRICT OR WITHIN THE MARLBOROUGH VILLAGE DISTRICT WHERE ABUTTING AN EXISTING STRUCTURE THAT HAS SIDE-FACING WINDOWS AT THE STRUCTURES LOT LINE; OTHERWISE 0 FEET.

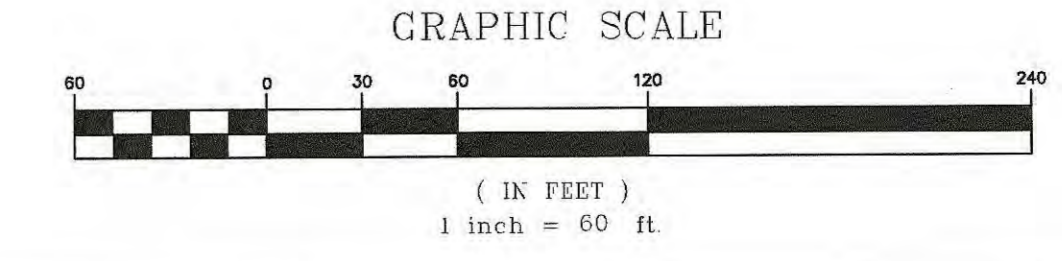
⁽²⁾ SEE MARLBOROUGH ZONING BYLAW 650-18(A)(9)(e), FOR LANDSCAPED AREA REQUIREMENTS.

⁽³⁾ 80.1% (212,779± S.F., 4.9 Ac.) OF LANDSCAPED AREA IS LESS THAN 8% GRADES.

**TAX MAP 73, LOTS 26 & 26A
LAND USAGE REQUIREMENTS - BUSINESS "B"**

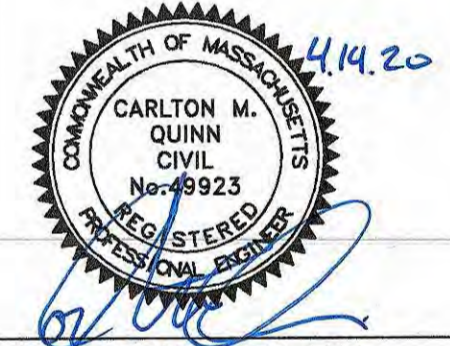
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APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

PROJECT:
**MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA**

PROJECT NO.	DATE:
2658-01	12-20-2019

DESIGNED BY: SJ/DMR DWG. NAME: C-2658-01
CHECKED BY: CMQ

PREPARED BY:

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environmental consulting • landscape architecture
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DRAWING TITLE: **LANDSCAPE COVERAGE PLAN** SHEET No. **C-104B**

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 3. LOT COVERAGE IS DEFINED IN THE CITY OF MARLBOROUGH ZONING BYLAWS AS "THE AREA OF A LOT COVERED BY ALL STRUCTURES, AREAS USED BY VEHICULAR TRAFFIC AND PARKING, INCLUDING DRIVEWAYS, LOADING BAYS AND MANEUVERING AREAS, WHETHER PAVED, UNPAVED OR GRAVELED, AND OF ALL IMPERMEABLE AREAS SUCH AS PAVED WALKWAYS OR OUTDOOR STORAGE AREAS, BUT NOT INCLUDING GRAVEL WALKWAYS OR PEDESTRIAN AREAS NOT ADJACENT TO PARKING LOTS OR BUILDINGS. AREAS NOT INCLUDED IN LOT COVERAGE SHALL BE LANDSCAPED AREAS FOR PURPOSE OF LOTS EXCLUSIVELY IN RESIDENTIAL USE. LOT COVERAGE SHALL NOT INCLUDE ANY OUTDOOR RECREATIONAL FACILITY FOR THE TENANTS, SUCH AS BUT NOT LIMITED TO A SWIMMING POOL, TENNIS COURT, GARDEN SHED, PATIO OR SIMILAR FACILITY."

**TAX MAP, 72 LOT 35 & TAX MAP, 73 LOT 28
 LAND USAGE REQUIREMENTS - BUSINESS "B"**

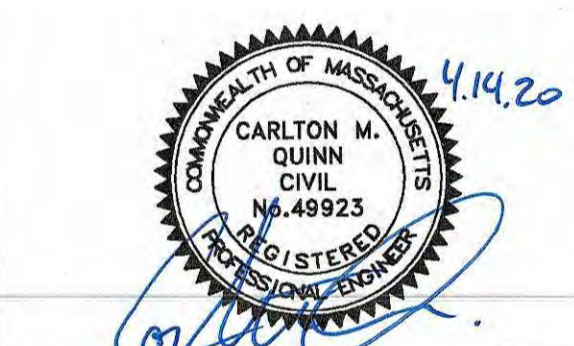
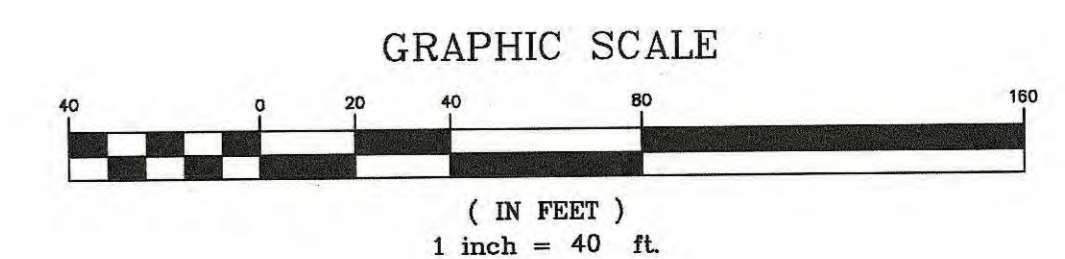
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HEIGHT	52 FEET	FOUR STORES (TBD FT)
MAXIMUM LOT COVERAGE	30% - RESIDENTIAL 66% - OTHER-USE	26.3% (4.41± ACRES)
LANDSCAPED AREA ⁽³⁾	58,274 S.F. (1.34 Ac.)	265,726 S.F. (6.1 Ac.) ⁽⁴⁾

⁽¹⁾ 25 FEET WHERE ABUTTING A RESIDENCE DISTRICT OR WITHIN THE MARLBOROUGH VILLAGE DISTRICT WHERE ABUTTING AN EXISTING STRUCTURE THAT HAS SIDE-FACING WINDOWS AT THE STRUCTURES LOT LINE, OTHERWISE 0 FEET.
⁽²⁾ SEE MARLBOROUGH ZONING BYLAW 650-18(A)(9)(e), FOR LANDSCAPED AREA REQUIREMENTS.
⁽³⁾ 80.1% (212,779± S.F., 4.9 Ac.) OF LANDSCAPED AREA IS LESS THAN 8% GRADES.

**TAX MAP 73, LOTS 26 & 26A
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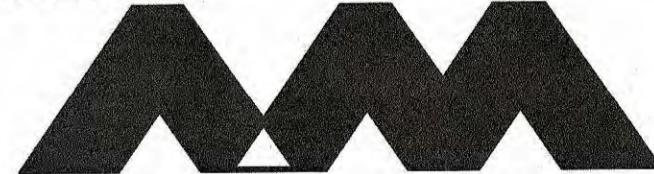
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 339 BOSTON POST ROAD EAST
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PROJECT NO.	2658-01	DATE:	12-20-2019
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PREPARED BY:

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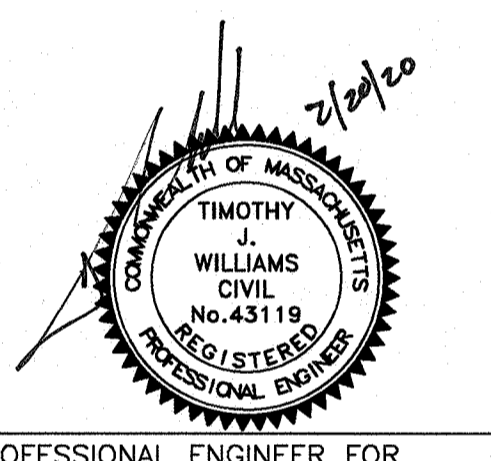
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 DRAWING TITLE: **LOT COVERAGE PLAN** SHEET No. **C-104C**
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LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- CATCH BASIN - DOUBLE GRATE
- OUTLET CONTROL
- DIVERSION WEIR
- WATER QUALITY UNIT
- AREA DRAIN
- FLARED END SECTION
- DRAIN LINE
- RIPRAP OUTFALL
- HEADWALL
- 10' CONTOUR
- 2' CONTOUR
- SPOT GRADE
- INFILTRATION SYSTEM
- INFILTRATION PIPE
- DETENTION PIPE
- UNDERDRAIN
- FLOW DIRECTION

- NOTES:**
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MARLBOROUGH DEPT. OF PUBLIC WORKS: (508) 624-6910
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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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3	02-03-20	VARIOUS REVISIONS
2	01-31-20	RESUBMITTED FOR LOCAL APPROVAL
1	12-20-19	ISSUED FOR LOCAL APPROVAL

APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

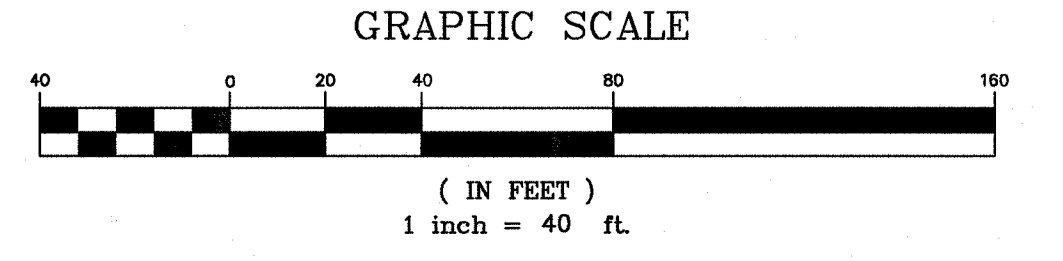
PROJECT NO.	2658-01	DATE:	12-20-2019
SCALE:	1" = 40'	DWG. NAME:	C-2658-01
DESIGNED BY:	SJL/DMR	CHECKED BY:	CMQ

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w o r k i n g t o g e t h e r
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DRAWING TITLE:	SHEET No.
GRADING PLAN	C-105

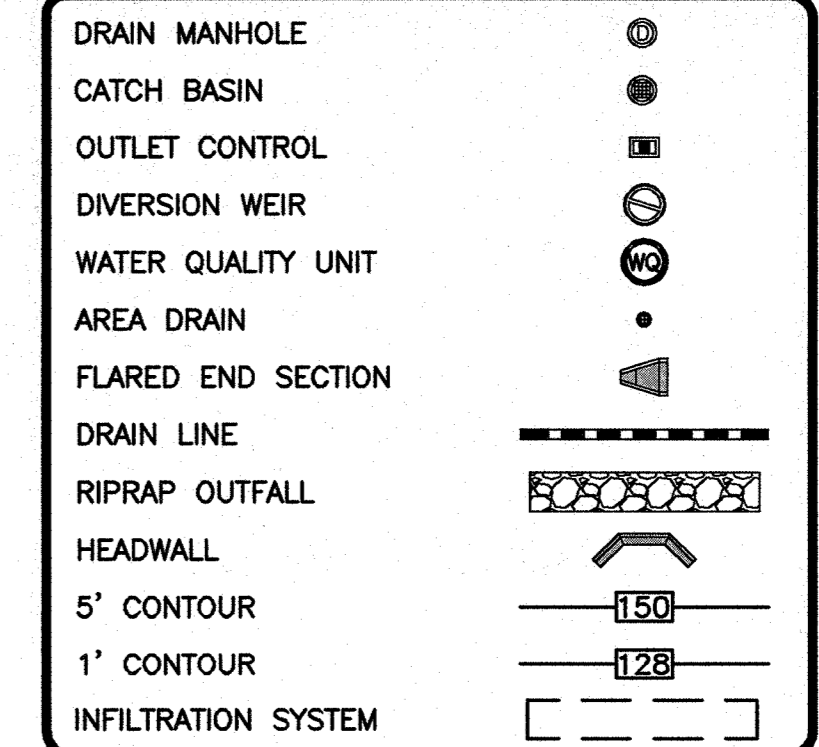
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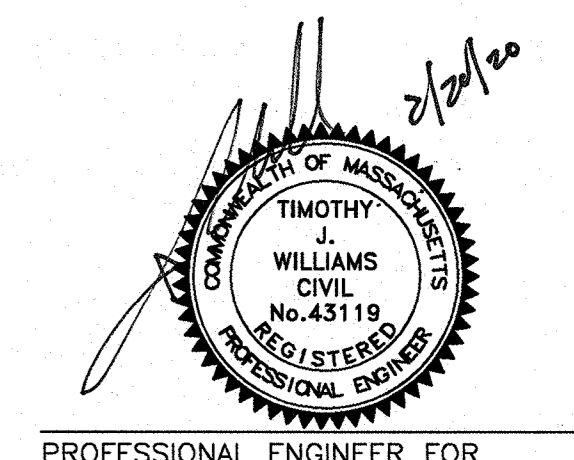


LEGEND



NOTES:

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DIGSAFE: 1-800-344-7233
MARLBOROUGH DEPT. OF PUBLIC WORKS: (508) 624-6910
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7. SEE DRAINAGE SHEET C-106A FOR ADDITIONAL DRAINAGE INFORMATION.
8. ALL ESTIMATED SEASONAL HIGH GROUNDWATER TABLE (ESHGWT) ELEVATIONS ARE ESTIMATES ONLY BASED ON EXISTING SITE INFORMATION AND A GEOTECHNICAL REPORT PREPARED BY GZA GEOENVIRONMENTAL, INC. REVISED THROUGH APRIL 26, 2019, AND SHALL BE CONFIRMED IN-FIELD WITH TEST PITS. DRAINAGE IS SUBJECT TO CHANGE BASED ON FIELD TEST PIT RESULTS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

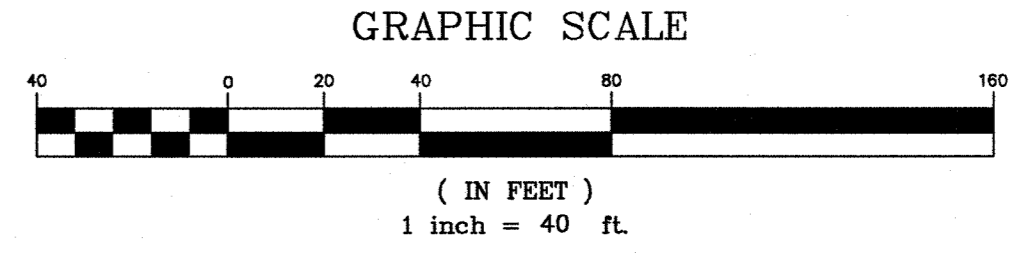
PROJECT NO.	2658-01	DATE:	12-20-2019
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DESIGNED BY:	SJL/DMR	CHECKED BY:	CMQ

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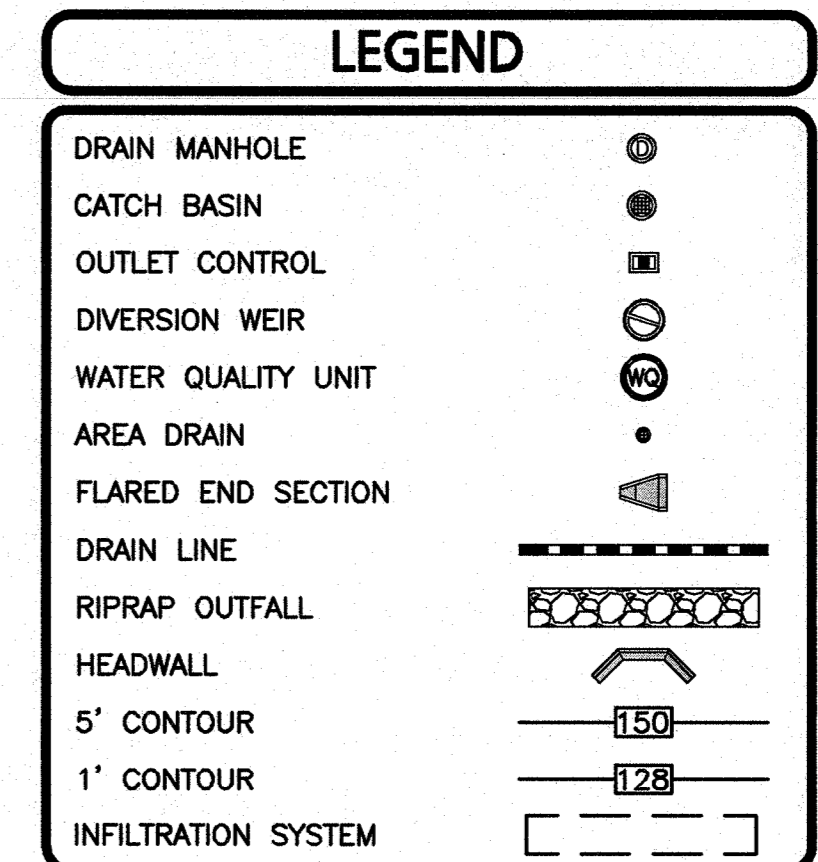
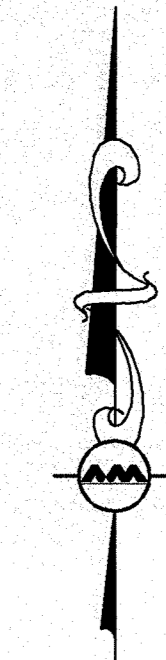
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DRAWING TITLE:	DRAINAGE PLAN	SHEET No.	C-106A
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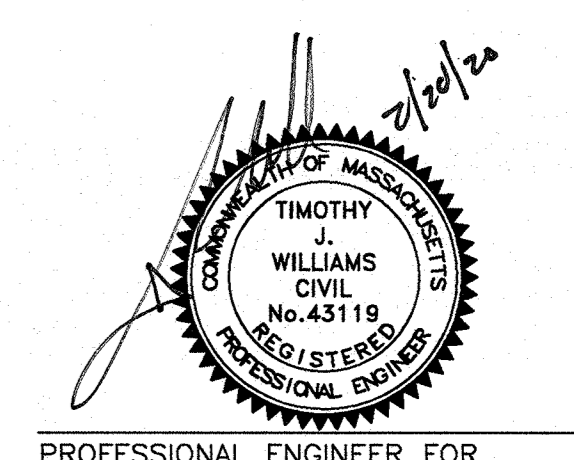


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MARLBOROUGH DEPT. OF PUBLIC WORKS: (508) 624-6910
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9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

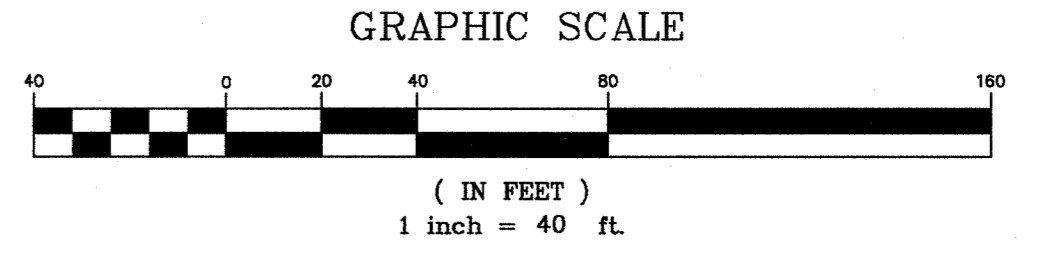
PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO. 2658-01 DATE: 12-20-2019
SCALE: 1"=40' DWG. NAME: C-2658-01
DESIGNED BY: SJL/DMR CHECKED BY: CMQ

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DRAWING TITLE: DRAINAGE PLAN SHEET No. C-106B



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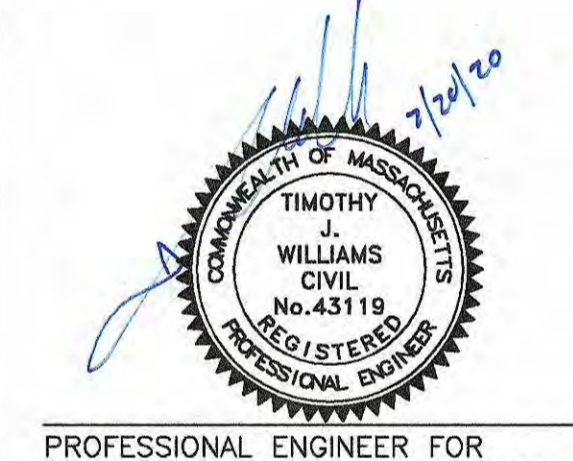
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- SEWER MANHOLE
- SEWER CLEANOUT
- SEWER LINE
- CONCRETE PIPE ENCASUREMENT
- WATER LINE
- WATER (FIRE SERVICE)
- WATER (DOMESTIC SERVICE)
- WATER VALVE
- HYDRANT
- WATER LINE REDUCER
- GAS LINE
- GAS VALVE
- LIGHT FIXTURE
- OVER HEAD WIRE
- UTILITY POLE
- HAND HOLE
- ELECTRICAL CONDUIT
- TELE/CABLE CONDUIT

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 DIGSAFE:
 1-800-344-7233
 CITY OF MARLBOROUGH DEPT. OF PUBLIC WORKS:
 1-508-624-6910
 - ALL ELEVATIONS REFER TO NAVD 88.
 - SEE FIRE PROTECTION PLANS FOR ADDITIONAL INFORMATION. FDC LOCATION TO BE CONFIRMED WITH FIRE PROTECTION ENGINEER.
 - POLE LIGHTING SHOWN FOR COORDINATION PURPOSES ONLY. POLE LOCATIONS AND STYLES TO BE PROVIDED BY LIGHTING CONSULTANT. SEE PHOTOMETRICS PLAN FOR MORE INFORMATION.
 - ALL UTILITIES SHOWN ON THIS PLAN ARE FOR COORDINATION PURPOSES ONLY. INDIVIDUAL UTILITY PROVIDERS AND MEP ENGINEER SHALL DETERMINE THE FINAL LOCATION, SIZE AND MATERIAL OF EACH UTILITY.
 - MINIMUM 10' SEPARATION BETWEEN SEWER LINES AND WATER LINES SHALL BE MAINTAINED, AS SHOWN ON THE PLANS. WHERE LESS THAN 10' SEPARATION IS POSSIBLE, BOTH LINES SHALL BE ENCASED IN CONCRETE. A MINIMUM OF 10' IN EACH DIRECTION, OR AS PRACTICABLE.
 - NATURAL GAS SERVICE LOCATION SHOWN FOR COORDINATION PURPOSES ONLY. FINAL LOCATION OF GAS LINE TO BE DETERMINED BY THE UTILITY PROVIDER.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER AND A MAXIMUM OF 8'-0" COVER ON ALL WATERLINES.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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 9 WEST BROAD STREET, SUITE 800
 STAMFORD, CT 06902

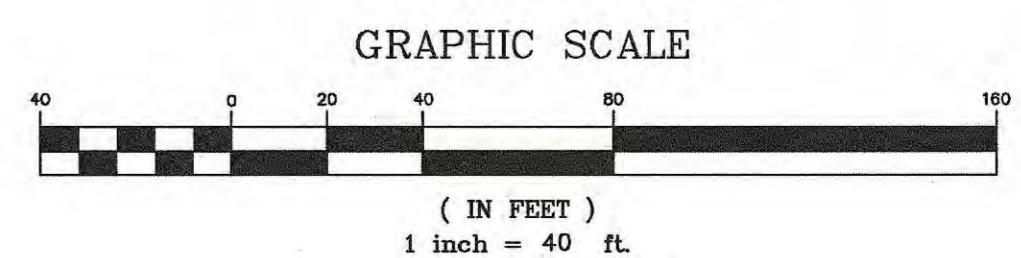
MULTI-FAMILY DEVELOPMENT
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 MARLBOROUGH, MA

PROJECT NO.	2658-01	DATE:	12-20-2019
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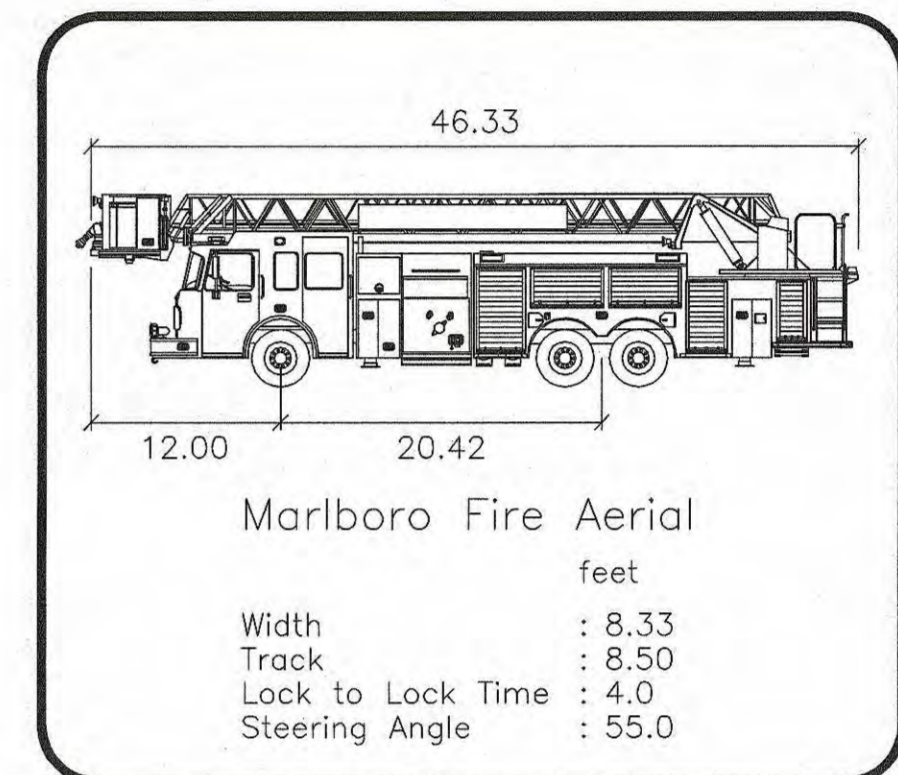
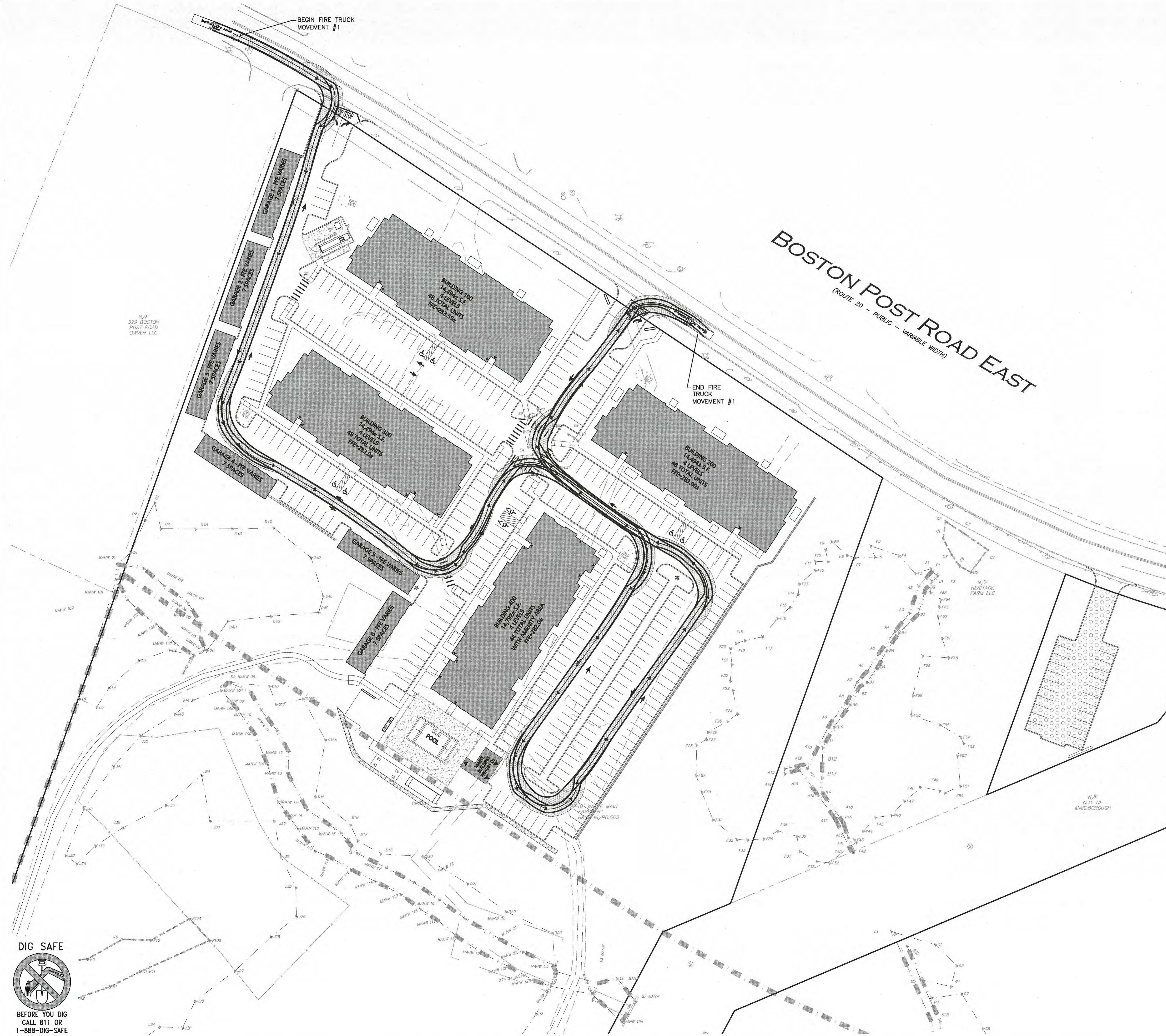
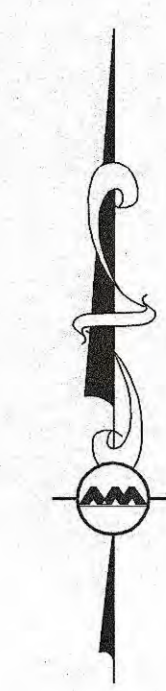
DRAWING TITLE: UTILITIES PLAN SHEET NO. C-107



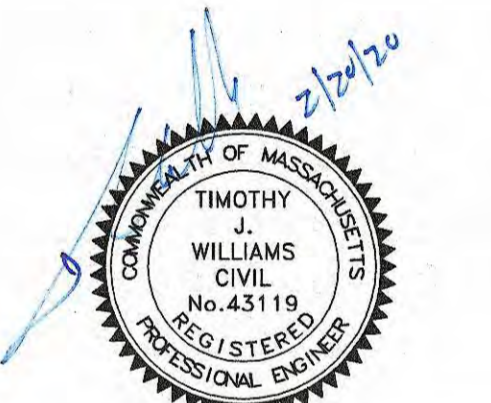
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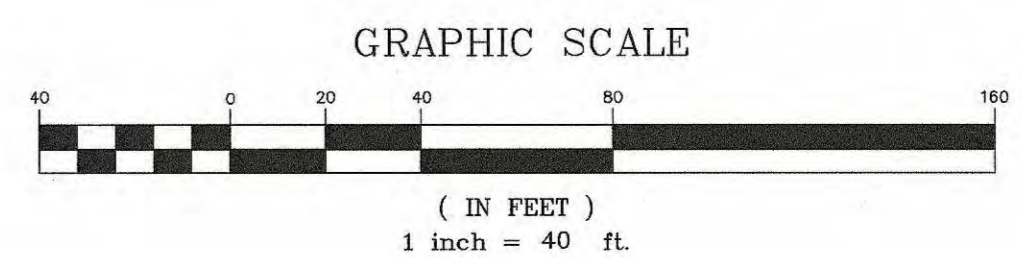
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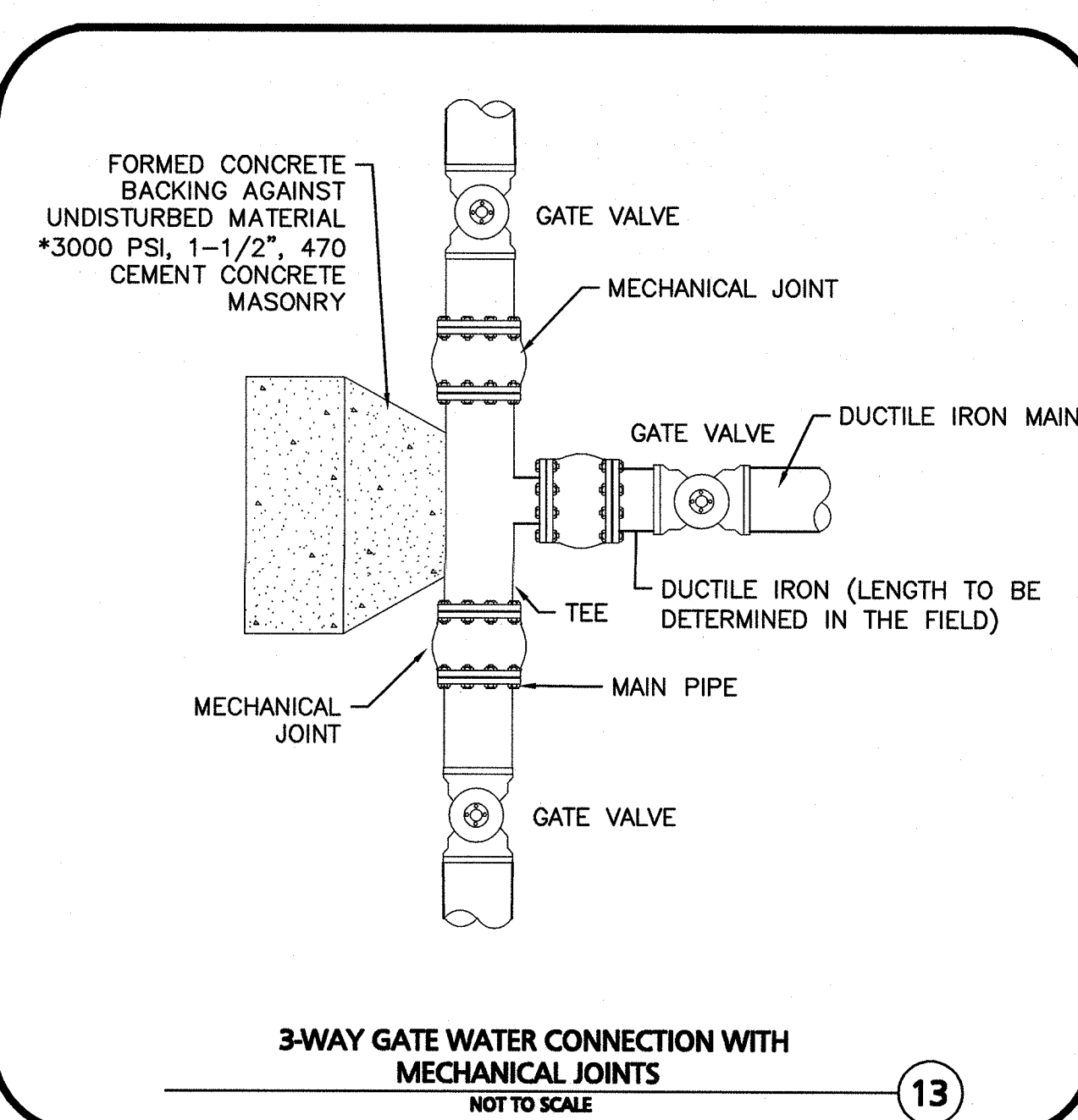
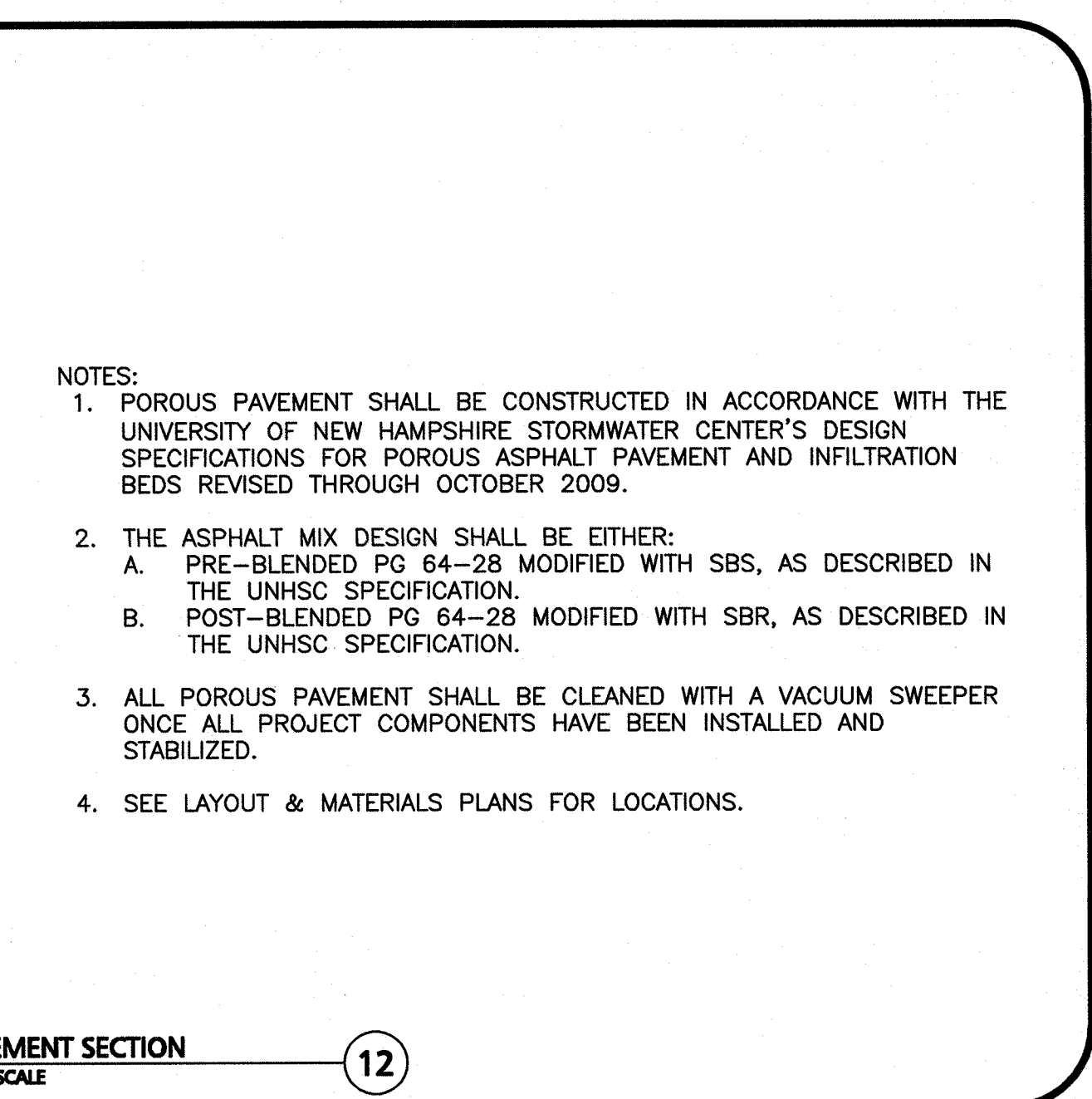
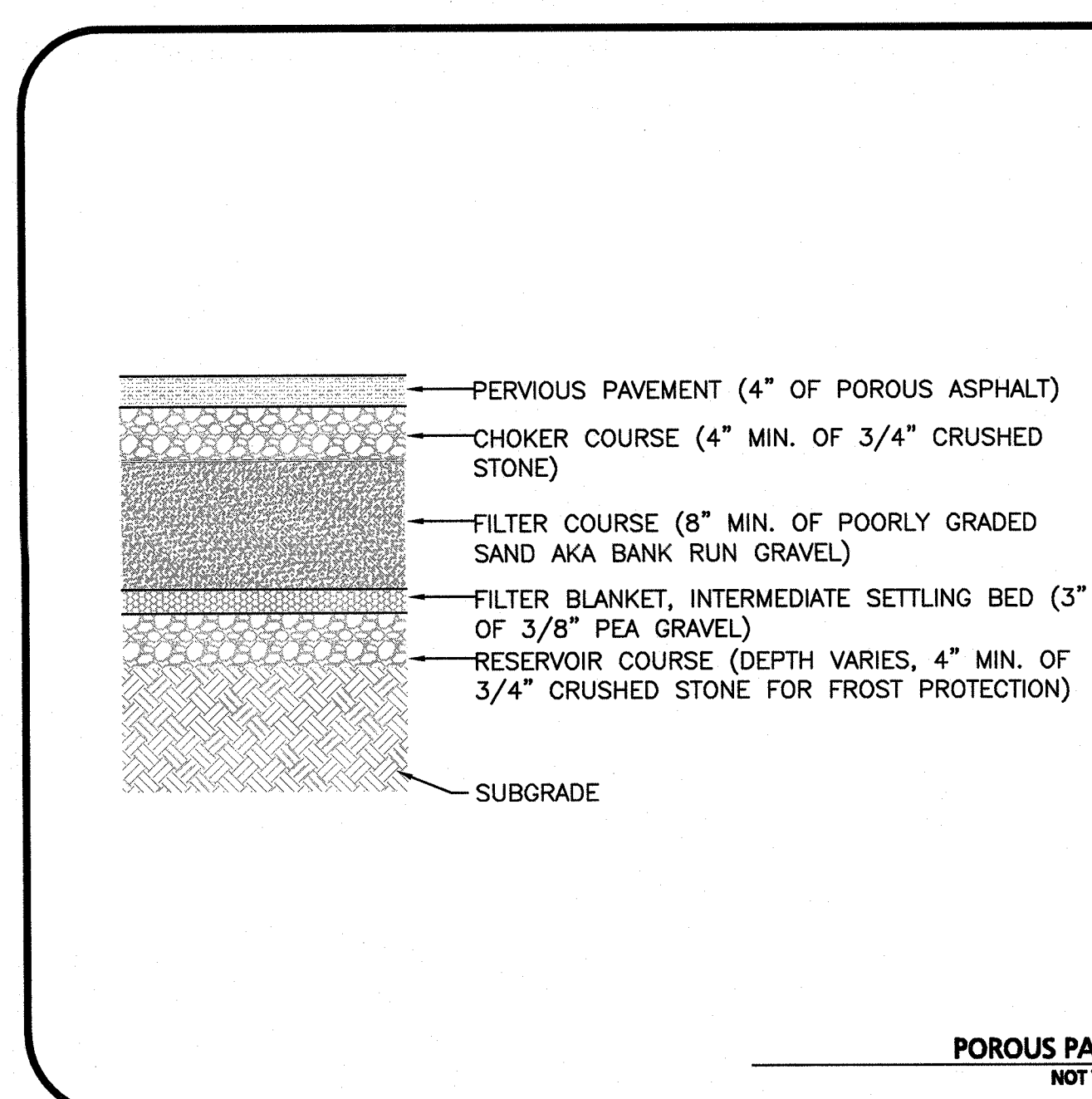
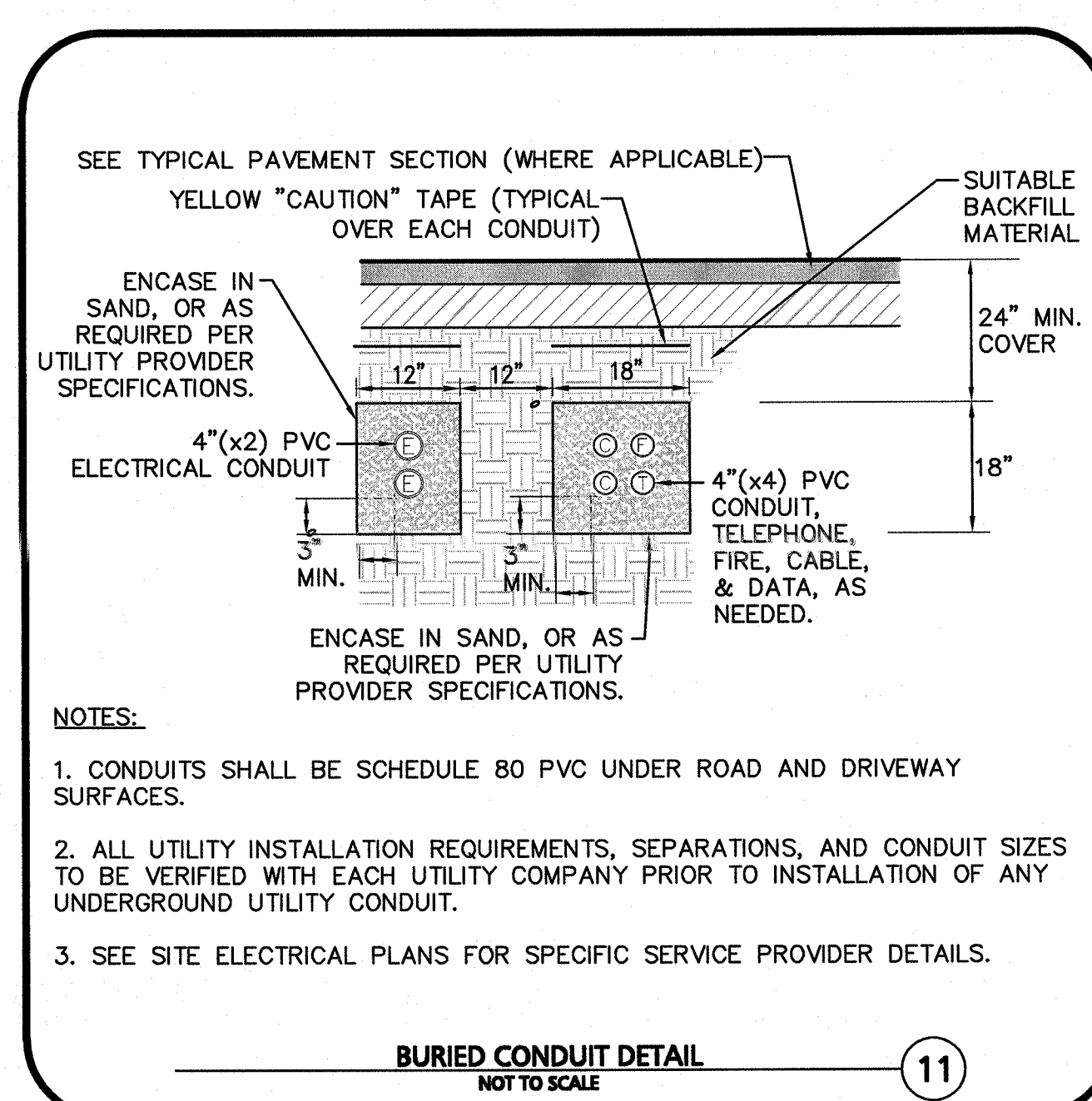
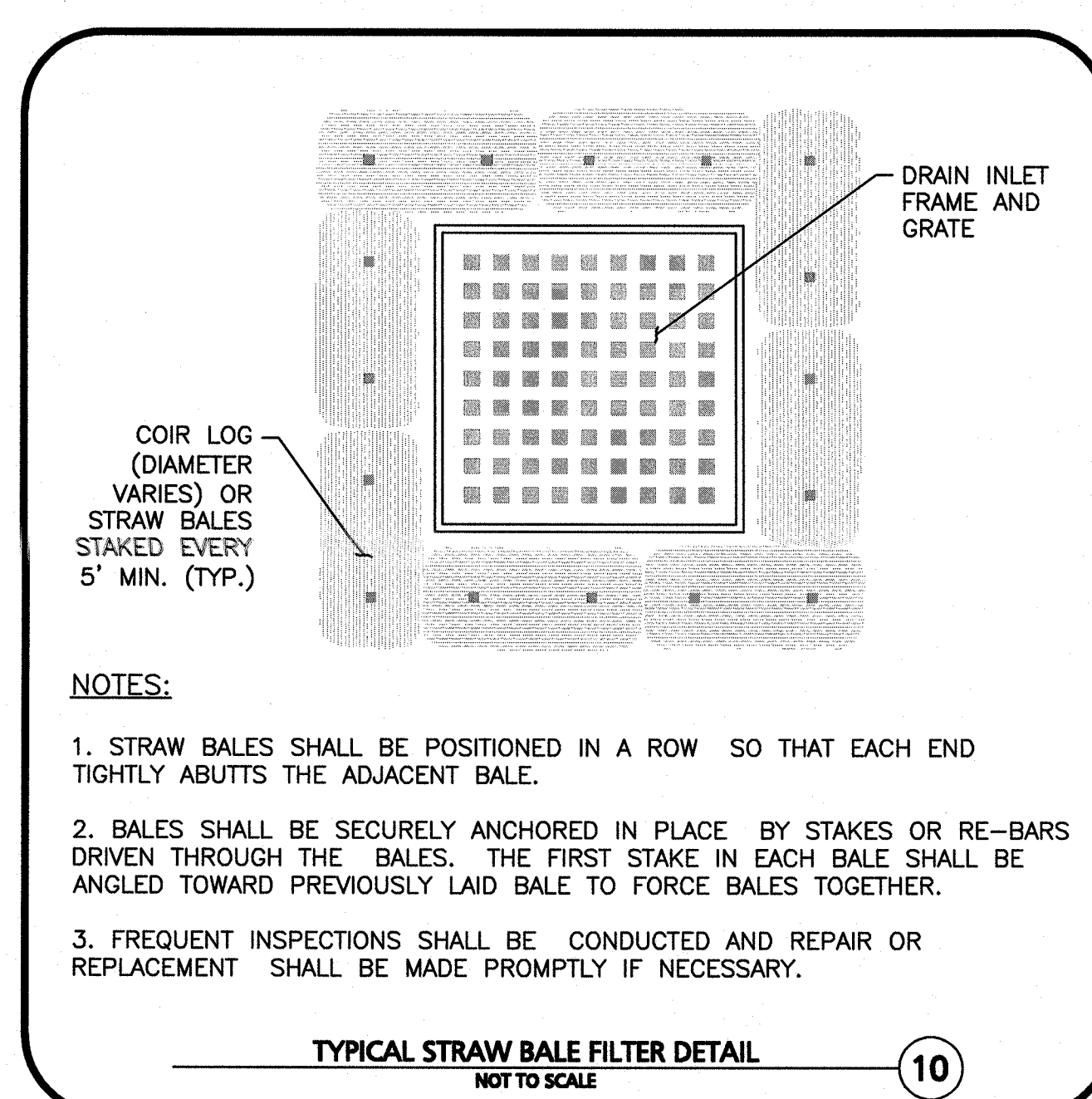
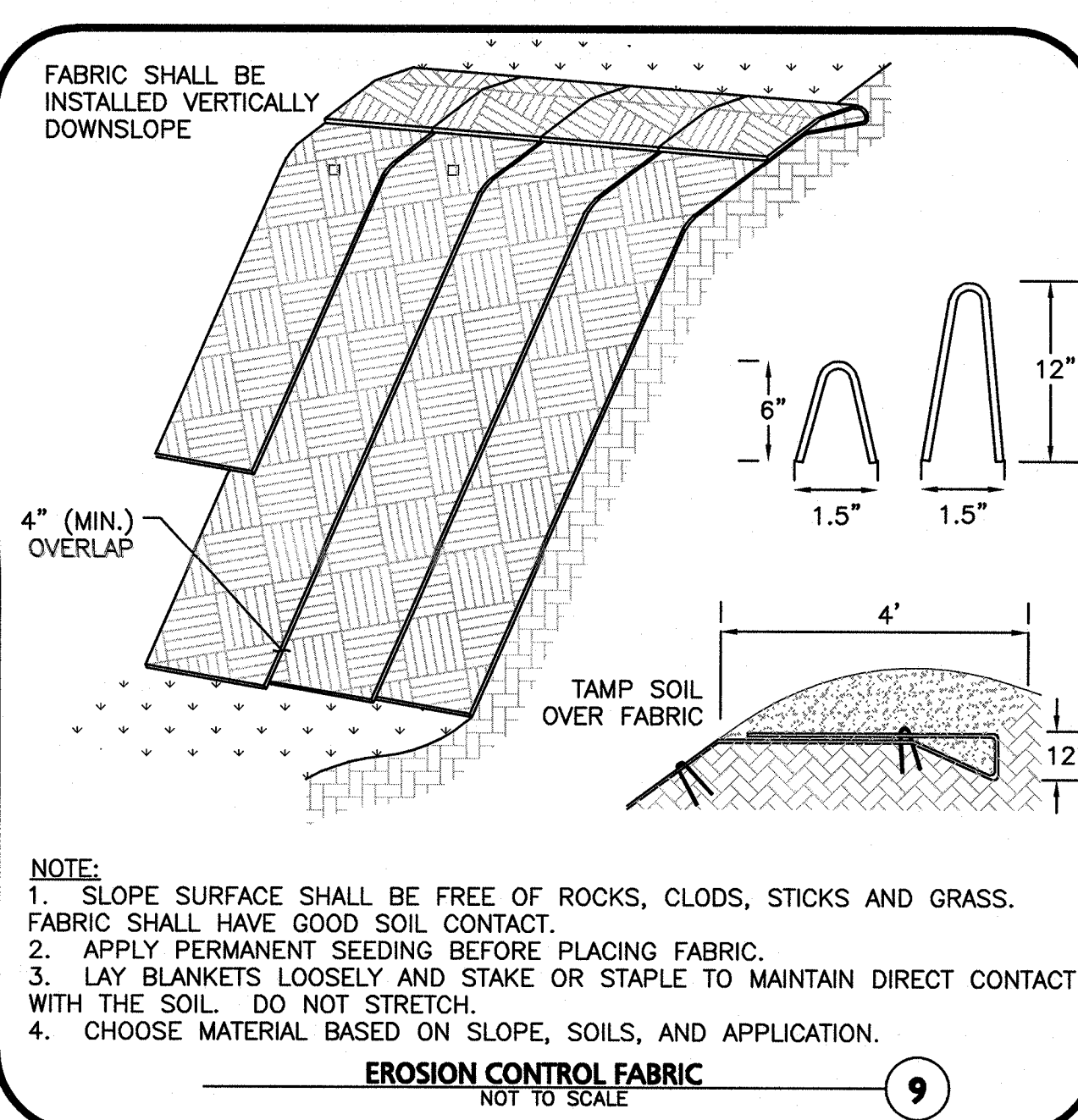
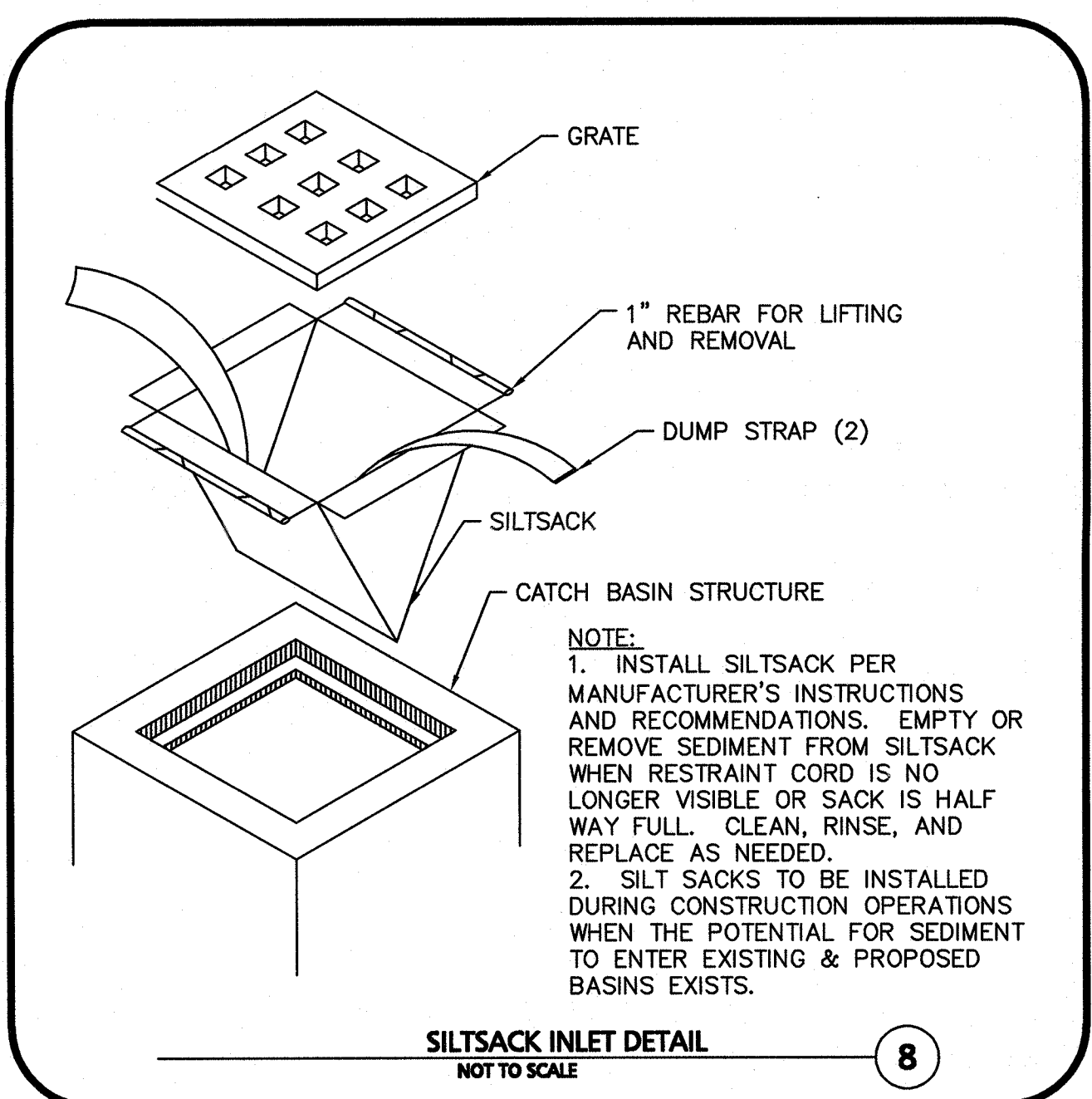
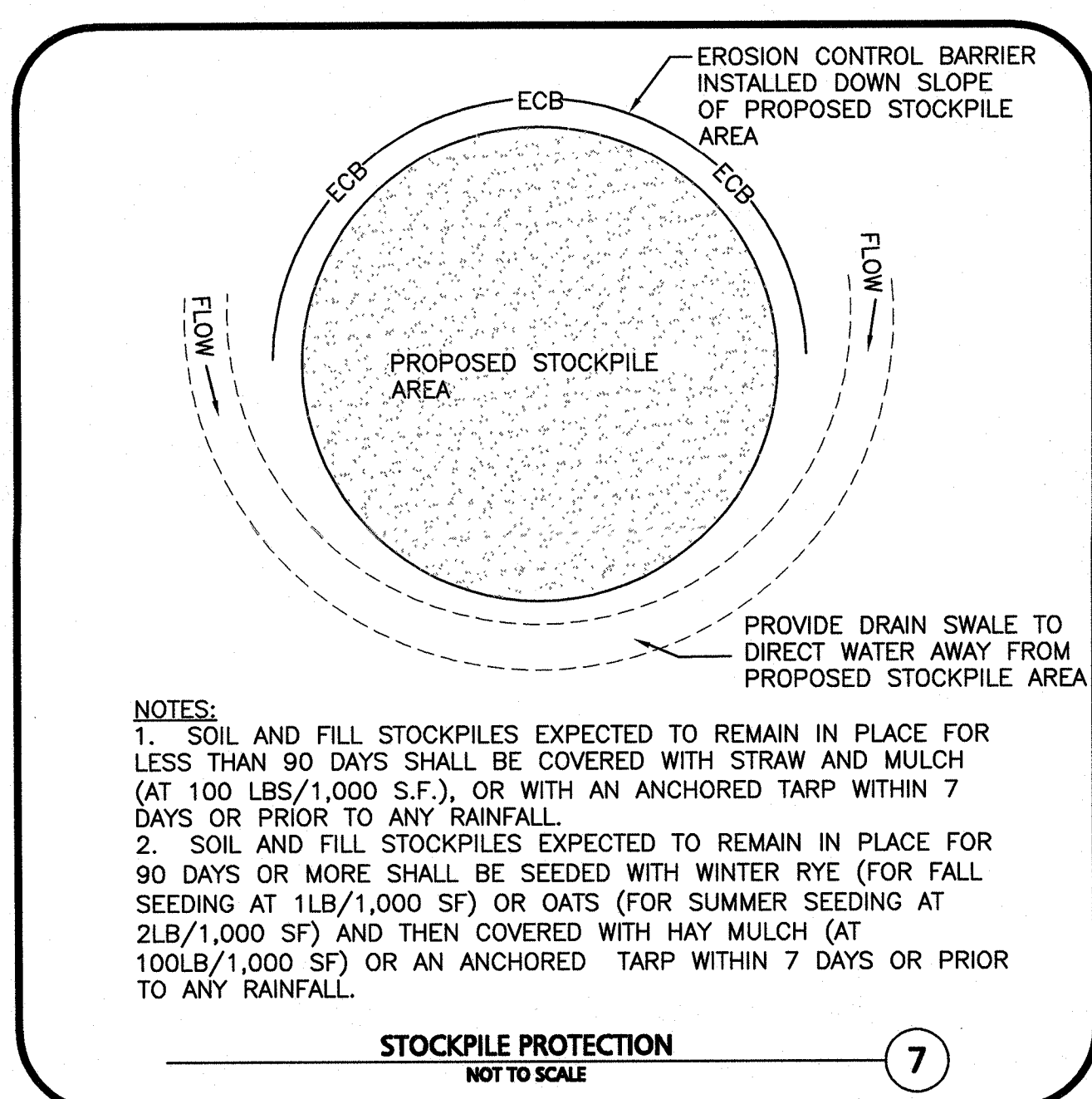
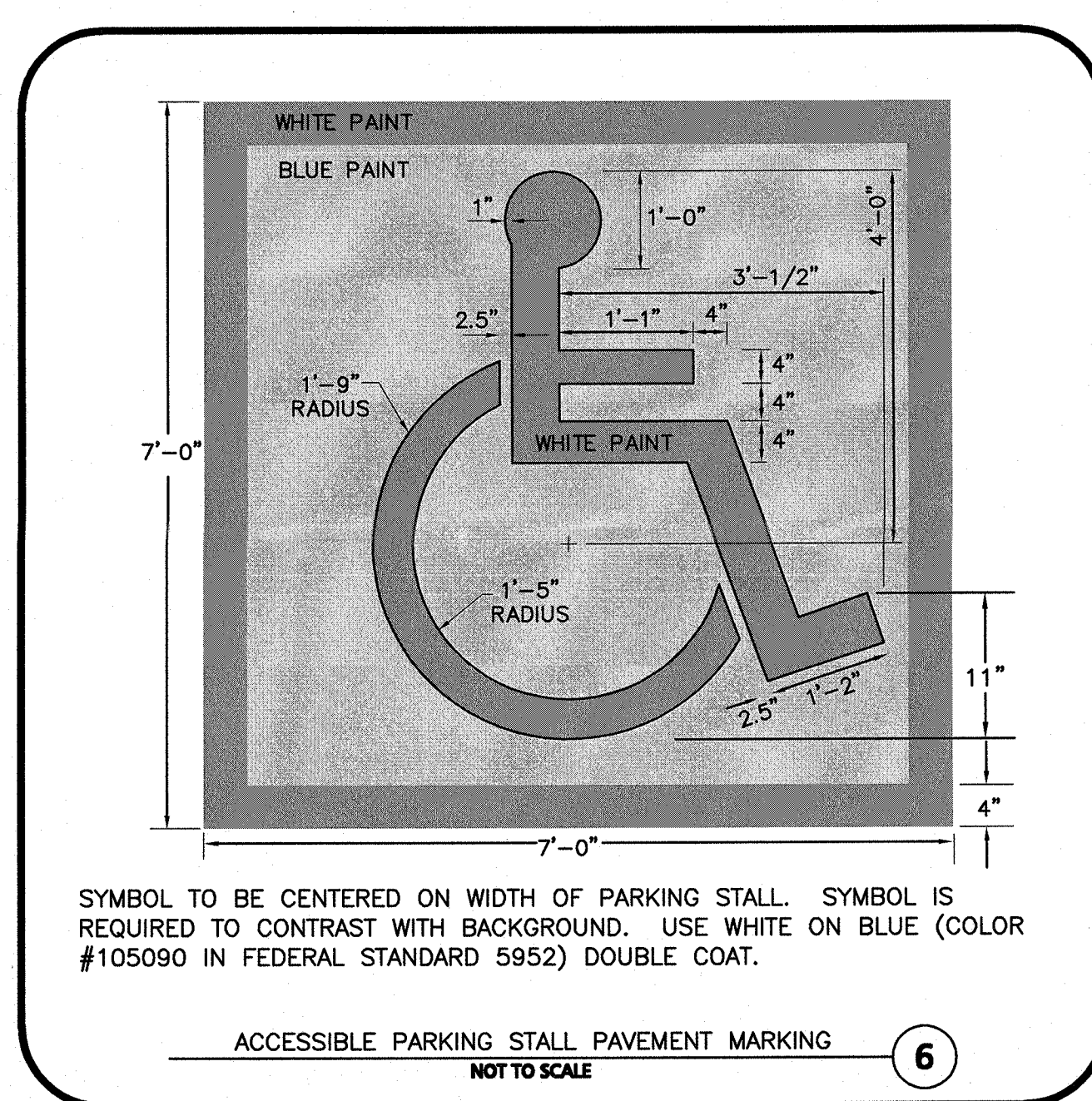
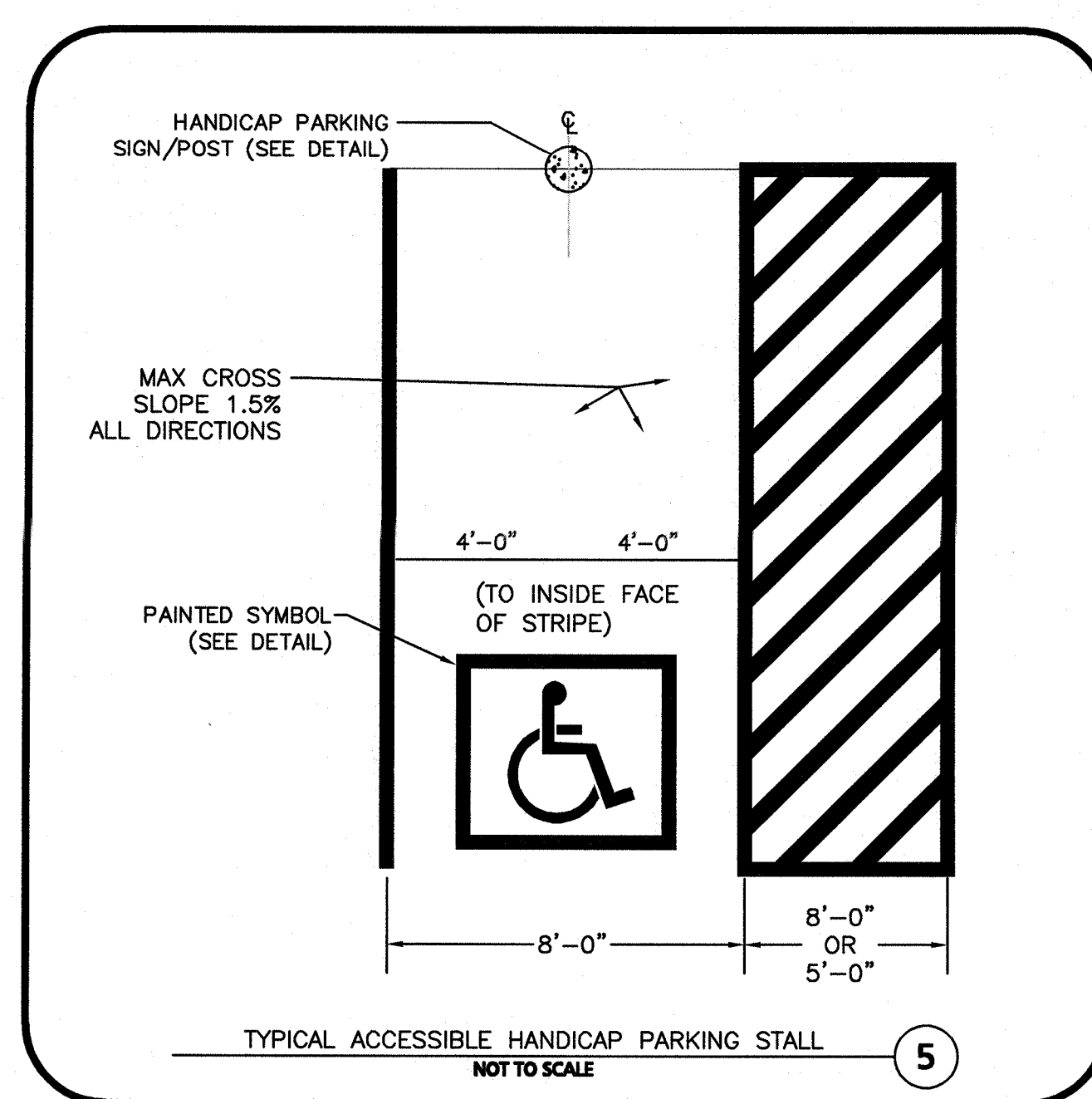
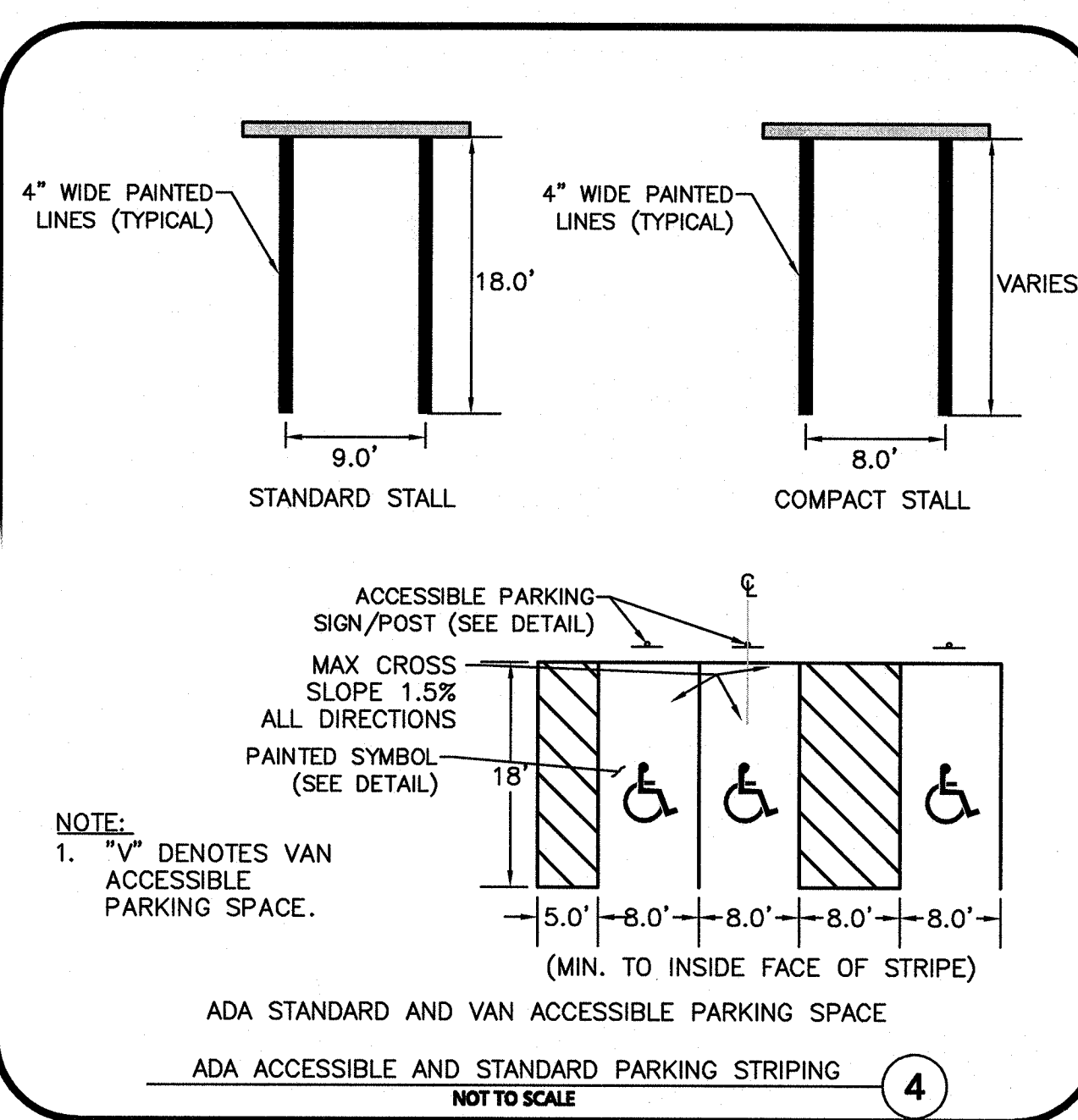
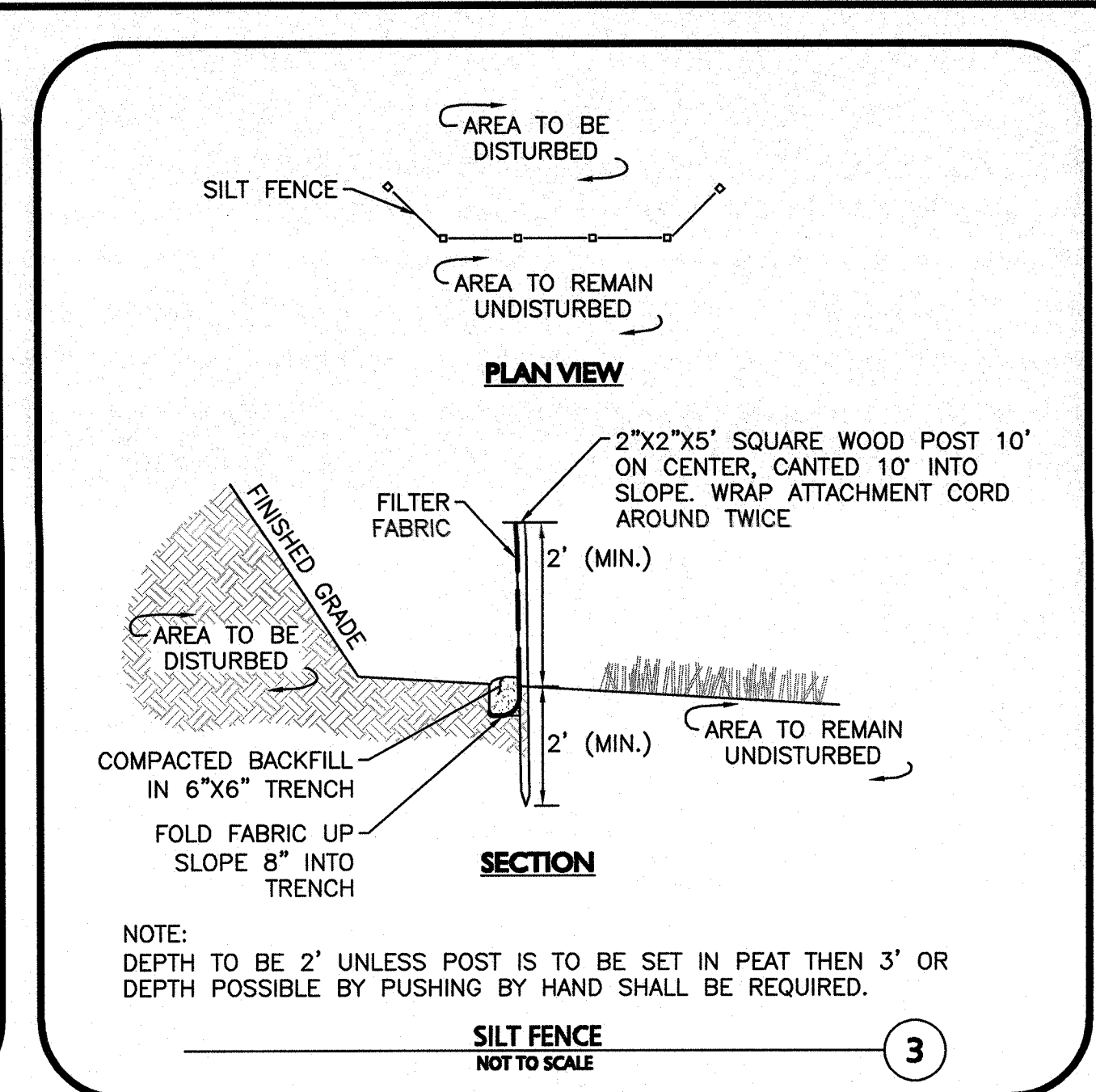
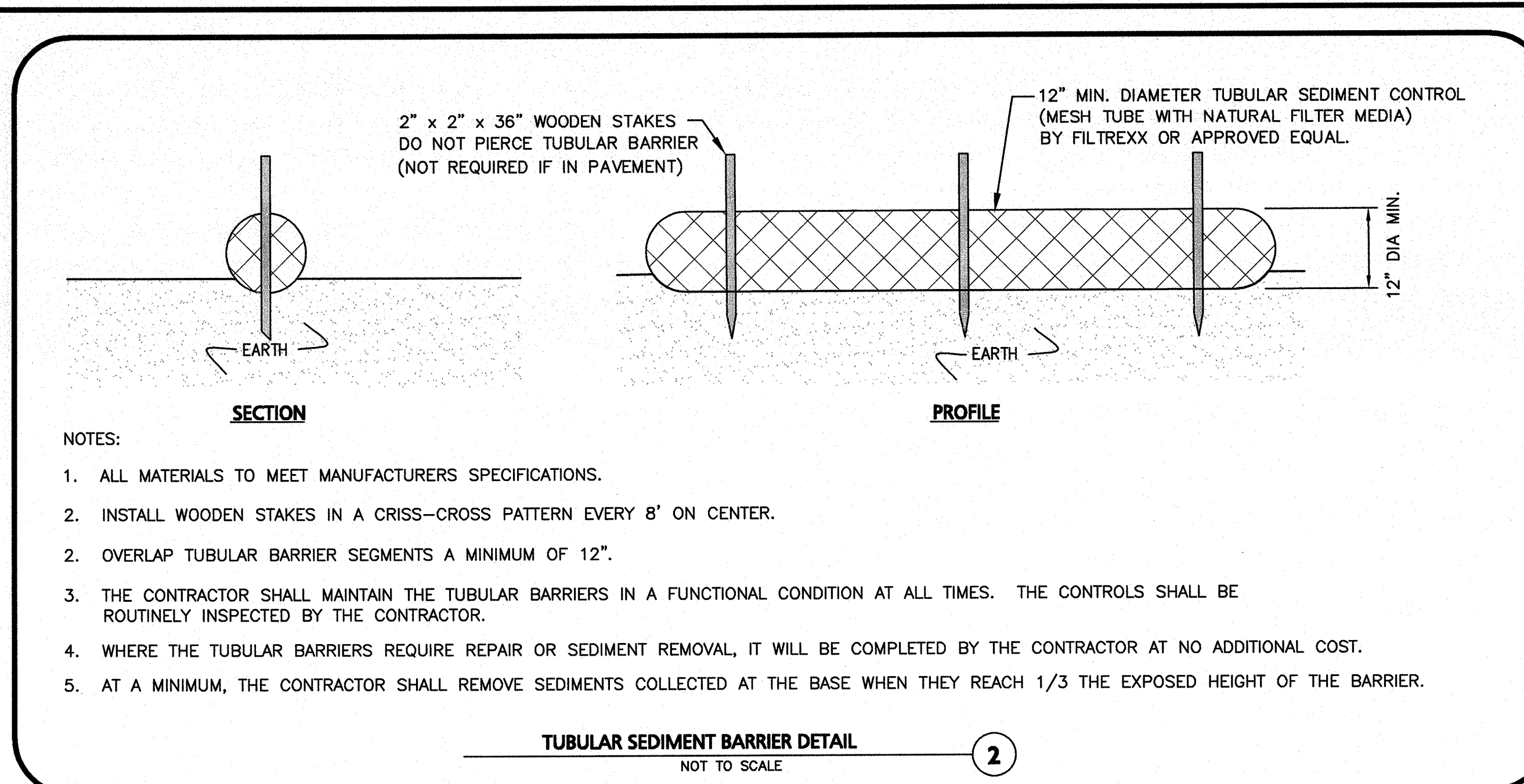
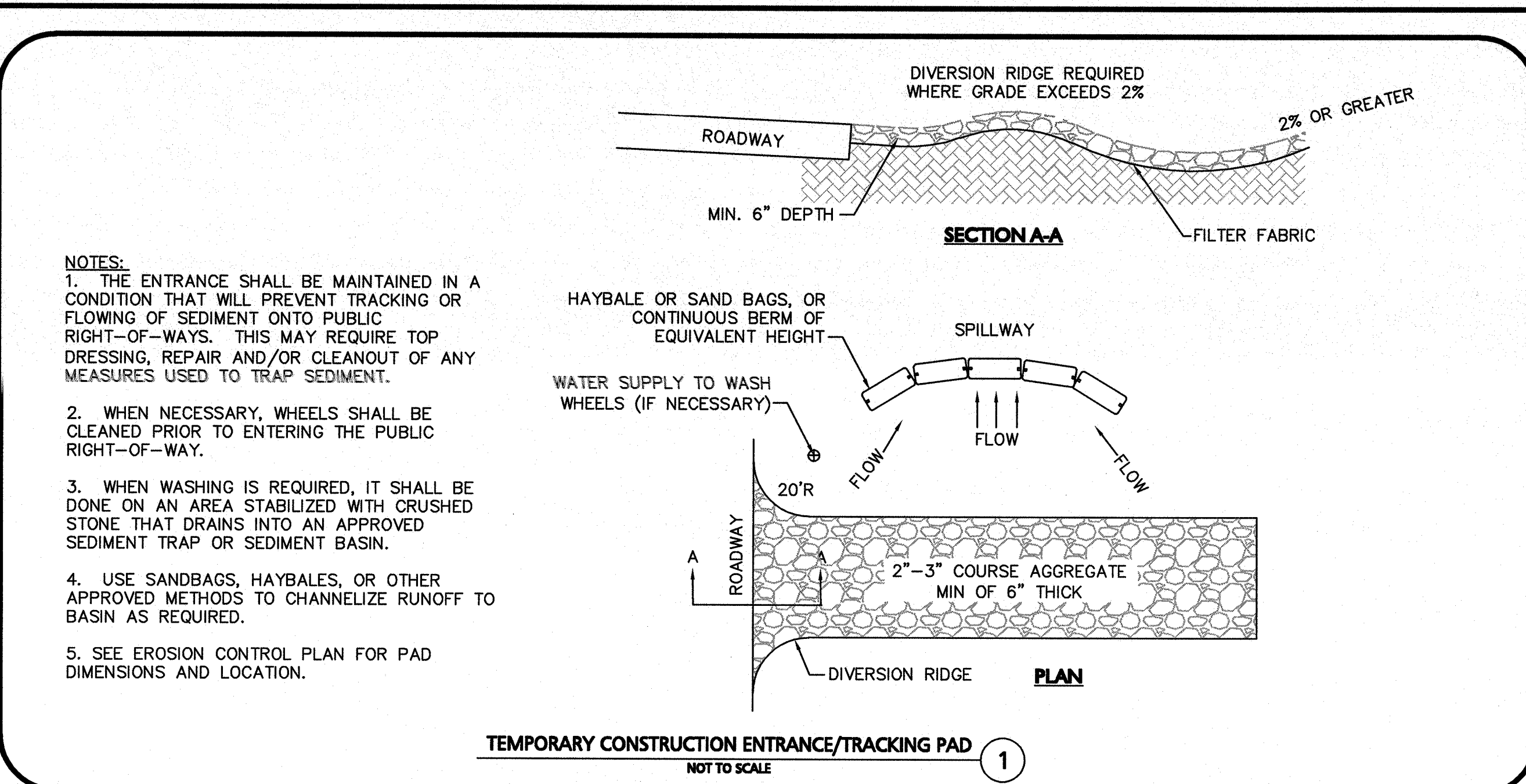
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DRAWING TITLE: FIRE TRUCK TURNING PLAN SHEET No. C-108



DIG SAFE
 BEFORE YOU DIG
 CALL 811 OR
 1-888-DIG-SAFE
 1-888-344-7233

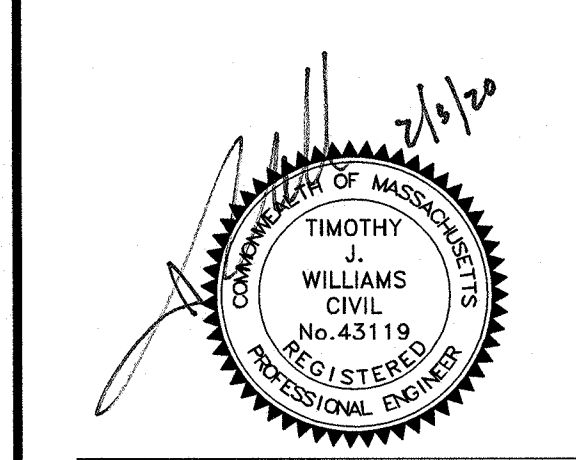
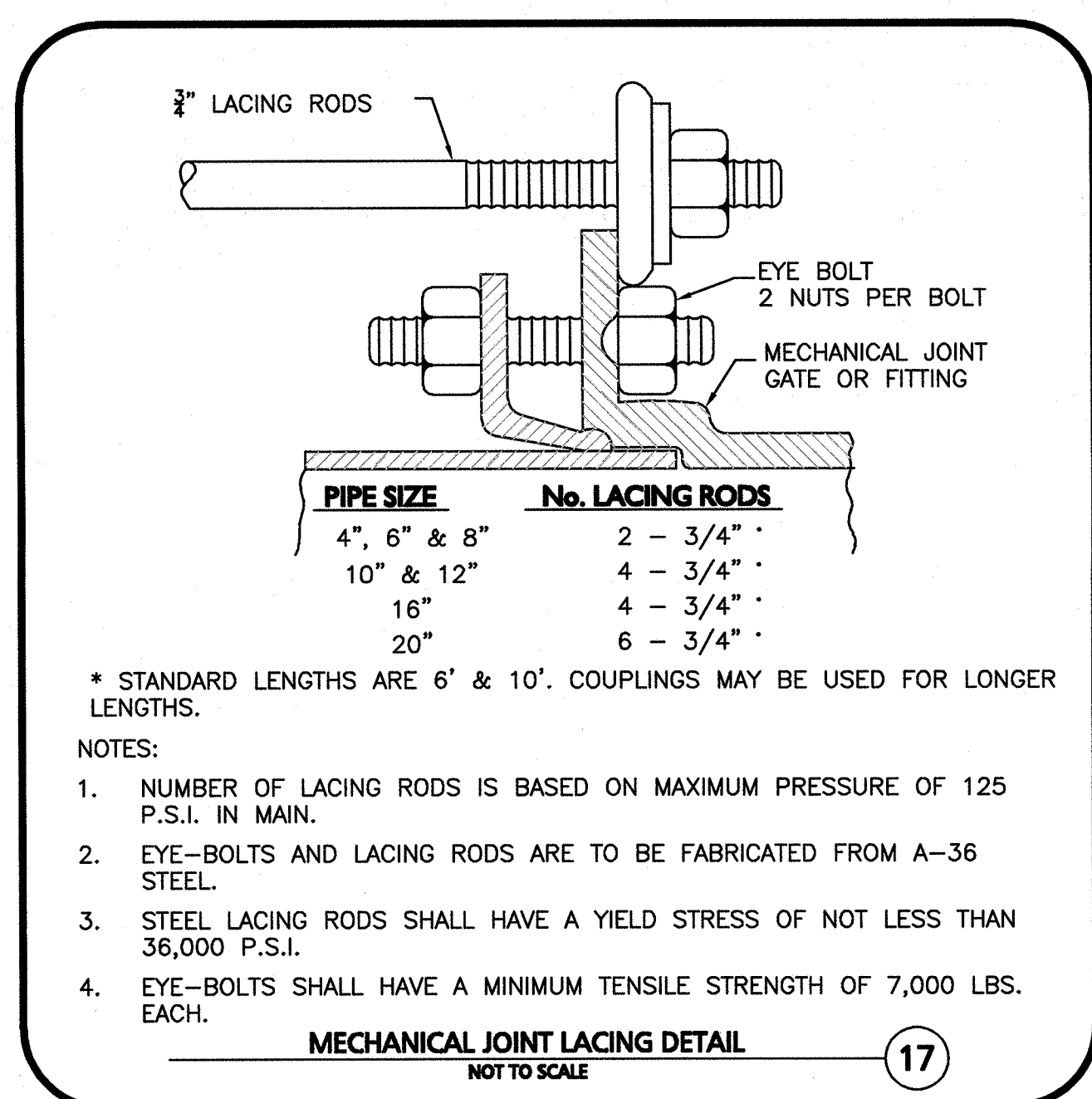
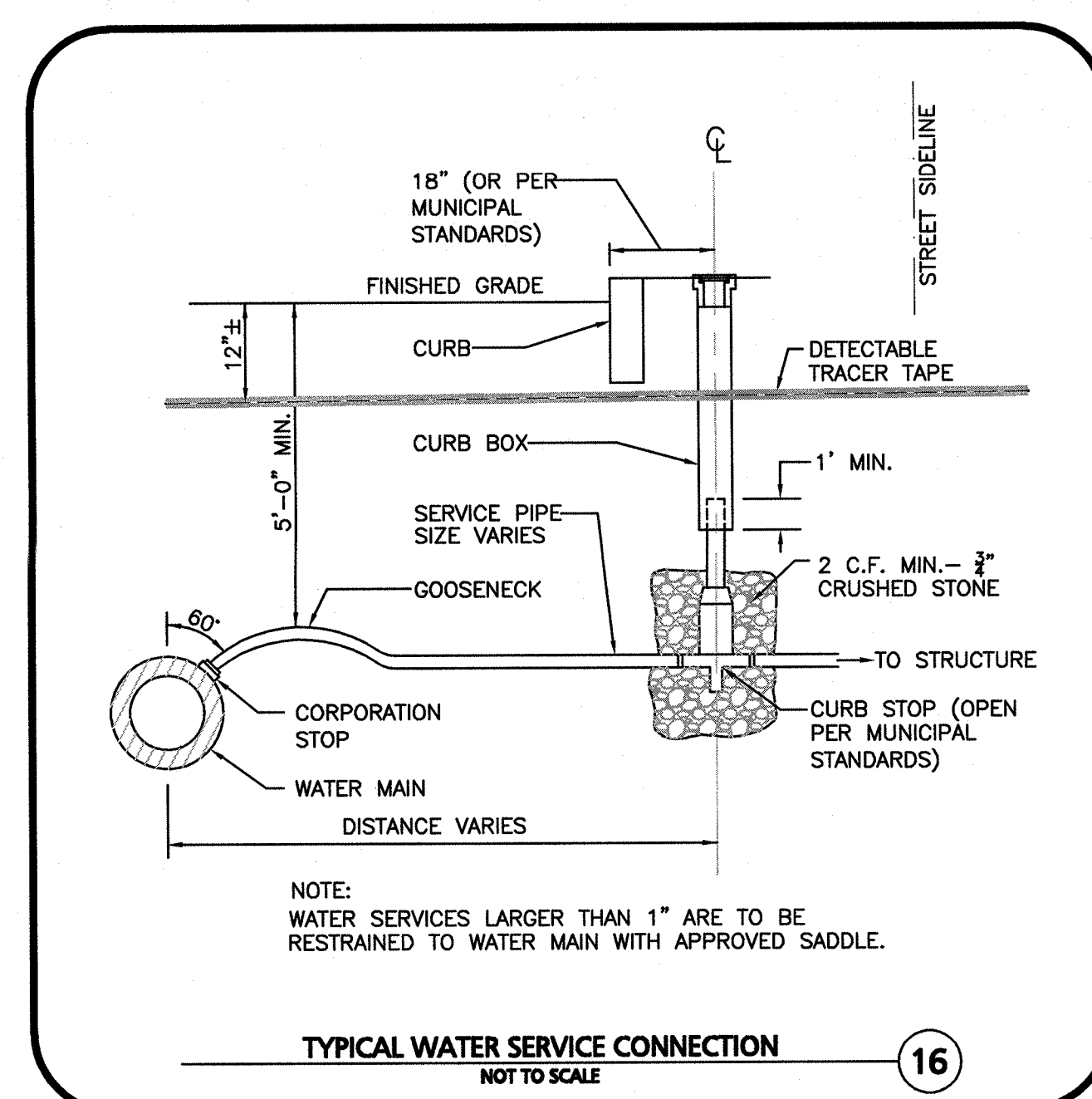
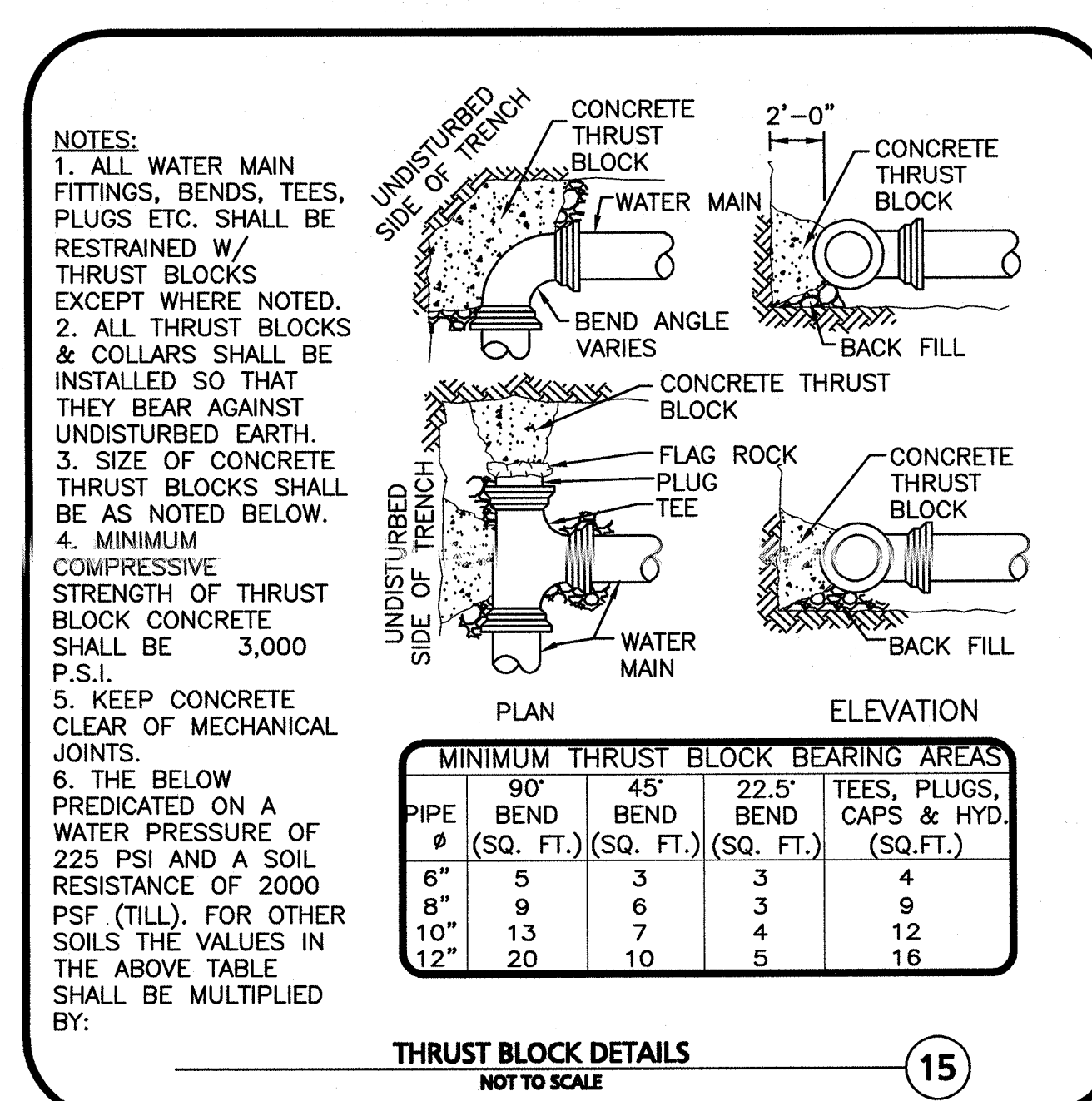
N:\PROJECTS\2658-01\CIVIL\DRAWINGS\CURRENT\SITE PLANS\C-2658-01_TRUCK TURNING.DWG



SIGN TABLE
NOT TO SCALE

MUTCD NUMBER	SIGN	SIZE (MIN)	MOUNTING HEIGHT	DESCRIPTION	RETRO-REFLECTIVE
R1-1	STOP	30"x30"	7' - 0"	WHITE ON RED	YES
R7-8(M) (MODIFIED)	Handicap	12"x24"	7' - 0"	RED ON WHITE	YES
R7-8	Handicap	12"x18"	7' - 0"	GREEN & BLUE ON WHITE	YES

NOTES:
1. TRAFFIC AND SAFETY SIGNAGE SHALL COMPLY WITH MUTCD STANDARDS.
2. WHERE APPLICABLE THE SIGN SUPPORT SHALL COMPLY WITH THE BREAKAWAY REQUIREMENTS OF THE LATEST EDITION OF AASHTO'S "SPECIFICATION FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES, AND TRAFFIC SIGNALS".



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3	02-03-20	VARIOUS REVISIONS
2	01-31-20	RESUBMITTED FOR LOCAL APPROVAL
1	12-20-19	ISSUED FOR LOCAL APPROVAL

APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO. 2658-01 DATE: 12-20-2019

SCALE: AS SHOWN DWG. NAME: C2658-01

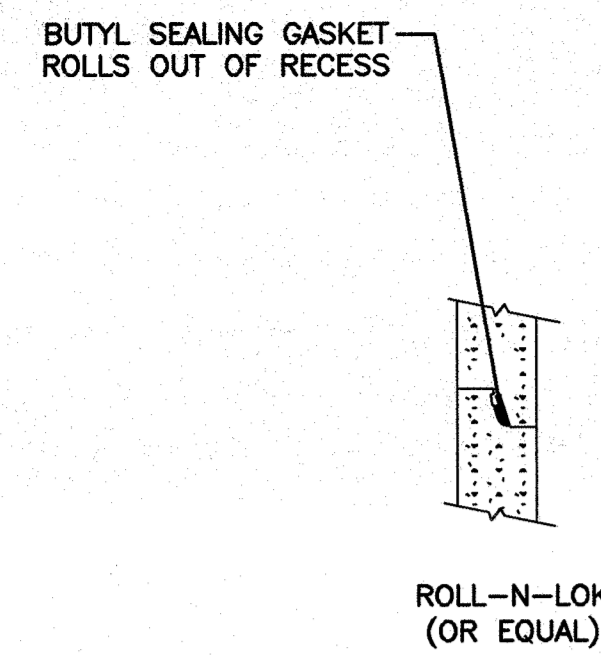
DESIGNED BY: SIL/DMR CHECKED BY: CMQ



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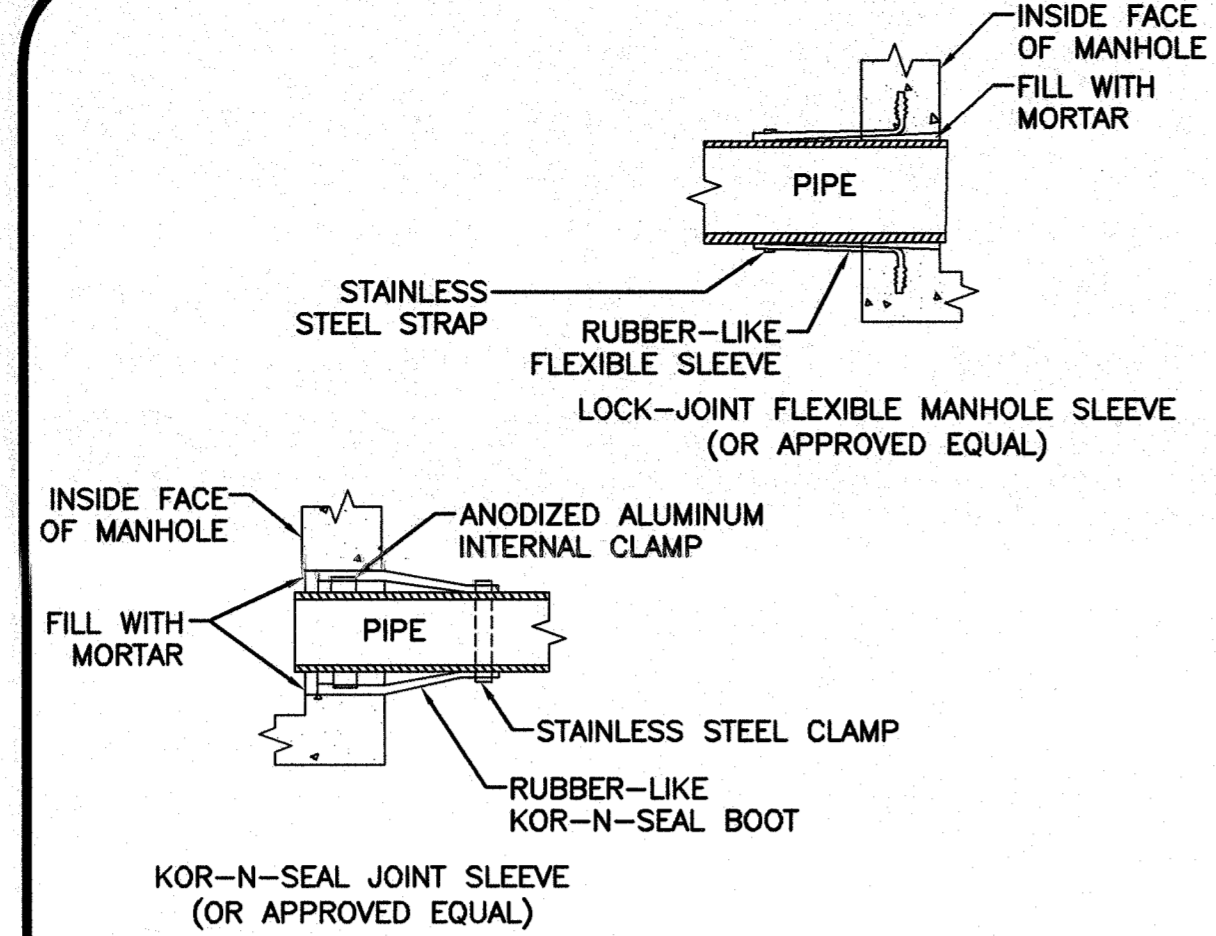
DRAWING TITLE: CIVIL DETAILS SHEET No. C-501

M:\PROJECTS\2658-01\CIVIL\DRAWINGS\CURRENT\SITE PLANS\C-2658-01_DETAILS.DWG



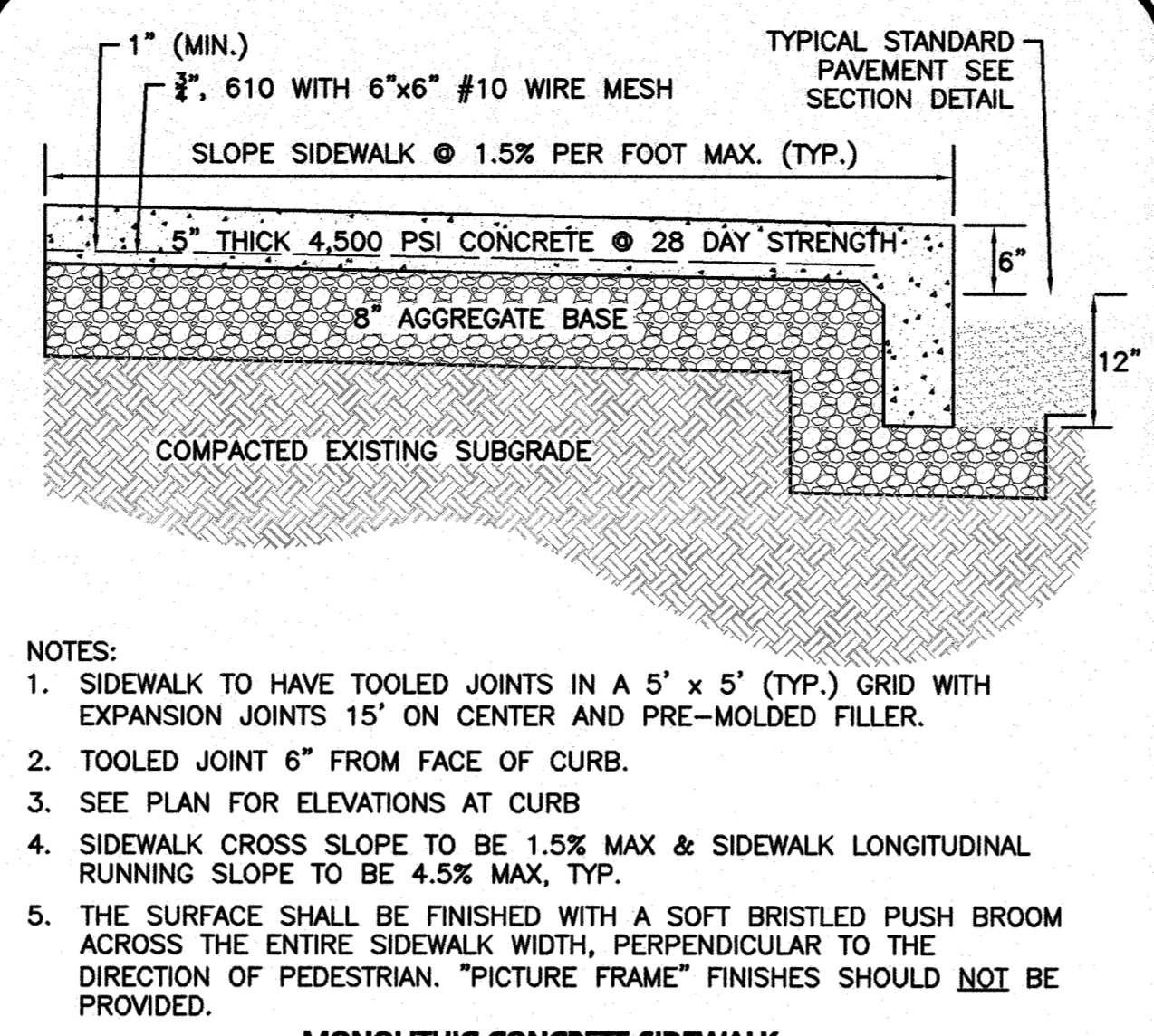
- NOTES:
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATER TIGHTNESS UPON AN ELASTOMERIC OR MASTIC-LIKE GASKET.
 - ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.

SEWER MANHOLE JOINTING METHOD
NOT TO SCALE

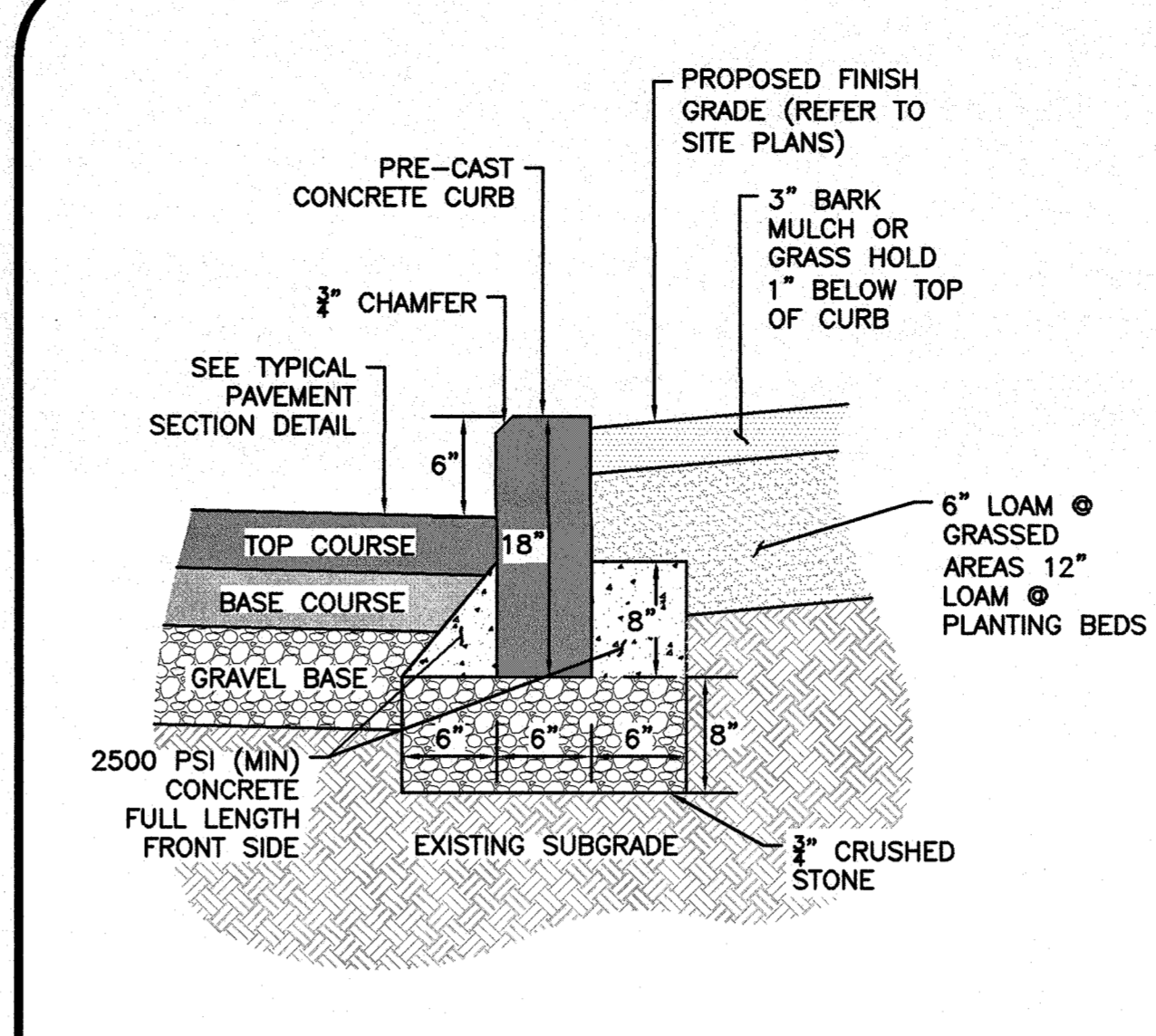


- NOTES:
- PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND IN GENERAL, WILL DEPEND FOR WATER TIGHTNESS UPON ELASTOMERIC SEALANT
 - NON-SHRINKING MORTAR SHALL ONLY BE USED WHERE SPECIFICALLY APPROVED BY THE ENGINEER.

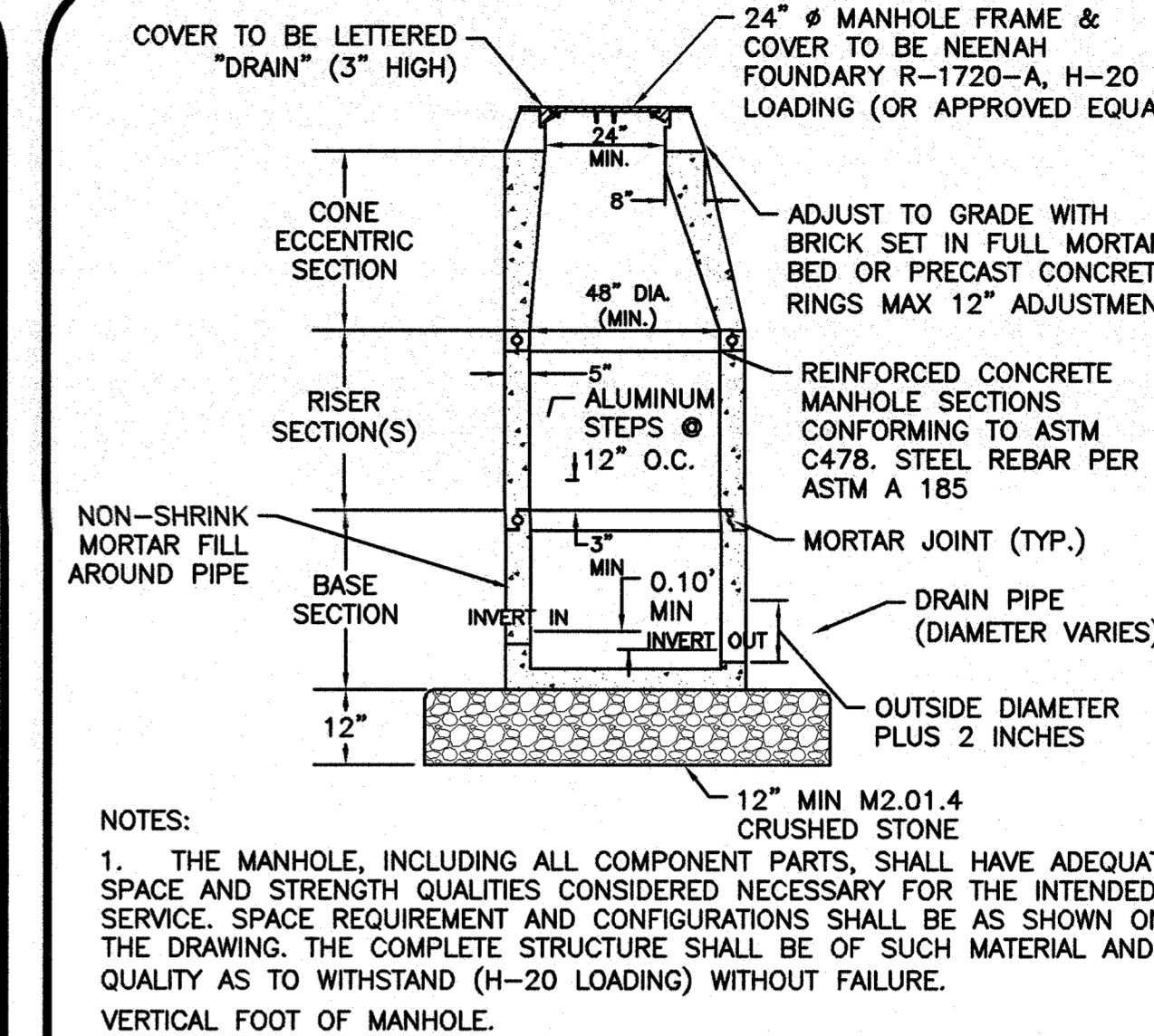
PIPE CONNECTIONS TO SEWER MANHOLE
NOT TO SCALE



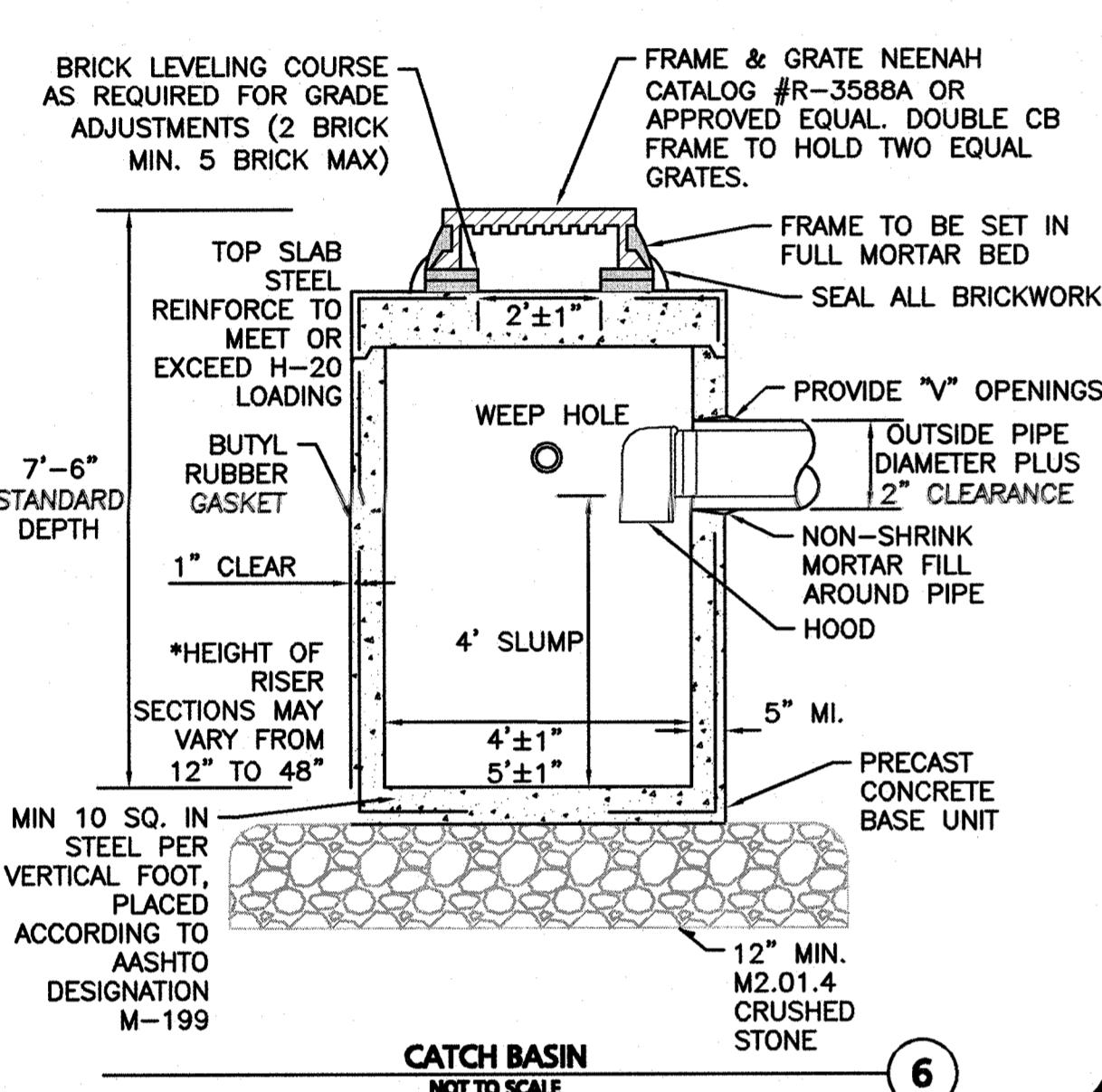
MONOLITHIC CONCRETE SIDEWALK WITH 6\"/>



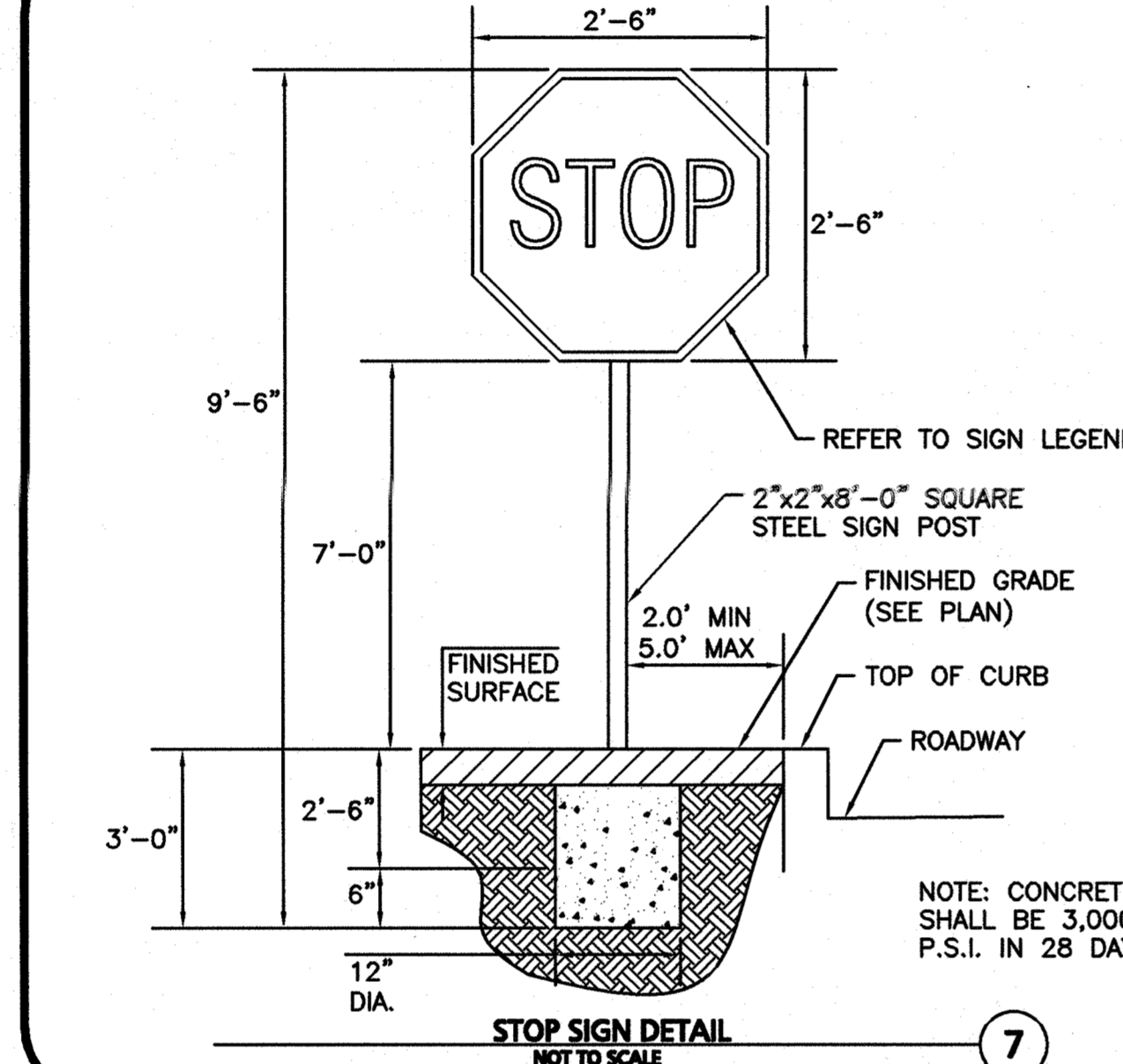
PRE-CAST CONCRETE CURB (PCC)
NOT TO SCALE



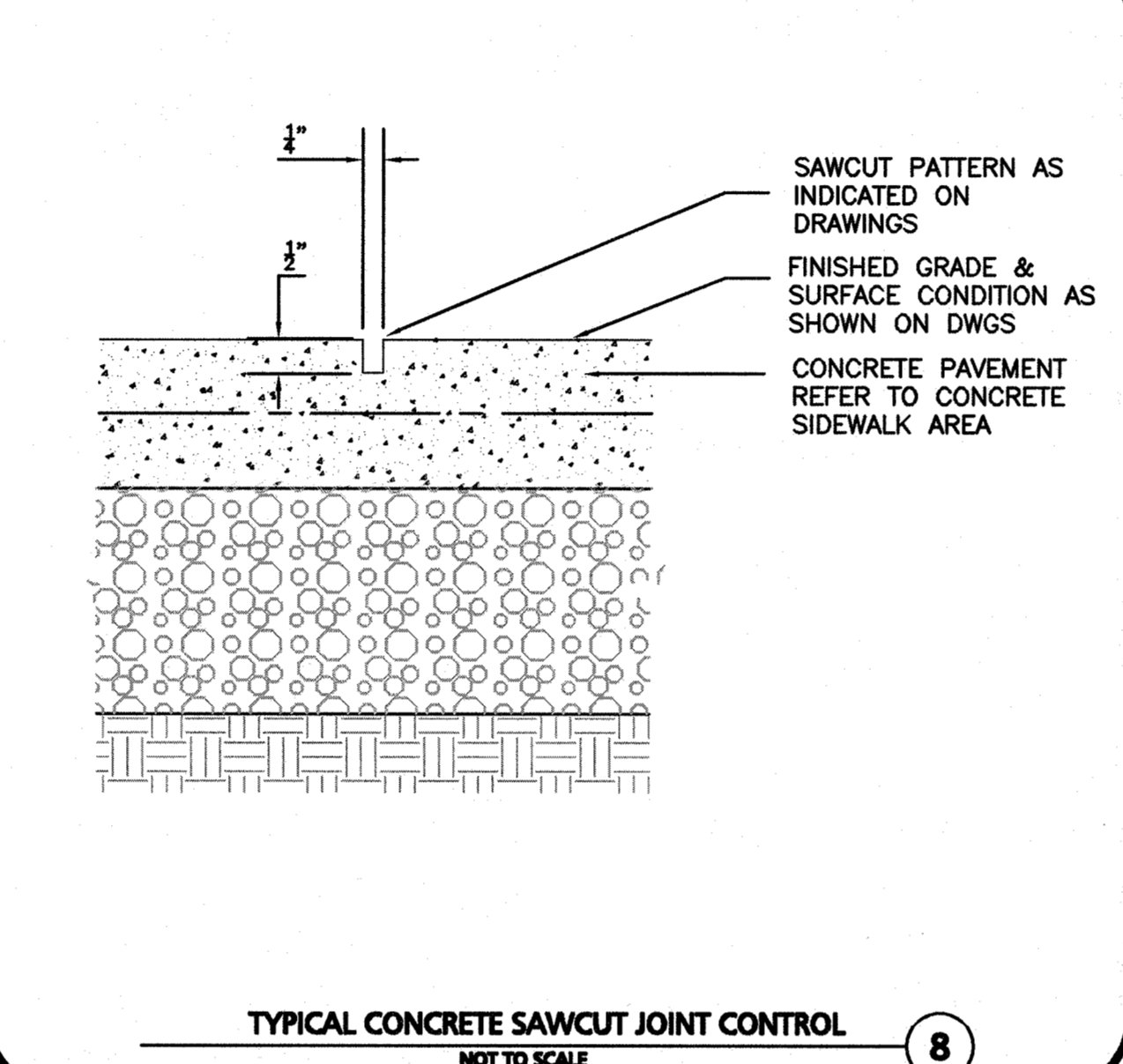
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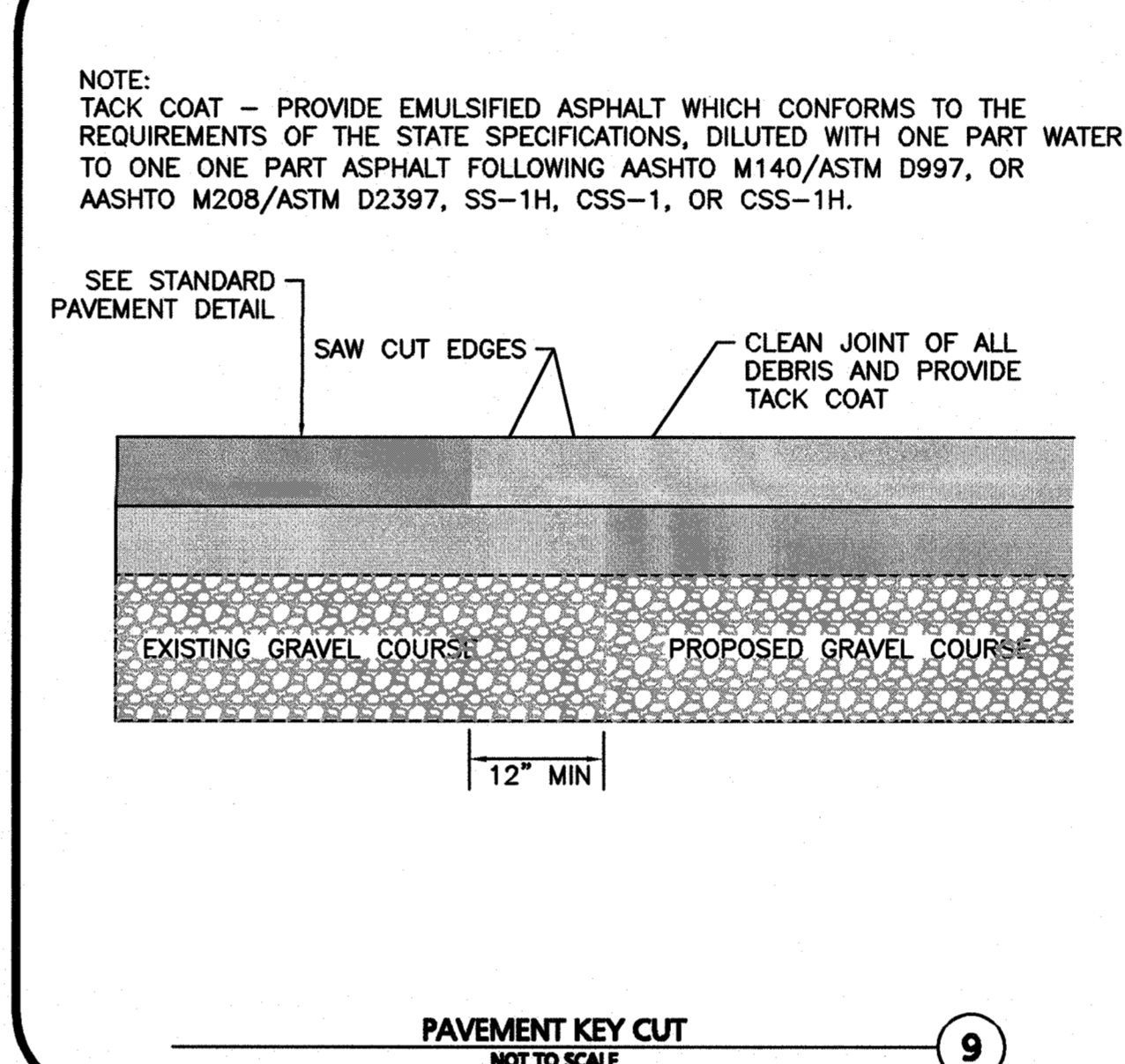
CATCH BASIN
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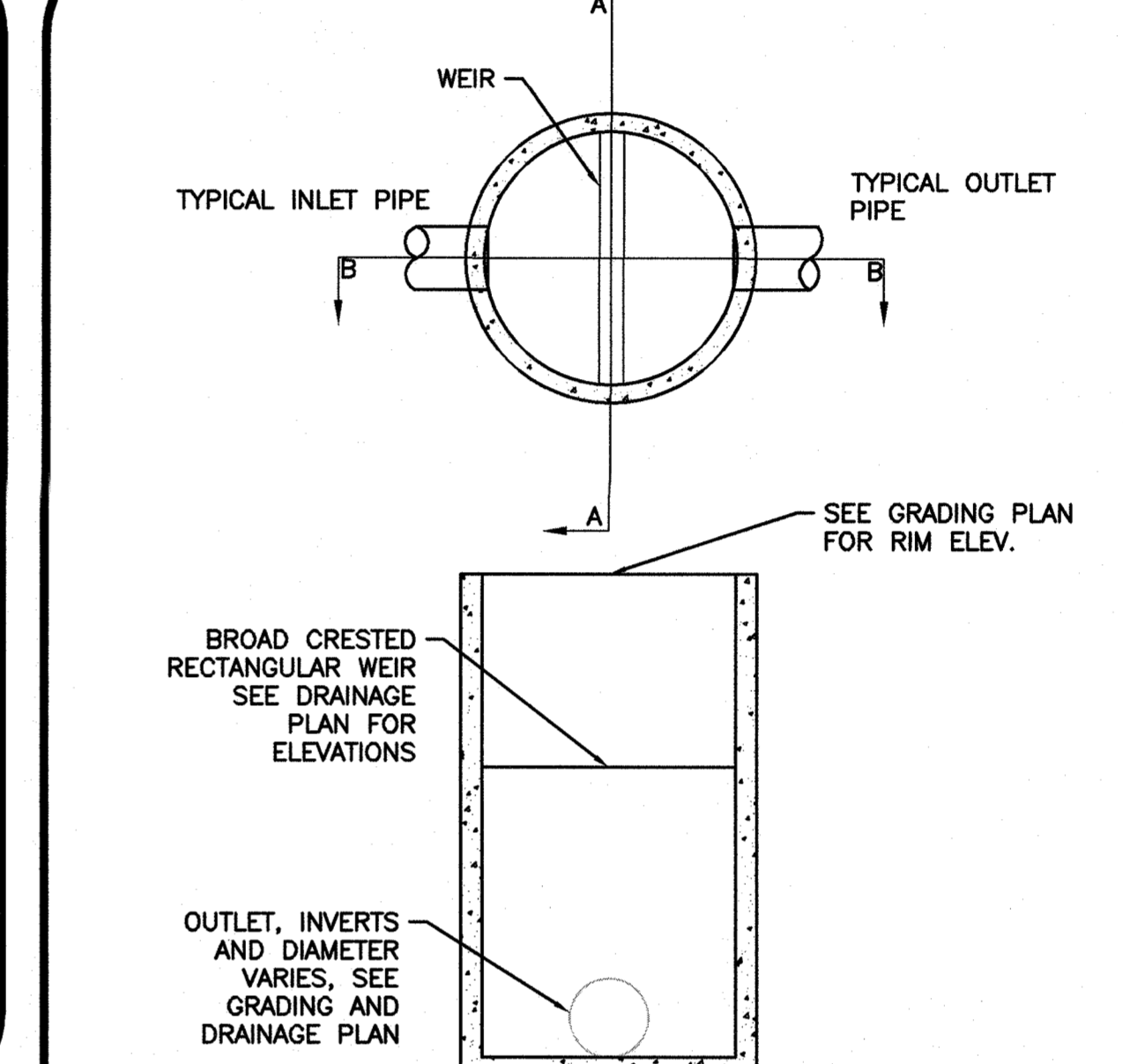
STOP SIGN DETAIL
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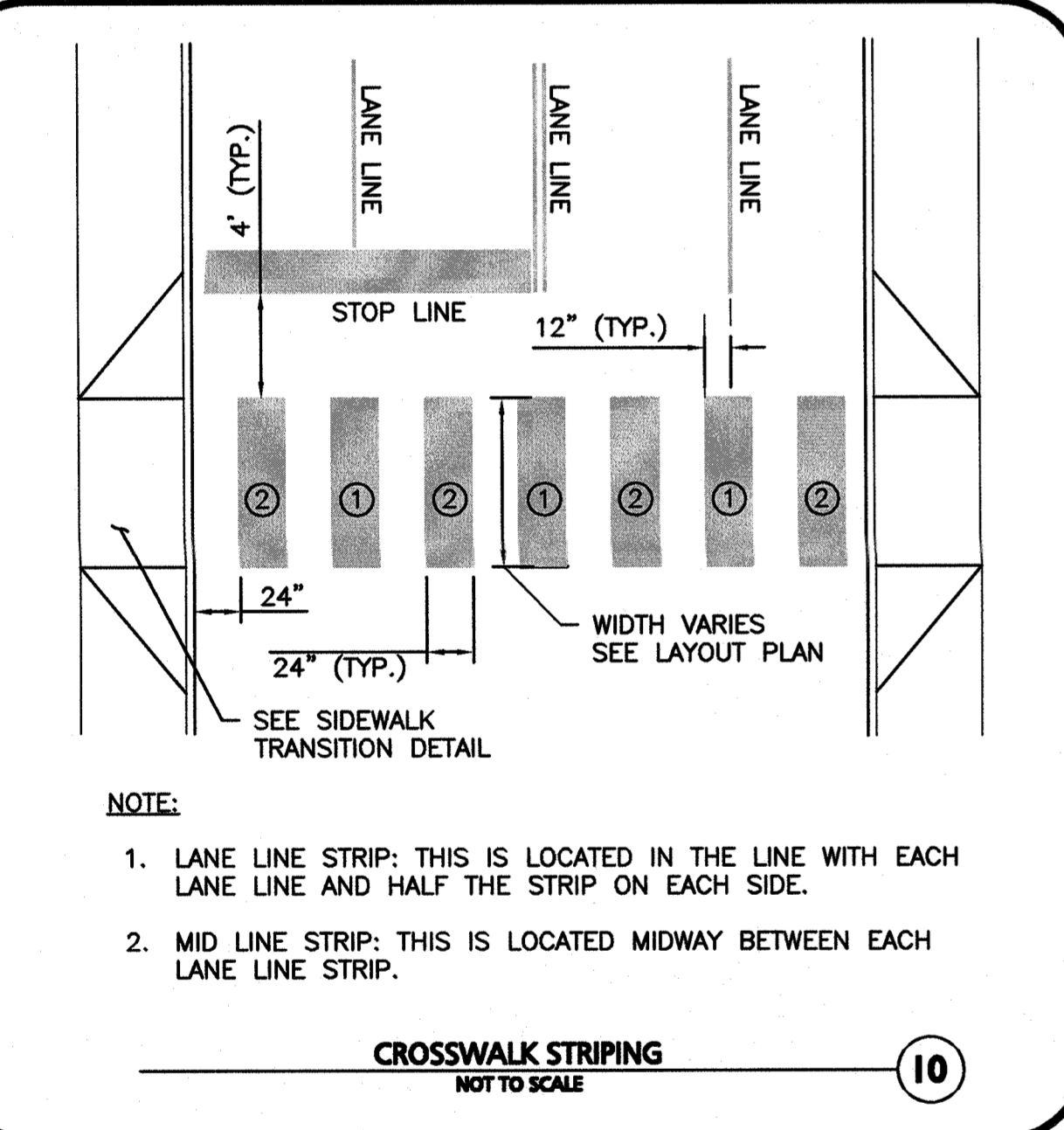
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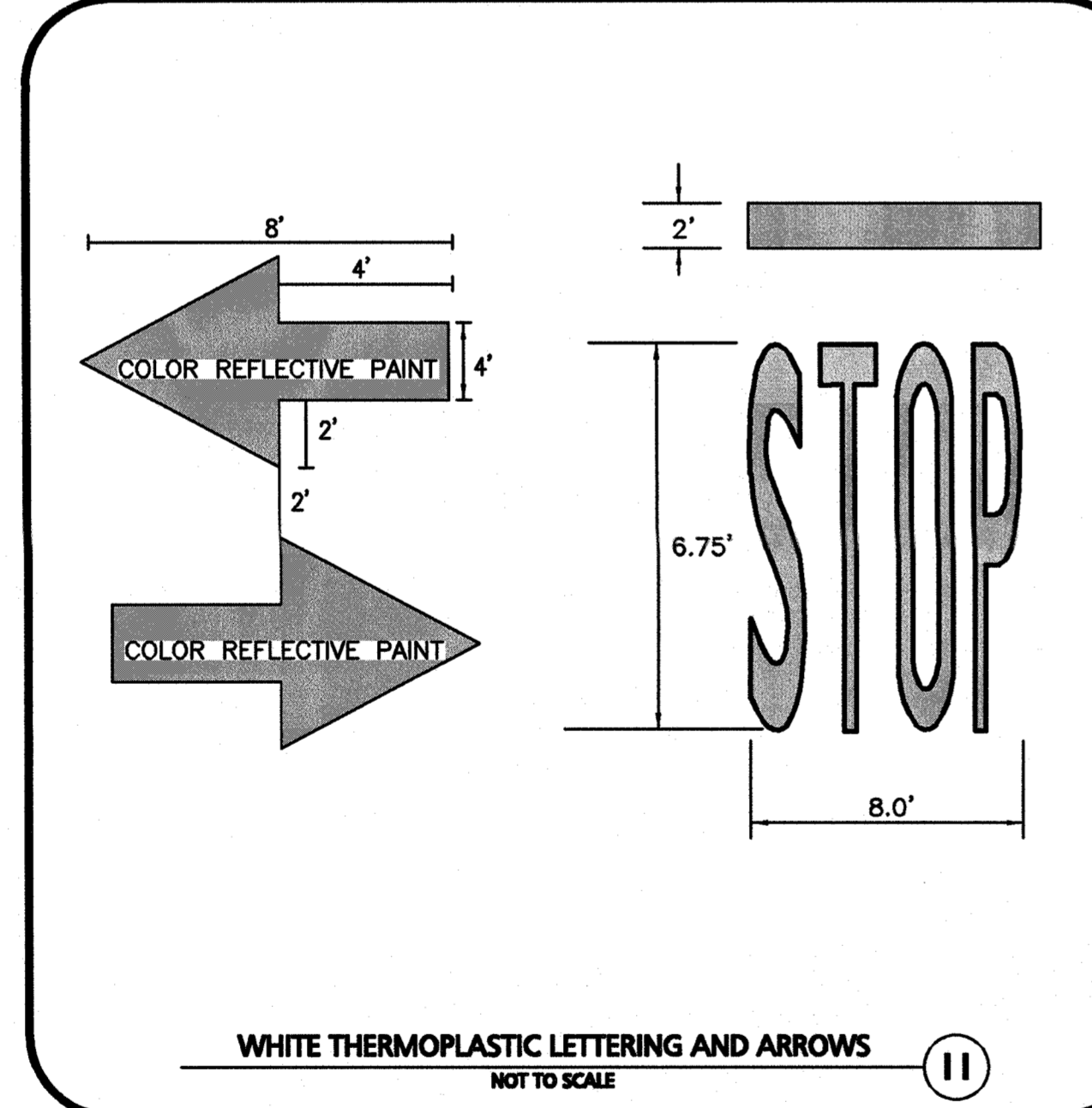
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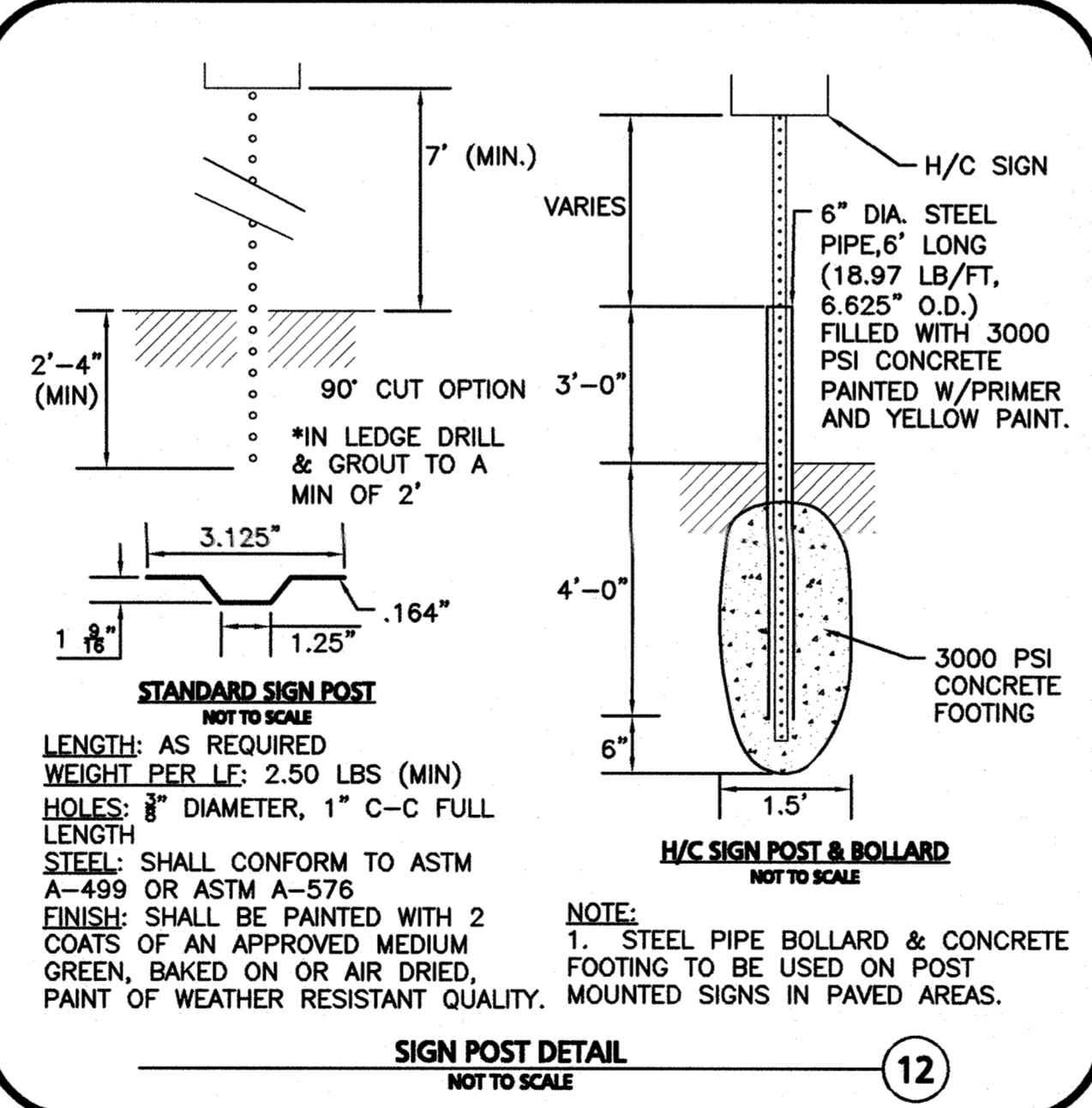
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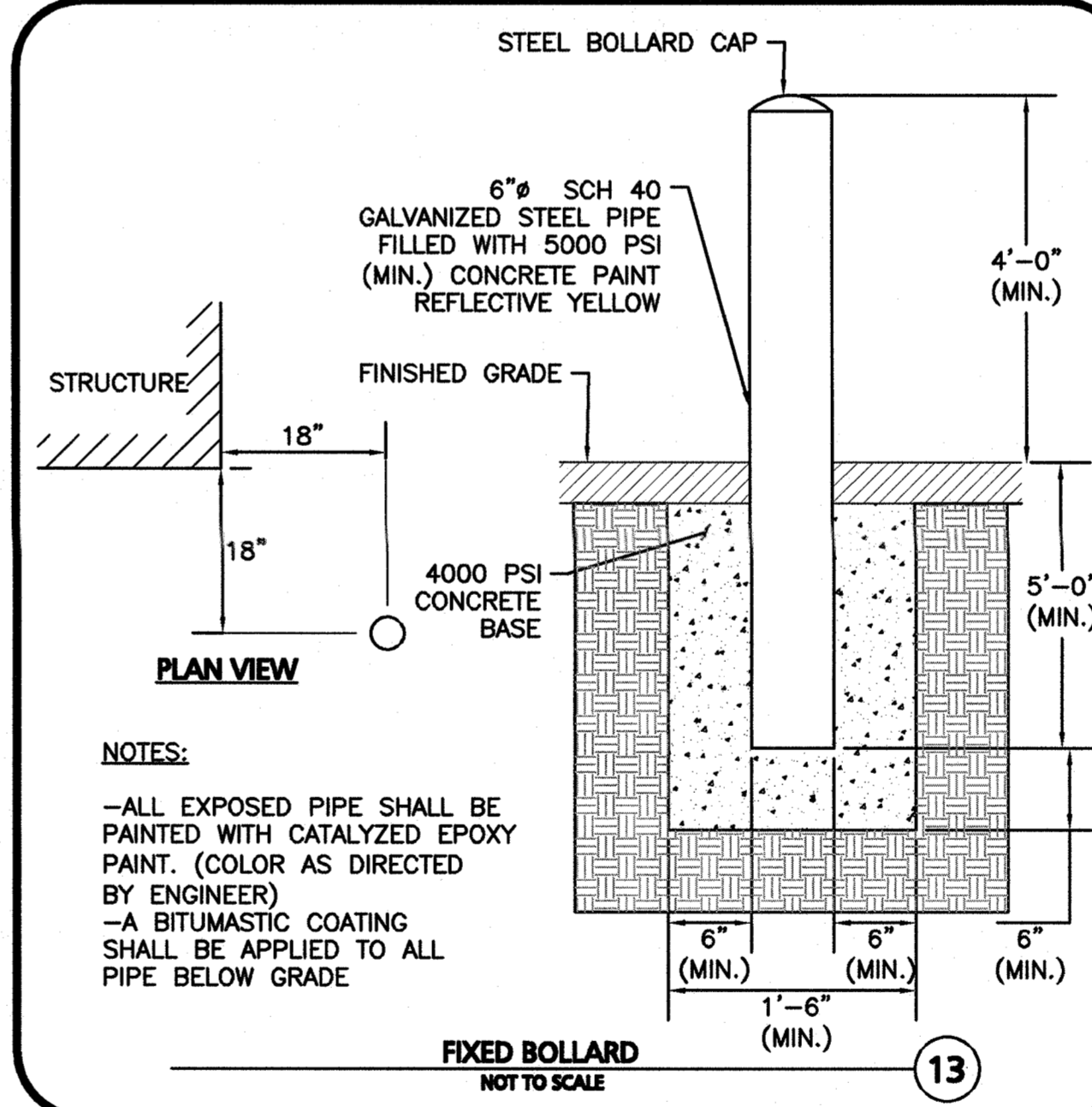
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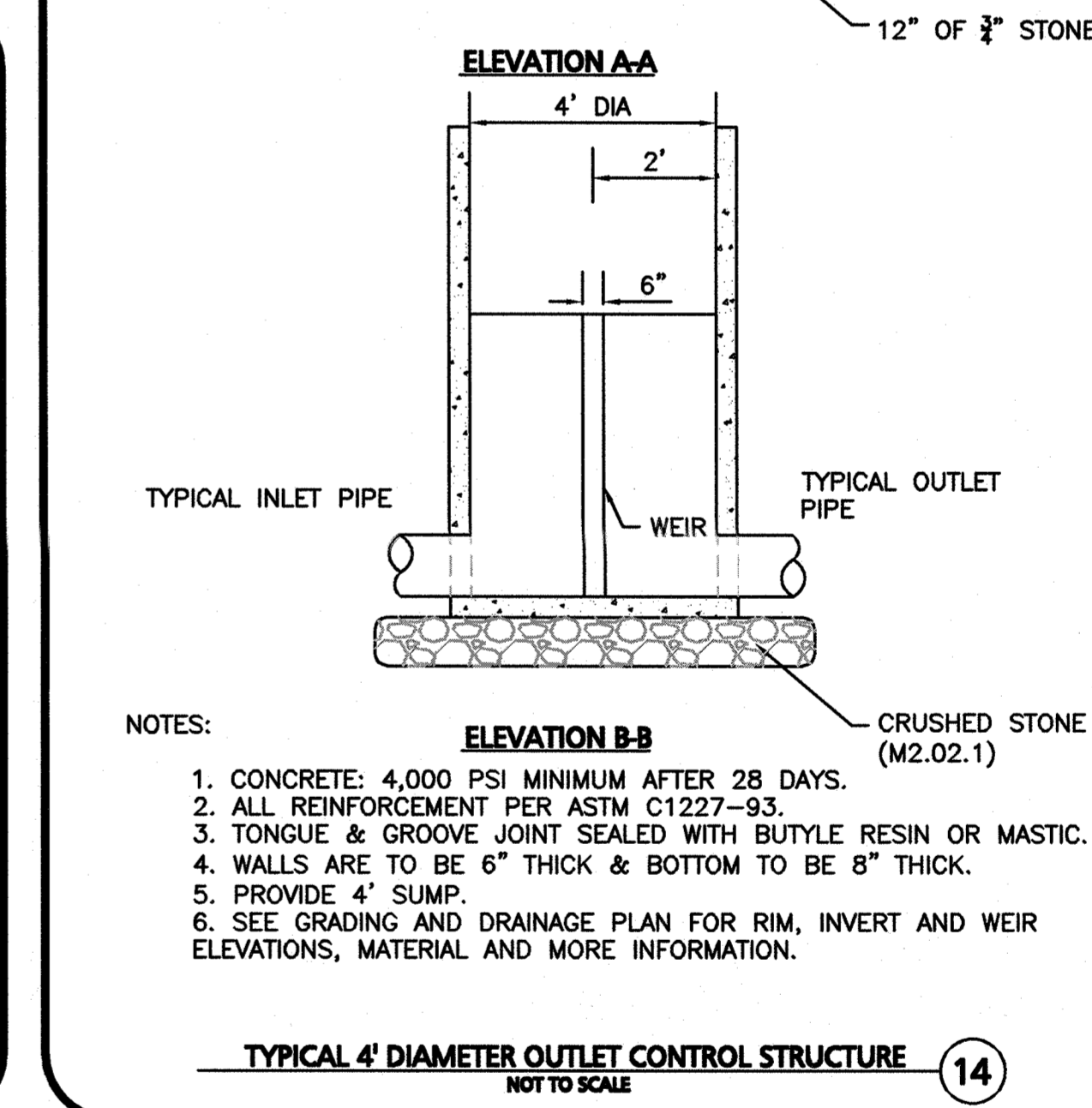
WHITE THERMOPLASTIC LETTERING AND ARROWS
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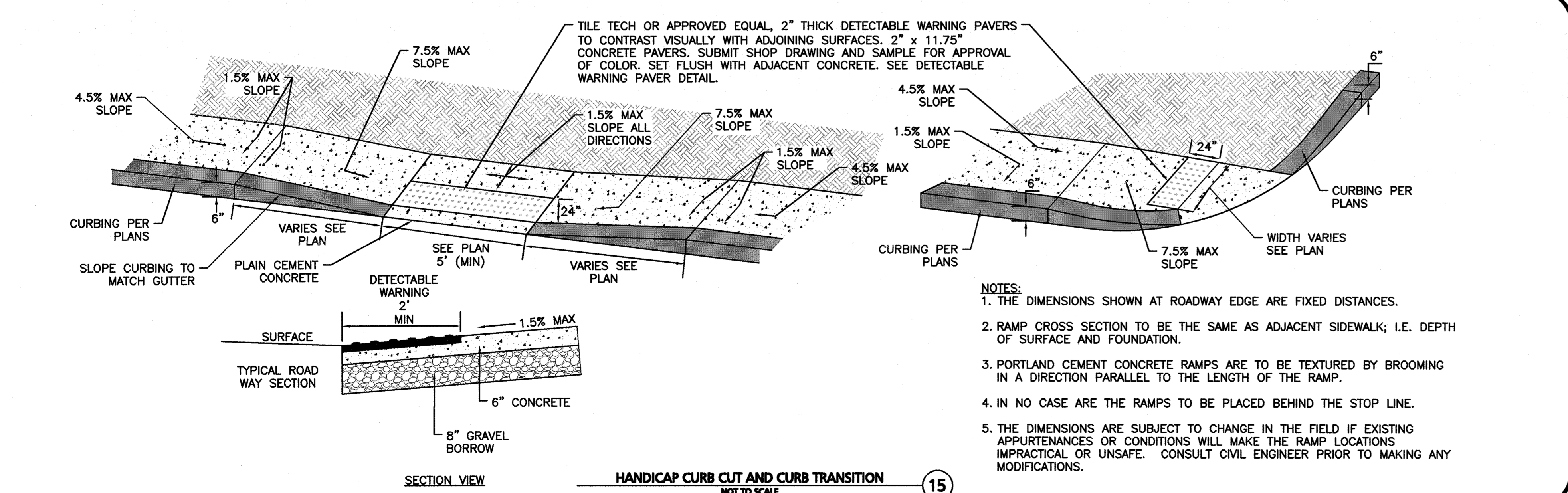
SIGN POST DETAIL
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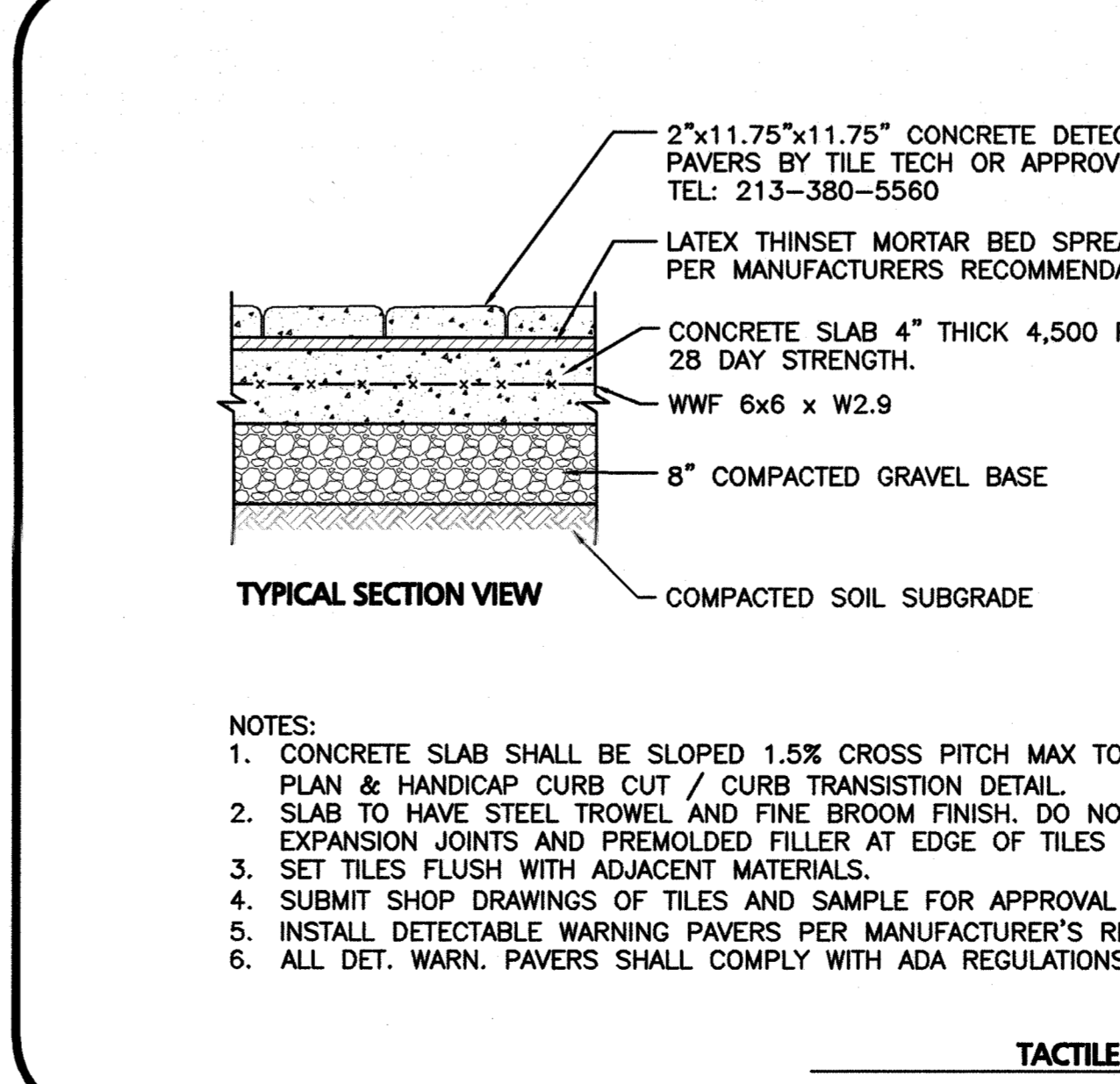
FIXED BOLLARD
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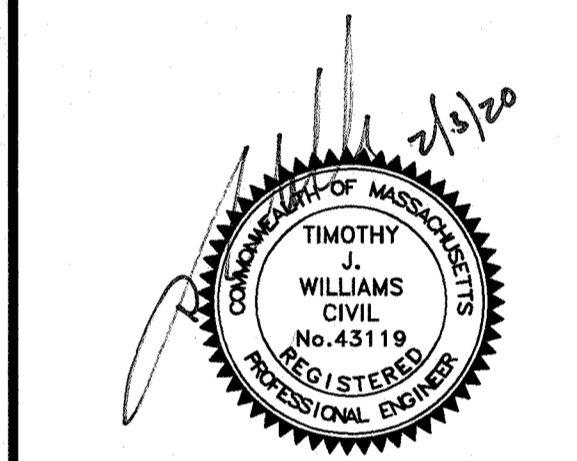
TYPICAL 4\"/>



HANDICAP CURB CUT AND CURB TRANSITION
NOT TO SCALE



TACTILE WARNING PAVERS
NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO.	2658-01	DATE:	12-20-2019
SCALE:	AS SHOWN	DWG. NAME:	C2658-01
DESIGNED BY:	SIL/DMR	CHECKED BY:	CMQ

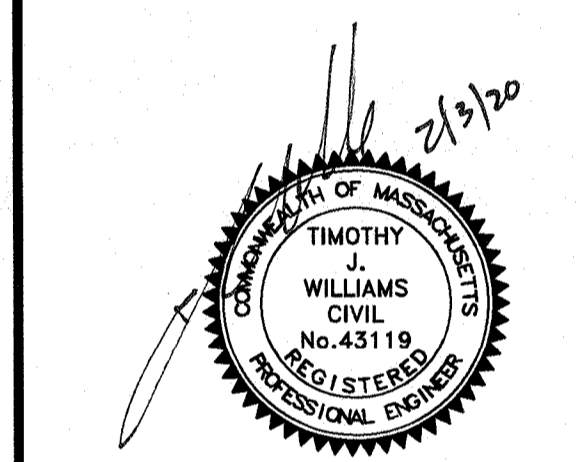
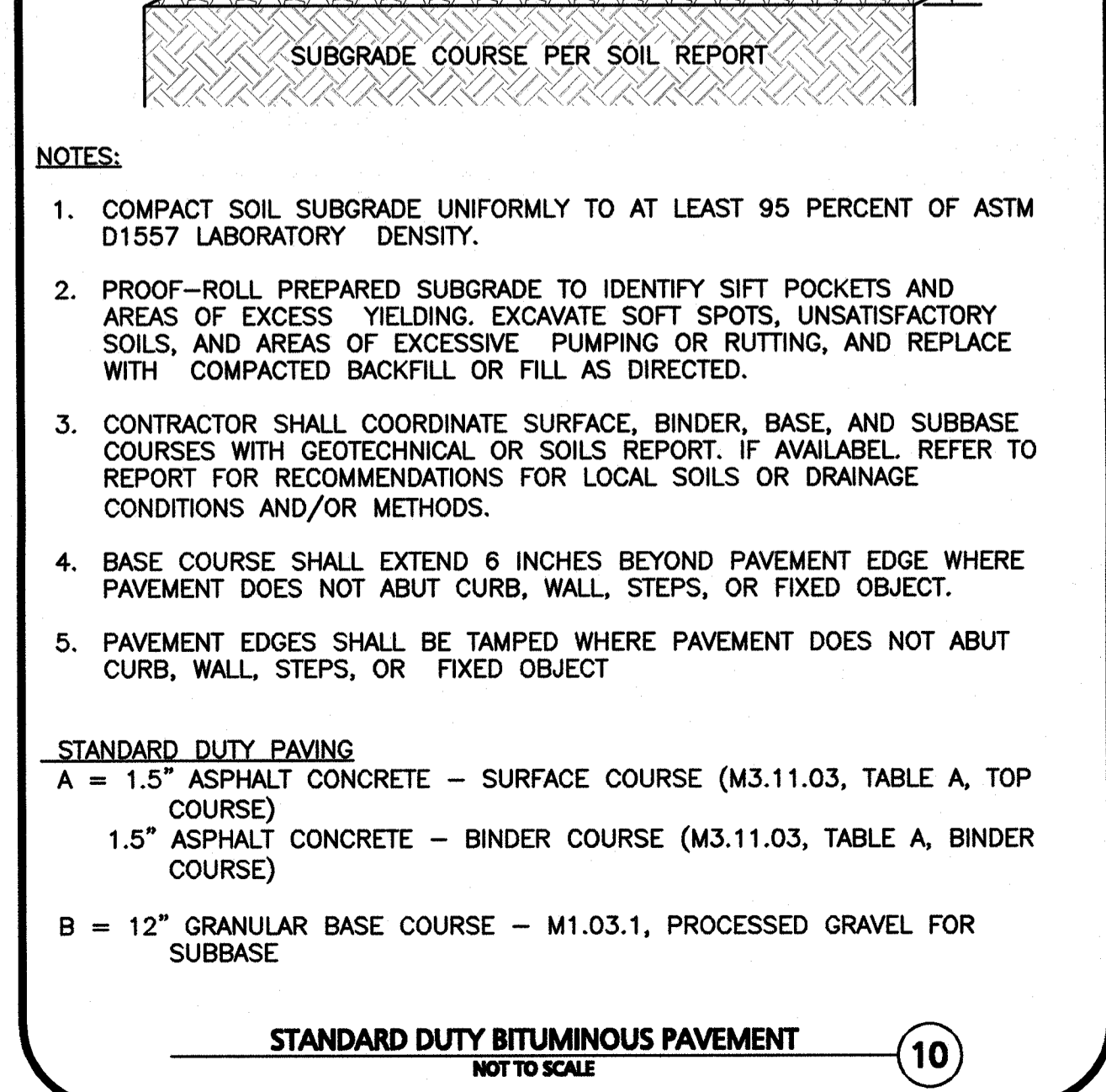
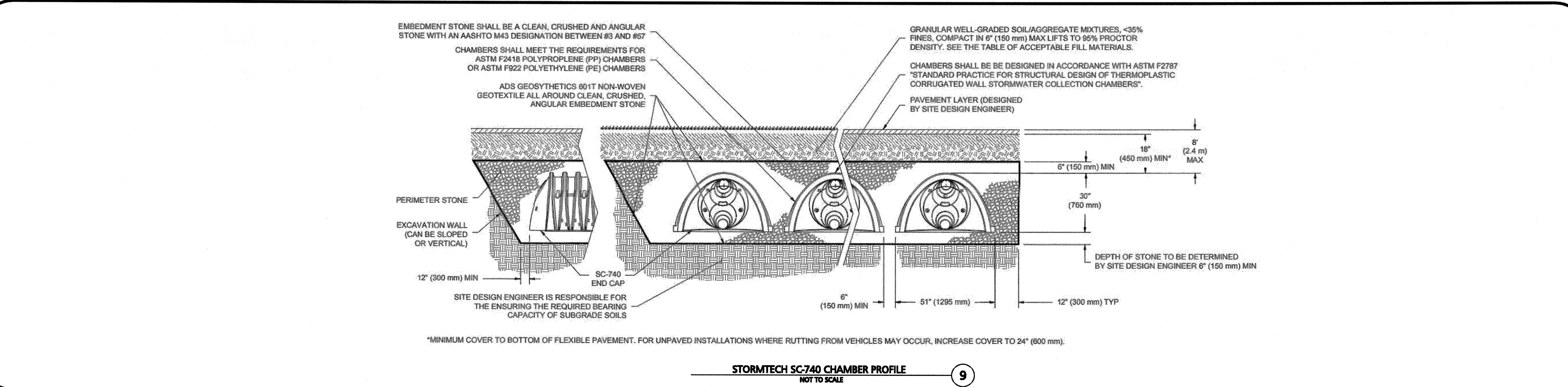
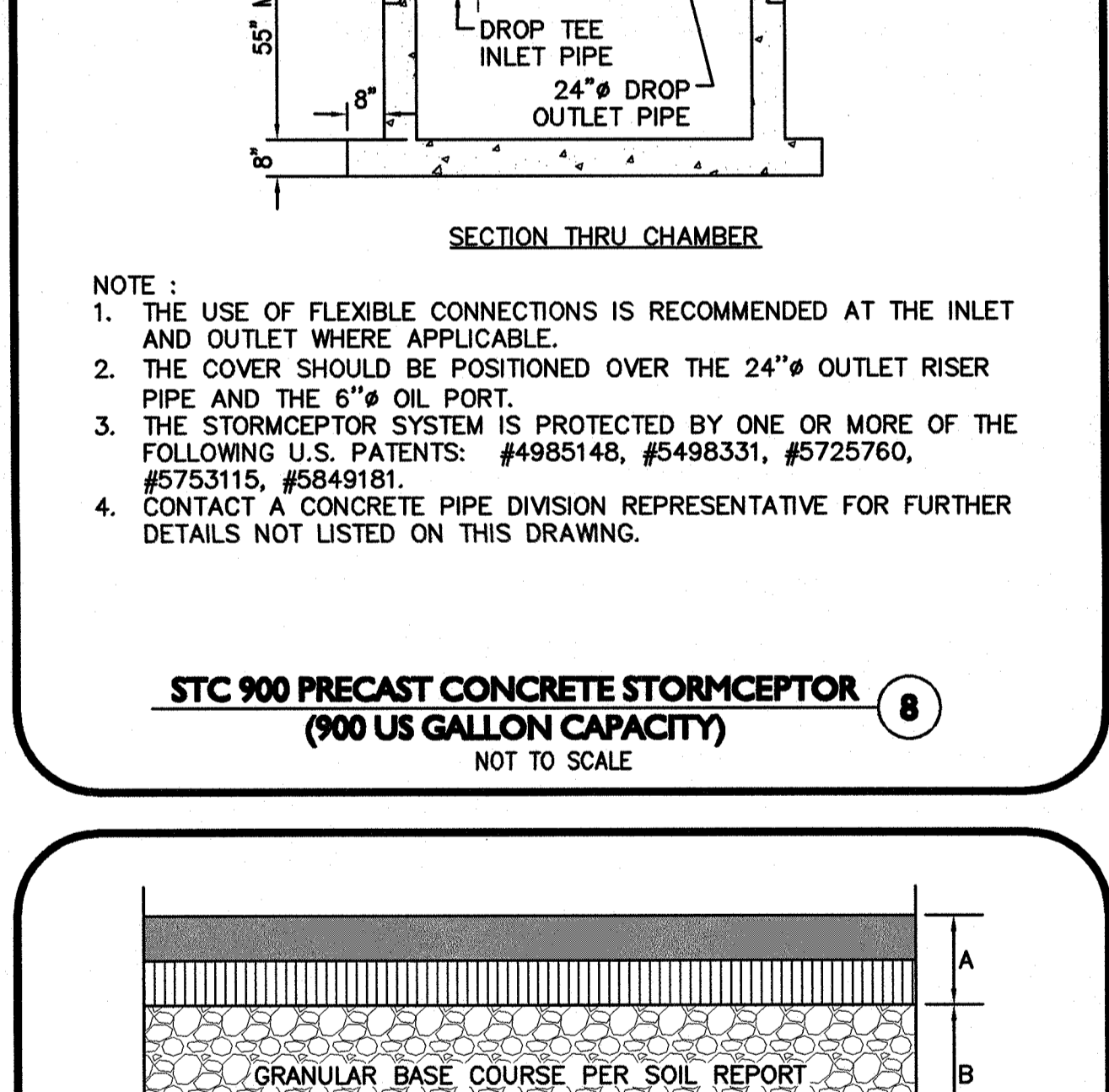
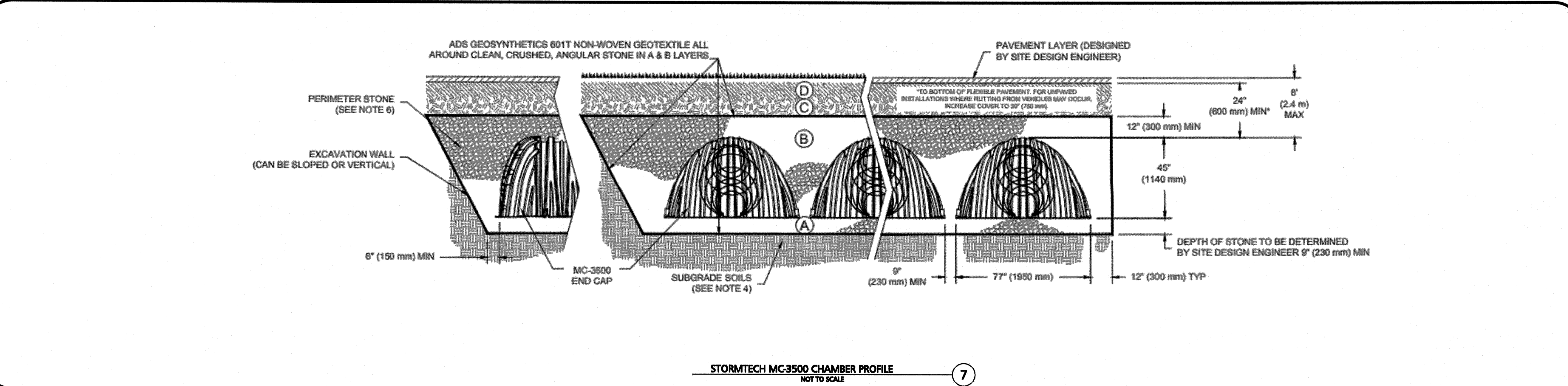
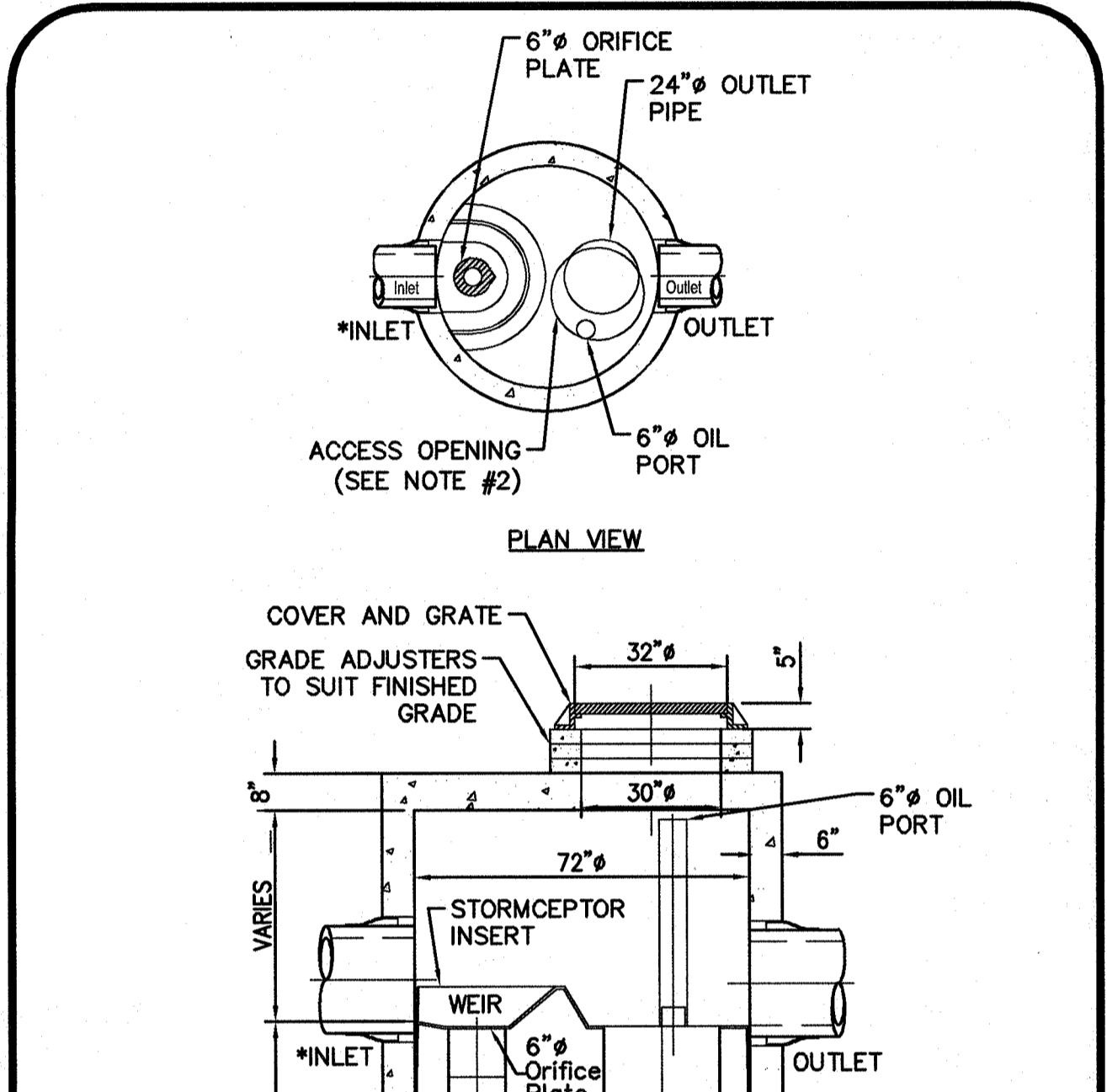
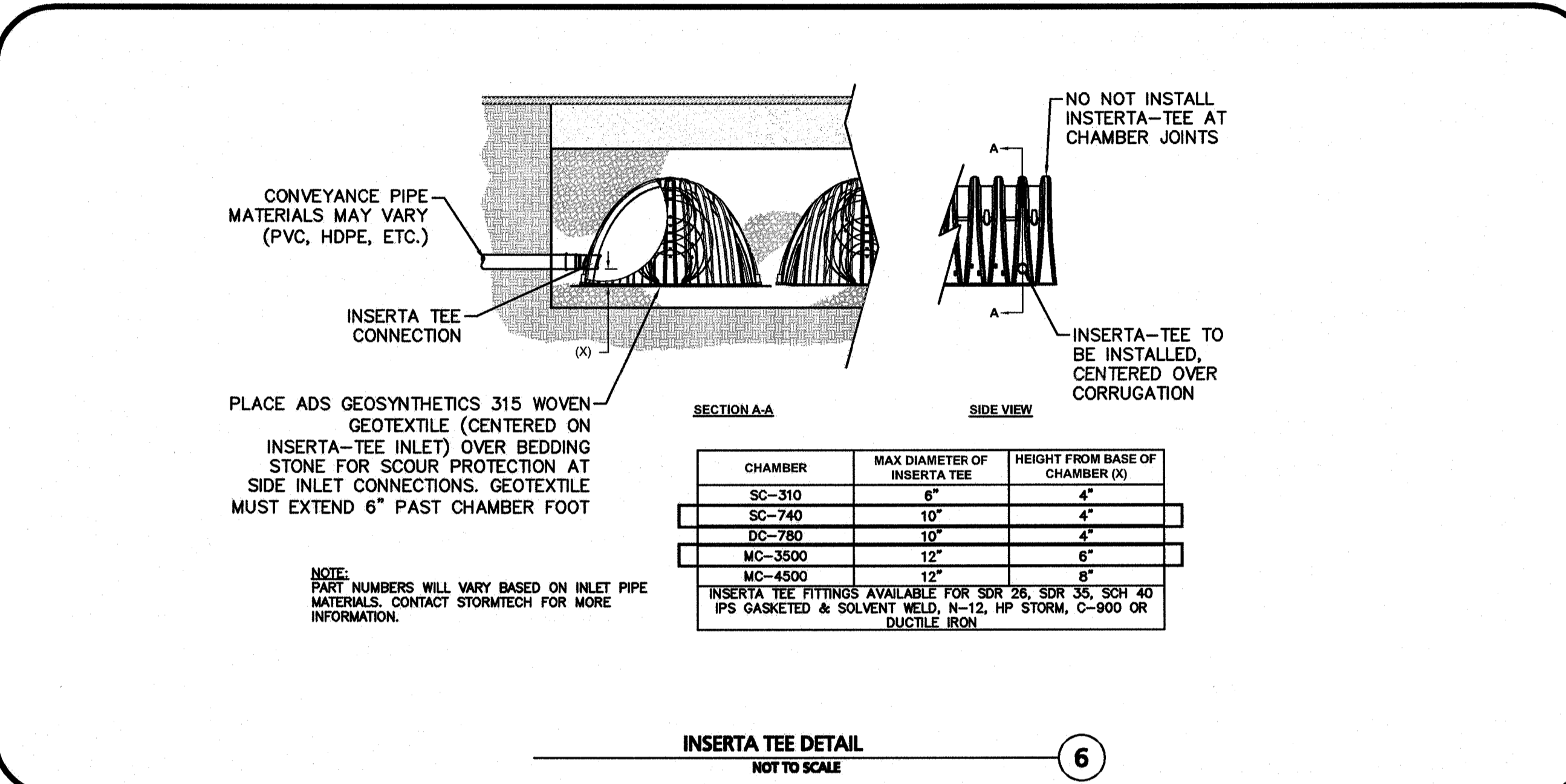
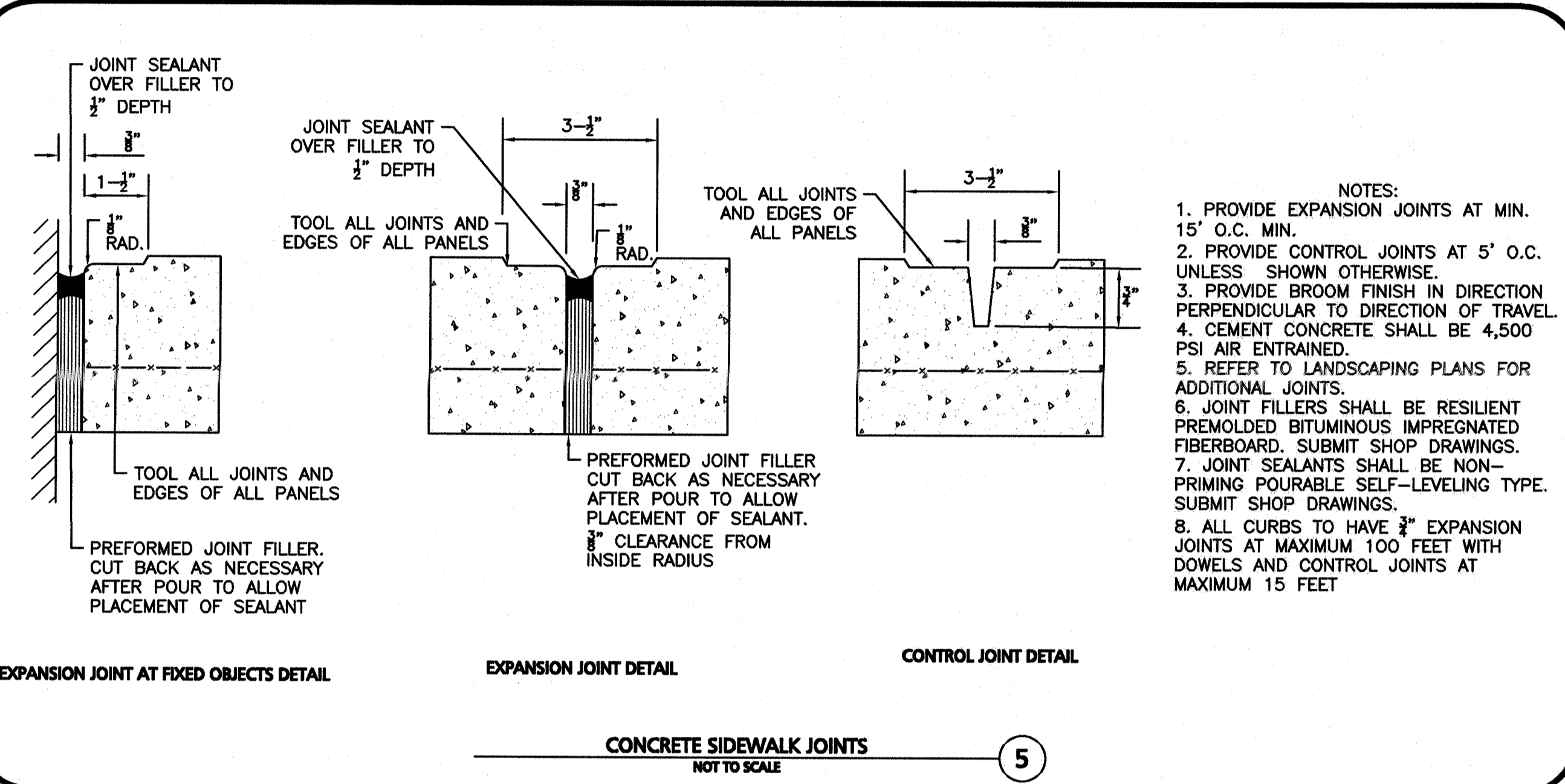
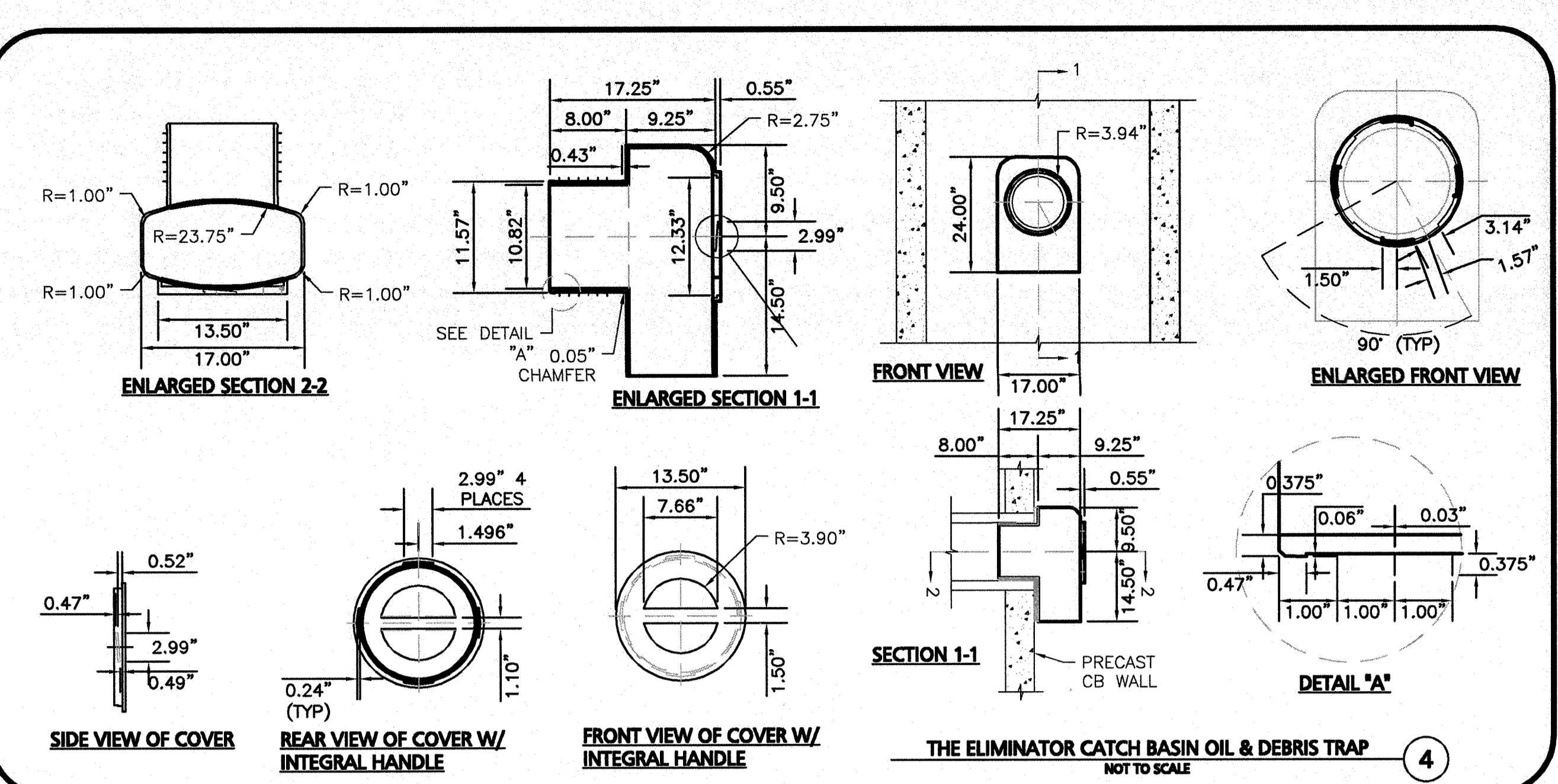
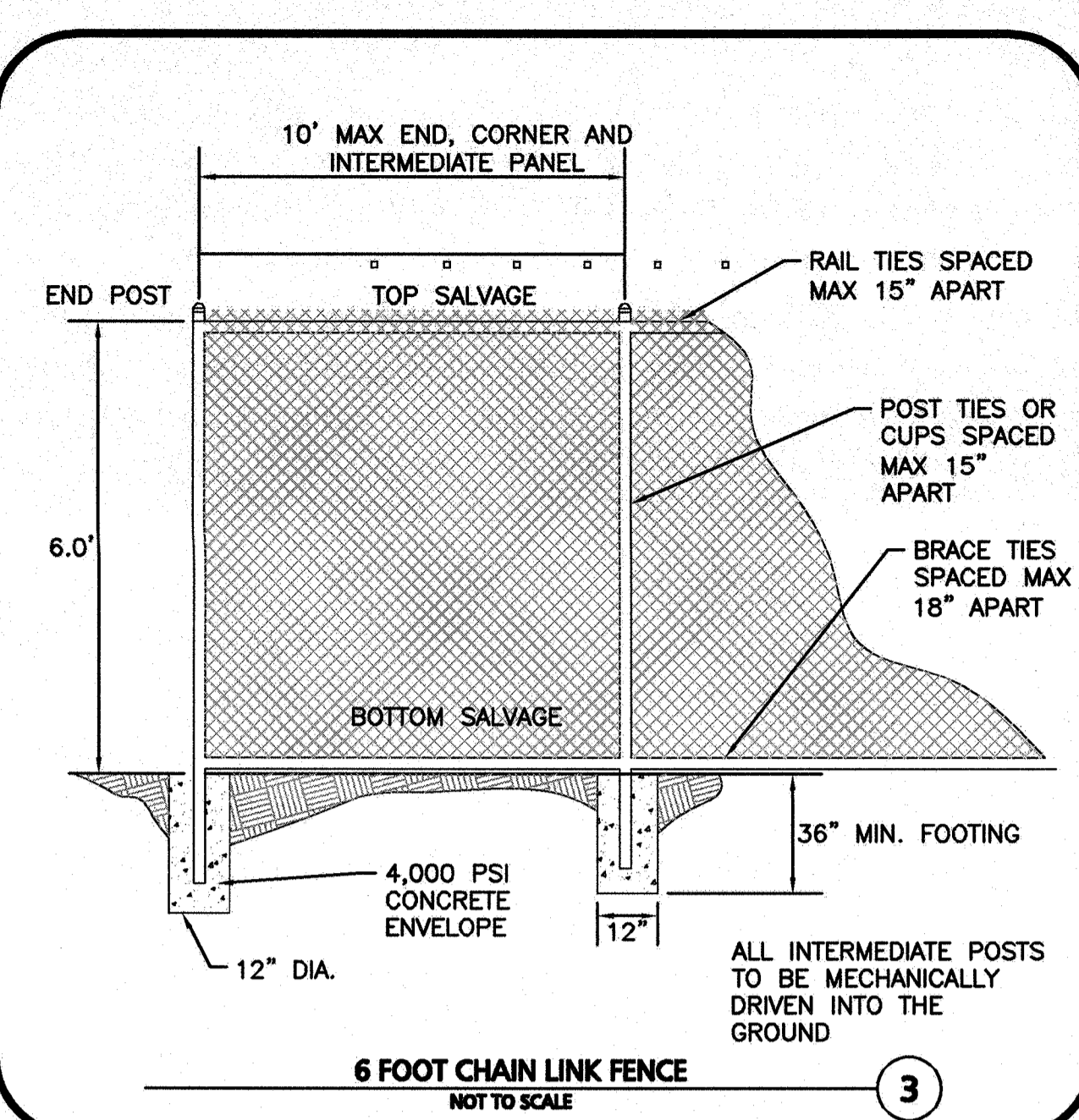
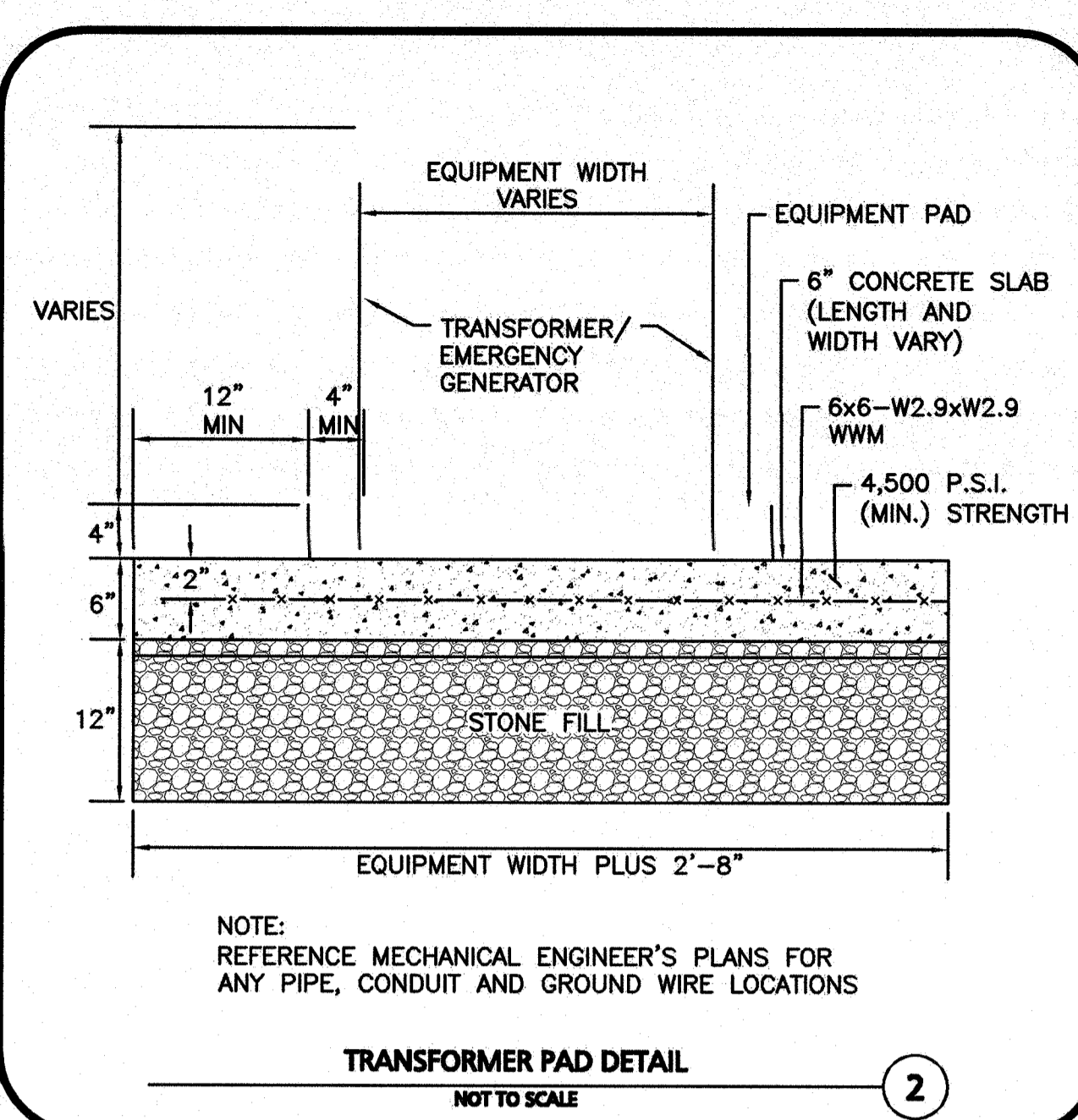
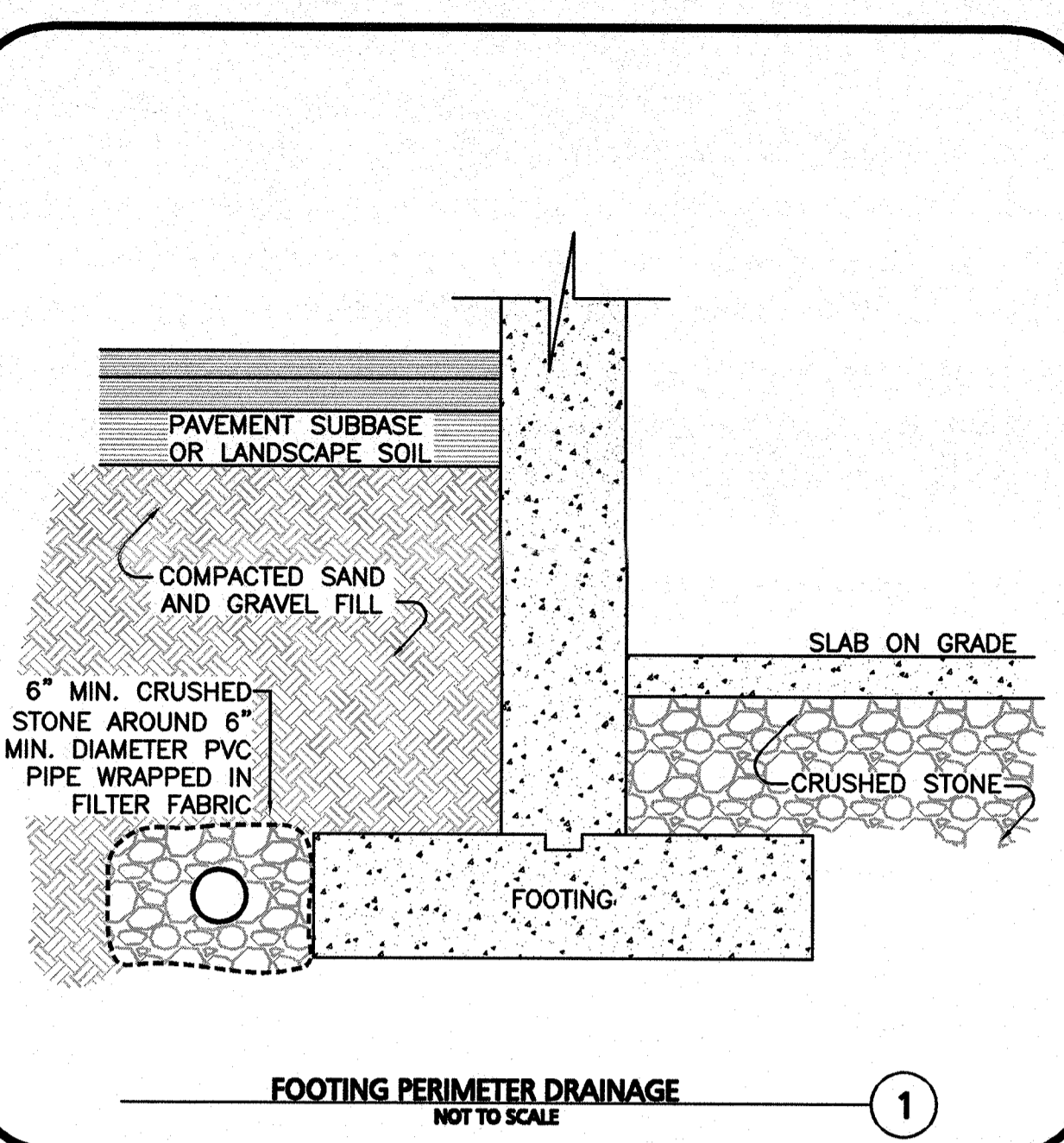
PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCIAL WAY, SUITE 5
WOBBURN, MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: CIVIL DETAILS
SHEET NO.: C-502



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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1	12-20-19	ISSUED FOR LOCAL APPROVAL

APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

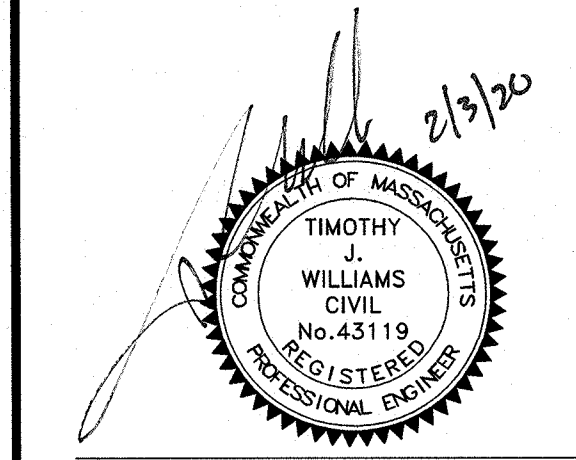
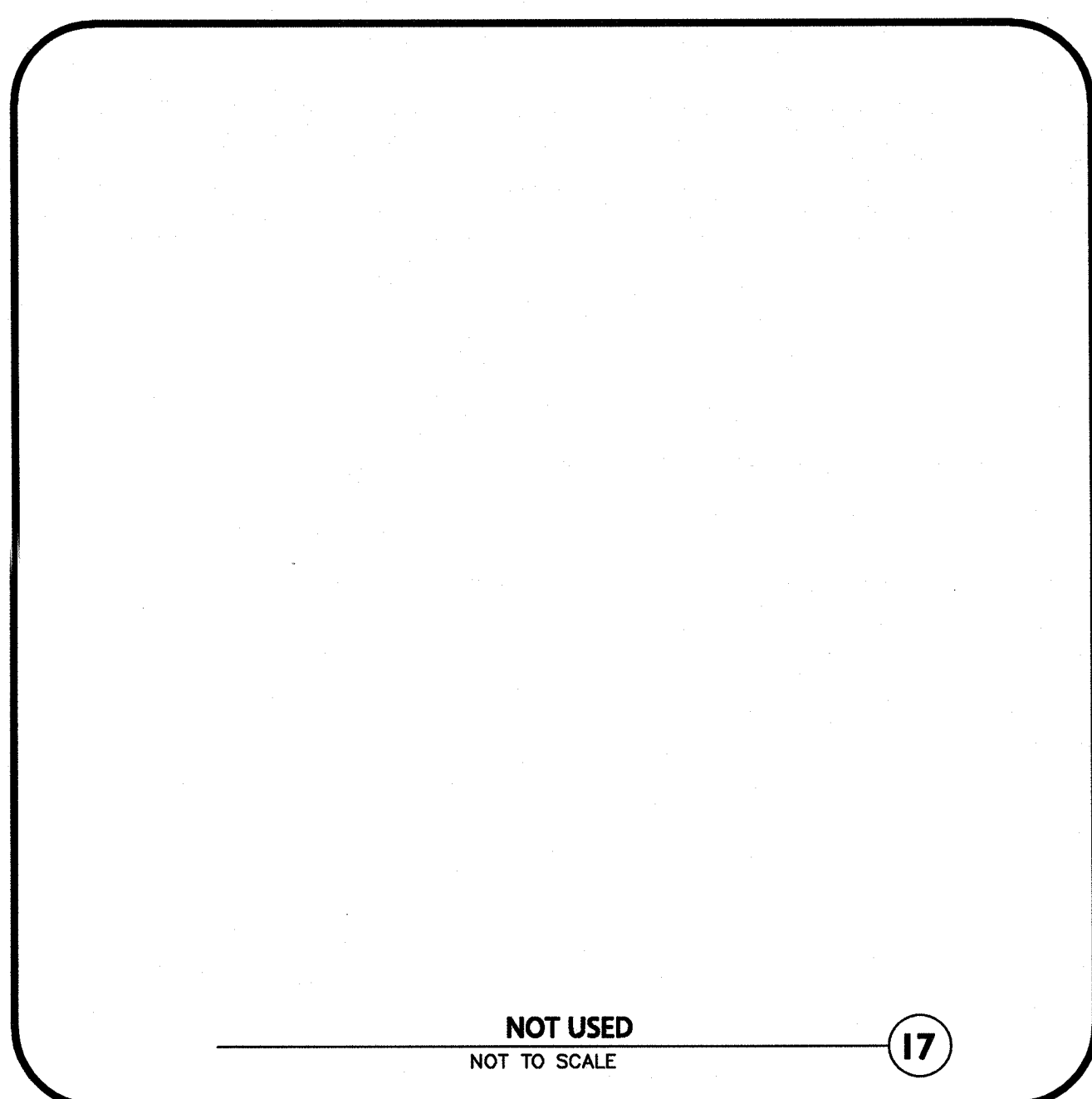
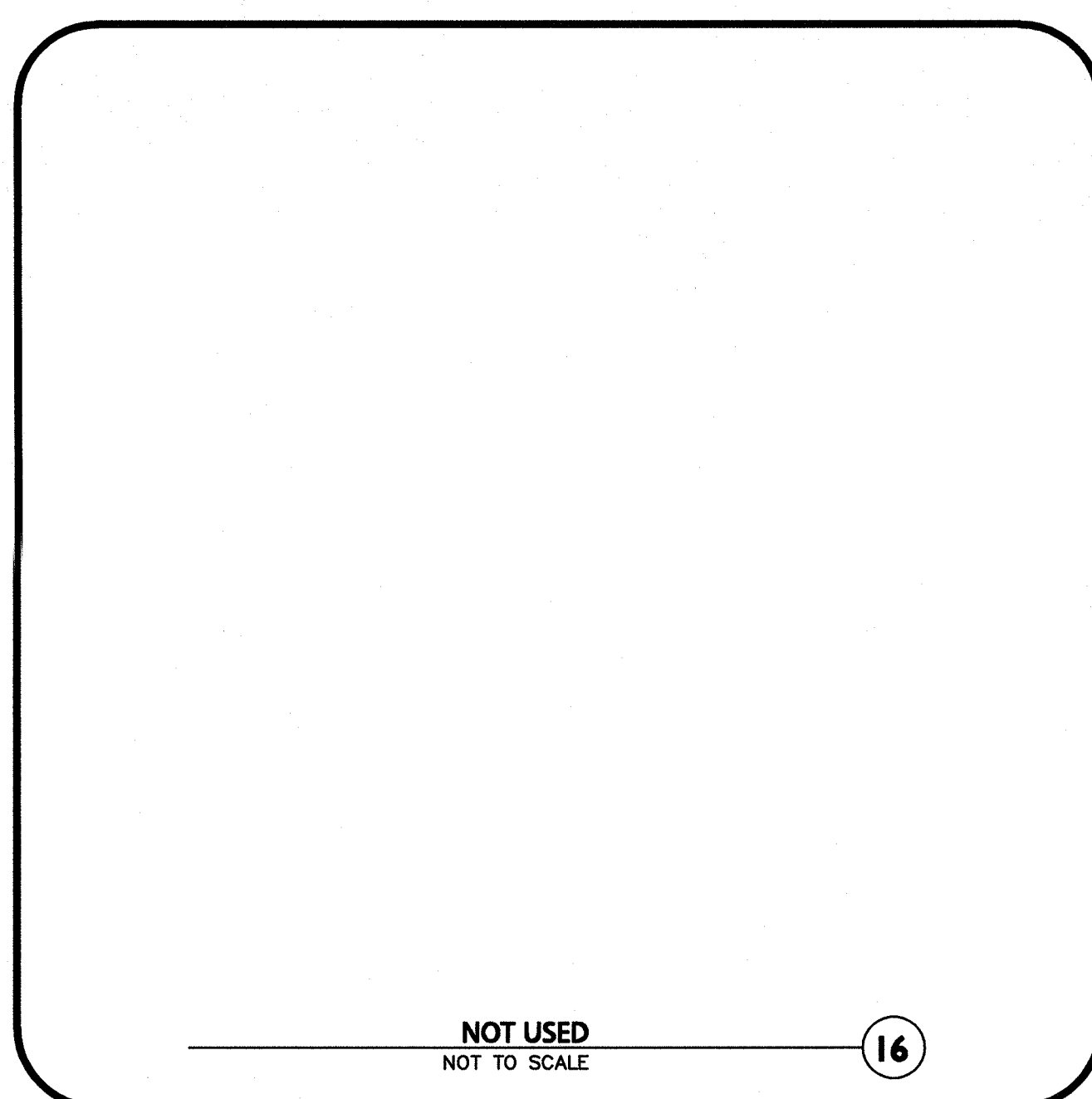
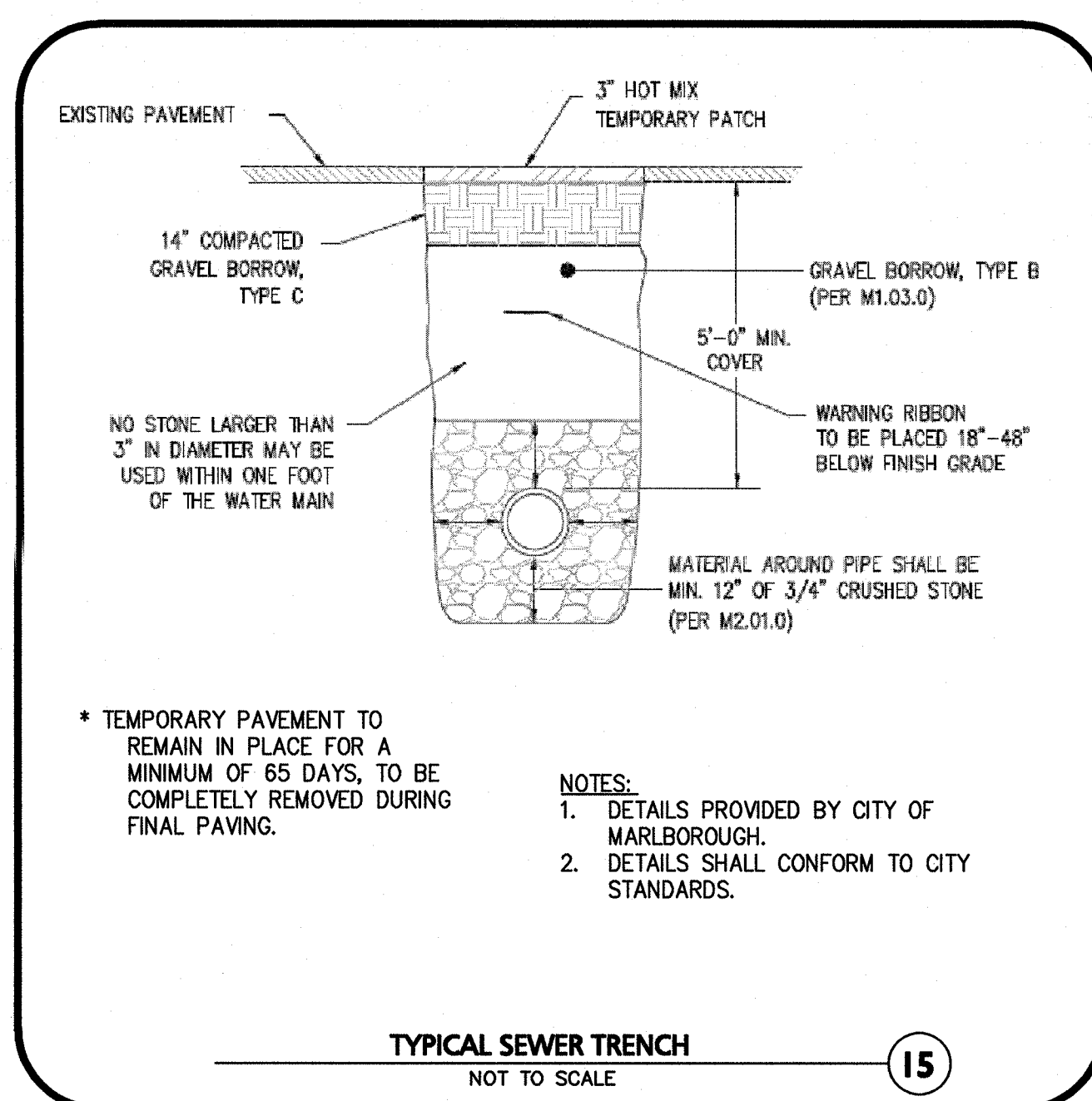
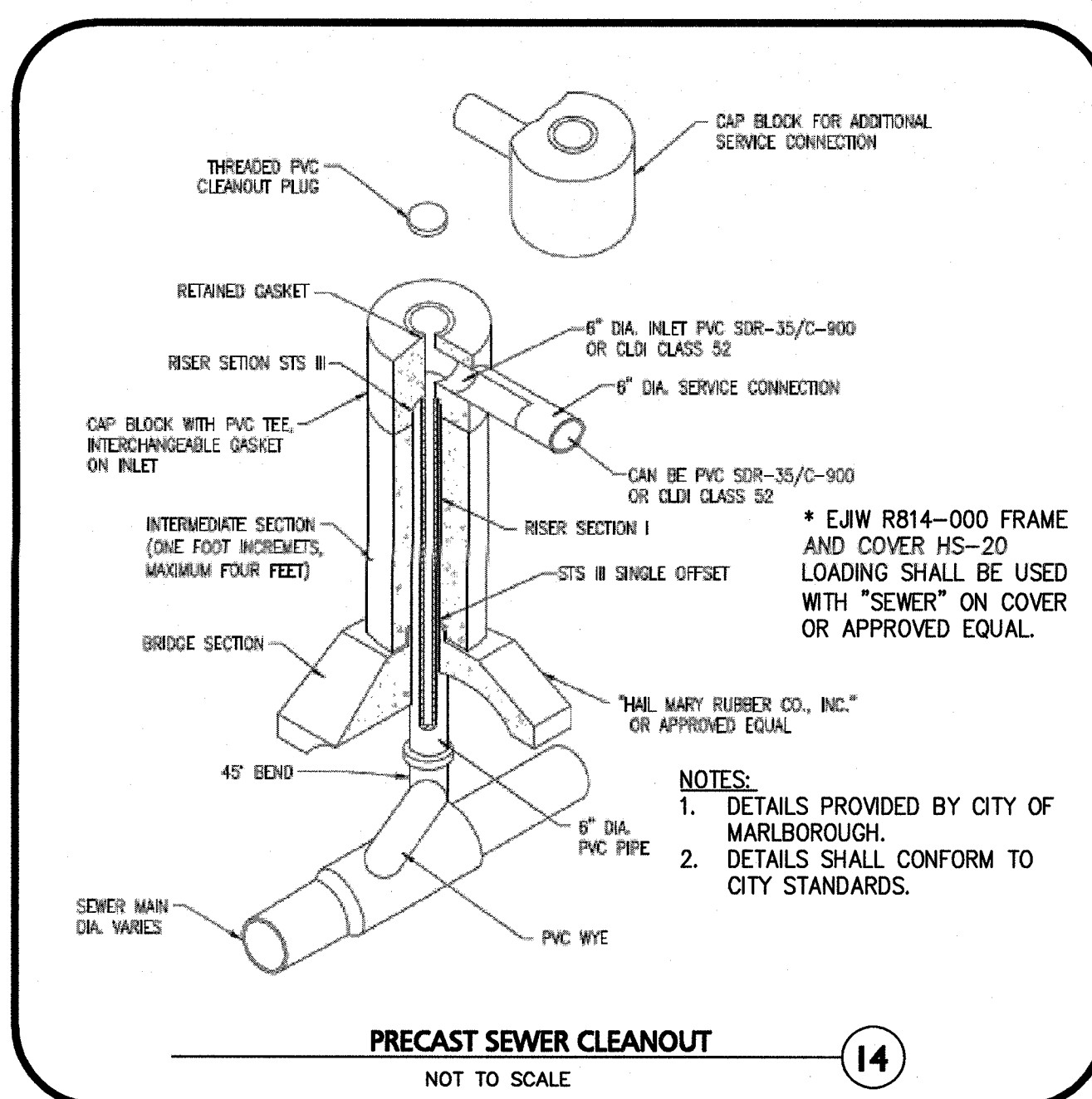
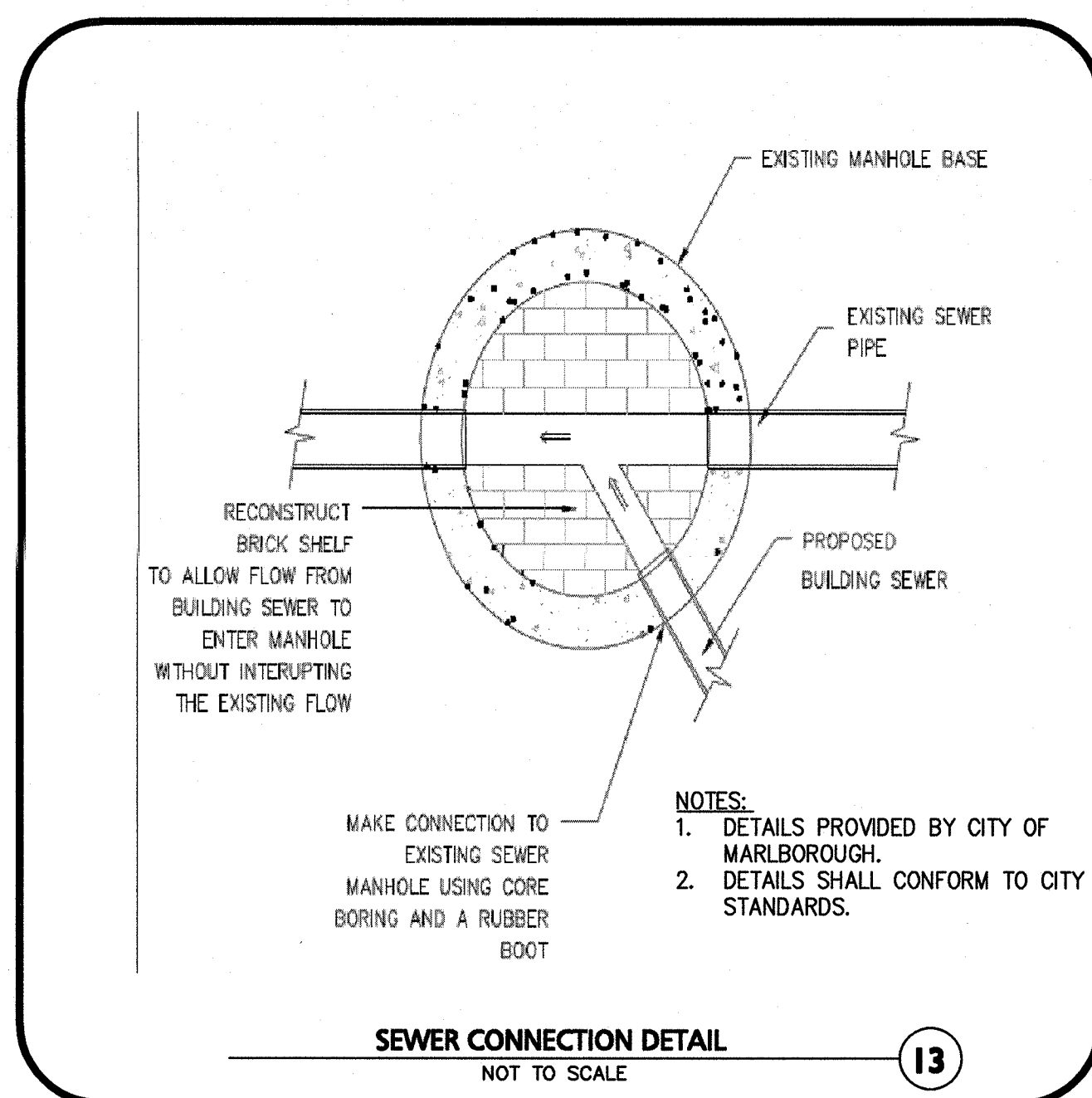
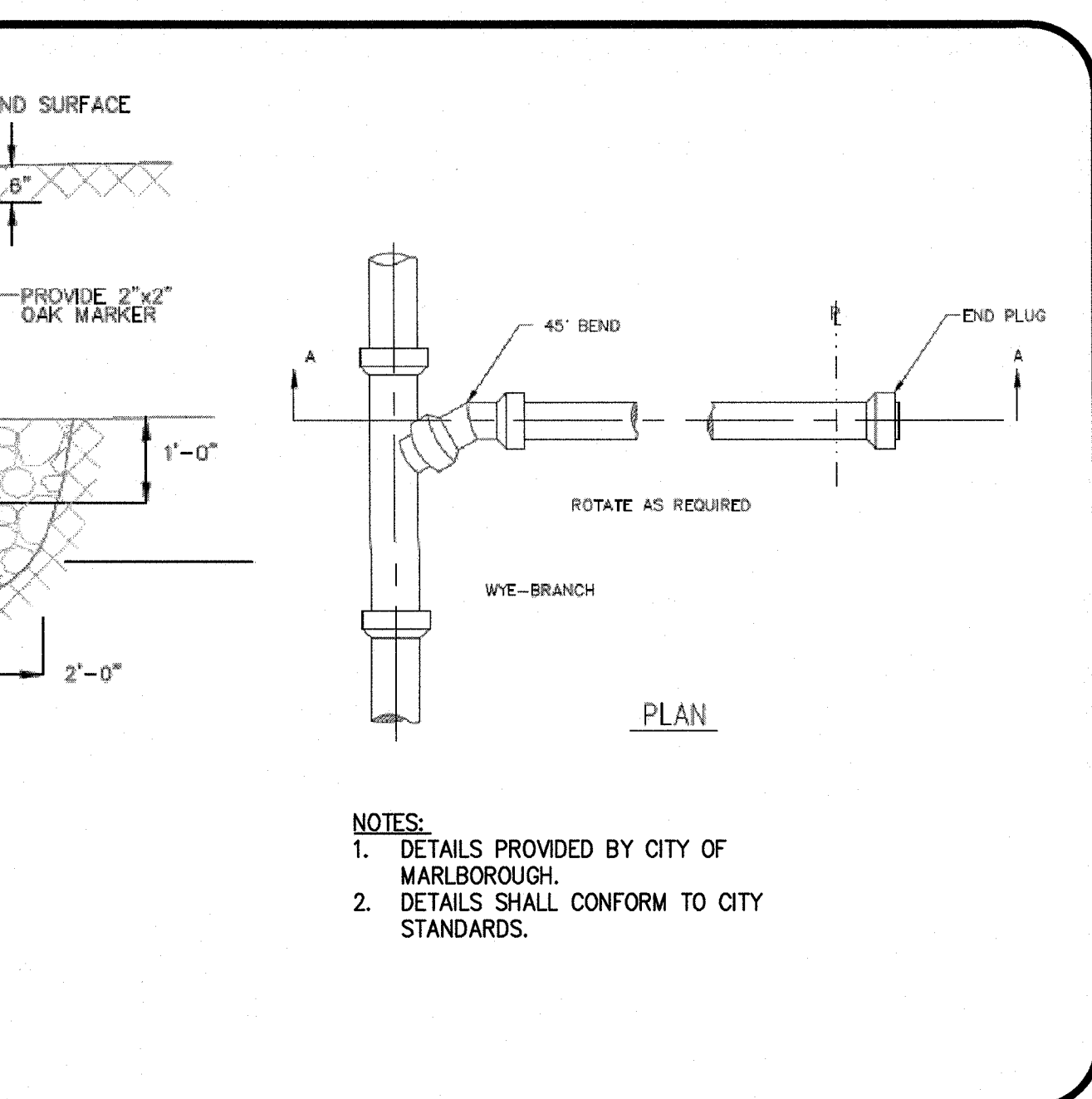
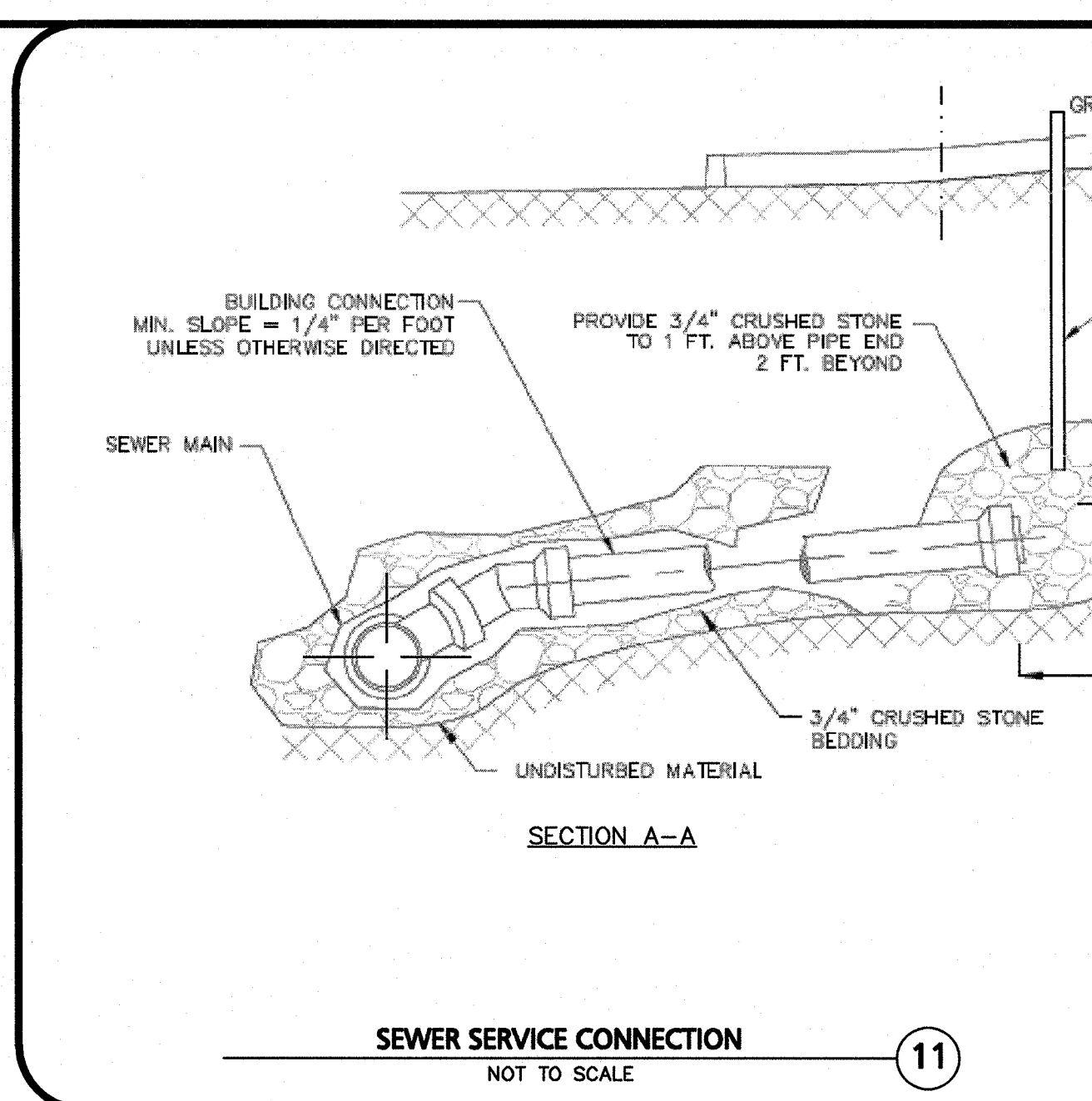
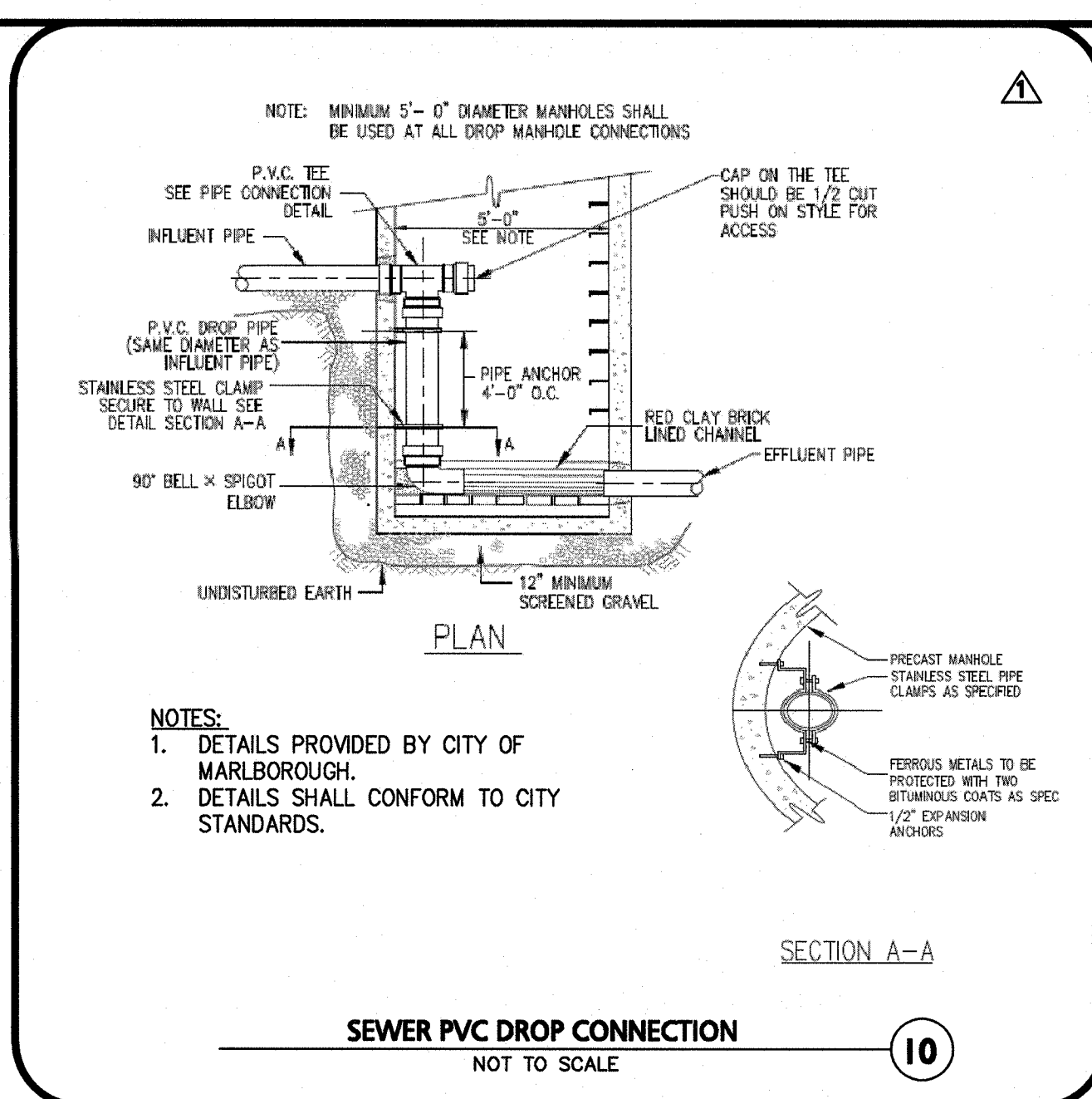
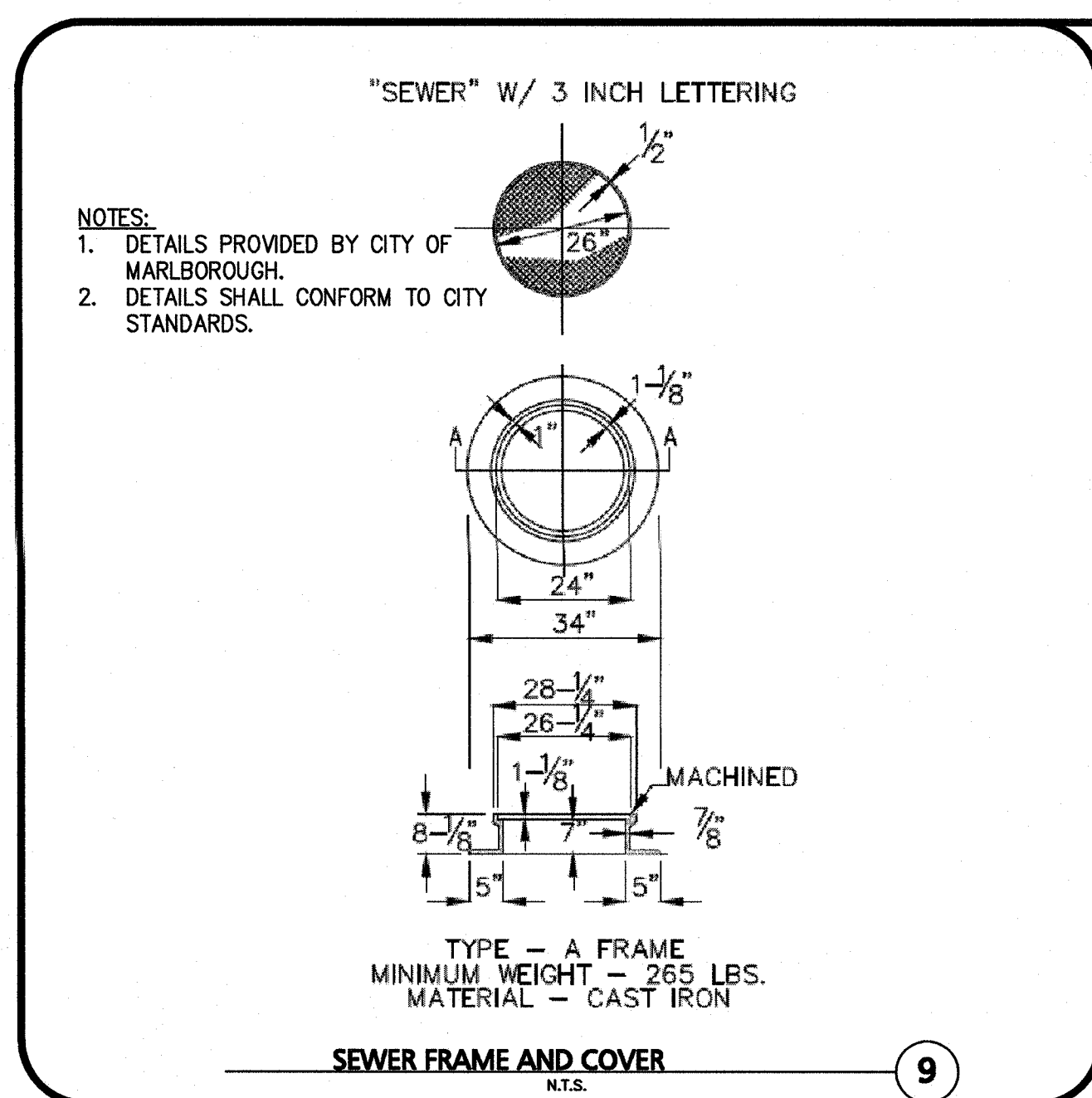
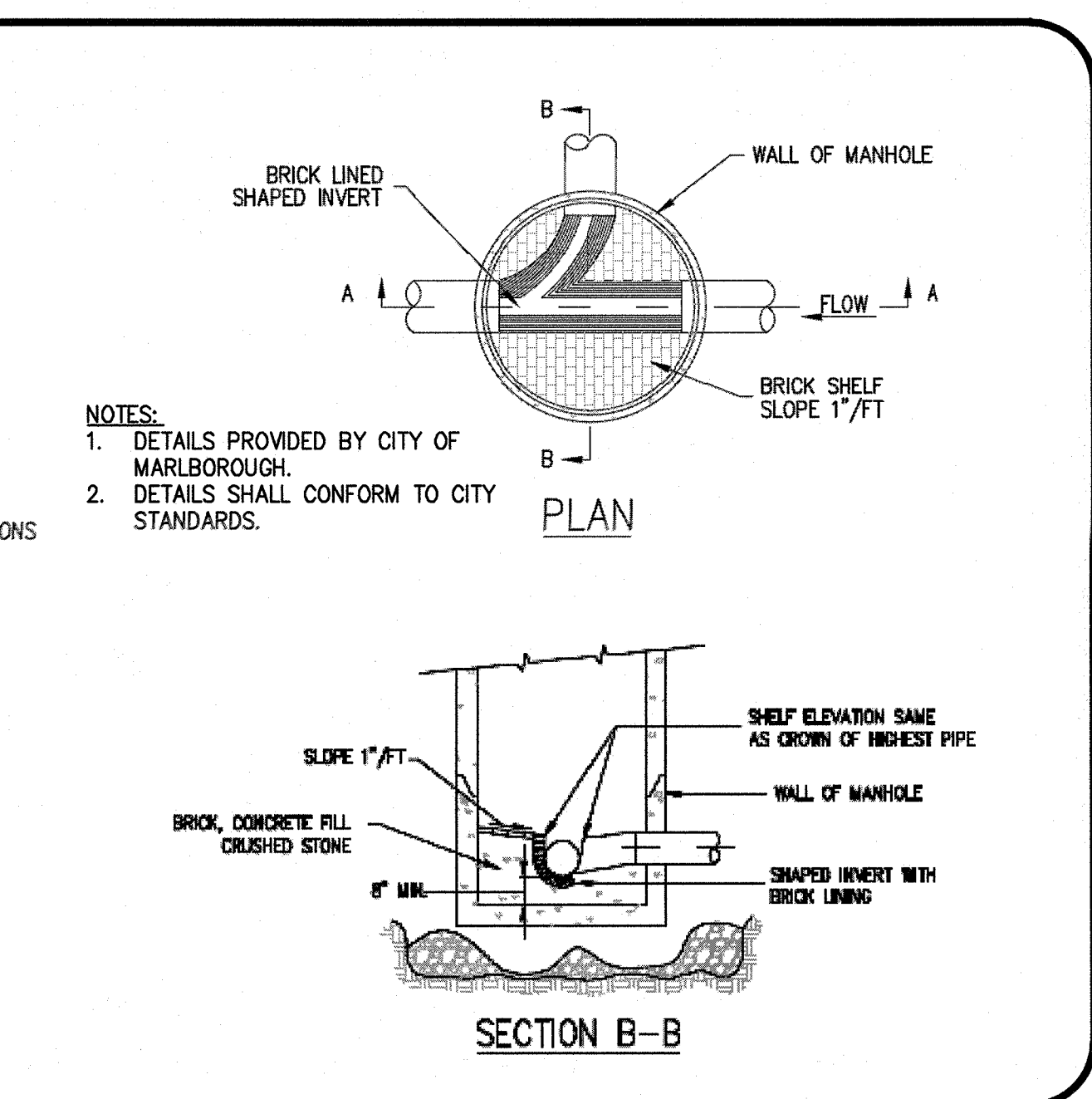
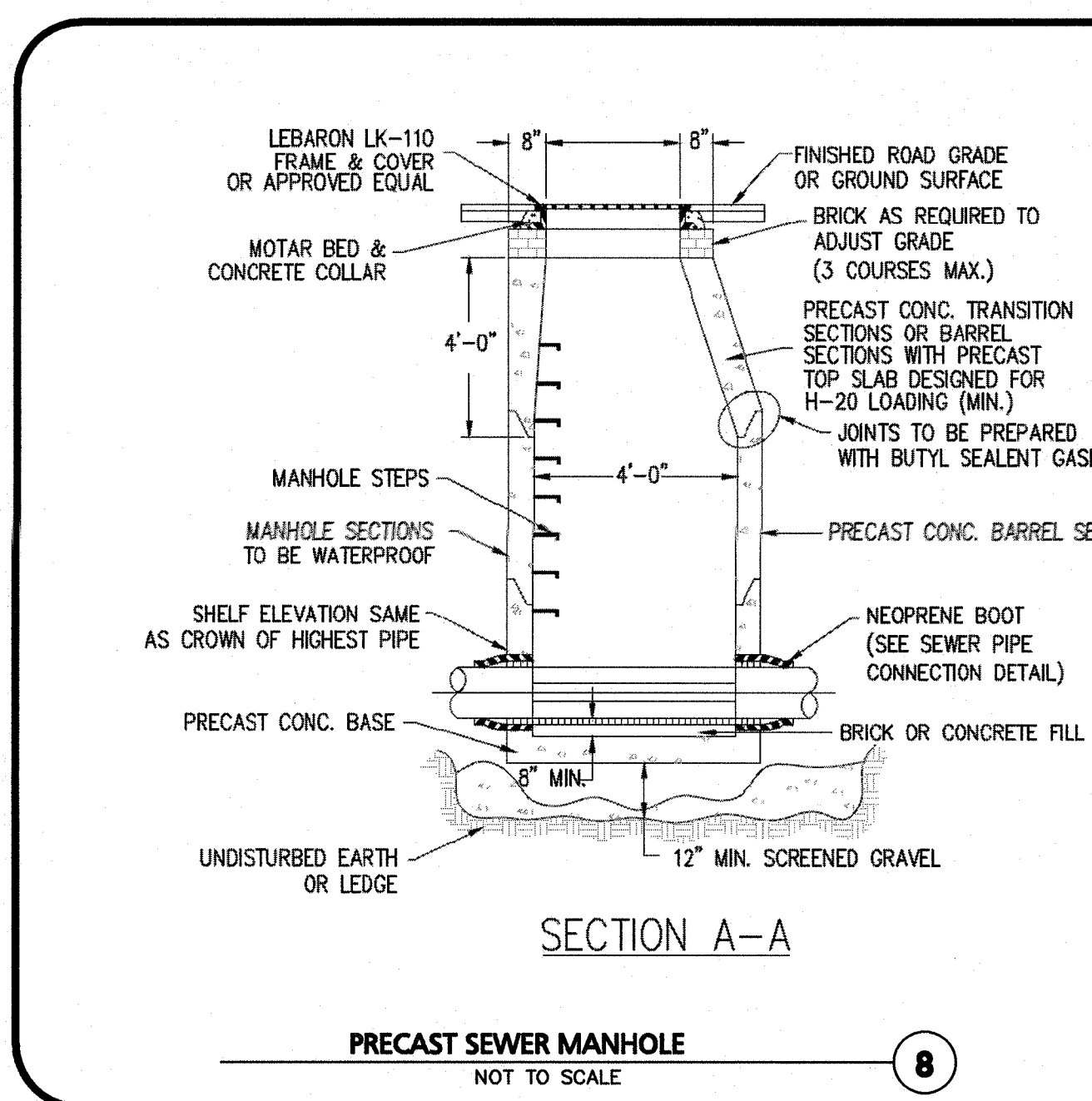
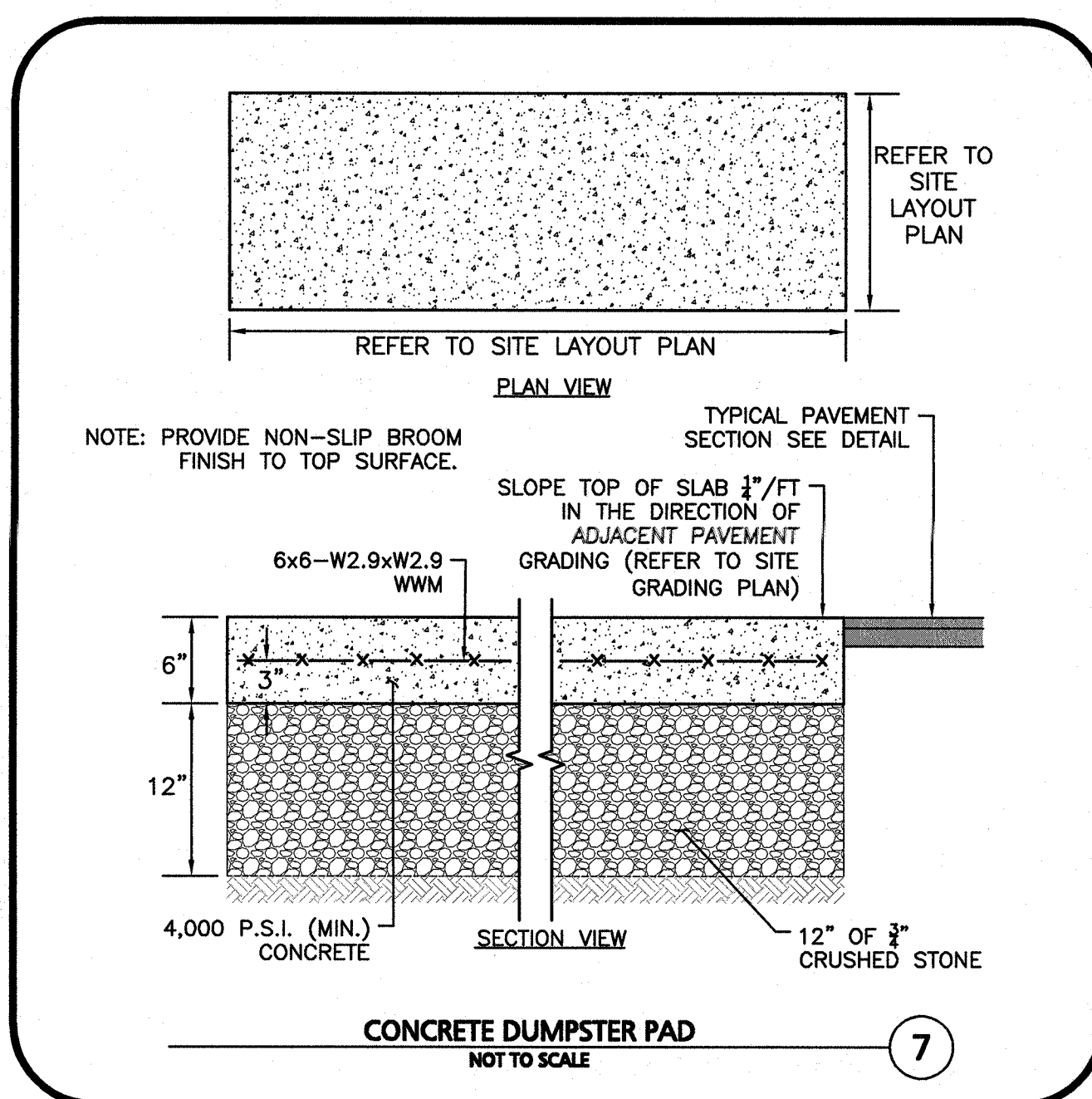
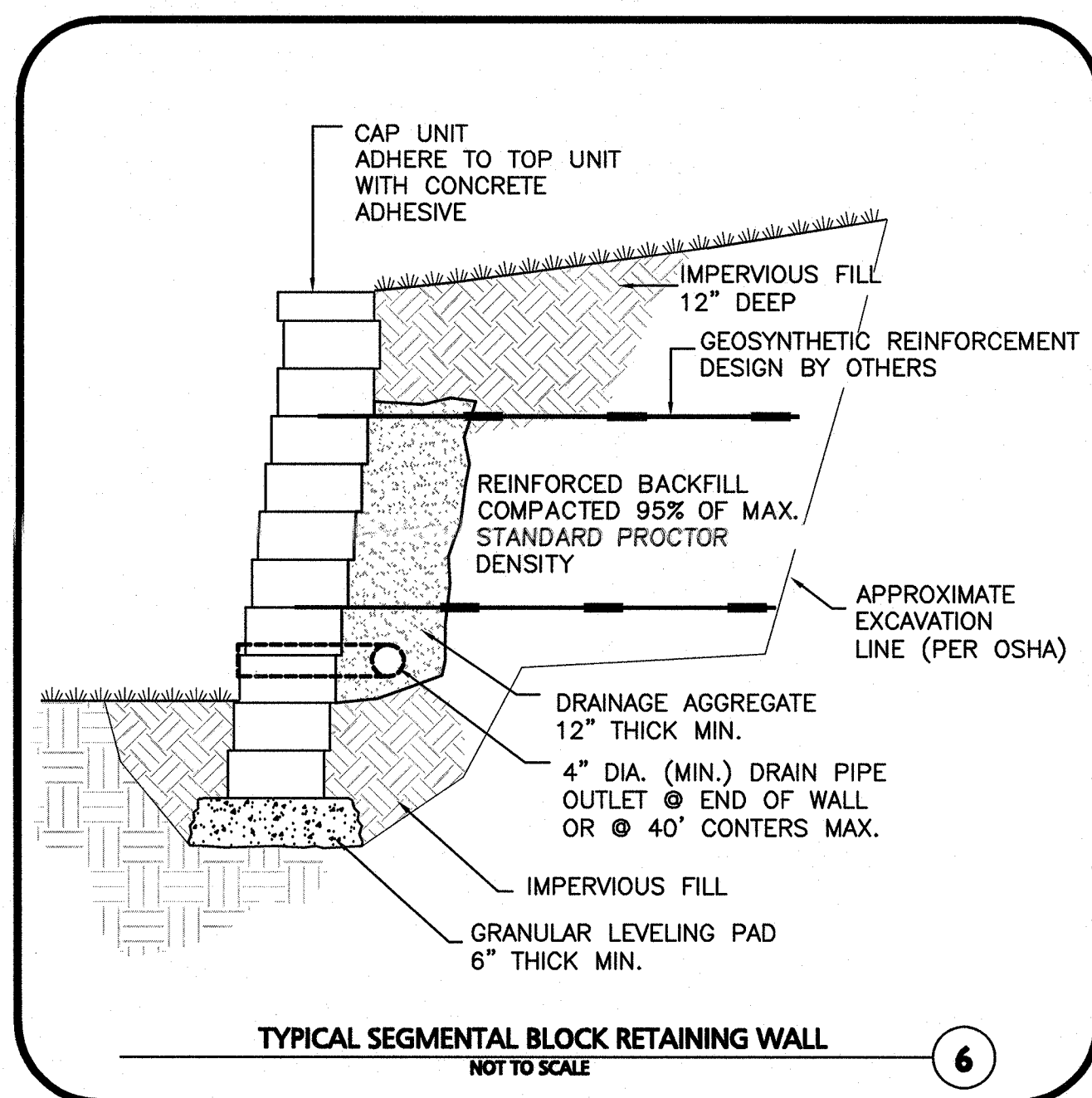
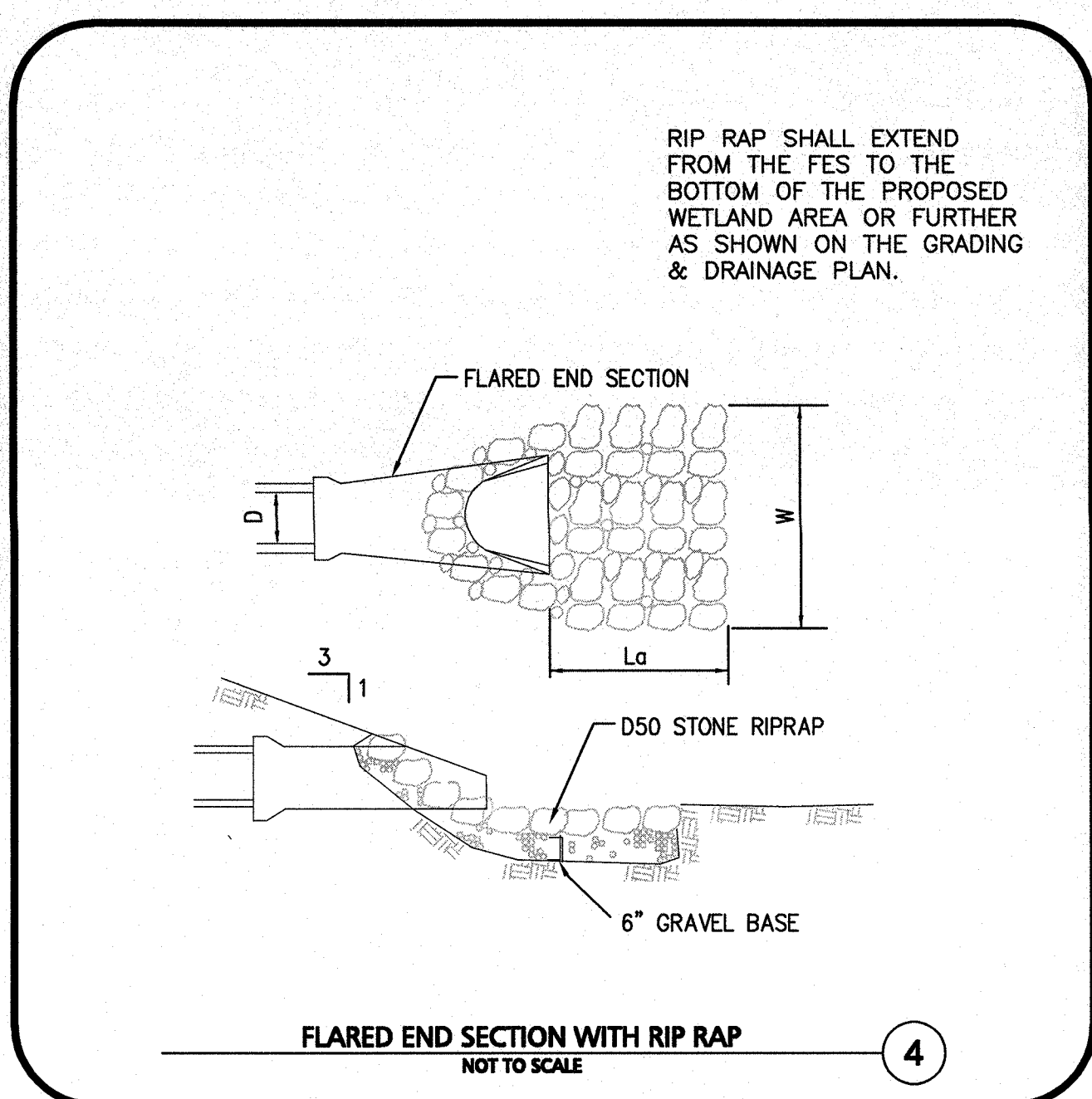
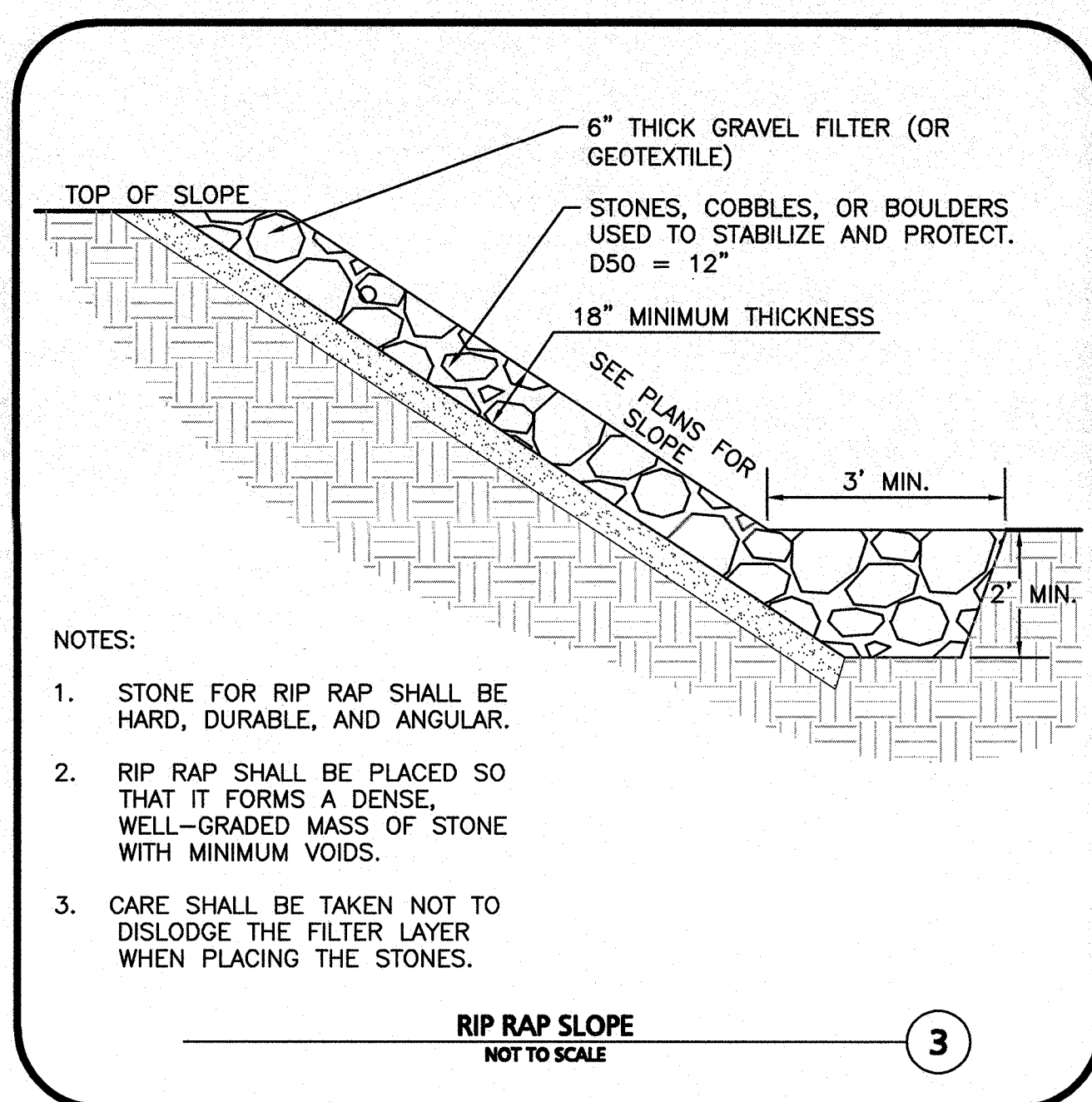
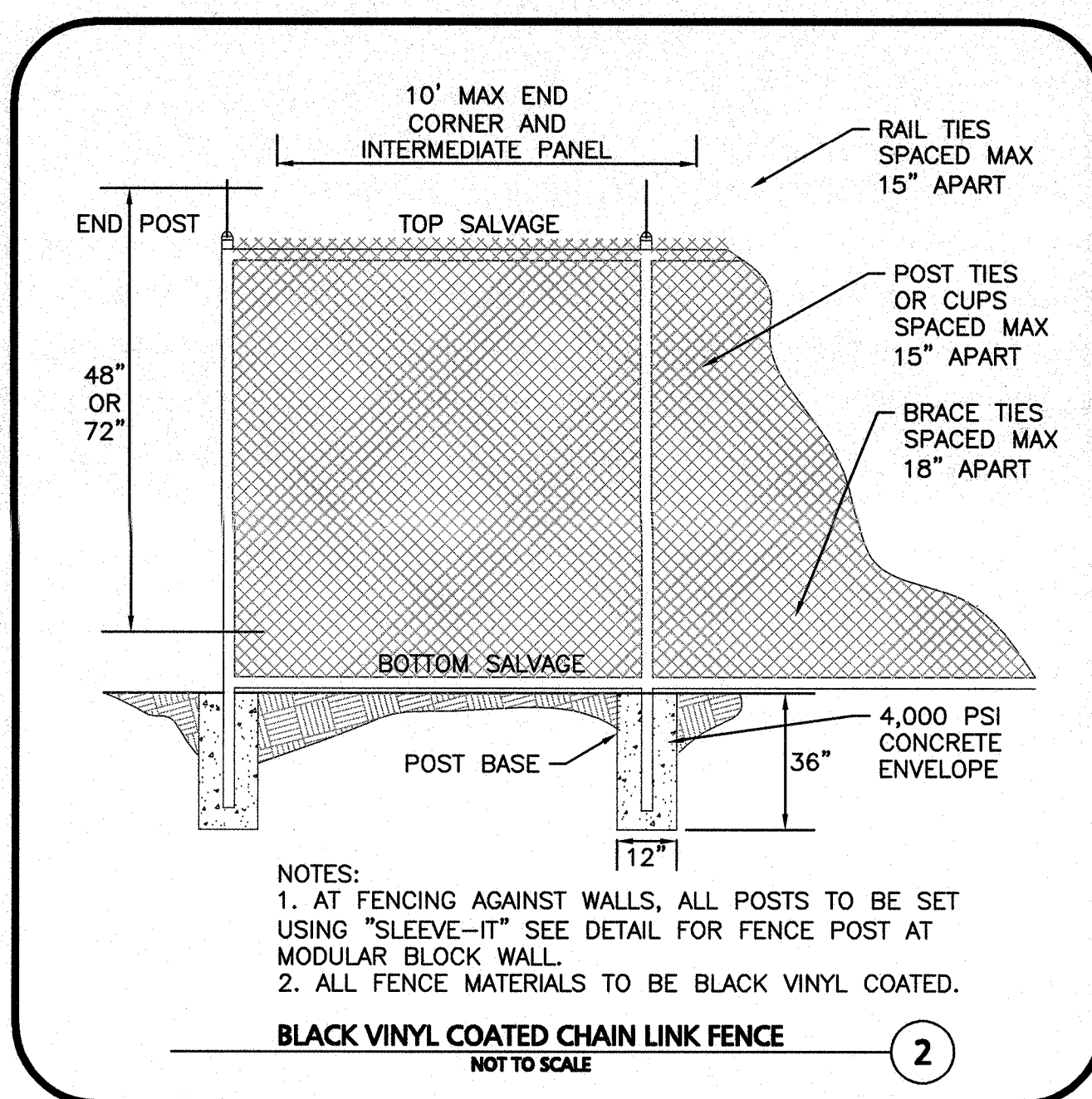
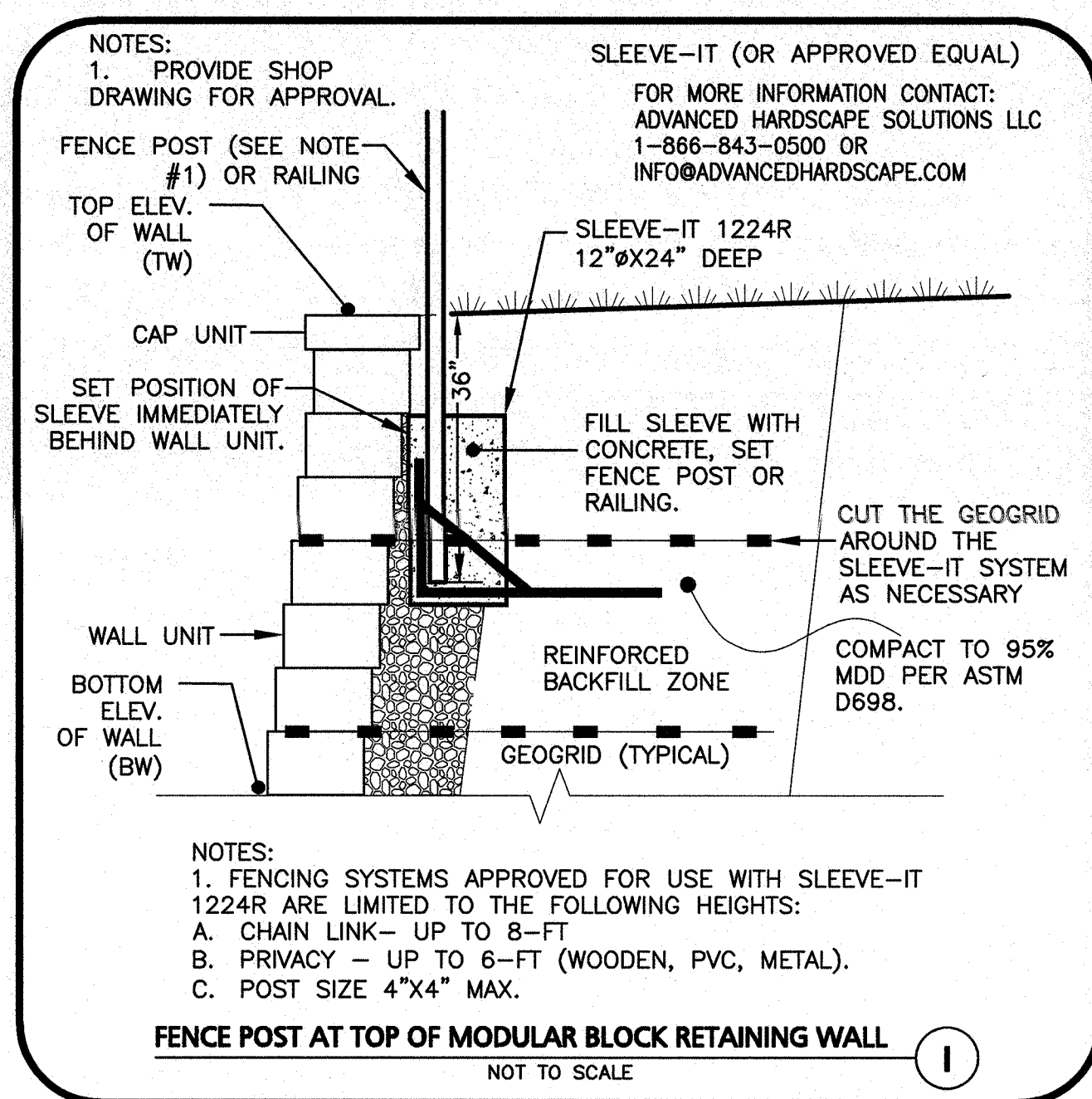
PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO. 2658-01 DATE: 12-20-2019
SCALE: AS SHOWN DWG. NAME: C-2658-01
DESIGNED BY: SJL/DMR CHECKED BY: CMQ



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DRAWING TITLE: CIVIL DETAILS SHEET No. C-503



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3	02-03-20	VARIOUS REVISIONS
2	01-31-20	RESUBMITTED FOR LOCAL APPROVAL
1	12-20-19	ISSUED FOR LOCAL APPROVAL

APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO. 2658-01 DATE: 12-20-2019
SCALE: AS SHOWN DWG. NAME: C-2658-01
DESIGNED BY: SJL/DMR CHECKED BY: CMQ



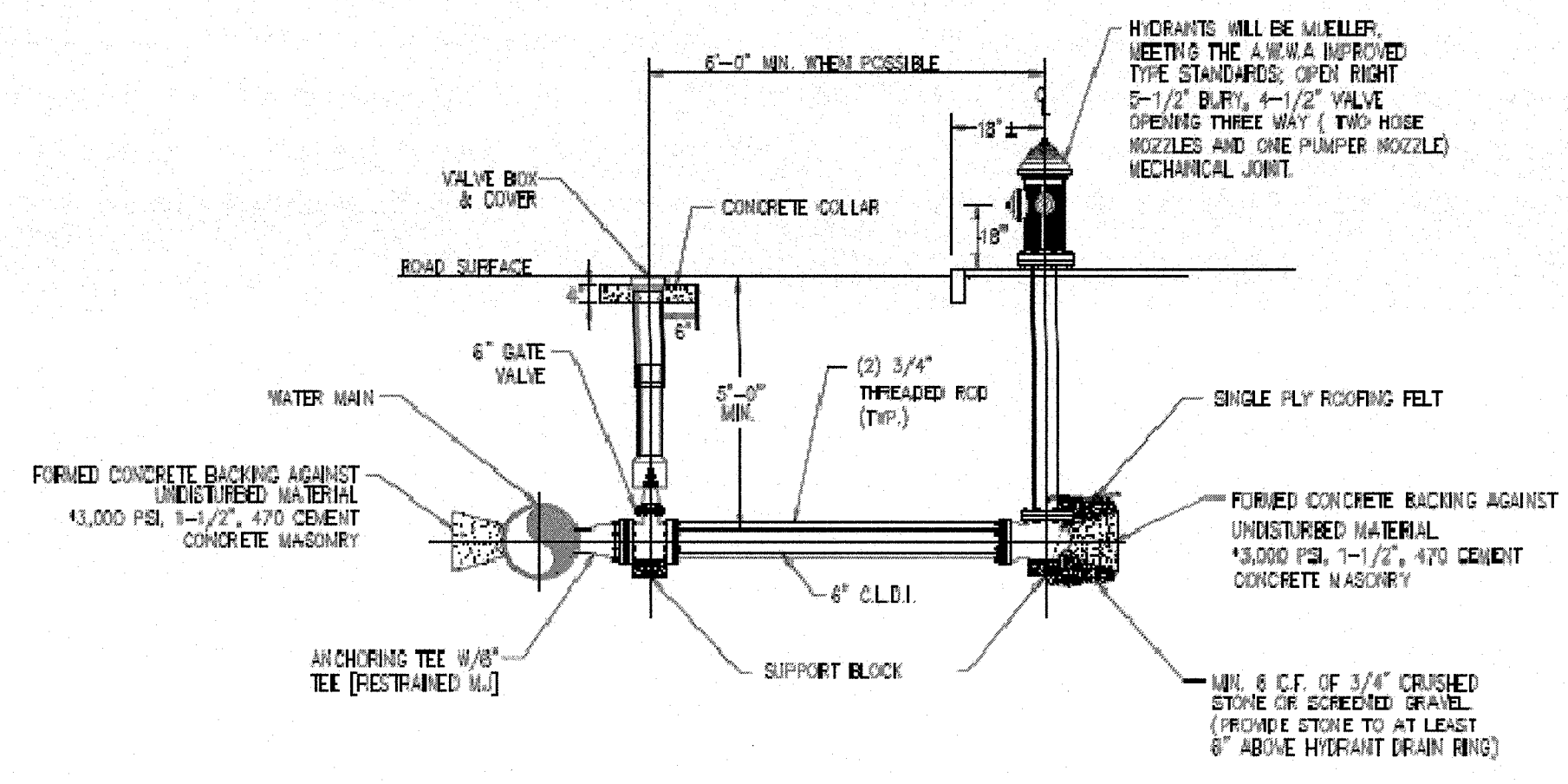
ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
w w w . a l l e n & m a j o r . c o m

100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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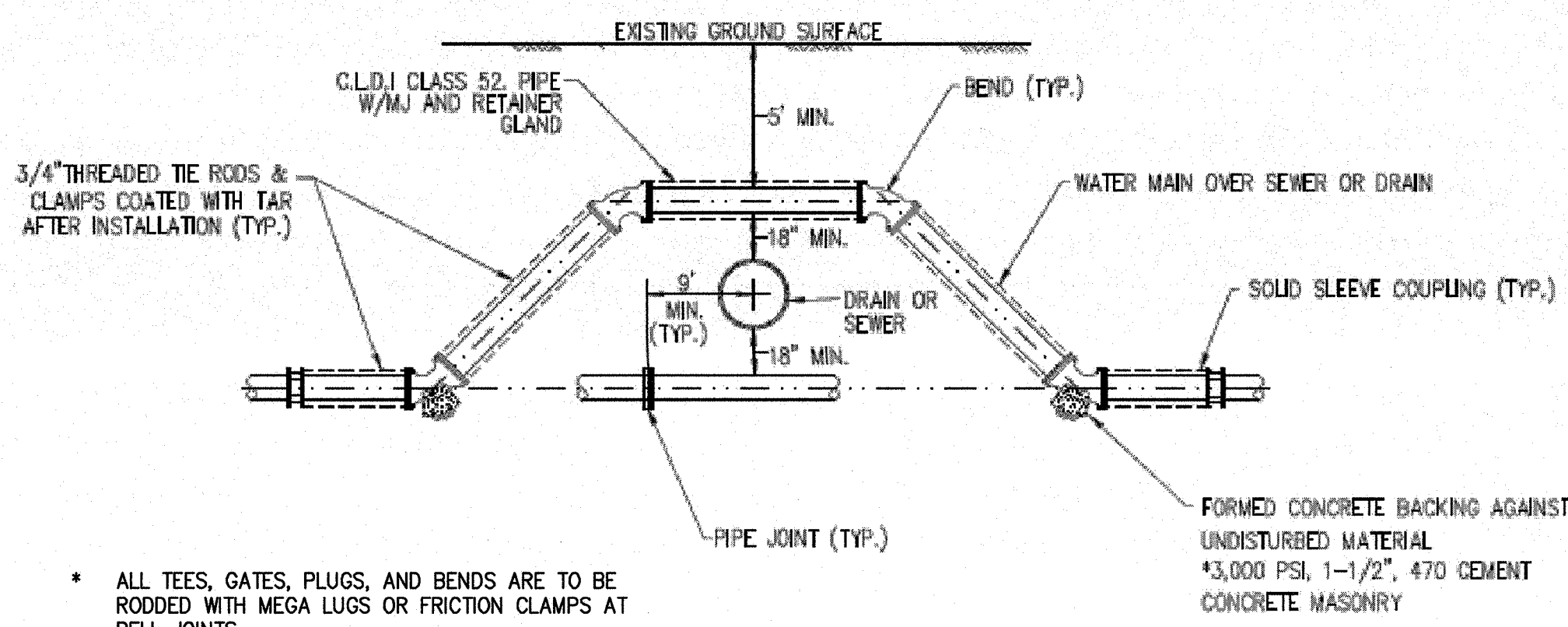
DRAWING TITLE: CIVIL DETAILS SHEET No. C-504

M:\PROJECTS\2658-01\CIVIL DRAWINGS\CURRENT SITE PLANS\C-2658-01_DETAILS.DWG



PROVIDE HYDRANT AND VALVE JOINTS WITH MECHANICAL JOINTS (MEGALUGS OR APPROVED EQUAL) SUPPORT BLOCKS TO BE PRESSURE TREATED WOOD OR CONCRETE MASONRY BLOCKS ALL VALVES OPEN RIGHT

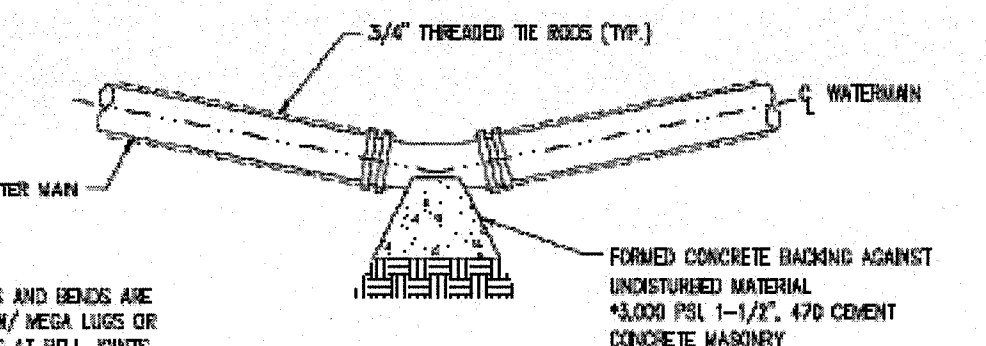
NOTES:
1. DETAILS PROVIDED BY CITY OF MARLBOROUGH.
2. DETAILS SHALL CONFORM TO CITY STANDARDS.



ALL TEES, GATES, PLUGS, AND BENDS ARE TO BE RODDED WITH MEGA LUGS OR FRICTION CLAMPS AT BELL JOINTS
BENDS TO BE UTILIZED ONLY WHEN DEFLECTION CANNOT ACHIEVE REQUIRED DEPTH

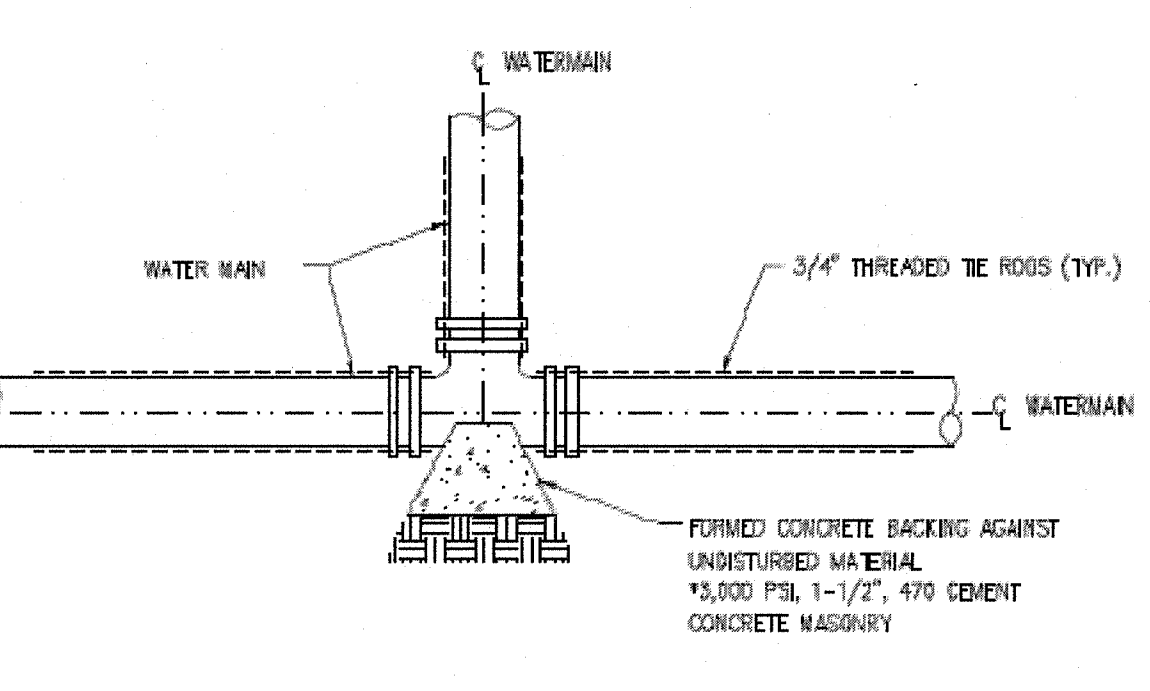
NOTES:
1. DETAILS PROVIDED BY CITY OF MARLBOROUGH.
2. DETAILS SHALL CONFORM TO CITY STANDARDS.

SIZE OF MAIN (IN.)	45° BEND (ST.)	TEES & PLUGS	22 1/2° BEND
8" & LESS	8	10	8
10" - 12"	22	16	13



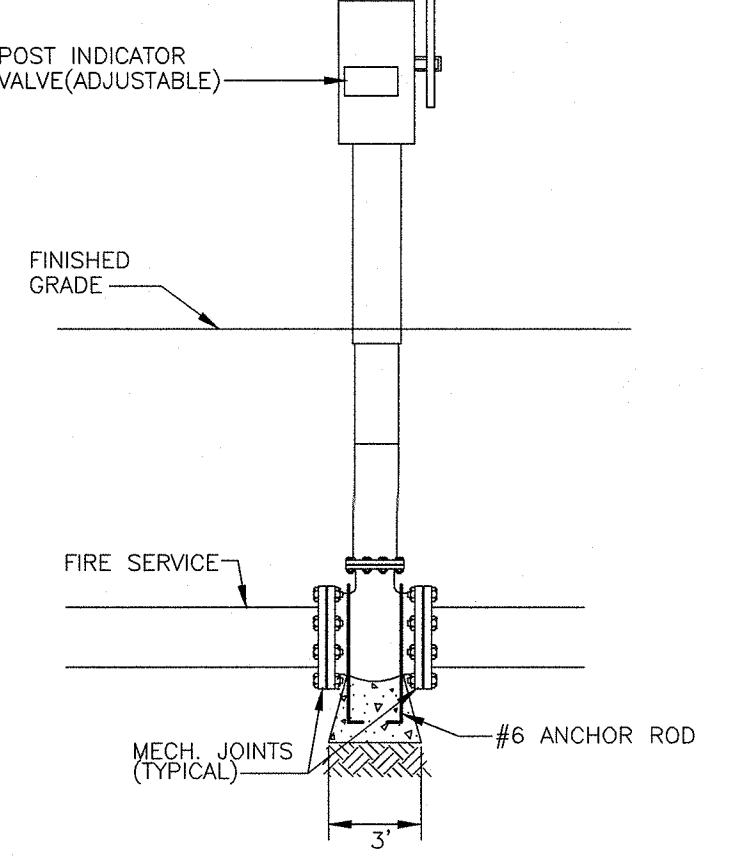
NOTES:
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ALL TEES, GATES, PLUGS, AND BENDS ARE TO BE RODDED WITH MEGA LUGS OR FRICTION CLAMPS AT BELL JOINTS

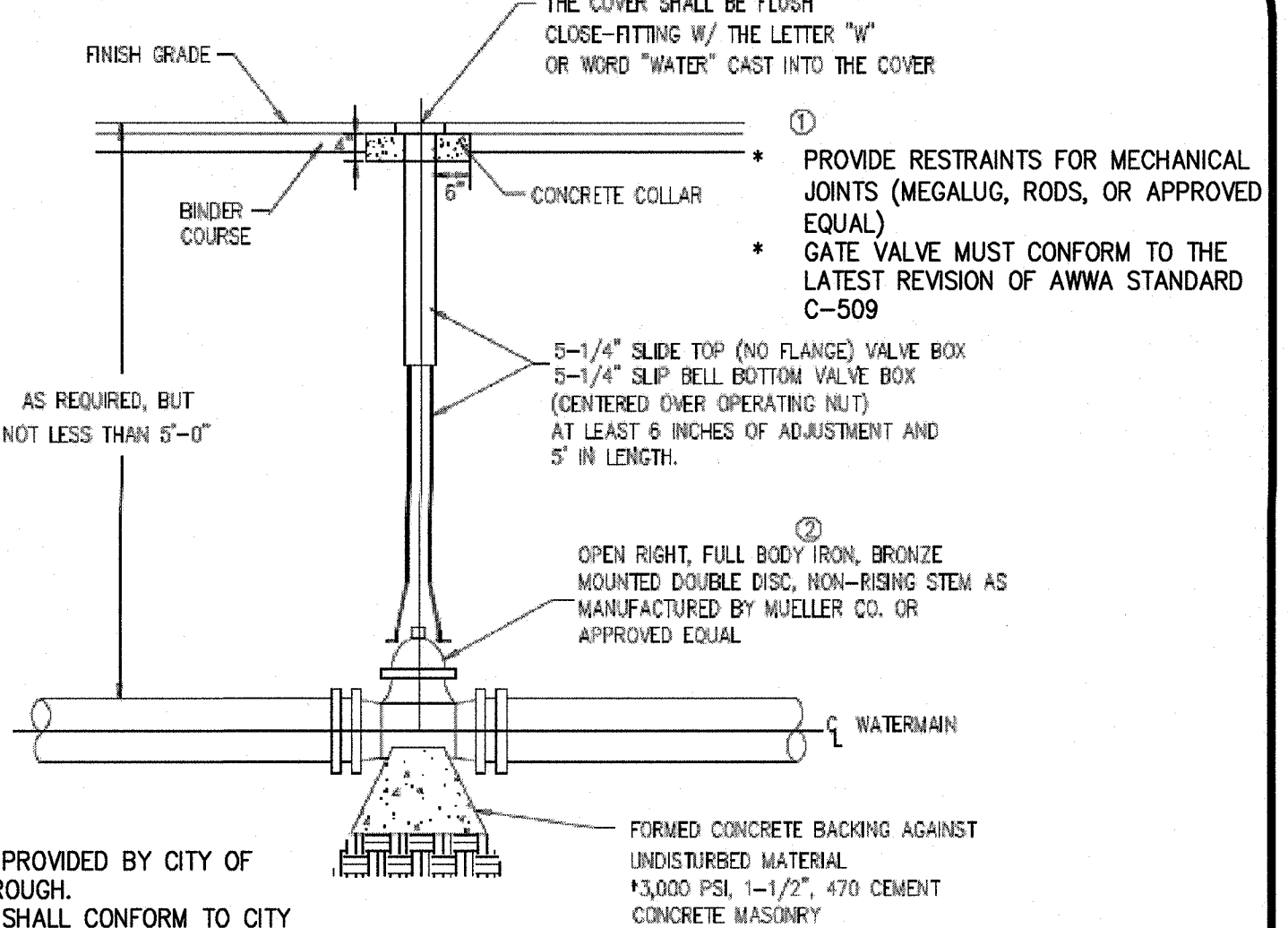


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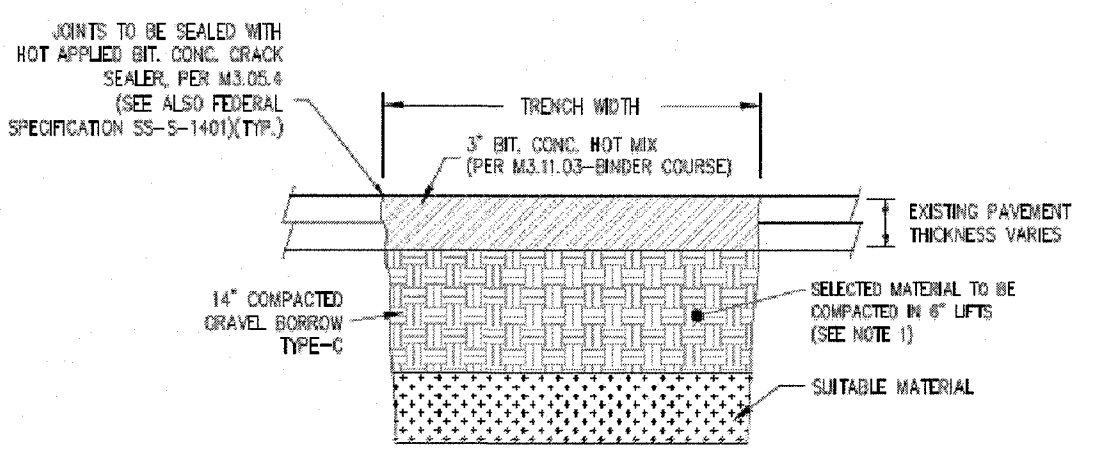
ALL TEES, GATES, PLUGS, AND BENDS ARE TO BE RODDED WITH MEGA LUGS OR FRICTION CLAMPS AT BELL JOINTS



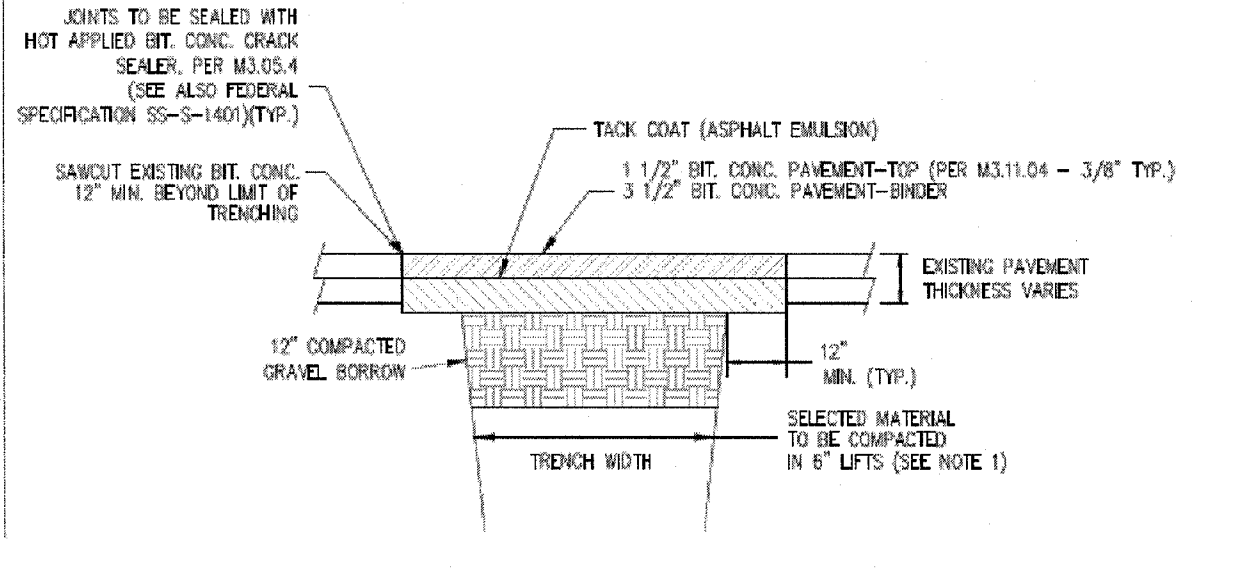
NOTES:
1. POST INDICATOR VALVE SHALL BE ALARMED.



NOTES:
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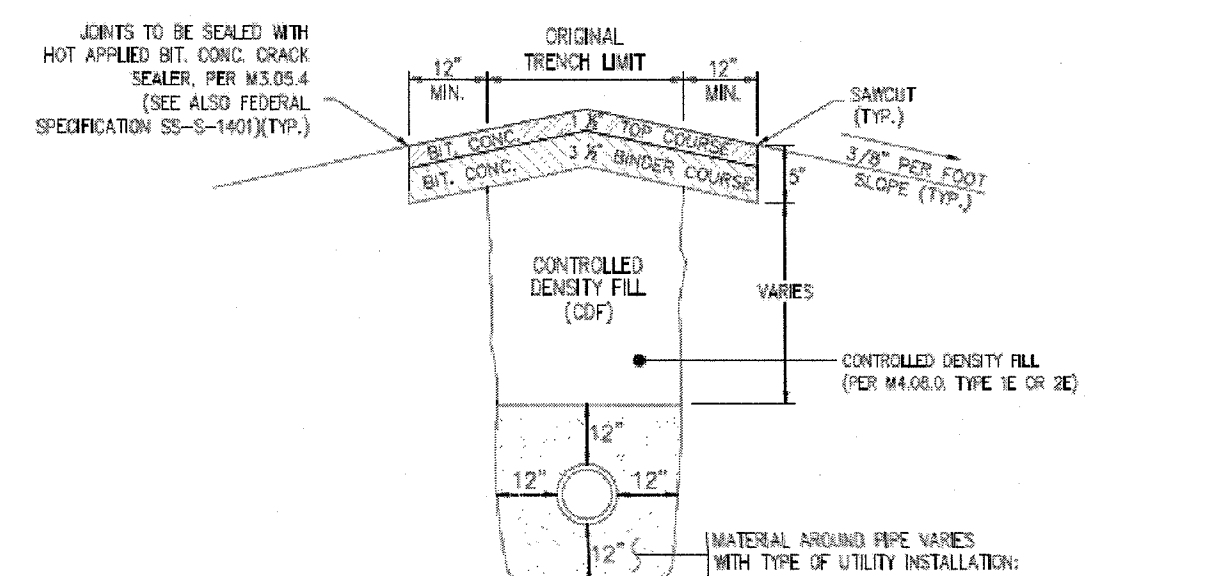


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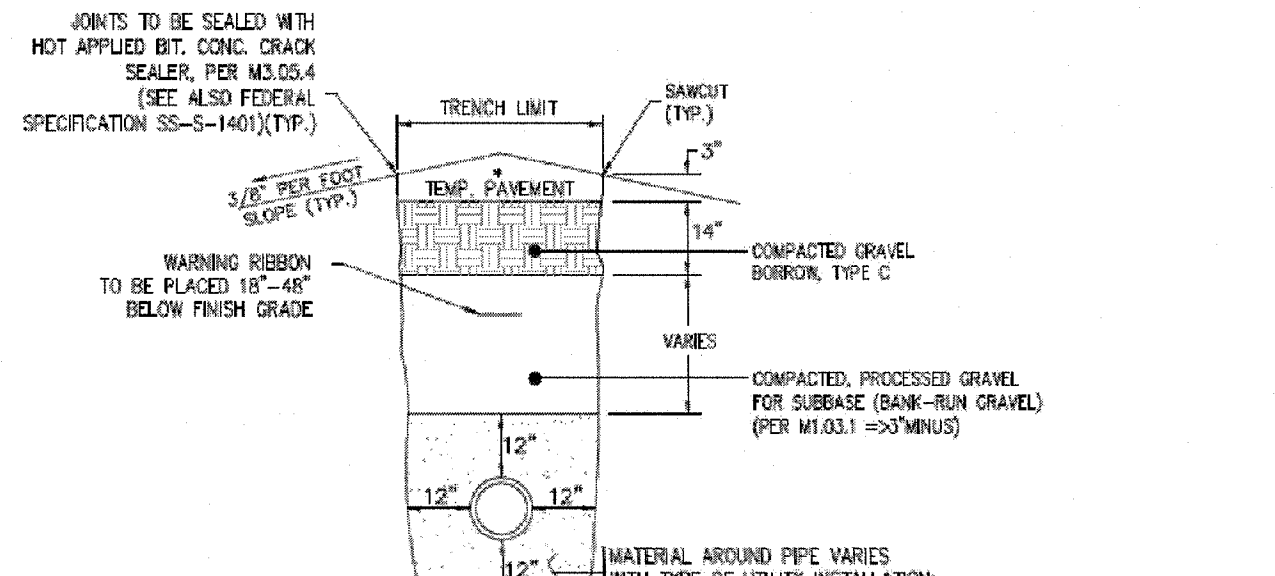


COMPACTION EQUIPMENT SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS TO OBTAIN THE MINIMUM STANDARDS DESCRIBED IN THE CONSTRUCTION NOTES UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. IN PROXIMITY TO STRUCTURES, A JUMPING JACK COMPACTOR SHALL BE REQUIRED.

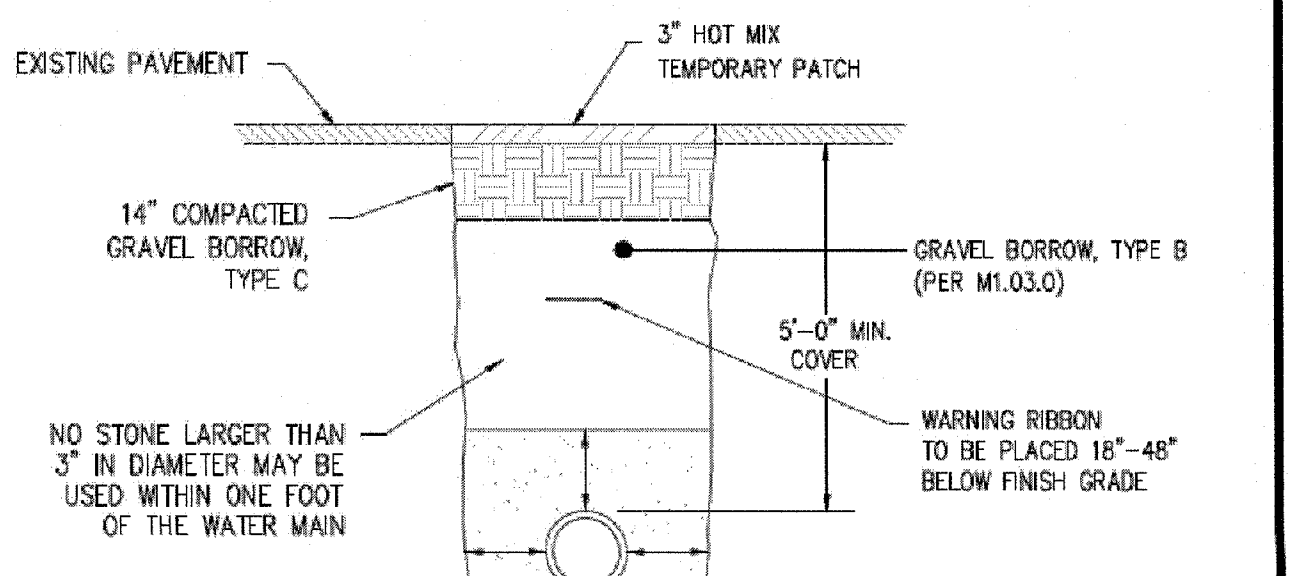
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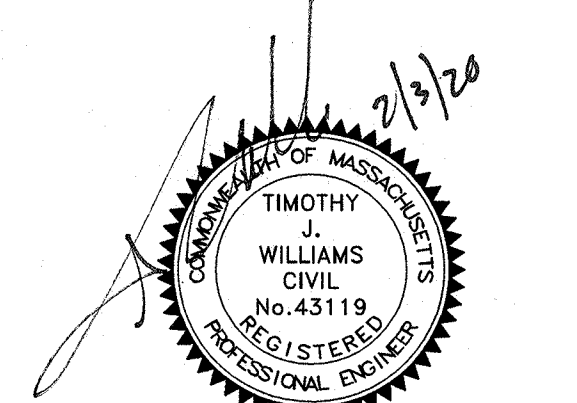
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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3	02-03-20	VARIOUS REVISIONS
2	01-31-20	RESUBMITTED FOR LOCAL APPROVAL
1	12-20-19	ISSUED FOR LOCAL APPROVAL

APPLICANT/OWNER:
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9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

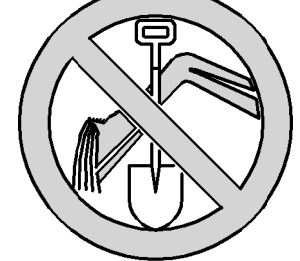
PROJECT NO. 2658-01 DATE: 12-20-2019
SCALE: AS SHOWN DWG. NAME: C-2658-01
DESIGNED BY: SJL/DMR CHECKED BY: CMQ



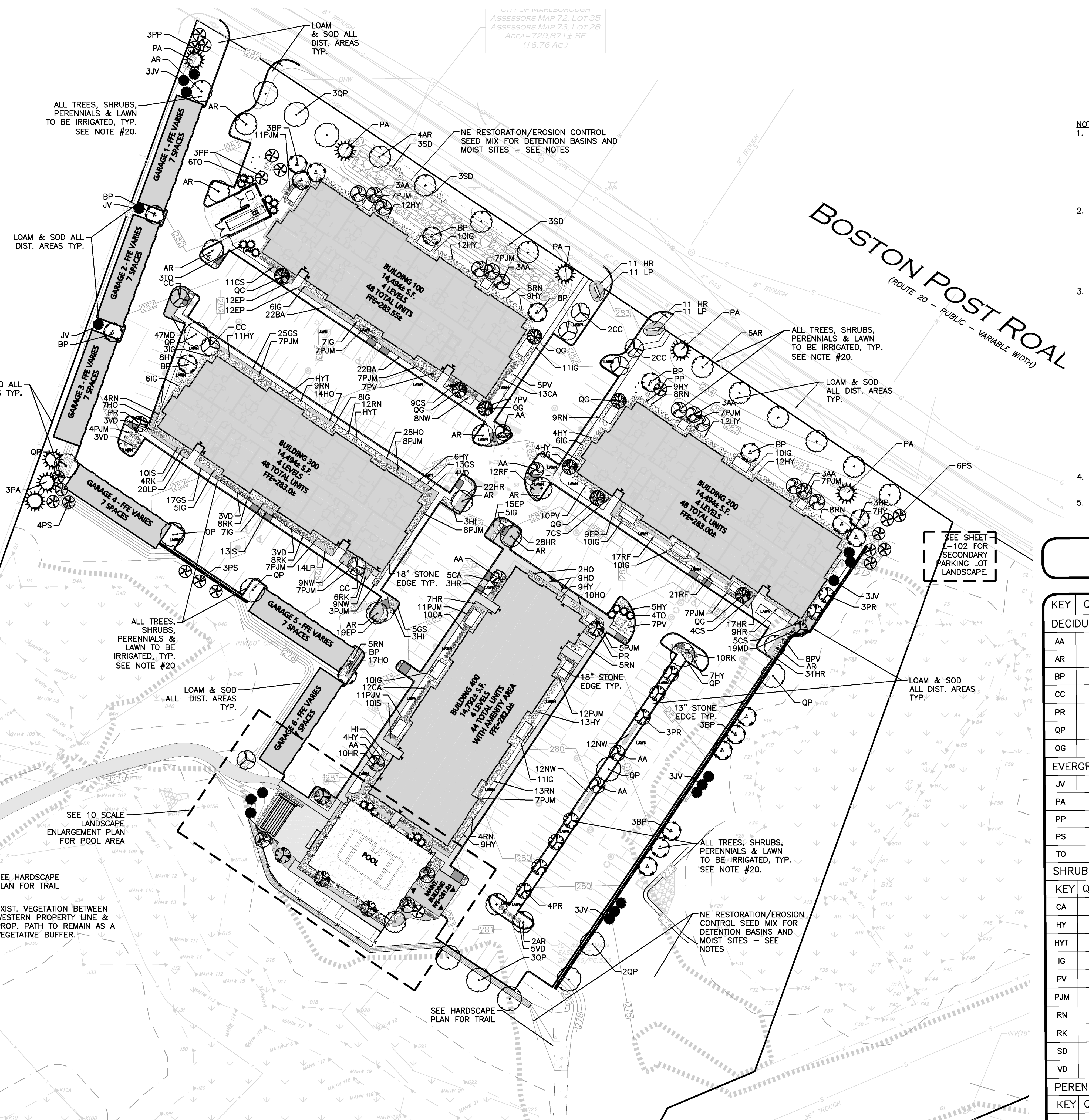
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DRAWING TITLE: CIVIL DETAILS SHEET No. C-505

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 4. SEE SHEET L-102 FOR ADDITIONAL PARKING LOT LANDSCAPE PLAN.
 5. SEE SHEET L-102 & L-501 FOR ADDITIONAL LANDSCAPE INFORMATION.

LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- FLOWERING TREE
- SHRUBS
- MULCH BED
- PERENNIALS/GROUNDCOVER
- WILDFLOWER SEED MIX
- EROSION CONTROL SEED MIX

PLANTING PALETTE - TREES, SHRUBS, & PERENNIALS

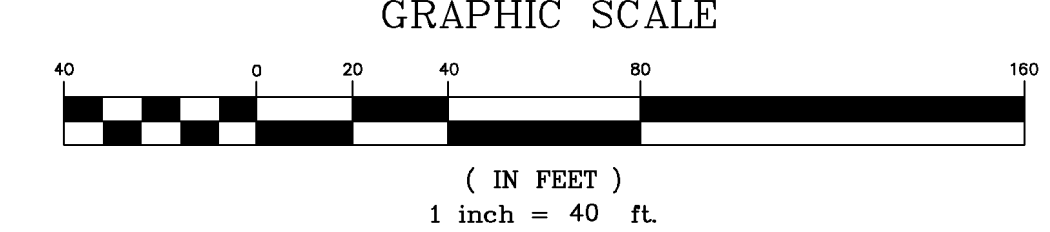
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
DECIDUOUS SHADE TREES						
AA	21	AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2.5-3" CAL.	AS SHOWN	B&B
AR	25	ACER RUBRUM 'KARPIK'	KARPIK RED MAPLE	2.5-3" CAL.	AS SHOWN	B&B
BP	20	BETULA Papyrifera	PAPER BIRCH	12-14' HT.	AS SHOWN	B&B
CC	8	CERCIS CANADENSIS	EASTERN REDBUD	2.5-3" CAL.	AS SHOWN	B&B
PR	18	PRUNUS SARGENTII 'PINK FLAIR'	PINK FLAIR SARGEANT CHERRY	2.5-3" CAL.	AS SHOWN	B&B
QP	19	QUERCUS PALUSTRIS	PIN OAK	3-3.5" CAL.	AS SHOWN	B&B
OG	8	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN OAK	3-3.5" CAL.	AS SHOWN	B&B

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
EVERGREEN TREES						
JV	17	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6'-7" HT.	AS SHOWN	B&B
PA	8	PICEA ABIES	NORWAY SPRUCE	6'-7" HT.	AS SHOWN	B&B
PP	8	PICEA PUNGENS 'FAT ALBERT'	FAT ALBERT BLUE SPRUCE	6'-7" HT.	AS SHOWN	B&B
PS	13	PINUS STROBUS	EASTERN WHITE PINE	6'-7" HT.	AS SHOWN	B&B
TO	20	THUJA OCCIDENTALIS 'WINTERGREEN'	WINTERGREEN ARBORVITAE	6'-7" HT.	AS SHOWN	B&B

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
SHRUBS/ GRASSES						
CA	87	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	SIXTEEN CANDLES SUMMERSWEET	#5	AS SHOWN	POT
HY	186	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#5	AS SHOWN	POT
HYT	17	HYDRANGEA PANICULATA 'LIMELIGHT'	TREFORM LIMELIGHT HYDRANGEA	4-5'	AS SHOWN	POT
IG	151	ILEX GLABRA 'SHAMROCK'	INKBERRY	2'-2.5' HT.	AS SHOWN	POT
PV	63	PANICUM V. 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#3	AS SHOWN	POT
PJM	168	RHODODENDRON 'PJM COMPACT CLONE'	COMPACT PJM RHODODENDRON	2'-2.5' HT.	AS SHOWN	POT
RN	96	RHODODENDRON 'BOULE DE NEIGE'	BOULE DE NEIGE RHODODENDRON	2'-2.5' HT.	AS SHOWN	POT
RK	86	ROSA KNOCKOUT PINK	PINK KNOCKOUT ROSE	2'-2.5' HT.	AS SHOWN	POT
SD	9	SALIX DISCOLOR	PUSSY WILLOW	4-5' HT.	AS SHOWN	POT
VD	21	VIBURNUM DENTATUM 'AUTUMN JAZZ'	AUTUMN JAZZ VIBURNUM	4-5' HT.	AS SHOWN	POT

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
PERENNIALS						
BA	50	BAPTISIA 'PURPLE SMOKE'	PURPLE SMOKE WILD INDIGO	#1	24" O.C.	STAGGERED
EP	91	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#1	24" O.C.	STAGGERED
GS	87	GERANIUM SANGUINEUM 'ALBUM'	WHITE PERENNIAL GERANIUM	#1	24" O.C.	STAGGERED
HO	100	HOSTA 'BLUE ANGEL'	BLUE ANGEL HOSTA	#1	24" O.C.	STAGGERED
HR	155	HEMEROCALLIS 'ORANGE SMOOTHIE'	ORANGE SMOOTHIE DAYLILLY	#1	24" O.C.	STAGGERED
HI	22	HIBISCUS MOSCHEUTOS 'LUNA PINK SWIRL'	PINK SWIRL HARDY HIBISCUS	#1	24" O.C.	STAGGERED
IS	40	IRIS SIBERICA 'SNOW QUEEN'	SNOW QUEEN SIBERIAN IRIS	#1	24" O.C.	STAGGERED
LP	96	LAVENDULA 'PHENOMENAL'	PHENOMENAL LAVENDER	#1	24" O.C.	STAGGERED
MD	77	MONARDA D. 'JACOB CLINE'	JACOB CLINE BEE BALM	#1	24" O.C.	STAGGERED
NW	64	NEPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT	#1	24" O.C.	STAGGERED
RF	78	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK EYED SUSAN	#1	24" O.C.	STAGGERED

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
FRUIT TREES/SHRUBS FOR COMMUNITY GARDEN						
AM	2	APPLE MACINTOSH	MACINTOSH APPLE TREE	2-2.5" CAL.	AS SHOWN	B&B
BD	2	BLUEBERRY 'DUKE'	DUKE BLUEBERRY BUSH	#5	AS SHOWN	POT



LANDSCAPE REGULATIONS

S 650-47 LANDSCAPING AND SCREENING	REQUIRED	PROVIDE	NOTES
D. (4) PLANTING TYPE AND SIZE DECIDUOUS SHADE TREES MIN. 2" CAL.	AS NOTED	MINIMUM REQUIRED SIZES OR GREATER	
H. PARKING LOT PLANTING AREA (1) PERIMETER PARKING LOT. ON ATLEAST THREE SIDES THERE SHALL BE A LANDSCAPE STRIP WITH REQUIRED SIDE LINE PLANTING AREAS UNDER SECTION F	AS NOTED WITH 7" SIDELINE PLANTING AREA STRIPS	AS NOTED WITH 7" SIDELINE PLANTING AREA STRIPS	
I. MAINTENANCE. (3) PLANTINGS WILL BE SELECTED TO NOT USE HIGH WATER LEVELS FOR MAINTENANCE. STREET FRONTAGE AREAS SHALL BE PROVIDED WITH THE INSTALLATION OF AN IRRIGATION SYSTEM	IRRIGATION SYSTEM	IRRIGATION SYSTEM	



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

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1	12-20-19	ISSUED FOR LOCAL APPROVAL

APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

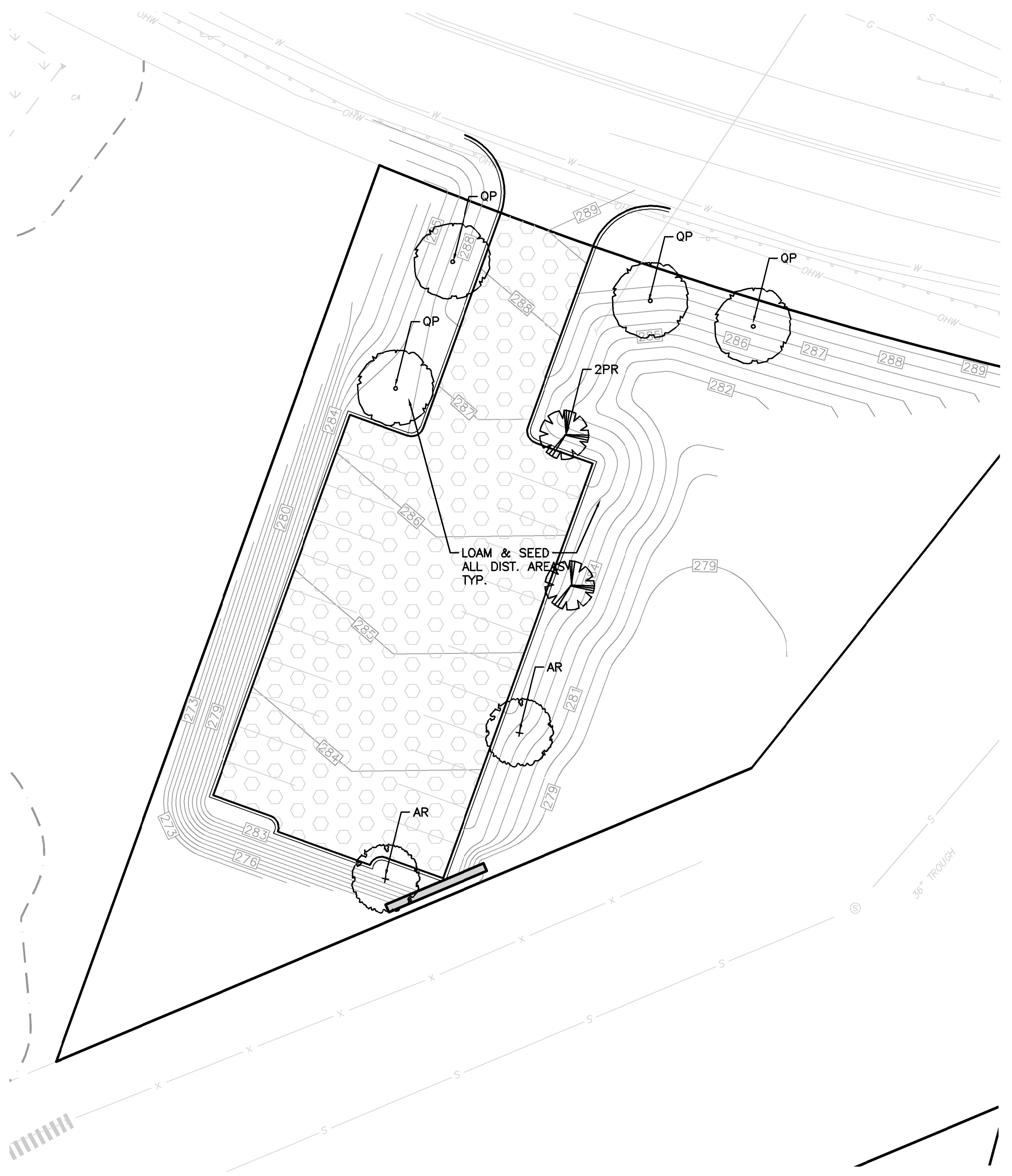
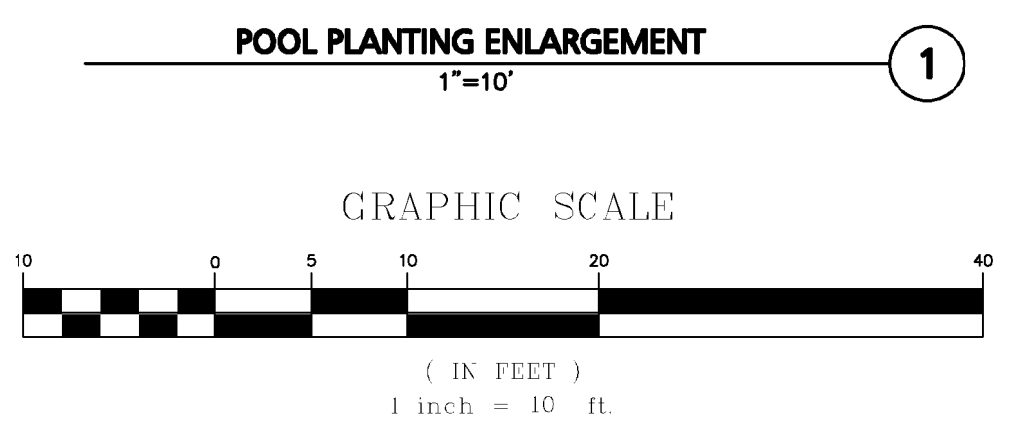
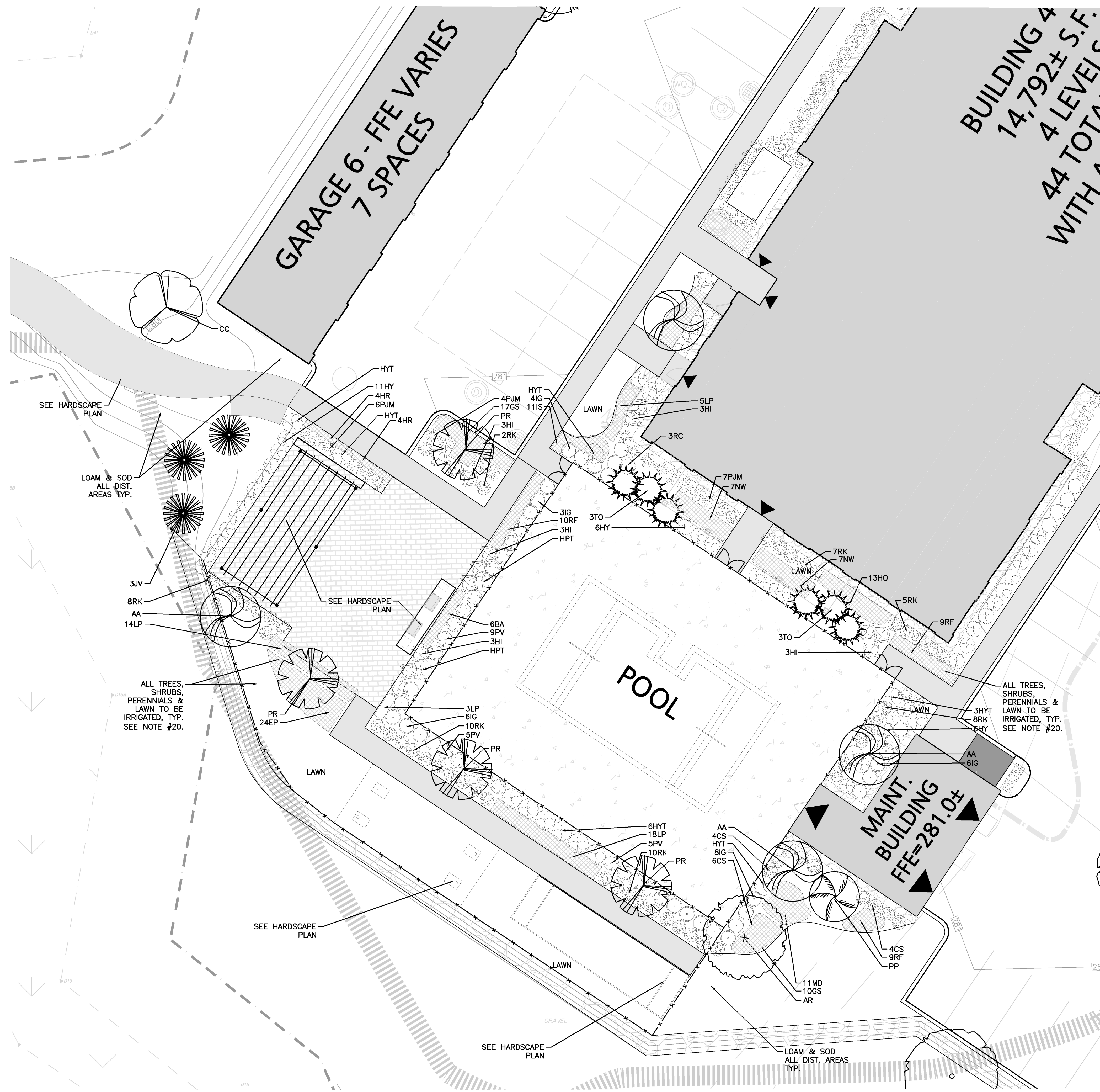
PROJECT NO. 2658-01 DATE: 12-20-2019
SCALE: 1" = 40' DWG. NAME: C-2658-01
DESIGNED BY: SJL/DMR CHECKED BY: CMQ



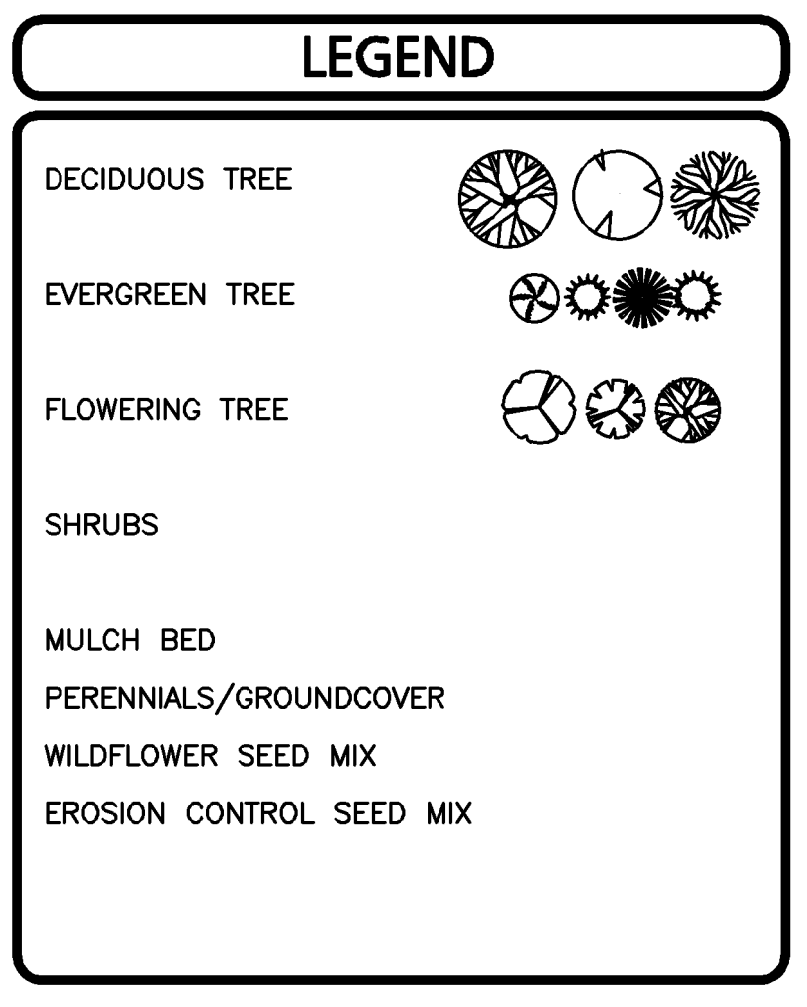
ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2856

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 4. SEE SHEET L-101 & L-501 FOR ADDITIONAL LANDSCAPE INFORMATION.



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 9 WEST BROAD STREET, SUITE 800
 STAMFORD, CT 06902

PROJECT:
 MULTI-FAMILY DEVELOPMENT
 339 BOSTON POST ROAD EAST
 MARLBOROUGH, MA

PROJECT NO. 2658-01 DATE: 12-20-2019
 SCALE: 1" = 10' DWG. NAME: C-2658-01
 DESIGNED BY: SJL/DMR CHECKED BY: CMQ



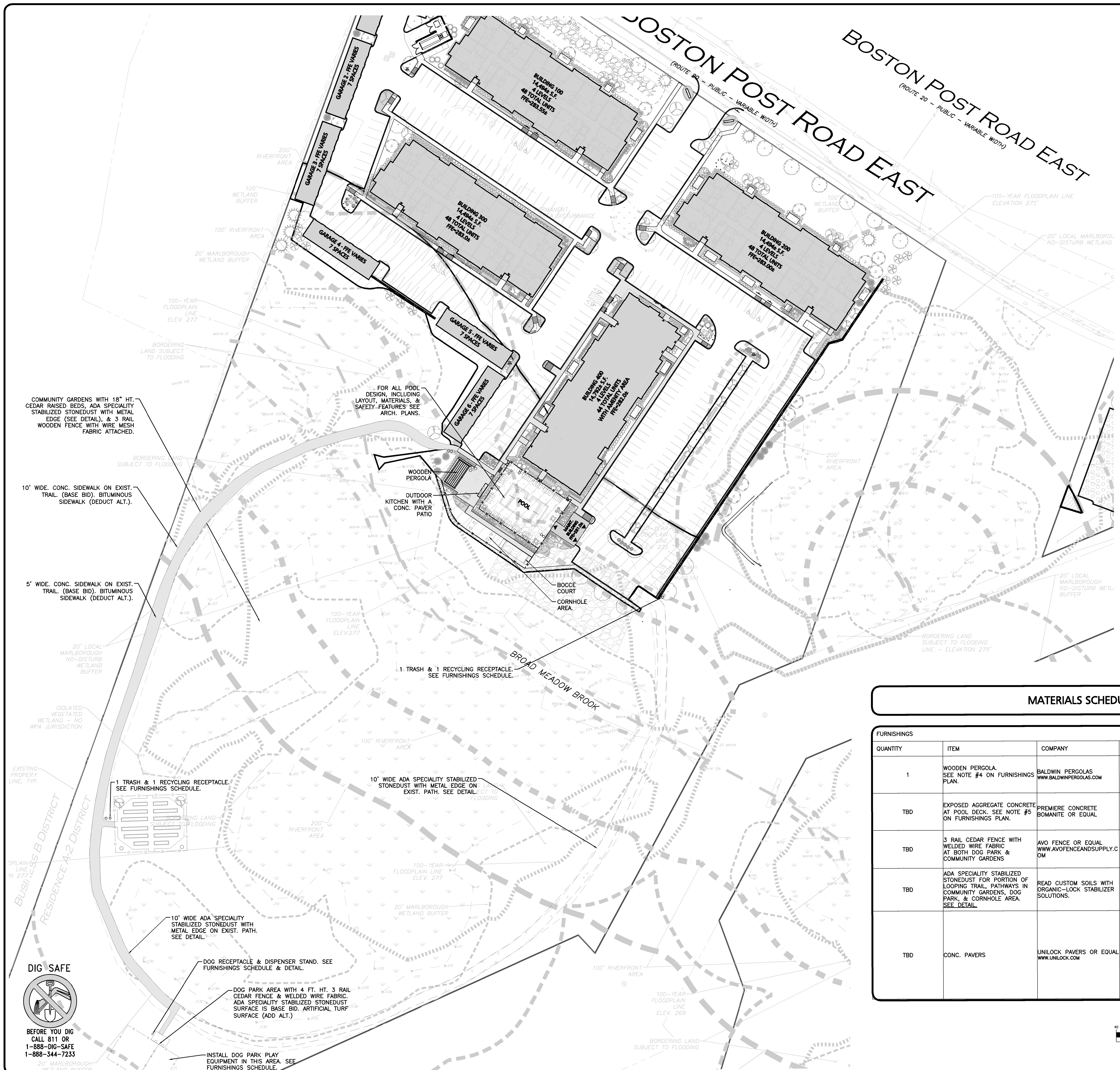
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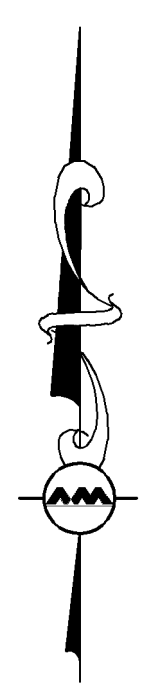
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 4. SEE SHEET L-104, L-502, L-503 FOR ADDITIONAL HARDSCAPE & FURNISHINGS INFORMATION.



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 STAMFORD, CT 06902

PROJECT:
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339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO. 265801 DATE: 12-20-2019
 SCALE: 1" = 40' DWG. NAME: C-2658-01
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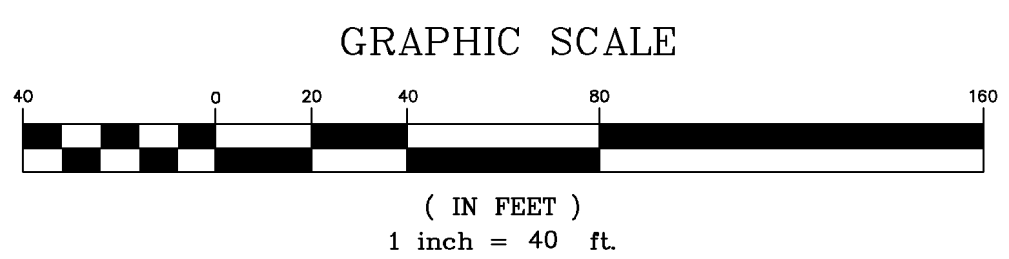


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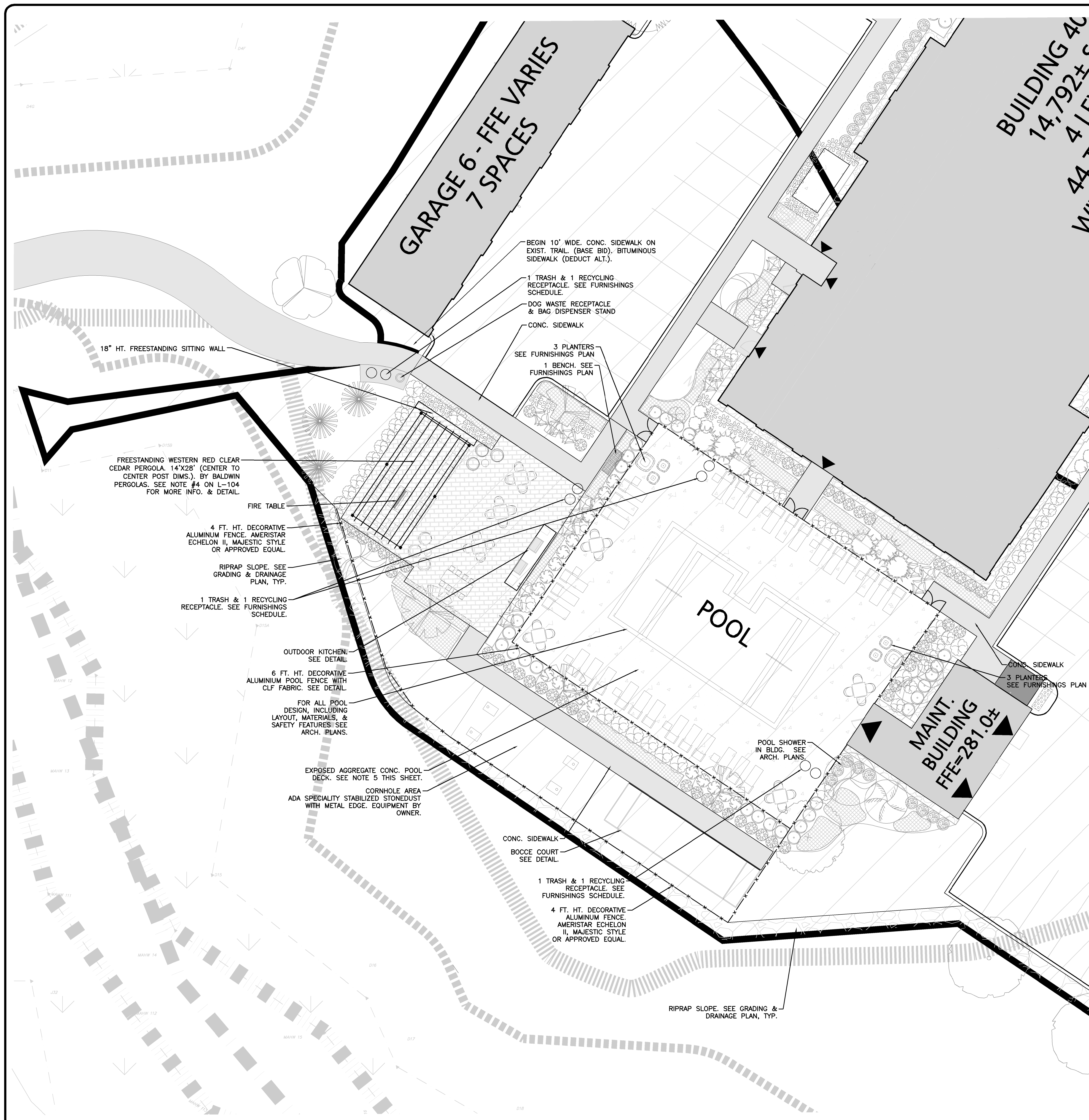
MATERIALS SCHEDULE

QUANTITY	ITEM	COMPANY	COLOR	SIZE	COMMENTS
1	WOODEN PERGOLA. SEE NOTE #4 ON FURNISHINGS PLAN.	BALDWIN PERGOLAS WWW.BALDWINPERGOLAS.COM	STAINED WOOD	14'x 28'	SALES@BALDWINPERGOLAS.COM MIDDLETOWN, CT P: (800) 344-5103
TBD	EXPOSED AGGREGATE CONCRETE AT POOL DECK. SEE NOTE #5 ON FURNISHINGS PLAN.	PREMIERE CONCRETE BOMANITE OR EQUAL	EXPOSED AGGREGATE	N/A	PREMIERE CONCRETE
TBD	3 RAIL CEDAR FENCE WITH WELDED WIRE FABRIC AT BOTH DOG PARK & COMMUNITY GARDENS	AVO FENCE OR EQUAL WWW.AVOFENCEANDSUPPLY.COM	CEDAR	4' TALL	50 WASHINGTON STREET ROUTE 138 (CANTON LINE) STOUGHTON, MA 02072
TBD	ADA SPECIALITY STABILIZED STONEDUST FOR PORTION OF LOOPING TRAIL, PATHWAYS IN COMMUNITY GARDENS, DOG PARK, & CORNHOLE AREA. SEE DETAIL.	READ CUSTOM SOILS WITH ORGANIC-LOCK STABILIZER SOLUTIONS.	NATURAL GRAY	VARIES. SEE PLANS.	NORTHERN NEW ENGLAND BLENDING FACILITY 37 POWER RD. WESTFORD, MA 01886
TBD	CONC. PAVERS	UNILOCK PAVERS OR EQUAL WWW.UNILOCK.COM	GRAY	VARIES	ASHLEY ALLARD-LACROIX COMMERCIAL SALES UNILOCK NEW YORK, INC. BOSTON DIVISION OFFICE: 508-278-4536 EXT. 4046 CELL: 508-277-4413 UNILOCK.COM 1-800-UNILOCK



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 2. THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM SEVERAL SOURCES, SOME OF WHICH IS UNCONFIRMED. THE EXISTING CONDITIONS SURVEY BASE WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS, V-101" PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED JULY, 2019, ORIGINAL SCALE 1"=80'.
 3. ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 18" MINIMUM DEPTH OF TOPSOIL. EIGHTEEN INCHES OF TOPSOIL AROUND TREES AND SHRUBS DOES NOT INCLUDE AMENDED PLANTING SOIL WITHIN TREE / SHRUB PIT FOR FULL DEPTH OF ROOTBALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED OR LOAM & SOD TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL CONTRACTOR, DEMOLITION CONTRACTOR, AND LANDSCAPE CONTRACTOR TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 18" MINIMUM AND 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET AT NO ADDITIONAL COST TO OWNER. SEE TOPSOIL DETAIL.
 4. PERGOLA DESIGNED & BUILT BY BALDWIN PERGOLAS. BALDWINPERGOLAS.COM (MIDDLETOWN, CT). PERGOLA TO BE WESTERN RED CLEAR CEDAR, 10 FT. TALL, 8"X8" POSTS, 2"x6" BEAMS, JAPANESE STYLE ANGLE CUT RAFTERS, 4 FT. DEPTH MIN. CONC. FOOTINGS, STAINED OR LEFT NATURAL CEDAR. FOR PRICING PURPOSES ONLY STAINED WITH 2 COATS, PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING. PERGOLA STRUCTURE INCLUDING FASTENERS, WOOD SIZING, AND FOOTINGS TO BE REVIEWED AND APPROVED BY STRUCTURAL ENGINEER LICENSED IN THE STATE OF MA & AT CONTRACTORS COST. PERGOLA CONTRACTOR TO COORD. PERGOLA INSTALLATION WITH ADJACENT LIGHTING, POOL, SIDEWALK, AND FOOTING CONTRACTORS.
 5. EXPOSED AGGREGATE CONC. POOL DECK TO BE BOMANITE EXPOSED AGGREGATE. SHOP DRAWINGS TO BE PROVIDED PRIOR TO CONSTRUCTION. COLOR TO BE SELECTED BY OWNER/LANDSCAPE ARCHITECT. EFFECT SHOULD BE TO SIMULATE A GRANITE LOOK.
 6. SEE SHEET L-103, L-502, L-503 FOR ADDITIONAL HARDSCAPE & FURNISHINGS INFORMATION.

FURNISHINGS SCHEDULE

QUANTITY	ITEM	COMPANY	COLOR	SIZE	COMMENTS
1	CASPIAN 6 PIECE DINING SET	ALL MODERN	NATURAL TEKWOOD, TITANIUM FABRIC	40WX63L	WWW.ALLMODERN.COM
8	CASPIAN 5 PIECE DINING SET	ALL MODERN	NATURAL TEKWOOD, TITANIUM FABRIC	40WX40L	WWW.ALLMODERN.COM
8	DOUBLE VENT UMBRELLA	LEISURE CREATIONS FURNITUREHTTP://WWW.LEISURECREATIONSFURNITURE.COM	PACIFIC BLUE	9' OCTAGONAL	866-464-6575 WWW.LEISURECREATIONSFURNITURE.COM
10	SANTA BARBARA MODULAR SQUARE MODULAR SEAT - 6113	LEISURE CREATIONS FURNITUREHTTP://WWW.LEISURECREATIONSFURNITURE.COM	PACIFIC BLUE FABRIC, PLATINUM FRAME	DIMENSIONS (W X D X H): 34" X 34" X 25" SEAT HEIGHT: 16"	866-464-6575 WWW.LEISURECREATIONSFURNITURE.COM
5	SANTA BARBARA MODULAR CENTER MODULAR SEAT - 6103	LEISURE CREATIONS FURNITUREHTTP://WWW.LEISURECREATIONSFURNITURE.COM	PACIFIC BLUE FABRIC, PLATINUM FRAME	DIMENSIONS (W X D X H): 34" X 34" X 25" SEAT HEIGHT: 16"	866-464-6575 WWW.LEISURECREATIONSFURNITURE.COM
1	PREMIUM TABLE TOP SLAT PATTERN 42 X 60 SLAT RECTANGLE SLTR4260	LEISURE CREATIONS FURNITUREHTTP://WWW.LEISURECREATIONSFURNITURE.COM	PLATINUM FRAME	42 X 60 HEIGHT: 16"	866-464-6575 WWW.LEISURECREATIONSFURNITURE.COM
10	URBAN LOFT SIDE TABLE 15916	LEISURE CREATIONS FURNITUREHTTP://WWW.LEISURECREATIONSFURNITURE.COM	WHITE	16DX16W	866-464-6575 WWW.LEISURECREATIONSFURNITURE.COM
30	URBAN LOFT SLING CHAISE LOUNGE	LEISURE CREATIONS FURNITUREHTTP://WWW.LEISURECREATIONSFURNITURE.COM	CORNICHE GRAY FABRIC, ALUMINUM METALIC FRAME	32DX79W	866-464-6575 WWW.LEISURECREATIONSFURNITURE.COM
1	65" X 39" FLO FIRE TABLE	BROWN JORDAN FIRES BROWNJORDANFIRES.COM	GRAY/NATURAL	65" X 39" X 24" (CUSTOM HT.) WITH 12" HT. GLASS SHIELD	PHONE: 800-231-9790
1	SCARBOROUGH BENCH	LANDSCAPE FORMS LANDSCAPEFORMS.COM	POWDERCOATED COLOR TBD	BACKED 72" LENGTH WITH END ARMS	PHONE: 800-430-6209
3	DOG RECEPTACLE & DISPENSER STAND	PET PICKUPS PETPICKUPS.COM	TBD	6' HT.	PHONE: 303-443-8914
6 TOTAL (2 DIFFERENT SIZES)	LARKSPUR PLANTERS	LANDSCAPE FORMS LANDSCAPEFORMS.COM	TBD	(2) AT 30" TALL & (4) AT 24" TALL	PHONE: 800-430-6209
12 TOTAL (6 RECYCLE & 6 TRASH)	TRASH & RECYCLE RECEPTACLES	LANDSCAPE FORMS LANDSCAPEFORMS.COM	TBD	29" DIA. & 34 3/4" TALL	PHONE: 800-430-6209
1 PACKAGE OF	DOG PARK PLAY EQUIPMENT PACKAGE OF 10 ITEMS; MODEL RECFOO20XX, 'BEGGIN FOR MORE PACKAGE' (INCLUDES: CAMEL HUMP CLIMBER, THROUGH THE TUNNEL, HOME SWEET HOME, DOG LOG, JUMP THROUGH, LET'S REST, WALK THE PLANK, HIGH JUMP, STEPPING UP, & OVER AND UNDER	SUPERIOR RECREATIONAL PRODUCTS SUPERIORRECREATIONALPRODUCTS.COM	TBD	VARIOUS SIZES	866-547-4281 OR 617-244-3317 FOR LOCAL REP. DOUG KNOTTS



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3	02-03-20	VARIOUS REVISIONS
2	01-31-20	RESUBMITTED FOR LOCAL APPROVAL
1	12-20-19	ISSUED FOR LOCAL APPROVAL

APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
 9 WEST BROAD STREET, SUITE 800
 STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
 339 BOSTON POST ROAD EAST
 MARLBOROUGH, MA

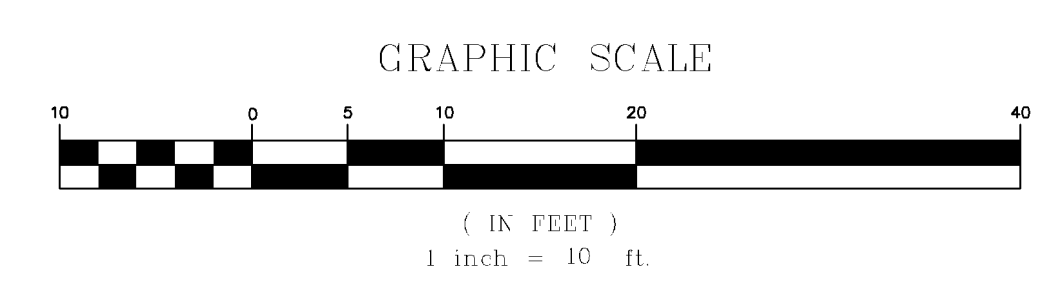
PROJECT NO. 2658-01 DATE: 12-20-2019
 SCALE: 1" = 40' DWG. NAME: C-2658-01
 DESIGNED BY: SJL/DMR CHECKED BY: CMQ

ALLEN & MAJOR ASSOCIATES, INC.
 civil & structural engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com
 100 COMMERCE WAY, SUITE 5
 WOBURN MA 01881
 TEL: (781) 935-6889
 FAX: (781) 935-2886

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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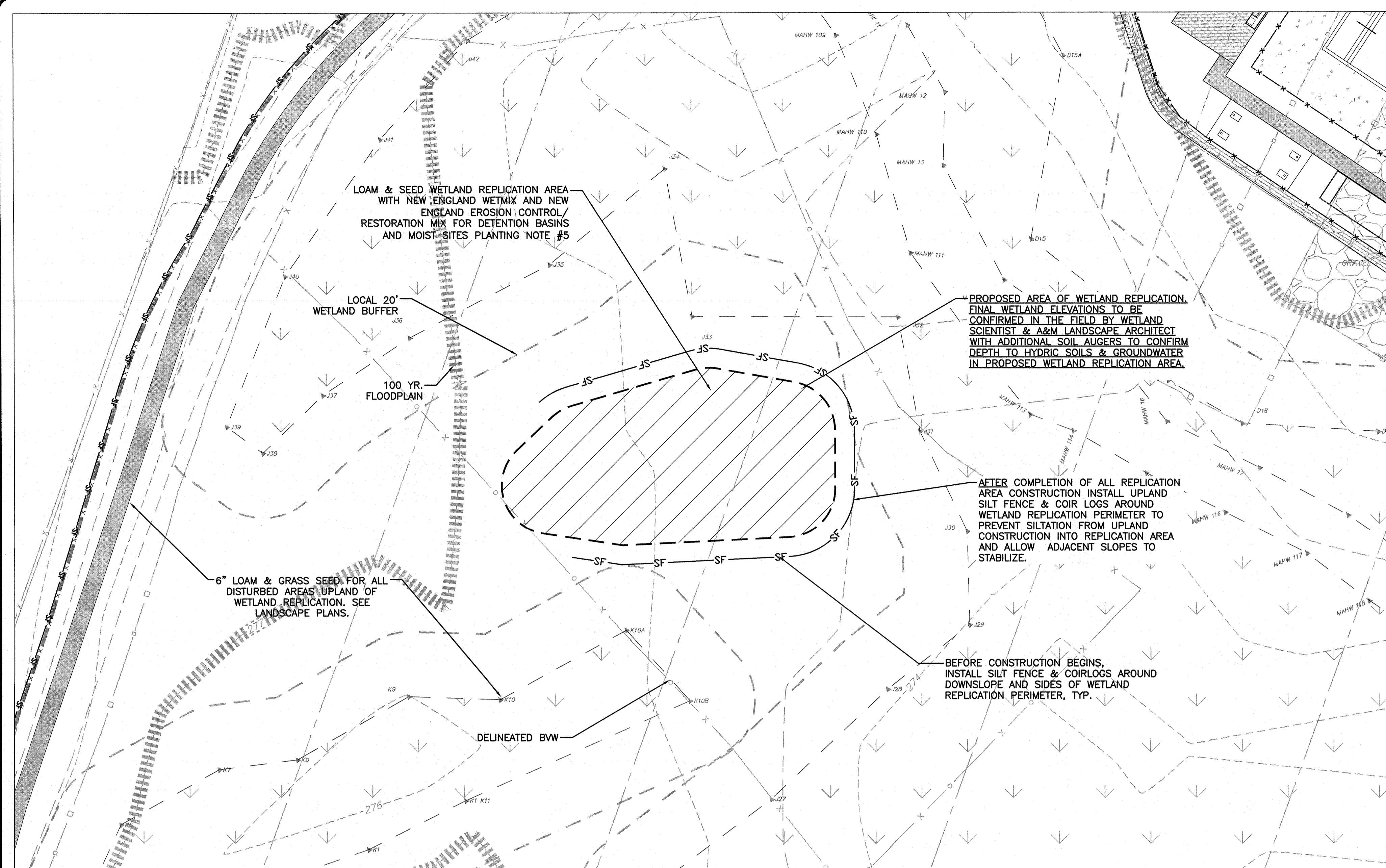
DRAWING TITLE: **HARDSCAPE & FURNISHINGS PLAN** SHEET No. **L-104**



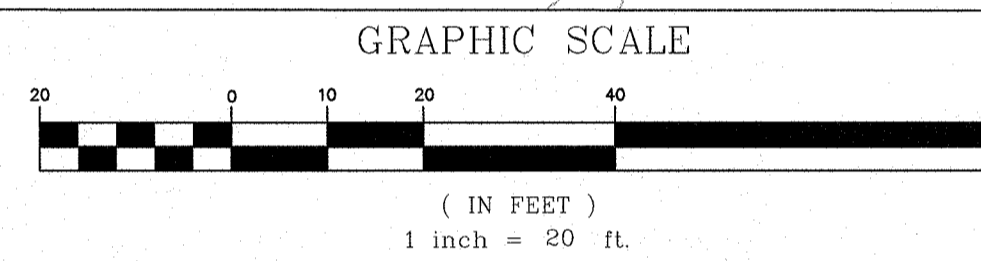
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N:\PROJECTS\2658-01\CIVIL DRAWINGS\CURRENT SITE PLANS\C-2658-01_HARDSCAPE MATERIALS PLAN.DWG



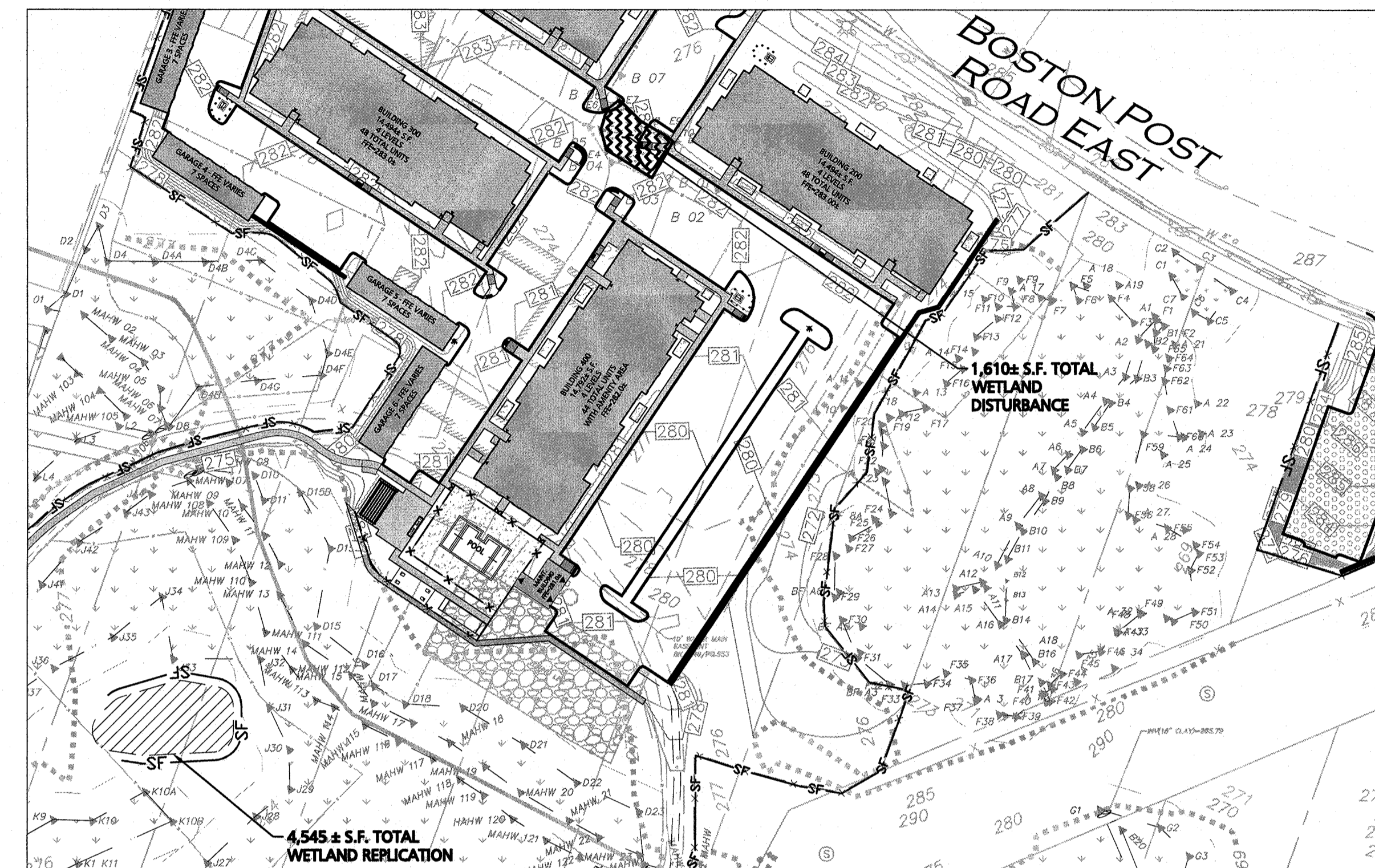
PROPOSED WETLAND REPLICATION
SCALE: 1"=20'



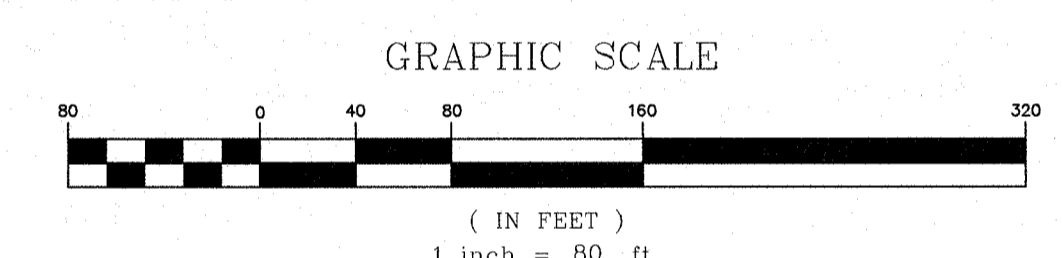
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 - ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE A MINIMUM DEPTH OF TOPSOIL TO BE DETERMINED IN THE FIELD. TOPSOIL AROUND TREES AND SHRUBS DOES NOT INCLUDE AMENDED PLANTING SOIL WITHIN TREE / SHRUB PIT FOR FULL DEPTH OF ROOTBALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED OR LOAM & SOD TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL CONTRACTOR, DEMOLITION CONTRACTOR, AND LANDSCAPE CONTRACTOR TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET AT NO ADDITIONAL COST TO OWNER. SEE TOPSOIL DETAIL.
 - SEE SHEET L-202 FOR ADDITIONAL WETLAND REPLICATION INFORMATION INCLUDING SOIL DETAIL.
 - THIS PLAN IS CONCEPTUAL IN NATURE ONLY. PLANTING LOCATIONS AND QUANTITIES SHALL BE DETERMINED AFTER GENERAL ACCEPTANCE OF WETLAND REPLICATION AREA.

LEGEND

PROPERTY LINE	-----
PERMANENT WETLAND DISTURBANCE	
WETLAND REPLICATION AREA	
PROPOSED CONTOUR	-0.1-
EXISTING CONTOUR	-80-
COIR LOGS W/ SILT FENCE	-SF-
EXIST. BVW/ BANK RESOURCE LIMITS	A-44



LOCUS MAPS FOR EXISTING WETLAND IMPACT & PROPOSED REPLICATION AREA
SCALE: 1"=80'



PLANTING KEY

COMMON NAME / SCIENTIFIC NAME	WETLAND STATUS	SYMBOL	QUANTITY	SIZE	NOTES
ACER RUBRUM RED MAPLE	FAC	AR	TBD	1.5"-2" CALIPER	----
NYSSA SYLVATICA SWEET GUM	FAC	NS	TBD	1.5"-2" CALIPER	----
CORNUS AMOMUM SILKY DOGWOOD	FACW	CAM	TBD	3'-4' HT.	----
CLETHRA ALNIFOLIA SUMMERSWEET	FAC+	CA	TBD	2'-3' HT.	----
VACCINIUM CORYBOSUM HIGHBUSH BLUEBERRY (CHOOSE 2 VARIETIES)	FACW	VC	TBD	#7 POT	(CHOOSE 2 VARIETIES) PLANT ONE MALE FOR EVERY 1 FEMALE
VIBURNUM DENTATUM SMOOTH ARROWWOOD	FAC	VA	TBD	#5 POT	----
OSMUNDA CINNAMONEA CINNAMON FERN	FACW	CS	TBD	#1 POT	(EACH CS SYMBOL REPRESENTS GROUPS OF 4 FERNS PLANTED TOGETHER)
ONOCLEA SENSIBILIS SENSITIVE FERN	FACW	OS	TBD	#1 POT	(EACH OS SYMBOL REPRESENTS GROUPS OF 4 FERNS PLANTED TOGETHER)

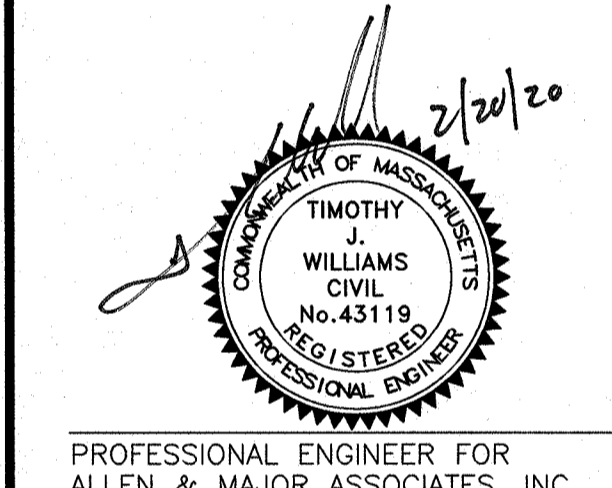
- GENERAL NOTES:
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 - SEE NOTES AND ABBREVIATIONS PLAN; SHEET C-001 FOR ADDITIONAL NOTES.
 - ALL EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN AND EROSION CONTROL PLANS SHALL BE IN PLACE PRIOR TO ANY RE-GRADING, DEMOLITION, OR PLANTING ACTIVITY.
 - EXCAVATION, FILLING AND PLANTING SHALL OCCUR IN DRY WEATHER. WATER LEVELS MAY BE LOWERED IN THE REPLICATION AREA BY RELYING ON DRY SEASON AND OR DRY SPELLS; OR MAY BE ACCOMPLISHED THROUGH THE USE OF TEMPORARY DEWATERING METHODS.
 - CONTRACTOR TO BE RESPONSIBLE FOR ALL DEWATERING OPERATIONS. WATER FROM ANY DEWATERING OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS, SHALL NOT OUTLET TO THE WETLANDS AND SHALL BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.
 - CONSTRUCTION OF THE REPLICATION AREA SHALL BE OVERSEEN BY A WETLAND SCIENTIST/ LANDSCAPE ARCHITECT EXPERIENCED IN WETLAND REPLICATION AND HIRED BY OWNER.
 - THERE MAY BE ADDITIONAL WETLAND REPLICATION CRITERIA FOUND IN THE ORDER OF CONDITIONS FROM THE MARLBOROUGH CONSERVATION COMMISSION. THE CONTRACTOR SHALL HAVE A COPY OF THESE REQUIREMENTS PRIOR TO COMMENCING CONSTRUCTION, AND SHALL REVIEW, AND COMPLY WITH THE ORDER OF CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
 - AS POSSIBLE, THE CONTRACTOR SHALL SALVAGE WETLAND SOIL FROM THE WETLAND DISTURBANCE CUT AREA TO BE USED WITHIN THE WETLAND REPLICATION AREA TO THE MAXIMUM EXTENT PRACTICABLE. PRIOR TO MOVING EXISTING WETLAND SOILS CONTRACTOR TO CONSULT WITH WETLAND SCIENTIST/ LANDSCAPE ARCHITECT FOR APPROVAL. NO UPLAND SOILS OR NORMAL LAWN TOPSOILS TO BE USED IN THE WETLAND REPLICATION AREA. THE SALVAGED SOILS SHOULD BE RELOCATED TO THE WETLAND REPLICATION AREA AS SOON AS PRACTICABLE. ADDITIONAL SOIL MATERIAL WILL BE REQUIRED AND BROUGHT FROM OFFSITE SOURCES. SEE INFORMATION ON SHEET L-202 & SOIL DETAIL FOR ADDITIONAL INFO. THE OFFSITE SOIL SHALL MATCH THE DUG WETLAND SOILS PROPERTIES INCLUDING SOIL TEXTURE, SOIL NUTRIENT ANALYSIS, AND SOIL COLOR. ANY SOILS BROUGHT FROM OFFSITE SOURCES SHALL BE TESTED BY A SOIL LABORATORY SUCH AS UMASS AMHERST SOILS TESTING LABORATORY FOR SOIL TEXTURAL ANALYSIS, ORGANIC CONTENT & SOIL PH PRIOR TO BEING PURCHASED.
 - IN THE WETLAND REPLICATION AREA, AVOID OVER COMPACTION OF SOILS BY ALLOWING TIME FOR NATURAL COMPACTION. NO ADDITIONAL MANUAL COMPACTION OF SOIL IS NECESSARY. OVERFILL THE PROPOSED SURFACE SLIGHTLY TO ACCOMMODATE NATURAL SETTLEMENT TO PROPER GRADE.
 - DO NOT USE HEAVY EQUIPMENT WITHIN THE WETLAND REPLICATION AREA. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER, TO SUPPLY THE SOILS ONLY. GRADE WETLAND REPLICATION AREA WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR DOZER WITH MARSH TRACKS.
 - CONTRACTOR SHALL SUBMIT SEED, PLANT, & SOIL SHOP DRAWINGS FOR REVIEW AND APPROVAL TO WETLAND SCIENTIST PRIOR TO ORDERING MATERIALS AND CONSTRUCTION.
 - SEE ADDITIONAL WETLAND REPLICATION INFORMATION ON SHEET L-202 INCLUDING WETLAND REPLICATION SOIL DETAIL.

NEW ENGLAND WETLAND PLANTS INC. SEED MIXES:
(SEE A&M NOTES FOR APPLICATION RATE OF SEED MIXES)
NEW ENGLAND WETMIX (WETLAND SEED MIX)

A. CAREX VULPINOIDEA	FOX SEDGE
B. CAREX LURIDA	LURID SEDGE
C. CAREX SCOPARIA	BLUNT BROOM SEDGE
D. VERBENA HASTATA	BLUE VERVAIN
E. PAO PALUSTRIS	FOWL BLUEGRASS
F. SCIRPUS ATROVIRENS	GREEN BULRUSH
G. CAREX LUPULINA	HOP SEDGE
H. ELOCHARIS PALUSTRIS	CREeping SPIKE RUSH
I. CAREX CRINITA	FRINGED SEDGE
O. JUNCUS EFFUSUS	SOFT RUSH
P. EUPATORIUM MACULATUM	SPOTTED JOE PYE WEED
Q. GLYCERIA CANADENSIS	RATTLESNAKE GRASS
R. ASTER PUNICEUS	SWAMP ASTER
S. IRIS VERSICOLOR	BLUE FLAG
T. ASOLEPIAS INCARNATA	SWAMP MILKWEED
U. MIMULUS RENGENS	SQUARE STEMMED MONKEY FLOWER

(BY NEW ENGLAND WETLAND PLANTS INC.)
EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES
(SEE A&M NOTES FOR APPLICATION RATE OF SEED MIXES)

A. ELYMUS RIPARIUS	RIVERBANK WILD RYE
B. FESTUCA RUBRA	CREeping RED FESCUE
C. SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM
D. ANDROPOGON GERARDII	BIG BLUESTEM
E. PANICUM VIRGATUM	SWITCH GRASS
F. AGROSTIS PERENNANS	UPLAND BENTGRASS
G. BIDENS CERNUA	NODDING BUR MARIGOLD
H. EUPATORIUM FISTULOSUM	HOLLOW-STEM JOE PYE WEED
I. ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER
R. EUPATORIUM PERFORIATUM	BONESET
S. VERBENA HASTATA	BLUE VERVAIN
T. JUNCUS EFFUSUS	SOFT RUSH
U. SCIRPUS CYPERINUS	WOOL GRASS



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
5	02-20-2020	VARIOUS REVISIONS

APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO. 2658-01 DATE: 02-20-2020

SCALE: AS NOTED DWG. NAME: C-2658-01

DESIGNED BY: SJL/DMR CHECKED BY: CMQ

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.
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environmental consulting • landscape architecture
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DRAWING TITLE: SHEET NO.
CONCEPTUAL WETLAND REPLICATION PLAN L-201

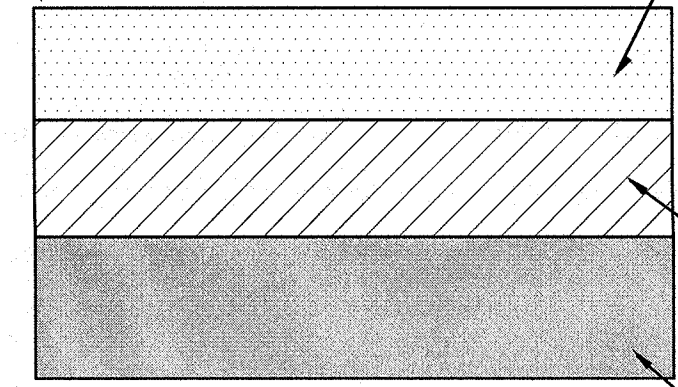
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SOIL COMPOSITION

CREATE A SOIL PROFILE NEAREST THE ADJACENT EXISTING UNDISTURBED WETLAND TO THE REPLICATION AREA.

ADD WOODY DECAYING MATERIAL & LOGS ON TOP FOR STRUCTURE



A HORIZON (TOPSOIL) 18" MIN. DEPTH (AFTER SETTLEMENT)
 (MIX OF BOTH ONSITE CUT WETLAND SOILS AND OFFSITE SOURCE. BOTH ONSITE & OFFSITE SOILS TO BE (DARK (10YR 2/1, RICH, MUCKY HORIZON), DARK, ORGANIC RICH SOIL, LOOSE TO FRABLE CONSISTENCY; NO HAZARDOUS MATERIAL, MISC. DEBRIS, OR TRASH. NO STONES GREATER THAN 1".

TWO OPTIONS FOR PROVIDING SPECIALTY CUSTOM MIXED WETLAND SOILS INCLUDE: DIRT DOCTORS (709 KEITH AVE, PEMBROKE, NH 803-229-3200), AND READ CUSTOM SOILS (A DIVISION OF A.D. MAKEPEACE (46 FEDERAL ROAD CARVER, MA & 37 POWER ROAD, WESTFORD, MA 800-924-5335). CONTRACTOR CAN ALSO USE ADDITIONAL OFFSITE SOURCES FOR WETLAND REPLICATION SOIL. BOTH SOILS PURCHASED FROM ABOVE OPTIONAL SOURCES & ANY OTHER SOURCES MUST MEET THE BELOW SPECIFICATION. ALL OFFSITE SOILS TO BE VERIFIED BY SHOP DRAWING TO A&M & MEET BELOW REQUIREMENTS PRIOR TO PURCHASE. SEE BELOW NOTES.

B HORIZON (AS APPLICABLE)
 EXISTING UNDISTURBED LAYER
 SUITABLE DEPTH AS A ROOTING MEDIUM

C HORIZON (AS APPLICABLE)
 EXISTING UNDISTURBED LAYER
 SUITABLE DEPTH AS A ROOTING MEDIUM

NOTES:

- TOP OF LOAM (TOPSOIL) IS FINISHED GRADE.
- SOILS FOR WETLAND REPLICATION AREA TO BE A MIX OF BOTH ONSITE WETLAND SOIL FROM DISTURBED AREA & OFFSITE SPECIALTY BLEND WETLAND SOILS THAT MEET THIS DETAIL SPECIFICATION. AS WETLAND REPLICATION AREA IS LARGER THAN DISTURBED AREA A LARGE PERCENTAGE OF WETLAND REPLICATION SOIL IS TO BE PROVIDED FROM OFFSITE SOURCE. EXACT DEPTH OF EXISTING DISTURBED WETLAND SOIL TO CUT & STOCKPILE IS TO BE DETERMINED BASED ON WETLAND SCIENTIST ANALYSIS OF EXISTING SOIL. SPECIALTY BLEND WETLAND SOIL FROM BROUGHT FROM OFFSITE SHALL BE SUPPLIED AT NO ADDITIONAL COST TO THE OWNER. FOR ALL SOILS BROUGHT FROM OFFSITE SOURCES TO BE USED AS WETLAND REPLICATION SOILS THE FOLLOWING SHALL APPLY:
 - SOILS SHALL BE CLASSIFIED AS LOAMY SAND, TO SILT LOAM TEXTURE RANGE PER USDA TEXTURAL TRIANGLE AND FREE OF INVASIVE SEED SPECIES. MAXIMUM CLAY CONTENT IS LESS THAN 10%, 15-40% SAND, 50-70% SILT, AND 10-15% LEAF COMPOST (AGED LEAF MULCH AND ORGANIC MATTER AS AVAILABLE FROM NEWLAND FARMS, 145 NEWLAND STREET NORTON, MA 508-285-3169). PROVIDE TEXTURAL ANALYSIS OF OFFSITE SOILS TO A&M LANDSCAPE ARCHITECT BY SHOP DRAWING FOR APPROVAL.
 - SOILS SHALL BE COMPOSED OF A NATURAL, FERTILE, FRABLE SOIL TYPICAL OF THE ADJACENT WETLAND SOILS. THE SOILS SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH AND MATCH THE PARTICLE DISTRIBUTION AND ORGANIC CONTENT REQUIREMENTS BELOW. TOPSOIL SHALL BE FREE OF ANY OBJECTS GREATER THAN 1 INCH IN DIAMETER INCLUDING STONES, EARTH CLODS, OR STICKS. IT SHALL CONTAIN NO STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEOUS MATTER OR DEBRIS NOR SHALL CONTAIN TOXIC SUBSTANCES.
 - THE CONTRACTOR SHALL PROVIDE THE A&M LANDSCAPE ARCHITECT WITH SOIL TEST RESULTS (RECOMMEND UMASH AMHERST SOIL TESTING LAB) FOR APPROVAL BY THE WETLAND SCIENTIST PRIOR TO PURCHASING AND PLACING THE SOIL. IF THE PLANTING SOIL DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE. IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER. IF CONTRACTOR PROCEEDS WITH PURCHASE & SPREADING OF EITHER ONSITE & OFFSITE LOAM PRIOR TO RECEIVING SHOP DRAWING APPROVAL IT IS AS THE CONTRACTORS RISK & LOAM REMOVAL WILL BE AT CONTRACTORS COST.
 - TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. SOILS SHALL CONTAIN AT LEAST 10% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE ABOVE TEXTURE CLASS.
 - THE MINIMUM DEPTH OF THE PROPOSED WETLAND/ORGANIC SOIL SHALL BE DETERMINED IN FIELD. ADDITIONAL DEPTH MAY BE REQUIRED TO BE CONSISTENT WITH THE ADJACENT WETLAND AREA.

1 WETLAND REPLICATION SOIL
 NOT TO SCALE

GENERAL WETLAND REPLICATION NOTES:

- CONTRACTOR PERFORMING WETLAND REPLICATION TO HAVE PRIOR WETLAND REPLICATION CONSTRUCTION EXPERIENCE AND QUALIFICATIONS NECESSARY TO PROVIDE A HIGH QUALITY WETLAND REPLICATION AREA.
- EXCAVATION, FILLING AND PLANTING SHALL OCCUR IN THE DRY. WATER LEVELS MUST BE LOWERED IN THE AREA BY RELYING ON DRY SEASON OR DRY SPELLS; OR MAY BE ACCOMPLISHED THROUGH THE USE OF DEWATERING METHODS. WATER FROM ANY DEWATERING OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS AND BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.

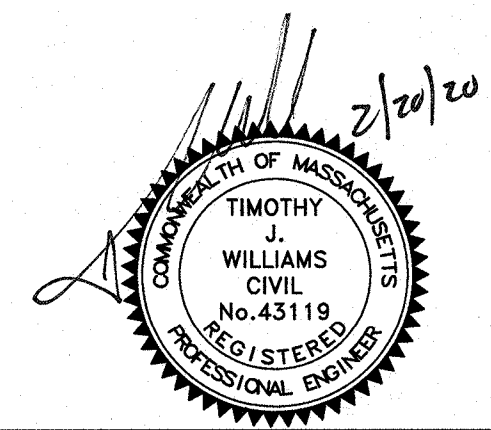
PROPOSED CONSTRUCTION SEQUENCING:

- STAKE THE LIMITS OF WORK. THE WETLAND REPLICATION AREA SHALL BE STAKED BY A LICENSED LAND SURVEYOR.
- INSTALL EROSION CONTROL. PLACE AND STAKE THE SILTATION FENCING & COIR LOGS FOR EROSION CONTROL.
- PREPARE THE REPLICATION AREA. NOTE WHICH EXISTING TREES TO REMAIN (IF ANY) AND THESE ARE BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCING.
- EXCAVATION AND SOIL REPLACEMENT. THE EXISTING TRASH, BOULDERS, AND EXISTING UPLAND FILL SOILS ARE TO BE REMOVED DOWN TO A DEPTH 18 INCHES BELOW THE FINISH GRADE ELEVATIONS AND FINE GRADED. ANY BOULDERS, ROCK LEDGE, STONES, CUT MATERIAL, EXISTING OLD FILL MATERIAL AND ANY EXISTING TRASH WITHIN THE REPLICATION AREA IS TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF AT NO ADDITIONAL COST TO THE OWNER. AFTER EXCAVATION IS COMPLETED, AN AVERAGE OF 18 INCHES OF TOPSOIL ARE TO BE REPLACED IN THE WETLAND REPLICATION AREA, IN 6" LIFTS. WHEN USING TOPSOILS FROM OFF-SITE SOURCES DO NOT USE PEAT OR OTHER SOILS FROM AREAS WHERE PHRAGMITES, PURPLE LOOSESTRIFE, JAPANESE KNOWWEED ARE GROWING SINCE THESE PLANTS ARE HIGHLY INVASIVE AND HAVE NO WILDLIFE FOOD VALUE.
- TREE AND SHRUB PLANTING. TREE & SHRUB PLANTING SIZES SHALL BE AT THE MINIMUM SIZE AS PER THE PLANT SCHEDULE. THE PLANTINGS SHALL NOT BE IN ROWS BUT MORE RANDOMLY SPACED FOR A MORE NATURAL LOOK TO DUPLICATE THE EXISTING WETLANDS. COORD. WITH WETLAND SCIENTIST FOR STAKING OF PLANT LOCATIONS ONSITE. PROVIDE 1 WEEKS NOTICE PRIOR TO STAKING.
- HERB PLANTING. AFTER THE TREES, SHRUBS, AND FERNS HAVE BEEN PLANTED, THE WETLAND REPLICATION AREA SHOULD BE SEEDED WITH THE NEW ENGLAND WETLAND SEED MIXES AS SPECIFIED AND AVAILABLE FROM: NEW ENGLAND WETLAND PLANTS, INC. SEE TABLE SHEET L-201 FOR SEEDS.
- AFTER PLANTING IS COMPLETE, PLACE AND STAKE ADDED COIR LOGS & SILTATION FENCING ON THE UPLAND SIDE OF THE REPLICATION AREA FOR EROSION CONTROL DURING INITIAL ESTABLISHMENT. IN UPLAND AREAS ONLY, AN UPLAND MIX SHALL BE APPLIED TO NON-WETLAND AREAS TO PROVIDE VEGETATIVE COVER AND EROSION CONTROL. SEE LANDSCAPE PLAN FOR UPLAND LAWN SEED MIX COMPONENTS. IN THIS STEP, THE EROSION CONTROLS WILL BE PLACED ABOVE THE FINISH GRADE OF THE NEWLY CREATED WETLAND REPLICATION AREA. THE GOAL OF THIS FINAL PLACEMENT OF EROSION CONTROLS IS TO PREVENT SEDIMENT FROM BEING DEPOSITED WITHIN THE NEW WETLAND AREA.
- REMOVAL OF HAYBALES AND SILT FENCE. ONCE VEGETATION IS ESTABLISHED, THE HAYBALES AND SILT FENCE CAN BE REMOVED ONLY WITH THE APPROVAL OF THE MARLBOROUGH CONSERVATION COMMISSION. CONTRACTOR TO BE FAMILIAR WITH AND FOLLOW ALL MARLBOROUGH CONSERVATION COMMISSION ORDER OF CONDITIONS REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.

PLANTING NOTES:

- CONTRACTOR PERFORMING WETLAND REPLICATION TO HAVE PRIOR WETLAND REPLICATION CONSTRUCTION EXPERIENCE AND QUALIFICATIONS NECESSARY TO PROVIDE A HIGH QUALITY WETLAND REPLICATION AREA.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MARLBOROUGH, MA.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT / WETLAND SCIENTIST IN THE FIELD.
- SOIL SAMPLES AND TESTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER AND APPROVED PRIOR TO PLACEMENT.
 - NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES (SEE SEED MIX SPECIFICATION ON L-201)
 - EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES (SEE SEED MIX SPECIFICATION ON SHEET L-201)

MIX BOTH THE 2 SEED MIXES TOGETHER AT A RATIO OF 80% (WETMIX)/ 20% (EROSION CONTROL/ RESTORATION MIX) AND SPREAD AT A RATIO OF 1 LB PER 600 SQ. FT. SEED MIXES AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, 820 WEST ST., AMHERST, MA, 413-548-8000. LIGHTLY RAKE SOIL TO ENSURE GOOD SEED-TO-SOIL CONTACT. AFTER SEEDING, WETLAND REPLICATION AREA TO BE LIGHTLY MULCHED WITH WEED FREE STRAW (USE NO HAY) SO THAT SEED IS KEPT MOIST.
- ALL SEEDED & PLANTED AREAS TO BE TEMPORARILY IRRIGATED BY CONTRACTOR UNTIL ESTABLISHMENT AND ACCEPTANCE. CONTRACTOR RESPONSIBLE FOR RE-SEEDING AS NECESSARY AND MAINTENANCE UNTIL ESTABLISHMENT AND ACCEPTANCE.
- PRIOR TO LAYING TOPSOIL, ALL SUBSOIL TO BE TILLED TO A DEPTH OF AT LEAST 12" TO REMOVE CONSTRUCTION COMPACTION AND ALLOW FOR PROPER DRAINAGE OF TOPSOILS.
- FERNS WILL BE PLANTED IN GROUPS OF 4.
- WETLAND SPECIES IN REPLICATION AREA TO BE 75% ESTABLISHED WITHIN TWO YEARS OF PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR TWO YEARS FOLLOWING DATE OF ACCEPTANCE. ALL PLANTINGS SHALL BE MONITORED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST DURING THIS PERIOD.
- ALL DISTURBED UPLAND AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & UPLAND SEED MIX. LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER AS SPECIFIED ONE FOOT ABOVE THE ROOT CROWN.
- CONTRACTOR RESPONSIBLE FOR WATERING AND MAINTENANCE OF LAWN AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- CONTRACTOR SHALL SUBMIT SOIL AND SEED SAMPLES AND TEST RESULTS FROM A TESTING AGENCY FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
5	02-20-2020	VARIOUS REVISIONS

APPLICANT/OWNER:
 WP MARLBOROUGH MA OWNER, LLC
 9 WEST BROAD STREET, SUITE 800
 STAMFORD, CT 06902

PROJECT:
 MULTI-FAMILY DEVELOPMENT
 339 BOSTON POST ROAD EAST
 MARLBOROUGH, MA

PROJECT NO. 2658-01 DATE: 02-20-2020

SCALE: NTS DWG. NAME: C-2658-01

DESIGNED BY: SIL/DMR CHECKED BY: CMQ



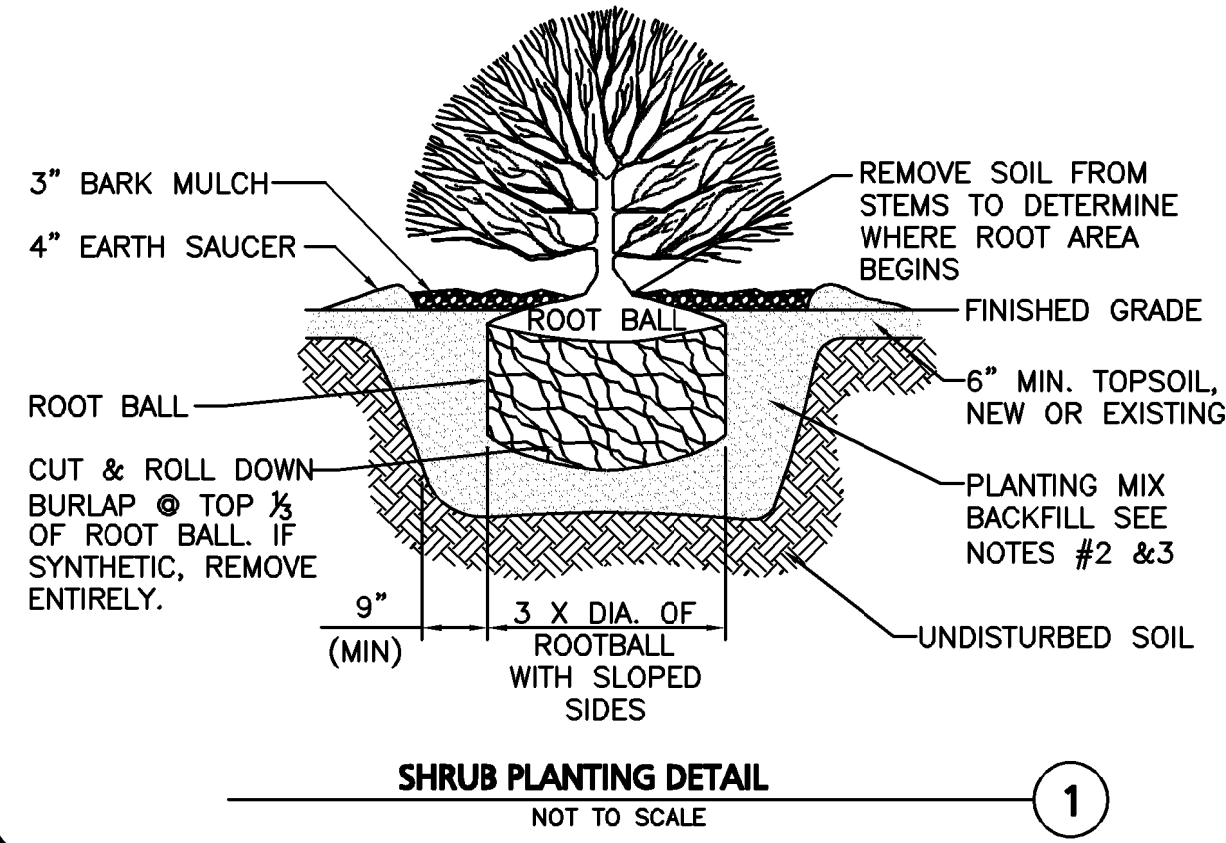
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CUSTOMER REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENTS AUTHORITY ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

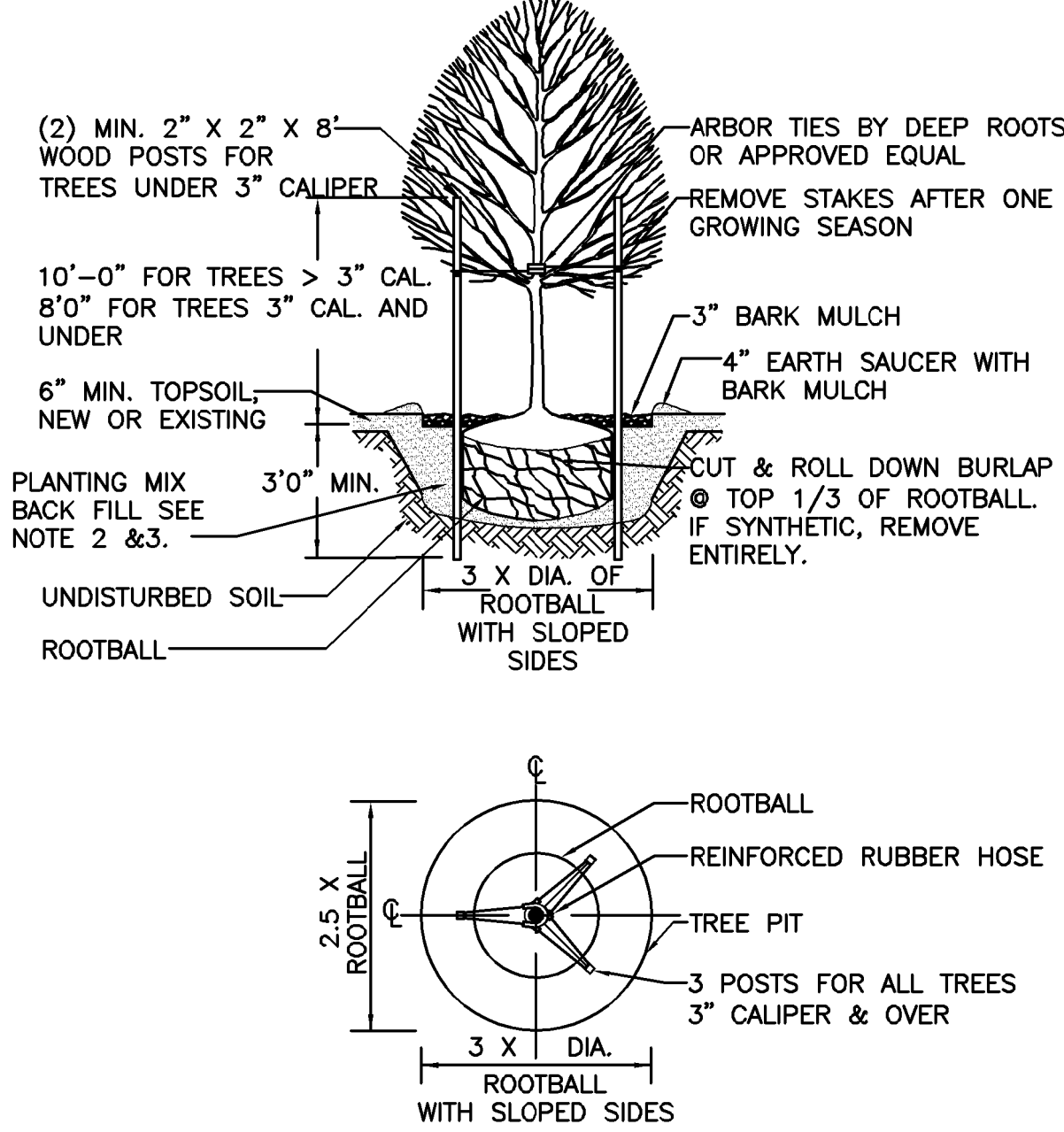
DRAWING TITLE: WETLAND REPLICATION DETAILS SHEET NO. L-202



- NOTES:**
1. ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. SET SHRUB 1"-2" ABOVE FINISH GRADE.
 2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
 3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.
 4. SHRUB BEDS TO HAVE 24" MIN. OF CONTINUOUS PLANTING SOIL.

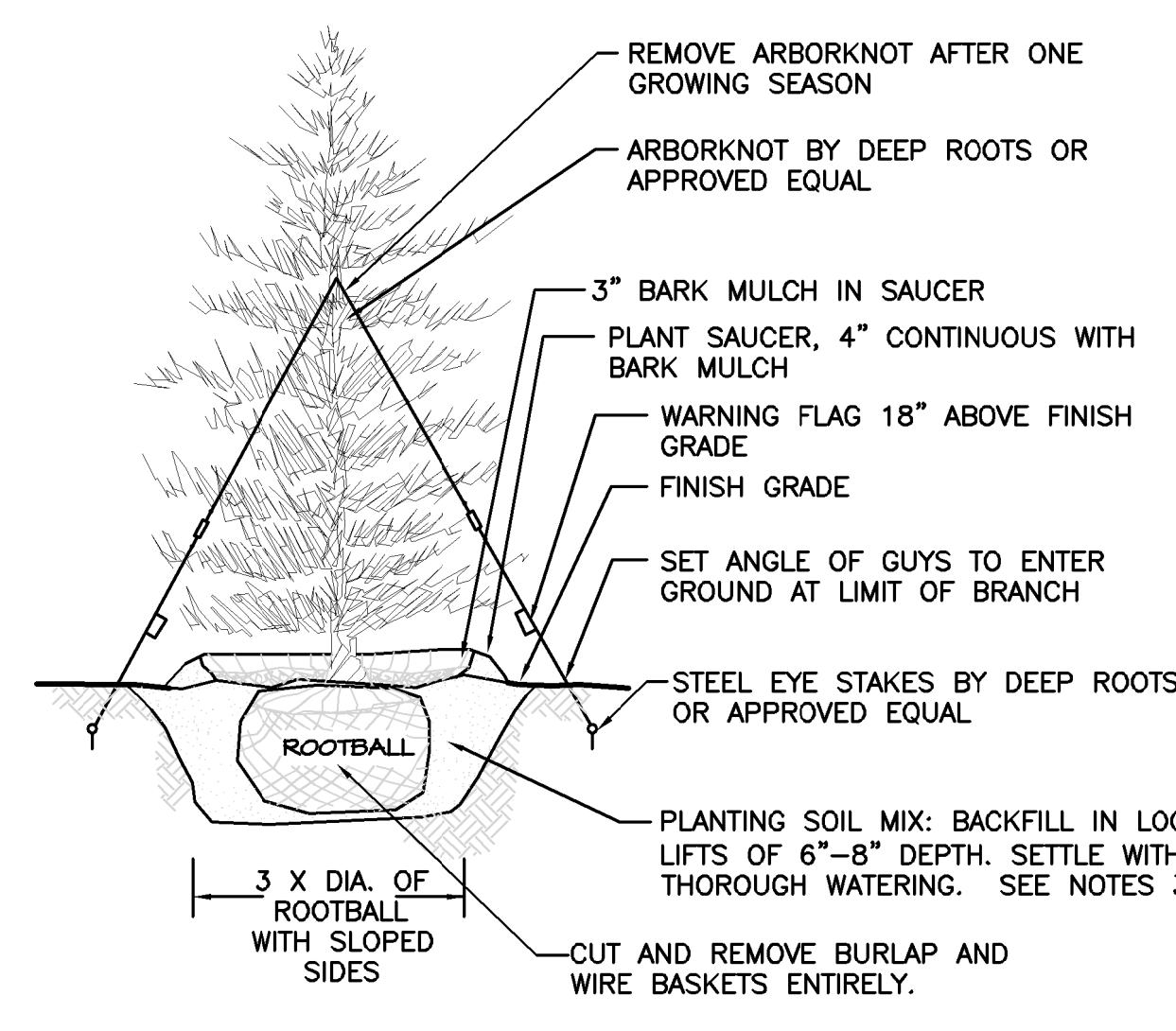


SHRUB PLANTING DETAIL
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:**
1. ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
 2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
 3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.



- NOTES:**
1. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
 2. INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL.
 3. ATTACH GUYS AT 2/3 HEIGHT OF TREE.
 4. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
 5. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

EVERGREEN TREE DETAIL
NOT TO SCALE

ADDITIONAL SEED MIX SPECIFICATIONS FOR DETENTION BASINS, AND ALL SLOPE AREAS: (AS NOTED ON THE PLAN)

NEW ENGLAND WETLAND PLANTS
820 WEST STREET, AMHERST, MA 01002
PHONE: 413-548-8000 FAX 413-549-4000
EMAIL: INFO@NEWPC.COM WEB ADDRESS: WWW.NEWPC.COM

NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES

BOTANICAL NAME	COMMON NAME	INDICATOR
ELYMUS RIPARIUS	RIVERBANK WILD RYE	FACW
FESTUCA RUBRA	RED FESCUE	FACU
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	FACU
PANICUM VIRGATUM	SWITCH GRASS	FAC
ANDROPOGON GERARDII	BIG BLUESTEM	FACW
VERBENA HASTATA	BLUE VERVAIN	FACW
AGROSTIS PERENNANS	UPLAND BENTGRASS	FACU
BIDENS CERNUA	NODDING BUR MARGOLD	OBL
EUPATORIUM FISTULOSUM	HOLLOW-STEM JOE PYE WEE	FACW
EUPATORIUM PERFORLATUM	BONESET	FACW
ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	FACW
SCIRPUS CYPERINUS	WOOL GRASS	FACW
JUNCUS EFFUSUS	SOFT RUSH	FACW+

THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE GENERALLY MOIST, RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. IT IS AN APPROPRIATE SEED MIX FOR ECOLOGICALLY SENSITIVE RESTORATIONS THAT REQUIRE STABILIZATION AS WELL AS LONG-TERM ESTABLISHMENT OF NATIVE VEGETATION. THIS MIX IS PARTICULARLY APPROPRIATE FOR DETENTION BASINS THAT DO NOT HOLD STANDING WATER. MANY OF THE PLANTS IN THIS MIX CAN TOLERATE INFREQUENT INUNDATION, BUT NOT CONSTANT FLOODING. THE MIX MAY BE APPLIED BY HAND, BY MECHANICAL SPREADER, OR BY HYDROSEEDER. AFTER SOWING, LIGHTLY RAKE, ROLL OR CULTIPACK TO INSURE GOOD SEED-TO-SOIL CONTACT. BEST RESULTS ARE OBTAINED WITH A SPRING OR LATE SUMMER SEEDING. LATE FALL AND WINTER DORMANT SEEDING REQUIRES AN INCREASE IN THE APPLICATION RATE. A LIGHT MULCHING OF CLEAN, WEED-FREE STRAW IS RECOMMENDED.

PRICE PER LB \$34.00 MIN. QUANTITY 3 LBS. TOTAL: \$102.00 APPLY: 35 LBS/ACRE :1250 SQ FT/LB

NEW ENGLAND WETLAND PLANTS
820 WEST STREET, AMHERST, MA 01002
PHONE: 413-548-8000 FAX 413-549-4000
EMAIL: INFO@NEWPC.COM WEB ADDRESS: WWW.NEWPC.COM

NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY SITES

BOTANICAL NAME	COMMON NAME	WETLAND INDICATOR
ELYMUS CANADENSIS	CANADA WILD RYE	FACU+
FESTUCA RUBRA	RED FESCUE	FACU
LOLIUM MULTIFLORUM	ANNUAL RYEGRASS	FACU
LOLIUM PERENNE	PERENNIAL RYEGRASS	FACU
PANICUM VIRGATUM	SWITCH GRASS	FAC
SORGHASTRUM NUTANS	INDIAN GRASS	UPL
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	FACU
AGROSTIS PERENNANS	UPLAND BENTGRASS	FACU

THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY SITES PROVIDES AN APPROPRIATE SELECTION OF NATIVE AND NATURALIZED GRASSES TO ENSURE THAT DRY AND RECENTLY DISTURBED SITES WILL BE QUICKLY REVEGETATED AND THE SOIL SURFACE STABILIZED. IT IS AN APPROPRIATE SEED MIX FOR ROAD CUTS, PIPELINES, STEEPER SLOPES, AND AREAS REQUIRING QUICK COVER DURING THE ECOLOGICAL RESTORATION PROCESS. THE MIX MAY BE APPLIED BY HYDRO-SEEDING, BY MECHANICAL SPREADER, OR ON SMALL SITES IT CAN BE SPREAD BY HAND. LIGHTLY RAKE, ROLL OR ENSURE PROPER SOIL-SEED CONTACT. BEST RESULTS ARE OBTAINED WITH A SPRING OR LATE SUMMER SEEDING. LATE SPRING THROUGH MID-SUMMER SEEDING WILL BENEFIT FROM A LIGHT MULCHING OF WEED-FREE STRAW TO CONSERVE MOISTURE. IF CONDITIONS ARE DRIER THAN USUAL, WATERING WILL BE REQUIRED. FERTILIZATION IS NOT REQUIRED UNLESS THE SOILS ARE PARTICULARLY INFERTILE. PREPARATION OF A CLEAN WEED FREE SEED BED IS NECESSARY FOR OPTIMAL RESULTS.

PRICE PER LB \$15.00 MIN. QUANTITY 5 LBS. TOTAL: \$75.00
APPLY: 35 LBS/ACRE :1250 SQ FT/LB



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3	02-03-20	VARIOUS REVISIONS
2	01-31-20	RESUBMITTED FOR LOCAL APPROVAL
1	12-20-19	ISSUED FOR LOCAL APPROVAL

APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO.	265801	DATE:	12-20-2019
SCALE:	NTS	DWG. NAME:	C265801

DESIGNED BY: SJL/DMR CHECKED BY: CMQ



WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: LANDSCAPE DETAILS SHEET No. L-501

LANDSCAPE NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MARLBOROUGH, MA.
2. PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
4. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
5. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIALS WHICH DIE WITHIN THE ONE YEAR PLANT GUARANTEE PERIOD WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. OWNERS TO COORDINATE DIRECTLY WITH THE LANDSCAPE CONTRACTOR FOR REPLACEMENT PLANTINGS.
10. ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED LAWNS WITH 3:1 OR STEEPER (GREATER) SLOPES SHALL BE PROTECTED WITH JUTE EROSION CONTROL NETTING.
11. ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
12. TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
13. ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH
14. ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
15. ALL TREE STAKES SHALL BE STAINED DARK BROWN.
16. CONTRACTOR RESPONSIBLE FOR WATERING, MAINTENANCE, FERTILIZING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
17. ALL PARKING ISLANDS PLANTED WITH SHRUBS OR PERENNIALS SHALL HAVE 24" OF TOPSOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
18. SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
19. A MINIMUM 18" WIDE BARRIER OF 1" GRAY OR TAN PEASTONE SHALL BE INSTALLED IN ALL PLANT BEDS WHICH ADJUT THE BUILDINGS. NO MULCH IS ALLOWED WITHIN 18" OF ALL BUILDINGS PER THE EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY DEPARTMENT OF FIRE SERVICES REGULATION (527 CMR 17.000). INSTALL 6" DEEP OF PEASTONE WITH MIRAFI WEED FABRIC BENEATH AND STEEL EDGING BETWEEN THE PEASTONE AND ADJACENT MULCH BED. PROVIDE SHOP DRAWINGS TO A&M FOR APPROVAL PRIOR TO PURCHASE OF PEASTONE, MIRAFI WEED FABRIC & STEEL EDGING.
20. ALL PROPOSED LANDSCAPE AREAS INCLUDING MOWED LAWNS, TREES, SHRUB BEDS, PERENNIALS, AND ANNUALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILDER CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING: USE OF DRIP IRRIGATION FOR TREES, SHRUBS AND PERENNIALS, IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE, A CENTRAL SHUT-OFF VALVE, SEPARATE ZONES FOR EACH TYPE OF BEDDING AREA BASED ON WATERING NEEDS, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.
21. PRIOR TO LAYING TOPSOIL, ALL SUBSOIL (BELOW PROPOSED TOPSOIL) TO BE TILLED TO A DEPTH OF AT LEAST 18" TO REMOVE CONSTRUCTION COMPACTION AND ALLOW FOR PROPER DRAINAGE OF TOPSOILS.
22. SEEDING OF DETENTION AREAS & OTHER SLOPE AREAS SHALL OCCUR IN THE DRY & AFTER SLOPES ARE COMPACTED. IT IS IMPORTANT THAT THE DETENTION BASIN BE SEEDED AT THE BEGINNING OF THE PROJECT & PRIOR TO ANY DRAINAGE BEING DIRECTED TOWARDS THE BASIN. THE SEED AT DETENTION AREAS & OTHER SLOPED AREAS WILL NEED A MIN. OF 6 MONTHS TO INITIALLY ESTABLISH PRIOR TO THE DETENTION BASIN BEING UTILIZED SO THAT THERE IS NOT EROSION & SLOPE FAILURE. SEED MIXES AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, 820 WEST ST., AMHERST, MA, 413-548-8000. LIGHTLY RAKE SOIL TO ENSURE GOOD SEED-TO-SOIL CONTACT. SEE SEED MIX DETAIL NOTES.

ALL SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SEEDING OF BARE SPOTS. AT ALL SLOPED AREAS CONTRACTOR TO INSTALL COCOONIT FIBER JUTE MESH NETTING ON ALL SLOPES 3:1 AND OVER. HYDROSEED ALL EXPOSED AREAS. ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE) AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS AT NO ADDITIONAL COST TO OWNER. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER.

AFTER SEEDING, ALL AREAS TO BE LIGHTLY MULCHED WITH WEED FREE STRAW & CONTINUALLY WATERED EVERY DAY UNTIL SEED IS ESTABLISHED & APPROVED BY A&M LANDSCAPE ARCHITECT (USE NO HAY) SO THAT SEED IS KEPT MOIST. FOR SPREADING OF THE SEED WITH DRY DETENTION BASINS, WATER LEVELS MAY BE LOWERED IN THE DETENTION AREAS BY RELYING ON DRY SEASON AND OR DRY SPELLS; OR MAY BE ACCOMPLISHED THROUGH THE USE OF DEWATERING METHODS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ANY DEWATERING METHODS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. WATER FROM ANY DEWATERING OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS AND BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.

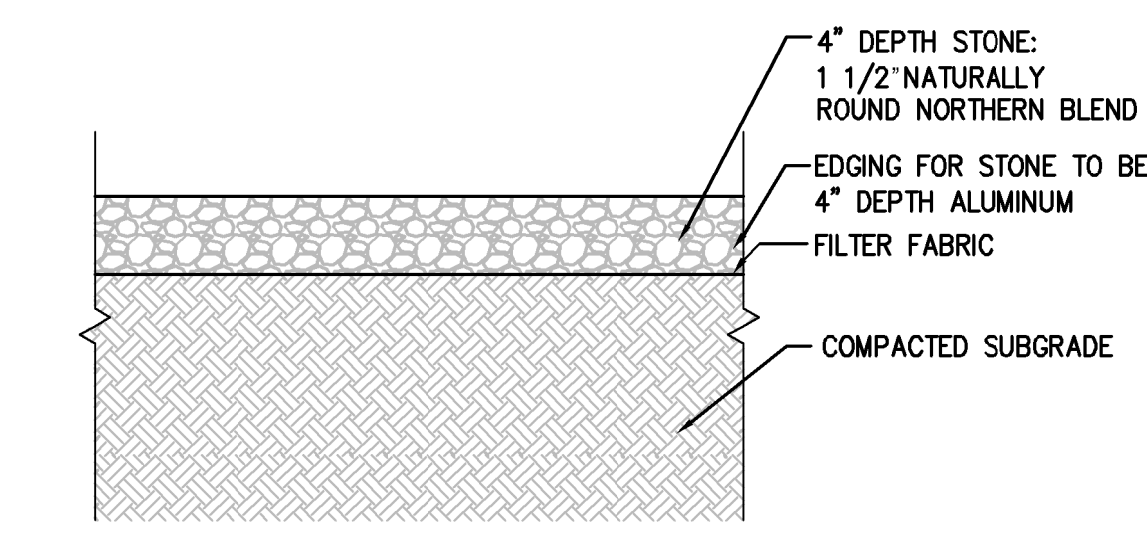
SPREAD THE NEW ENGLAND SEED MIXES AT AREAS SHOWN ON THE PLAN. SEE SEED MIX DETAIL NOTES. SEED MIXES AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, 820 WEST ST., AMHERST, MA, 413-548-8000. LIGHTLY RAKE SOIL TO ENSURE GOOD SEED-TO-SOIL CONTACT.

- NOTES:**
1. TOP OF LOAM (TOPSOIL) IS FINISH GRADE.

2. ALL TOPSOIL SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. ALL TOPSOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW TOPSOIL SHALL BE TAKEN FROM AN OFFSITE WELL-DRAINED, ARABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLODS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
3. THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMass AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF ANY TOPSOIL IS PURCHASED OR PLACED PRIOR TO APPROVAL BY OWNER / LANDSCAPE ARCHITECT, IT IS AT CONTRACTORS RISK AND IT CAN BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. IF THE TOPSOIL DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
4. ALL TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

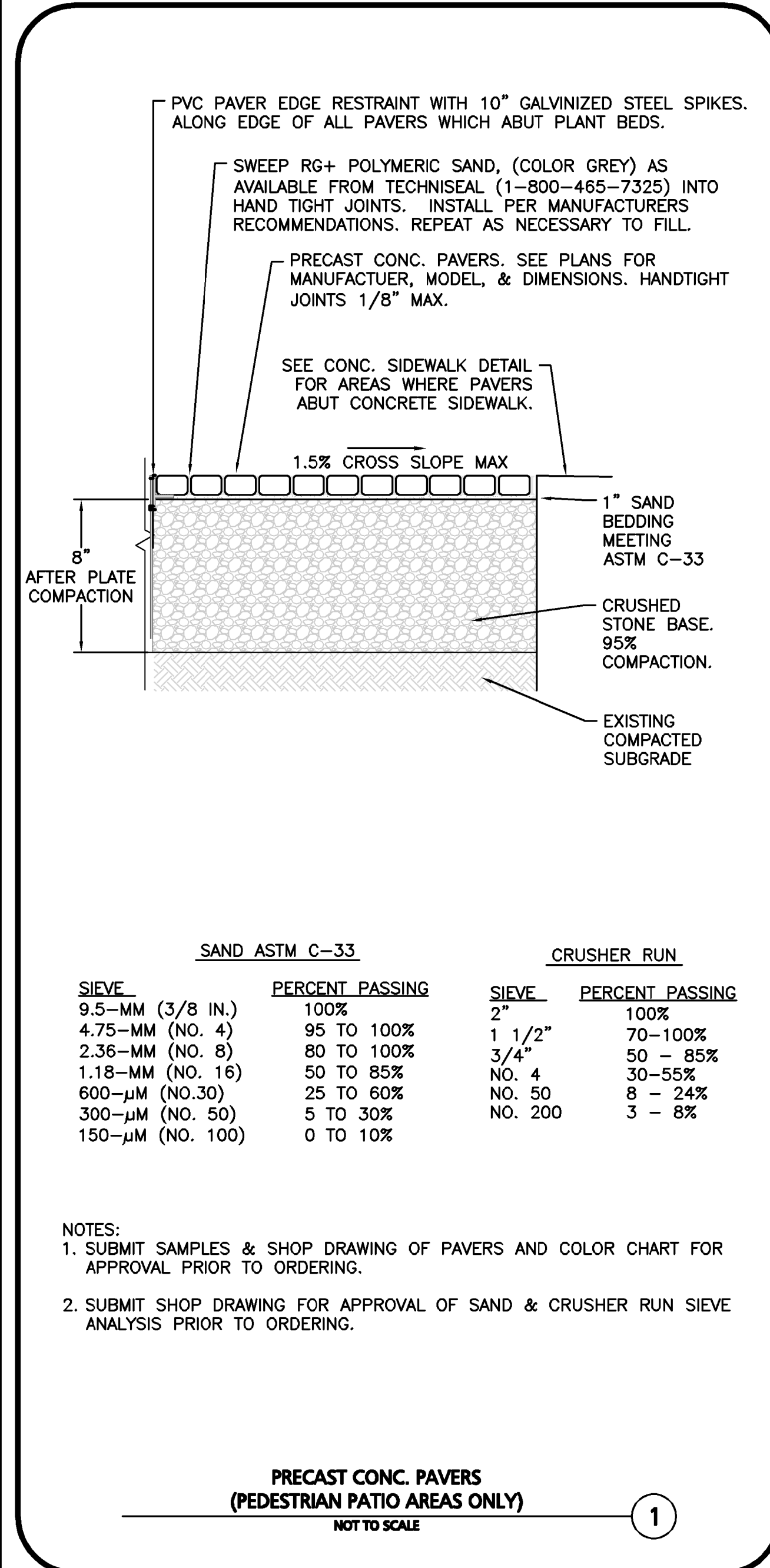
TOPSOIL FOR LAWN, SEEDED AREAS, TREES, SHRUBS, & PERENNIALS

NOT TO SCALE



LANDSCAPE STONE DETAIL
(AT PLANT BEDS NEXT TO BUILDINGS)

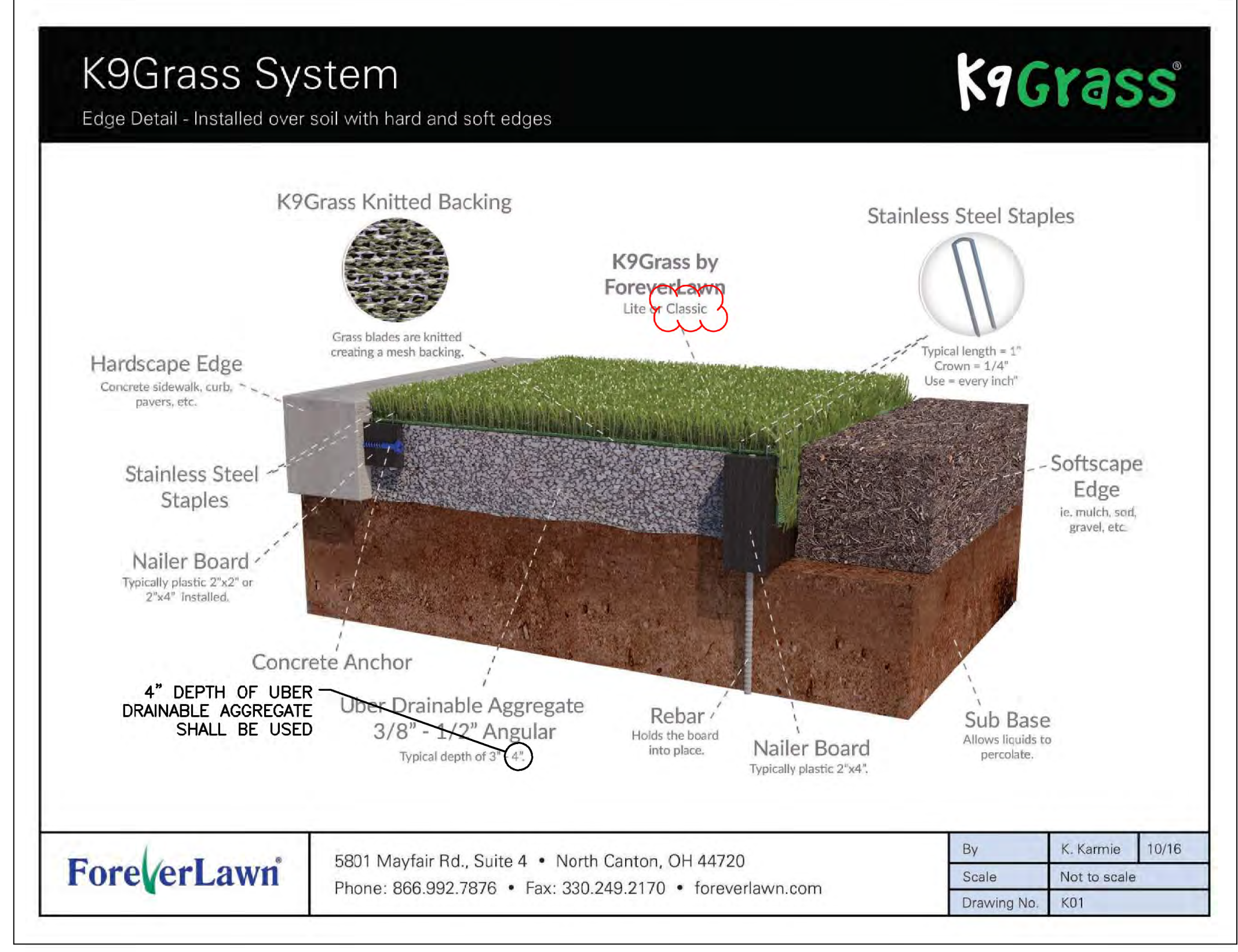
NOT TO SCALE



SAND ASTM C-33		CRUSHER RUN	
SIEVE	PERCENT PASSING	SIEVE	PERCENT PASSING
9.5-MM (3/8 IN.)	100%	2"	100%
4.75-MM (NO. 4)	95 TO 100%	1 1/2"	70-100%
2.36-MM (NO. 8)	80 TO 100%	3/4"	50 - 85%
1.18-MM (NO. 16)	50 TO 85%	NO. 4	30-55%
600-µM (NO.30)	25 TO 60%	NO. 50	8 - 24%
300-µM (NO. 50)	5 TO 30%	NO. 200	3 - 8%
150-µM (NO. 100)	0 TO 10%		

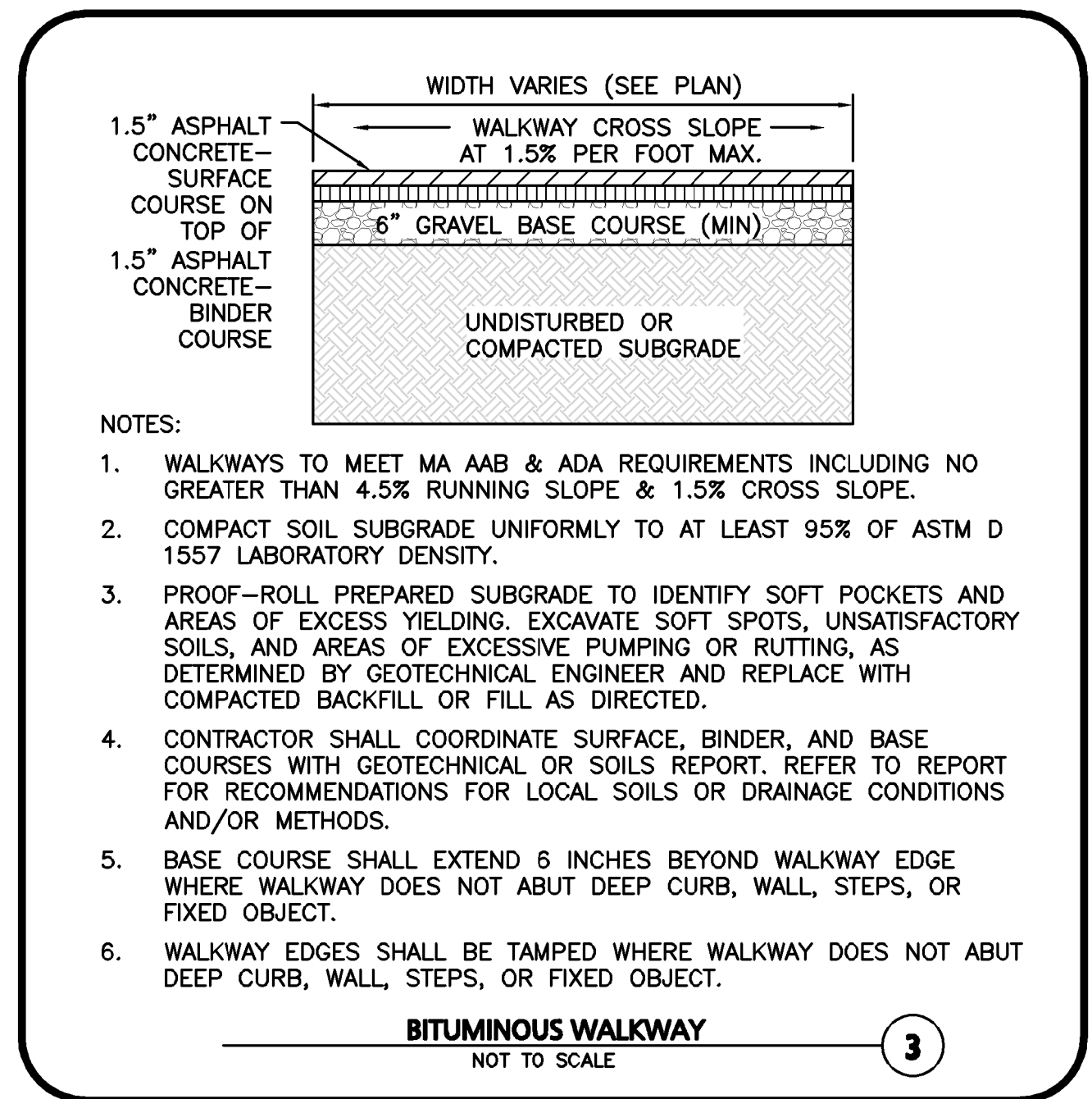
- NOTES:
- SUBMIT SAMPLES & SHOP DRAWING OF PAVERS AND COLOR CHART FOR APPROVAL PRIOR TO ORDERING.
 - SUBMIT SHOP DRAWING FOR APPROVAL OF SAND & CRUSHER RUN SPEC. ANALYSIS PRIOR TO ORDERING.

PRECAST CONC. PAVERS (PEDESTRIAN PATIO AREAS ONLY)
NOT TO SCALE



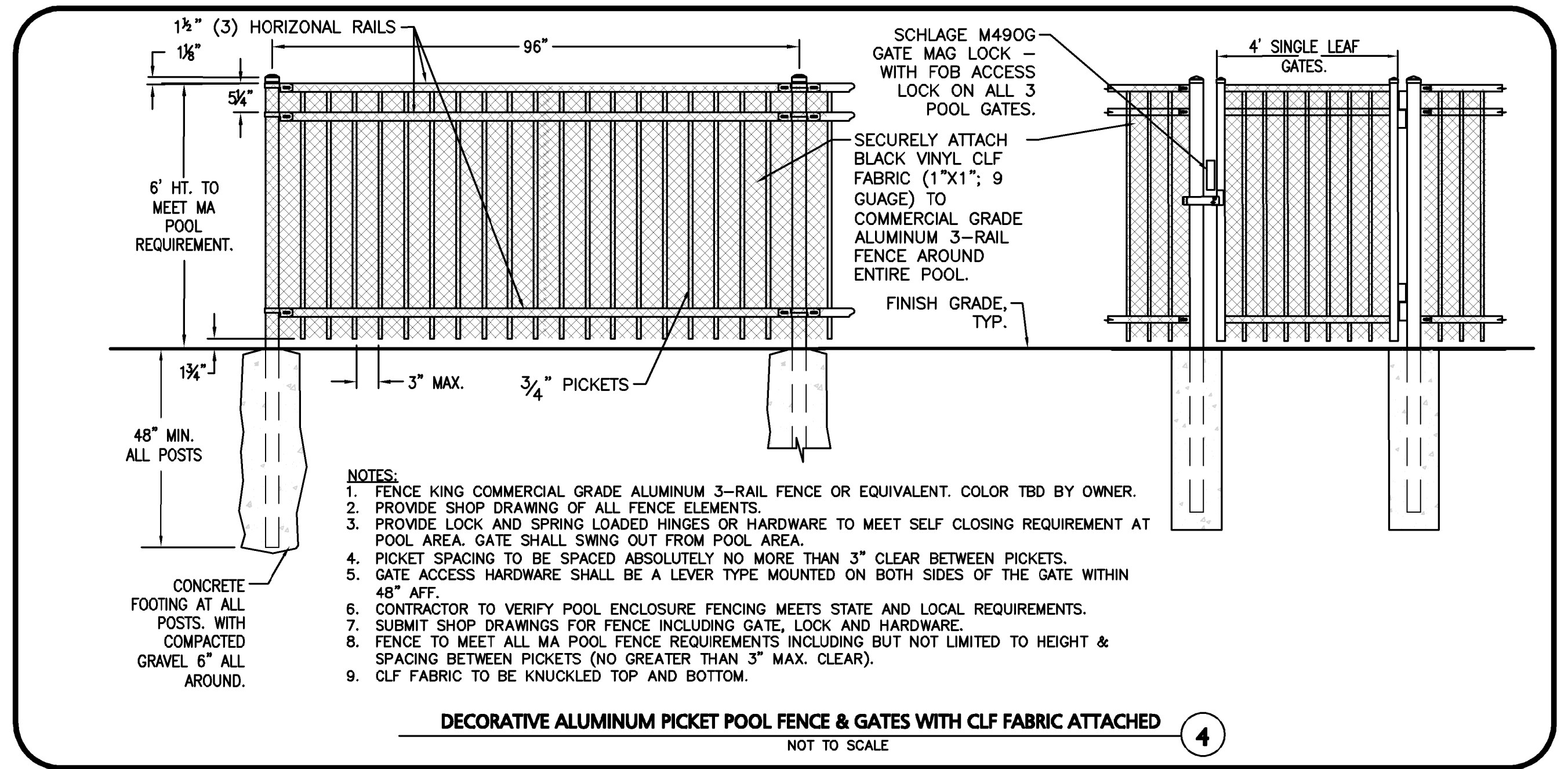
5801 Mayfair Rd., Suite 4 • North Canton, OH 44720
Phone: 866.992.7876 • Fax: 330.249.2170 • foreverlawn.com

DOG PARK ARTIFICIAL TURF (ADD ALTERNATE INSTEAD OF ADA SPECIALTY STABILIZER SURFACE)
NOT TO SCALE



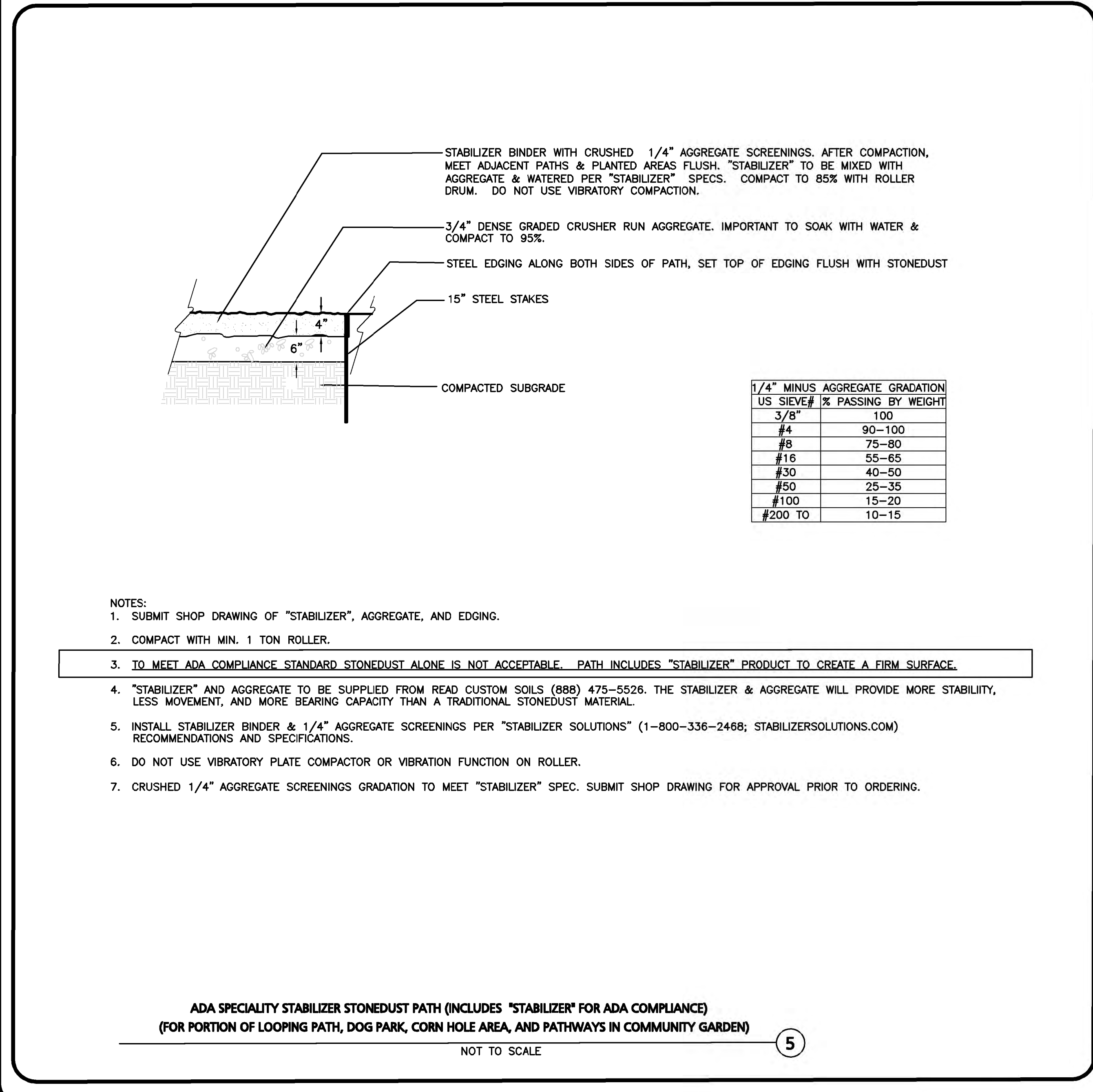
- NOTES:
- WALKWAYS TO MEET MA AAB & ADA REQUIREMENTS INCLUDING NO GREATER THAN 4.5% RUNNING SLOPE & 1.5% CROSS SLOPE.
 - COMPACT SOIL SUBGRADE UNIFORMLY TO AT LEAST 95% OF ASTM D 1557 LABORATORY DENSITY.
 - PROOF-ROLL PREPARED SUBGRADE TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED.
 - CONTRACTOR SHALL COORDINATE SURFACE, BINDER, AND BASE COURSES WITH GEOTECHNICAL OR SOILS REPORT. REFER TO REPORT FOR RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
 - BASE COURSE SHALL EXTEND 6 INCHES BEYOND WALKWAY EDGE WHERE WALKWAY DOES NOT ABUT DEEP CURB, WALL, STEPS, OR FIXED OBJECT.
 - WALKWAY EDGES SHALL BE TAMPED WHERE WALKWAY DOES NOT ABUT DEEP CURB, WALL, STEPS, OR FIXED OBJECT.

BITUMINOUS WALKWAY
NOT TO SCALE



- NOTES:
- FENCE KING COMMERCIAL GRADE ALUMINUM 3-RAIL FENCE OR EQUIVALENT. COLOR TBD BY OWNER.
 - PROVIDE SHOP DRAWING OF ALL FENCE ELEMENTS.
 - PROVIDE LOCK AND SPRING LOADED HINGES OR HARDWARE TO MEET SELF CLOSING REQUIREMENT AT POOL AREA. GATE SHALL SWING OUT FROM POOL AREA.
 - PICKET SPACING TO BE SPACED ABSOLUTELY NO MORE THAN 3" CLEAR BETWEEN PICKETS.
 - GATE ACCESS HARDWARE SHALL BE A LEVER TYPE MOUNTED ON BOTH SIDES OF THE GATE WITHIN 48" AFF.
 - CONTRACTOR TO VERIFY POOL ENCLOSURE FENCING MEETS STATE AND LOCAL REQUIREMENTS.
 - SUBMIT SHOP DRAWINGS FOR FENCE INCLUDING GATE, LOCK AND HARDWARE.
 - FENCE TO MEET ALL MA POOL FENCE REQUIREMENTS INCLUDING BUT NOT LIMITED TO HEIGHT & SPACING BETWEEN PICKETS (NO GREATER THAN 3" MAX. CLEAR).
 - CLF FABRIC TO BE KNUCKLED TOP AND BOTTOM.

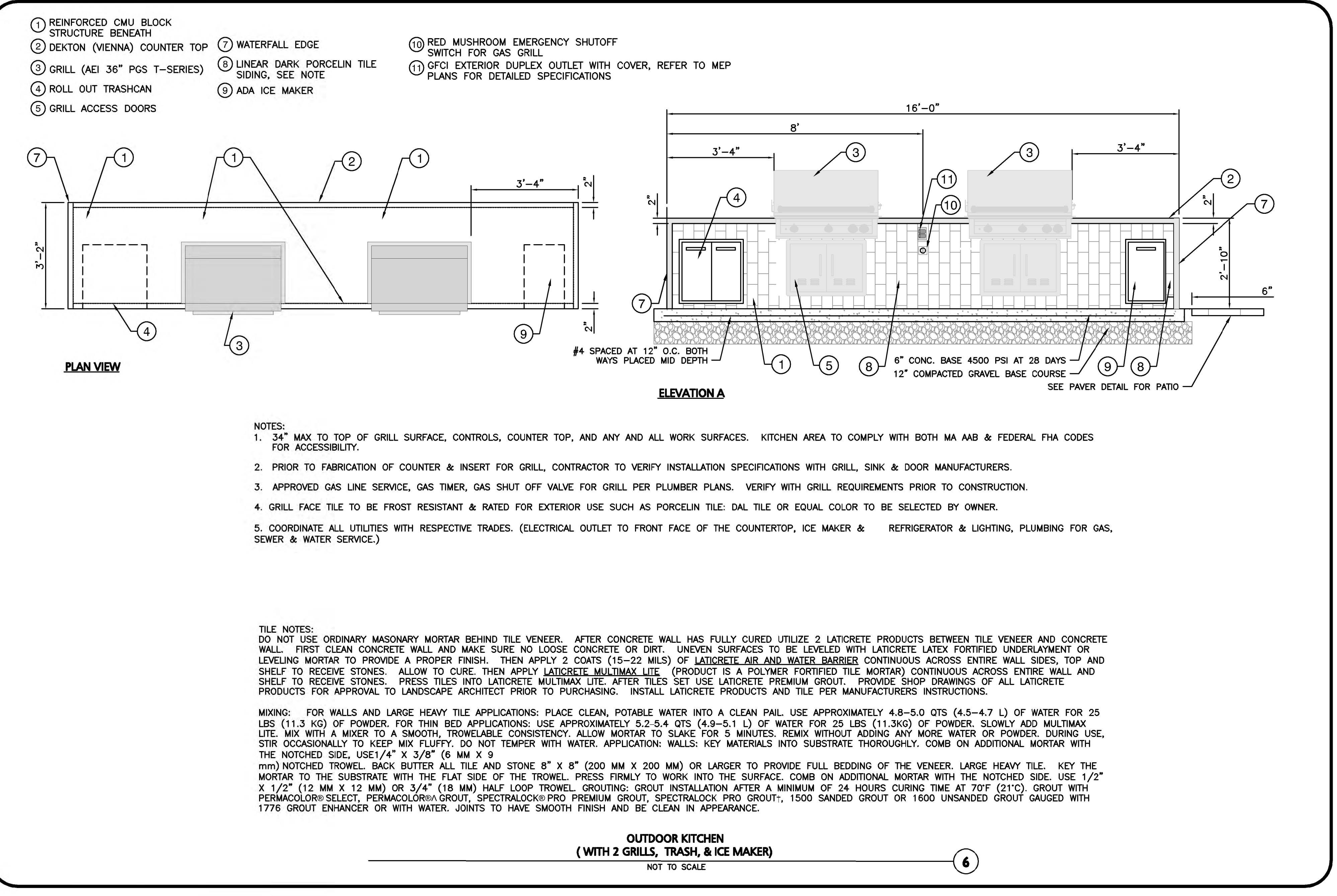
DECORATIVE ALUMINUM PICKET POOL FENCE & GATES WITH CLF FABRIC ATTACHED
NOT TO SCALE



1/4" MINUS AGGREGATE GRADATION US SIEVE	% PASSING BY WEIGHT
3/8"	100
#4	90-100
#8	75-80
#16	55-65
#30	40-50
#50	25-35
#100	15-20
#200 TO	10-15

- NOTES:
- SUBMIT SHOP DRAWING OF "STABILIZER", AGGREGATE, AND EDGING.
 - COMPACT WITH MIN. 1 TON ROLLER.
 - TO MEET ADA COMPLIANCE STANDARD STONEDUST ALONE IS NOT ACCEPTABLE. PATH INCLUDES "STABILIZER" PRODUCT TO CREATE A FIRM SURFACE.
 - "STABILIZER" AND AGGREGATE TO BE SUPPLIED FROM READ CUSTOM SOILS (888) 475-5526. THE STABILIZER & AGGREGATE WILL PROVIDE MORE STABILITY, LESS MOVEMENT, AND MORE BEARING CAPACITY THAN A TRADITIONAL STONEDUST MATERIAL.
 - INSTALL STABILIZER BINDER & 1/4" AGGREGATE SCREENINGS PER "STABILIZER SOLUTIONS" (1-800-336-2468; STABILIZERSOLUTIONS.COM) RECOMMENDATIONS AND SPECIFICATIONS.
 - DO NOT USE VIBRATORY PLATE COMPACTOR OR VIBRATION FUNCTION ON ROLLER.
 - CRUSHED 1/4" AGGREGATE SCREENINGS GRADATION TO MEET "STABILIZER" SPEC. SUBMIT SHOP DRAWING FOR APPROVAL PRIOR TO ORDERING.

ADA SPECIALTY STABILIZER STONEDUST PATH (INCLUDES "STABILIZER" FOR ADA COMPLIANCE) (FOR PORTION OF LOOPING PATH, DOG PARK, CORN HOLE AREA, AND PATHWAYS IN COMMUNITY GARDEN)
NOT TO SCALE



- REINFORCED CMU BLOCK STRUCTURE BENEATH
- DEKTON (VIENNA) COUNTER TOP
- GRILL (AEI P63 PGS T-SERIES)
- ROLL OUT TRASHCAN
- GRILL ACCESS DOORS
- WATERFALL EDGE
- LINEAR DARK PORCELAIN TILE SIDING, SEE NOTE
- ADA ICE MAKER
- RED MUSHROOM EMERGENCY SHUTOFF SWITCH FOR GAS GRILL
- GFCI EXTERIOR DUPLEX OUTLET WITH COVER, REFER TO MEP PLANS FOR DETAILED SPECIFICATIONS

- NOTES:
- 3/4" MAX TO TOP OF GRILL SURFACE, CONTROLS, COUNTER TOP, AND ANY AND ALL WORK SURFACES. KITCHEN AREA TO COMPLY WITH BOTH MA AAB & FEDERAL FHA CODES FOR ACCESSIBILITY.
 - PRIOR TO FABRICATION OF COUNTER & INSERT FOR GRILL, CONTRACTOR TO VERIFY INSTALLATION SPECIFICATIONS WITH GRILL, SINK & DOOR MANUFACTURERS.
 - APPROVED GAS LINE SERVICE, GAS TIMER, GAS SHUT OFF VALVE FOR GRILL PER PLUMBER PLANS. VERIFY WITH GRILL REQUIREMENTS PRIOR TO CONSTRUCTION.
 - GRILL FACE TILE TO BE FROST RESISTANT & RATED FOR EXTERIOR USE SUCH AS PORCELAIN TILE: DAL TILE OR EQUAL COLOR TO BE SELECTED BY OWNER.
 - COORDINATE ALL UTILITIES WITH RESPECTIVE TRADES. (ELECTRICAL OUTLET TO FRONT FACE OF THE COUNTERTOP, ICE MAKER & REFRIGERATOR & LIGHTING, PLUMBING FOR GAS, SEWER & WATER SERVICE.)

TILE NOTES:
DO NOT USE ORDINARY MASONRY MORTAR BEHIND TILE VENEER. AFTER CONCRETE WALL HAS FULLY CURED UTILIZE 2 LATOCRETE PRODUCTS BETWEEN TILE VENEER AND CONCRETE WALL. FIRST CLEAN MASONRY WALL AND MAKE SURE NO LOOSE CONCRETE OR DIRT. UNEVEN SURFACES TO BE LEVELED WITH LATOCRETE LATEX FORTIFIED UNDERLAYMENT OR LEVELING MORTAR TO PROVIDE A PROPER FINISH. THEN APPLY 2 COATS (15-22 MILS) OF LATOCRETE AIR AND WATER BARRIER CONTINUOUS ACROSS ENTIRE WALL SIDES, TOP AND SHELF TO RECEIVE STONES. ALLOW TO CURE. THEN APPLY LATOCRETE MULTIMAX LITE. (PRODUCT IS A POLYMER FORTIFIED TILE MORTAR) CONTINUOUS ACROSS ENTIRE WALL AND SHELF TO RECEIVE STONES. PRESS TILES INTO LATOCRETE MULTIMAX LITE. AFTER TILES SET USE LATOCRETE PREMIUM GROUT. PROVIDE SHOP DRAWINGS OF ALL LATOCRETE PRODUCTS FOR APPROVAL TO LANDSCAPE ARCHITECT PRIOR TO PURCHASING. INSTALL LATOCRETE PRODUCTS AND TILE PER MANUFACTURERS INSTRUCTIONS.

MIXING: FOR WALLS AND LARGE HEAVY TILE APPLICATIONS: PLACE CLEAN, POTABLE WATER INTO A CLEAN PAIL. USE APPROXIMATELY 4.8-5.0 QTS (4.5-4.7 L) OF WATER FOR 25 LBS (11.3 KG) OF POWDER. FOR THIN BED APPLICATIONS: USE APPROXIMATELY 5.2-5.4 QTS (4.9-5.1 L) OF WATER FOR 25 LBS (11.3KG) OF POWDER. SLOWLY ADD MULTIMAX LITE. MIX WITH A MIXER TO A SMOOTH, TROWELABLE CONSISTENCY. ALLOW MORTAR TO SLAKE FOR 5 MINUTES. REMIX WITHOUT ADDING ANY MORE WATER OR POWDER. DURING USE, STIR OCCASIONALLY TO KEEP MIX FLUFFY. DO NOT TEMPER WITH WATER. APPLICATION: WALLS: KEY MATERIALS INTO SUBSTRATE THOROUGHLY. COMB ON ADDITIONAL MORTAR WITH THE NOTCHED SIDE. USE 1/4" X 3/8" (6 MM X 9 mm) NOTCHED TROWEL BACK BUTTER ALL TILE AND STONE 8" X 8" (200 MM X 200 MM) OR LARGER TO PROVIDE FULL BEDDING OF THE VENEER. LARGE HEAVY TILE. KEY THE MORTAR TO THE SUBSTRATE WITH THE FLAT SIDE OF THE TROWEL. PRESS FIRMLY TO WORK INTO THE SURFACE. COMB ON ADDITIONAL MORTAR WITH THE NOTCHED SIDE. USE 1/2" X 1/2" (12 MM X 12 MM) OR 3/4" (18 MM) HALF LOOP TROWEL. GROUTING: GROUT INSTALLATION AFTER A MINIMUM OF 24 HOURS CURING TIME AT 70°F (21°C). GROUT WITH PERMACOLOR SELECT, PERMACOLOR PRO PREMIUM GROUT, SPECTRALOCK PRO GROUT, 1500 SANDED GROUT OR 1600 UNSANDED GROUT GAUGED WITH 1776 GROUT ENHANCER OR WITH WATER. JOINTS TO HAVE SMOOTH FINISH AND BE CLEAN IN APPEARANCE.

OUTDOOR KITCHEN (WITH 2 GRILLS, TRASH, & ICE MAKER)
NOT TO SCALE

REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3	02-03-20	VARIOUS REVISIONS
2	01-31-20	RESUBMITTED FOR LOCAL APPROVAL
1	12-20-19	ISSUED FOR LOCAL APPROVAL

APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO. 2658-01 DATE: 12-20-2019
SCALE: NTS DWG. NAME: C-2658-01
DESIGNED BY: SJL/DMR CHECKED BY: CMQ

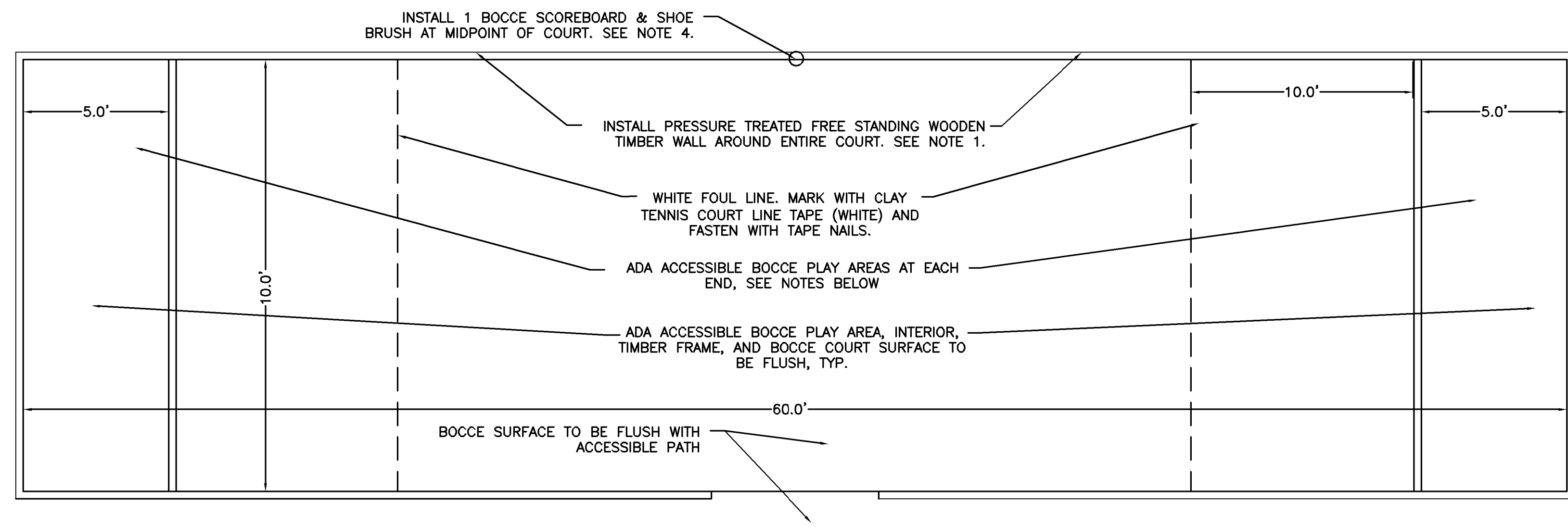
PREPARED BY:
ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • landscape architecture
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-0889
FAX: (781) 935-2886

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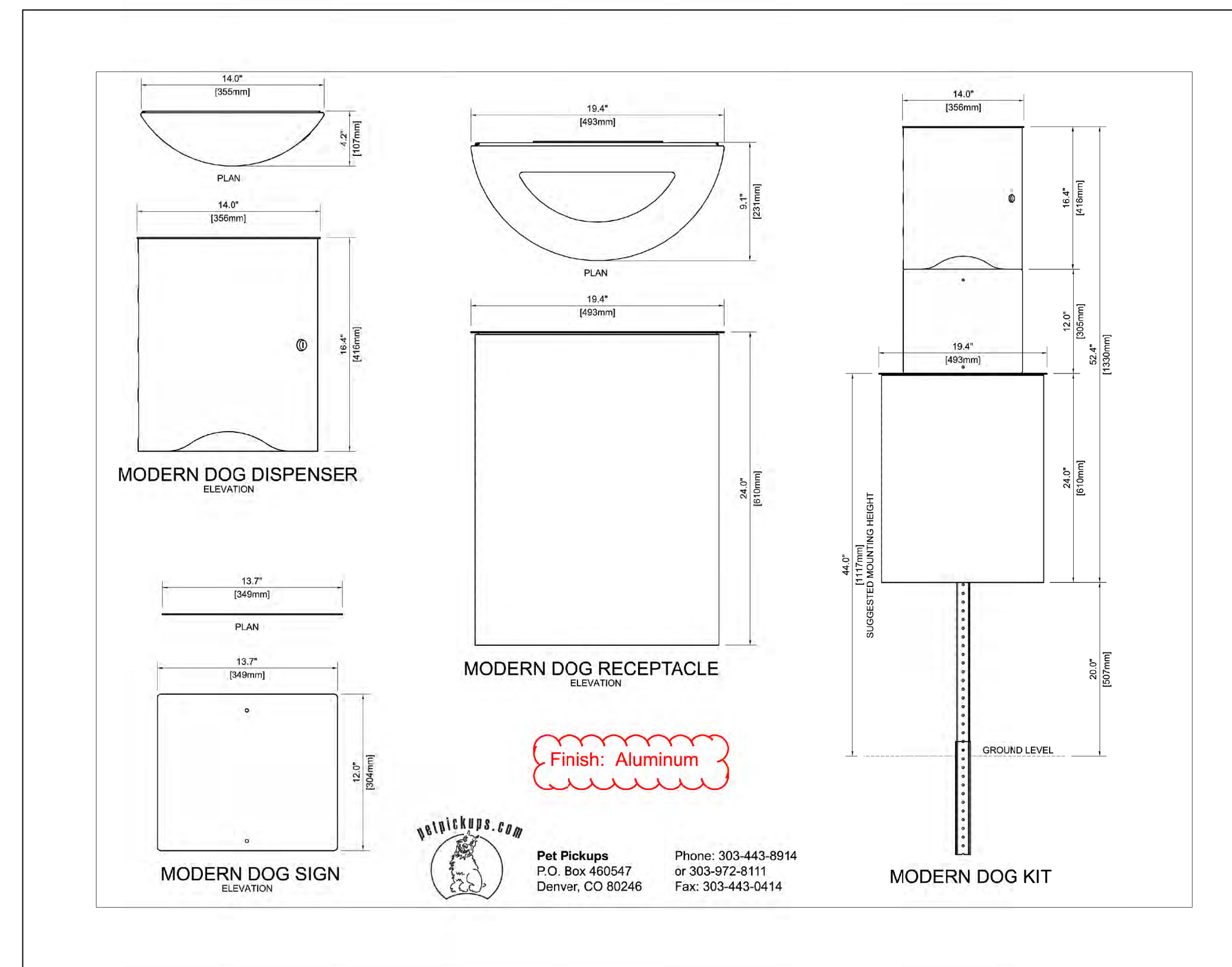
DRAWING TITLE: **HARDSCAPE DETAILS** SHEET No. **L-502**
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N:\PROJECTS\2658-01\CIVIL DRAWINGS\CURRENT SITE PLANS\C-2658-01_HARDSCAPE_MATERIALS_PLANS.DWG



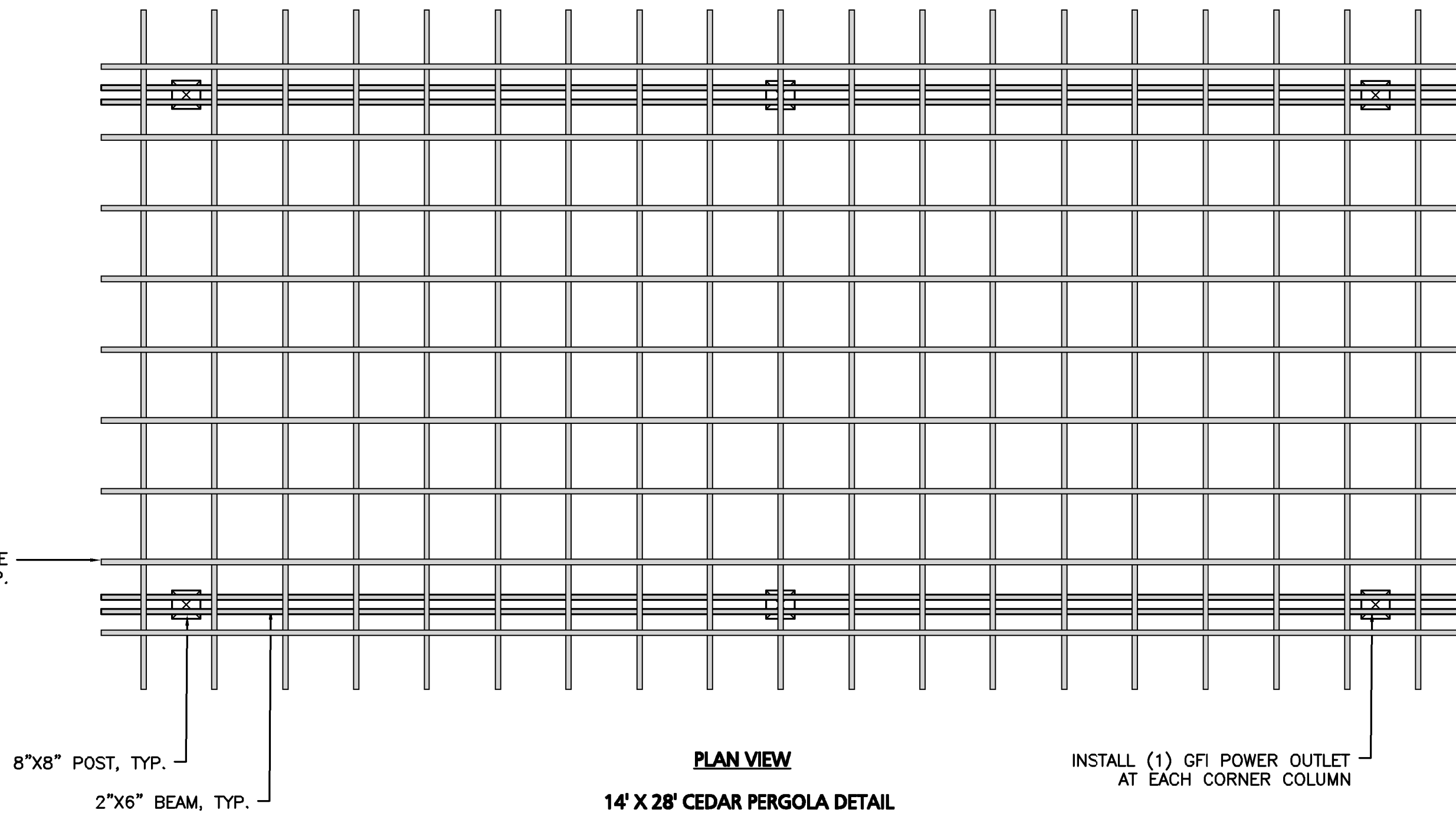
- NOTES:**
- INSTALL 6" x 6" x 8" PRESSURE TREATED FREE-STANDING WOODEN TIMBER WALL ALONG ENTIRE PERIMETER OF BOCCÉ COURT. INSTALL TIMBERS ON A 6" GRAVEL BASE AROUND ENTIRE PERIMETER OF BOCCÉ COURT. UNIFY THE STRUCTURE AND PROVIDE STABILITY WITH #4 REBAR & TIMBER WALL SCREWS ANCHORED THRU ALL LEVELS OF THE TIMBER WALL. WOODEN TIMBERS TO BE INSTALLED WITH 12" REVEAL ON INSIDE AND OUTSIDE OF COURT AND BE BURIED A MIN. OF 12" DEEP BELOW FINISH GRADE OF BOCCÉ COURT.
 - FREE-STANDING WOODEN TIMBER WALL AROUND BOCCÉ COURT TO HAVE 1" CORE DRAINAGE HOLES EVERY 25'.
 - SEE BOCCÉ COURT SURFACE DETAIL. COURT SURFACE TO BE FLAT. THE SURFACE IS TO NOT VARY BY MORE THAN 1/8" PER 10' AS MEASURED IN ANY DIRECTION. DURING INSTALLATION, WATER SURFACE AND COMPACT WITH 400 TO 1,200 LB ROLLER UNTIL FIRMNESS IS ACHIEVED.
 - BOCCÉ BALLS & COURT MAINTENANCE EQUIPMENT INCLUDING BUT NOT LIMITED TO: BOCCÉ BALLS, HAND ROLLERS, SCARIFIER RAKE, BROOM, TO MAINTAIN COURTS ARE TO BE PROVIDED BY OWNER.
 - INSTALL 1 FIXED BOCCÉ SCOREBOARD ON 48" HT. WOODEN POST. SCOREBOARD TO BE UV RESISTANT AND WEATHERPROOF. ALSO PROVIDE 1 EXTRA SET OF EACH COLORED ROUNDED SCORE INDICATORS FOR BOARD. SCOREBOARD TO BE FROM "LOVE ONE" OR EQUAL; 404-804-6816. WWW.TENNISSCOREBOARDS.COM. INSTALL 1 SHOE BRUSH ON WOODEN TIMBERS. SHOE BRUSH FROM WWW.BOCCEMOM.CO; 1-360-224-2909 OR EQUAL.
 - ADA ACCESSIBLE BOCCÉ PLAY SURFACE SHALL BE POURED IN PLACE RUBBERIZED RESILIENT PLAY SURFACE ON TOP OF BITUMINOUS WALK AND GRAVEL SUB BASE (SEE TYP. BITUMINOUS WALK DETAIL).
 - RUBBERIZED SURFACE TO CONSIST OF 2" DEPTH OF RECYCLED STYRENE BUTADIENE RUBBER AND ALIPHATIC URETHANE. SUBMIT SHOP DRAWING FOR APPROVAL ON MATERIAL AND COLOR.
 - ACCESSIBLE BOCCÉ PLAY SURFACE SHALL BE SEPARATED FROM BOCCÉ PLAY SURFACE WITH FLUSH 6" WIDE INTERIOR TIMBER FRAME.
 - ADA ACCESSIBLE BOCCÉ PLAY SURFACE, TIMBER FRAME AND BOCCÉ COURT CLAY SURFACE TO BE FLUSH.

BOCCÉ COURT
NOT TO SCALE

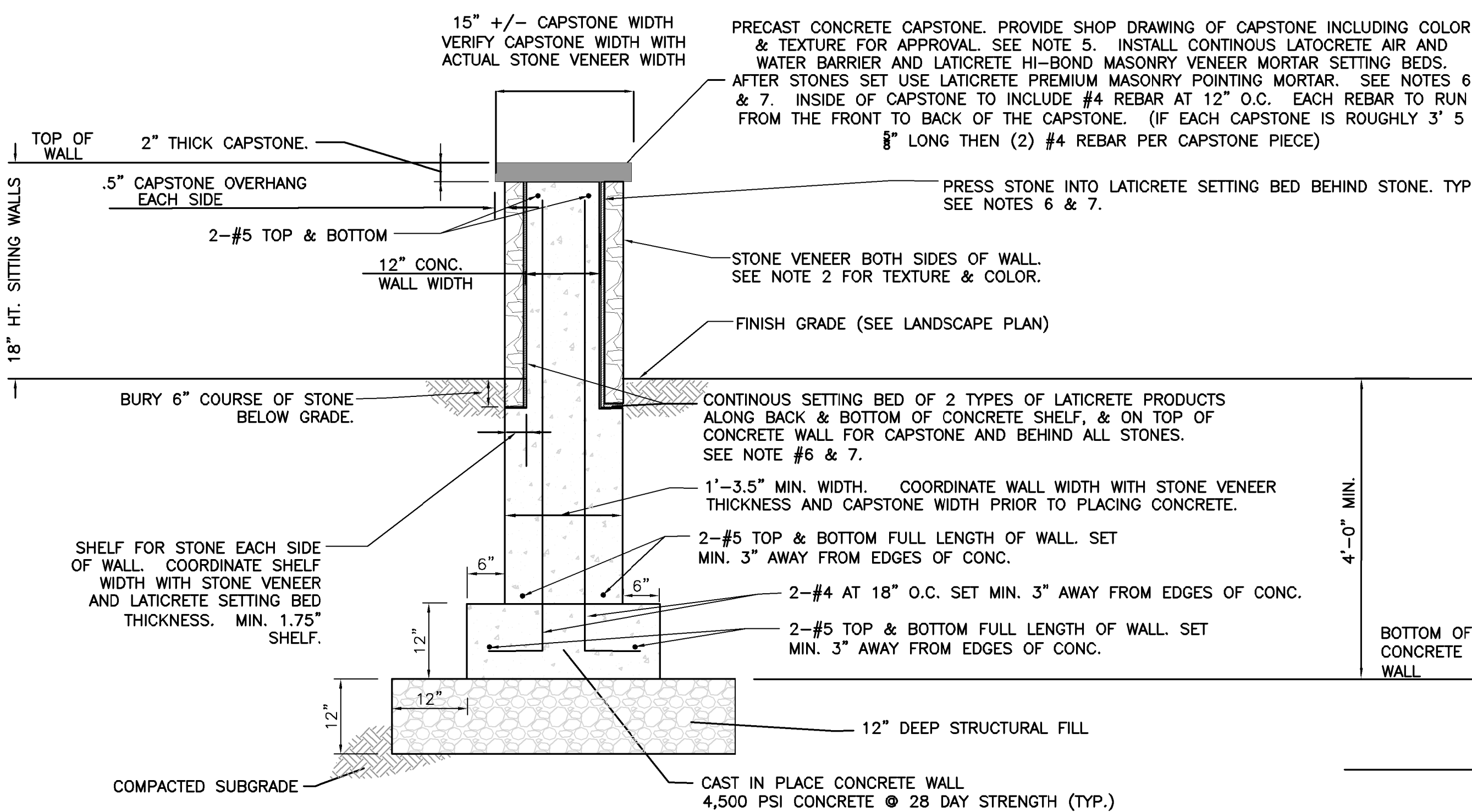


DOG WASTE RECEPTACLE & BAG DISPENSER STAND
NOT TO SCALE

- NOTES:**
- THIS DETAIL IS PROTOTYPICAL IN NATURE AND IS NOT TO BE CONSIDERED FOR CONSTRUCTION. CONTRACTOR SHALL SUBMIT SHOP DRAWING.
 - PERGOLA DESIGNED & BUILT BY BALDWIN PERGOLAS. BALDWINPERGOLAS.COM (MIDDLETOWN, CT). PERGOLA TO BE WESTERN RED CLEAR CEDAR, 10 FT. TALL, 8"X8" POSTS, 2"X6" BEAMS, JAPANESE STYLE ANGLE CUT RAFTERS, 4 FT. DEPTH MIN. CONC. FOOTINGS, STAINED OR LEFT NATURAL CEDAR. FOR PRICING PURPOSES ONLY STAINED WITH 2 COATS. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING. PERGOLA STRUCTURE INCLUDING FASTENERS, WOOD SIZING, AND FOOTINGS TO BE REVIEWED AND APPROVED BY STRUCTURAL ENGINEER LICENSED IN THE STATE OF MA & AT CONTRACTORS COST. PERGOLA CONTRACTOR TO COORD. PERGOLA INSTALLATION WITH ADJACENT LIGHTING, POOL, SIDEWALK, AND FOOTING CONTRACTORS. JAPANESE STYLE ANGLE CUT RAFTER, TYP.

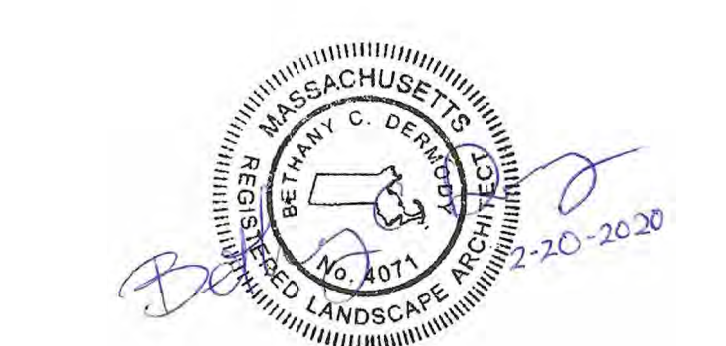


14' X 28' CEDAR PERGOLA DETAIL
(DESIGNED & BUILT BY BALDWIN PERGOLAS)
SCALE: 1" = 2'-0"



STONE VENEER WALL
NOT TO SCALE

- NOTES:**
- INSTALL STONE VENEER PER MANUFACTURERS RECOMMENDATIONS FOR EXTERIOR CONCRETE WALL USE IN MASSACHUSETTS.
 - STONE VENEER TO MATCH ARCHITECTURE ELDORADO STONE (HTTPS://WWW.ELDORADOSTONE.COM/) IN EARTH TONES OR EQUAL. PROVIDE OWNER WITH SAMPLES OF EACH STYLE IN A MOCK UP AND SHOP DRAWINGS FOR APPROVAL FROM OWNER PRIOR TO ORDERING.
 - WALLS INCLUDING FOOTING TO BE REVIEWED AS A SHOP DRAWING, AND APPROVED BY STRUCTURAL ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS AND AT CONTRACTOR COST. CONTRACTOR TO INCORPORATE ANY NECESSARY REVISIONS.
 - PRECAST CONCRETE CAPSTONE TO BE FROM NORTHERN DESIGN PRECAST, INC. LOCATED IN LOUDON, NH. 603-783-8989 OR APPROVED EQUAL. PROVIDE OWNER WITH STAMPLES OF EACH STYLE AND SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.
 - DO NOT USE ORDINARY MASONRY MORTAR BEHIND STONE VENEER. AFTER CONCRETE WALL HAS FULLY CURED UTILIZE 2 LATICRETE PRODUCTS BETWEEN STONE VENEER AND CONCRETE WALL. FIRST CLEAN CONCRETE WALL AND MAKE SURE NO LOOSE CONCRETE OR DIRT. THEN APPLY 2 COATS (15-22 MILS) OF LATICRETE AIR AND WATER BARRIER CONTINUOUS ACROSS ENTIRE WALL SIDES, TOP AND SHELF TO RECEIVE STONES. ALLOW TO CURE. THEN APPLY LATICRETE HI-BOND MASONRY VENEER MORTAR (PRODUCT IS A POLYMER FORTIFIED MORTAR) CONTINUOUS ACROSS ENTIRE WALL AND SHELF TO RECEIVE STONES. PRESS STONES VENEER INTO MORTAR. AFTER STONES SET USE LATICRETE PREMIUM MASONRY POINTING MORTAR. PROVIDE SHOP DRAWINGS OF ALL LATICRETE PRODUCTS FOR APPROVAL TO LANDSCAPE ARCHITECT PRIOR TO PURCHASING. INSTALL LATICRETE PRODUCTS AND STONE VENEER PER MANUFACTURERS INSTRUCTIONS.
 - PRESS STONE INTO LATICRETE SETTING BED BEHIND STONE. SETTING BED TO BE 3/4" DEPTH BEFORE COMPRESSION. EACH STONE TO BE HAND TIGHT JOINTS AND NO MORE THAN 1/4" BETWEEN STONES. STAGGER ALL JOINTS. CREATE RANDOM APPEARANCE OF VENEER WITH VARYING STONE SIZES. REMOVE EXCESS MORTAR FROM JOINTS. AFTER STONES ARE SET, APPLY LATICRETE PREMIUM MASONRY POINTING MORTAR TO JOINTS. JOINTS TO HAVE SMOOTH FINISH AND BE CLEAN IN APPEARANCE.



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3	02-03-20	VARIOUS REVISIONS
2	01-31-20	RESUBMITTED FOR LOCAL APPROVAL
1	12-20-19	ISSUED FOR LOCAL APPROVAL

APPLICANT/OWNER:
WP MARLBOROUGH MA OWNER, LLC
9 WEST BROAD STREET, SUITE 800
STAMFORD, CT 06902

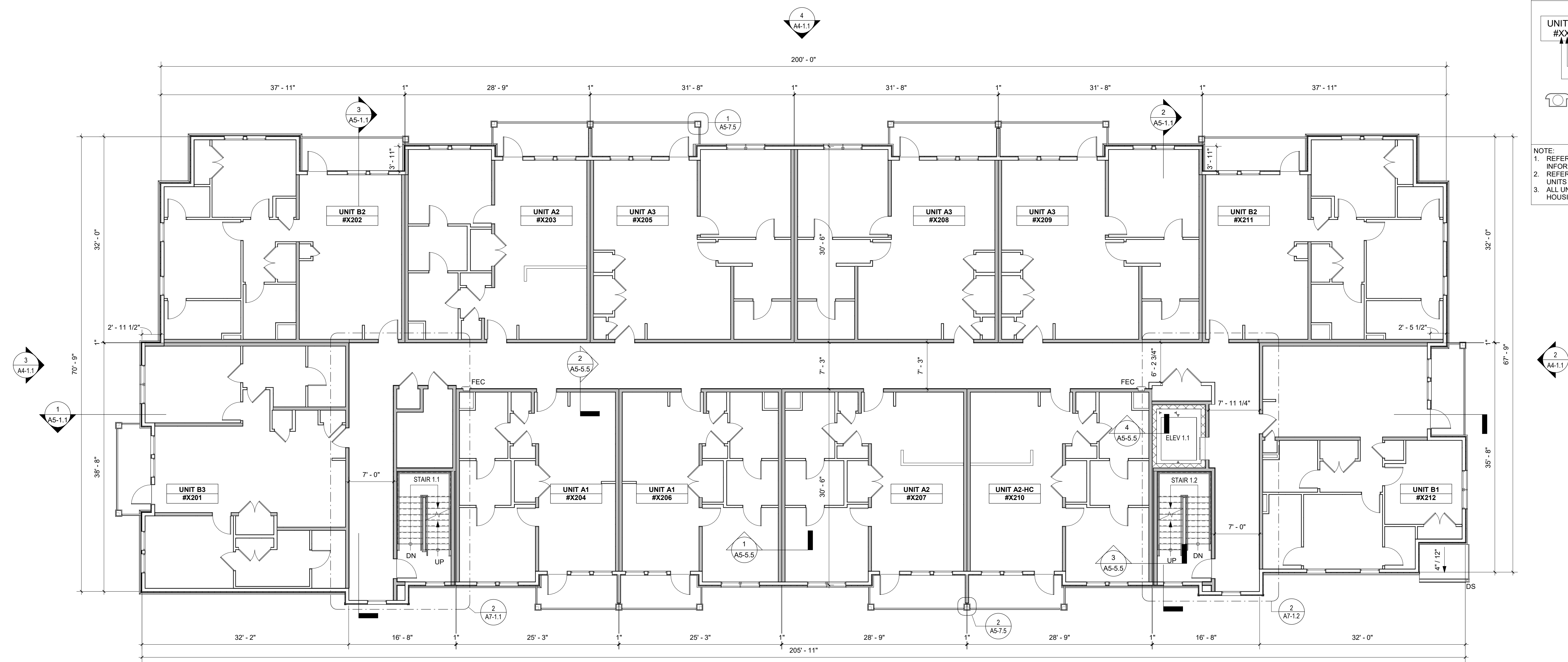
PROJECT:
MULTI-FAMILY DEVELOPMENT
339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO.	2658-01	DATE:	12-20-2019
SCALE:	NTS	DWG. NAME:	C-2658-01
DESIGNED BY:	SJL/DWR	CHECKED BY:	CMQ

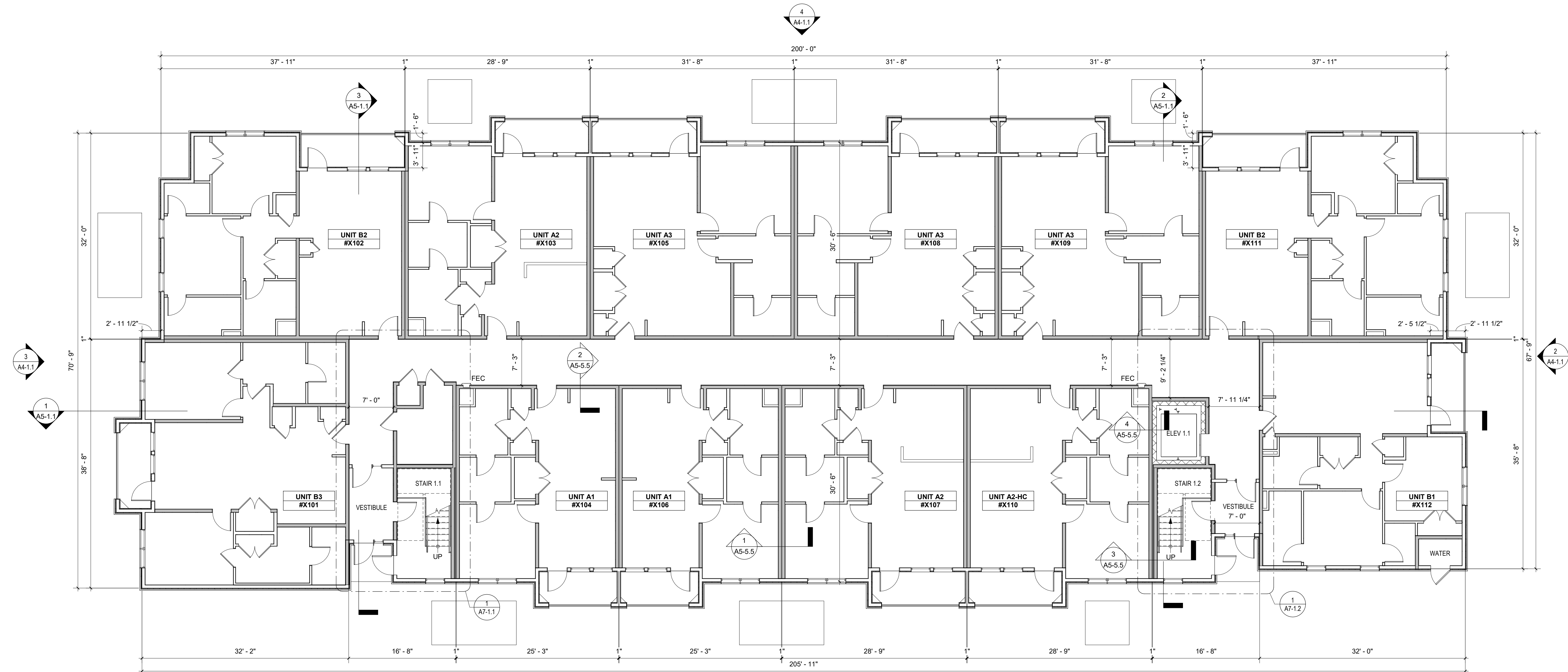
ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
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DRAWING TITLE:	SHEET No.
HARDSCAPE DETAILS	L-503



2 BUILDING TYPE A - LEVEL 2 PLAN
A1-1.1 SCALE: 1/8" = 1'-0"



1 BUILDING TYPE A - LEVEL 1 PLAN
A1-1.1 SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND

UNIT TYPE
UNIT XXX
#XXXX

UNIT NUMBER
LEVEL
BUILDING NUMBER - REFER TO SITE PLAN

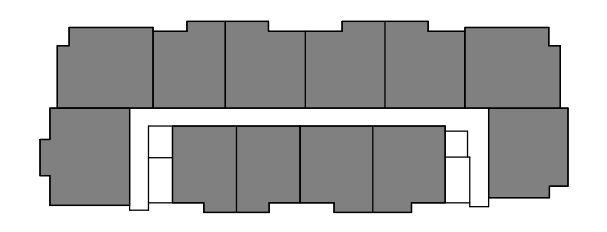
FEC FIRE EXTINGUISHER CABINET LOCATION (MIN. 2A-10-B-C PER 2012 IFG) W/ RECESSED CABINET. MAINTAIN FIRE RATING. TOP OF EXTINGUISHER AT 4'-0" AFF.

NOTE:
1. REFER TO A3 SHEETS FOR DIMENSIONS AND INFORMATION NOT SHOWN
2. REFER TO SP - 0.1 FOR LOCATION OF GROUP 2 UNITS
3. ALL UNITS SHALL COMPLY WITH THE FAIR HOUSING ACT AND 521 CMR



PHILLIPS

KEYPLAN



CONSULTANT

SEAL

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION
1	2019.10.18	30% SCHEMATIC DESIGN SET
2	2019.11.19	50% DESIGN DEVELOPMENT SET
3	2019.12.18	PRICING SET
4	2020.01.31	AMENITY REVISION

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TENANT

PROJECT

**VOLARIS
MARLBOROUGH
APARTMENTS**

MARLBOROUGH, MA

CLIENT



PHILLIPS JOB NUMBER 1967710

ISSUE DATE 2019.10.18

DRAWN BY/CHECKED BY BR, NK / DH

DRAWING TITLE

**BUILDING A - FLOOR
PLANS**

SHEET NUMBER

A1-1.1

5901 PEACHTREE DUNWOODY RD.
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328

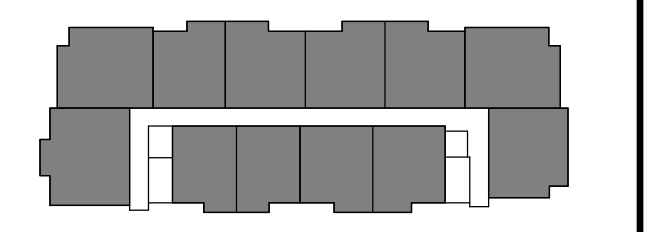
PHILLIPSPART.COM 770-394-1616

NOT FOR CONSTRUCTION



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ISSUE & REVISION RECORD

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TENANT

PROJECT

VOLARIS MARLBOROUGH APARTMENTS

MARLBOROUGH, MA

CLIENT



PHILLIPS JOB NUMBER 1967710

ISSUE DATE 2019.10.18

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DRAWING TITLE BUILDING A - FLOOR PLANS

SHEET NUMBER

A1-1.2

5901 PEACHTREE DUNWOODY RD. BUILDING A, SUITE 450 ATLANTA, GEORGIA 30328 PHILLIPSPART.COM 770-394-1616

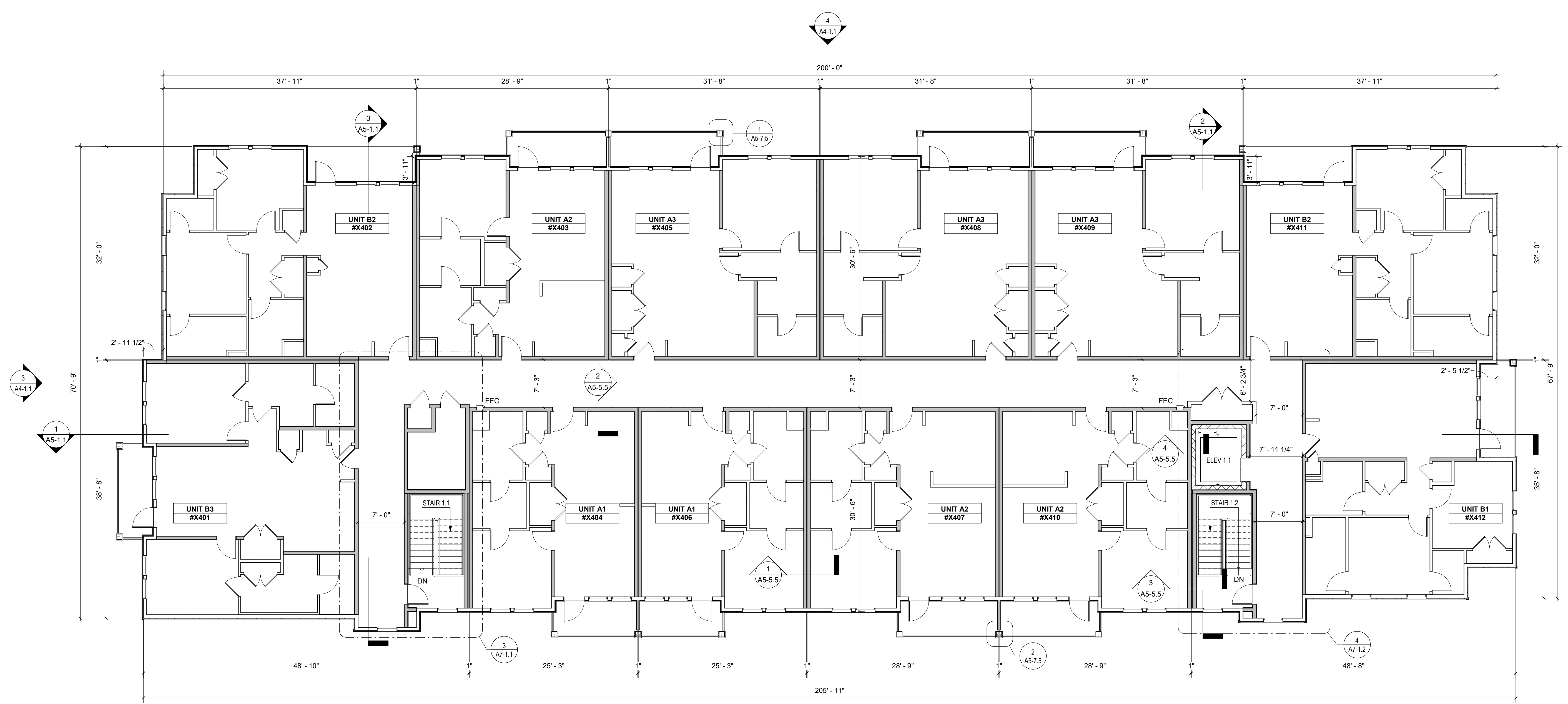
FLOOR PLAN LEGEND

UNIT XXX
#XXXX

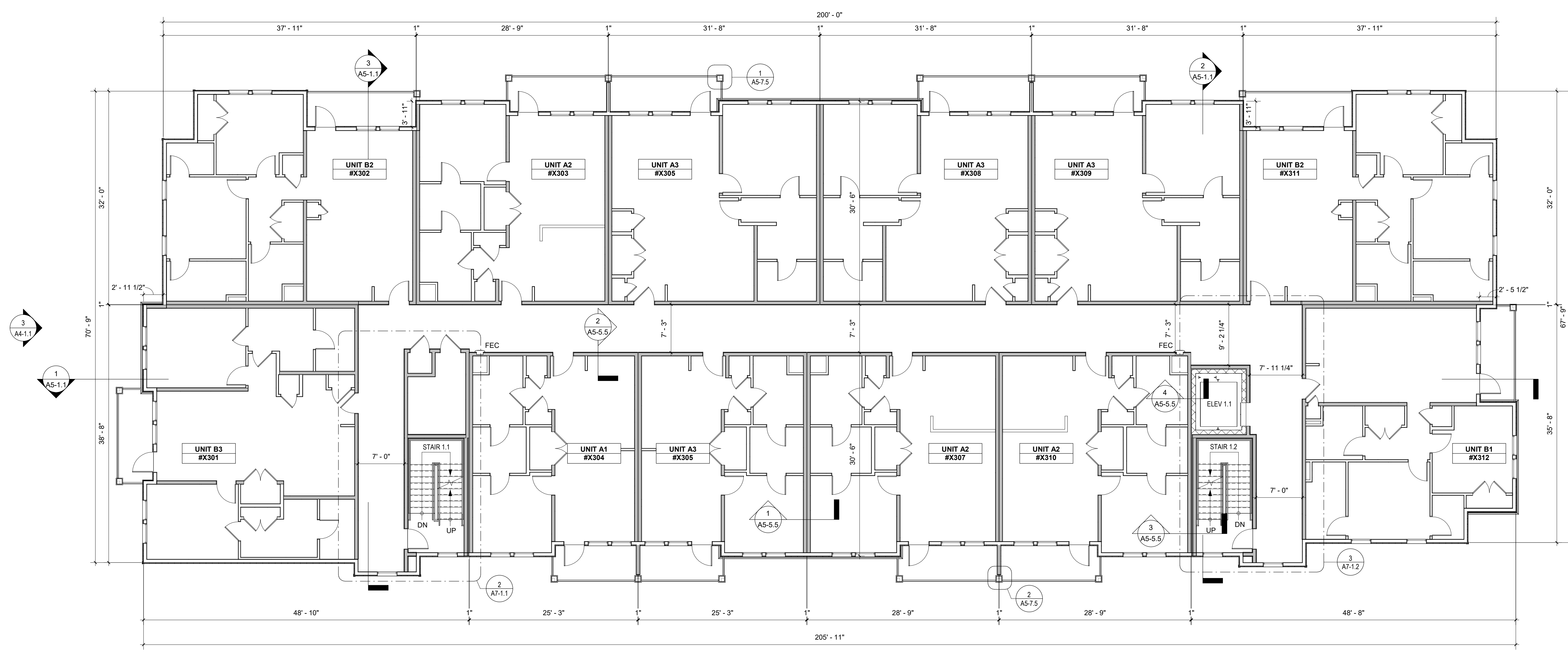
UNIT TYPE
UNIT NUMBER
LEVEL
BUILDING NUMBER - REFER TO SITE PLAN

FEC FIRE EXTINGUISHER CABINET LOCATION (MIN. 2A:10-B-C PER 2012 IFC) W/ RECESSED CABINET. MAINTAIN FIRE RATING. TOP OF EXTINGUISHER AT 4'-0" AFF.

NOTE:
1. REFER TO A3 SHEETS FOR DIMENSIONS AND INFORMATION NOT SHOWN
2. REFER TO SP-0.1 FOR LOCATION OF GROUP 2 UNITS
3. ALL UNITS SHALL COMPLY WITH THE FAIR HOUSING ACT AND 521 CMR



2 BUILDING TYPE A - LEVEL 4 PLAN
SCALE: 1/8" = 1'-0"



1 BUILDING TYPE A - LEVEL 3 PLAN
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

REVISION SUMMARY
 A. ADDED DIMENSION
 B. ADDED SECTION
 C. CLARIFIED ROOF

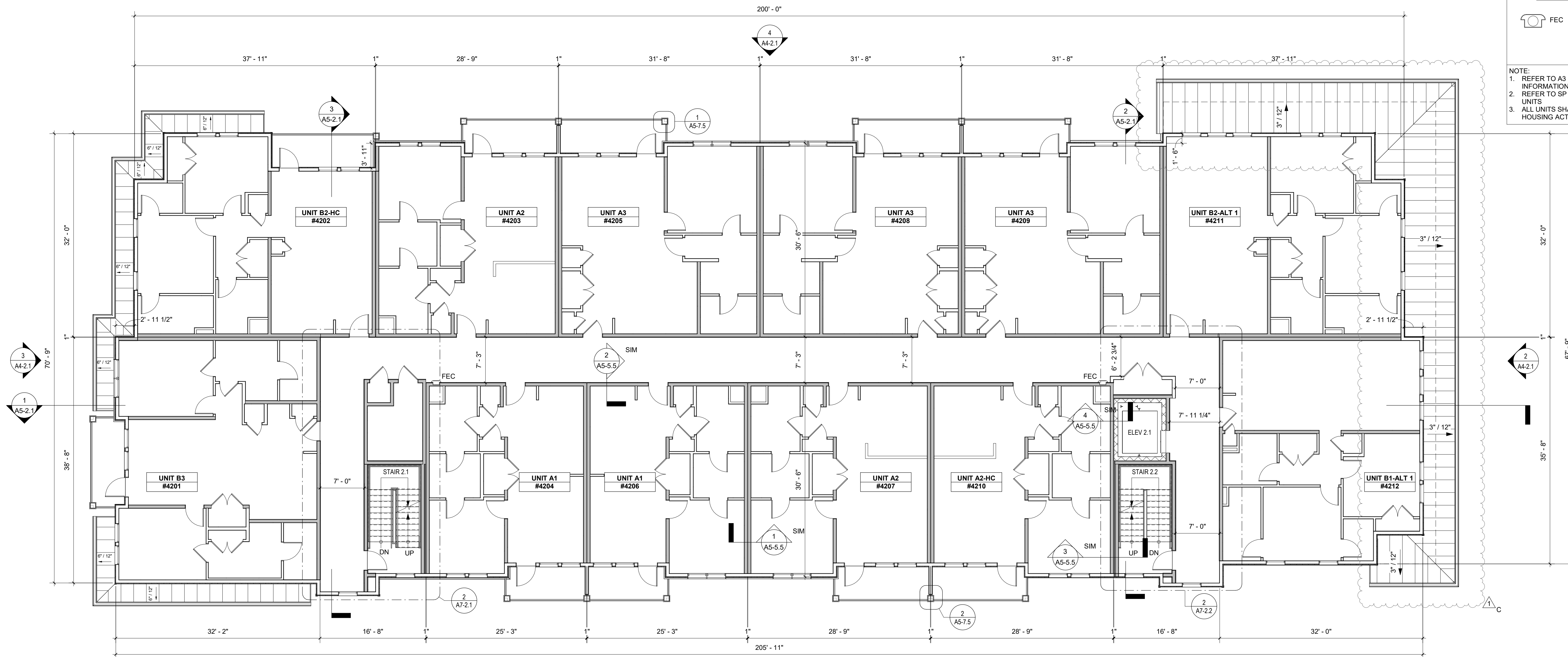
FLOOR PLAN LEGEND

UNIT XXX
#XXXX

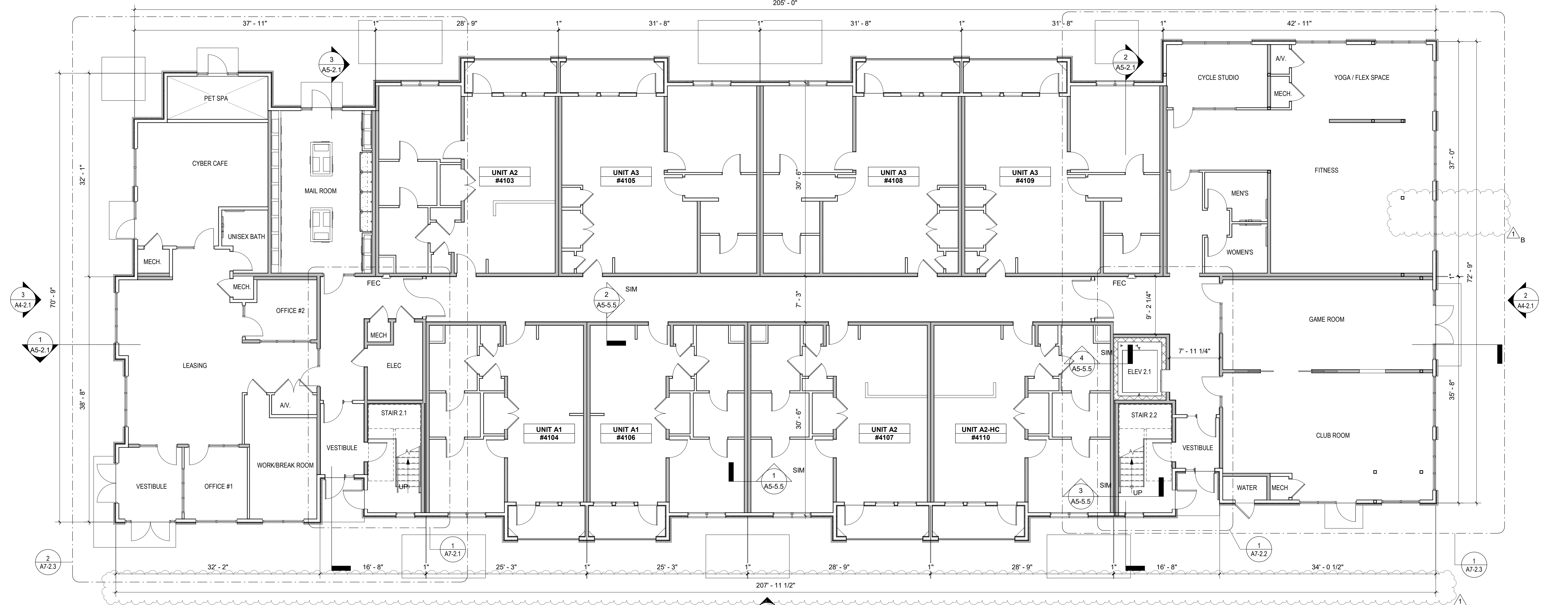
UNIT TYPE
UNIT NUMBER
LEVEL
BUILDING NUMBER - REFER TO SITE PLAN

FEC FIRE EXTINGUISHER CABINET LOCATION (MIN. 2A-10-B-C PER 2012 IFC) W/ RECESSED CABINET, MAINTAIN FIRE RATING, TOP OF EXTINGUISHER AT 4'-0" AFF.

NOTE:
 1. REFER TO A3 SHEETS FOR DIMENSIONS AND INFORMATION NOT SHOWN
 2. REFER TO SP - 0.1 FOR LOCATION OF GROUP 2 UNITS
 3. ALL UNITS SHALL COMPLY WITH THE FAIR HOUSING ACT AND 521 CMR



BUILDING TYPE B - LEVEL 2 PLAN
 SCALE: 1/8" = 1'-0"

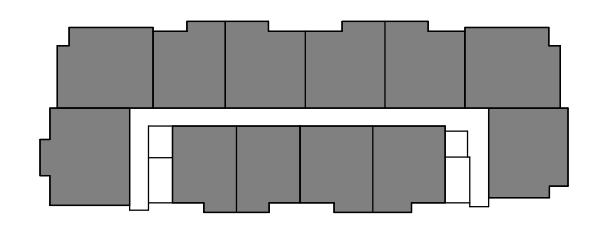


BUILDING TYPE B - LEVEL 1 PLAN
 SCALE: 1/8" = 1'-0"



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**VOLARIS
 MARLBOROUGH
 APARTMENTS**

MARLBOROUGH, MA

CLIENT



PHILLIPS JOB NUMBER 1967710

ISSUE DATE 2019.10.18

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DRAWING TITLE

**BUILDING B - FLOOR
 PLANS**

SHEET NUMBER

A1-2.1

5901 PEACHTREE DUNWOODY RD.
 BUILDING A, SUITE 450
 ATLANTA, GEORGIA 30328

PHILLIPSPART.COM 770-394-1616

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REVISION 1 SUMMARY
A. ADDED DIMENSION

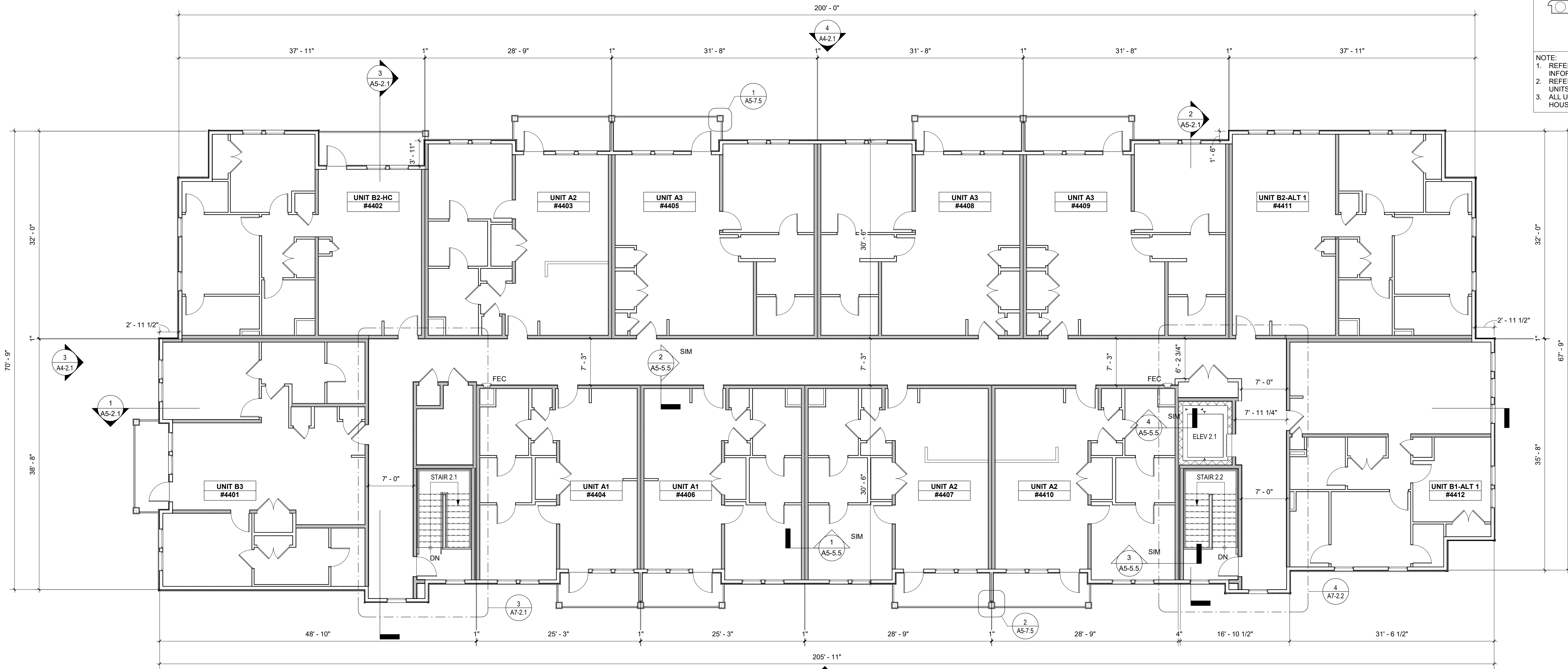
FLOOR PLAN LEGEND

UNIT TYPE
UNIT XXX
#XXXX

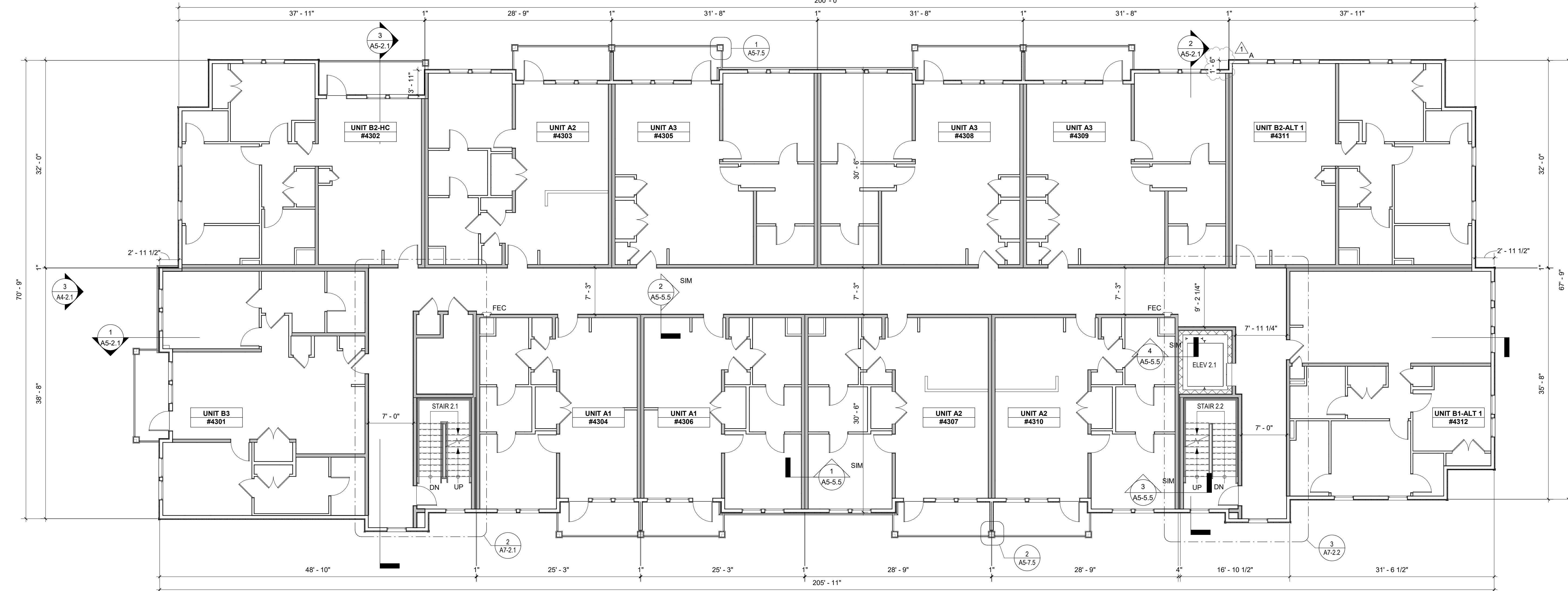
UNIT NUMBER
LEVEL
BUILDING NUMBER - REFER TO SITE PLAN

FEC FIRE EXTINGUISHER CABINET
LOCATION (MIN. 2A: 10-B-C PER 2012 IFC) W/ RECESSED CABINET, MAINTAIN FIRE RATING, TOP OF EXTINGUISHER AT 4'-0" AFF.

NOTE:
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2. REFER TO SP - 0.1 FOR LOCATION OF GROUP 2 UNITS
3. ALL UNITS SHALL COMPLY WITH THE FAIR HOUSING ACT AND 521 CMR



2 BUILDING TYPE B - LEVEL 4 PLAN
SCALE: 1/8" = 1'-0"

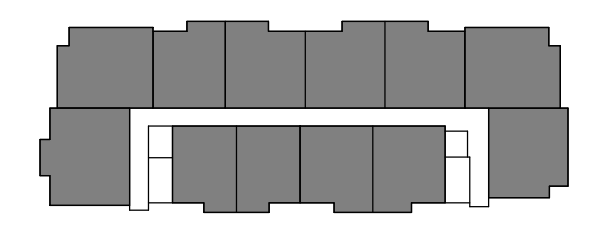


1 BUILDING TYPE B - LEVEL 3 PLAN
SCALE: 1/8" = 1'-0"



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**VOLARIS
MARLBOROUGH
APARTMENTS**

MARLBOROUGH, MA

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PHILLIPS JOB NUMBER 1967710

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DRAWING TITLE

**BUILDING B - FLOOR
PLANS**

SHEET NUMBER

A1-2.2

5901 PEACHTREE DUNWOODY RD.
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328

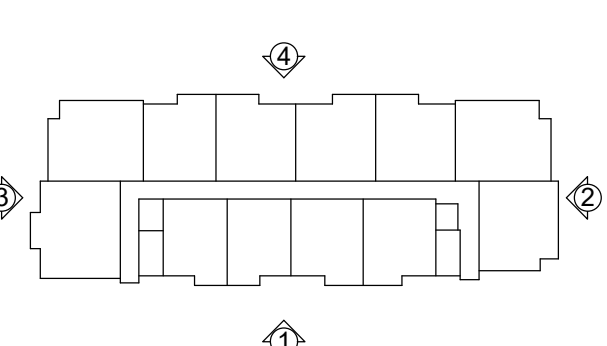
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VOLARIS MARLBOROUGH APARTMENTS

MARLBOROUGH, MA

CLIENT



PHILLIPS JOB NUMBER 1967710

ISSUE DATE 2019.10.18

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DRAWING TITLE OVERALL ELEVATIONS - BUILDING 'TYPE A'

SHEET NUMBER

A4-1.1

5901 PEACHTREE DUNWOODY RD. BUILDING A, SUITE 450 ATLANTA, GEORGIA 30328 PHILLIPSPART.COM 770-394-1616

ELEVATION LEGEND

XX-X	MATERIAL KEYNOTE
[Symbol]	LAP SIDING - REFER TO KEYNOTE LEGEND FOR TYPE
[Symbol]	MANUFACTURED STONE VENEER - REFER TO KEYNOTE LEGEND FOR MANUFACTURER
[Symbol]	SHINGLE SIDING - REFER TO KEYNOTE LEGEND FOR TYPE
[Symbol]	BOARD AND BATTEN - REFER TO KEYNOTE LEGEND FOR TYPE

ELEVATION KEYNOTE LEGEND

AS-1	ASPHALT SHINGLES - CERTAINTED (OR APPROVED EQUAL) - LANDMARK SERIES - COLOR: "HEATHER BLEND"
CW-1	COLUMN WRAP - CERTAINTED (OR APPROVED EQUAL) - RESTORATION MILLWORK CLASSIC COLUMN WRAPS - 10" X 10" - COLOR: TO MATCH HERRINGBONE
DL-1	DECORATIVE LOUVER VENT - COLOR TO MATCH ESPRESSO
DS-1	5" DIAMETER PREFINISHED ALUMINUM DOWNSPOUT - COLOR: "BRONZE"
G-1	6" PREFINISHED ALUMINUM GUTTER - COLOR: "BRONZE"
GR-1	BALCONY GUARD RAIL - PRIMED & PAINTED TUBE STEEL RAILS AND PICKETS - COLOR TO MATCH ESPRESSO
L-1	DECORATIVE WALL SCONCE - AS SELECTED BY OWNER - REFER TO ELECTRICAL DRAWINGS
SV-1	MANUFACTURED STONE VENEER - EL DORADO STONE (OR APPROVED EQUAL) - COLOR: "WHITEBARK"
SV-2	MANUFACTURED STONE TRIM - EL DORADO STONE (OR APPROVED EQUAL) - COLOR: "EARTH"
VS-1	VINYL SIDING - CERTAINTED (OR APPROVED EQUAL) - MONOGRAM - 5" CLAPBOARD - COLOR: "HERRINGBONE"
VS-3	VINYL SIDING - CERTAINTED (OR APPROVED EQUAL) - NORTHWOODS - SINGLE 9" STAGGERED ROUGH-SPLIT SHAKES - COLOR: "NATURAL CLAY"
VS-4	VINYL SIDING - CERTAINTED (OR APPROVED EQUAL) - BOARD AND BATTEN - SINGLE 7" - COLOR: "ESPRESSO"
VS-6	VINYL TRIM BOARD - CERTAINTED (OR APPROVED EQUAL) - VINYL CARPENTRY DECORATIVE TRIM - SMOOTH - COLOR: "HERRINGBONE"
VS-7	VINYL TRIM BOARD - CERTAINTED (OR APPROVED EQUAL) - VINYL CARPENTRY DECORATIVE TRIM - SMOOTH - COLOR: "ESPRESSO"
VS-9	VINYL TRIM BOARD - CERTAINTED (OR APPROVED EQUAL) - VINYL CARPENTRY DECORATIVE TRIM - SMOOTH - COLOR: "ESPRESSO"



4 BUILDING TYPE A - REAR ELEVATION A4-1.1 SCALE: 1/8" = 1'-0"



3 BUILDING TYPE A - LEFT SIDE ELEVATION A4-1.1 SCALE: 1/8" = 1'-0"



2 BUILDING TYPE A - RIGHT SIDE ELEVATION A4-1.1 SCALE: 1/8" = 1'-0"



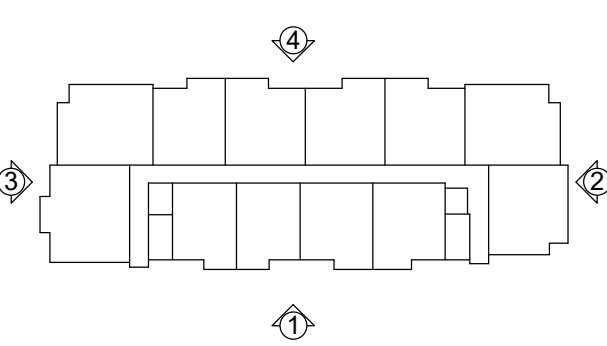
1 BUILDING TYPE A - FRONT ELEVATION A4-1.1 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION



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VOLARIS MARLBOROUGH APARTMENTS

MARLBOROUGH, MA

CLIENT



PHILLIPS JOB NUMBER 1967710

ISSUE DATE 2019.10.18

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DRAWING TITLE

OVERALL ELEVATIONS - BUILDING 'TYPE A' COLOR

SHEET NUMBER

A4-1.1C

5901 PEACHTREE DUNWOODY RD. BUILDING A, SUITE 450 ATLANTA, GEORGIA 30328 PHILLIPSPART.COM 770-394-1616

ELEVATION LEGEND

- XX-X MATERIAL KEYNOTE
- LAP SIDING - REFER TO KEYNOTE LEGEND FOR TYPE
- MANUFACTURED STONE VENEER - REFER TO KEYNOTE LEGEND FOR MANUFACTURER
- SHINGLE SIDING - REFER TO KEYNOTE LEGEND FOR TYPE
- BOARD AND BATTEN - REFER TO KEYNOTE LEGEND FOR TYPE

ELEVATION KEYNOTE LEGEND

- AS-1 ASPHALT SHINGLES - CERTAINTEED (OR APPROVED EQUAL) - LANDMARK SERIES - COLOR: "HEATHER BLEND"
- CW-1 COLUMN WRAP - CERTAINTED (OR APPROVED EQUAL) - RESTORATION MILLWORK CLASSIC COLUMN WRAPS - 10" X 10" - COLOR: TO MATCH HERRINGBONE
- DL-1 DECORATIVE LOUVER VENT - COLOR TO MATCH ESPRESSO
- DS-1 5" DIAMETER PREFINISHED ALUMINUM DOWNSPOUT - COLOR: "BRONZE"
- G-1 6" PREFINISHED ALUMINUM GUTTER - COLOR: "BRONZE"
- GR-1 BALCONY GUARD RAIL - PRIMED & PAINTED TUBE STEEL RAILS AND PICKETS - COLOR TO MATCH ESPRESSO
- L-1 DECORATIVE WALL SCONCE - AS SELECTED BY OWNER - REFER TO ELECTRICAL DRAWINGS
- SV-1 MANUFACTURED STONE VENEER - EL DORADO STONE (OR APPROVED EQUAL) - CLIFFSTONE - COLOR: "WHITEBARK"
- SV-2 MANUFACTURED STONE TRIM - EL DORADO STONE (OR APPROVED EQUAL) - COLOR: "EARTH"
- VS-1 VINYL SIDING - CERTAINTED (OR APPROVED EQUAL) - MONOGRAM - 5" CLAPBOARD - COLOR: "HERRINGBONE"
- VS-3 VINYL SIDING - CERTAINTED (OR APPROVED EQUAL) - MONOGRAM - 4" CLAPBOARD - COLOR: "ESPRESSO"
- VS-4 VINYL SIDING - CERTAINTED (OR APPROVED EQUAL) - NORTHWOODS - SINGLE 9" STAGGERED ROUGH-SPLIT SHAKES - COLOR: "NATURAL CLAY"
- VS-6 VINYL SIDING - CERTAINTED (OR APPROVED EQUAL) - BOARD AND BATTEN - SINGLE 7" - COLOR: "ESPRESSO"
- VS-7 VINYL TRIM BOARD - CERTAINTED (OR APPROVED EQUAL) - VINYL CARPENTRY DECORATIVE TRIM - SMOOTH - COLOR: "HERRINGBONE"



4 BUILDING TYPE A - REAR ELEVATION COLOR



3 BUILDING TYPE A - LEFT SIDE ELEVATION COLOR



2 BUILDING TYPE A - RIGHT SIDE ELEVATION COLOR



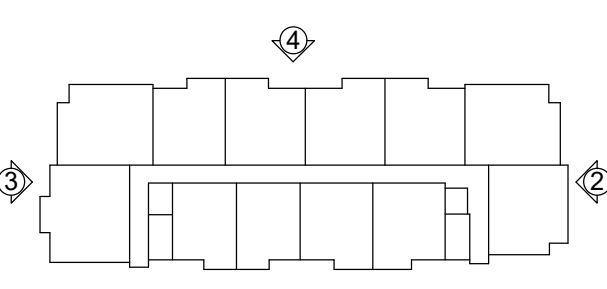
1 BUILDING TYPE A - FRONT ELEVATION COLOR

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PROJECT

VOLARIS MARLBOROUGH APARTMENTS

MARLBOROUGH, MA

CLIENT



PHILLIPS JOB NUMBER 1967710

ISSUE DATE 2019.10.18

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DRAWING TITLE

OVERALL ELEVATIONS - BUILDING 'TYPE B'

SHEET NUMBER

A4-2.1

5901 PEACHTREE DUNWOODY RD. BUILDING A, SUITE 450 ATLANTA, GEORGIA 30328

PHILLIPSPART.COM 770-394-1616

ELEVATION LEGEND

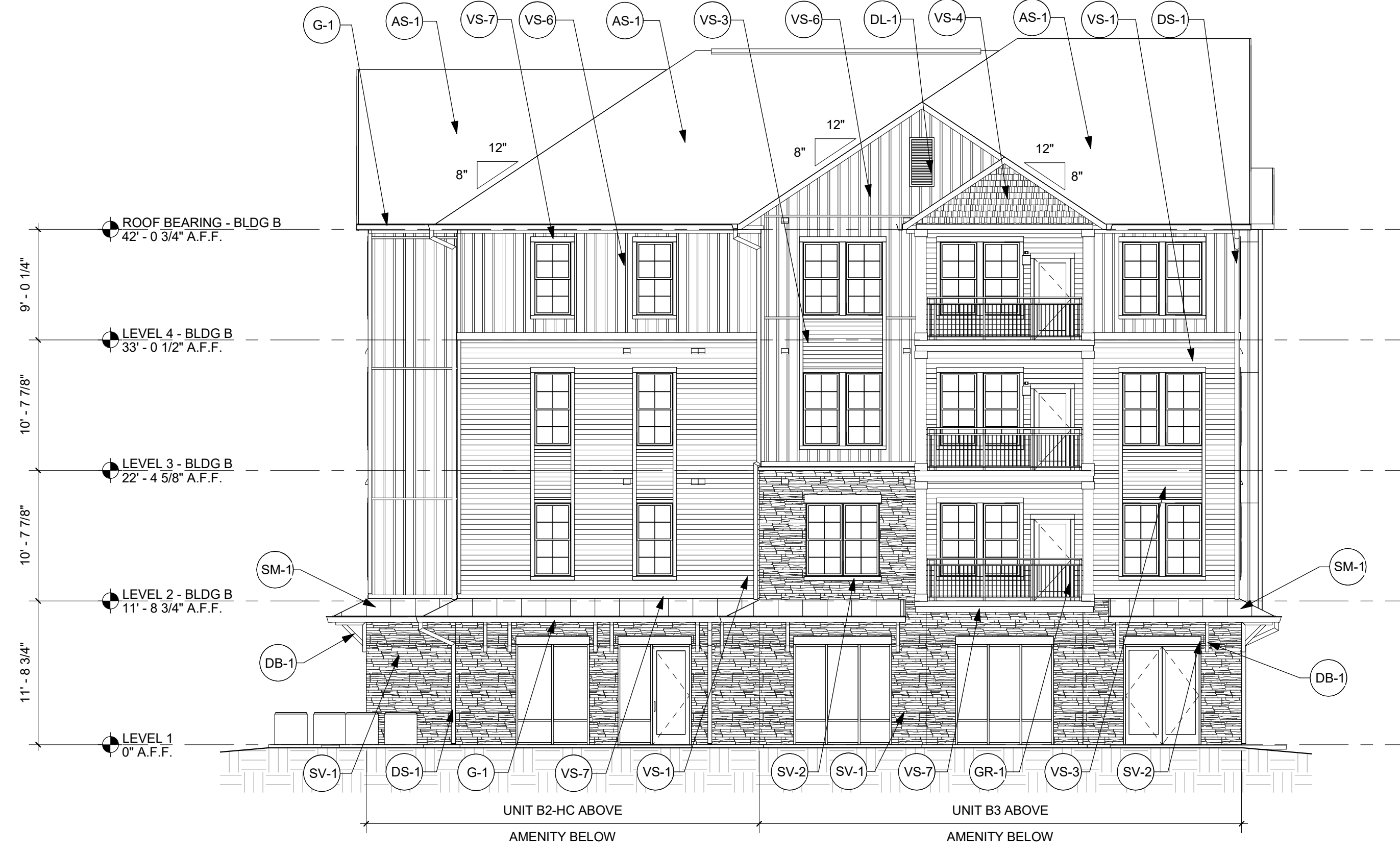
XX-X	MATERIAL KEYNOTE
[Symbol]	LAP SIDING - REFER TO KEYNOTE LEGEND FOR TYPE
[Symbol]	MANUFACTURED STONE VENEER - REFER TO KEYNOTE LEGEND FOR MANUFACTURER
[Symbol]	SINGLE SIDING - REFER TO KEYNOTE LEGEND FOR TYPE
[Symbol]	BOARD AND BATTEN - REFER TO KEYNOTE LEGEND FOR TYPE

ELEVATION KEYNOTE LEGEND

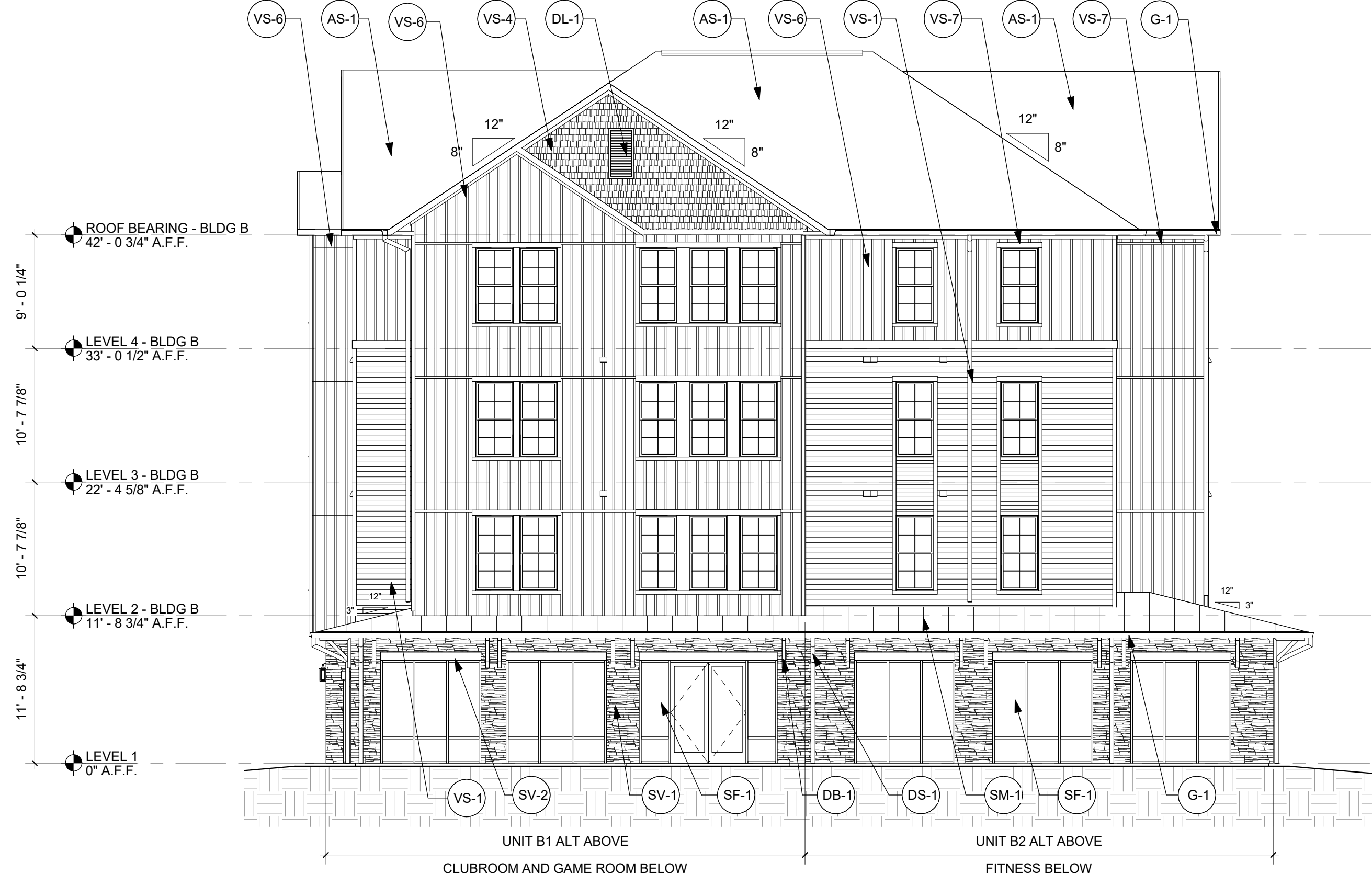
AS-1	ASPHALT SHINGLES - CERTAINTED (OR APPROVED EQUAL) - LANDMARK SERIES - COLOR: "HEATHER BLEND"
CW-1	COLUMN WRAP - CERTAINTED (OR APPROVED EQUAL) - RESTORATION MILLWORK CLASSIC COLUMN WRAPS - 10" X 10" - COLOR: TO MATCH HERRINGBONE
DB-1	DECORATIVE BRACKET - COLOR TO MATCH HERRINGBONE
DL-1	DECORATIVE LOWER VENT - COLOR TO MATCH ESPRESSO
DS-1	5" DIAMETER PREFINISHED ALUMINUM DOWNSPOUT - COLOR: "BRONZE"
G-1	6" PREFINISHED ALUMINUM GUTTER - COLOR: "BRONZE"
GR-1	BALCONY GUARD RAIL - PRIMED & PAINTED TUBE STEEL RAILS AND PICKETS - COLOR TO MATCH ESPRESSO
L-1	DECORATIVE WALL SCONCE - AS SELECTED BY OWNER - REFER TO ELECTRICAL DRAWINGS
SF-1	STANDING SEAM METAL ROOF - PAC CLAD OR APPROVED EQUAL - COLOR TO BE DARK BRONZE
SM-1	MANUFACTURED STONE VENEER - EL DORADO STONE (OR APPROVED EQUAL) - CLIFFSTONE - COLOR: "WHITEBARK"
SV-1	MANUFACTURED STONE TRIM - EL DORADO STONE (OR APPROVED EQUAL) - COLOR: "EARTH"
SV-2	VINYL SIDING - CERTAINTED (OR APPROVED EQUAL) - MONOGRAM - 4" CLAPBOARD - COLOR: "ESPRESSO"
VS-1	VINYL SIDING - CERTAINTED (OR APPROVED EQUAL) - MONOGRAM - 5" CLAPBOARD - COLOR: "HERRINGBONE"
VS-3	VINYL SIDING - CERTAINTED (OR APPROVED EQUAL) - NORTHWOODS - SINGLE 9" STAGGERED ROUGH-SPLIT SHAKES - COLOR: "NATURAL CLAY"
VS-4	VINYL SIDING - CERTAINTED (OR APPROVED EQUAL) - BOARD AND BATTEN - SINGLE 7" - COLOR: "ESPRESSO"
VS-6	VINYL TRIM BOARD - CERTAINTED (OR APPROVED EQUAL) - VINYL CARPENTRY DECORATIVE TRIM - SMOOTH - COLOR: "HERRINGBONE"
VS-7	VINYL TRIM BOARD - CERTAINTED (OR APPROVED EQUAL) - VINYL CARPENTRY DECORATIVE TRIM - SMOOTH - COLOR: "HERRINGBONE"



4 BUILDING TYPE B - REAR ELEVATION SCALE: 1/8" = 1'-0"



3 BUILDING TYPE B - LEFT SIDE ELEVATION SCALE: 1/8" = 1'-0"



2 BUILDING TYPE B - RIGHT SIDE ELEVATION SCALE: 1/8" = 1'-0"



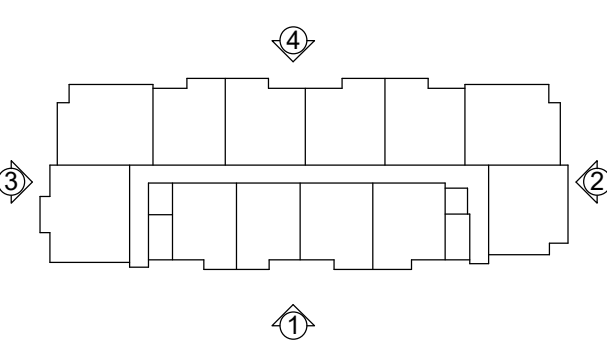
1 BUILDING TYPE B - FRONT ELEVATION SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION



PHILLIPS

KEYPLAN



CONSULTANT

SEAL

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION
1	2019.10.18	30% SCHEMATIC DESIGN SET
2	2019.11.19	50% DESIGN DEVELOPMENT SET
3	2019.12.18	PRICING SET
4	2020.01.31	AMENITY REVISION

TENANT

PROJECT

VOLARIS MARLBOROUGH APARTMENTS

MARLBOROUGH, MA

CLIENT



PHILLIPS JOB NUMBER 1967710

ISSUE DATE 2019.10.18

DRAWN BY/CHECKED BY BR / DH

DRAWING TITLE OVERALL ELEVATIONS - BUILDING 'TYPE B' COLOR

SHEET NUMBER

A4-2.1C

5901 PEACHTREE DUNWOODY RD. BUILDING A, SUITE 450 ATLANTA, GEORGIA 30328 PHILLIPSPART.COM 770-394-1616

ELEVATION LEGEND

- XX-X MATERIAL KEYNOTE
- LAP SIDING - REFER TO KEYNOTE LEGEND FOR TYPE
- MANUFACTURED STONE VENEER - REFER TO KEYNOTE LEGEND FOR MANUFACTURER
- SHINGLE SIDING - REFER TO KEYNOTE LEGEND FOR TYPE
- BOARD AND BATTEN - REFER TO KEYNOTE LEGEND FOR TYPE

ELEVATION KEYNOTE LEGEND

- AS-1 ASPHALT SHINGLES - CERTAINTEE (OR APPROVED EQUAL) - LANDMARK SERIES - COLOR: "HEATHER BLEND"
- CW-1 COLUMN WRAP - CERTAINTEE (OR APPROVED EQUAL) - RESTORATION MILLWORK CLASSIC COLUMN WRAPS - 10" X 10" - COLOR: TO MATCH HERRINGBONE
- DB-1 DECORATIVE BRACKET - COLOR TO MATCH HERRINGBONE
- DL-1 DECORATIVE LOUVER VENT - COLOR TO MATCH ESPRESSO
- DS-1 5" DIAMETER PREFINISHED ALUMINUM DOWNSPOUT - COLOR: "BRONZE"
- G-1 6" PREFINISHED ALUMINUM GUTTER - COLOR: "BRONZE"
- GR-1 BALCONY GUARD RAIL - PRIMED & PAINTED TUBE STEEL RAILS AND PICKETS - COLOR TO MATCH ESPRESSO
- L-1 DECORATIVE WALL SCIENCE - AS SELECTED BY OWNER - REFER TO ELECTRICAL DRAWINGS
- SF-1 STANDING SEAM METAL ROOF - PAC CLAD OR APPROVED EQUAL - COLOR TO BE DARK BRONZE
- SM-1 MANUFACTURED STONE VENEER - EL DORADO STONE (OR APPROVED EQUAL) - CLIFFSTONE - COLOR: "WHITEBARK"
- SV-1 MANUFACTURED STONE TRIM - EL DORADO STONE (OR APPROVED EQUAL) - COLOR: "EARTH"
- SV-2 MANUFACTURED STONE VENEER - EL DORADO STONE (OR APPROVED EQUAL) - CLIFFSTONE - COLOR: "WHITEBARK"
- VS-1 VINYL SIDING - CERTAINTEE (OR APPROVED EQUAL) - MONOGRAM - 6" CLAPBOARD - COLOR: "HERRINGBONE"
- VS-3 VINYL SIDING - CERTAINTEE (OR APPROVED EQUAL) - MONOGRAM - 4" CLAPBOARD - COLOR: "ESPRESSO"
- VS-4 VINYL SIDING - CERTAINTEE (OR APPROVED EQUAL) - NORTHWOODS - SINGLE 9" STAGGERED ROUGH-SPLIT SHAKES - COLOR: "NATURAL CLAY"
- VS-6 VINYL SIDING - CERTAINTEE (OR APPROVED EQUAL) - BOARD AND BATTEN - SINGLE 7" - COLOR: "ESPRESSO"
- VS-7 VINYL TRIM BOARD - CERTAINTEE (OR APPROVED EQUAL) - VINYL CARPENTRY DECORATIVE TRIM - SMOOTH - COLOR: "HERRINGBONE"



4 BUILDING TYPE B - REAR ELEVATION COLOR SCALE: 1/8" = 1'-0"



3 BUILDING TYPE B - LEFT SIDE ELEVATION COLOR SCALE: 1/8" = 1'-0"



2 BUILDING TYPE B - RIGHT SIDE ELEVATION COLOR SCALE: 1/8" = 1'-0"



1 BUILDING TYPE B - FRONT ELEVATION COLOR SCALE: 1/8" = 1'-0"

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