

CITY OF MARLBOROUGH MEETING POSTING

Meeting Name: City Council Urban Affairs Committee

Date: May 25, 2021

Time: 7:00 PM

Location: City Council Chamber, 2nd Floor, City Hall, 140 Main Street

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2021 APR 29 P 3:58

This meeting will be held virtually with Councilors attending in person and/or remotely. **NO PUBLIC ATTENDANCE WILL BE PERMITTED.** This meeting will be televised on WMCT-TV (Comcast Channel 8 or Verizon/Fios Channel 34) or you can view the meeting using the link under the Meeting Videos tab on the city website (www.marlborough-ma.gov).

21-1008277

Application for Site Plan Review from Attorney Brian Falk, on behalf of WoHo, to construct a mixed-use project within the Marlborough Village District, 28 South Bolton Street.

THE LISTING OF TOPICS THAT THE CHAIR REASONABLY ANTICIPATES WILL BE DISCUSSED AT THE MEETING IS NOT INTENDED AS A GUARANTEE OF THE TOPICS THAT WILL HAVE BEEN DISCUSSED. NOT ALL TOPICS LISTED MAY IN FACT BE DISCUSSED, AND OTHER TOPICS NOT LISTED MAY ALSO BE BROUGHT UP FOR DISCUSSION TO THE EXTENT PERMITTED BY LAW.

The public should take due notice that the Marlborough City Council may have a quorum in attendance due to Standing Committees of the City Council consisting of both voting and non-voting members. However, members attending this duly posted meeting are participating and deliberating only in conjunction with the business of the Standing Committee.

Electronic devices, including laptops, cell phones, pagers, and PDAs must be turned off or put in silent mode upon entering the City Council Chamber, and any person violating this rule shall be asked to leave the chamber. Express authorization to utilize such devices may be granted by the President for recordkeeping purposes.



IN CITY COUNCIL

Marlborough, Mass., APRIL 26, 2021

ORDERED:

That the Application for Site Plan Review from Attorney Brian Falk, on behalf of WoHo, to construct a mixed-use project within the Marlborough Village District, 28 South Bolton Street, be and is herewith refer to **URBAN AFFAIRS COMMITTEE**.

Yea: 11 – Nay: 0

Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.

ADOPTED

ORDER NO. 21-1008277

X 17-1006964

X 18-1007317B

15

MIRICK O'CONNELL

ATTORNEYS AT LAW

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

Brian R. Falk
Mirick O'Connell
100 Front Street
Worcester, MA 01608-1477
bfalk@mirickoconnell.com
t 508.929.1678
f 508.983.6256

2021 APR 22 A 9:40

J/A

April 21, 2021

VIA EMAIL

Councilor Michael Ossing, President
Marlborough City Council
City Hall
Marlborough, MA 01752

Re: WoHo; 28 South Bolton Street;
Site Plan Application for a Mixed Use Project

Dear Councilor Ossing:

Enclosed please find a Site Plan Review Application package submitted on behalf of my client, WoHo, for a mixed-use project at 28 South Bolton Street in the Marlborough Village District.

This mixed-use project consists of a 6-story building with a ground floor retail unit, 40 residential units (1 and 2 bedroom), and 25 ground floor parking spaces. Pursuant to Section 650-18(42) and Section 650-34.B(1)(b) of the Zoning Ordinance, the project requires Site Plan Review by the City Council in accordance with Section 270-2 of the City Code.

Thank you for your time and attention to this matter.

Very truly yours,


Brian R. Falk

BRF/

Encl.

cc: Client



City of Marlborough

SITE PLAN APPROVAL APPLICATION (For Non-Residential and Major Residential Projects)

Type of Hearing (check one)

Major Renovation Minor Renovation

Please Print

DATE: April 21, 2021

PROJECT

Name of facility: WoHo

Address: 28 South Bolton Street

Assessor's Map No. 70 Parcel No. 212A, 213, 222, 223A, 224

APPLICANT

Name: WoHo

Address: 501 Massachusetts Avenue, Cambridge MA 02139

Telephone: 508-929-1678 Fax: _____
(Attorney Brian Falk)

Email: bfalk@mirickoconnell.com

OWNER'S CONSENT

If applicant is not the owner, is written consent of the owner or owner's agent attached (see Section 270-2(B) (7))? YES NO

* The applicant has entered a binding purchase and sale agreement with the owner to purchase the property.

PROPERTY OWNER

Name: M & E Ventures Corporation

Address: 28 South Bolton Street, Marlborough, MA

Telephone: (508) 509-4775 Fax: _____

Email: marilynoffice@yahoo.com

APPLICANT'S ENGINEER (preparing site plan)

Name: WSP - Jason Lavoie, PE

Address: 100 Summer Street, Boston MA 02110

Telephone: 617-426-7330 Fax: _____

Email: Jason.Lavoie@wsp.com

APPLICANT'S LANDSCAPE ARCHITECT

Name: WOHO - Ensamble Studio of America, LLC

Address: 501 Massachusetts Avenue, Cambridge MA 02139

Telephone: 508-929-1678 Fax: _____
(Attorney Brian Falk)

Email: bfalk@mirickoconnell.com

PROJECT INFO

PROPOSED USE (see Section 63-5(B) (1))

Non-Residential Residential

Provide a brief description of the project; including the proposed type of use, whether expansion of new, size of buildings, number of new parking spaces, any unusual utility use of impact on abutters (traffic, noise, lighting, odors, hazardous material, etc.)

The Applicant proposes a mixed-use project with 40 residential units
and ground floor retail in a unique and impressive six-story
building. The residential mix will be 20 one-bedroom units and 20
two-bedroom units. The project will provide 25 on-site parking
spaces. Private open space on the ground level and within the
building will meet the requirements of the Marlborough Village
District of 100 s.f. per unit. The project meets all dimensional
requirements of the Marlborough Village District and does not
require a special permit.

Identify all zoning districts, including overlay zones applicable to this site. The zones must also be shown on the site plan cover sheet. (See Section 270-2 (C) (2) (b) (3)).

ZONING DISTRICT(S) Marlborough Village District

WHAT OTHER PERMITS REQUIRED (check off which applies)

- City Council for Special Permit
 - ZBA Special Permit
 - ZBA Variance
 - Wetlands Protection Act
 - Section 404, Clean Water Act (Army Corps)
 - C 91 Waterways Permit
 - Subdivision Control Act (Planning Board)
 - State Curb Cut (MA Highway)
 - Indirect Access Permit (MA Highway)
 - MEPA ENF or EIR (EOEA)
 - Sewer Connection Permit (DPW, City Council, DEP)
 - Street Opening Permit (DPW, Engineering Dept)
 - Sewer Connection (DPW, City Council, DEP)
 - Other: _____
- Blasting Permit (Fire Dept)
 - Title V Approval (Board of Health)
 - Food Permit (Board of Health)
 - Building Permit (Building Dept)
 - Sign Permit (Building Dept)

WHAT IS THE FEDERAL FLOOD INSURANCE RATE ZONE? Zone X - Area of Minimal Flood Hazard
Map Number 25017C0481F

SUBMITTED PLANS AND REPORTS

See Section 270-2 (C) for submission requirements. Please include a locus map per Section 270-2 (C) (2) (b) (1)

Proposed Site Plan Set for 28 South Bolton Street	April 16, 2021	Jason Lavoie, PE
Title	Date	Stamped By

Fee

For Minor Site Plan without a building: \$750

For a Minor Site Plan (with a building under 8,000 square feet): \$1,000, plus \$0.03 a square foot of building gross floor area

For a Major Site Plan (with a building over 8,000 square feet): \$2,000, plus \$0.06 square feet per square feet of building gross floor area

\$2,000.00 (base fee)
\$3,778.50 (62,975 s.f. X \$0.06)
 \$5,778.50 Total Fee

PUBLIC NOTICE

Applicants for Site Plan Approval under Chapter 270-2 of the Marlborough City Code must publish a public notice in a newspaper of general circulation within the area at least once within two weeks of filing a Site Plan application using the format below. A copy of the public notice must be submitted with the application. Applications for Site Plan Approval shall not be certified as complete unless the public notice is properly published.

Date of Publication: Forthcoming

Name of Newspaper: MetroWest Daily News
(Form of notice attached)

HISTORIC BUILDING NOTICE

Is the site within 250 feet of any building, cemetery or monument built before 1850? YES NO

If in doubt, ask the Historic Commission (508 481-2400). If the answer is YES, send a photocopy notice and one copy of the site plans (excluding utilities) to:

Chairman, Historic Commission
City Hall
Marlborough, MA 01752

APPLICANT'S SIGNATURE


Applicant or Representatives Signature

4/21/2021
Date

Applicant shall submit this form to the Building Dept with all required plans (8 copies of plans, 4 copies of Traffic and Drainage reports) after a "Pre-Application Review" with the City reviewing Authority at which most requirements can be examined and discussed.

The applicant maybe required to attend a Preliminary scoping session with the Site Plan Review Committee prior to submitting this form.

Office Use Only:

Date Received: _____

Site Plan Number: _____

SITE PLAN APPROVAL PUBLIC NOTICE FORM

Applicants for Site Plan Approval under Chapter 270-2 of the Marlborough City Code must publish a public notice once in a newspaper of local circulation, using the format below at least once within two weeks of filing an application. A copy of the public notice must be submitted to the Building Department with the application for Site Plan Approval.

City of Marlborough Public Notice of Site Plan Submission

A proposed site plan has been submitted for the following project and is available for public inspections during regular business hours at the office of the Building Inspector, City Hall, Second Floor, 140 Main Street, Marlborough, MA 01752

Project Name and Type or Use: WoHo, Mixed-Use Project

Project Street Address: 28 South Bolton Street, Marlborough, MA

Applicant's Name: WoHo

The City will accept public comments in written form until 14 days from the date of this publication. This notice is published in accordance with the City Code, Chapter 270-2 Site Plan Review and Approval.

PREPARED FOR:
WHO SYSTEMS
 501 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139

PREPARED BY:
wsp
 100 SUMMER STREET
 BOSTON, MA 02110
 617.426.7330

REGISTERED PROFESSIONAL ENGINEER
 REGISTRATION NO. 12345



APRIL 12, 2021
 DATE

DAVID J. SPRUCE, P.E.
 REG. NO. 12345
 CIVIL ENGINEERING

PLAN TITLE:
**No. 28 SOUTH BOLTON STREET
 EXISTING CONDITIONS SURVEY**

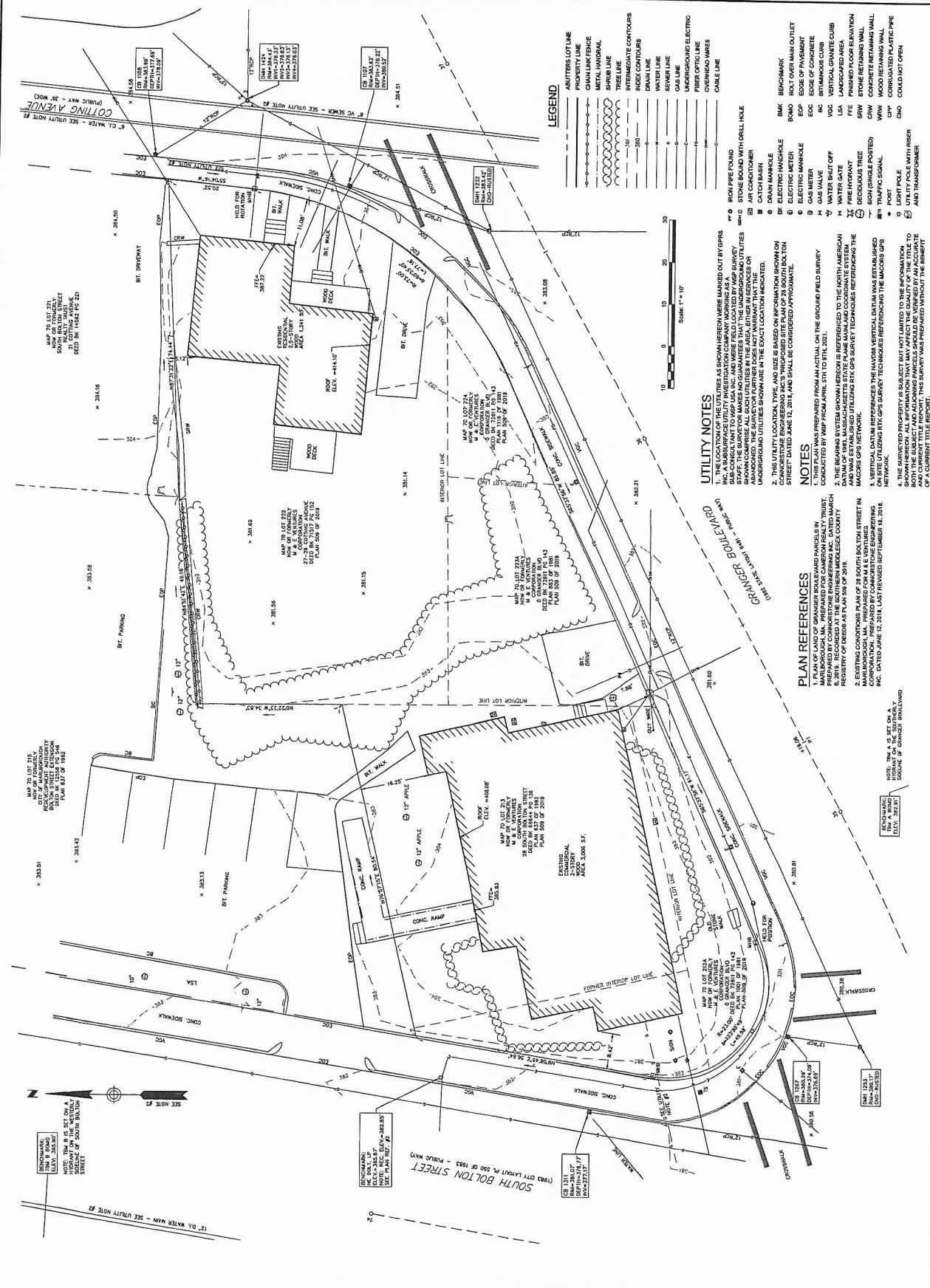
DISCIPLINE: CIVIL

DRAWN BY: MRG
 CHECKED BY: JLL

SCALE: 1" = 10'

DATE: 4/15/2021

SHEET NUMBER: C2.0



- LEGEND**
- ADJUTERS LOT LINE
 - CHAIN LINK FENCE
 - METAL HANDRAIL
 - SHRUB LINE
 - TREE LINE
 - INTERMEDIATE CONTOURS
 - MASS CONTOURS
 - WATER LINE
 - REWER LINE
 - GAS LINE
 - UNDERGROUND ELECTRIC
 - HIGH OPTIC LINE
 - CONDUIT
 - CABLE LINE

- UTILITY NOTES**
- THE LOCATION OF THE UTILITIES AS SHOWN HEREON WERE MARKED OUT BY GPSR INC. A SUBSURFACE UTILITY INVESTIGATION COMPANY WORKING AS AN INDEPENDENT CONTRACTOR FOR WHO SYSTEMS INC. ON APRIL 12, 2021. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS AND HAS SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICES OR UNDEVELOPED AREAS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
 - THIS UTILITY LOCATION, TYPE, AND SIZE IS BASED ON INFORMATION SHOWN ON CONCRETE ENGINEERING INC.'S PROPOSED SITE PLAN OF 28 SOUTH BOLTON STREET DATED JUNE 12, 2018, AND SHALL BE CONSIDERED APPROXIMATE.
- NOTES**
- THE INFORMATION SHOWN ON THIS SURVEY WAS OBTAINED FROM A FIELD SURVEY CONDUCTED BY WHO SYSTEMS INC. ON APRIL 12, 2021. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS AND HAS SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICES OR UNDEVELOPED AREAS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
 - THIS UTILITY LOCATION, TYPE, AND SIZE IS BASED ON INFORMATION SHOWN ON CONCRETE ENGINEERING INC.'S PROPOSED SITE PLAN OF 28 SOUTH BOLTON STREET DATED JUNE 12, 2018, AND SHALL BE CONSIDERED APPROXIMATE.

- PLAN REFERENCES**
- EXISTING CONDITIONS PLAN OF 28 SOUTH BOLTON STREET IN MARLBOROUGH, MA, PREPARED FOR M & E UTILITIES INC. DATED JUNE 12, 2018, LAST REVISED SEPTEMBER 18, 2018.
 - EXISTING CONDITIONS PLAN OF 28 SOUTH BOLTON STREET IN MARLBOROUGH, MA, PREPARED FOR M & E UTILITIES INC. DATED JUNE 12, 2018, LAST REVISED SEPTEMBER 18, 2018.

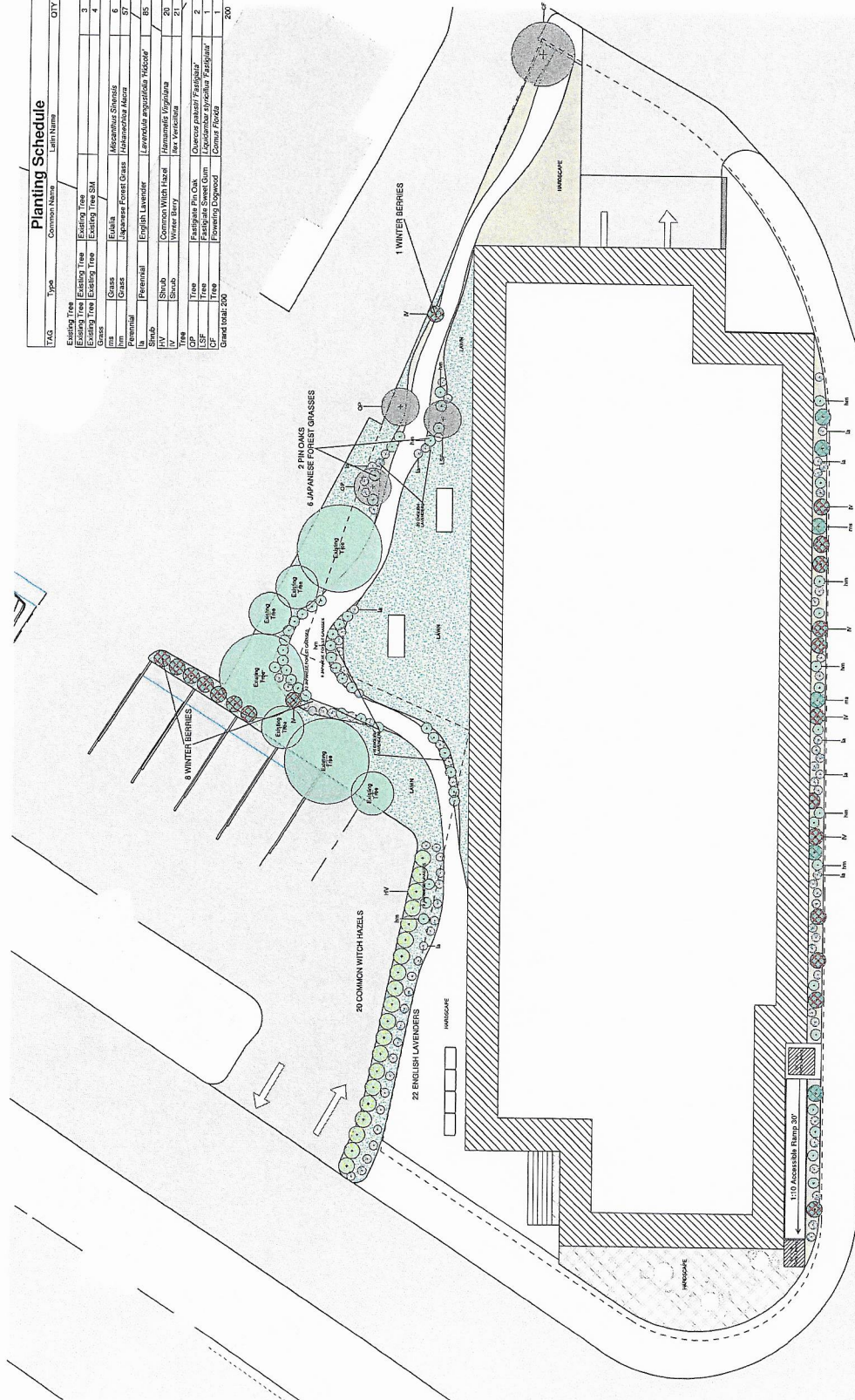
NOTE: BENCHMARK IS SET ON A CONCRETE FOUNDATION AT THE INTERSECTION OF SOUTH BOLTON STREET AND COTTING AVENUE.

NOTE: BENCHMARK IS SET ON A CONCRETE FOUNDATION AT THE INTERSECTION OF SOUTH BOLTON STREET AND COTTING AVENUE.

REVISIONS:

NO.	DATE	DESCRIPTION

Planting Schedule		
TAG	Type	Quantity
1	Common Hazel	200
2	English Lavender	33
3	Winter Berries	13
4	Japanese Forest Grasses	14
5	Pin Oaks	2
6	Common Witch Hazels	20
7	English Lavender	33
8	Winter Berries	13
9	Japanese Forest Grasses	14
10	Pin Oaks	2
11	Common Witch Hazels	20
12	English Lavender	33
13	Winter Berries	13
14	Japanese Forest Grasses	14
15	Pin Oaks	2
16	Common Witch Hazels	20
17	English Lavender	33
18	Winter Berries	13
19	Japanese Forest Grasses	14
20	Pin Oaks	2
21	Common Witch Hazels	20
22	English Lavender	33
23	Winter Berries	13
24	Japanese Forest Grasses	14
25	Pin Oaks	2
26	Common Witch Hazels	20
27	English Lavender	33
28	Winter Berries	13
29	Japanese Forest Grasses	14
30	Pin Oaks	2
31	Common Witch Hazels	20
32	English Lavender	33
33	Winter Berries	13
34	Japanese Forest Grasses	14
35	Pin Oaks	2
36	Common Witch Hazels	20
37	English Lavender	33
38	Winter Berries	13
39	Japanese Forest Grasses	14
40	Pin Oaks	2
41	Common Witch Hazels	20
42	English Lavender	33
43	Winter Berries	13
44	Japanese Forest Grasses	14
45	Pin Oaks	2
46	Common Witch Hazels	20
47	English Lavender	33
48	Winter Berries	13
49	Japanese Forest Grasses	14
50	Pin Oaks	2
51	Common Witch Hazels	20
52	English Lavender	33
53	Winter Berries	13
54	Japanese Forest Grasses	14
55	Pin Oaks	2
56	Common Witch Hazels	20
57	English Lavender	33
58	Winter Berries	13
59	Japanese Forest Grasses	14
60	Pin Oaks	2
61	Common Witch Hazels	20
62	English Lavender	33
63	Winter Berries	13
64	Japanese Forest Grasses	14
65	Pin Oaks	2
66	Common Witch Hazels	20
67	English Lavender	33
68	Winter Berries	13
69	Japanese Forest Grasses	14
70	Pin Oaks	2
71	Common Witch Hazels	20
72	English Lavender	33
73	Winter Berries	13
74	Japanese Forest Grasses	14
75	Pin Oaks	2
76	Common Witch Hazels	20
77	English Lavender	33
78	Winter Berries	13
79	Japanese Forest Grasses	14
80	Pin Oaks	2
81	Common Witch Hazels	20
82	English Lavender	33
83	Winter Berries	13
84	Japanese Forest Grasses	14
85	Pin Oaks	2
86	Common Witch Hazels	20
87	English Lavender	33
88	Winter Berries	13
89	Japanese Forest Grasses	14
90	Pin Oaks	2
91	Common Witch Hazels	20
92	English Lavender	33
93	Winter Berries	13
94	Japanese Forest Grasses	14
95	Pin Oaks	2
96	Common Witch Hazels	20
97	English Lavender	33
98	Winter Berries	13
99	Japanese Forest Grasses	14
100	Pin Oaks	2



- 13 WINTER BERRIES
- 33 ENGLISH LAVENDERS
- 6 EULALIAs
- 14 JAPANESE FOREST GRASSES



PREPARED BY:
WSP
 100 SUMMER STREET
 BOSTON, MA 02110
 617.462.7330

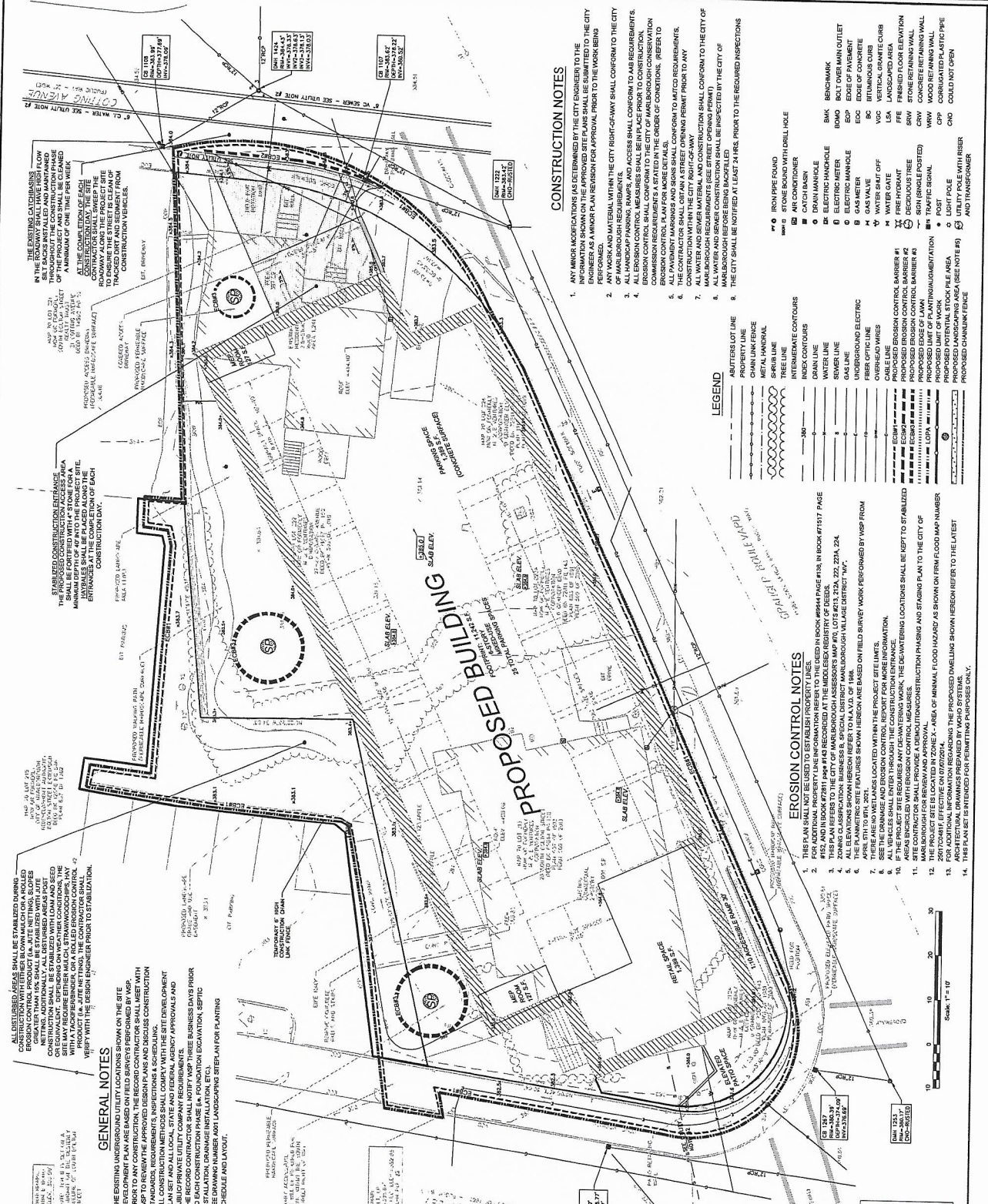


REV. NO.	DATE	DESCRIPTION

PROJECT TITLE:
**No. 28 SOUTH BOLTON STREET
 EROSION CONTROL PLAN**

DISCIPLINE:	CIVIL
DRAWN BY:	MRG
CHECKED BY:	JL
DATE:	4/16/2021
SCALE:	1" = 10'

SHEET NUMBER:
C6.0



GENERAL NOTES

- THE EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ON THE SITE DEVELOPMENT PLAN ARE BASED ON FIELD SURVEYS PERFORMED BY WSP.
- THE RECORD CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES TO BE REMOVED OR RELOCATED PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION METHODS SHALL COMPLY WITH THE SITE DEVELOPMENT AND PUBLIC PRIVATE UTILITY COMPANY REQUIREMENTS.
- THE RECORD CONTRACTOR SHALL NOTIFY WSP THREE BUSINESS DAYS PRIOR TO INSTALLATION OF ANY FOUNDATION EXCAVATION, SEPTIC INSTALLATION, OR OTHER SPECIAL CONSTRUCTION.
- SEE DRAWING NUMBER A01 FOR LANDSCAPING STEPS AND PLANTING SCHEDULE AND LAYOUT.

STABILIZED CONSTRUCTION ENTRANCE
 MINIMUM DEPTH OF 4" INTO THE PROJECT BITE. SHALL BE CONFINED WITH STONE EDGE ENHANCEMENTS AT THE COMPLETION OF EACH CONSTRUCTION DAY.

EXISTING CATCHBASINS
 IN THE EXISTING DRIVEWAY SHALL BE HIGH FLOW SET BAGS INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE TO PREVENT OIL AND GREASE FROM ENTERING THE STREET. A MINIMUM OF ONE PER WEEK CLEANING SHALL BE REQUIRED.

AT THE COMPLETION OF EACH CONSTRUCTION DAY
 THE RECORD CONTRACTOR SHALL TRACK AND REMOVE TRACKED DIRT AND SEDIMENT FROM THE ROADWAY ALONG THE PROJECT SITE.

CONSTRUCTION NOTES

- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSTRUCTION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS. REFER TO THE CITY OF MARLBOROUGH WEBSITE FOR THE LATEST REQUIREMENTS.
- THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY WORK IN THE CITY RIGHT-OF-WAY.
- ALL WATER AND SEWER MAINS SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT).
- ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH.
- THE CITY SHALL BE NOTIFIED AT LEAST 24 HRS. PRIOR TO THE REQUIRED INSPECTIONS.

LEGEND

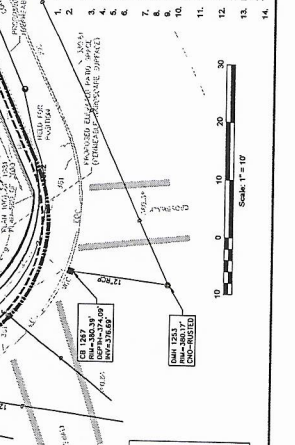
- PROPERTY LINE
- CHAIN LINK FENCE
- STREET WALL
- SEWER MAIN
- WATER MAIN
- INTERMEDIATE CONTOURS
- DRAIN LINE
- WATER LINE
- GAS LINE
- UNDERGROUND ELECTRIC
- FIBER OPTIC LINE
- OVERHEAD WIRES
- PROPOSED EROSION CONTROL BARRIER #1
- PROPOSED EROSION CONTROL BARRIER #2
- PROPOSED UNIT OF WORK
- PROPOSED LANDSCAPING AREA (SEE NOTE #8)
- PROPOSED CHAIN LINK FENCE

CONSTRUCTION NOTES

- THIS PLAN SHALL NOT BE USED TO ESTABLISH PROPERTY LINES.
- FOR ADDITIONAL PROPERTY LINE INFORMATION REFER TO THE DEED IN BOOK #8944 PAGE #14 IN BOOK #71517 PAGE #10.
- THIS PLAN REFERS TO THE CITY OF MARLBOROUGH ASSESSORS MAP #200.22A.22A.22A.
- THE PLANNING SITE FEATURES SHOWN HEREON ARE BASED ON FIELD SURVEY WORK PERFORMED BY WSP FROM APRIL 5TH TO 9TH, 2021.
- SEE THE DRAINAGE AND EROSION CONTROL REPORT FOR SITE LIMITS.
- ALL VEHICLES SHALL ENTER THROUGH THE CONSTRUCTION ENTRANCE.
- AREAS ENCLOSED WITH EROSION CONTROL BEING WORK, THE DRAINING LOCATIONS SHALL BE KEPT TO ESTABLISHED LOCATIONS.
- THE RECORD CONTRACTOR SHALL PROVIDE A DEMOLITION/CONSTRUCTION PHASING AND STAGING PLAN TO THE CITY OF MARLBOROUGH FOR APPROVAL.
- THE PROJECT SITES LOCATED IN 22A.22A.22A AREA OF MARLBOROUGH SHALL BE SHOWN ON TRAFFIC HAZARD MAP NUMBER 2907004M.F. EFFECTIVE ON 07/07/2014.
- FOR ADDITIONAL INFORMATION REGARDING THE PROPOSED SWELLING DRAINAGE SHOWN HEREON REFER TO THE LATEST ARCHITECTURAL DRAWING INTENDED FOR PERMITTING PURPOSES ONLY.

PROPOSED FLOOR ELEVATIONS

- FIRST FLOOR - 44.02'
- FIFTH FLOOR - 44.02'
- SECOND FLOOR - 41.02'
- THIRD FLOOR - 40.02'
- GARAGE SLAB - 36.02'



PREPARED FOR:
WHO SYSTEMS
 501 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139

PREPARED BY:


100 SUMMER STREET
 BOSTON, MA 02110
 617.626.7330

REGISTRATION STAMP:


REV. NO.	DATE	DESCRIPTION	BY:

REVISIONS USE ONLY:

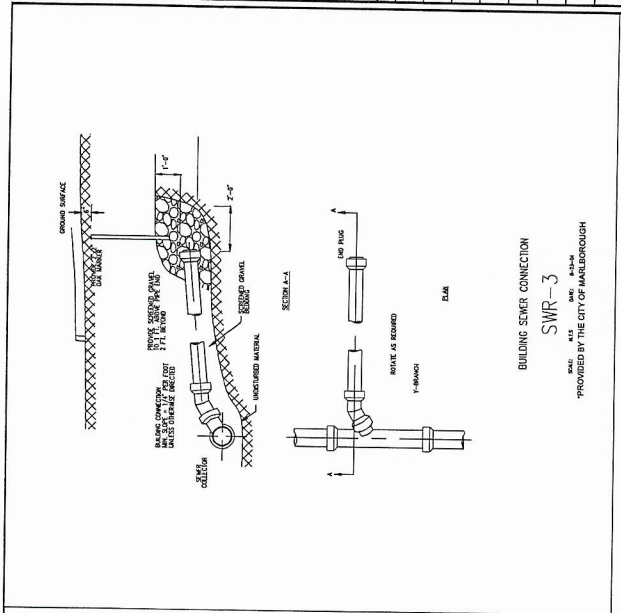
PLAN TITLE:
**No. 28 SOUTH BOLTON STREET
 DETAIL SHEET 2 OF 3**

DISCIPLINE:
CIVIL

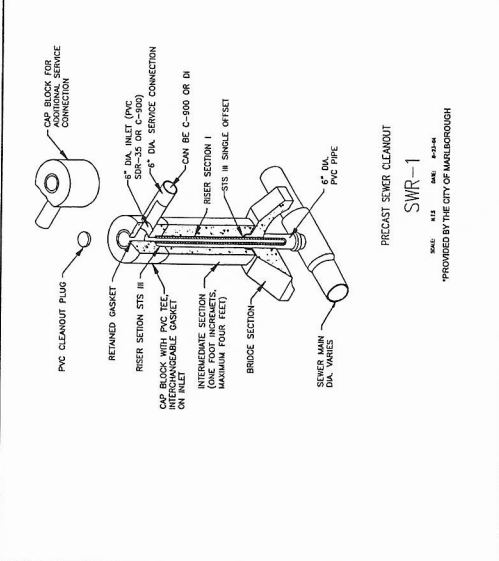
DRAWN BY:	CHECKED BY:	APPROVED BY:
MG	MB	JL
SCALE:	DATE:	
1A	4/15/2021	

SHEET NUMBER:

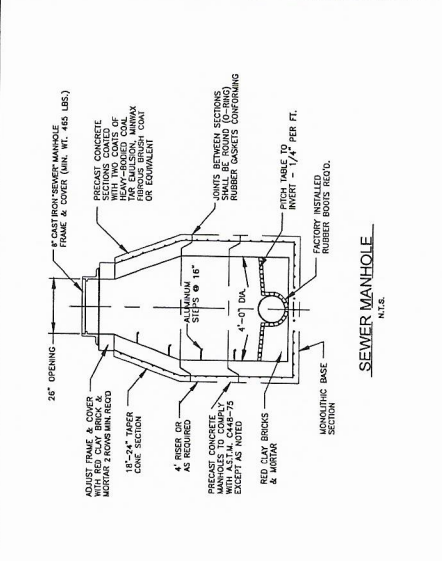
C7.1



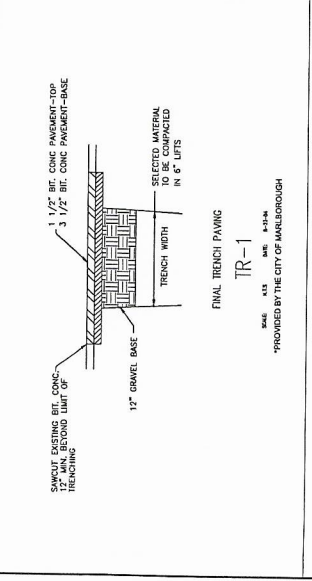
- GENERAL NOTES**
- PRIOR TO ANY CONSTRUCTION, THE RECORD CONTRACTOR SHALL MEET WITH WSP TO REVIEW THE APPROVED DESIGN PLANS AND DISCUSS CONSTRUCTION STANDARDS, REQUIREMENTS, LOCAL, STATE AND FEDERAL, AGENCY APPROVALS AND PUBLIC PRIVATE UTILITY COMPANY REQUIREMENTS.
 - ALL CONSTRUCTION METHODS SHALL COMPLY WITH THE CITY DEVELOPMENT PLAN SET AND ALL REQUIREMENTS.
 - THE RECORD CONTRACTOR SHALL NOTIFY WSP THREE BUSINESS DAYS PRIOR TO EACH CONSTRUCTION PHASE (i.e. FOUNDATION EXCAVATION, SEPTIC INSTALLATION, DRAINAGE INSTALLATION, ETC.).
 - SEE DRAWING NUMBER A01 LANDSCAPING SITE PLAN FOR PLANTING SCHEDULE AND LAYOUT.
- CONSTRUCTION NOTES**
- ANY WORKS REQUIRED TO BE COMPLETED PRIOR TO THE CITY BROWER TO THE INFORMATION SHOWN ON THE APPROVED SITE PLAN SHALL BE COMPLETED PRIOR TO THE CITY BROWER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 - ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSTRUCTION STANDARDS AND SPECIFICATIONS.
 - ALL HANDICAP PARKING RAMP, AND ACCESS SHALL CONFORM TO AB REQUIREMENTS.
 - ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. REFER TO EROSION CONTROL PLAN FOR MORE DETAILS.
 - ALL PAYMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
 - ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSTRUCTION STANDARDS AND SPECIFICATIONS.
 - ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSTRUCTION STANDARDS AND SPECIFICATIONS.
 - ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BEING BACKFILLED.
 - THE CITY SHALL BE NOTIFIED AT LEAST 24 HRS. PRIOR TO THE REQUIRED INSPECTIONS.



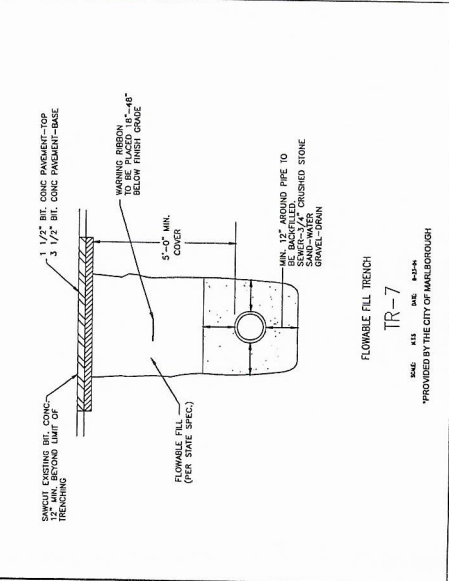
- PRECAST SEWER CLEANOUT**
 SWR-1
 SCALE: A13 A14 A15 A16 A17 A18 A19 A20
 PROVIDED BY THE CITY OF MARLBOROUGH



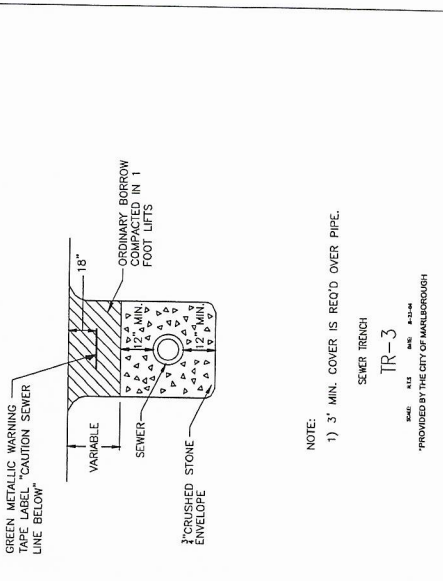
- PRECAST SEWER MANHOLE**
 SWR-5
 SCALE: A13 A14 A15 A16 A17 A18 A19 A20
 PROVIDED BY THE CITY OF MARLBOROUGH
- | DESCRIPTION | ELEVATION |
|------------------------|-----------|
| FINISHED GRADE | 379.83 |
| SEWER INVERT | 379.83 |
| SEWER MANHOLE INVERT | 379.83 |
| ESTIMATED FINISH GRADE | 379.83 |
| ESTIMATED FINISH GRADE | 379.83 |
- SCHEDULE OF ELEVATIONS**
- NOTE:**
 1. EXISTING SEWER MANHOLE INVERTS NEED TO BE VERIFIED PRIOR TO CONSTRUCTION.



- FINAL TRENCH PAVING**
 TR-1
 SCALE: A13 A14 A15 A16 A17 A18 A19 A20
 PROVIDED BY THE CITY OF MARLBOROUGH



- FLOWABLE FILL TRENCH**
 TR-7
 SCALE: A13 A14 A15 A16 A17 A18 A19 A20
 PROVIDED BY THE CITY OF MARLBOROUGH



- SEWER TRENCH**
 TR-3
 SCALE: A13 A14 A15 A16 A17 A18 A19 A20
 PROVIDED BY THE CITY OF MARLBOROUGH

PREPARED FOR:
WHO SYSTEMS
 501 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139

PREPARED BY:
wsp
 100 SUMMER STREET
 BOSTON, MA 02110
 617-467-3300
 REGISTRATION STAMP

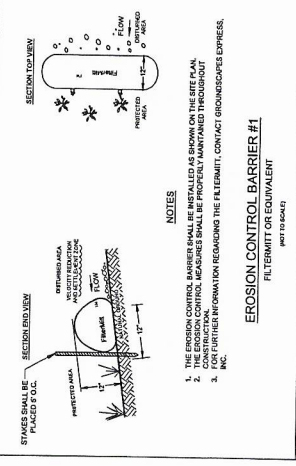


REVISE	DATE	DESCRIPTION	BY

PLANT TITLE
 No. 28 SOUTH BOLTON STREET
 DETAIL SHEET 3 OF 3

DESCRIBE		DATE	
DESIGNER:	CIVL	DATE:	4/19/2021
DRAWN BY:	MG	CHECKED BY:	JL
SCALE:	NA	DATE:	4/19/2021

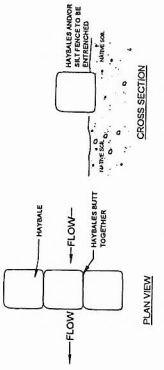
SHEET NUMBER
C7.2



NOTES

1. THE EROSION CONTROL BARRIER SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN.
2. CONTRACTOR SHALL MAINTAIN BARRIERS THROUGHOUT CONSTRUCTION.
3. CONTRACTOR SHALL MAINTAIN BARRIERS THROUGHOUT CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN BARRIERS THROUGHOUT CONSTRUCTION.
5. CONTRACTOR SHALL MAINTAIN BARRIERS THROUGHOUT CONSTRUCTION.

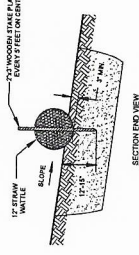
EROSION CONTROL BARRIER #1
 FILTERMATT OR EQUIVALENT
 (NOT TO SCALE)



NOTES

1. THE EROSION CONTROL BARRIER SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN.
2. CONTRACTOR SHALL MAINTAIN BARRIERS THROUGHOUT CONSTRUCTION.
3. CONTRACTOR SHALL MAINTAIN BARRIERS THROUGHOUT CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN BARRIERS THROUGHOUT CONSTRUCTION.
5. CONTRACTOR SHALL MAINTAIN BARRIERS THROUGHOUT CONSTRUCTION.

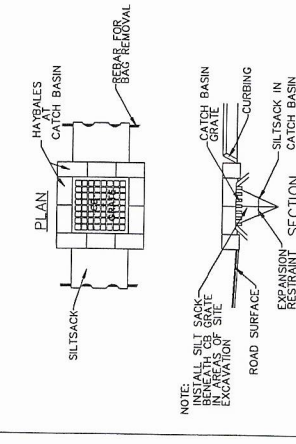
EROSION CONTROL BARRIER #2
 HAYBALES OR EQUIVALENT
 (NOT TO SCALE)



NOTES

1. THE EROSION CONTROL BARRIER SHALL BE USED TO ENCLOSE EXPOSED MATERIALS.
2. CONTRACTOR SHALL MAINTAIN BARRIERS THROUGHOUT CONSTRUCTION.
3. CONTRACTOR SHALL MAINTAIN BARRIERS THROUGHOUT CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN BARRIERS THROUGHOUT CONSTRUCTION.
5. CONTRACTOR SHALL MAINTAIN BARRIERS THROUGHOUT CONSTRUCTION.

EROSION CONTROL BARRIER #3
 STRAW WATTLE OR EQUIVALENT
 (NOT TO SCALE)

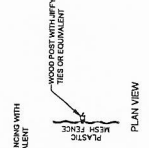


NOTE:

- 1) SILT SACKS SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN.
- 2) SILT SACKS SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN.
- 3) SILT SACKS SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN.
- 4) SILT SACKS SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN.
- 5) SILT SACKS SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN.

EC-2
 HIGH FLOW SILT SACK
 ERO. CONT. AT CATCHBASINS

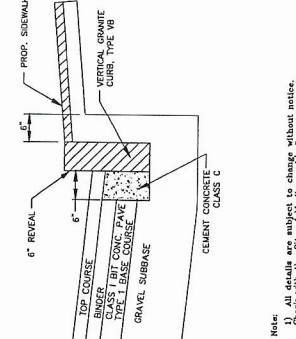
PROVIDED BY THE CITY OF MARLBOROUGH



NOTES

1. THE PROPOSED FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION.
2. A SMALL STOCKPILE OF THE FENCING SHALL BE KEPT ON-SITE FOR REPAIRS.
3. THE FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION.
4. THE FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION.
5. THE FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION.

CONSTRUCTION FENCING
 (NOT TO SCALE)

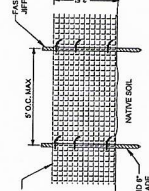


NOTE:

- 1) All details are subject to change without notice.
- 2) All details are subject to change without notice.
- 3) All details are subject to change without notice.
- 4) All details are subject to change without notice.
- 5) All details are subject to change without notice.

CRB-5
 SETTING VERTICAL CURB

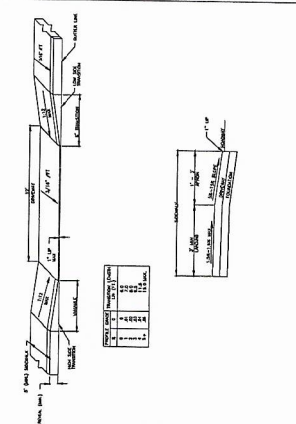
PROVIDED BY THE CITY OF MARLBOROUGH



NOTES

1. THE PROPOSED FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION.
2. A SMALL STOCKPILE OF THE FENCING SHALL BE KEPT ON-SITE FOR REPAIRS.
3. THE FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION.
4. THE FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION.
5. THE FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION.

CONSTRUCTION FENCING
 (NOT TO SCALE)

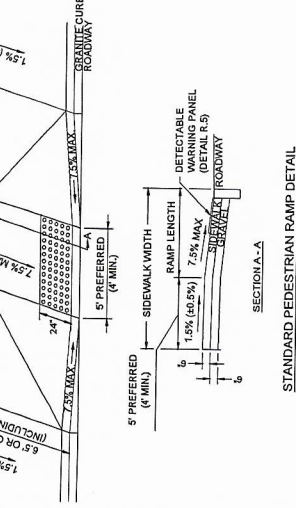


NOTE:

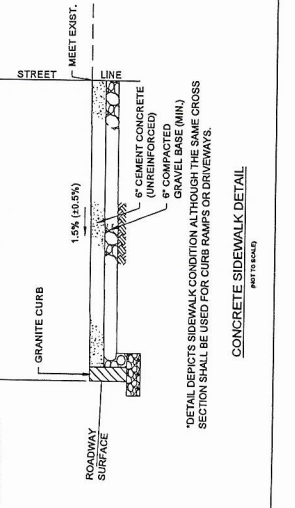
- 1) All details are subject to change without notice.
- 2) All details are subject to change without notice.
- 3) All details are subject to change without notice.
- 4) All details are subject to change without notice.
- 5) All details are subject to change without notice.

DW-2
 DRIVEWAY

PROVIDED BY THE CITY OF MARLBOROUGH



STANDARD PEDESTRIAN RAMP DETAIL
 (NOT TO SCALE)



CONCRETE SIDEWALK DETAIL
 (NOT TO SCALE)

"DETAIL DEPicts SIDEWALK CONDITION ALTHOUGH IT IS NOT THE CROSS SECTION SHALL BE USED FOR CURB RAMPS OR DRIVEWAYS."

CONSTRUCTION NOTES

1. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
3. REQUIREMENTS FOR SIGNING, MARKINGS, AND ACCESS SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
6. THE CITY OF MARLBOROUGH REQUIREMENTS SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH INSPECTOR PRIOR TO ANY CONSTRUCTION.
7. THE CITY OF MARLBOROUGH REQUIREMENTS SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH INSPECTOR PRIOR TO ANY CONSTRUCTION.
8. THE CITY OF MARLBOROUGH REQUIREMENTS SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH INSPECTOR PRIOR TO ANY CONSTRUCTION.
9. THE CITY OF MARLBOROUGH REQUIREMENTS SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH INSPECTOR PRIOR TO ANY CONSTRUCTION.
10. THE CITY OF MARLBOROUGH REQUIREMENTS SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH INSPECTOR PRIOR TO ANY CONSTRUCTION.

SOIL LOGS

- TP1 6-8" FILL (DATE: 7/20/19)
- TP2 8-12" SANDY LOAM (DATE: 7/20/19)
- TP3 12-18" SANDY LOAM (DATE: 7/20/19)
- TP4 18-24" SANDY LOAM (DATE: 7/20/19)
- TP5 24-30" SANDY LOAM (DATE: 7/20/19)
- TP6 30-36" SANDY LOAM (DATE: 7/20/19)
- TP7 36-42" SANDY LOAM (DATE: 7/20/19)
- TP8 42-48" SANDY LOAM (DATE: 7/20/19)
- TP9 48-54" SANDY LOAM (DATE: 7/20/19)
- TP10 54-60" SANDY LOAM (DATE: 7/20/19)
- TP11 60-66" SANDY LOAM (DATE: 7/20/19)
- TP12 66-72" SANDY LOAM (DATE: 7/20/19)
- TP13 72-78" SANDY LOAM (DATE: 7/20/19)
- TP14 78-84" SANDY LOAM (DATE: 7/20/19)
- TP15 84-90" SANDY LOAM (DATE: 7/20/19)
- TP16 90-96" SANDY LOAM (DATE: 7/20/19)
- TP17 96-102" SANDY LOAM (DATE: 7/20/19)
- TP18 102-108" SANDY LOAM (DATE: 7/20/19)
- TP19 108-114" SANDY LOAM (DATE: 7/20/19)
- TP20 114-120" SANDY LOAM (DATE: 7/20/19)

NOTE:

1. THE SOIL LOGS SHOWN HEREON WERE PERFORMED BY CONCRETE.
2. SEE CONSTRUCTION PLAN FOR LOCATION.

PREPARED FOR:
WSP
 WSP SYSTEMS
 501 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139

PREPARED BY:
wsp

100 SUMNER STREET
 BOSTON, MA 02110
 617-467-3300

REGISTRATION STAMP:



REVISION	DATE	DESCRIPTION	BY:

PROPERTY (IF ANY):

PLAN TITLE:
**No. 28 SOUTH BOLTON STREET
 TURNING MOVEMENT EXHIBIT**

DISCIPLINE:

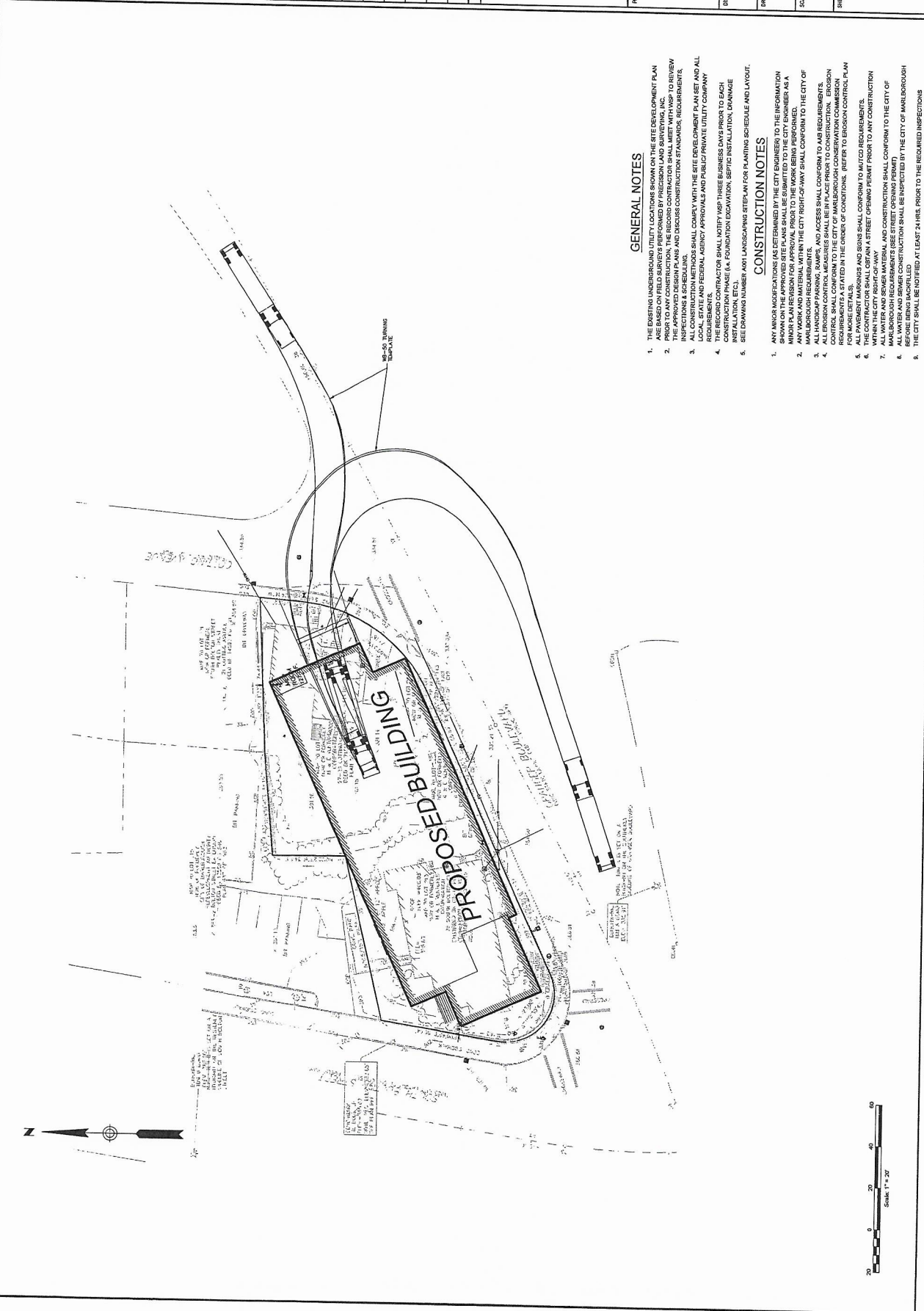
CIVIL

DRAWN BY:	MRG	CHECKED BY:	JL	APPROVED BY:	JL
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SCALE:	1" = 20'	DATE:	4/16/2021
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SHEET NUMBER:

C7.3



GENERAL NOTES

1. THE EXISTING UNDERGROUND UTILITIES SHOWN ON THE SITE DEVELOPMENT PLAN ARE BASED ON FIELD SERVICES PERFORMANCE RECORDS.
2. PRIOR TO ANY CONSTRUCTION, THE RECORD CONTRACTOR SHALL MEET WITH WSP TO REVIEW THE EXISTING DESIGN PLANS AND ENSURE CONSTRUCTION STANDARDS, REQUIREMENTS, INSPECTION METHODS AND APPROVALS AND PUBLIC UTILITY COMPANY.
3. ALL CONSTRUCTION METHODS SHALL COMPLY WITH THE SITE DEVELOPMENT PLAN SET AND ALL LOCAL, STATE AND FEDERAL AGENCY APPROVALS AND PUBLIC UTILITY COMPANY.
4. THE RECORD CONTRACTOR SHALL NOTIFY WSP THREE BUSINESS DAYS PRIOR TO EACH CONSTRUCTION PHASE (E.G. FOUNDATION EXCAVATION, SEPTIC INSTALLATION, DRAINAGE INSTALLATION, ETC.).
5. SEE DRAWING NUMBER 6081 LANDSCAPING STEP-PLAN FOR PLANTING SCHEDULE AND LAYOUT.

CONSTRUCTION NOTES

1. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A SUPPLEMENT TO THE APPROVED PLANS PRIOR TO THE WORK BEING PERFORMED.
2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
3. ALL THROUGH PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAS REQUIREMENTS.
4. ALL THROUGH PARKING, RAMPS, AND ACCESS SHALL CONFORM TO MARLBOROUGH CONSERVATION CONTROL REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS. (REFER TO EROSION CONTROL PLAN FOR DETAILS.)
5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
6. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION OF THE PROPOSED DRIVEWAY AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT).
7. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH.
8. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH.
9. THE CITY SHALL BE NOTIFIED AT LEAST 24 HRS. PRIOR TO THE REQUIRED INSPECTIONS.



**ENSAMBLE STUDIO
OF AMERICA LLC**

RESEARCH, ANALYSIS AND PRACTICE
IN ARCHITECTURE AND ENGINEERING
11 Franklin St., Boston, MA

**Marlborough
multi-family building**

**No. 28 South Bolton Street
Marlborough, MA
01752**

Concept Design

Architect



N



Drawing Name

Southwest Facade

Project No.

Revision No.

Description

Date

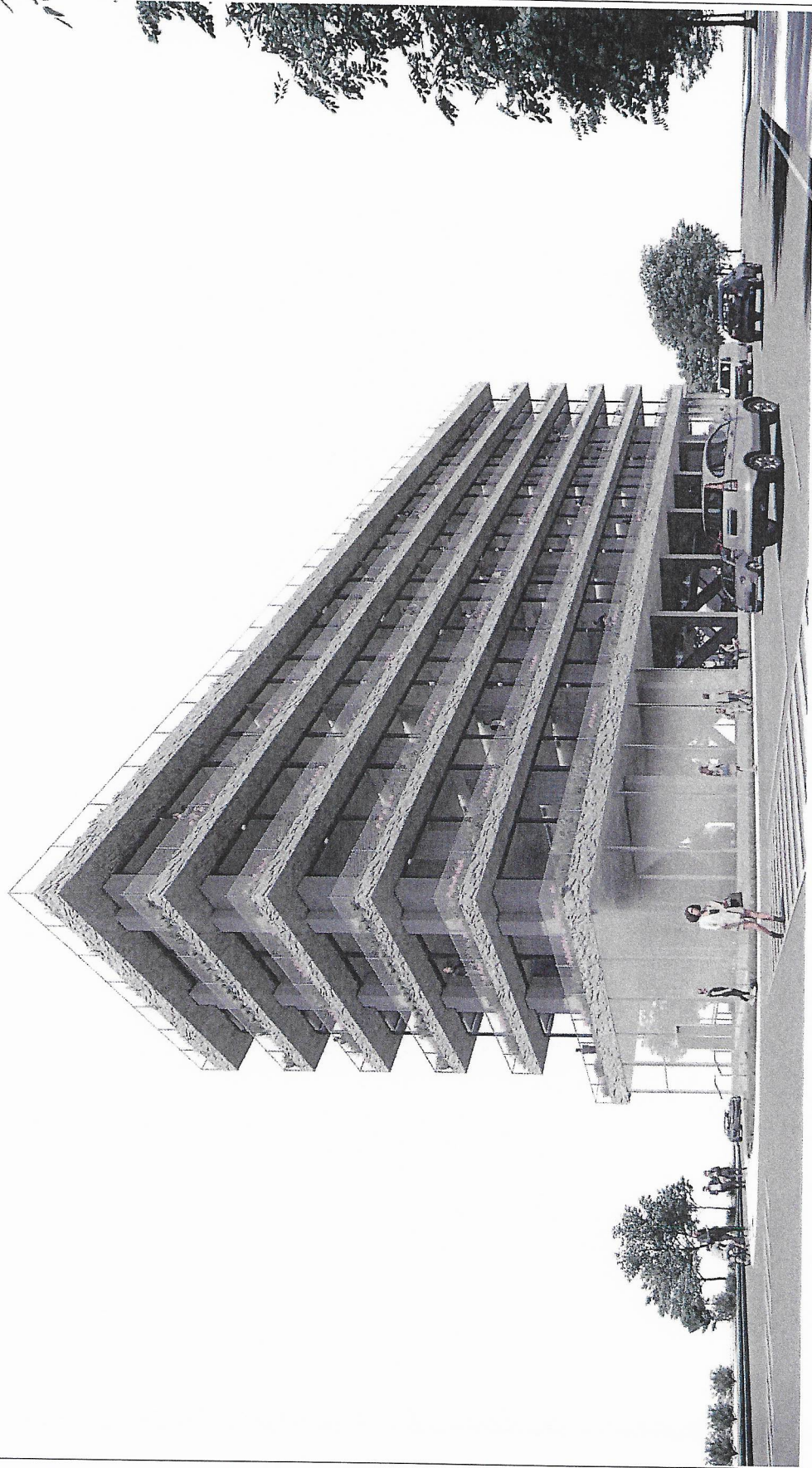
Drawing Scale

Date

April 2021

Drawing Number

R101



Marlborough multi-family building

No. 28 South Bolton Street
Marlborough, MA
01752

Concept Design

Architect



Drawing Name

West Facade

Scale

Revision

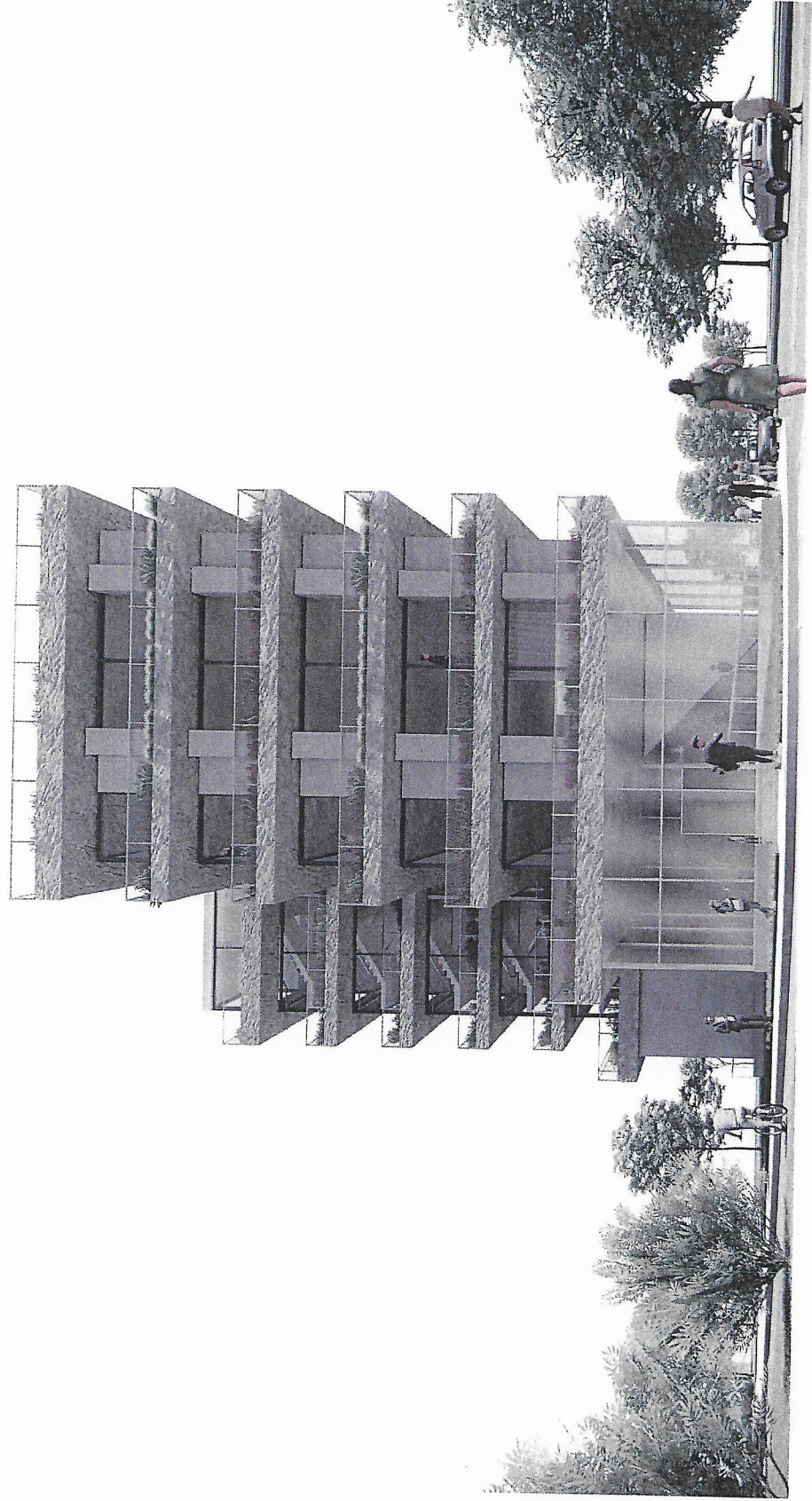
Date

Client

April 2021

Project No.

R103

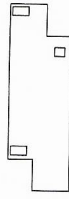


**Marlborough
multi-family building**

No. 28 South Bolton Street
Marlborough, MA
01752

Concept Design

Architect



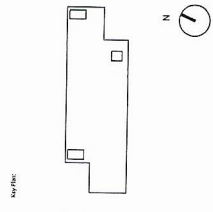
South Facade

NO.	DATE	DESCRIPTION

Drawing Title

Date
April 2021



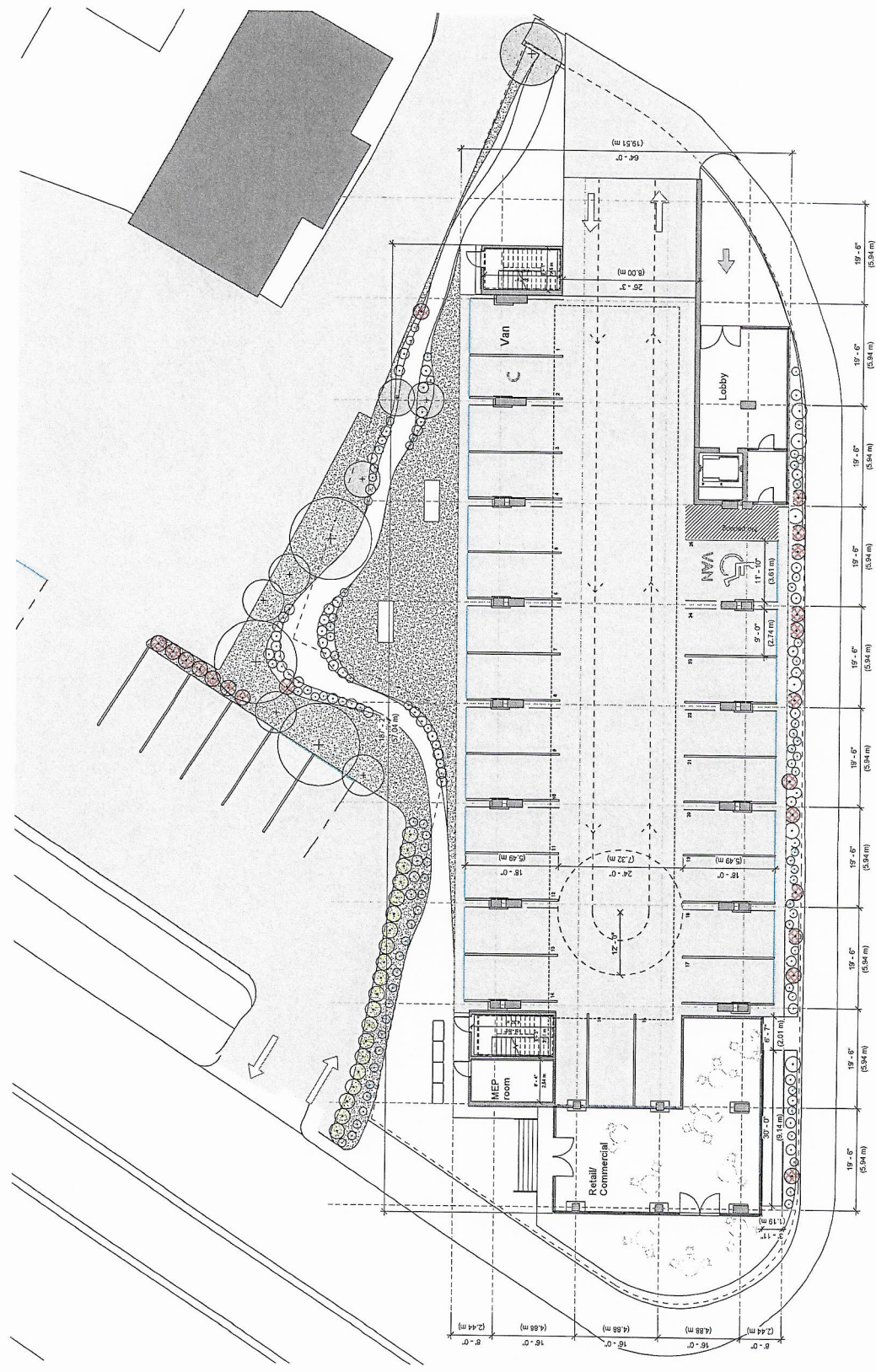


Drawing Name
Floor Plan Level 1

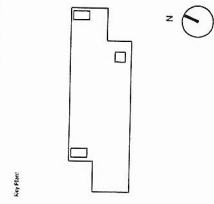
Revision	Description	Date

Drawing Date
1/8" = 1'-0"
Date
April 2021

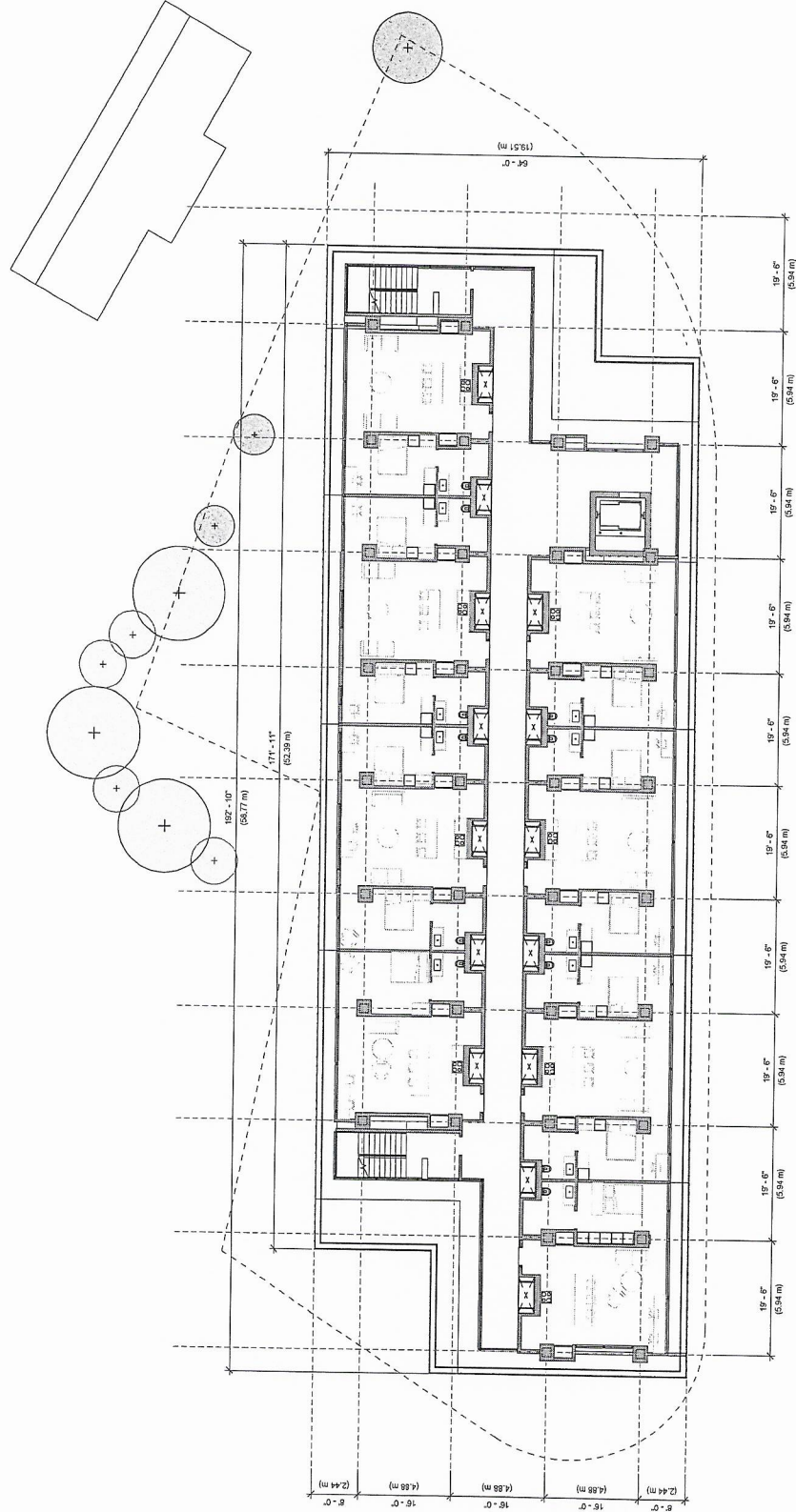
Drawing Number
A002



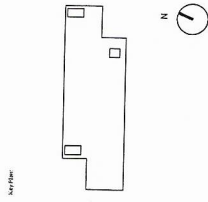
1 1/8" = 1'-0"



Revision	Description	Date



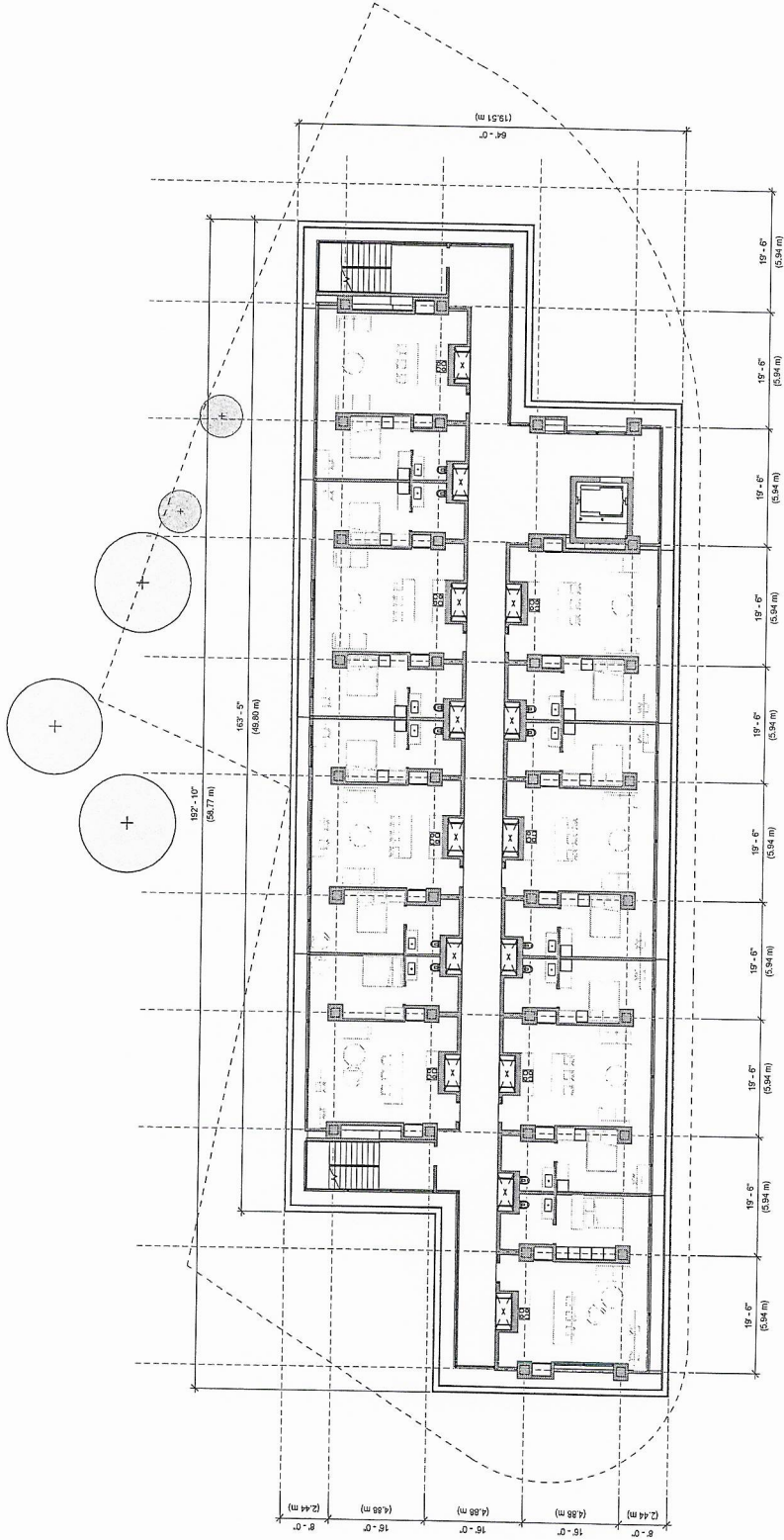
① Level 2
1/8" = 1'-0"



Revision	Date	By

Scale: **1/8" = 1'-0"**

Date: **April 2021**



① Level 3
1/8" = 1'-0"



ENSAMBLE STUDIO
OF AMERICA LLC

RESEARCH PRACTICE AND INNOVATION
IN ARCHITECTURE AND ENGINEERING
311 South 5th Street, Suite 200
Austin, TX 78701

Marlborough
multi-family building

No. 28 South Bolton Street
Marlborough, MA
01752

Concept Design

Not to Scale



N

Primary System

Elevation

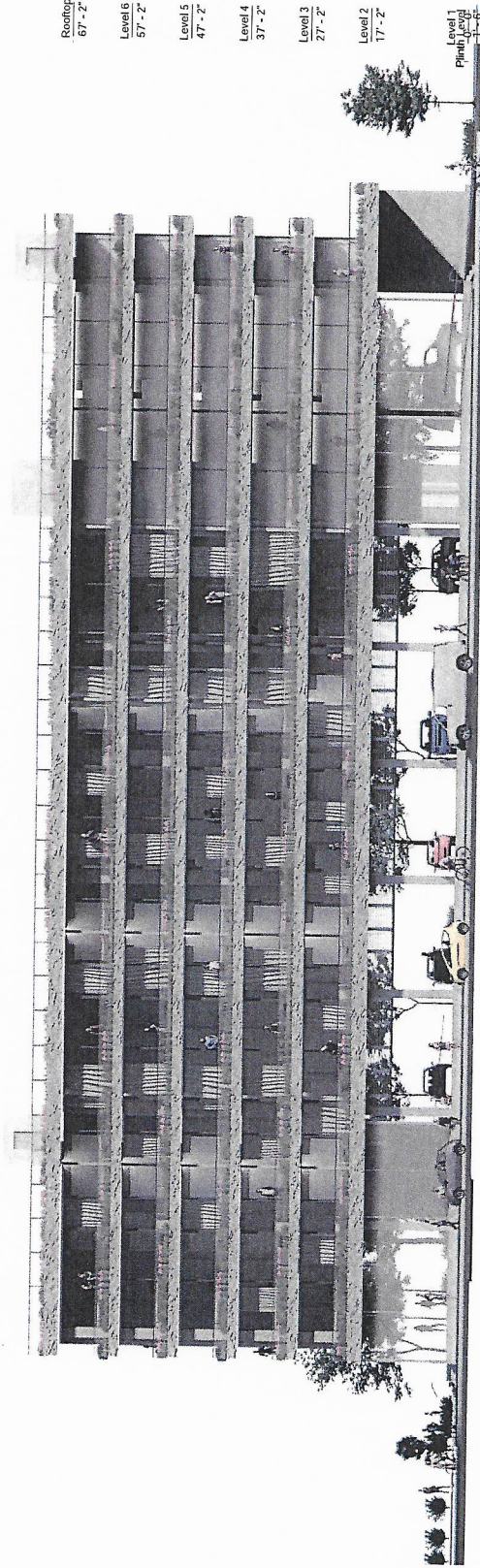
Project No. _____
Site No. _____
Drawing No. _____
Date _____

Drawing Code

Date: **April 2021**

Primary System

A201



Rooftop
67' - 2"

Level 6
57' - 2"

Level 5
47' - 2"

Level 4
37' - 2"

Level 3
27' - 2"

Level 2
17' - 2"

Level 1
Plinth Level
0' - 0"

① Elevation
1/8" = 1'-0"

Make your home in the world

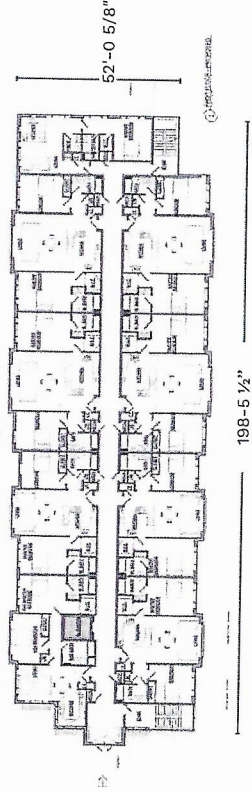
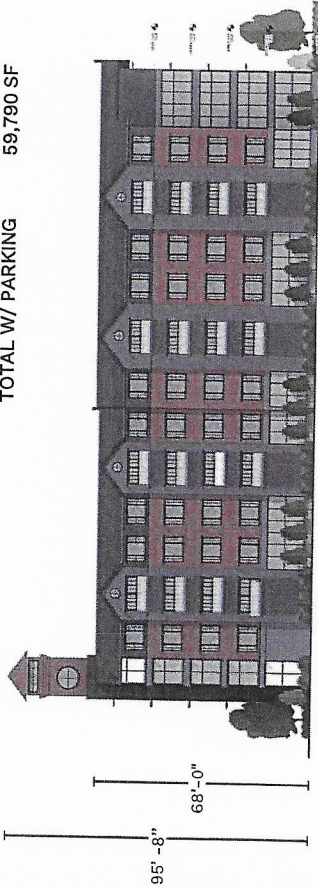
woho

Previously Approved Project

TOTAL IMPERVIOUS AREA 12,531 SF
 PROPOSED LOT COVERAGE 74.7%
 BUILDING HEIGHT 5 STORIES
 68'

PARKING 9398 SF - 30 spaces
 1ST RETAIL 1950 SF
 1ST CORES 610 SF
 2ND - 6TH 11,958 SF - 36 units

TOTAL W/O PARKING 50,392 SF
 TOTAL W/ PARKING 59,790 SF



LOT AREA: 16,787 +- SF

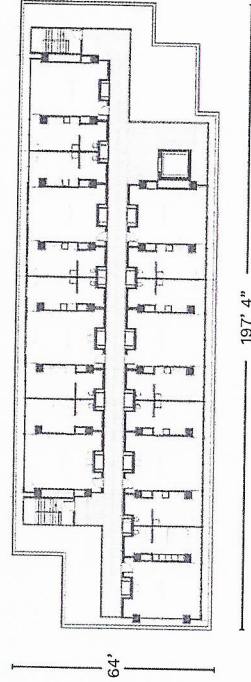
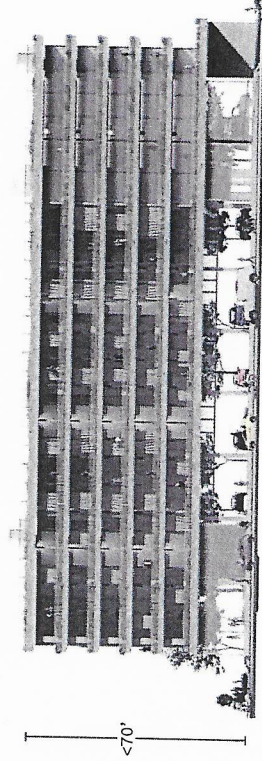
ALLOWED LOT COVERAGE: 80%

Woho Project

TOTAL IMPERVIOUS AREA 11,943 SF
 PROPOSED LOT COVERAGE 71 %
 BUILDING HEIGHT 6 STORIES
 68'

PARKING 7970 SF - 25 spaces
 1ST COMMERCIAL 1389 SF
 1ST CORES, MEP & LOBBY 1126 SF
 2ND - 6TH 10,498 SF - 40 units

TOTAL W/O PARKING 55,005 SF
 TOTAL W/ PARKING 62,975 SF



ALLOWED BUILDING HEIGHT: < 6 STORIES
 < 70'



PRIOR HISTORY

28 SOUTH BOLTON STREET



IN CITY COUNCIL

 COPY

NOVEMBER 5, 2018

Marlborough, Mass., _____ PAGE 1

ORDERED:

CITY COUNCIL MARLBOROUGH, MA

Site Plan Permit # _____
Site Plan Approval with Conditions

Applicant: M & E Ventures Corporation, 4 Watkins Lane, Southborough, MA

Property Owner: M & E Ventures Corporation, 4 Watkins Lane, Southborough, MA

Location: 28 South Bolton Street (the "Site") being shown as Parcels 212A, 213, 222, 224, and 528 on Assessors Map 70.

Zoning District: Marlborough Village District (MV)

Plans: The following Site Plan Approval Final Conditions are based on a set of plans entitled "Proposed Site Plan of 28 South Bolton Street in Marlborough, MA" by Connorstone Engineering, Inc., said plans being comprised of Sheets 1 through 7 with the last revision date of 9-18-2018 (said set of plans hereinafter, collectively, the "Site Plans"); a landscaping plan entitled "Proposed Landscaping Plan" by Timothy Burke Architecture, dated 9-5-2018 (hereinafter, "Landscape Plan"); and a set of eight (8) architectural drawings entitled "28 South Bolton Street" by Timothy Burke Architecture, dated 3-21-18 (hereinafter, "Architectural Drawings"), all of which plans are attached hereto as Exhibit "A."

SITE PLAN APPROVAL FINAL CONDITIONS:

A. Site Conformance:

1. Construction on the Site shall be in conformance with the above approved Site Plans, Landscape Plan, Architectural Drawings, the provisions of Chapter 270 of the Code of the City of Marlborough, and the conditions stated herein.
2. All construction on the Site shall conform to the appropriate National, State and City of Marlborough codes and regulations in force for each respective discipline and be in accordance with the approved plans and permits. Codes and regulations shall include but are not limited to State Building, Plumbing, Wiring, NFPA, Zoning, DPW utility and roads, Noise and Signs.
3. No cellular communication equipment, including but not limited to a tower, may be installed at the Site without the approval of the City Council, except for equipment serving the residents and businesses of the Site.



IN CITY COUNCIL

Marlborough, Mass.,

NOVEMBER 5, 2018

PAGE 2

ORDERED:

B. Prior to Issuance of a Building Permit:

1. Construction Staging and Safety Plan:
 - a. The Applicant shall complete the project in accordance with a Construction Staging and Safety Plan (the "Construction Plan") to be approved by the Building Commissioner, Fire Chief, Police Chief, and City Engineer. Said Construction Plan shall address the building demolition phase of the project, which may take place in advance of the construction phase and under a separate demolition permit.
 - b. The Construction Plan shall provide detailed information concerning:
 - (i.) areas of the Site and adjacent property that will be marked off for the staging of construction vehicles, etc.;
 - (ii.) traffic management, detour routes if necessary, construction signage, pedestrian protection, blocked sidewalks, streets, etc.;
 - (iii.) construction fencing to enclose material and equipment;
 - (iv.) fencing and/or barricades to provide limits within the construction site for the separation of construction, pedestrian and vehicular traffic; and
 - (v.) dedicated illuminated and covered pedestrian walkways adjacent to the structure at egress paths in accordance with 780 CMR Massachusetts State Building Code and related Mass. Amendments, including but not limited to Chapters 31, 32, 33, and 34, in effect at the time the building permit application is submitted.
2. Green Building: The building plans shall show compliance with § 650-34D.(2).(m), concerning sustainable building design, of the Zoning Code of the City of Marlborough. Prior to the issuance of Building Permits, the Building Commissioner shall review the building plans to ensure that the design incorporates green building techniques.
3. Rooftop Mechanicals: On the building plans, the elevation drawings shall show areas reserved for rooftop mechanicals and the elevator penthouse. Detail drawings illustrating the type, location, and dimensions of fencing/screening must be provided. The Building Commissioner shall confirm that the building drawings conform to the requirements of § 650-34D.(2).(b) of the Zoning Code of the City of Marlborough regarding screening of rooftop mechanical equipment.
4. Footings: If the footings for the proposed building will be located within the City of Marlborough public way layout, an easement from City Council must be obtained prior to the issuance of any building permits.



IN CITY COUNCIL

Marlborough, Mass., _____

NOVEMBER 5, 2018

PAGE 3

ORDERED:

5. Land Acquisition: Prior to the issuance of a building permit for the construction of the building, the Applicant shall acquire title to the portions of the Site currently owned by the Commonwealth of Massachusetts, and rights from the Marlborough Community Development Authority, necessary to complete the improvements shown on the Site Plans.

C. Construction:

1. Preconstruction Meeting: Prior to the commencement of construction, a preconstruction meeting shall be held on-site with the Building Commissioner, City Engineer, Conservation Officer, Fire Chief, Police Chief, and the site contractor responsible for doing the work. At this meeting said City officials will review the plans and conditions, exchange contact information including emergency contact numbers, and inspect erosion controls. A similar meeting shall be held prior to the commencement of demolition, which may take place under a separate demolition permit.
2. Use of Ways During Construction: Consistent with the Construction Plan, all areas for construction staging and offloading of building materials, as well as any excavations, long-term construction scaffolding, or other obstructions shall be coordinated to maximize public safety and to minimize interference with the customary use of public ways by vehicles and pedestrians. Permits are required for any street or sidewalk excavations or obstructions. The Police Chief shall have the discretion and authority to require additional protection and/or details as needed. The Applicant shall pay to the City the cost for every police detail which is provided by the Marlborough Police Department for the project.
3. OSHA: All Contractors shall abide by OSHA regulations as appropriate, including but not limited to OSHA-29 CFR, Section 1926, as amended.
4. Safety Official: The Applicant/ site contractor shall have on the Site, at all times during construction, a qualified Construction Safety Official. Prior to the commencement of construction, Applicant shall provide to the Building Commissioner the name and contact information of said Construction Safety Official.
5. Hours of Operation: In accordance with § 431-3B. of the Code of the City of Marlborough, excavation machinery may be operated only during the normal workweek, from Monday through Saturday, except holidays, between the hours of 7:00 a.m. to 7:00 p.m., except Sunday when all use is prohibited except with a variance from the Board of Health or as emergency work.



IN CITY COUNCIL

NOVEMBER 5, 2018
Marlborough, Mass., _____ PAGE 4

ORDERED:

D. Storm Water:

1. Siltation Control: The Applicant, Property Owner, and site contractor shall be responsible for protecting the City drainage system with erosion controls at all times during construction, and for notifying the Conservation Officer and the City Engineer in an expeditious manner if there is any visible siltation to the existing drainage system. Immediate measures shall be taken to control the siltation source and to restore any impacted areas.

E. Landscaping:

1. Modifications: All modifications to the approved Landscape Plan related to changes to the kind, size and placement of plant material shall receive the prior written approval of the Conservation Officer and shall be considered a minor change.
2. Site Visit: Prior to the final signoff, the Landscape Architect shall provide an as-built planting plan and a letter of confirmation that the plan conforms to the approved plans. The Conservation Officer shall confirm by a site visit that the planting has been installed in accordance with the approved Landscape Plans, or a revision, previously approved by the Conservation Officer, of the Landscape Plans.
3. Replacement of Plantings: Following 18 months of the date of the final signoff of the site work, any plant material that has died or is dying shall be replaced by the Property Owner with a species of the same kind and size.
4. Mulch Placement: Installation of mulch at the time of planting and thereafter shall be placed so that the mulch is not in contact with the trunk of newly planted trees and shrubs as shown on the details on the Landscaping Plan.
5. Maintenance: At all times, landscaping will be properly maintained, replaced if necessary, and kept in good condition and in compliance with the Landscape Plans. This shall be an ongoing condition.

F. Driveway Design:

1. Through this decision, the City Council has determined that the alternative configuration of the proposed driveway shown on the Site Plans will adequately protect public safety and meets commonly employed engineering and planning standards, in accordance with § 650-49E. of the Zoning Code of the City of Marlborough.



IN CITY COUNCIL

Marlborough, Mass., _____ NOVEMBER 5, 2018

PAGE 5

ORDERED:

G. Parking Garage:

1. The design of the parking garage access shall be such that entering and exiting from the garage is controlled by the Site's residents and business operators. The building design shall provide for adequate sight distances for vehicles exiting the garage to provide for pedestrian safety. The Applicant shall use appropriate signage at the entrance and exit to ensure pedestrian safety.
2. The parking garage is to be for the sole use of the residents of the Site. The parking garage is not intended for public use.

H. Prior to Issuance of a Certificate of Occupancy:

1. Payment in Lieu of Parking: The project contains 36 residential units, and therefore must either (i.) comply with parking space requirements, or (ii.) make a "payment in lieu of parking" for each space not provided, per § 650-34E. of the Zoning Code of the City of Marlborough. Required parking for the project is as follows:

1 bedroom units:	4 @ .75 spaces per unit =	3 spaces
2 bedroom units:	32 @ 1.25 spaces per unit =	40 spaces
Total Spaces Required		= 43 spaces

The difference between the number of parking spaces provided on the Site Plans (29) and the number of parking spaces required (43), which is 14 spaces, will be addressed in strict accordance with § 650-34E.(2)(b) of the Zoning Code of the City of Marlborough. Per said Code, a payment-in-lieu-of-parking equal to \$140,000 (\$10,000 for each of the 14 spaces required but not provided on the Site) shall be paid to the City of Marlborough prior to the issuance of the first Certificate of Occupancy for the project.

2. Work Within Public Way: All work within the public way layout, including but not limited to planting, repaving, pavement milling and overlay, pavement markings, etc., as shown on the approved plans, shall be completed prior to the issuance of the first Certificate of Occupancy.
3. Cotting Avenue Design: The Applicant shall work with the Police Department and City Engineer to meet with the Traffic Commission to consider changes to the design and direction of Cotting Avenue.



IN CITY COUNCIL

Marlborough, Mass., _____ NOVEMBER 5, 2018

PAGE 6

ORDERED:

4. As-Built Plans: An as-built plan(s) must be submitted to the City Engineer for review prior to the issuance of the first Certificate of Occupancy or Temporary Certificate of Occupancy. The as-built plan(s) shall be prepared in accordance with the As-Built Plan Standards established by the City Engineer, which standards may be found on the website of the City of Marlborough. An as-built landscape plan is also required to be submitted by the landscape architect as noted in section E.2. above.
5. Time for Completion: Work as provided for on the Site Plans shall be carried into effect and completed within three (3) years following the date of issuance of the Building Permit, unless the City Council has granted in writing an extension of time for completion of the work.
6. Signage: Pursuant to § 650-34I. of the Zoning Code of the City of Marlborough, the City Council hereby retains jurisdiction over all signage of the project to the extent such signage requires a sign permit under the Sign Ordinance. The final design, material, dimensions, content, and location of all such signage, including any freestanding entry signs and the project's internal signage, shall be subject to further review and sign permit approval from the City Council and must meet the requirements of § 650-34I. of the Zoning Code of the City of Marlborough.
7. Pedestrian Signal Improvements: Since residents of the proposed units may be parking in the nearby municipal parking garage and other off-site parking areas, there may be an increase in pedestrian crossings at the intersection of South Bolton Street and Granger Boulevard. To help ensure safety for pedestrian crossings, the Applicant shall upgrade the existing pedestrian signal heads at this intersection to ADA/MUTCD-compliant signals with countdown timers and audible push button systems. Submittals for the new signal equipment shall be approved by the City Engineer prior to construction.

I. General Provisions:

1. Minor Changes: The City Council delegates to the Building Commissioner the authority to approve minor changes to the approved Site Plans. The City Council delegates to the Building Commissioner the authority to approve changes to the approved Site Plans consistent with future amendments to the Zoning Code as enacted by the City Council.
2. Enforcement: The City Council designates the Building Commissioner as the enforcing authority to bring enforcement actions for violations of this permit.



IN CITY COUNCIL

Marlborough, Mass., NOVEMBER 5, 2018

PAGE 7

ORDERED:

Be and is herewith **APPROVED**.

ADOPTED
In City Council
Order No. 18-1007317B

Approved by Mayor
Arthur G. Vigeant
Date: November 13, 2018

TRUE COPY

ATTEST:

City Clerk



IN CITY COUNCIL

 **COPY**

Marlborough, Mass., _____ JUNE 19, 2017

ORDERED:

That the Site Plan Application for 28 South Bolton Street, be and is herewith refer to **URBAN AFFAIRS COMMITTEE**.

ADOPTED

ORDER NO. 17-1006964

MIRICK O'CONNELL

A T T O R N E Y S A T L A W

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2017 JUN 15 A 11: 54

14

Arthur P. Bergeron
Mirick O'Connell
1800 West Park Drive, Suite 400
Westborough, MA 01581-3926
abergeron@mirickoconnell.com
t 508.860.1470
f 508.463.1385

June 15, 2017

Councilor Edward Clancy, President
Marlborough City Council
City Hall
Marlborough, MA 01752

UA

Re: Site Plan Application for 28 South Bolton Street

Dear Councilor Clancy:

Enclosed please find a Site Plan Review Application package submitted on behalf of my client, Cameron Realty Trust, for a mixed-use project at 28 South Bolton Street in the Marlborough Village District.

This mixed-use project consists of a 25,191 square foot, 5-story building with 12 residential units and a ground floor office. The project will incorporate the existing building on the property, and will include 9 on-site parking spaces in a basement garage and 3,106 square feet of private open space on a roof-top terrace. Pursuant to Section 650-18(42) and Section 650-34.B(1)(b) of the Zoning Ordinance, the project requires Site Plan Review by the City Council in accordance with Section 270-2 of the City Code.

Pursuant to City Council Order No. 91-3822A, I am notifying you that Mirick O'Connell is representing Cameron Realty Trust in this matter before the City Council.

Very truly yours,



Arthur P. Bergeron

APB/

cc: Marilyn Green
Brian R. Falk, Esq.

MIRICK, O'CONNELL, DEMALLIE & LOUGEE, LLP

WORCESTER | WESTBOROUGH | BOSTON

www.mirickoconnell.com



City of Marlborough

SITE PLAN APPROVAL APPLICATION (For Non-Residential and Major Residential Projects)

Type of Hearing (check one)

Major Renovation Minor Renovation

Please Print

DATE: June 15, 2017

PROJECT

Name of facility: 28 South Bolton Street

Address: 28 South Bolton Street

Assessor's Map No. 70-528; 70-213; 70-212A; Parcel No. 70-223A; 70-224

APPLICANT

Name: Cameron Realty Trust

Address: 28 South Bolton Street

Telephone: (508) 929-1678 (Atty Brian R. Falk) Fax: (508) 983-6256

Email: bfalk@mirickoconnell.com

OWNER'S CONSENT

If applicant is not the owner, is written consent of the owner or owner's agent attached (see Section 270-2(B) (7))? YES NO

PROPERTY OWNER

Name: same

Address: _____

Telephone: _____ Fax: _____

Email: _____

APPLICANT'S ENGINEER (preparing site plan)

Name: Connorstone Engineering, Inc.

Address: 10 Southwest Cutoff, Suite 7, Northborough, MA 01532

Telephone: (508) 393-9727 Fax: (508) 393-5242

Email: mjs@sca121.com

APPLICANT'S LANDSCAPE ARCHITECT

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email: _____

PROJECT INFO

PROPOSED USE (see Section 63-5(B) (1))

Non-Residential

Residential

Provide a brief description of the project; including the proposed type of use, whether expansion of new, size of buildings, number of new parking spaces, any unusual utility use or impact on abutters (traffic, noise, lighting, odors, hazardous material, etc.)

This mixed-use project consists of a 25,190 square foot, 5-story building with 12
2-bedroom residential units and a ground floor office. The project will incorporate the
existing building on the property, and will include 9 on-site parking spaces in a
basement garage and 3,106 square feet of private open space on a roof-top terrace.

Identify all zoning districts, including overlay zones applicable to this site. The zones must also be shown on the site plan cover sheet. (See Section 270-2 (C) (2) (b) (3)).

ZONING DISTRICT(S) Marlborough Village District

WHAT OTHER PERMITS REQUIRED (check off which applies)

- City Council for Special Permit
 - ZBA Special Permit
 - ZBA Variance
 - Wetlands Protection Act
 - Section 404, Clean Water Act (Army Corps)
 - C 91 Waterways Permit
 - Subdivision Control Act (Planning Board)
 - State Curb Cut (MA Highway)
 - Indirect Access Permit (MA Highway)
 - MEPA ENF or EIR (EOEA)
 - Sewer Connection Permit (DPW, City Council, DEP)
 - Street Opening Permit (DPW, Engineering Dept)
 - Sewer Connection (DPW, City Council, DEP)
 - Other: _____
- Blasting Permit (Fire Dept)
 - Title V Approval (Board of Health)
 - Food Permit (Board of Health)
 - Building Permit (Building Dept)
 - Sign Permit (Building Dept)

WHAT IS THE FEDERAL FLOOD INSURANCE RATE ZONE? _____

SUBMITTED PLANS AND REPORTS

See Section 270-2 (C) for submission requirements. Please include a locus map per Section 270-2 (C) (2) (b) (1)

Site Plan of 28 South Bolton Street	June 15, 2017	Vito Colonna
Title	Date	Stamped By

Fee

For Minor Site Plan without a building: \$750

For a Minor Site Plan (with a building under 8,000 square feet): \$1,000, plus \$0.03 a square foot of building gross floor area

For a Major Site Plan (with a building over 8,000 square feet): \$2,000, plus \$0.06 square feet per square feet of building gross floor area

$$\begin{aligned}
 &25,190 \times \$0.06 = \$1,511.40 \\
 &\quad \quad \quad + \$2,000.00 \\
 &\quad \quad \quad \underline{\hspace{1.5cm}} \\
 &\quad \quad \quad \$3,511.40
 \end{aligned}$$

PUBLIC NOTICE

Applicants for Site Plan Approval under Chapter 270-2 of the Marlborough City Code must publish a public notice in a newspaper of general circulation within the area at least once within two weeks of filing a Site Plan application using the format below. A copy of the public notice must be submitted with the application. Applications for Site Plan Approval shall not be certified as complete unless the public notice is properly published.

Date of Publication: June 20, 2017

Name of Newspaper: Metrowest Daily News
(Form of notice attached)

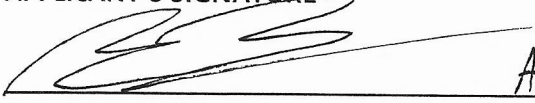
HISTORIC BUILDING NOTICE

Is the site within 250 feet of any building, cemetery or monument built before 1850? YES **NO**

If in doubt, ask the Historic Commission (508 481-2400). If the answer is YES, send a photocopy notice and one copy of the site plans (excluding utilities) to:

Chairman, Historic Commission
City Hall
Marlborough, MA 01752

APPLICANT'S SIGNATURE

 Atty Brian R. Falk June 15, 2017
Applicant or Representatives Signature Date

Applicant shall submit this form to the Building Dept with all required plans (8 copies of plans, 4 copies of Traffic and Drainage reports) after a "Pre-Application Review" with the City reviewing Authority at which most requirements can be examined and discussed.

The applicant maybe required to attend a Preliminary scoping session with the Site Plan Review Committee prior to submitting this form.

Office Use Only:

Date Received: _____

Site Plan Number: _____

SITE PLAN APPROVAL PUBLIC NOTICE FORM

Applicants for Site Plan Approval under Chap 270-2 of the Marlborough City Code must publish a public notice once in a newspaper of local circulation, using the format below at least once within two weeks of filing an application. A copy of the public notice must be submitted to the Building Dept with the application for Site Plan Approval.

Metrowest Daily News, Framingham 01701

Advertising: Fax: 1-781-453-6650

City of Marlborough Public Notice of Site Plan Submission

A proposed site plan has been submitted for the following project and is available for public inspections during regular business hours at the office of the Building Inspector, City Hall, Second Floor, 140 Main Street, Marlborough, MA 01752

Project Name and Type or Use: 28 South Bolton Street

Project Street Address: 28 South Bolton Street

Applicant's Name: Cameron Realty Trust

The City will accept public comments in written form until 14 days from the date of this publication. This notice is published in accordance with the City Code, Chapter 270-2 Site Plan Review and Approval.



FRONT ELEVATION - Design Review

REEVES DESIGN ASSOCIATES

0 5 10 20

DATE 4/20/17

Garage

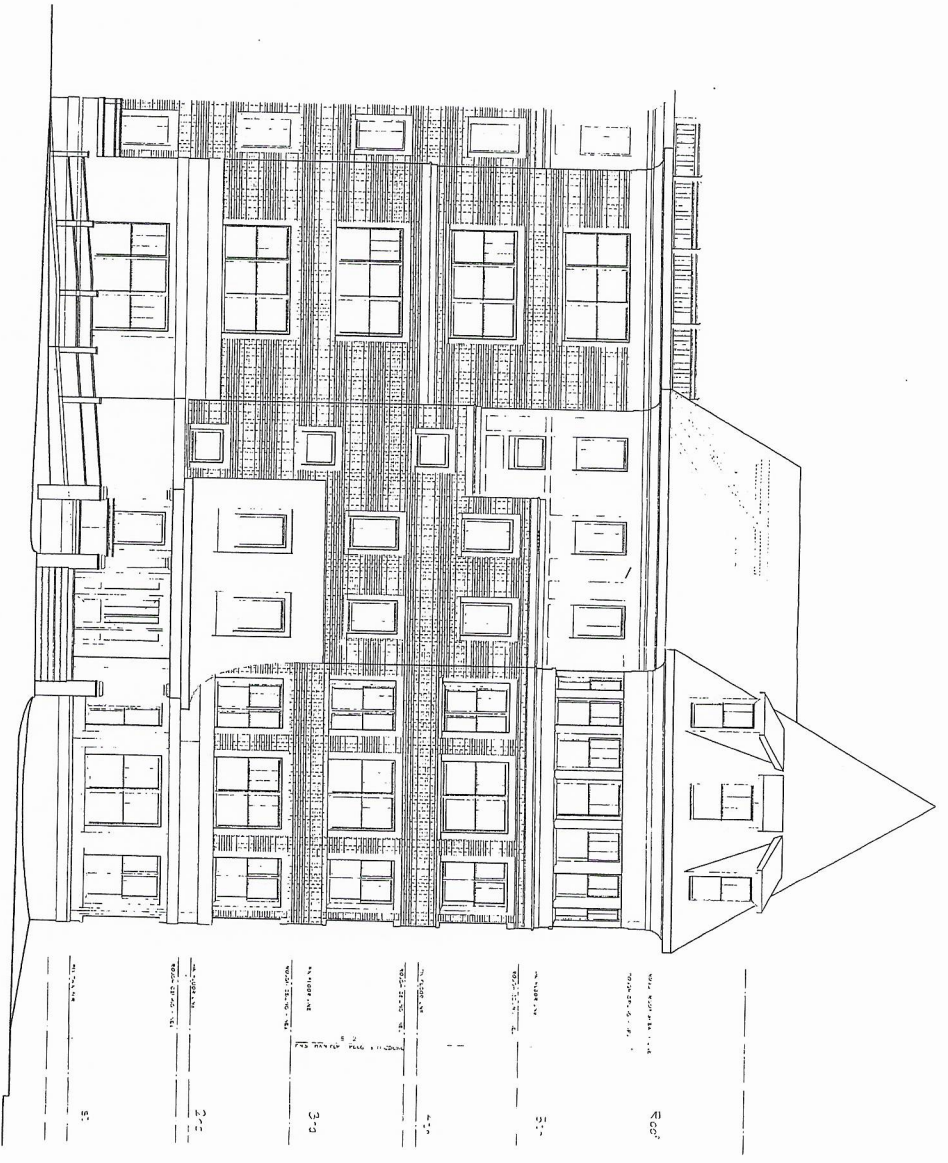
100'

50'

25'

12.5'

6.25'



FRONT ELEVATION - Design Review

REEVES DESIGN ASSOCIATES

0 5 10 20

1/2" = 1'-0"

01/13/14

8-00'

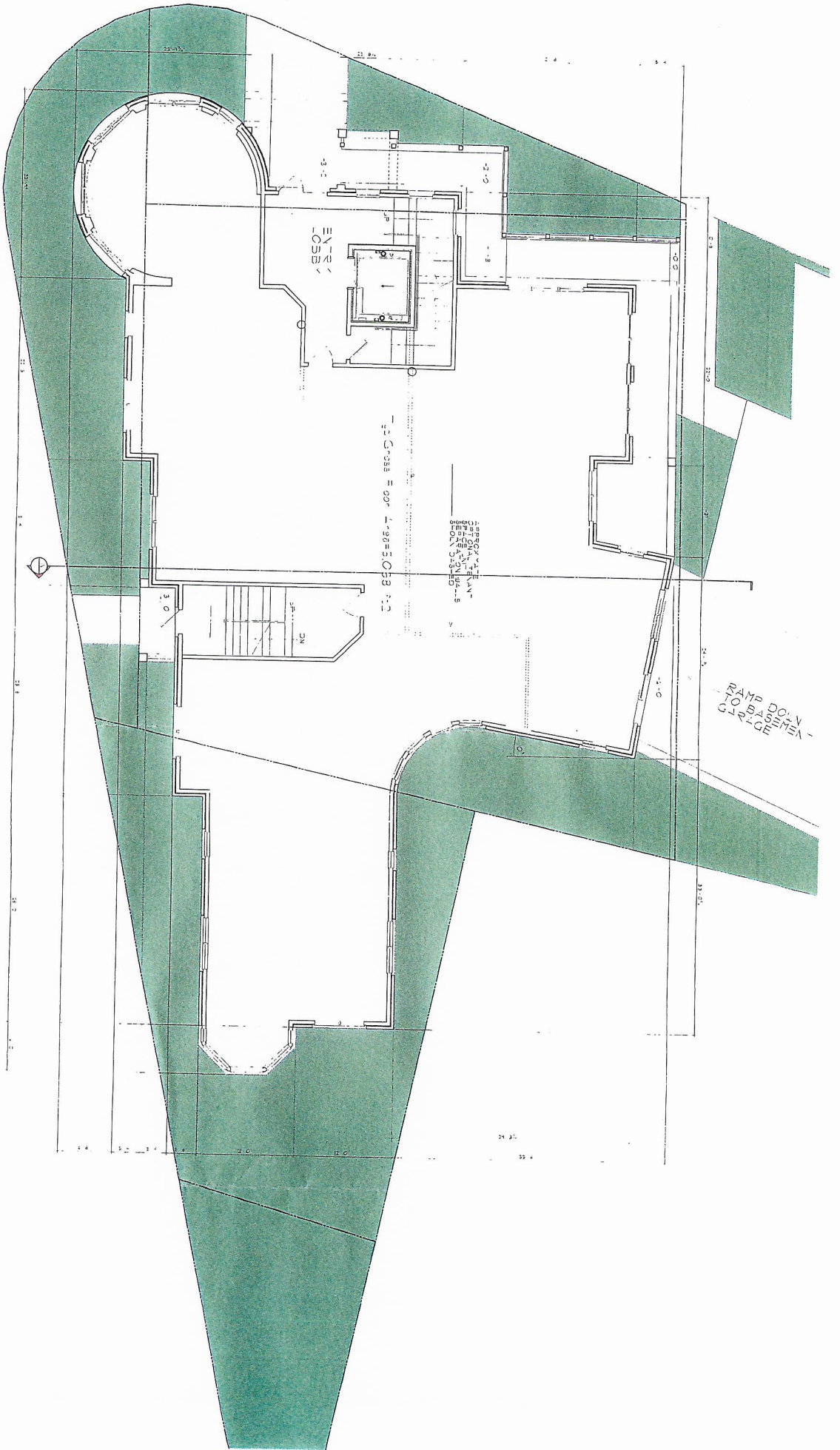
5-11'

4-11'

3-9'

2-7'

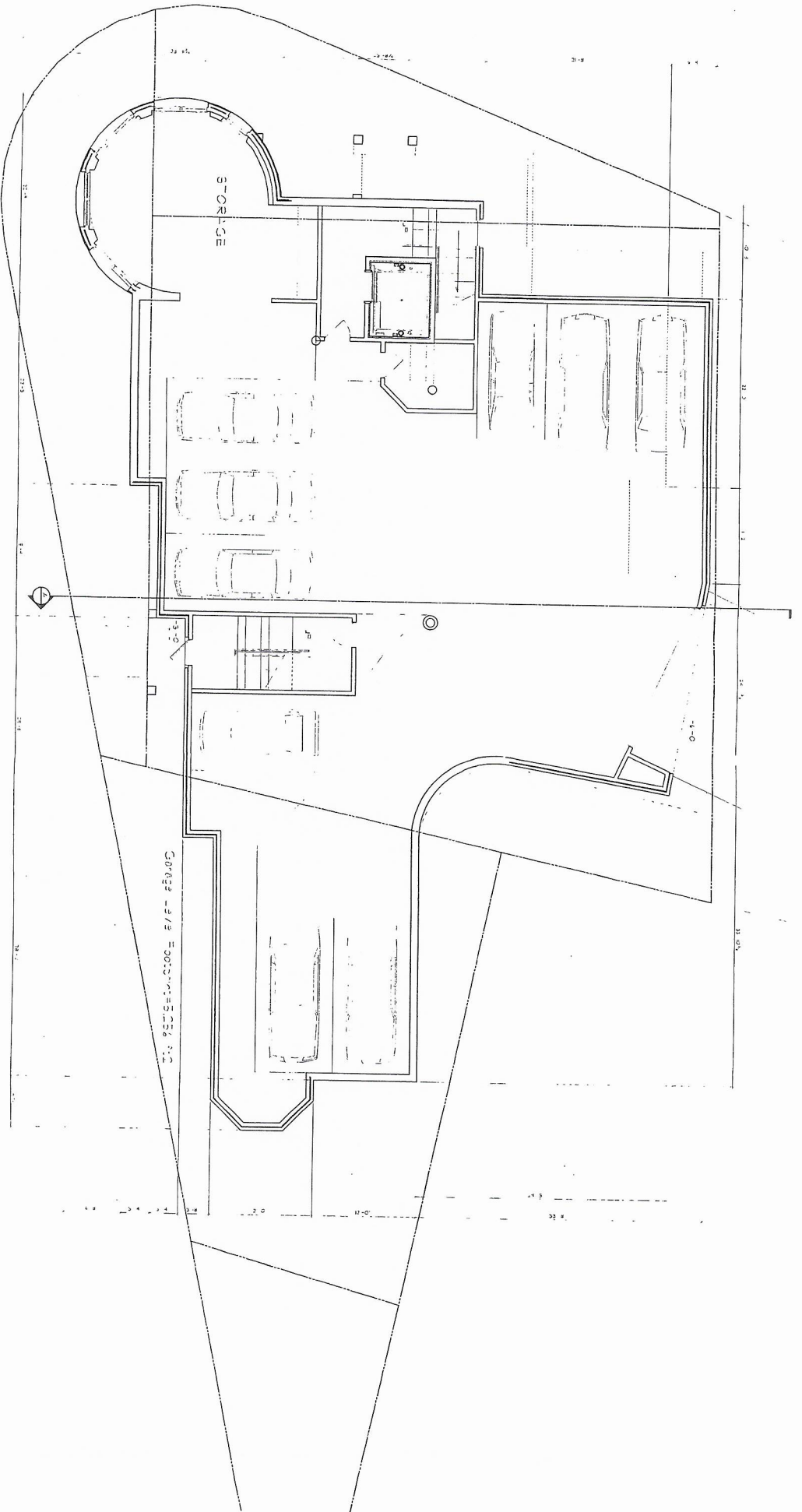
1-11'



PROPOSED FIRST FLOOR PLAN (Commercial/Retail)

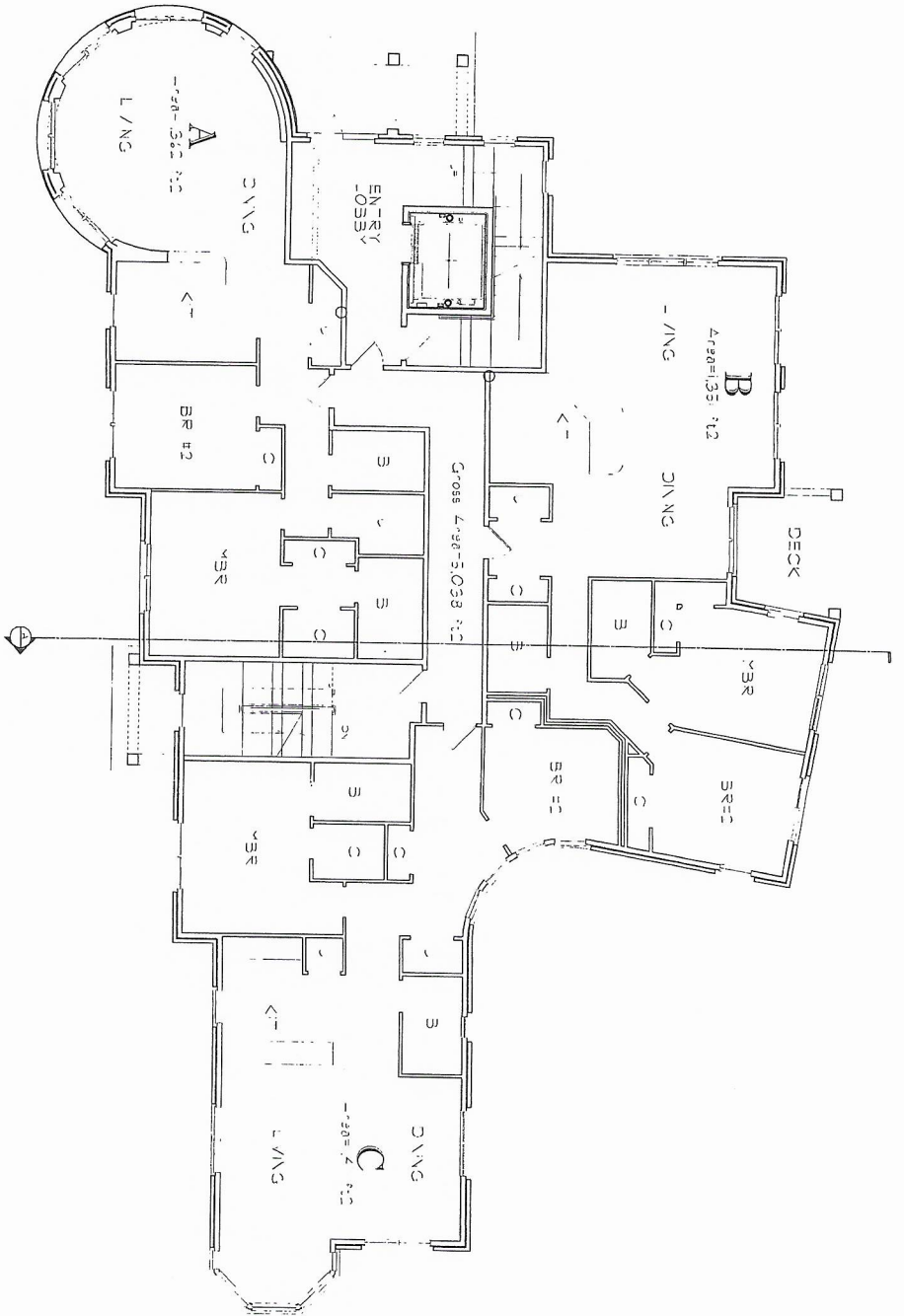
REEVES DESIGN ASSOCIATES

JUNE 4, 2008 0 5 10 20



PROPOSED BASEMENT GARAGE FLOOR PLAN
REEVES DESIGN ASSOCIATES

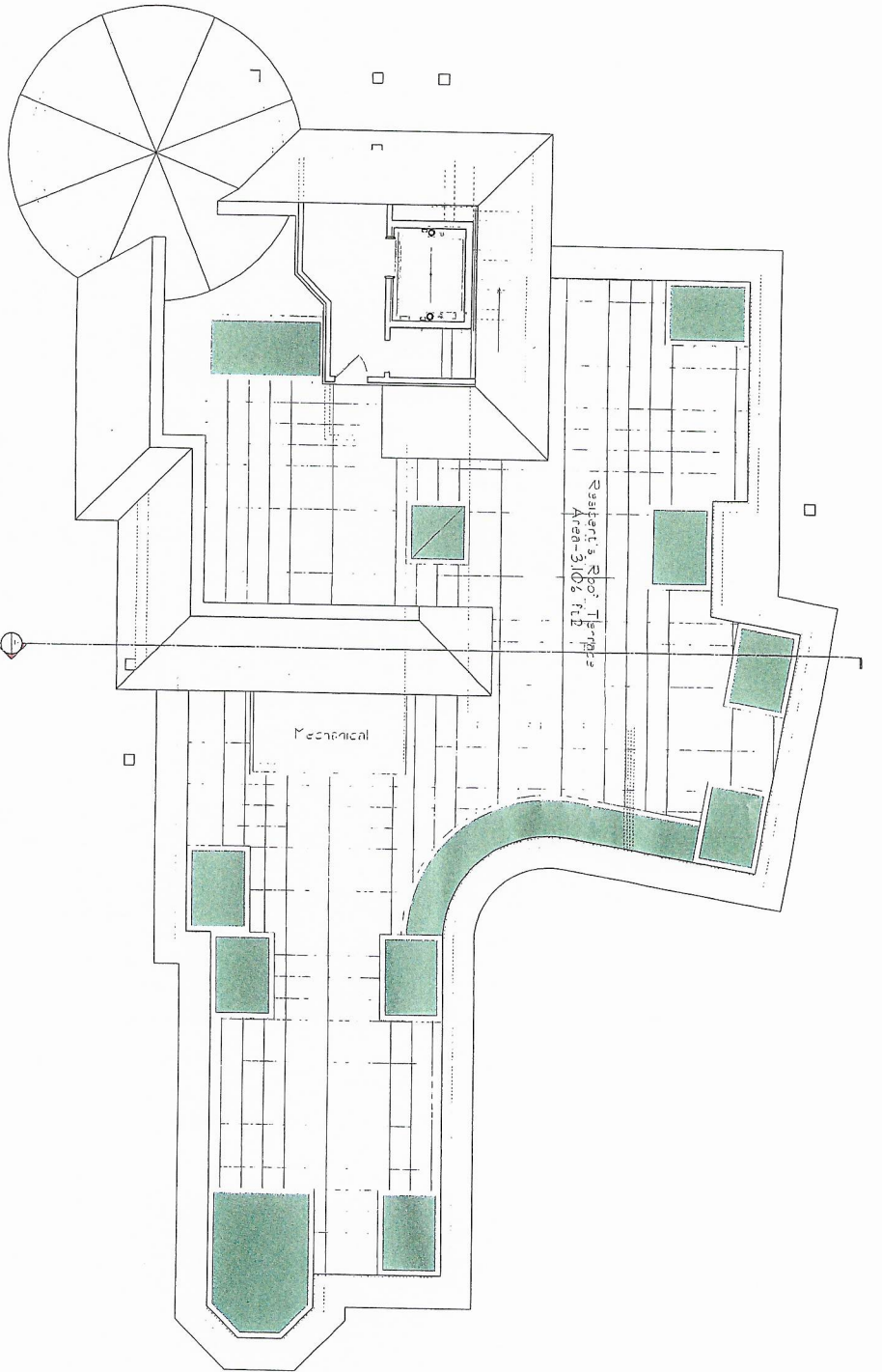
SCALE: 1/8" = 1'-0"
0 5 10 20



PROPOSED SECOND thru FIFTH FLOOR PLANS

REEVES DESIGN ASSOCIATES

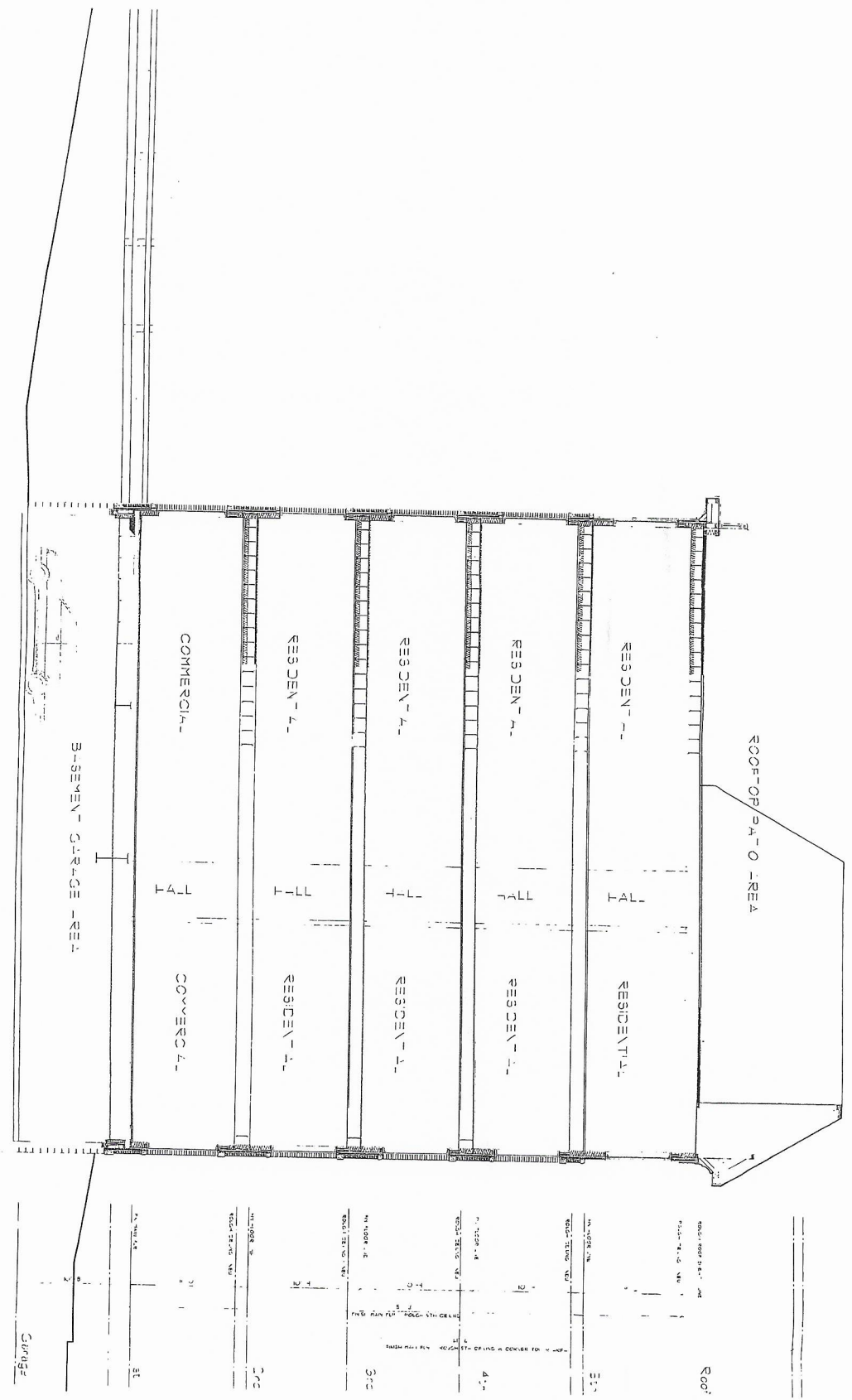
SCALE = 1/8" = 1'-0"
 0 5 10 20



PROPOSED ROOF PLAN
 REEVER DESIGN ASSOCIATES

0 5 10 20

1/4" = 1'-0"



BUILDING SECTION "A" - Through Ramp - Design Review

REEVES DESIGN ASSOCIATES

1.5.20

City Council

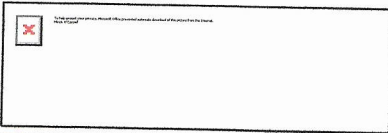
WofH

From: Falk, Brian R. <bfalk@MirickOConnell.com>
Sent: Friday, April 23, 2021 10:04 AM
To: Steven Kerrigan
Cc: Wilson Chu; City Council
Subject: 28 S Bolton Street Newspaper Ad
Attachments: MN AD 13956925.docx

Steve,

The newspaper ad for the 28 South Bolton Street Site Plan Application will run in the MW Daily news on April 28. The ad purchase receipt is attached.

Thanks,
Brian



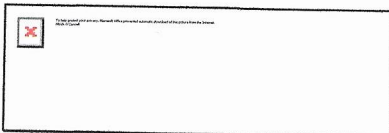
BRIAN R. FALK

Partner
Mirick, O'Connell, DeMallie & Lougee, LLP
100 Front Street | Worcester | MA | 01608-1477
t 508.929.1678 | f 508.983.6256
bfalk@mirickoconnell.com | Bio



Please visit our website: www.mirickoconnell.com

From: Kanter, Lora J. <lkanter@mirickoconnell.com>
Sent: Friday, April 23, 2021 10:01 AM
To: Falk, Brian R. <bfalk@MirickOConnell.com>
Subject: RE: Emailing: 28 S Bolton Street Site Plan Application (A7112722x7A575).PDF



Lora J. Kanter | X 629 | t 508.929.1629

City Council

From: Falk, Brian R. <bfalk@MirickOConnell.com>
Sent: Friday, April 23, 2021 9:28 AM
To: Priscilla Ryder; Steven Kerrigan; City Council
Subject: RE: Site Plan Review Application: 28 South Bolton

Greetings,

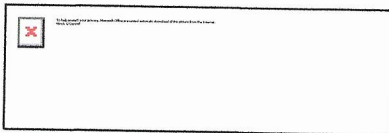
In making arrangements to provide hard copies of the application materials, I wanted to run through a suggested list regarding sizes and quantities. Expecting that the plans may change as part of our meetings with the Site Plan Committee, I suggest that we not send complete copies to the Council until the Site Plan Committee sends its recommendation to the Council. Thus, I suggest an initial distribution as follows:

- Conservation Officer: Full-Size Plan Set, 18 x 25 Drawings, Stormwater Report;
- City Engineer: Full-Size Plan Set, 18 x 25 Drawings, Stormwater Report;
- Building Commissioner: Full-Size Plan Set, 18 x 25 Drawings;
- Police Chief: 18 x 25 Plan Set, 18 x 25 Drawings;
- Fire Chief: 18 x 25 Plan Set, 18 x 25 Drawings;
- Health Director: 18 x 25 Plan Set, 18 x 25 Drawings;
- City Clerk: 18 x 25 Plan Set, 18 x 25 Drawings, Stormwater Report;
- City Council: 18 x 25 Plan Set, 18 x 25 Drawings, Stormwater Report.

We would deliver copies of revised plans as requested, including a set for each City Councilor.

If you prefer any changes to the quantities or sizes listed above, please let me know and we will accommodate.

Thanks,
Brian



BRIAN R. FALK

Partner

Mirick, O'Connell, DeMallie & Lougee, LLP

100 Front Street | Worcester | MA | 01608-1477

t 508.929.1678 | f 508.983.6256

bfalk@mirickoconnell.com | Bio



From: Priscilla Ryder <pryder@marlborough-ma.gov>
Sent: Thursday, April 22, 2021 11:38 AM
To: Falk, Brian R. <bfalk@MirickOConnell.com>
Subject: RE: Site Plan Review Application: 28 South Bolton

Hi Brian,
Yes that should be fine.

Thank you!

*Priscilla Ryder
Conservation/ Sustainability Officer
140 Main St., City Hall
Marlborough, MA 01752
508-460-3768*

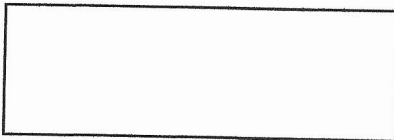
"Whenever there's a large spill of solar energy, it's just called a nice day" northern sun

From: Falk, Brian R. <bfalk@MirickOConnell.com>
Sent: Thursday, April 22, 2021 11:33 AM
To: Priscilla Ryder <pryder@marlborough-ma.gov>; Thomas DiPersio <tdipersio@marlborough-ma.gov>
Subject: RE: Site Plan Review Application: 28 South Bolton

Priscilla,

Regarding the stormwater report, I planned to submit hard copies to the City Engineer, the City Clerk, City Council, and your office. Does that seem sufficient?

Thanks,
Brian



BRIAN R. FALK

Partner

Mirick, O'Connell, DeMallie & Lougee, LLP
100 Front Street | Worcester | MA | 01608-1477
t 508.929.1678 | f 508.983.6256
bfalk@mirickoconnell.com | Bio

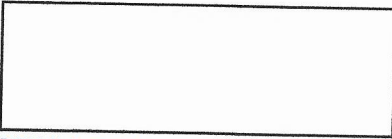


From: Falk, Brian R. <bfalk@MirickOConnell.com>
Sent: Thursday, April 22, 2021 11:16 AM
To: 'Priscilla Ryder' <pryder@marlborough-ma.gov>
Subject: RE: Site Plan Review Application: 28 South Bolton

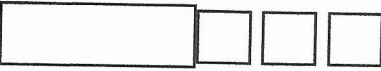
Will do, Priscilla.

Please include us on the May 4 meeting agenda. After accepting the application on Monday night, I expect that the Council will defer to the Site Plan Committee to work with us on the application before taking up the matter in Urban Affairs.

Thanks,
Brian



BRIAN R. FALK
Partner
Mirick, O'Connell, DeMallie & Lougee, LLP
100 Front Street | Worcester | MA | 01608-1477
t 508.929.1678 | f 508.983.6256
bfalk@mirickoconnell.com | Bio



Please visit our website: www.mirickoconnell.com

From: Priscilla Ryder <pryder@marlborough-ma.gov>
Sent: Thursday, April 22, 2021 10:43 AM
To: Falk, Brian R. <bfalk@MirickOConnell.com>
Subject: RE: Site Plan Review Application: 28 South Bolton

Hi Brian,

I received these. Can you provide hard copies for site plan review committee. We always like to start out with paper plans for the initial review.

Shall I add this to the May 4th or May 18 Professional Site Plan Review Committee meeting for discussion? Or do you want to wait for a first go around with City Council? Just asking while I'm thinking about it.

Thank you!

Priscilla Ryder
Conservation/ Sustainability Officer
140 Main St., City Hall
Marlborough, MA 01752
508-460-3768

"Whenever there's a large spill of solar energy, it's just called a nice day" northern sun

From: Falk, Brian R. <bfalk@MirickOConnell.com>
Sent: Thursday, April 22, 2021 9:27 AM
To: Steven Kerrigan <skerrigan@marlborough-ma.gov>
Cc: City Council <citycouncil@marlborough-ma.gov>; Tin Htway <thtway@marlborough-ma.gov>; Priscilla Ryder <pryder@marlborough-ma.gov>; Thomas DiPersio <tdipersio@marlborough-ma.gov>; David Giorgi <dgiorgi@marlborough-ma.gov>; Kevin Breen <kbreen@marlborough-ma.gov>; John Garside <jgarside@marlborough-ma.gov>; Robert Fagone <rfagone@marlborough-ma.gov>; Wilson Chu <wchu@marlborough-ma.gov>
Subject: Site Plan Review Application: 28 South Bolton

Greetings,

On behalf of my client WoHo, I respectfully submit the attached Site Plan Review application for a mixed-use project at 28 South Bolton Street. I will be sending building drawings under separate cover due to the size of the files.

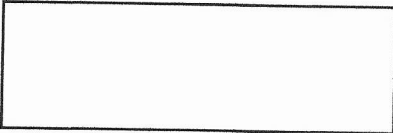
This application is being filed by email to the City Clerk in accordance with Section 17(b) of Chapter 53 of the Acts of 2020. In lieu of hard copies, I am providing copies of the application materials to the various City departments via email. A check for the filing fee was delivered to the City Hall drop box earlier today.

Please confirm receipt of this email.

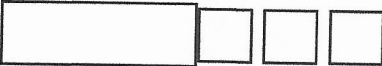
I am happy to provide hard copies of all materials in advance of the meetings of the Site Plan Review Committee and City Council concerning this application.

Thank you for your time and attention to this matter.

Brian



BRIAN R. FALK
Partner
Mirick, O'Connell, DeMallie & Lougee, LLP
100 Front Street | Worcester | MA | 01608-1477
t 508.929.1678 | f 508.983.6256
bfalk@mirickoconnell.com | Bio



Please visit our website: www.mirickoconnell.com

The information contained in this electronic message is legally privileged and confidential under applicable law, and is intended only for the use of the individual or entity named above. This electronic message and any attachments may also contain information that is protected by federal and state law, including the HIPAA Privacy Rule. If you are not the intended recipient, you are hereby notified that any dissemination, copying or

disclosure of this communication is strictly prohibited. If you have received this communication in error, please notify Mirick O'Connell at (508)791-8500 and delete this communication immediately without copying or distributing it.

The information contained in this electronic message is legally privileged and confidential under applicable law, and is intended only for the use of the individual or entity named above. This electronic message and any attachments may also contain information that is protected by federal and state law, including the HIPAA Privacy Rule. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. If you have received this communication in error, please notify Mirick O'Connell at (508)791-8500 and delete this communication immediately without copying or distributing it.

The information contained in this electronic message is legally privileged and confidential under applicable law, and is intended only for the use of the individual or entity named above. This electronic message and any attachments may also contain information that is protected by federal and state law, including the HIPAA Privacy Rule. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. If you have received this communication in error, please notify Mirick O'Connell at (508)791-8500 and delete this communication immediately without copying or distributing it.

28 S. Bolton St. WOHO

Legal Notices

Legal Notices

3 SOUTH BOLTON STREET
LEGAL NOTICE
City of Marlborough
Public Notice of
Site Plan Submission

proposed site plan has been submitted for the following project and is available for public inspections during regular business hours at the office of the Building Inspector, City Hall, second floor, 140 Main Street, Marlborough, MA 01752

Project Name and Type or Use: WoHo, Mixed-Use Project

Project Street Address: 28 South Bolton Street, Marlborough, MA

Applicant's Name: WoHo

The City will accept public comments in written form until 14 days from the date of this publication. This notice is published in accordance with the City Code, Chapter 270-2 Site Plan Review and Approval.

D#13956925
IWDN 4/28/21

OA 5/5/21 HEARING
LEGAL NOTICE
Board of Appeals Hearing
TOWN OF SHERBORN

Notice is hereby given that the ZBA will hold a virtual public hearing on Wednesday, May 5, 2021 at 7:00PM to consider the following petitions/applications under the Sherborn Zoning By-laws and to conduct such other business as may come before the Board:

2021-2: Petition of Sandra Burke for Special Permit under Section 3.2.5 of the Zoning By-laws to operate a yoga studio business at 30 Parks Drive which is in a Residence B district.

2021-3: Petition of Thomas & Linda Kraus for a Variance from Section 4.2 to replace a front porch on a single family house that extends into the front setback of the property at 133 Nason Hill Road which is in a Residence C district.

Information on how to access the virtual meeting is posted on the Town's website main calendar, www.sherborn.ma.org by Tuesday, May 3, 2021.

Sherborn Board of Appeals

D#13955496
IWDN 4/21, 4/28/21

30/5 BASS TERRACE
LEGAL NOTICE
TOWN OF NATICK
CONSERVATION COMMISSION

In accordance with the Wetlands Protection Act, (Mass. General Laws, Chapter 131, Section 40), and Natick's Local Wetlands Bylaw-Article 30, the Natick Conservation Commission will hold a public hearing on a Notice of Intent filed by Engineering Alliance, Inc., representing Fotios Kouritis, for the property located at 5 Bass Terrace Map 21, Parcel 126), Natick, MA. The proposal is to construct an addition and associated amenities in the wetlands buffer zone.

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §18, and the Governor's March 15, 2020 Order imposing strict limitation on the number of people that may gather in one place, this meeting will be conducted via REMOTE PARTICIPATION on Wednesday, May 5, 2021, at 7:00 pm. The public may participate in this meeting. Login/call-in information for the meeting will be provided on the Conservation Commission Agenda posted on the Town's website at least 48 hours prior to the meeting.

To view application materials and find other important information please visit:
<https://www.natickma.gov/1669/Welcome-Announcements>

As per order -
Matthew Gardner, Chair
Natick Conservation Commission

limitation on the number of people that may gather in one place, this meeting will be conducted via REMOTE PARTICIPATION on Wednesday, May 5, 2021, at 7:00 pm. The public may participate in this meeting. Login/call-in information for the meeting will be provided on the Conservation Commission Agenda posted on the Town's website at least 48 hours prior to the meeting.

To view application materials and find other important information please visit:
<https://www.natickma.gov/1669/Welcome-Announcements>

As per order -
Matthew Gardner, Chair
Natick Conservation Commission

AD#13955139
MWDN 4/28/21

CC/7 PRYOR ROAD
LEGAL NOTICE
TOWN OF NATICK
CONSERVATION COMMISSION

In accordance with the Wetlands Protection Act, (Mass. General Laws, Chapter 131, Section 40), and Natick's Local Wetlands Bylaw-Article 30, the Natick Conservation Commission will hold a public hearing on a Request for Determination of Applicability filed by Hemchand K. Sookdeo, for property located at 7 Pryor Road, (Map 13, Lot 180). The proposal is to construct a new screen porch in the rear of the house.

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §18, and the Governor's March 15, 2020 Order imposing strict limitation on the number of people that may gather in one place, this meeting will be conducted via REMOTE PARTICIPATION on Wednesday, May 5, 2021, at 7:00 pm. The public may participate in this meeting. Login/call-in information for the meeting will be provided on the Conservation Commission Agenda posted on the Town's website at least 48 hours prior to the meeting.

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<https://www.natickma.gov/1669/Welcome-Announcements>

As per order -
Matthew Gardner, Chair
Natick Conservation Commission

AD#13955141
MWDN 4/28/21

10 MUNSON ST
LEGAL NOTICE
COMMONWEALTH OF
MASSACHUSETTS



LAND COURT
DEPARTMENT OF THE TRIAL
COURT

Docket Number: 21 SM 000334

ORDER OF NOTICE

TO:

STEVEN P. DUBE

and to all persons entitled to the benefit of the Servicemembers Civil Relief Act, 50 U.S.C. c. 50 §3901 (et seq)

Avidia Bank

claiming to have an interest in a Mortgage covering real property in Hudson, numbered 10 Munson Street, given by STEVEN P. DUBE to Avidia Bank, dated February 20, 2015, and recorded at Middlesex (Southern District) Registry of Deeds in Book 64962, Page 194, has filed with this court a complaint for determination of Defendant's Servicemembers status.

If you are, or recently have been, in the active military service of the United States of America, then you are entitled to the benefits of the Servicemembers Civil Relief Act.

assets and expenses of administration. Interested parties are entitled to petition the Court to institute formal proceedings and to obtain orders terminating or restricting the powers of Personal Representatives appointed under informal procedure. A copy of the Petition and Will, if any, can be obtained from the Petitioner.

AD# 13956590
MWDN 4/28/21

1 BAITING BROOK ROAD, 818 GROVE STREET & 155 MILLWOOD STREET

LEGAL NOTICE
FRAMINGHAM PLANNING BOARD
NOTICE OF PUBLIC HEARING -
1 BAITING BROOK ROAD,
818 GROVE STREET AND
155 MILLWOOD STREET
APPLICATION OF CAPITAL GROUP
PROPERTIES FOR MILLWOOD
RESIDENTIAL LLC

Pursuant to Sections V.I, VI.F. & VI.G. of the Framingham Zoning Ordinances, the Framingham Planning Board will hold a public hearing on Thursday, May 6th, 2021 at 7:00 p.m. in the Abiondi Room, Memorial Building, located at 150 Concord Street, Framingham, Massachusetts. In the event that the Memorial Building is inaccessible due to the current COVID-19 pandemic, the hearing will be held remotely via Zoom dependent on Memorial Building accessibility. The public hearing will be held to consider the application for a Request for a Modification. The applicant is requesting an amendment to the original Planning Board Decision dated June 18, 2018 and subsequent decisions thereafter. The applicant is proposing a new alternative sewer line for the Millwood Preserve project related to the property located at 175 Millwood Street. The property is zoned Single Family Residence (R-4) and listed as Framingham Assessor's Parcel ID: 05571/0727/001, 045772/7467/000 & 05570/5967/000. The application and plan submittal is available for review in the Planning Board Office, Room B14 of the Memorial Building and available online at <https://www.framinghamma.gov/69/Planning-Board> on the Planning Board Webpage. The legal notice can be found in the MetroWest Daily Newspaper and on the Massachusetts Newspaper Publishers Association's (MNPA) website.

Kristina Johnson, Chair
Framingham Planning Board

AD#13955146
MWDN 4/21, 4/28/21

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28 SOUTH BOLTON STREET
LEGAL NOTICE
City of Marlborough
Public Notice of
Site Plan Submission

A proposed site plan has been submitted for the following project and is available for public inspections during regular business hours at the office of the Building Inspector, City Hall, Second Floor, 140 Main Street, Marlborough, MA 01752

Project Name and Type or Use: WoHo, Mixed-Use Project

Project Street Address: 28 South Bolton Street, Marlborough, MA

Applicant's Name: WoHo

The City will accept public comments in written form until 14 days from the date of this publication. This notice is published in accordance with the City Code, Chapter 270-2 Site Plan Review and Approval.

City of Marlborough
Commonwealth of Massachusetts



Site Plan Review Meeting
Tuesday, May 4, 2021.
9:30 AM

Site Plan Review Staff

Tin Htway –Building Commissioner
Kevin Breen - Fire Chief
David Giorgi - Police Chief
Thomas DiPersio, City Engineer
John Garside, Board of Health Director
Priscilla Ryder, Conservation Officer

Phone: (508) 460-3768

Email: sbrown@marlborough-ma.gov
pryder@marlborough-ma.gov

Virtual meeting on Microsoft Team network (during COVID-19 pandemic)

Join on your computer or mobile app [Click here to join the meeting](#)

Or call in (audio only) **617-433-9462** Phone Conference ID: **609 828 650#**

Agenda

- 9:30 28 S. Bolton St. – Multi Housing project proposal - Formal Review- WoHo- Brian Falk
- 9:45 418 Maple St. – Speedy Auto – Formal Review- Brian Falk

Plans to sign:

587 Bolton St. – Bolton St. Tavern – Gazebo

Plans under review:

149 Hayes Memorial Dr. –New plan layout– Israel Lopez -Gutierrez Co.

Note: The agenda may be subject to last-minute revisions or additions. All who want to participate in the meeting virtually should be able to access through the web link above. Any problems please call Priscilla Ryder at 508-460-3768