ludy Residence

Residential Addition

194 Church Street

Marlborough, MA 01752



∪≤0.350	U=0.350	DOORS
∪≤0.350	U=0.350	WINDOWS
R=49	R=49	WOOD FRAME CEILING 1 2 3
R=30	R=30	WOOD FRAME FLOOR 1
R=21	R=20	WOOD FRAME CAVITY WALL 1
ACTUAL	REQUIREMENT	ASSEMBLY
NESTRATION	E 402.1.2 INSULATION AND FEN	IECC TABLE 402.1.2 INSULATION AND FEN

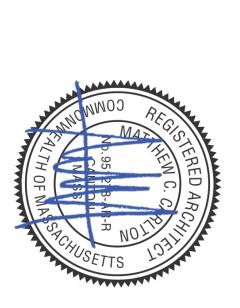
1 APPENDIX 115AA - R401.5 PRESCRIPTIVE OPTION FOR ALTERATIONS, RENOVATIONS AND REPAIRS. ENVELOPE INSULATION SHALL MEET OR EXCEED IECC 2012 REQUIREMENTS (CHAPTER 4 SECTION 402) FOR CLIMATE ZONE 5, OR FULLY FILL EXISTING CAVITIES WITH INSULATING MATERIAL WHICH MEETS OR EXCEEDS AN R-VALUE OF R=3.5/INCH

² R402.2.1 CEILINGS WITH ATTIC SPACES.

WHEN SECTION R402.1.1 WOULD REQUIRE R-38 IN THE CEILING, R-30 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. SIMILARLY, R-38 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.3 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.4.

3 R402.2.2 CEILINGS WITHOUT ATTIC SPACES.
WHERE SECTION R402.1.1 WOULD REQUIRE INSULATION LEVELS ABOVE R-30 AND THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM REQUIRED INSULATION FOR SUCH ROOF/CEILING ASSEMBLIES SHALL BE R-30. THIS REDUCTION OF INSULATION FROM THE REQUIREMENTS OF SECTION R402.1.1 SHALL BE LIMITED TO 500 SQUARE FEET (46 M2) OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.3 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.4.





WING SCALE: WING TITLE: WN BY:

ISSUE FOR PERMIT 04.24.2020

CONTRACTOR SHALL PROTECT ALL REQUIRED MEANS OF EGRESS THROUGHOUT ENTIRE CONSTRUCTION PERIOD hed materials shall be disposed of In a lawful and timely manor CONSTRUCTION FENCING ETC. TO General Information & drawing list

DIMENSIONING NOTE: PICAL UNLESS NOTED OTHERWISE MASONRY / CONCRETE CONSTRUCTION
WALLS:
FACE OF MASONRY TO FACE OF MASONRY
DOORS / WINDOWS: MASONRY OPENING ALL DIMENSIONS SHOWN ARE SHOWN AS FOLLOWS
FRAMED CONSTRUCTION
WALLS:
FACE OF STUD TO FACE OF STUD
DOORS / WINDOWS: CENTERLINE OF UNIT ALL ANGLES ARE 45^{*} Or 90^{*} Unless noted otherwise PERMITTING & LOCAL REQUIREMENTS OTES ARE NOT KEYED ON CONSTRUCTION DEBRIS AND DEMOLIS General Contractor Shall erect temporary barriers, ain a Safe working environment.

PARTITION TYPES PARTITION TYPE NOTE:

1. ALL EXTERIOR WALLS TO BE CONSIDERED PA
OTHERWISE NOTED. nterior walls to be con wise noted. 3. ALL BATHROOM WALLS TO BE CO OTHERWISE NOTED.

PARTITION TYPE: EXT. WALL - (1) LAYER 1/2" G.W.E INT. SIDE -R-21 5½" BATT INSULATION -2x6 WOOD STUDS AT 16" O.C. R-21 INSULATION PARTITION TYPE: 16" O.C. MAX $\langle N \rangle$ INT. WALL 2X4 WOOD STUDS @16" O.C. SEE PLAN PARTITION TYPE: 16" O.C. MAX $\langle \omega \rangle$ BATHROOM WALL - MOLD RESISTANT DRY WALL W/ SOUND ATTENUATING BATT INSULATION WALL W/ SOUND
ATTENUATING BATT
INSULATION
- 1/2" G.W.B. EACH SIDE
FINISH AS SELECTED BY
OWNER - 2x4 OR 2X6 WOOD STUDS @ 16" O.C. SEE PLAN - 1/2" G.W.B. EACH SIDE FINISH AS SELECTED BY OWNER

-exterior siding as selected by owner over ½" cdx or equal

7. THE FLOOR JOISTS SHOWN AS "AJS" ARE WOOD "I JOISTS" AS MANUFACTURED BY BOISE CASCADE. THE INSTALLATION, BLOCKING RIM JOISTS, OPENINGS THRU WEBS, HEADERS, WEB TIFFENERS ,ETC. , ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS. PROVIDE DESIGN AND LAYOUT DRAWINGS BY THE MANUFACTURER AND SUBMIT O THE ENGINEER.

BUILT-UP BEAMS (3 PIECE MAXIMUM) USING CONVENTIONAL FRAMING LUMBER SHALL BE FULLY SPIKED TOGETHER WITH 2-10D NAILS AND PARALLAMS, OR MICROLLAMS WITH 2-16D ILS (TOP AND BOTTOM) AT 12" O.C., OR AS OTHERWISE NOTED ON THE DRAWINGS, OR AS RECOMMENDED BY THE MANUFACTURER. FOUR PLY. BUILT-UP BEAMS TO BE THRU-BOLTED ITH 2 ½ DIAMETER BOLTS AT 16" ON CENTER.

ALL NAILS , FASTENERS AND CONNECTORS EXPOSED TO THE WEATHER SHALL BE HOT-DIP GALVANIZED.

all Schedule 40 or 80 PIPE Shall be new Steel Conforming to the A.I.S.C. Specifications for design, fabrication, and erection of structural steel for buildings id A.S.T.M. Specification a53, type "e" or "s" , grade "b" , with a minimum yeild stress of 35 ksi.

'tl' "ts' designated tube shall be new steel conforming to the a.i.s.c. specifications for design, fabrication and erection of structural steel for buildings and i.m. specification asoo, grade "b" , with a minimum yield stress of 46 ksi.

all shop and field welds shown shall be made by approved certified welders and shall conform to the a.w.s. code for buildings, all welds shall develop the .l strength of the material being welded . use exx 70 electrodes.

40 PERMANENT CONNECTIONS SHOULD BE MADE UP UNTIL THE STRUCTURE HAS BEEN PROPERLY ALIGNED. PROVIDE TEMPORARY BRACING AS REQUIRED.

UBMIT THREE COPIES OF SHOP DRAWINGS TO THE ARCHITECT/ENGINEER SHOWING SETTING PLANS, ERECTION PLANS, ALL DETAILS AND SIZES OF MEMBERS INCLUDING NNECTIONS AND ALL ENGINEERING CALCULATIONS. STEEL FABRICATOR IS RESPONSIBLE FOR FINAL CONNECTION DETAILS AND DESIGN IN ACCORDANCE WITH THE MINIMUM PURPORMENTS OF THE LATEST EDITION OF THE A.I.S.C. DETAILING MANUAL.

2. ALL PLYWOOD FLOOR SHEATHING SHALL BE GLUED & SCREWED TO SUPPORTING WOOD FRAMING MEMBERS USING AMERICAN PLYWOOD ASSOCIATION (A.P.A.) GLUED FLOOR (STEM. WOOD GLUE TO BE CONTECH, INC. PL400 SUB FLOOR CONSTRUCTION ADHESIVE, OR APPROVED EQUAL.
3. ALL WALL STUDS TO ALIGN WITH FLOOR JOISTS AND ROOF RAFTERS.
4. THE CROSS WALLS AND TIE BEAMS ARE TO PROVIDE THE LATERAL RESTRAINT FOR THE BUILDINGS AND SHOULD BE SECURELY ATTACHED AT EACH END AND OR TO THE EXTERIOR.

ALL EXTERIOR AND INTERIOR STUD WALLS TO BE 2x4 MINIMUM @ 16" O.C. UNLESS OTHERWISE NOTED.

PROVIDE ADEQUATE WALL RESISTANCE TO RACKING BY DIAGONAL CORNER WIND BRACING ANCHORED TO SILL PLATES.

PROVIDE SOLID BLOCKING @ 8'-0" INTERVALS BETWEEN FLOOR JOISTS AND OR DOUBLE ALL JOISTS UNDER EACH PARTITION

USE FULLY NAILED METAL CONNECTORS (TECO,SIMPSON OR EQUAL), JOIST HANGERS WHEN JOISTS OR BEAMS FRAME INTO OTHER JOISTS OR BEAMS. PROVIDE METAL POST CAPS

ND BASES FOR ALL POSTS.

1. FOR ROUGH WINDOW OPENINGS AND INTERIOR DOOR OPENINGS UP TO 3 FEET USE 2-2x6 HEADER BEAMS. FROM 3 TO 6 FEET, USE 2-2X8 HEADER BEAMS, AND FROM 6 TO 8 FEET

SE 2-2x10 HEADER BEAMS, EXCEPT AS NOTED OTHERWISE ON THE PLANS OR SPECIFICATIONS. IF MICROLLAMS OR PARALLAMS ARE SPECIFIED ON PLANS, PROVIDE SOLID 4x4 POST

JPPORTS FOR DOUBLE HEADERS AND SOLID 4x6 POSTS FOR TRIPLE HEADERS, OR AS OTHERWISE SPECIFIED ON THE PLAN. ALL PRESSURE TREATED (CCA TREATED) DIMENSIONAL FRAMING LUMBER SHALL BE SOUTHERN PINE GRADE NO. 2. THE MINIMUM ALLOWABLE BENDING STRESS (Fb) SHALL BE 1,050 P.S.I. E MINIMUM ALLOWABLE MODULUS OF ELASTICITY (E) SHALL BE 1,600,000 P.S.I.

E MINIMUM ALLOWABLE COMPRESSION STRESS (Fc) SHALL BE SOUTHERN PINE GRADE NO. 2 (UNLESS OTHERWISE SPECIFIED ON DRAWINGS). THE MINIMUM ALLOWABLE BENDING RESS (Fb) 850 P.S.I. THE MINIMUM ALLOWABLE COMPRESSION STRESS (Fc) SHALL BE 375 P.S.I. THE MINIMUM ALLOWABLE MODULUS OF ELASTICITY (E) SHALL BE 1,200,000 P.S.I.

PENDICULAR TO THE GRAIN SHALL BE 750 P.S.I. THE MINIMUM ALLOWABLE MODULUS OF ELASTICITY (E) SHALL BE 2,900 P.S.I. ALL PARALLAMS EXPOSED TO THE WEATHER SHALL BE 2,000,000 P.S.I DRAWING LIST ARCHITECTURAL BUILDING SECTION AND DETAILS \(\frac{\chi_{1}}{4} = 1'-0" \)

ARCHITECTURE

BLACKBIRD

. ALL REINFORCING BARS SHALL BE COLD BENT IN ACCORDANCE TO THE PROPER RADII ESTABLISHED BY THE AMERICAN CONCRETE INSTITUTE. UNDER NO CONDITIONS SHALL HEAT BE PLIED TO THE BARS TO OBTAIN BENDS.

THE USE OF CONTROL JOINTS IN THE SLAB IS RECOMMENDED TO CONTROL CRACKING. SAW CUT TO A DEPTH ONE-QUARTER OF THE DEPTH OF THE SLAB. SEE PLAN FOR LAYOUT.

DAMP PROOF ALL FOUNDATION WALLS BELOW GRADE. OTHER THAN FROST WALLS..

GROUT TO BE NON-SHRINK AND NON-METALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 P.S.I. AT 28 DAYS. USE CEMENTITIOUS GROUT AS MANUFACTURED BY "FIVE-STADUCTS INC., SIKA CORP., FOSROC INC." OR APPROVED EQUAL. NOTIFY ARCHITECT/ ENGINEER FOR INSPECTION OF COMPLETED INSTALLATION OF REINFORCEMENT AT LEAST 24 HOURS PRIOR TO SCHEDULED PLACEMENT OF CONCRETE.
PLACEMENT OF CONCRETE POURS FOR FOUNDATION WALLS OR GRADE BEAMS SHOULD NOT EXCEED 60 FEET IN ANY STRAIGHT LENGTH AND SHOULD HAVE A VERTICAL 2"x/H CONTINUOUS REINFORCING (40 BAR DIAMETER MINIMUM) THRU THE CONSTRUCTION JOINT.

A1.3

FRAMING PLANS

FRAMING PLANS _ BEAM SCHEDULE

CONCRETE FOUNDATION WALLS AND FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS AND 3,500 P.S.I. FOR SLABS, WITH A SLUMP OF NO DRE THAN 4" AND AIR ENTRAINMENT OF 4-6%. THE USE OF CALCIUM CHLORIDE IS NOT PERMITTED. PROVIDE PROPER CONCRETE PROTECTION OR HEAT IN COLD WEATHER AND INTAIN PROPER CURING PROCEDURES IN ACCORDANCE WITH THE A.C.I.

STEEL REINFORCEMENT SHALL CONFORM TO A.S.T.M. 615. GRADE 60

ALL CONCRETE SLABS ON GROUND SHALL BE REINFORCED WITH 6x6-10/10 (MIN.) WELDED WIRE FABRIC PLACED AT MID-DEPTH, OR AS OTHERWISE SHOWN ON THE DRAWINGS.

LIDED WIRE FABRIC REINFORCEMENT SHALL CONFORM TO A.S.T.M. A185 AND SHALL LAP 6" MINIMUM OR ONE SPACE WHICHEVER IS LARGER, AND SHALL BE WIRED TOGETHER. PROVENIENT CHAIR OR SUPPORT BARS AS NECESSARY TO POSITION WELDED WIRE FABRIC. OOTINGS SHALL BE PROTECTED AGAINST FROST UNTIL PROJECT IS COMPLETED.

ACKFILL UNDER ANY PORTION OF THE BUILDING SHALL BE COMPACTED IN 6" LIFTS OF 95% COMPACTED GRAVEL AS APPROVED BY THE ENGINEER.
O NOT BACKFILL EXTERIOR WALLS UNTIL PERMANENT STRUCTURAL SUPPORTS (FRAMED FLOORS AND SLABS) ARE IN PLACE. BRACE ALL WALLS AND GR.
CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE CODE FOR "BUILDING CODE REQUIREMENTS FOR REINFORCED.)
STRUCTURAL CONCRETE FOR BUILDINGS".

G1.0

GENERAL INFORMATION & DRAWING LIST

AS NOTED

SCALE

04.24.2020

DRAWING

* ° •

TITLE

ISSUED

194 CHURCH STREET

MARLBOROUGH, MA 01752

RYAN JUDY

JUDY RESIDENCE

DRAWING LIST

rials with a lower bearing capacity than 2 tons per Square foot are encountered at the specified elevations, and replaced with Suitable material to be approved by the engineer/architect.

CONSTRUCTION NOTES

DIMENSIONING NOTES

PERMITTING & LOCAL REQUIREMENTS

THE ACCEPTANCE OF THE CONTRACT CARRIES WITH IT A GUARANTEE ON THE PART OF THE CONTRACTOR TO MAKE GOOD ANY DEFECTS IN ;AR FROM COMPLETION OF THE ENTIRE CONTRACT.

finished dimensions shall be noted as either finished or clear dimension string.

THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH ANY ERRORS, AMBIGUITIES OR OMISSIONS IN DRAWINGS OR NOTES SHALL BE REPORTED TO THE ARCIARTED.

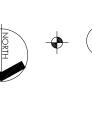
VINGS OR NOTES SHALL BE REPORTED TO THE ARCHITECT FOR CORRECTION

drs shall ensure that all work and materials shall comply with all fire safety, health, local

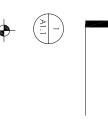
Ctor shall inspect the site and shall be familiar with all conditions and with limitation of the contract and

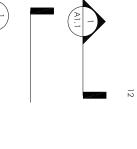
Contractor shall periodically remove from the premises all rubbish and debris. All finish material shall be stored so it is clean and free from stain or discoloration. The presence of any hazardous material must be reported to the owner immediately. The contractor shall submit required shop drawings, finish and or color samples an instruction begins.

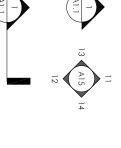
use ¾" tongue and groove structural grade fir plywood floor sheathing , ½" exterior structural grade fir (c.d.x.) plyw Ructural grade fir (c.d.x.) at walls. all joints shall be blocked with lumber or other approved supports.

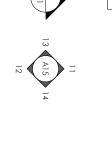


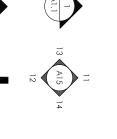


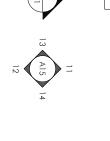




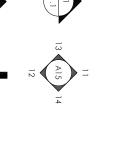


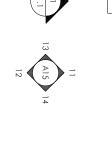


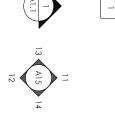




LEGEND



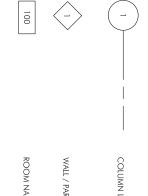


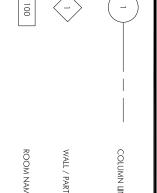


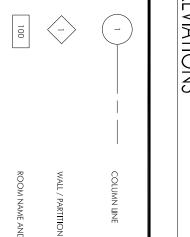


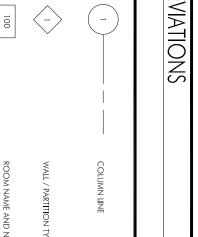


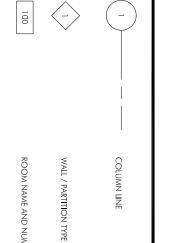


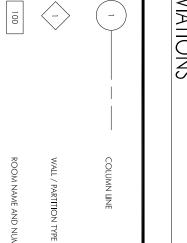


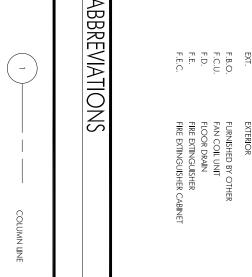


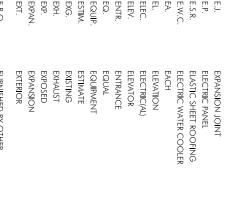


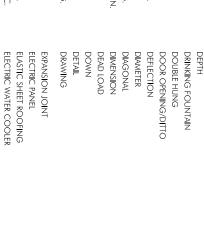




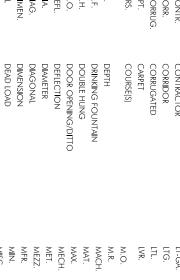








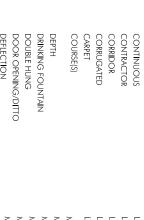






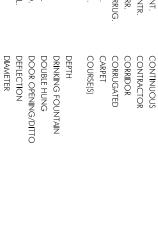






























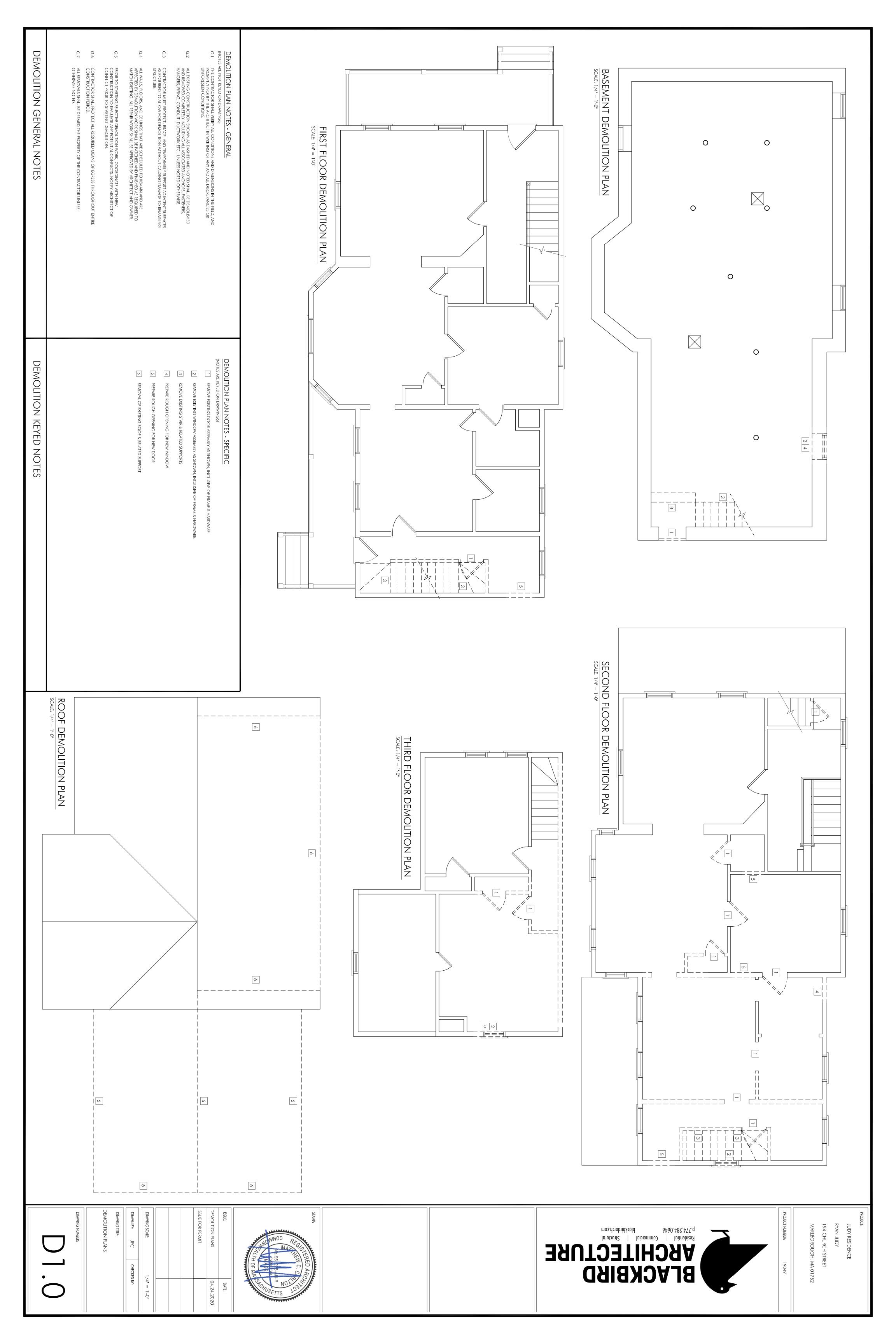












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FLOOR PLANS	DRAWING TITLE:	DRAWN BY: JPC	DRAWING SCALE:		
		CHECKED BY:	1/4" = 1'-0"		

PATTERN

3/4

2 3 4 2 2

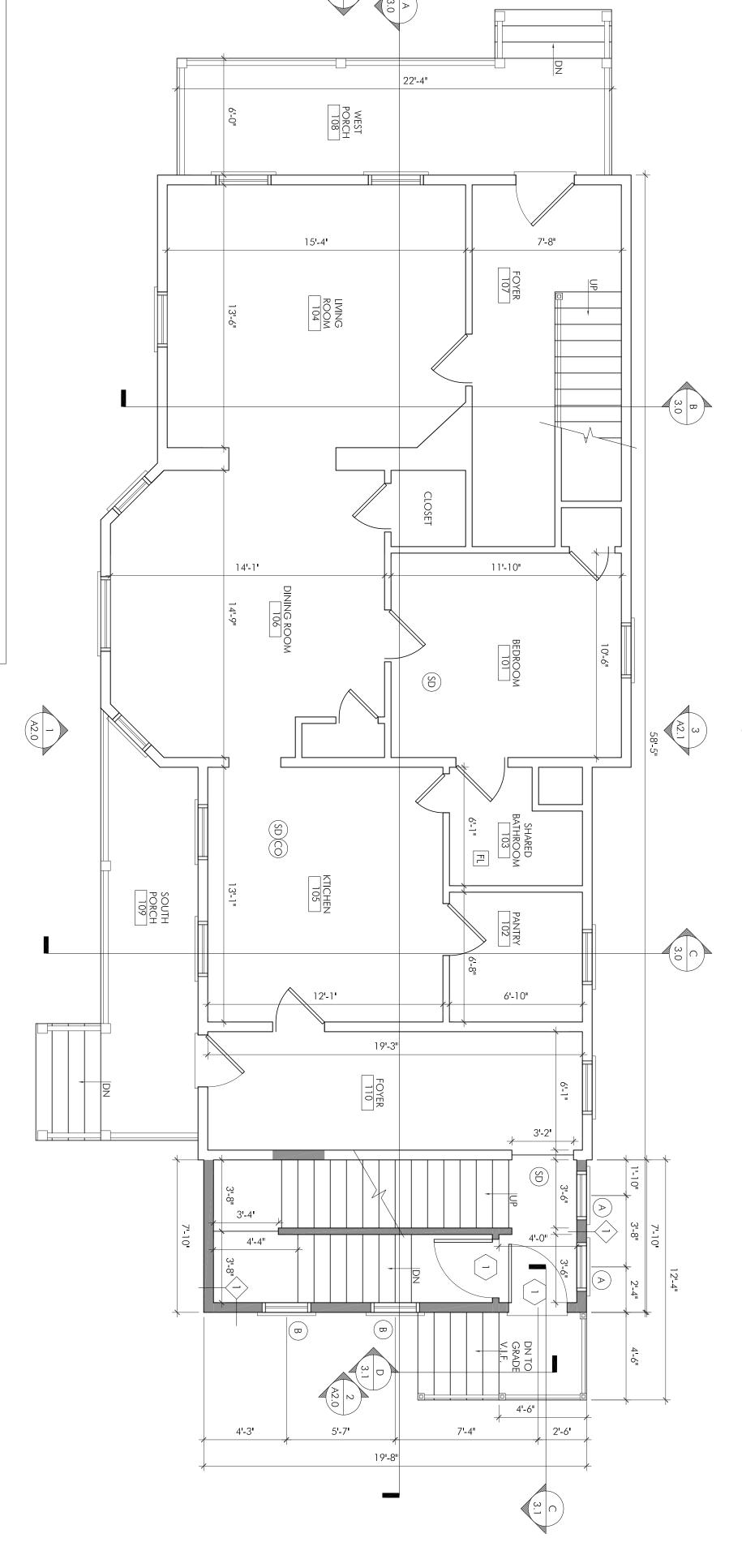
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ISSUE:	DATE:
FLOOR PLANS	04.24.2020
WINDOW & DOOR SCHEDULE	
ISSUE FOR PERMIT	

	STAMP:
REGISTERED ARCHINER C.	A PARAMANANAN AND AND AND AND AND AND AND AND A

ISSUE:	MAZ MAZ MAZ MAZ MAZ MAZ MAZ MAZ

2 2040 2'-8" X 2'-0%" ANDERSEN 2 2040 2'-8" X 4'-0" ANDERSEN 2 3040 2'-0" X 4'-0" ANDERSEN 3 3040 3'-0" X 4'-0" ANDERSEN	>	& Q .	MODEL# 2456	ROUGH OPENING M	MANUFACTURER MATERI ANDERSEN VINYL CI	MATERIAL VINYL CLAD	DESCRIPTION DOUBLE HUNG	G) 2
4 2840 2'-8" X 4'-0" ANDERSEN 4 2850 2'-8" X 5'-0" ANDERSEN 2 2040 2'-0" X 4'-0" ANDERSEN 1 3040 3'-0" X 4'-0" ANDERSEN		4	C12	2'-05/8" X 2'-05/8"	ANDERSEN	VINYL CLAD		CASEMENT
4 2850 2'-8" X 5'-0" ANDERSEN 2 2040 2'-0" X 4'-0" ANDERSEN 1 3040 3'-0" X 4'-0" ANDERSEN	0	4	2840	2'-8" X 4'-0"	ANDERSEN	VINYL CLAD		DOUBLE HUNG
2 2040 2'-0" X 4'-0" ANDERSEN 1 3040 3'-0" X 4'-0" ANDERSEN	D	4	2850	2'-8" X 5'-0"	ANDERSEN	VINYL CLAD		DOUBLE HUNG
1 3040 3'-0" X 4'-0" ANDERSEN	Ш	2	2040	2'-0" X 4'-0"	ANDERSEN	VINYL CLAD		DOUBLE HUNG
	П	_	3040	3'-0" X 4'-0"	ANDERSEN	VINYL CLAD		CASEMENT

				DOOR SCHEDULE	E		
I.D.	QT.*	DIMENSION	ROUGH OPEN'G*	MANUFACTERER	MATERIAL	DESCRIPTION	LOCATION
_	5	3'-0"X6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	THERMA-TRU	FIRE RATED DOOR	VARIOUS
2	_	2'-8"X6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	INTERIOR DOOR	Various
ω	4	2'-4"X6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	POCKET DOOR	VARIOUS
4	2	(2)1'-6"X6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	BI-FOLD	VARIOUS
5	_	5'-0"X6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	SLIDING DOOR	BEDROOM 202
*ALL QUA	NTITIES TO B	*ALL QUANTITIES TO BE VERIFIED BY G.C. BEFORE ORDERING *ALL ROUGH OPENINGS TO BE VERIFIED IN FIELD BEFORE ORDERING	dering Ore Ordering				



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

135 DEG RATE OF RISE HEAT DETECTOR

 \bigcirc SD

SMOKE DETECTOR (PHOTO ELECTRIC)



BLACKBIRD

Residential | Commercial | Structural | Struct

D) SMOKE DETECTOR (PHOTO ELECTRIC)

CO) CARBON MONOXIDE DETECTOR

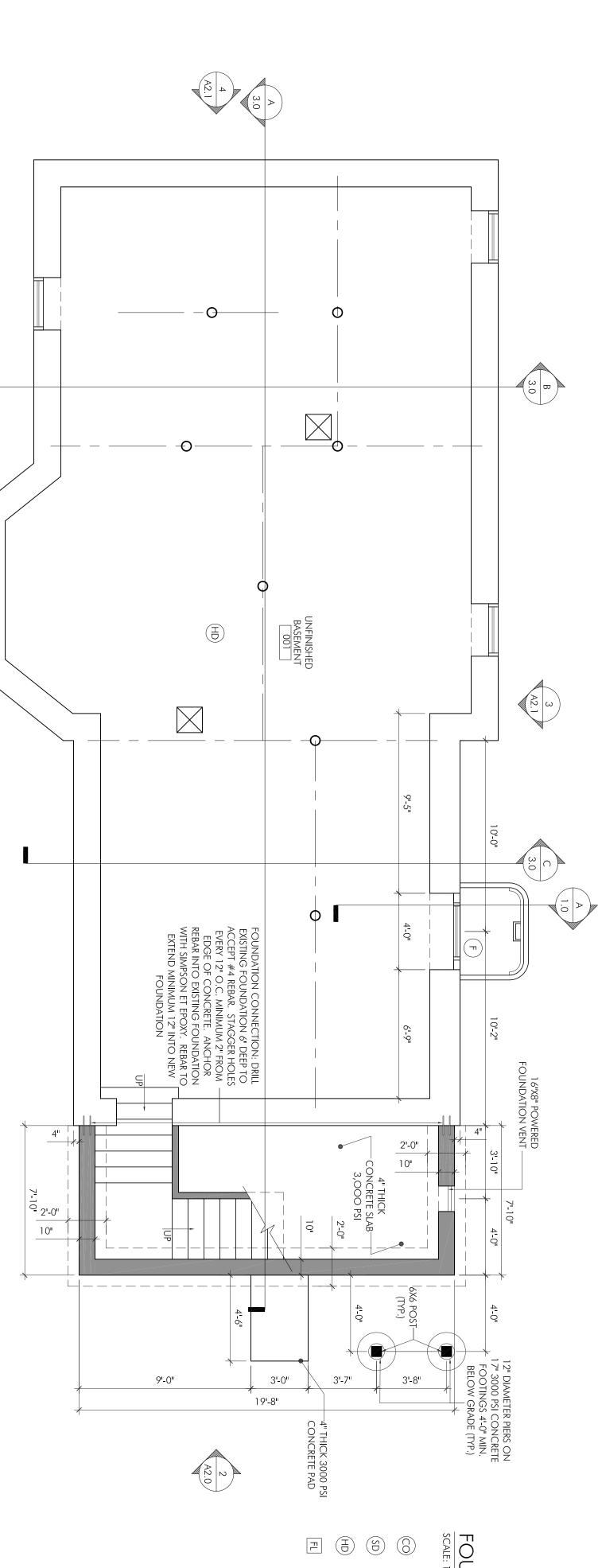
FOUNDATION PLAN

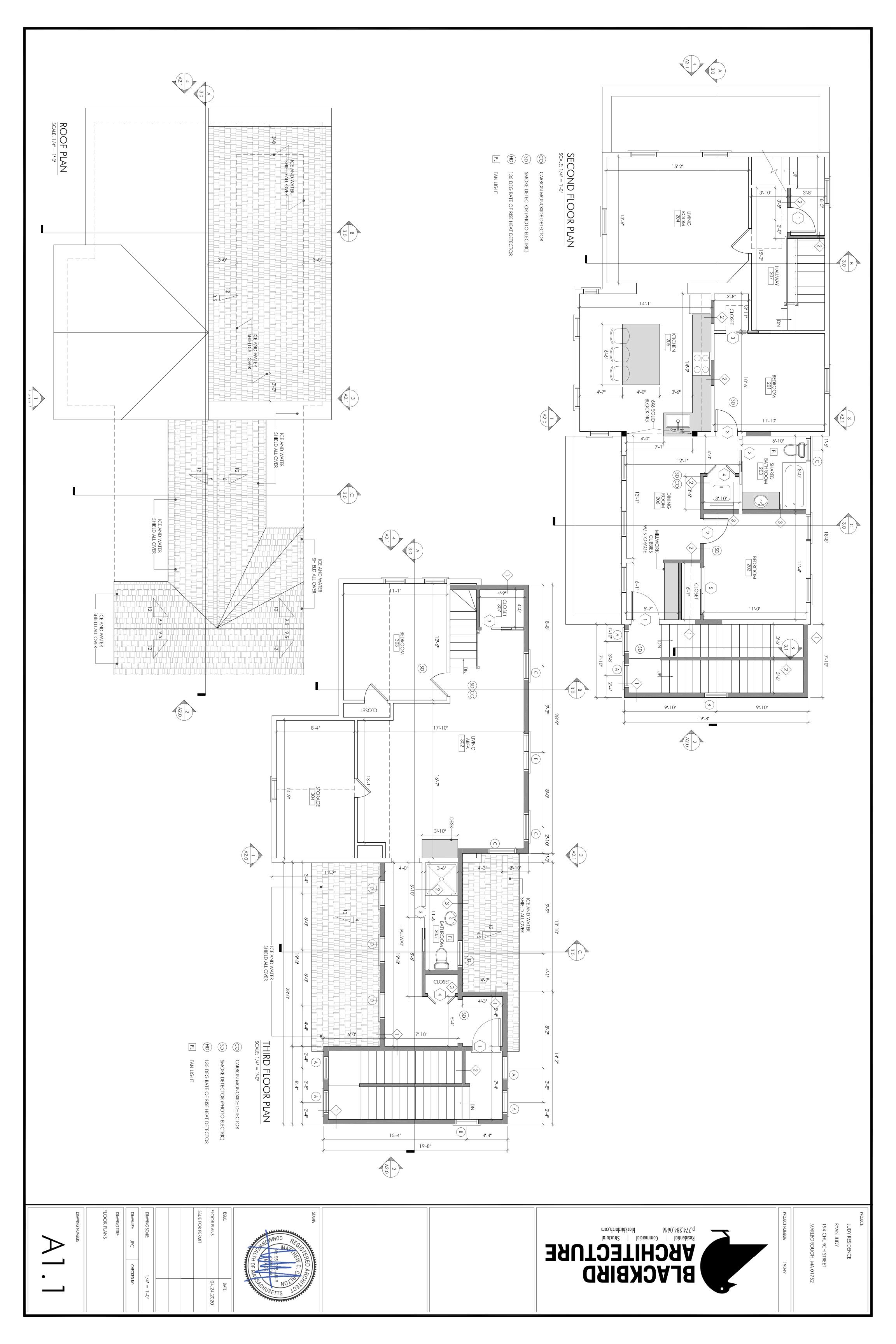
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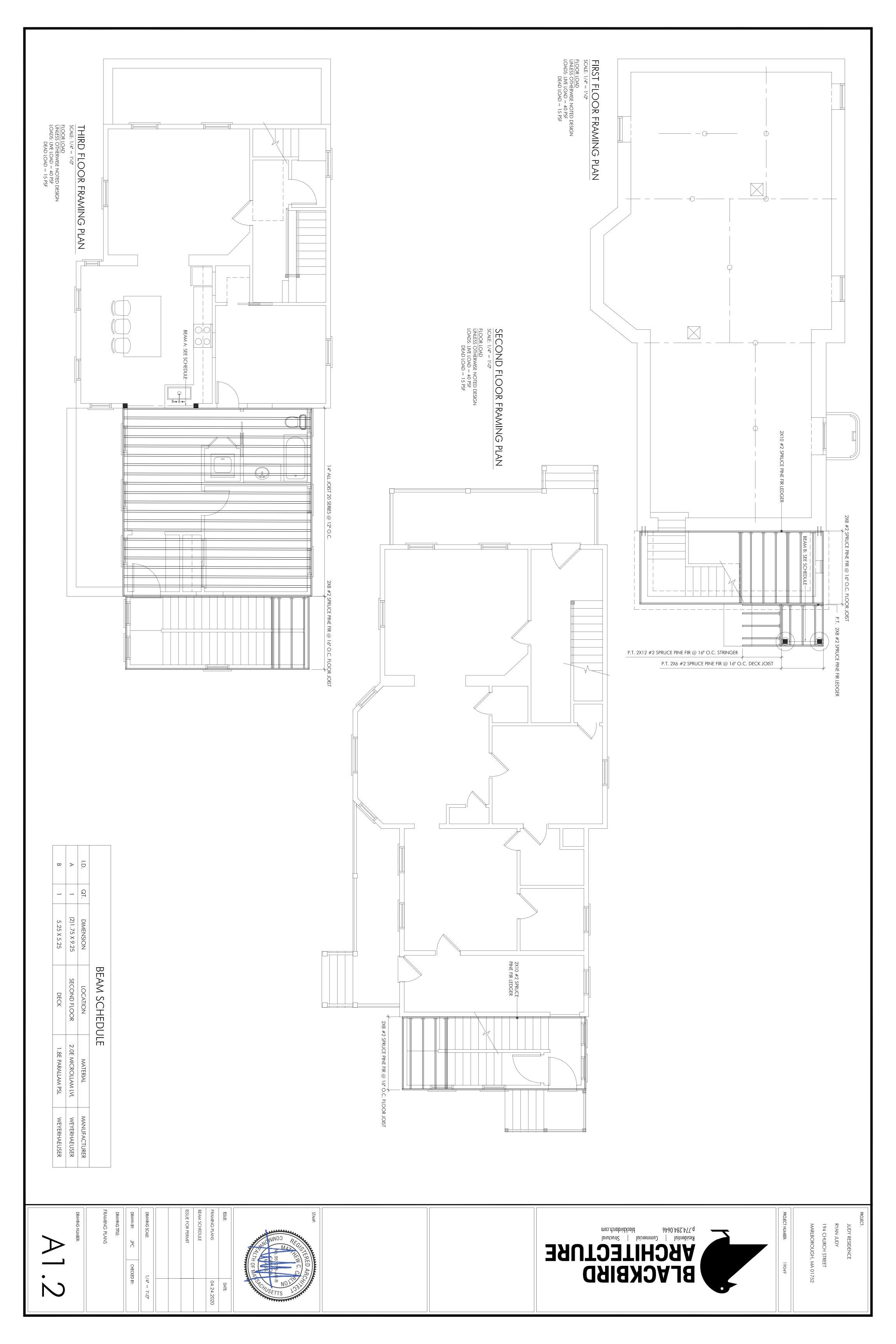
194 CHURCH STREET MARLBOROUGH, MA 01752

RYAN JUDY

JUDY RESIDENCE







BLACKBIRD
ARCHITECTURE
Residential | Commercial | Structural | Structu

