

February 12, 2021

Susan Brown, Board Secretary
Zoning Board of Appeals
140 Main Street
Marlborough, MA 01752

RE: Petition for Variance
Raising Cane's Restaurant, LLC
141 Boston Post Road West, Marlborough, Massachusetts

Dear Ms. Brown:

Enclosed for your review and approval please find the following:

1. Application for Variance
2. Check in the amount of Three Hundred Seventy Five (\$375.00) Dollars payable to the City of Marlborough;
3. Abutters List as certified by the Marlborough Assessors;
4. 8.5 X 11 Plan showing setbacks of all proposed buildings, lot lines, length of lot lines and use of property where the Variance is requested;
5. Memorandum of Applicant in Support of the Request for Variance; and
6. Denial Letter.

Please review and let me know that the package is complete and what procedures best are performed in these unique circumstances for having the Application package stamped by the City Clerk and then returned to your office with the eight (8) complete packages.

I look forward to hearing from you and for your time and cooperation.

Very truly yours,



Mark L. Donahue
Fletcher Tilton PC
The Guaranty Building
370 Main Street, 11th Floor
Worcester, MA 01608
Tel: 508.459.8029
Email: mdonahue@fletchertilton.com
MLD/mmp
Enclosures



**CITY OF MARLBOROUGH
ZONING BOARD OF APPEALS
Application for Variance or Appeal Hearing**

Official Use :

Date Received : _____ City Clerk's # _____ ZBA Case # _____

Request for :

Variance Appeal

Information :

Property Address 141 Boston Post Road West, Route 20 Zoning District B Map# 78 Parcel# 78-15A

Applicant is: Owner Tenant Prospective Purchaser Other _____

I am the owner of the property and I have knowledge of, and consent to, this application.

Owner's signature _____ Date _____

Owner's name RK Associates Marlboro, Inc. Address 50 Cabot Street, Suite 200, Needham
State MA Zip 02494 Phone# 781-320-0001 E-mail _____

Applicant name Raising Cane's Restaurants, LLC Address 6800 Bishop Road, Plano
State TX Zip 75024 Phone# (216)769-3206 E-mail acaracci@raisingcanes.com

Representative Name: Mark Donahue Company Fletcher Tilton, PC
Address 370 Main Street, 12th Floor, Worcester
State MA Zip 01608 Phone# 508-459-8029 E-mail mdonahue@fletchertilton.com

Describe below what is being requested, such as what is the proposed action, relief, or construction on the property.

The applicant seeks approval of its plans for the installation of a new restaurant location at 141 Boston Post Road with a dual lane drive through service. Please see the Memorandum filed herewith for further details.

Provide below all sections of the Zoning Ordinance (Chapter 650, Article(s), Section(s), Paragraph(s), Subsection(s)) which are pertinent to the Variance (see denial letter).

650-47-F(2): Requiring a minimum of five feet (5'-0") for side line planting area, where a zero (or minimal) sideline planting area is proposed; and

650-48 A: Requiring a minimum of one parking space for every three seats, plus one space for every employee, resulting in a requirement of thirty five (35) off street parking spaces, where twenty eight (28) off street parking spaces are proposed.

Variance

1. What is the soil condition, shape or topography of **YOUR** lot or structure which **DISTINCTLY** affects your lot, as distinguished from other lots in the zoning district which it is located.

Please see the Memorandum filed herewith.

2. What is the **HARDSHIP** that is **CAUSED** by the soil condition, shape or topography of your lot or structure stated above. **PERSONAL INCONVIENCE** is **NOT** a hardship. A hardship imposes a substantial financial penalty or directly affects your use of the land or structure as it is zoned.

Please see the Memorandum filed herewith.

3. State how the variance you are requesting, if granted, will not nullify or detract from the intent or purpose of the Zoning Ordinance.

Please see the Memorandum filed herewith.

4. State how the variance you are requesting, if granted, will not diminish the public welfare or well-being.

Please see the Memorandum filed herewith.

Appeal

State the specifics of the Appeal (use additional sheet if necessary).

Please see the Memorandum filed herewith.

Application Packet:

The applicant shall submit ten (8) copies of the application packet which shall contain sufficient information to illustrate and defend the applicant's case and as a minimum shall consist of the following:

- Completed Zoning Board of Appeals Application Form
- Abutters List certified by the Assessor's Office
- Copy of denial letter from City Official
- Certified Plot Plan prepared and stamped by a Massachusetts Registered Professional Land Surveyor. A mortgage plan is **NOT** a certified plot plan. The certified plot plan shall include:
 - Plan Size 8 1/2" x 11" or 11" x 17"
 - Plans drawn to accurate scale with north arrow
 - Owner names and street addresses of directly abutting lots
 - Name of streets and zoning districts.
 - Bearing and distances of subject property
 - Dimensions and property line setbacks of all structures on subject property
 - Location of driveways, parking areas and other impervious surfaces on subject property
 - Location of walls, curbing, major landscaping, fences on subject property
 - Location of easements, wetlands and floodplains on subject property, if applicable
 - Dimensions and property line setbacks of all proposed work
 - Lot Coverage (area covered by all impervious surfaces) existing and proposed
 - Location and property line setbacks of structures, fences, driveways etc. on abutting lots that are within fifteen (15) feet of subject property lines
- Site plans of subject property showing topography and drainage structures, if regrading of the site or rerouting of runoff is proposed or if property is in Floodplain and Wetland Protection District.
- Architectural plans of new or modified building structure, if applicable.

Filing Fee: Filing fees are based upon the proposed USE of the property:

- Residential Non--revenue bearing \$130.00
- Residential Revenue bearing \$250.00
- Business, Commercial or Automotive \$375.00
- Industrial, Limited or Full \$500.00
- Special Permit (Flood Plain and Wetland Protection District)..... \$450.00

Hearing Request: I hereby request a hearing before the Zoning Board of Appeals regarding this application packet and I am aware that two (2) legal ads will be placed in the MetroWest Daily News or the Marlborough Enterprise Weekly newspaper which will be billed directly to me or my representative. I am further aware that I am responsible for sending copies of the Notice of Hearing to all the abutters on the certified list at least fourteen (14) days prior to the hearing date and that I will submit the receipts confirming this mailing to the zoning office seven (7) days prior to the hearing. Finally, I am aware that I am required to record the board's certified decision and the certified plot plan with the Registry of Deeds in order for it to take effect.

ZBA Case # _____

Applicant's signature: 

Date: 2/11/2021

Print name: Adam Caracci
and/or

Representative's signature: 

Date: 2/12/2021

Print Name: Mark Donahue

Official Use Only:

Received from applicant, the sum of \$ _____ Check # _____

Signature of the agent of the Zoning Board of Appeals:

Date: _____

Susan Brown - Board Secretary
Department - Zoning Board of Appeals
140 Main Street
Marlborough, MA 01752
Tel# 508-460-3768 E-mail: sbrown@marlborough-ma.gov

The date and signature of the agent of the Zoning Board of Appeals will serve as certification as to when the **COMPLETE** application packet accompanied by the proper filing fee was filed with this office.

FLETCHER TILTON PC

Vendor ID: 0325

Payee: City of Marlborough

Check Amt: \$375.00

Check #: 157916

Check Date: Feb 11, 2021

<u>Disb Date</u>	<u>Disb ID</u>	<u>Disbursement Description</u>	<u>Client</u>	<u>Matter</u>	<u>Amount</u>
Feb 11, 2021	342561	Filing Fees	051707	00001	\$375.00
Disbursements Total:					\$375.00

FLETCHER TILTON PC
 370 MAIN STREET
 WORCESTER, MASSACHUSETTS 01608
 TAX ID: 04-2628601

TD BANK
 WORCESTER, MA
 53-7054-2113

CHECK NO.: 157916

Date: February 11, 2021

PAY Three hundred seventy-five and 00/100***** \$***375.00***

TO
 THE
 ORDER
 OF
 City of Marlborough

Man d

VOID AFTER 90 DAYS

⑈00157916⑈ ⑆211370545⑆ ⑈8240403662⑈

Parcel Number	GIS Number	Cama Number	Property Address	Owner Name	Co-Owner Name	Owner Address	Owner Address 2	Owner City	Owner State	Owner Zip
78-1	M_192633_899 100	78-1	261 BOSTON POST RD WEST	ROYAL PLAZA MARLBOROUGH H LLC		181 BOSTON POST RD WEST		MARLBOROUGH	MA	01752
78-11C	M_192871_898 886	78-11C	123 BOSTON POST RD WEST	RB HOTEL MARLBOROUGH H LLC		4100 REGENT ST SUITE G		COLUMBUS	OH	43219
78-12	M_192617_898 673	78-12	105 APEX DR	WALKER REALTY LLC		C/O RYAN DEVELOPMENT LLC	4 LAN DR	WESTFORD	MA	01886
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MARLBOROUGH ASSESSORS

Allyson E. Lewis
June 17, 2024

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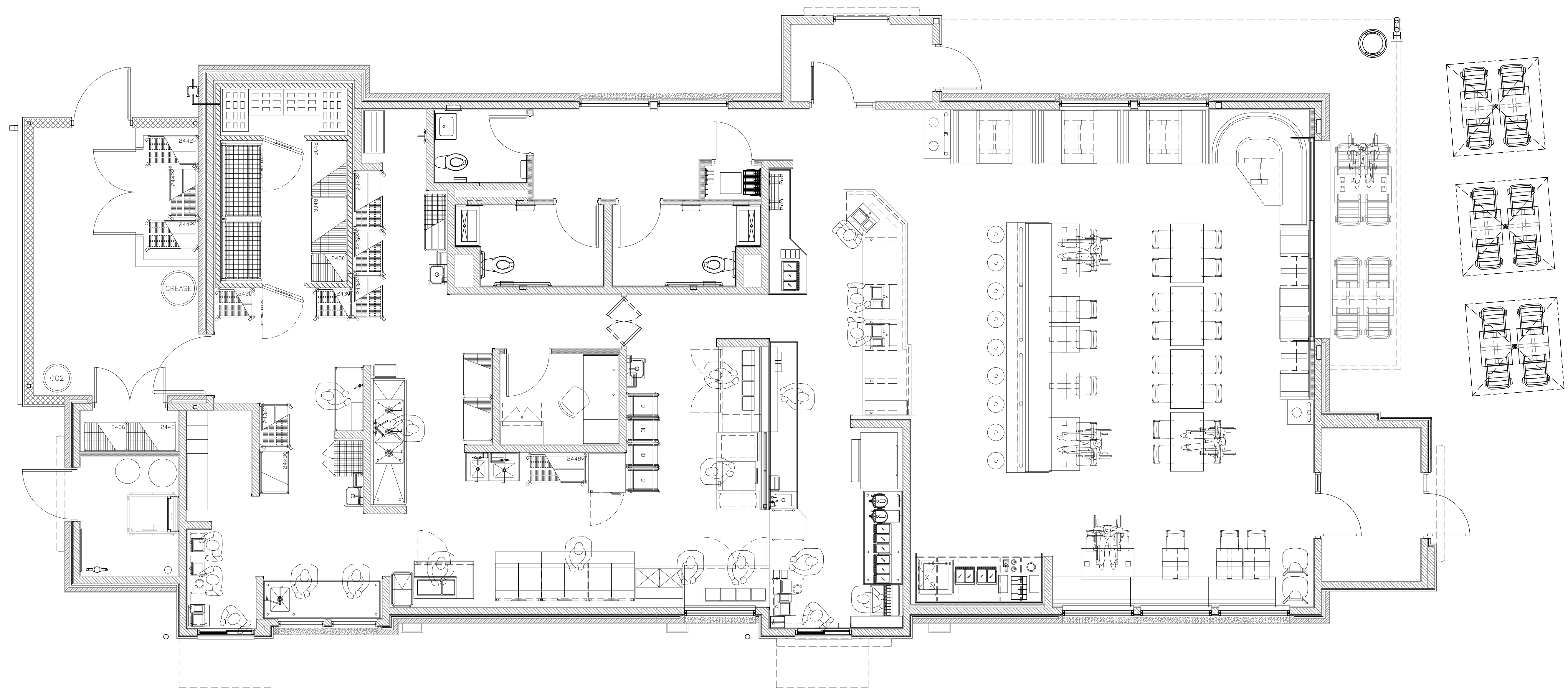
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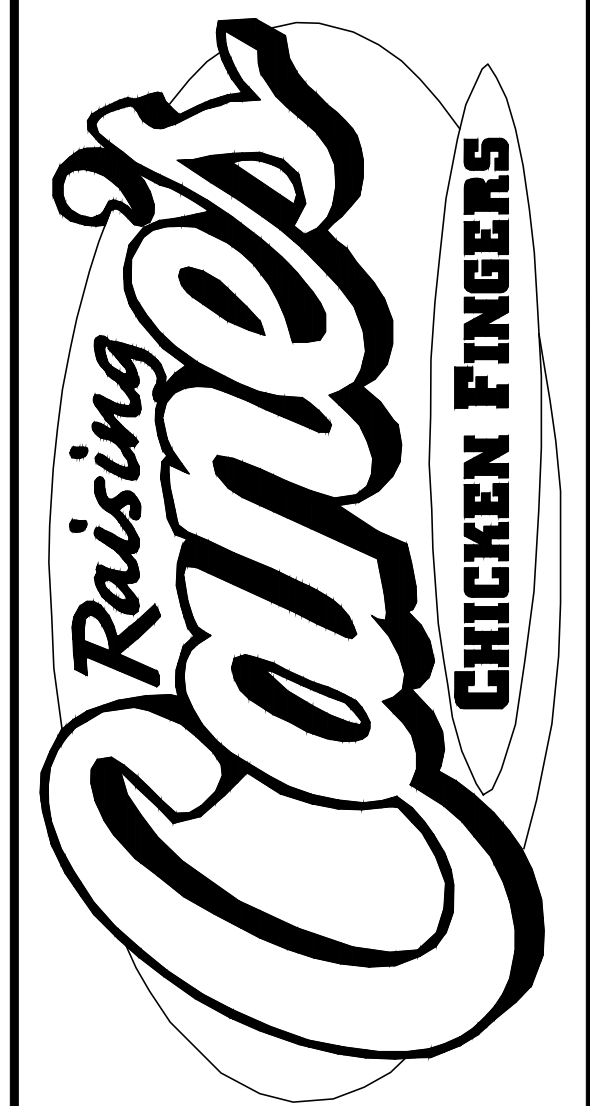
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78-14A	M_192655_898 687	78-14A	176 BOSTON POST RD WEST	KARAPATSAS PAUL		ONE DAVE THOMAS BLVD		DUBLIN	OH	43017
78-15	M_192713_898 801	78-15	155 BOSTON POST RD WEST	MCDONALDS CORPORATIO N		P O BOX 902		SPENCER	MA	01562
78-16	M_192641_898 760	78-16	187-189 BOSTON POST RD WEST	R K ASSOCIATES- MARLBORO INC		50 CABOT ST STE 200	ATTN RK CENTERS	NEEDHAM	MA	02494

78-1A	M_192648_898 901	78-1A	191-199 BOSTON POST RD WEST	R K ASSOCIATES- MARLBORO INC		50 CABOT STREET STE 200	ATTN RK CENTERS	NEEDHAM	MA	02494
78-1A	M_192648_898 901	78-1A	201 BOSTON POST RD WEST	R K ASSOCIATES- MARLBORO INC		50 CABOT STREET STE 200	ATTN RK CENTERS	NEEDHAM	MA	02494
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78-28	M_192790_898 982	78-28	139 NORTHBORO RD EAST	PAUL M LYN		139 NORTHBORO RD EAST		MARLBOROUGH H	MA	01752



PRELIMINARY FLOOR PLAN
SCALE: 1/4" = 1'-0"



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tele: 972-769-3100 Fax: 972-769-3101

ARCHITECTS, INC.
17710 Detroit Avenue, Lakewood, Ohio 44107
Phone (216) 521-3134 Fax (216) 521-4624
www.adaarchitects.com

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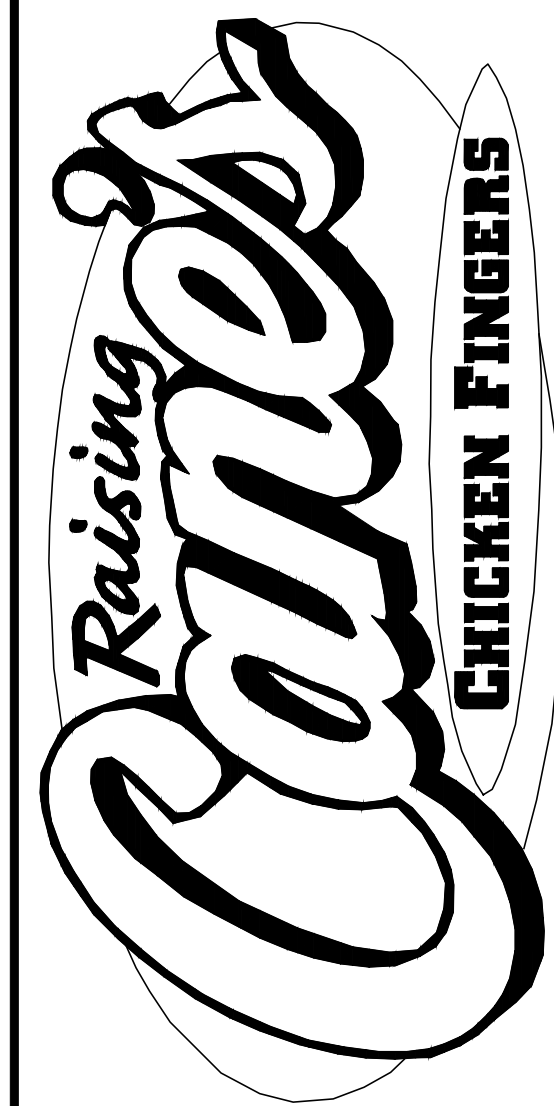
STORE:
RAISING CANE'S RESTAURANT
MARLBOROUGH, MA

SHEET REVISIONS		
#	DATE	TYPE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PRELIMINARY FLOOR PLAN

DATE: 12/01/2020
JOB NO. 20241

FP-1
SHEET NO.



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tele: 972-769-3100 Fax: 972-769-3101



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STORE:
RAISING CANE'S RESTAURANT
MARLBOROUGH, MA

SHEET REVISIONS		
#	DATE	TYPE
1		
2		
3		
4		
5		
6		
7		
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9		
10		

PRELIMINARY EXTERIOR ELEVATIONS

DATE: 12/01/2020
JOB NO. 20241

EL-1
SHEET NO.



FRONT ENTRY ELEVATION
SCALE: 1"=12'-0"



DRIVE THRU ELEVATION
SCALE: 1"=12'-0"


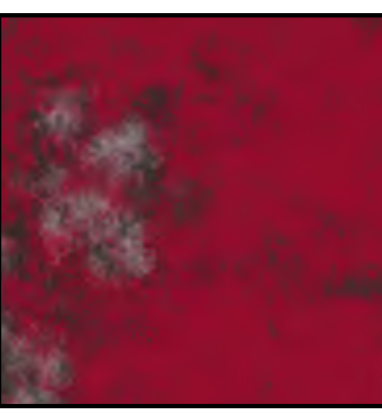

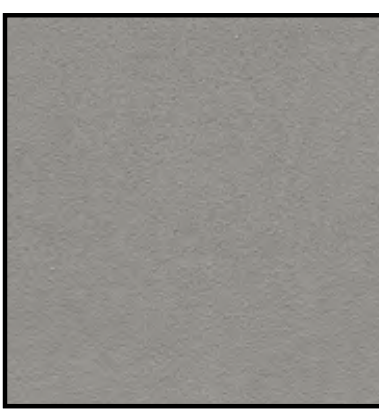
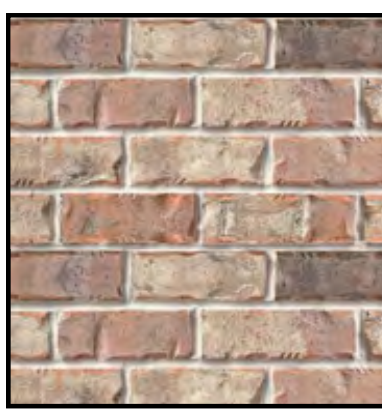
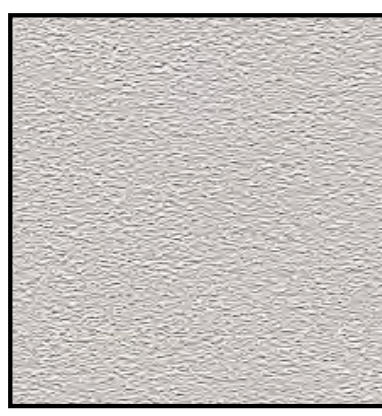




SIDE ENTRY ELEVATION
SCALE: 1"=12'-0"



REAR ELEVATION
SCALE: 1"=12'-0"

MATERIAL FINISHES

EM-3  HOT ROLLED STEEL W/ CARBON GRADE FINISH - W/ CLEAR MATTE POWDER COAT FINISH	EM-4  RECLAIMED METAL PANEL: VINTAGE CAR HOOD OCCURS AT FACE OF THE "T" ELEMENT ONLY	EWF-1  BELDEN NORMAN BRICK MASONRY MEDIUM RANGE. SMOOTH. IRON SPOT. MORTAR TO MATCH SOLOMON PRODUCTS IO H. WEATHERED HORIZONTAL STRIKE. VERTICAL JOINTS ARE FLUSH	EWF-2  "SW 7669 SUMMIT GRAY" DRYVIT	EWF-4  BORAL: "ALAMO" MODULAR BRICK. MORTAR TO MATCH SOLOMON PRODUCTS IO H. LIGHT BUFF SACK RUB FINISH.	EWF-5  "132 MOUNTAIN FOG" DRYVIT	EWF-6  "456 OYSTER SHELL" DRYVIT	EWS-2  ALUMINUM STOREFRONT SYSTEM FINISH: ANODIZED BLACK
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**TOWN OF MARLBOROUGH
ZONING BOARD OF APPEALS**

**RE: Raising Cane's Restaurants, LLC
Petition for Variance
141 Boston Post Road West (Route 20), Marlborough, Massachusetts**

MEMORANDUM IN SUPPORT OF APPLICATION FOR VARIANCE

I. INTRODUCTION

The applicant, Raising Cane's Restaurants, LLC (Raising Cane's) seeks approval of its plans for the installation of a new restaurant location at 141 Boston Post Road with a dual lane drive through service (the "Project"). The Project requires relief from the City of Marlborough Zoning Code (the "Code") in the form of a variance from the following two (2) provisions:

650-47-F(2): Requiring a minimum of five feet (5'-0") for side line planting area, where a zero (or minimal) sideline planting area is proposed; and

650-48 A: Requiring a minimum of one parking space for every three seats, plus one space for every employee, resulting in a requirement of thirty five (35) off street parking spaces, where twenty eight (28) off street parking spaces are proposed.

II. DESCRIPTION OF PROPOSAL

Raising Cane's was founded in 1996 by Todd Graves in Baton Rouge, LA. Still family owned and operated, it today operates 545 Restaurants in 25 states and the Middle East. The Restaurant's concept is focused on its One Love, the chicken finger meal. That's all Raising Cane's serves ... boxes of chicken fingers, served with crinkle cut fries, coleslaw, Texas toast, and homemade Cane's sauce.

Raising Cane's will be unique to Massachusetts in that it is one of the first national concepts with a single item on its menu to enter the market. Raising Cane's gives back to the local communities we serve in five core areas – education, feeding the hungry, pet welfare, promoting active lifestyles, and developing entrepreneurship.

As part of the Project, Raising Cane's plans to construct dual drive through lanes that will be accessed through the onsite parking area, which can be entered from either Boston Post Road or Northboro Road, per the plans submitted herewith.

The violation with respect to sideline planting area arises from an area along the westerly property line where, due to the unusual shape of the lot and the configuration of the existing structure on the lot, there is an encroachment upon the necessary five-foot side line planting area. As reflected on the plans filed herewith, this results in a short area along the property line with no side line planting area at the narrowest point.

The violation with respect to onsite parking arises from the proposal of 28 off street parking spaces, where 35 off street parking spaces are required.

III. APPROPRIATENESS OF USE

In support of the grant of a variance, the applicant states the following:

1. Circumstances relating to the soil conditions, shape or topography of the land or structures and especially affecting such land or structures but not generally the zoning district in which it is located are as follows:

The irregular shape of the lot combined with the configuration of the existing structure on the lot is such that the proposed drive through lanes cannot be reconfigured or relocated to be outside the required 5'-0" side line planting area on the west side of the property. There is a ninety-degree indentation on the westerly side of the lot. The proposed building needs to be angled on the lot to provide for appropriate circulation for vehicles in a way that creates a "pinch point" at this indentation that causes the proposed encroachment into the side planting area.

The shape of the lot and configuration of the existing building similarly impact the availability of parking without further encroachment upon the required side planting area. This site is developed in its current configuration at the present time and the addition of more parking to comply with the Code would create the need for other relief. Any proposed parking along Boston Post Road would require additional relief related to the landscape buffer and parking setback. As the Applicant discussed with the town during preliminary site plan reviews, it is ideal to provide landscaping in this area, and overall the Project as proposed with the requested relief is more appealing than what would be available with a literal enforcement of the Code.

2. A literal enforcement of the provisions of the Westborough Zoning Bylaw would involve substantial hardship, financial or otherwise, to the Applicant for the following reasons:

Based on Raising Cane's business model, it is expected that a high level of sales will be via the proposed drive through lanes. Pre-COVID, drive thru sales typically made up 75% of Raising Cane's business. Raising Cane's expects that once dining rooms reopen (currently they are still closed), this number will edge closer to 90% until consumers become comfortable eating inside again. Pre-Covid data on the percentage of dine-in versus drive through customers at three of Raising Cane's busiest locations in California is attached hereto as Exhibit A. This data supports an approximate 75% or higher volume of drive through customers.

Due to the shape of the lot and the configuration of the existing structure, the proposed dual lane drive through service could not be implemented without further Code violations, and further reduction in parking. Drive through service is a necessary feature for Raising Canes to succeed as a responsible member of the local business community, particularly where many restaurants in the surrounding area, including the McDonald's restaurant on the adjacent parcel, feature drive through service.

3. Relief may be granted without substantial detriment to the public good for the following reasons:

The dual lane drive through has become the industry standard because it reduces queueing and allows for improved circulation for vehicles and pedestrians in and around the parking areas. Tablet ordering is employed by Crewmembers in the drive thru to take orders, take payment, and move cars through at industry-leading speeds of service. Currently, from the time a customer places their order until they leave the parking lot takes 2.5 minutes. Crewmembers will be staged throughout the drive through to ensure customers pull forward and the drive through queue is moving efficiently. Food is walked out to the outer drive through lane customers.

The relief may be granted without substantial detriment to the public good because the Project incorporates significant landscaping features. Lot coverage will be reduced from the existing 71.9% to a conforming 70% lot coverage as required by the Code, and sideline planting areas will otherwise meet or exceed the requirements of the Code.

The reduction in parking similarly will not have a negative impact on the public good. The addition of a drive through service will greatly reduce the number of customers parking on site, as compared to a traditional dine-in restaurant use. Based on the projected ratio of drive through to indoor customers, the proposed 28 off street parking spaces will be more than sufficient.

4. *Relief may be granted without nullifying or substantially derogating from the intent or purpose of the Marlborough Zoning Bylaw for the following reasons:*

The requested relief will not derogate from the intent and purpose of the Code. As discussed above, the sideline planting encroachment is along a short, currently paved area, and the Project will in fact result in a reduction in minimum lot coverage, which is in line with the intent of the code to provide sufficient landscaping coverage. Based on the anticipated level of drive through sales, parking will be sufficient and will not derogate from the intent of the code to provide sufficient on-site parking.


IV CONCLUSION

For all of the foregoing reasons, Raising Cane's Restaurants LLC respectfully requests that the Board grant the following variances:

650-47-F(2): Requiring a minimum of five feet (5'-0") for side line planting area, where a zero (or minimal) sideline planting area is proposed; and

650-48 A: Requiring a minimum of one parking space for every three seats, plus one space for every employee, resulting in a requirement of thirty five (35) off street parking spaces, where twenty eight (28) off street parking spaces are proposed.

Respectfully submitted,



Mark L. Donahue, Esquire

Fletcher Tilton, P.C.

370 Main Street

Worcester, MA 01608

(508) 459-8029

mldonahue@fletchertilton.com



City of Marlborough

BUILDING DEPARTMENT

140 Main Street
Marlborough, Massachusetts 01752
Tel. (508) 460-3776 Facsimile (508) 460-3736
building_dept@marlborough-ma.gov

JEFFREY COOKE, C.B.O.
BUILDING COMMISSIONER

PATRICK DAHLGREN
ASSISTANT BUILDING
COMMISSIONER

WILLIAM PAYNTON
LOCAL BUILDING INSPECTOR

LAURENT LEMIEUX
PLUMBING & GAS INSPECTOR

JOHN CAIN
WIRING INSPECTOR

ZONING DENIAL

January 8, 2021

TO

Applicant

Dustin Johnston
17710 Detroit Avenue
Lakewood, OH 44107

Property Owner

David Katz, RK Associates Marlboro, INC.
50 Cabot Street
Needham, MA 02494

Mr. Johnston:

Your application to construct a restaurant serving food out of doors with drive-thru service located at 141 Boston Post Road West, Marlborough, MA Parcel ID 78-15A, located in the Business zoning district (B) is denied as it does not comply with Chapter 650-47 F.(2) and 650-48 A. (11) of City Code of Marlborough.

You propose zero (or minimal) sideline planting area.

650-48C.(5)(b)[3] parking in side and rear yard, [3] Nonresidential uses in all districts: The minimum distance for parking setback from side and rear lot lines shall be the same as the minimum width required for the side line planting areas as prescribed in 650-47F.

650-47-F(2) Nonresidential and multifamily residential uses on lots with under 40,00 square feet of lot area: **five feet.**

You propose to provide 28 parking spaces. Your proposed project includes 72 indoor seats, 20 out of doors seats, and 12 staff will require a minimum of 35 off street parking spaces. This is a reduction of 7 parking spaces from the minimum required.

650-48 A. (11) off-street parking, (11) Clubs, **restaurants**, taverns and other eating places shall provide one parking space for every three seats, plus one space for every three employees.

Your use requested requires Zoning relief issued by the Zoning Board of Appeals.

You have the right to appeal this decision to the Zoning Board of Appeals as stated in the City Code section 650-58.

An appeal from this denial may be taken to the Zoning Board of Appeals by filing a Notice of Appeal with the City Clerk within 30 days of the date of this denial letter. Further information should be obtained from the Board of Appeals secretary, Susan Brown at 508-460-3768.

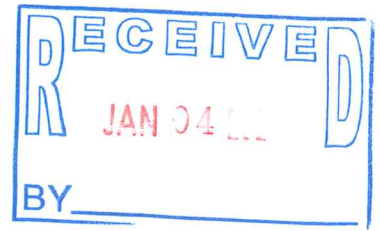
Please note, after obtaining zoning relief from the ZBA, you will need to return to this office to obtain clearance to proceed to acquire a special permit for a drive-thru from the Special Permit Granting Authorities (SPGA).

The code in its entirety may be found at www.ecode360.com/MA1056

Sincerely,

Jeffrey Cooke, C.B.O., Building Commissioner, Zoning Enforcement Officer
CC: files, City Council

Date 12/22/2020



Commonwealth of Massachusetts
CITY OF MARLBOROUGH
APPLICATION FOR USE OR CHANGE OF USE

The Marlborough City Code requires that a permit be obtained before any land or structure may be used in any way, and before any use may be changed.

► This does not apply to a change of ownership – only to a change in use.

Applications for permits shall be accompanied by two prints of a plan of the lot, drawn to scale, showing the actual dimensions of the lot, exact location and size of any existing or proposed buildings and streets and ways adjacent to the lot.

Address of property for which use or change of use is applied for:

141 Boston Post Rd W Rt 20 78-15A B - Business
No. / Street Parcel ID# Zoning District
Assessors Init: _____

Description of Use Proposed (as written in Section 650-17 Table of Uses).
Please attach a brief narrative, if necessary.

Restaurant serving food outdoors with a drive-thru (31)

If Residential, state # of units proposed N/A

If Business, state exact type Restaurant serving food outdoors with a drive-thru

Present Use of Property, including any existing structures
Loyal Companion, commercial pet store retailer

Applicant's Name Dustin Johnston Bldg Owner's Name David Katz, RK Associates Marlboro Inc.

Applicant's Address 17710 Detroit Ave Owner's Address 50 Cabot St. Suite 200
Lakewood, OH 44107 Needham, MA 02494

Applicant's Phone (216) 521-5134 Owners Phone (781) 320-0001

I, as Owner/Authorized Agent hereby declare that the statements and information on the foregoing application are true and accurate, to the best of my knowledge and belief.

Applicant's Signature [Signature] Owner's Signature [Signature]

I certify that the owner of record below is not delinquent in payments to the City of Marlborough under any circumstances per MGL Chapter 40 Section 57.

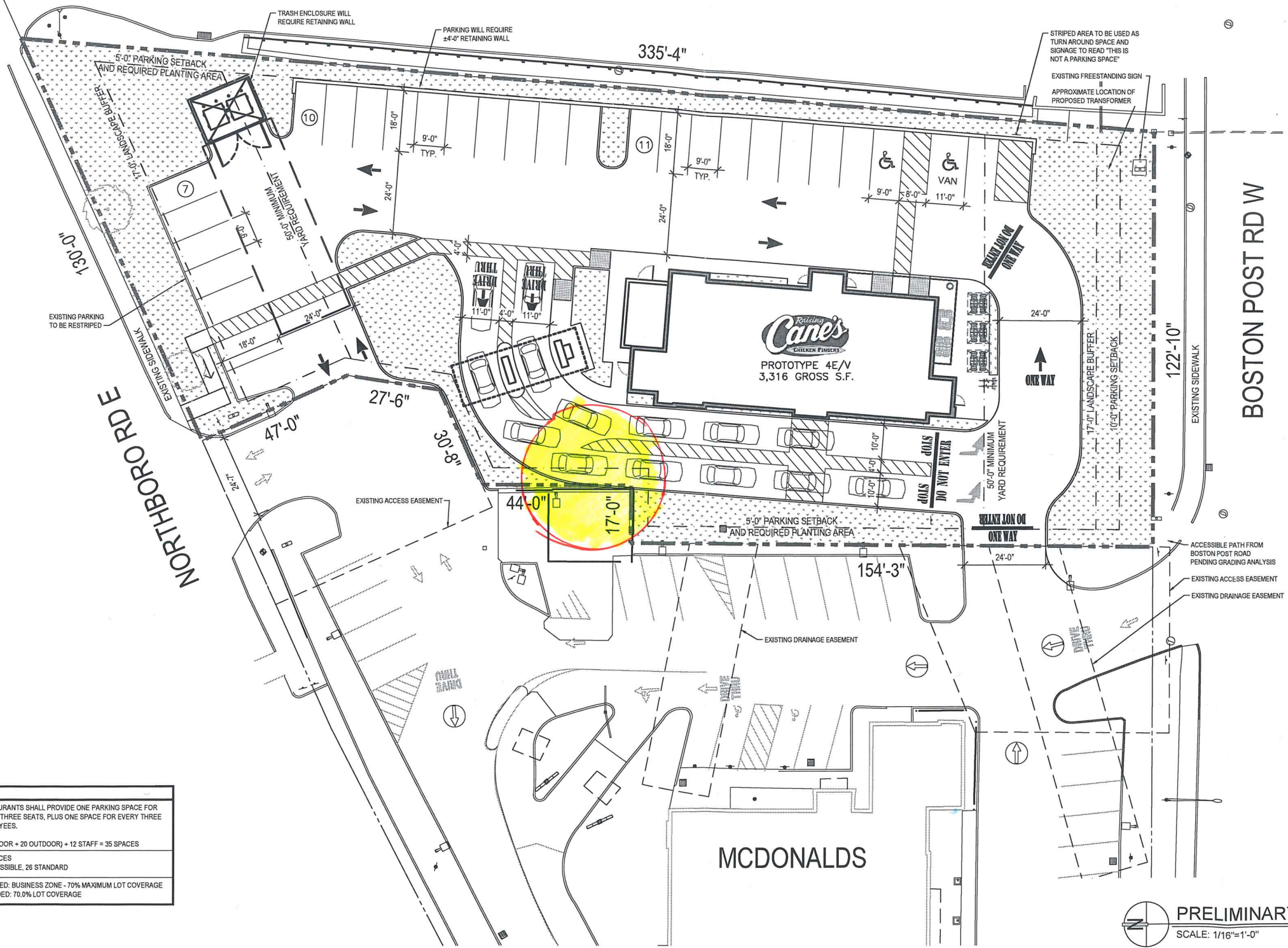
Tax Collector _____ Date _____

OVER ►

FOR ADMINISTRATION USE ONLY – DO NOT WRITE BELOW THIS LINE

~~APPROVE~~
DENIED ZONING CODE Requires RELIEF from # of parking spaces
REASON FOR DENIAL & SIDE SET BACK
[Signature] 8 JAN 2021

EMBASSY SUITES



PARKING ANALYSIS	
PARKING REQUIREMENT:	RESTAURANTS SHALL PROVIDE ONE PARKING SPACE FOR EVERY THREE SEATS, PLUS ONE SPACE FOR EVERY THREE EMPLOYEES. (72 INDOOR + 20 OUTDOOR) + 12 STAFF = 35 SPACES
PARKING PROVIDED:	28 SPACES 2 ACCESSIBLE, 26 STANDARD
WATER SUPPLY PROTECTION DISTRICT COVERAGE REQUIREMENT:	ALLOWED: BUSINESS ZONE - 70% MAXIMUM LOT COVERAGE PROVIDED: 70.0% LOT COVERAGE

PRELIMINARY SITE PLAN
SCALE: 1/16"=1'-0"



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tele: 972-769-3100 Fax: 972-769-3101



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STORE:
RAISING CANE'S RESTAURANT
MARLBOROUGH, MA

SHEET REVISIONS		
#	DATE	TYPE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PRELIMINARY SITE PLAN
DATE: 12/01/2020
JOB NO. 20241
SD-1
SHEET NO.