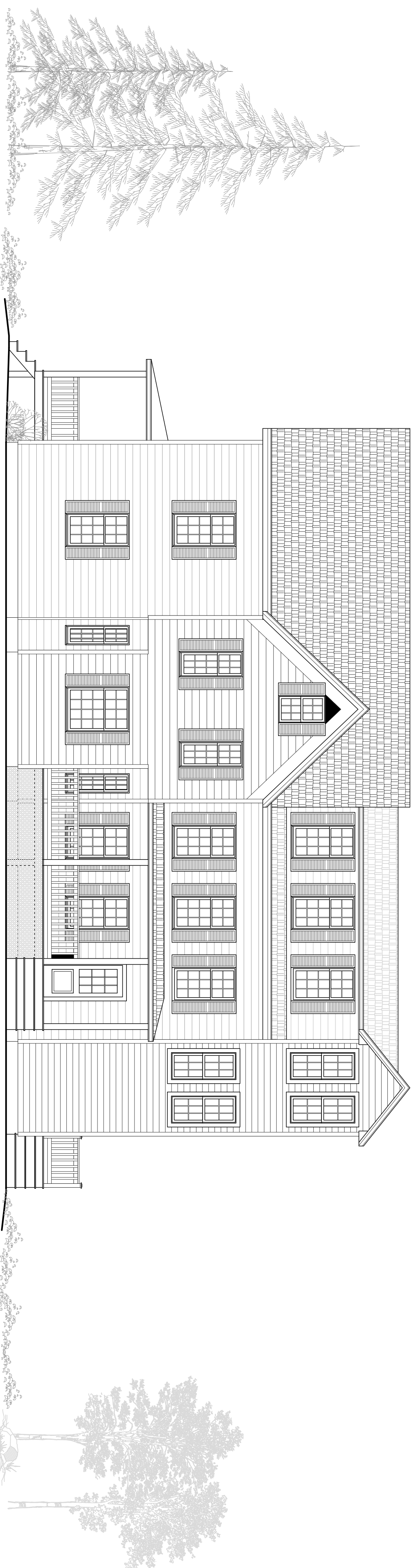


Judy Residence

Residential Addition

194 Church Street
Marlborough, MA 01752



IECC TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

ASSEMBLY	REQUIREMENT	ACTUAL
WOOD FRAME CAVITY WALL ¹	R=20	R=21
WOOD FRAME FLOOR ¹	R=30	R=30
WOOD FRAME CEILING ^{1, 2, 3}	R=49	R=49
WINDOWS	U=0.350	U=0.350
DOORS	U=0.350	U=0.350

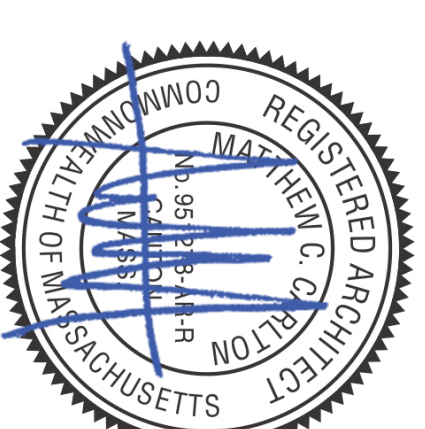
¹ APPENDIX 11.5.4A - R401.5 PRESCRIPTIVE OPTION FOR ALTERATIONS, RENOVATIONS AND REPAIRS. ENVELOPE INSULATION SHALL MEET OR EXCEED IECC 2012 REQUIREMENTS (CHAPTER 4 SECTION 402) FOR CLIMATE ZONE 5, OR FULLY FILLED EXISTING CAVITIES WITH INSULATING MATERIAL WHICH MEETS OR EXCEEDS AN R-VALUE OF R=3.5/INCH

² R402.2.1 CEILINGS WITH ATTIC SPACES.

WHEN SECTION R402.1.1 WOULD REQUIRE R-38 IN THE CEILING, R-30 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. SIMILARLY, R-38 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.3 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.4.

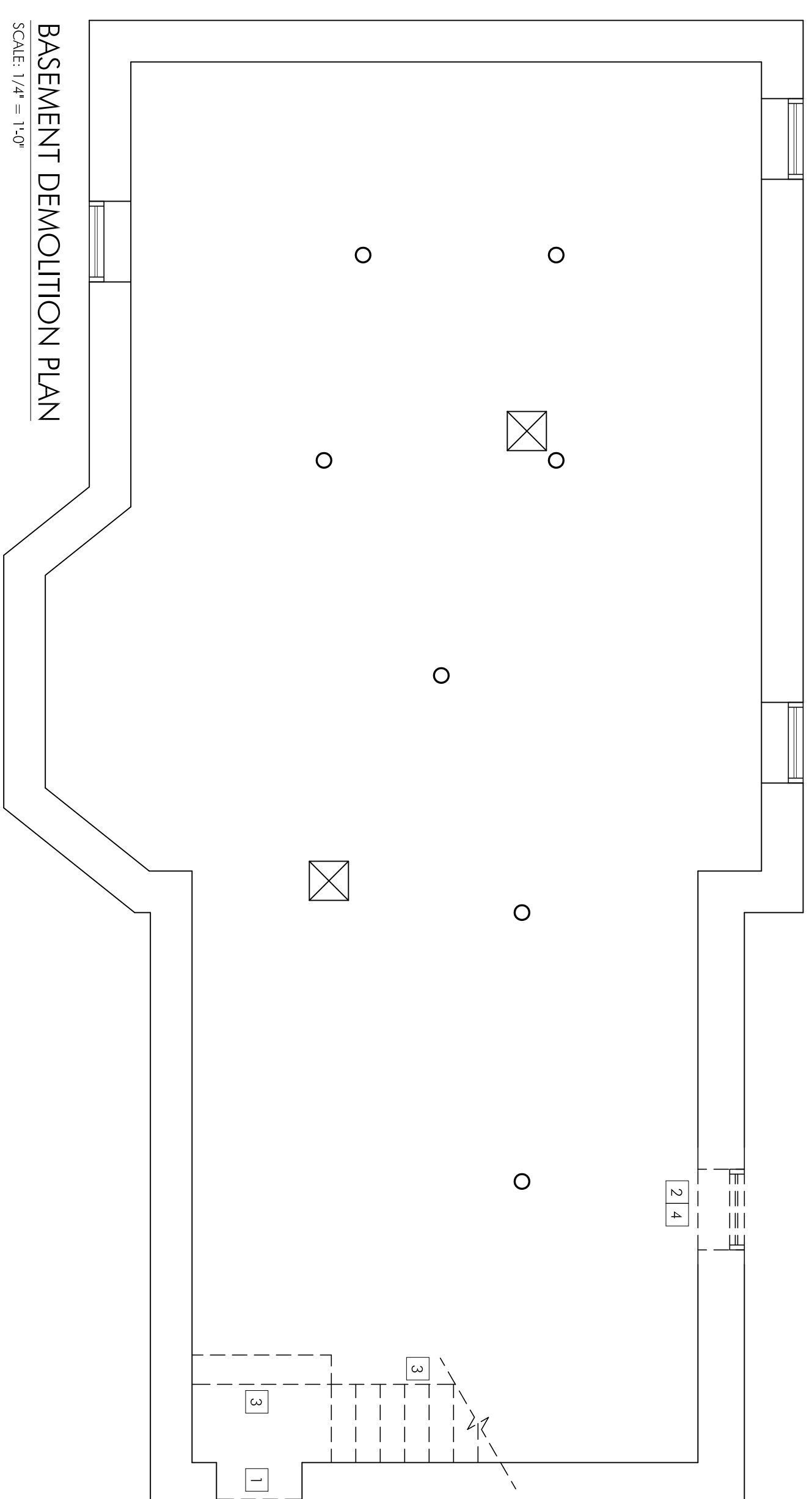
³ R402.2.2 CEILINGS WITHOUT ATTIC SPACES.

WHERE SECTION R402.1.1 WOULD REQUIRE INSULATION LEVELS ABOVE R-30 AND THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM REQUIRED INSULATION FOR SUCH ROOF/CEILING ASSEMBLIES SHALL BE R-30. THIS REDUCTION OF INSULATION FROM THE REQUIREMENTS OF SECTION R402.1.1 SHALL BE LIMITED TO 500 SQUARE FEET (46 M²) OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.3 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.4.

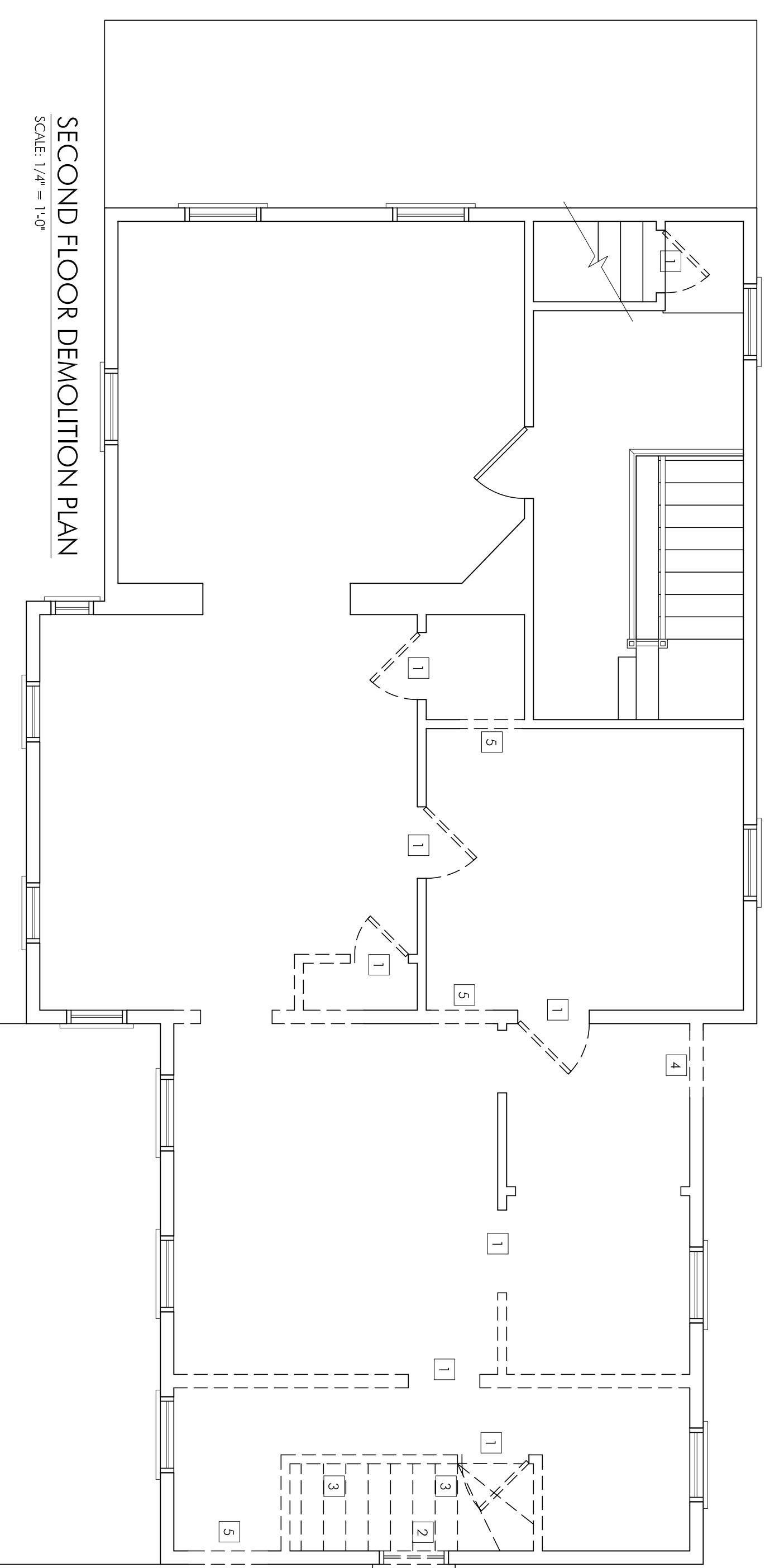


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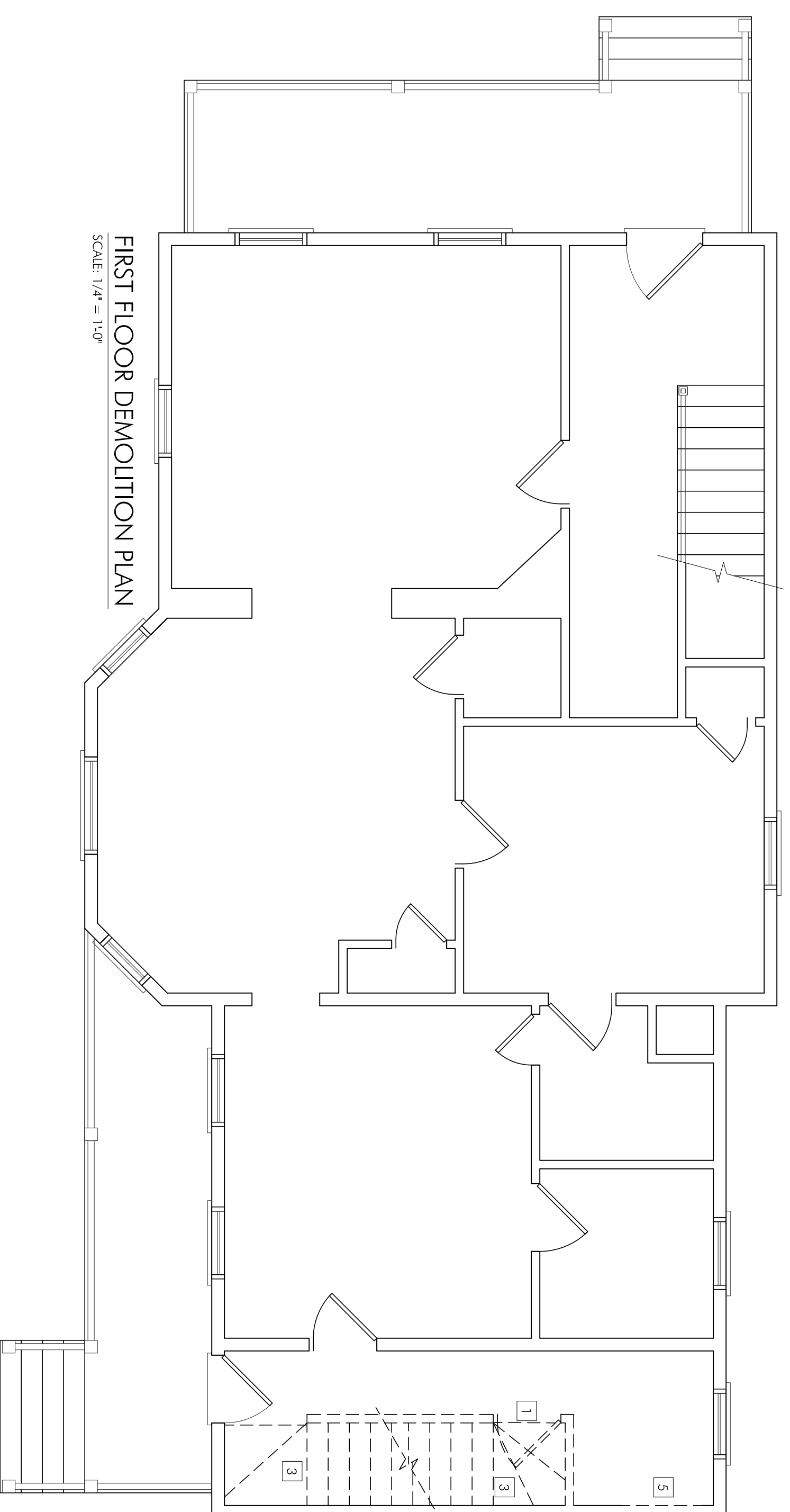
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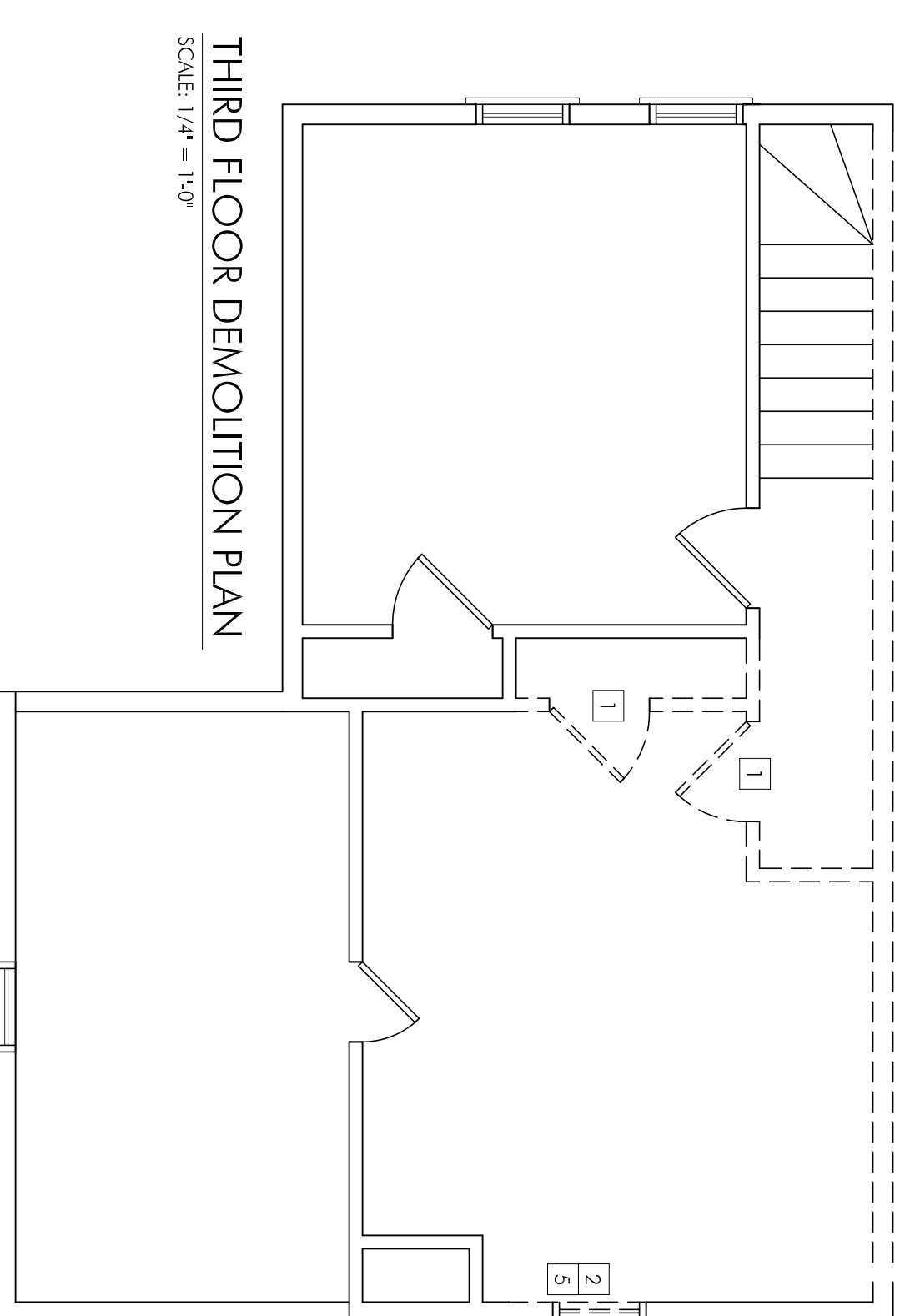
BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



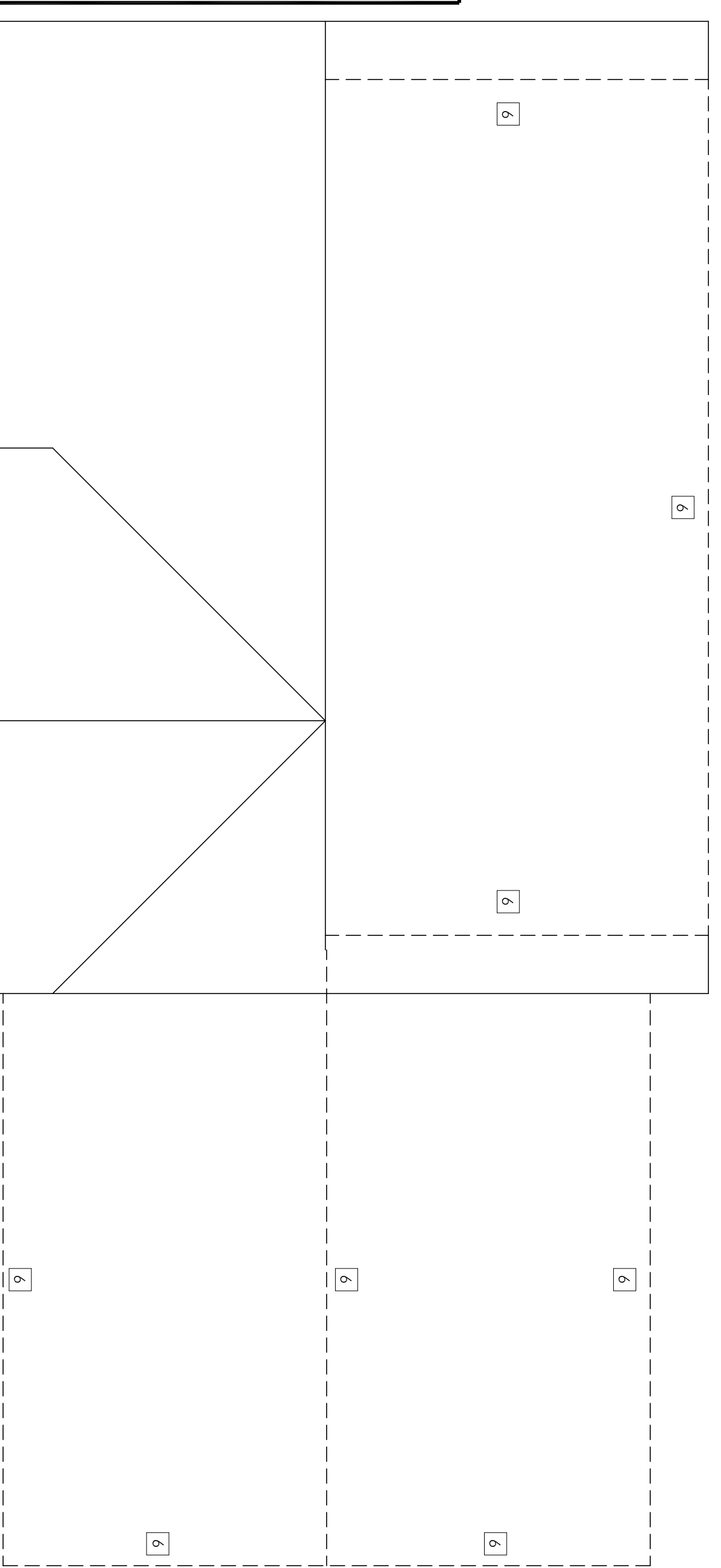
SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



THIRD FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



ROOF DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN NOTES - GENERAL

NOTES ARE NOT KEYS ON DRAWINGS

- G-1 THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD, AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY AND ALL DISCREPANCIES OR UNUSUAL CONDITIONS.
- G-2 ALL EXISTING CONSTRUCTION, SIGNAGE, AND NOTED SHALL BE DEMOLISHED AND REMOVED FROM THE PROJECT SITE, INCLUDING ALL EXISTING SIGNAGE, HANDS, FIRMING, CONSULT, DUCTWORK, ETC., UNLESS NOTED OTHERWISE.
- G-3 CONTRACTOR MUST PROTECT BRACE, AND TEMPORARILY SUPPORT ADJACENT SURFACES AS REQUIRED TO ALLOW FOR DEMOLITION WITHOUT CAUSING DAMAGE TO REMAINING STRUCTURE.
- G-4 ALL WALLS, FLOORS, AND CEILING THAT ARE SCHEDULED TO BE DEMOLISHED AND ARE AFFECTED BY DEMOLITION WORK SHALL BE PATCHED AND FINISHED AS REQUIRED TO MATCH EXISTING. ALL REPAIR WORK SHALL BE APPROVED BY ARCHITECT AND OWNER.
- G-5 PRIOR TO STARTING SELECTIVE DEMOLITION WORK, COORDINATE WITH NEW CONTRACTOR TO STARTING DEMOLITION.
- G-6 CONTRACTOR SHALL PROTECT ALL REQUIRED MEANS OF EGRESS THROUGHOUT ENTIRE CONSTRUCTION PERIOD.
- G-7 ALL REMOVALS SHALL BE DEMOLISHED BY THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.

DEMOLITION PLAN NOTES - SPECIFIC

NOTES ARE KEYS ON DRAWINGS

- 1 REMOVE EXISTING DOOR ASSEMBLY AS SHOWN, INCLUDE OF FRAME & HARDWARE.
- 2 REMOVE EXISTING WINDOW ASSEMBLY AS SHOWN, INCLUDE OF FRAME & HARDWARE.
- 3 REMOVE EXISTING STAIR & RELATED SUPPORTS.
- 4 PREPARE ROUGH OPENINGS FOR NEW WINDOW.
- 5 PREPARE ROUGH OPENING FOR NEW DOOR.
- 6 REMOVAL OF EXISTING ROOF & RELATED SUPPORT.

DEMOLITION GENERAL NOTES

DEMOLITION KEYS NOTES

PROJECT:

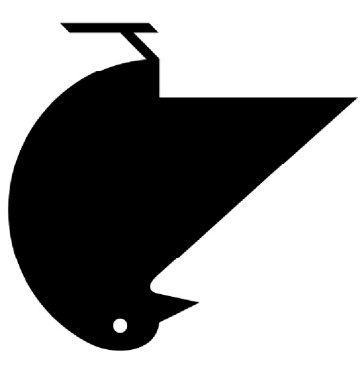
JUDY RESIDENCE

RYAN JUDY

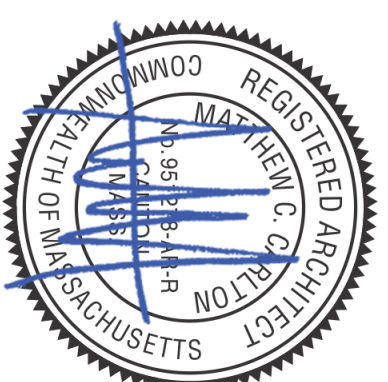
194 CHURCH STREET

WABRONOUGH, MA 01752

PROJECT NUMBER: 19049



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SCALE:

ISSUE	DATE
DEMOLITION PLANS	04-24-2020
ISSUE FOR PERMIT	

DRAWING SCALE	1/4" = 1'-0"
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DRAWN BY:	JPC	CHECKED BY:	
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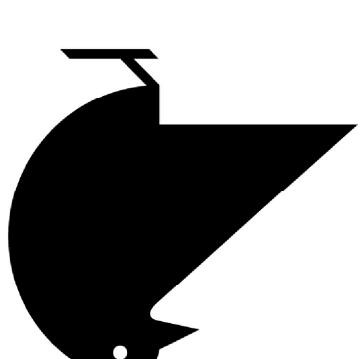
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DEMOLITION PLANS

DRAWING NUMBER:

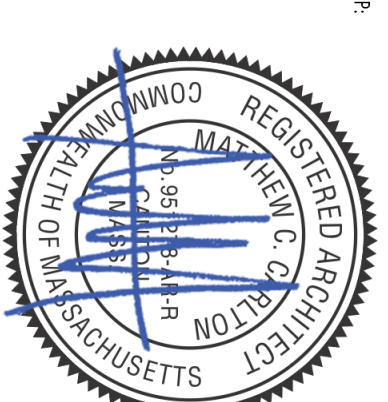
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PROJECT:
LUDY RESIDENCE
RYAN LUDY
194 CHURCH STREET
MARLBOROUGH, MA 01752

PROJECT NUMBER: 19049



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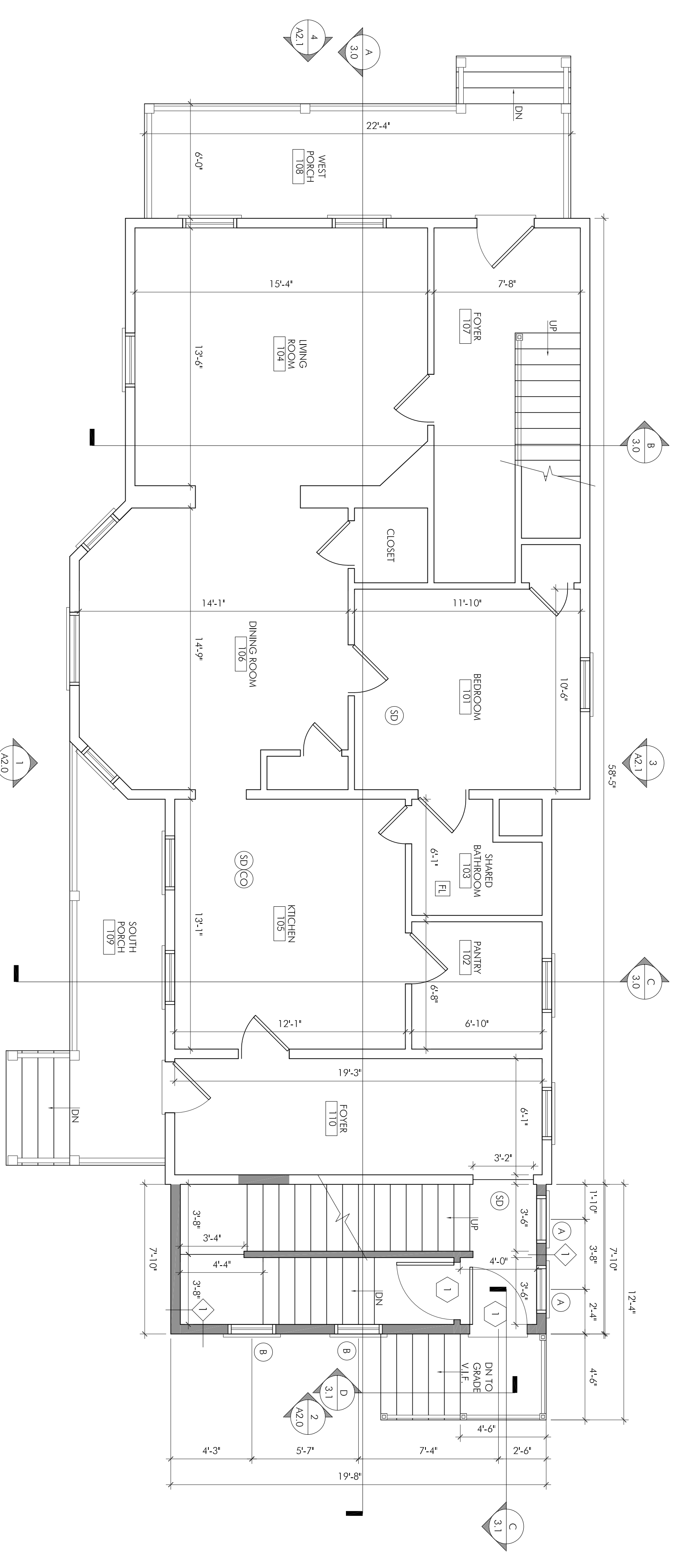
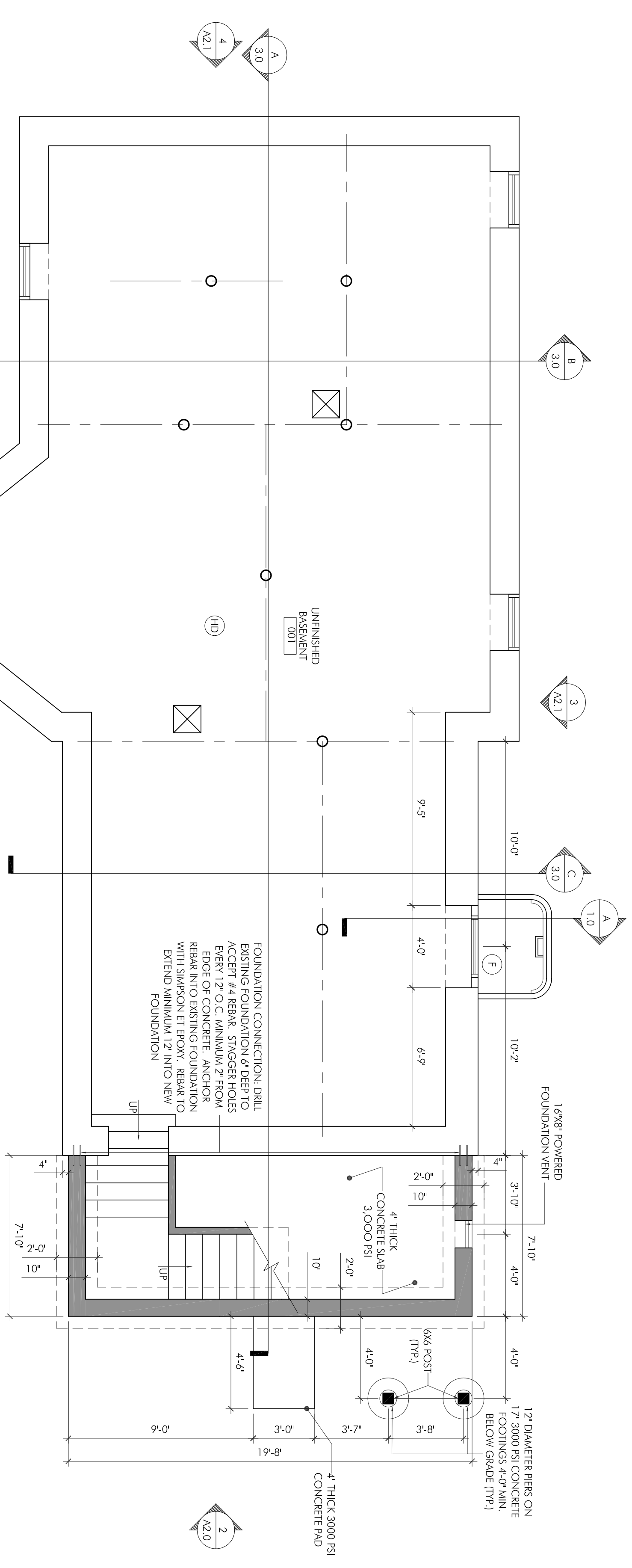
ISSUE	DATE
FLOOR PLANS	04-24-2020
WINDOW & DOOR SCHEDULE	
ISSUE FOR PERMIT	

DRAWING SCALE	1/4" = 1'-0"
DRAWN BY:	JPC
CHECKED BY:	

DRAWING TITLE
FLOOR PLANS

DRAWING NUMBER

A1.0



DOOR SCHEDULE

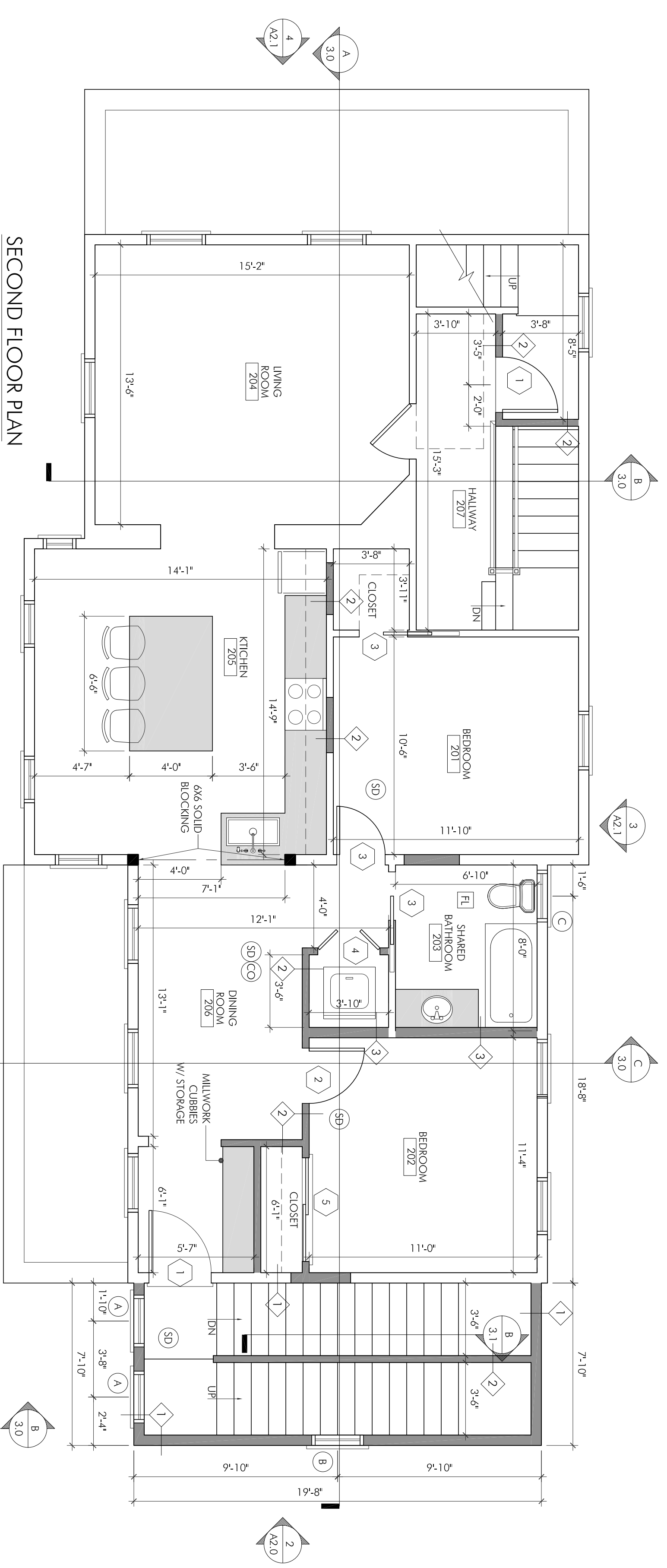
ID.	QT.	DIMENSION	ROUGH OPENING	MANUFACTURER	MATERIAL	DESCRIPTION	LOCATION
1	5	3'-0"x6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	THERMA-TRU	FIRE RATED DOOR	VARIOUS
2	1	2'-8"x6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	INTERIOR DOOR	VARIOUS
3	4	2'-4"x6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	POCKET DOOR	VARIOUS
4	2	(2)1'-6"x6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	BH-FOLD	VARIOUS
5	1	5'-0"x6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	SLIDING DOOR	BEDROOM 202

WINDOW SCHEDULE

ID.	QT.	MODEL #	ROUGH OPENING	MANUFACTURER	MATERIAL	DESCRIPTION	LOCATION	PATTERN
A	8	2456	2'-4" X 5'-6"	ANDERSEN	VINYL CLAD	DOUBLE HUNG	STAIRWAY	3/4
B	4	C12	2'-0 1/2" X 2'-0 1/2"	ANDERSEN	VINYL CLAD	CASEMENT	STAIRWAY	3/4
C	4	2840	2'-8" X 4'-0"	ANDERSEN	VINYL CLAD	DOUBLE HUNG	VARIOUS	3/4
D	4	2850	2'-8" X 5'-0"	ANDERSEN	VINYL CLAD	DOUBLE HUNG	THIRD FLOOR	3/4
E	2	2040	2'-0" X 4'-0"	ANDERSEN	VINYL CLAD	DOUBLE HUNG	LIVING 302	3/4
F	1	3040	3'-0" X 4'-0"	ANDERSEN	VINYL CLAD	CASEMENT	BASEMENT	N/A

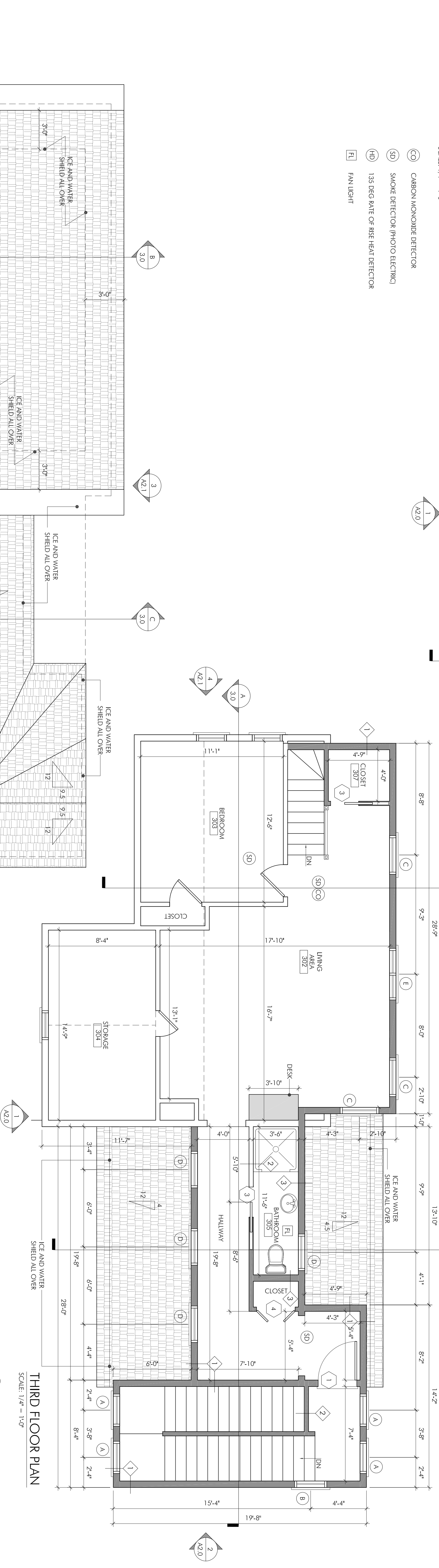
*ALL QUANTITIES TO BE VERIFIED BY G.C. BEFORE ORDERING
*ALL ROUGH OPENINGS TO BE VERIFIED IN FIELD BEFORE ORDERING

*ALL QUANTITIES TO BE VERIFIED BY G.C. BEFORE ORDERING
*ALL ROUGH OPENINGS TO BE VERIFIED IN FIELD BEFORE ORDERING



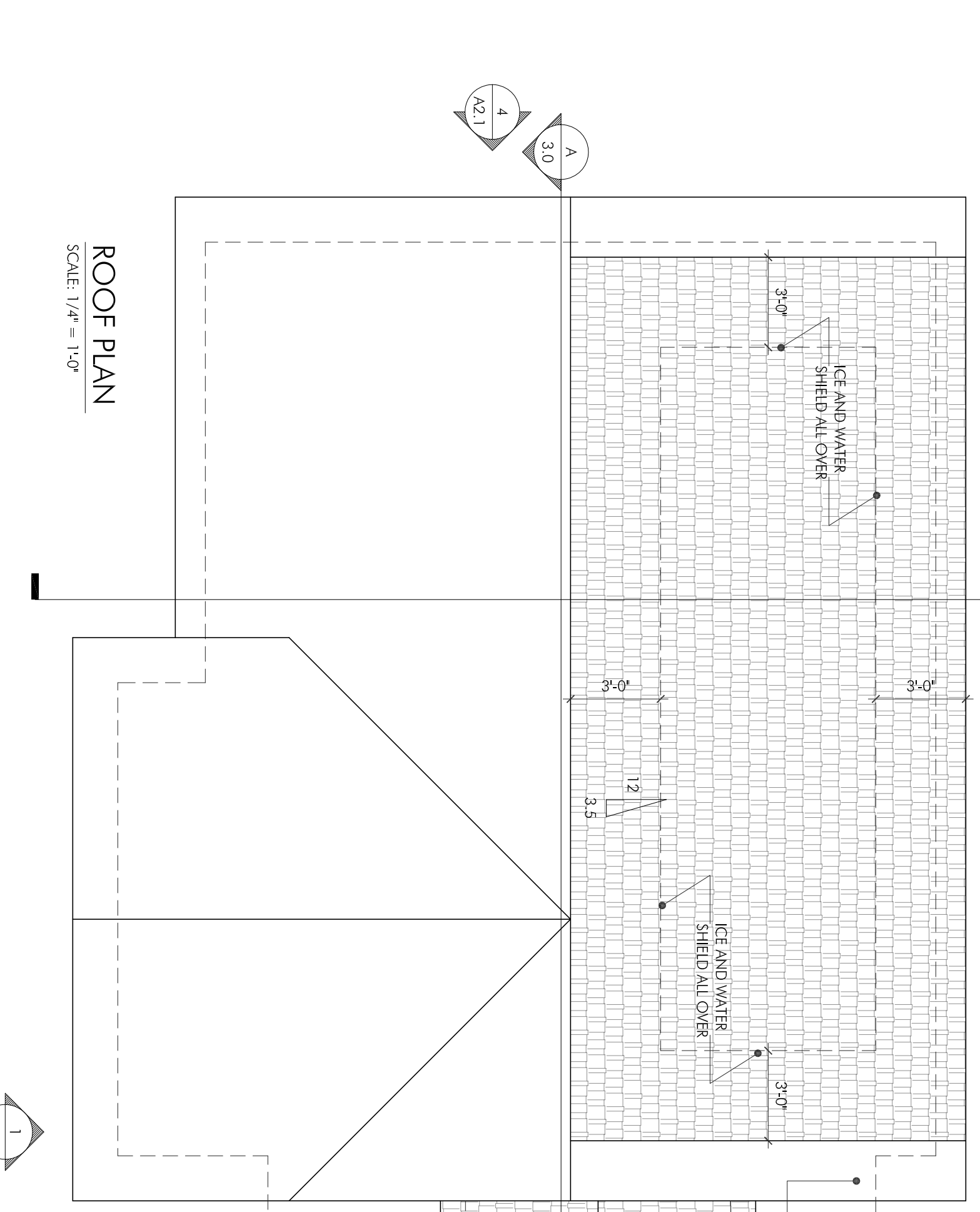
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- CO CARBON MONOXIDE DETECTOR
- SD SMOKE DETECTOR (PHOTO ELECTRIC)
- HD 135 DEG RATE OF RISE HEAT DETECTOR
- FL FAN LIGHT



THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

- CO CARBON MONOXIDE DETECTOR
- SD SMOKE DETECTOR (PHOTO ELECTRIC)
- HD 135 DEG RATE OF RISE HEAT DETECTOR
- FL FAN LIGHT



ROOF PLAN
SCALE: 1/4" = 1'-0"

PROJECT:
LUDY RESIDENCE
RYAN LUDY
194 CHURCH STREET
MARLBOROUGH, MA 01752
PROJECT NUMBER: 19049

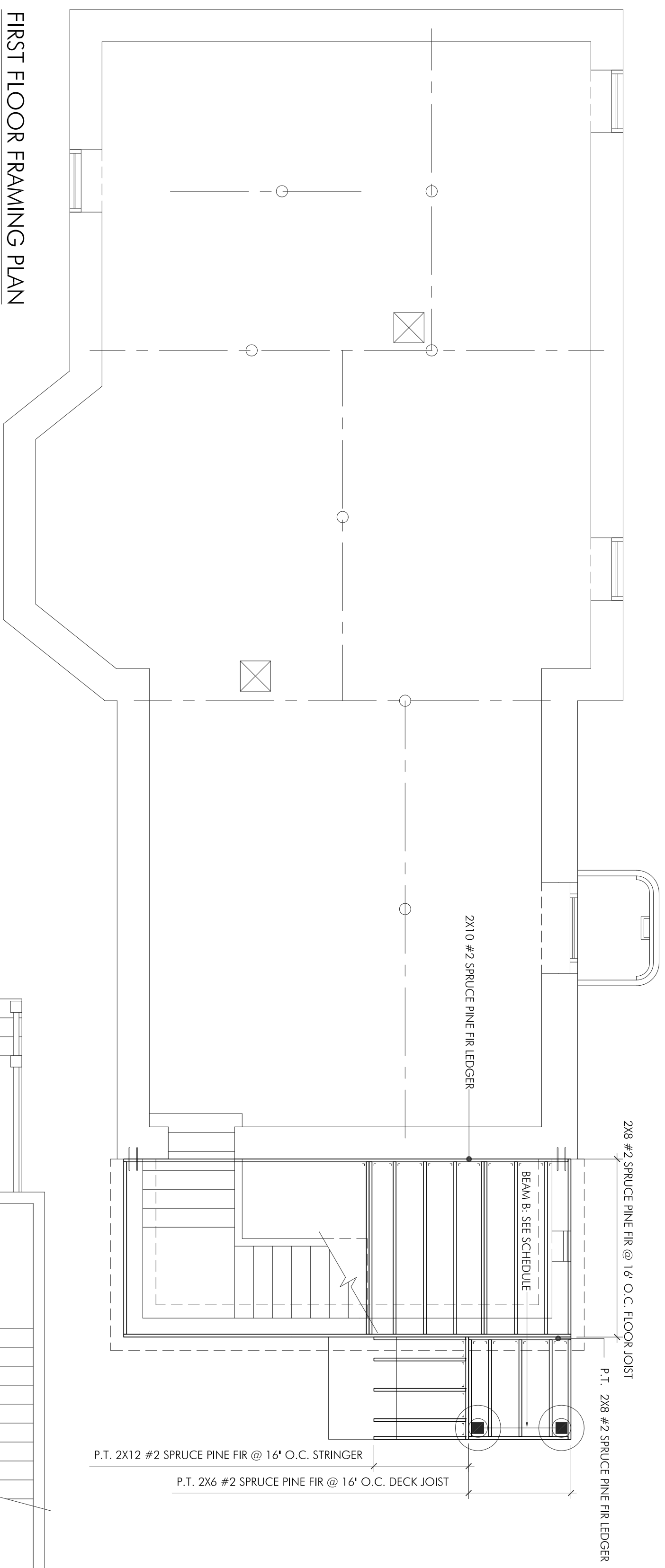


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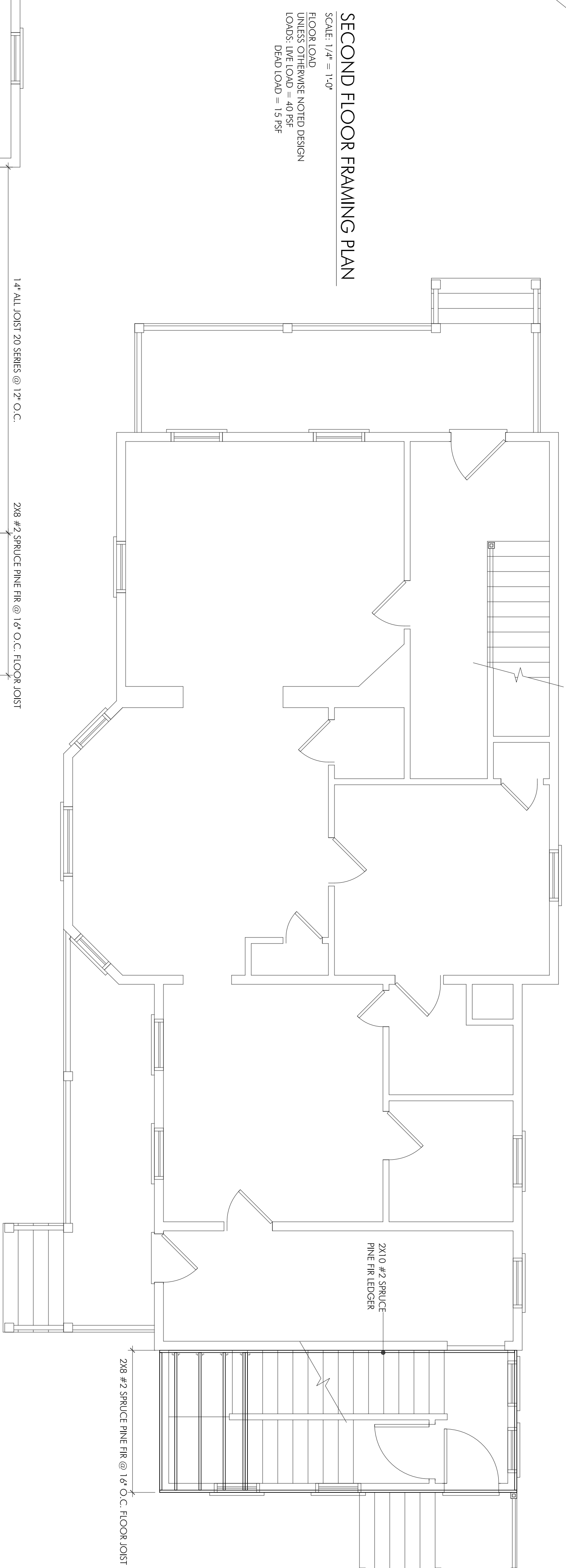


ISSUE	DATE
FLOOR PLANS	04-24-2020
ISSUE FOR PERMIT	
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DRAWN BY: JPC	CHECKED BY:
DRAWING TITLE	FLOOR PLANS
DRAWING NUMBER	

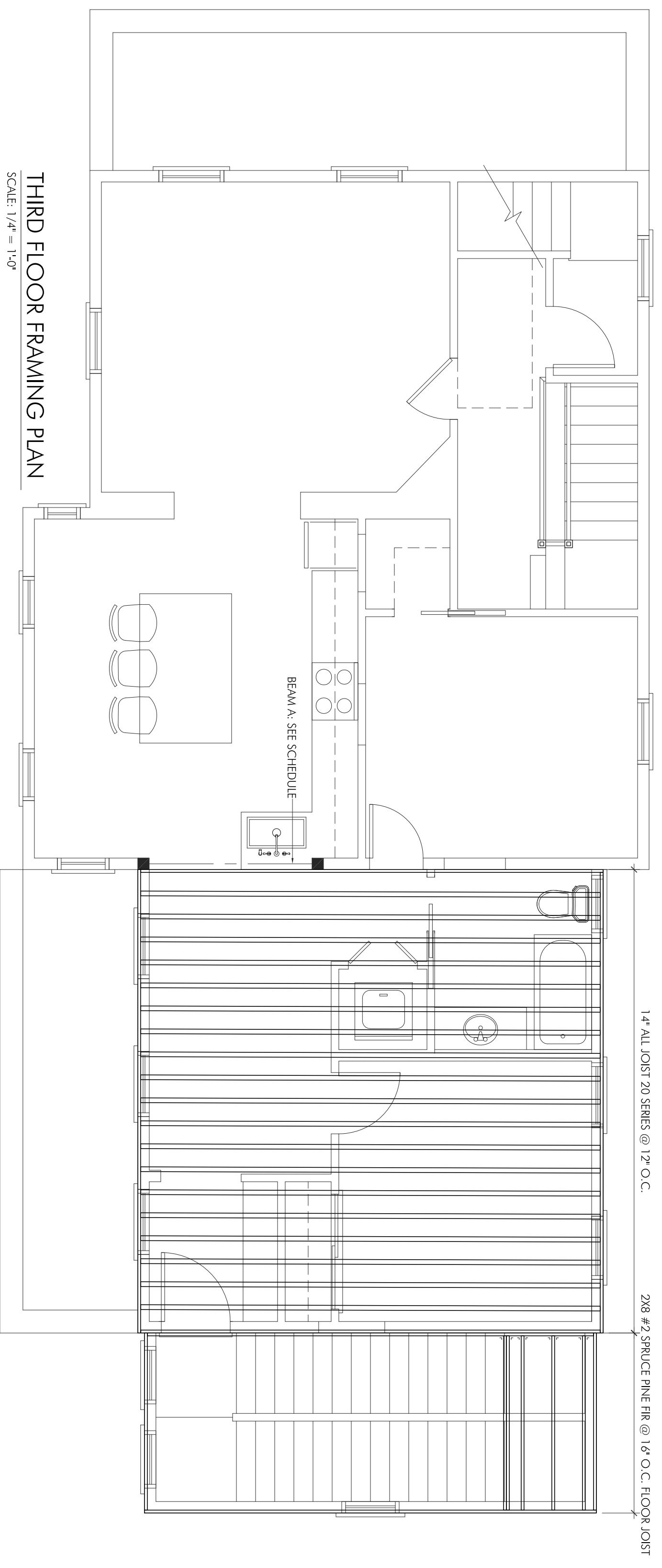
A1.1



FIRST FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"
 FLOOR LOAD
 UNLESS OTHERWISE NOTED DESIGN
 LOADS: LIVE LOAD = 40 PSF
 DEAD LOAD = 15 PSF



SECOND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"
 FLOOR LOAD
 UNLESS OTHERWISE NOTED DESIGN
 LOADS: LIVE LOAD = 40 PSF
 DEAD LOAD = 15 PSF



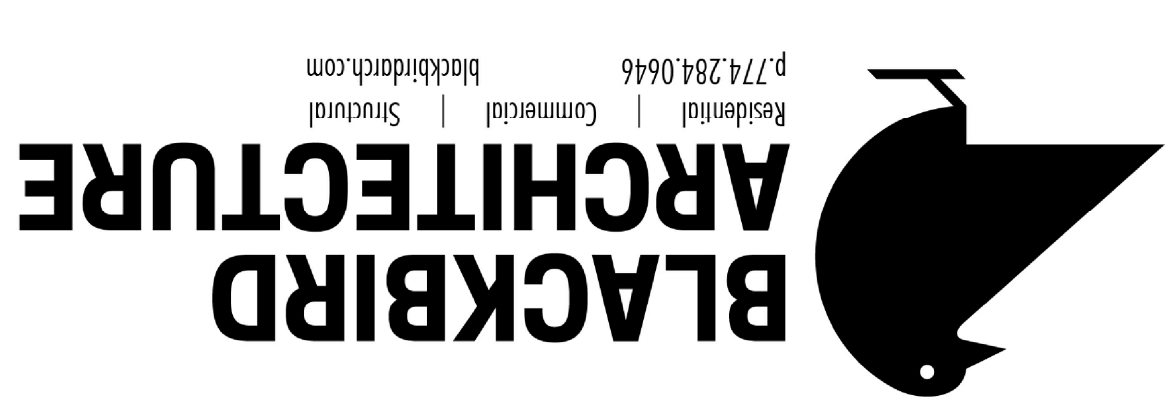
THIRD FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"
 FLOOR LOAD
 UNLESS OTHERWISE NOTED DESIGN
 LOADS: LIVE LOAD = 40 PSF
 DEAD LOAD = 15 PSF

BEAM SCHEDULE

I.D.	QTY	DIMENSION	LOCATION	MATERIAL	MANUFACTURER
A	1	(2) 1.75 X 9.25	SECOND FLOOR	2.0E MCGUILLAM LVL	WEYERHAEUSER
B	1	5.25 X 5.25	DECK	1.8E PARALLAM PSL	WEYERHAEUSER

PROJECT:
 JUDY RESIDENCE
 RYAN JUDY
 194 CHURCH STREET
 MARLBOROUGH, MA 01752

PROJECT NUMBER: 19049

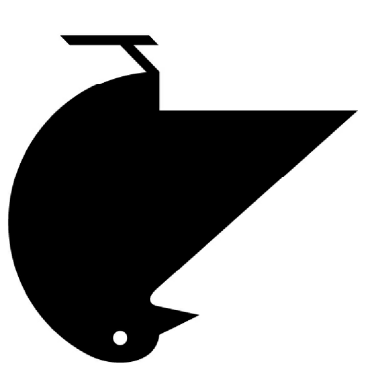


ISSUE:	DATE:
FRAMING PLANS	04-24-2020
BEAM SCHEDULE	
ISSUE FOR PERMIT	
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DRAWING NUMBER:
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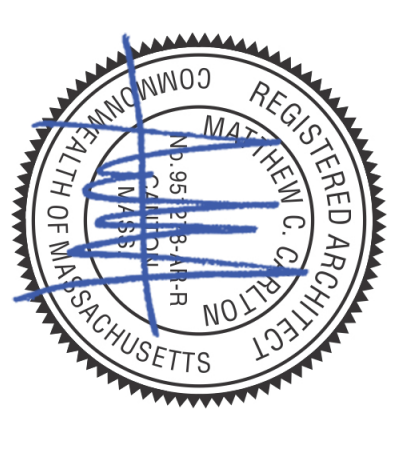
PROJECT:
 JUDY RESIDENCE
 RYAN JUDY
 194 CHURCH STREET
 MARLBOROUGH, MA 01752

PROJECT NUMBER: 19049



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SCALE:



ISSUE	DATE
FRAMING PLANS	04/24/2020
ISSUE FOR PERMIT	

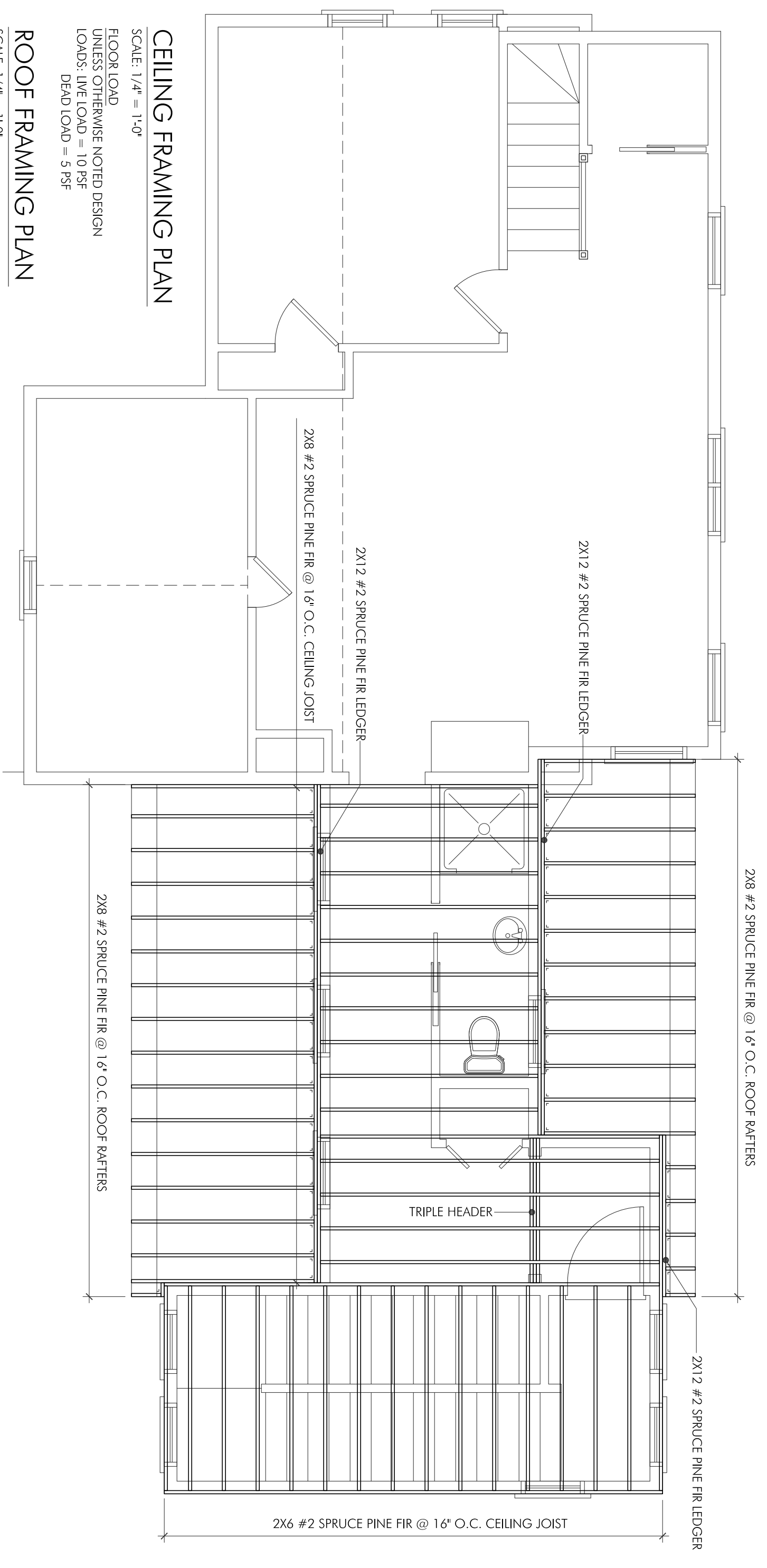
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 FRAMING PLANS

DRAWING NUMBER:

A1.3

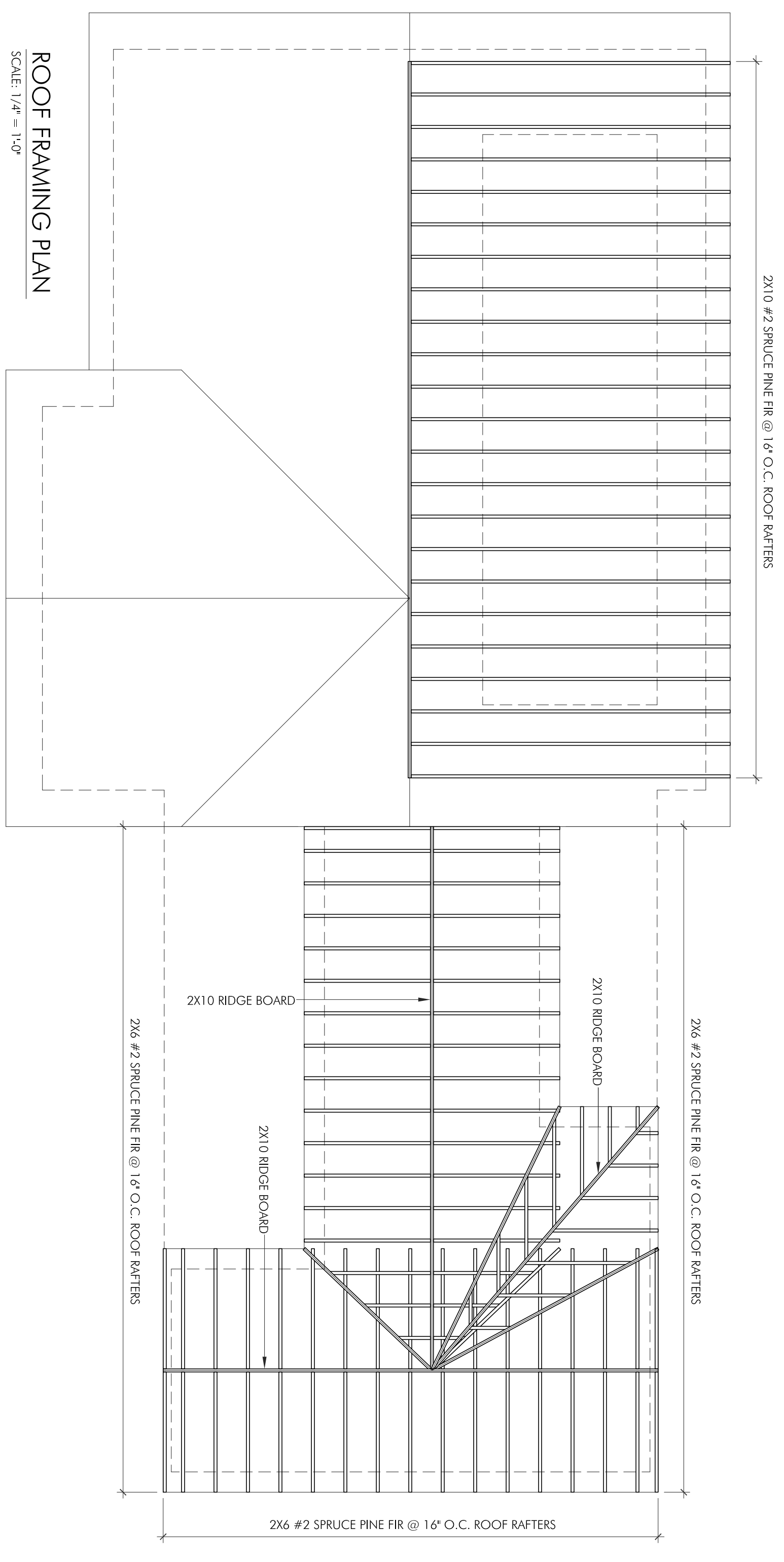


CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"
 FLOOR LOAD
 UNLESS OTHERWISE NOTED DESIGN
 LOADS: LIVE LOAD = 10 PSF
 DEAD LOAD = 5 PSF

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"
 SNOW LOAD
 UNLESS OTHERWISE NOTED DESIGN
 LOADS: LIVE LOAD = 10 PSF
 DEAD LOAD = 15 PSF

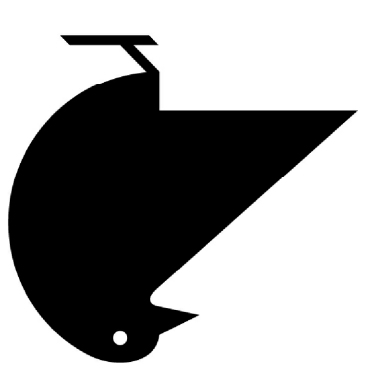


ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"
 SNOW LOAD
 UNLESS OTHERWISE NOTED DESIGN
 LOADS: LIVE LOAD = 10 PSF
 DEAD LOAD = 15 PSF

PROJECT:
 JUDY RESIDENCE
 RYAN JUDY
 194 CHURCH STREET
 MARLBOROUGH, MA 01752

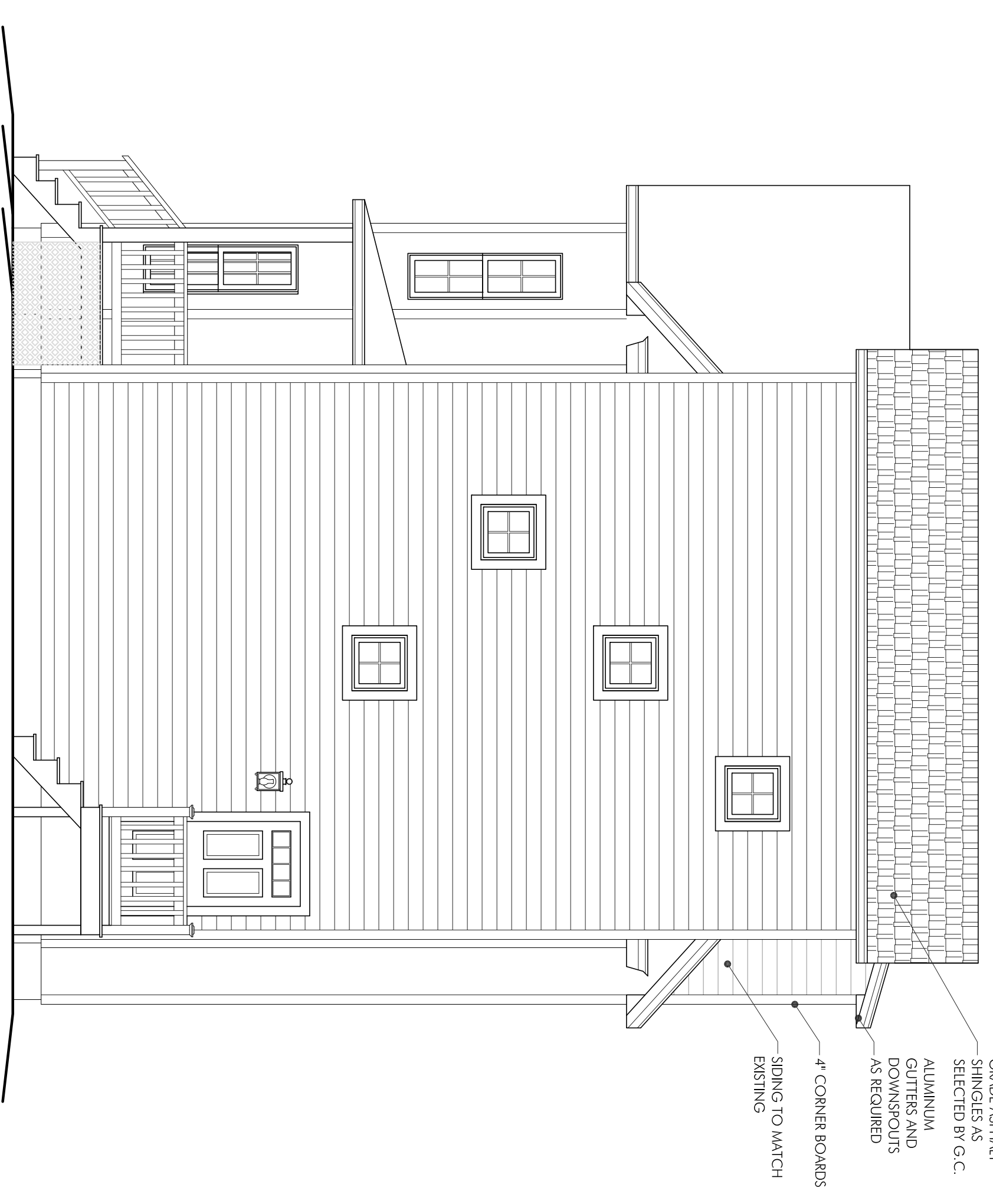
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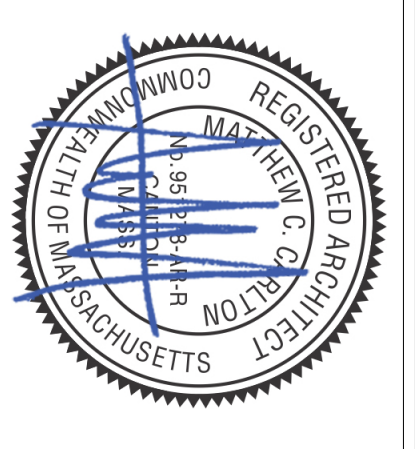
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1 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

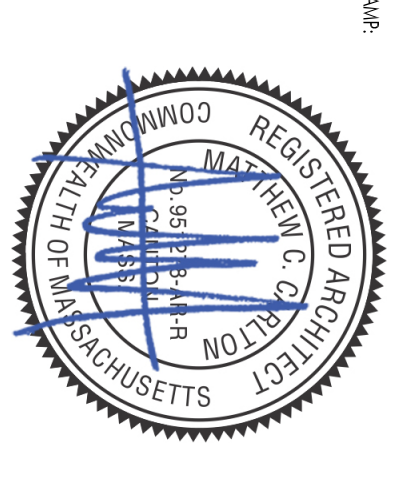


ISSUE	DATE
ELEVATIONS	04-24-2020
ISSUE FOR PERMIT	
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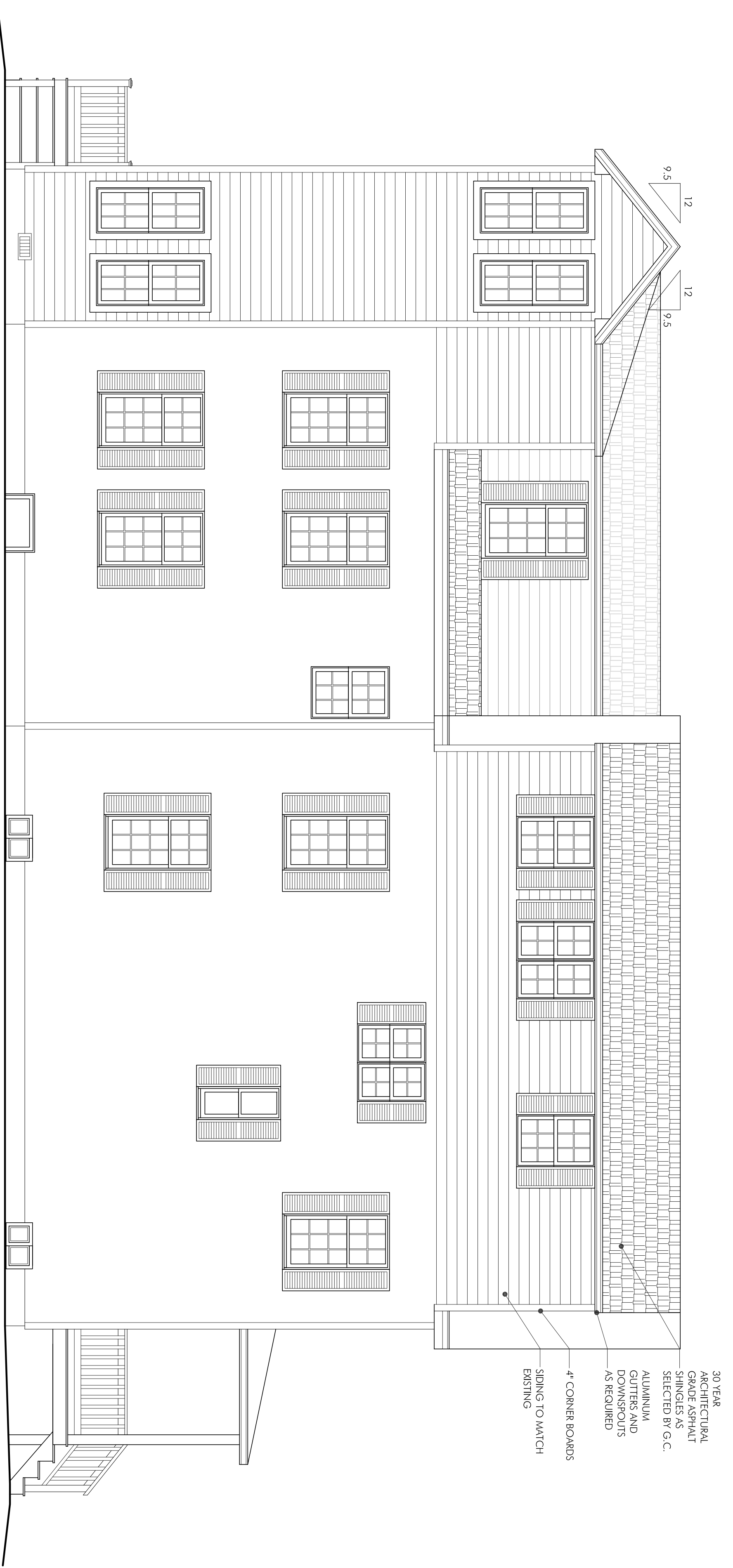
PROJECT:
 JUDY RESIDENCE
 RYAN JUDY
 194 CHURCH STREET
 MARLBOROUGH, MA 01752

PROJECT NUMBER: 19049

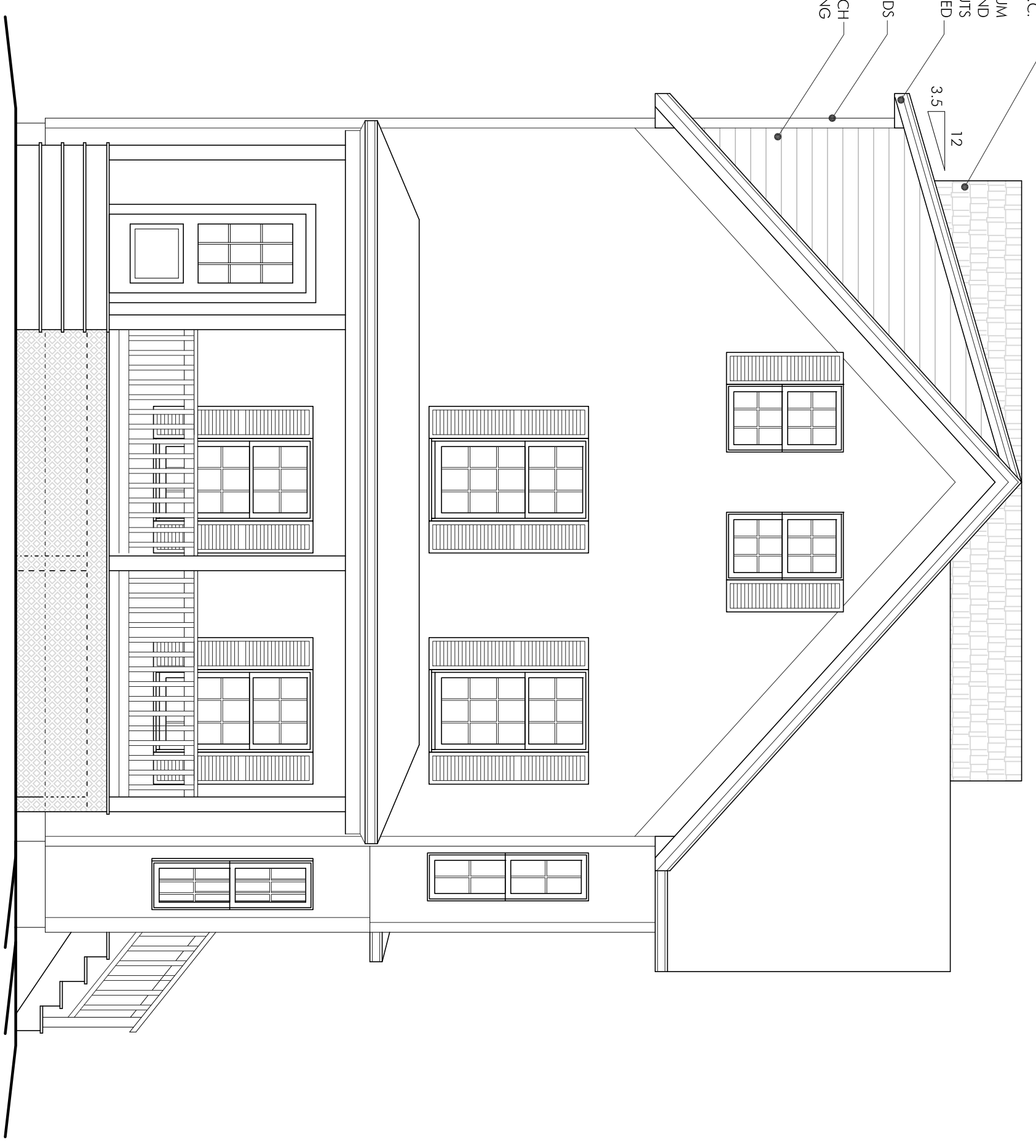


ISSUE	DATE
ELEVATIONS	04-24-2020
ISSUE FOR PERMIT	
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DRAWING NUMBER:	

A2.1



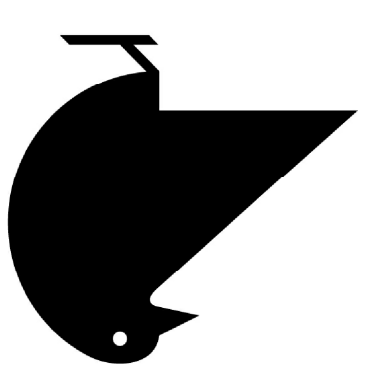
3 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

PROJECT:
 LUDY RESIDENCE
 RYAN LUDY
 194 CHURCH STREET
 MARLBOROUGH, MA 01752

PROJECT NUMBER: 19049

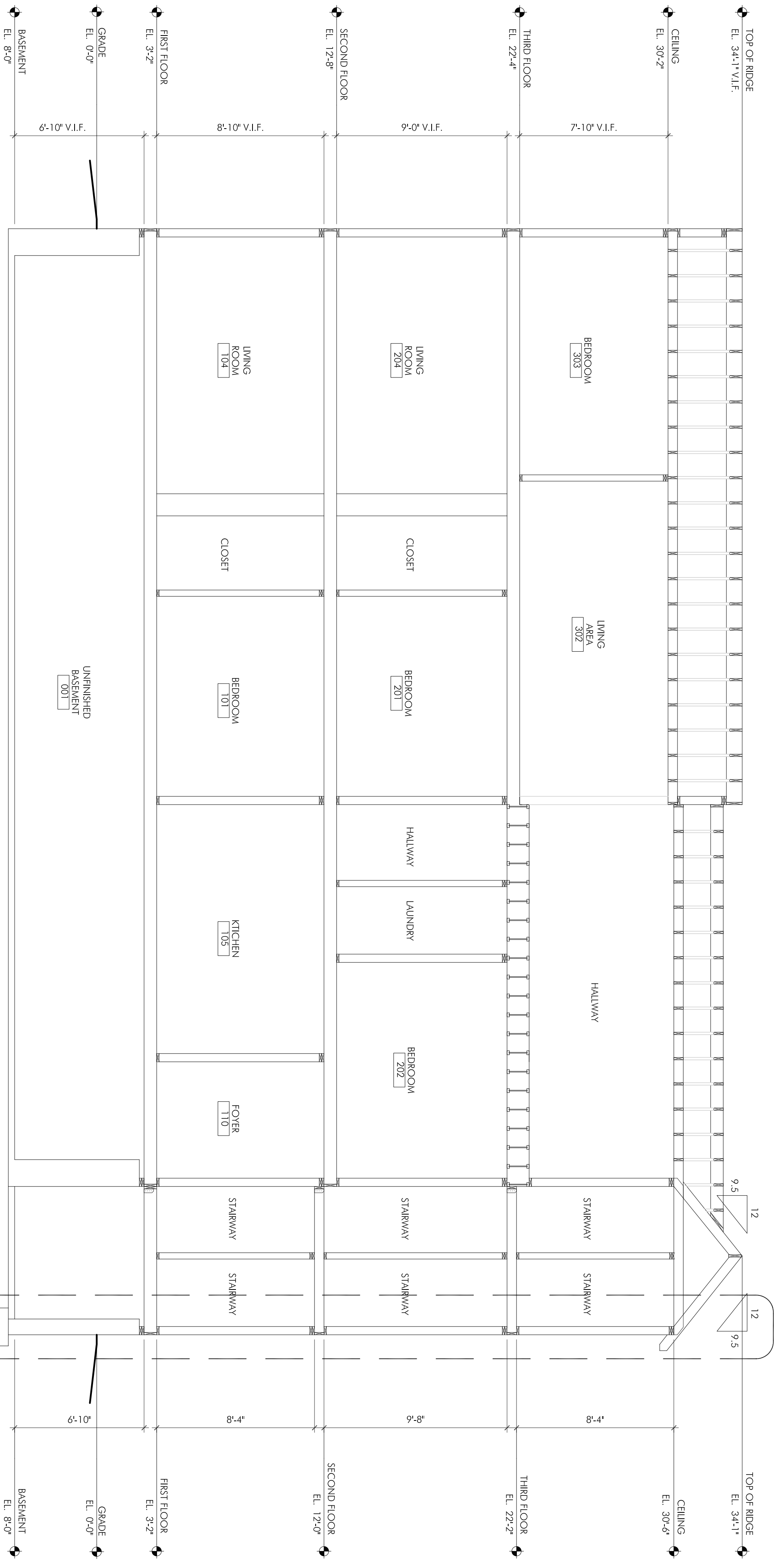


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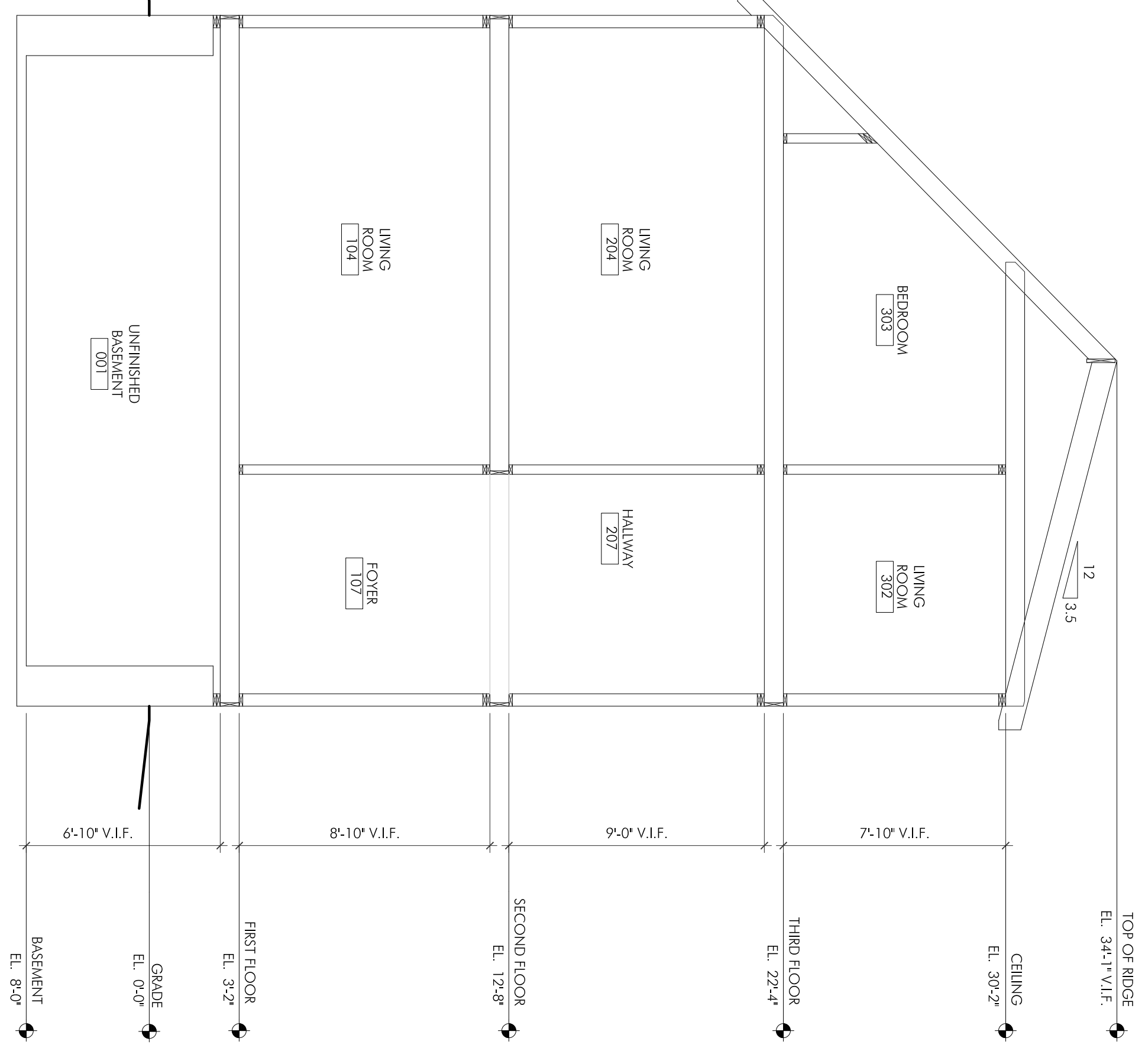


ISSUE	DATE
SECTIONS & DETAILS	04-24-2020
ISSUE FOR PERMIT	
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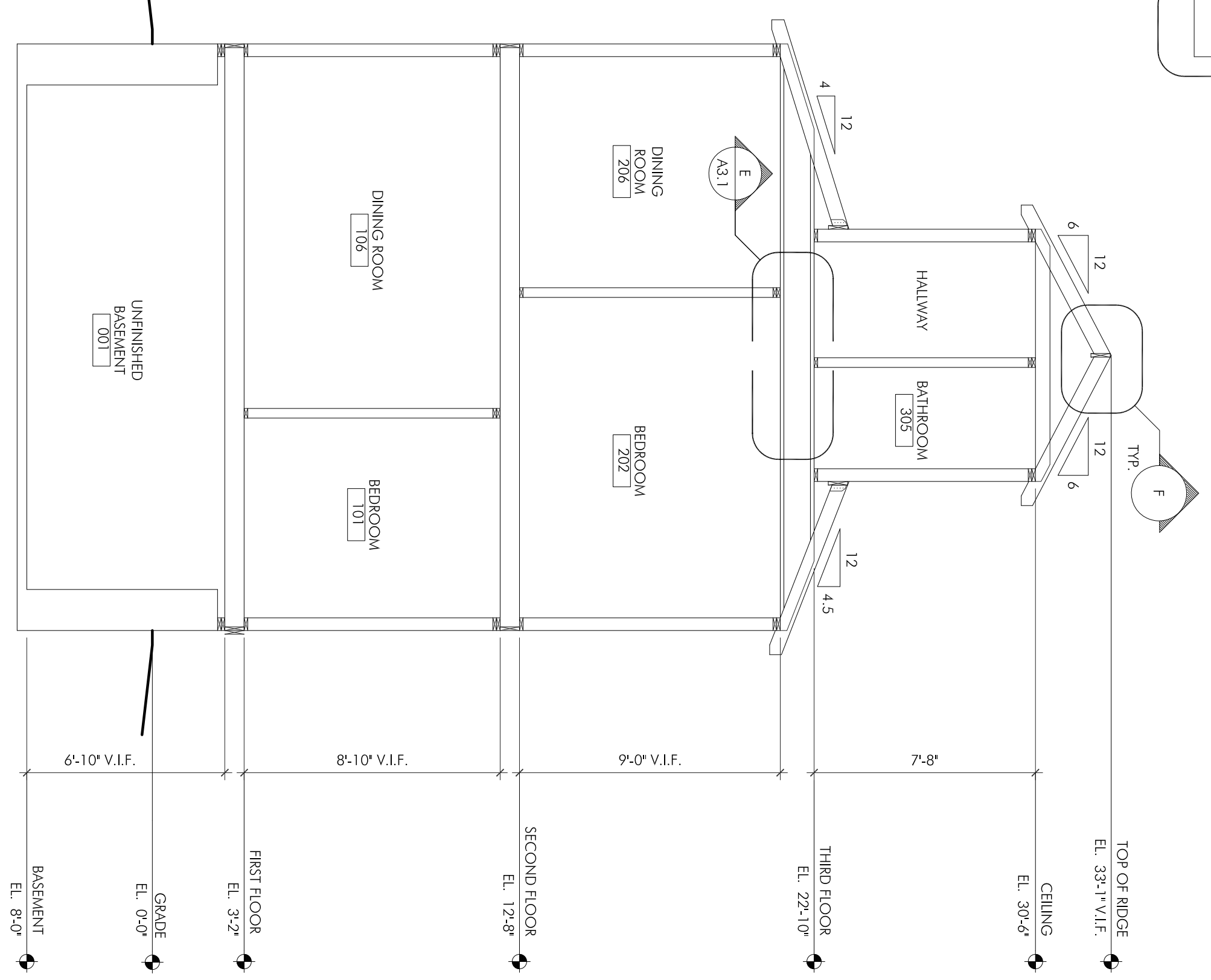
A3.0



A
 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



B
 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



C
 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

