

**CITY OF MARLBOROUGH MEETING POSTING**

Meeting Name: Conservation Commission  
Date: September 2, 2021 (Thursday)  
Time: 7:00 PM  
Location: 140 Main St. – Marlborough City Hall, 3<sup>rd</sup> Floor-Memorial Hall  
(All meetings will be in person at city hall as the Covid-19 emergency order has been lifted.)

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH  
2021 AUG 27 P 2: 12

*Items to be discussed:*

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**Approval of Minutes:** July 22<sup>nd</sup>, August 5<sup>th</sup> and August 19<sup>th</sup>, 2021

**Public hearings:**

- 7:00 Notice of Intent (Continued from Aug. 19<sup>th</sup>, 2021)  
2 Minehan Lane – Department of Public Works  
Proposes to remove and replace an outlet structure to a pond and drainage system which is leaking.  
Work is in wetlands.
- 7:10 Abbreviated Notice of Resource Area Delineation (Continued from Aug. 19<sup>th</sup>, 2021)  
689 Pleasant St. - Tim Beauchemin, Trustee  
Request the review and approval of the wetland resource areas.
- 7:20 Notice of Intent (Continued from Aug. 19<sup>th</sup>, 2021)  
600 Nickerson Rd. - Todd Greenfield, KS Partners, LLC  
Proposes a new addition with new loading docks, new sewer connections and modified stormwater system near wetlands. Review draft conditions
- 7:30 Request for Determination of Applicability (Continued from Aug. 19<sup>th</sup>, 2021)  
1000 Nickerson Rd. – Lincoln Property Company  
Proposes to construct a 120,000 sq. ft. building near a small wetland. Review draft conditions.
- 7:40 Notice of Intent (Continued from Aug. 19<sup>th</sup>, 2021)  
641 Pleasant St. – Big Daddy Realty Trust  
To build a single-family dwelling near wetlands.
- 7:45 Notice of Intent (Continued from Aug. 19<sup>th</sup>, 2021)  
0 Phelps St. (next to 107) - David Franca  
Proposes to construct a new house on a vacant lot within the Riverfront Area of Mowery Brook. Map 72, Parcels 11B and 702.

**AND**

**Notice of Intent** (Continued from Aug. 19<sup>th</sup>, 2021)

107 Phelps St. - David Franca

Proposes to construct a driveway across this lot within the Riverfront Area and buffer zone of Mowery Brook. Map 72, Parcel 11A.

**Extension Permit:**

- 212-1203 28 Littlefield Ln. – 3 yr. extension

**Discussion:**

- 209 Cullinane Dr – Preliminary Subdivision Plan-Cullinane Drive Extension – comments to Planning Board
- Memo from Thomas DiPersio, dated Aug. 23, 2021 RE: GMP Expansion and Core & Shell Improvements, 600 Nickerson Rd.

**Updates on Current projects and Violations:**

- 541 Pleasant St.
- 149 Hayes Memorial Dr.
- 78 Roosevelt St. (DEP 212-1217)
- 100 Campus Dr. - warning

**Correspondence/Other Business:**

- 37 Boivin Dr. - Petition from abutters - dated August 9, 2021 RE: Enforcement of Order of Conditions (DEP 212-1036)
- Letter from Coneco, dated August 19, 2021 RE: Notice of Proposed Buried Cable Replacement along Ferrecchia Dr., MacQuarrie Dr. and Masciarelli Dr.

**Next Conservation Commission meetings:** September 16<sup>th</sup> and October 7<sup>th</sup>, 2021

**Adjournment**

## Priscilla Ryder

---

**From:** Christina Burbeck <cburbeck@mindspring.com>  
**Sent:** Sunday, August 22, 2021 2:15 PM  
**To:** Thomas DiPersio; Priscilla Ryder  
**Cc:** Burbeck Christina  
**Subject:** 2 Minehan Lane Project

*conservation*

Dear Tom and Priscilla,

Thank you for the opportunity to participate in the discussion regarding future work on the retention pond on our property. It was helpful and interesting.

It is unfortunate that the previous repair of the control structure was done poorly. Tom, I know this was before your time. Priscilla, I recall you saying that you knew at the time that the structure would fail because of poor design: a round pipe was put in a square hole. Our (engineer) neighbor who watched the process concurred.

The current problem is the result of that prior, poorly-done, work.

In addition, because of the three-year delay in addressing the problem, the pond itself has disappeared, being replaced by cattails. Both problems now need to be addressed.

I understand that the city's policy (if not mandate) is to restore private property that it works on to its original condition. The pond's original condition is that it was a pond. Not having maintained the pond adequately for several years cannot justify leaving it in its deteriorated state.

The pond originally extended past our property line. We request that the pond be returned to its original condition relative to our property. Specifically, that means dredging the pond to sufficient depth that cattails will not grow in the portion of the pond that is on our land.

I was extremely surprised to hear that there was a possibility that the old structure might not be removed. That's like leaving your old car in the front yard when you buy a new one. The result resembles a junk yard. I assume that that idea is now off the table.

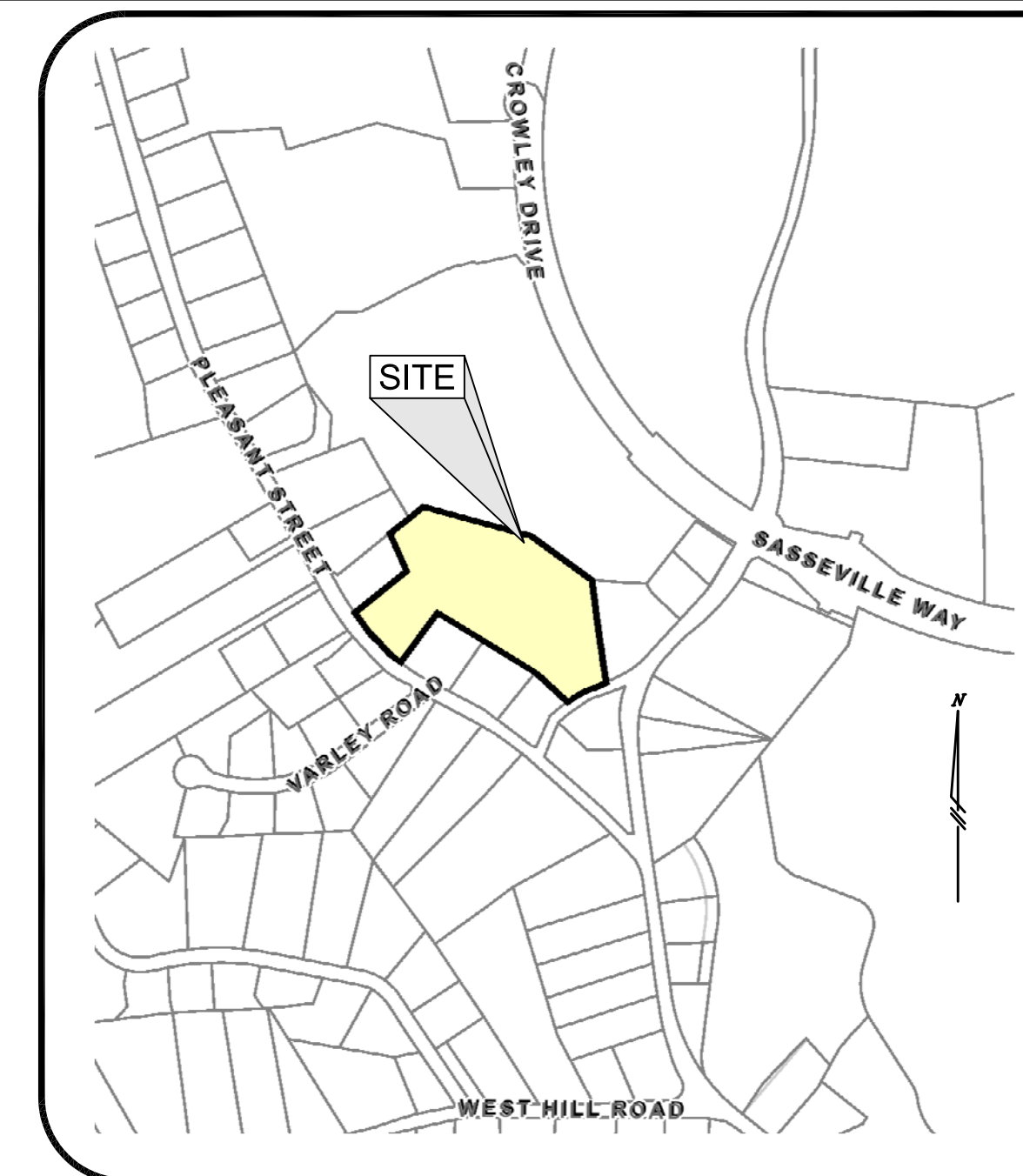
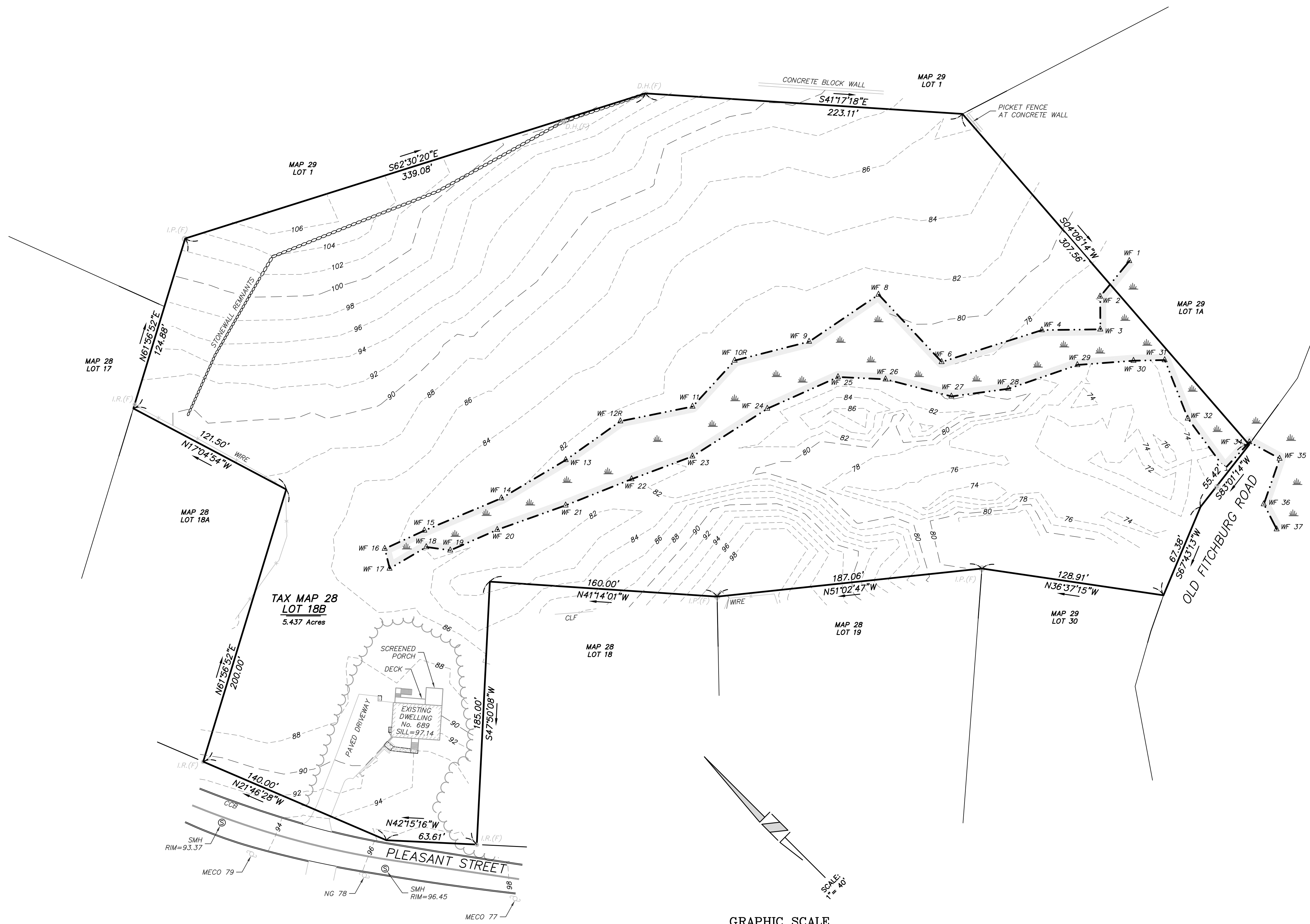
Thank you for considering this matter in its full breadth — and depth.

Priscilla, if it is appropriate, would you please forward this to the rest of the Conservation Commission. Also, if our item can again be first on the Commission's agenda, we would be able to attend the Sept. 2nd meeting. Thank you.

Kind regards,

Christina Burbeck  
Homeowner: 2 Minehan Lane

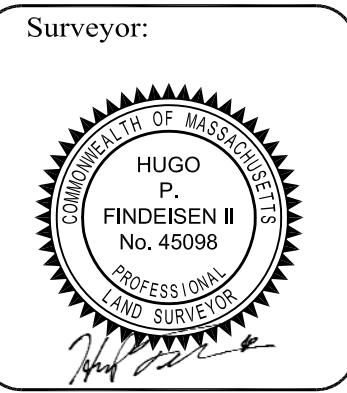
*J 6 xx*



**LOCUS MAP**  
SCALE: 1" = 500'

**689 PLEASANT STREET**

Surveyor:  
**FINDEISEN SURVEY & DESIGN, LLC**  
87 Indian Rock Road, Windham, New Hampshire  
P.O. Box 612, Sandown, NH 03873  
Tel. (603) 898-8616 / Fax (603) 898-8487



Applicant:  
**JOYCE BEAUCHEMIN REALTY TRUST**  
Tim Beauchemin, Trustee  
222 Wallace Hill Road  
Townsend, MA 01469

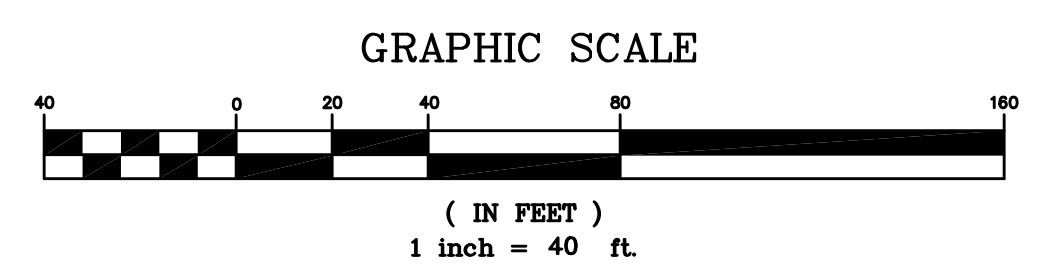
Owner(s):  
**JOYCE BEAUCHEMIN REALTY TRUST**  
Tim Beauchemin, Trustee  
222 Wallace Hill Road  
Townsend, MA 01469

NO.	DATE	BY	DESCRIPTION
9			
8			
7			
6			
5			
4			
3			
2			
1	08/23/21	DK	ELIMINATE FLAGS 5, 7, 10, 12; ADD FLAGS 10R & 12R NOT RELEASED FOR CONSTRUCTION

Assessor's Map & Lot:  
Map: 28 / Lot: 18B  
Project No.: 41203  
Drawing Scale: 1" = 40'  
Plan Date: 05/26/2021  
Revised Date: 08/23/2021

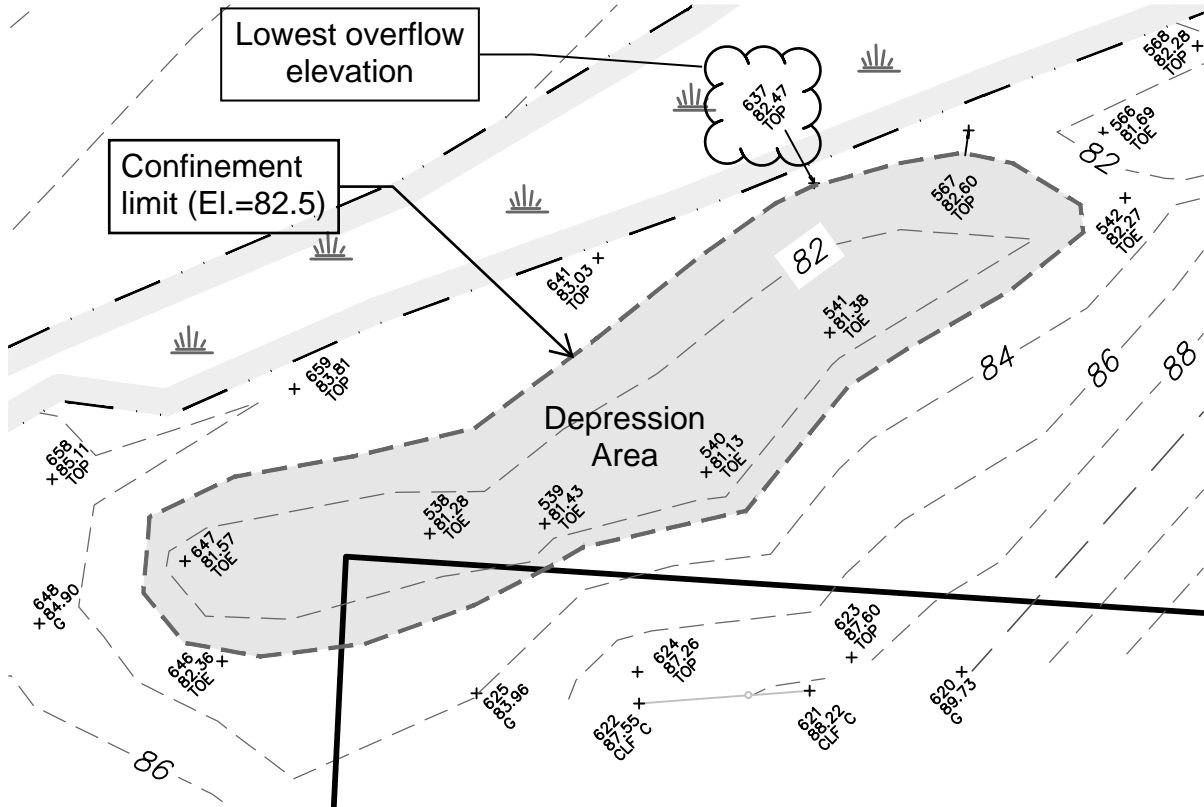
Sheet Title:  
**ANRAD PLAN**

Sheet No.: **1**  
Total No. of Sheets: 1



# ISLF DETERMINATION

689 PLEASANT STREET  
MARLBOROUGH, MA



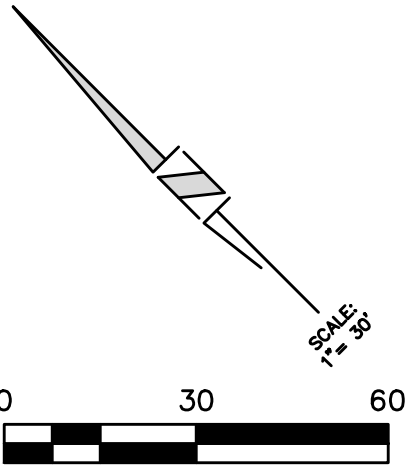
**CALCULATIONS:**

DEPRESSION AREA = 4,310 S.F.  
 1/4 AC-FT = 10,891 S.F.  
 AVG. DEPTH NEEDED TO CONFINE 1/4 AC-FT = 2.5 FT.

LOWEST BOTTOM ELEVATION IN DEPRESSION AREA = 81.13  
 TOP ELEVATION NEEDED TO CONFINE 1/4 AC-FT = 83.6

DEPRESSION AREA OVERFLOW ELEVATION = 82.5  
 SINCE 82.5 < 83.6, DEPRESSION VOLUME IS LESS THAN 1/4 AC-FT

THEREFORE, THIS AREA DOES NOT MEET THE REQUIREMENTS FOR AN ISOLATED LAND SUBJECT TO FLOODING



*Daniel Koravos*

SCALE: 1" = 30'

DATE: August 25, 2021

Job No: 42103

PREPARED BY:

**DANIEL KORAVOS, P.E.**

Office: 87 Indian Rock Road, Windham, NH  
 Mailing: 59 Granite Lane, Chester, NH  
 (603) 505-5226 / dan.koravos@gmail.com

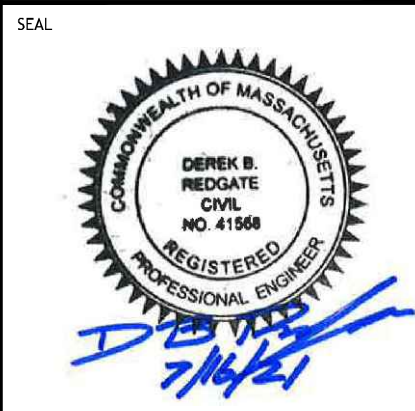
# 600 NICKERSON ROAD - GMP EXPANSION AND CORE & SHELL IMPROVEMENTS MARLBOROUGH, MASSACHUSETTS

**SITE PLAN REVIEW**  
**DATE JULY 16, 2021**



CLIENT:  
KS PARTNERS, LLC  
130 New Boston Street, Suite 303  
Woburn, MA 01801

CONSULTANT:



**600 NICKERSON ROAD - GMP EXPANSION  
CORE & SHELL IMPROVEMENTS**  
 600 NICKERSON ROAD  
 MARLBOROUGH, MA  
 OWNER/APPLICANT: KS PARTNERS, LLC

ISSUE TYPE:  
DESIGN DEVELOPMENT  
ISSUE DATE:  
07-16-2021  
PROJECT NUMBER:  
21012  
DRAWN BY: NK  
CHECKED BY: DR  
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SHEET TITLE:  
**T100**

SHEET NUMBER:  
**T100**

ISSUED FOR: SITE PLAN REVIEW

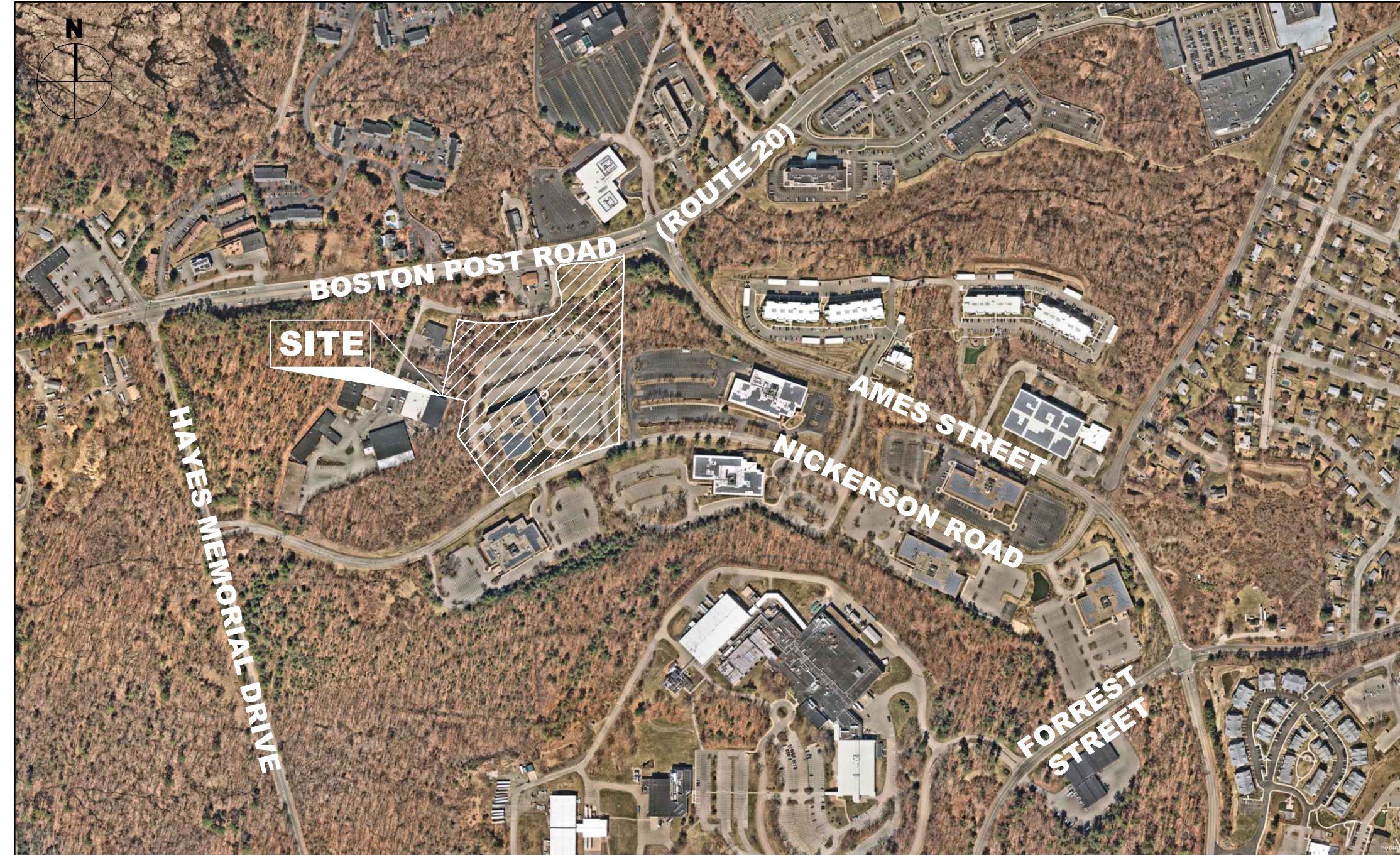
## PROJECT TEAM

**LAND SURVEYOR:** CAMP LAND SURVEYORS, PLLC DBA  
BAKKEN SURVEY CONSULTANTS  
12367 EAST FORK STREET  
EPPING, ND 58841  
CHARLIE CAMP, PLS

**OWNER/APPLICANT:** KS PARTNERS  
130 NEW BOSTON STREET SUITE 303  
WOBURN, MA 01801  
ATTN: TODD GREENFIELD

**ARCHITECT:** VIVO ARCHITECTURE  
123 NORTH WASHINGTON STREET  
BOSTON, MA 02114  
ATTN: KEVIN TRIPLETT

**CIVIL ENGINEER:** HIGHPOINT ENGINEERING, INC.  
45 DAN ROAD, SUITE 140  
CANTON, MA 02021  
DREDGATE@HIGHPOINTENG.COM  
781-713-3401



**LOCUS MAP**  
SCALE: N.T.S



**600 NICKERSON ROAD**  
MARLBOROUGH, MA

**Life Science - cGMP Building**

KS Partners

## INDEX OF DRAWINGS

		07-16-2021 SITE PLAN REVIEW	08-19-2021 REVISED PER CON COM COMMENTS			
<b>CIVIL</b>						
T100	TITLE SHEET	•	•			
S 1 OF 2	EXISTING CONDITIONS PLAN (CAMP LAND SURVEYORS)	•	•			
S 2 OF 2	EXISTING CONDITIONS PLAN (CAMP LAND SURVEYORS)	•	•			
C200	LEGEND & NOTES PLAN	•	•			
C300	SOIL EROSION & SEDIMENTATION CONTROL/SITE PREPARATION PLAN	•	•			
C400	LAYOUT & MATERIALS PLAN	•	•			
C500	GRADING & DRAINAGE/UTILITY PLAN	•	•			
C600	DETAIL SHEET	•	•			
C601	DETAIL SHEET	•	•			
C602	DETAIL SHEET	•	•			
<b>ARCHITECT</b>						
A-5.0	EXTERIOR BUILDING ELEVATIONS (VIVO ARCHITECTURE)	•	•			

### ZONING SUMMARY - 600 NICKERSON RD, MARLBOROUGH MA

ZONING DISTRICT:	LIMITED INDUSTRIAL (LI)	
OVERLAY DISTRICT	WATER SUPPLY PROTECTION	
ASSESSORS INFORMATION	PARCEL I.D. 88-32	
	REQUIRED	PROVIDED
CRITERIA		
LOT AREA (MIN)	2 ACRES	11.23 ACRES
LOT FRONTAGE (MIN)	200 FT	593.20 FT
LOT COVERAGE	53% <sup>(a)</sup>	45%
BUILDING HEIGHT (MAX)	VARIABLES	29.4± FT
SETBACKS (MIN)		
FRONT	50 FT	98.6 FT
SIDE	50 FT	68.6 FT
REAR	N/A	N/A
PARKING LOT SETBACKS (MIN)		
FRONT	25 FT	43 FT
SIDE	7 FT	26 FT
REAR	7 FT	65 FT
DISTANCE FROM RESIDENTIAL ZONE		1,100 FT
STREET FRONTAGE PLANTING AREA (MIN. WIDTH)	25 FT	43 FT

(a) REQUIRED TOTAL LOT COVERAGE PER WATER SUPPLY PROTECTION DISTRICT OVERLAY

### PARKING SUMMARY

CRITERIA	REQUIRED	PROVIDED
PARKING SPACES		
OFFICE - 66,780 GFA		
1/250 GFA	268	
INDUSTRIAL/MANUFACTURING - 69,168 GFA		
1 PER 3 WORKERS AT PEAK	32	
TOTAL SPACES	300	326
HANDICAP SPACES	8	8
STANDARD SPACES		
WIDTH	9 FT	9 FT
DEPTH	18 FT	18 FT
COMPACT SPACES		
WIDTH	8 FT	N/A
DEPTH	16 FT	N/A

Field located topography at 1 foot contour interval,,  
 NAVAD 88 datum,  
 3 hour GPS static observation  
 NGS opus solution

SCALE : 1" = 30'  
 0' 15' 30' 60'



CLIENT:  
 MTP EQUITY PARTNERS LLC  
 150 EAST 58TH ST 36  
 SUITE 2000 NEW YORK NY  
 10155

CONSULTANT:  
 CAMP LAND SURVEYORS  
 PLLC  
 1137 NAVAL AVE  
 BREMERTON WA 98312  
 701 339 1508



**MAP OF EXISTING CONDITIONS  
 TOPOGRAPHIC SURVEY  
 600 Nickerson Road,  
 Marlborough, MA 01752**

REV	DATE	DESCRIPTION

ISSUE TYPE: SUBMITAL  
 ISSUE DATE: 6/17/2021  
 PROJECT NUMBER: 21-048

DRAWN BY:  
 CHECKED BY:

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SURVEY  
 EXISTING  
 CONDITIONS

SHEET NUMBER:  
 51 OF 2

I Charles T Camp, a duly licensed land surveyor by the commonwealth of  
 Massachusetts certify that this map and survey were prepared under my  
 direct supervision and are certified substantially correct

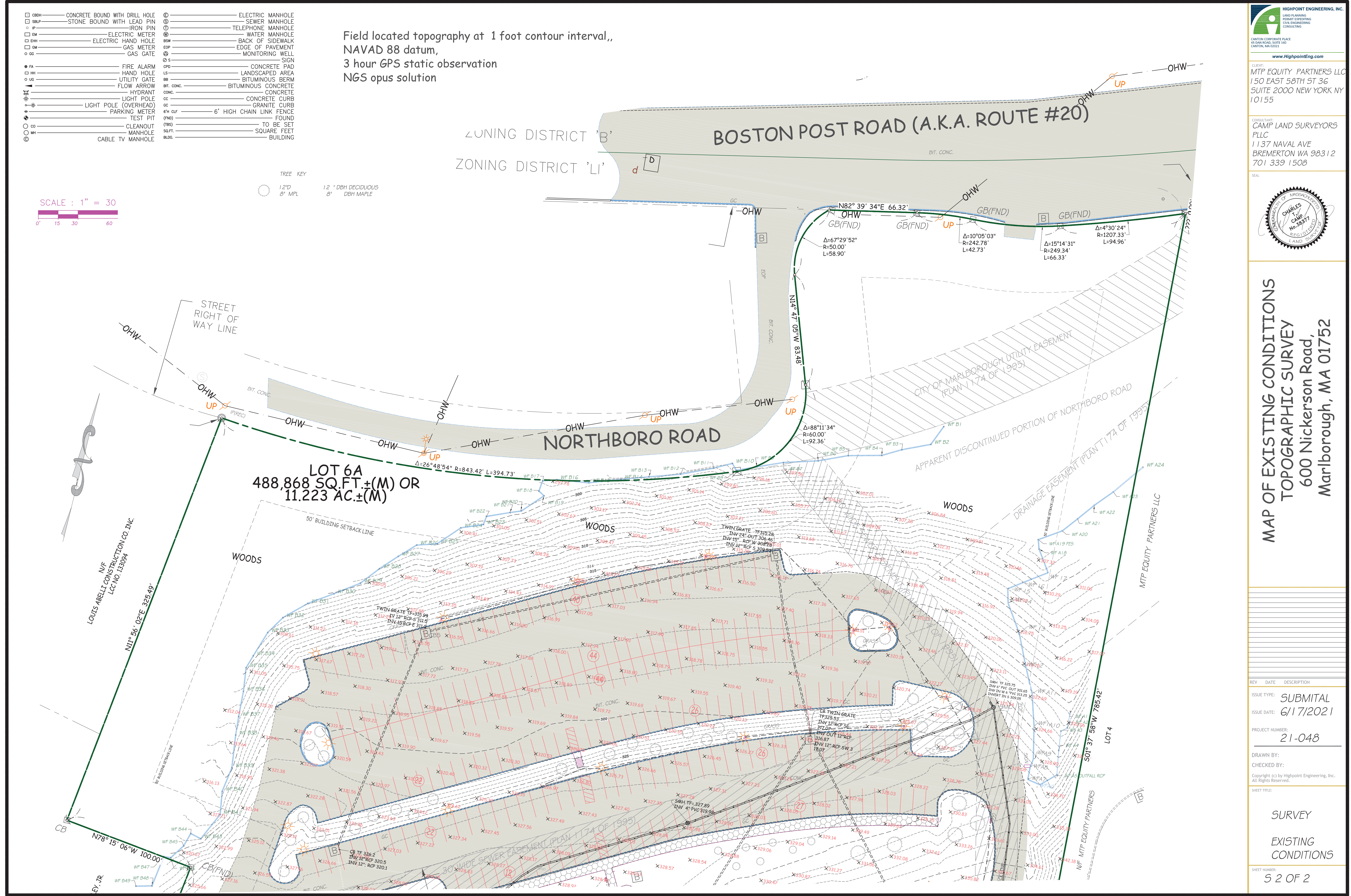
*Charles T. Camp*

- |        |                                |           |                          |
|--------|--------------------------------|-----------|--------------------------|
| □ CBH  | CONCRETE BOUND WITH DRILL HOLE | ⊙         | ELECTRIC MANHOLE         |
| □ SBLP | STONE BOUND WITH LEAD PIN      | ⊙         | SEWER MANHOLE            |
| □ IM   | IRON PIN                       | ⊙         | TELEPHONE MANHOLE        |
| □ EM   | ELECTRIC METER                 | ⊙         | WATER MANHOLE            |
| □ EHM  | ELECTRIC HAND HOLE             | ⊙         | BACK OF SIDEWALK         |
| □ GM   | GAS METER                      | ⊙         | EDGE OF PAVEMENT         |
| ○ GG   | GAS GATE                       | ⊙         | MONITORING WELL          |
| ⊙ FA   | FIRE ALARM                     | ⊙ S       | SIGN                     |
| □ HW   | HAND HOLE                      | ⊙ CPD     | CONCRETE PAD             |
| ○ US   | UTILITY GATE                   | LS        | LANDSCAPED AREA          |
| ⊙      | FLOW ARROW                     | BB        | BITUMINOUS BERM          |
| ⊙      | HYDRANT                        | BT. CONC. | BITUMINOUS CONCRETE      |
| ⊙      | LIGHT POLE (OVERHEAD)          | CONC.     | CONCRETE                 |
| ⊙      | LIGHT POLE                     | CC        | CONCRETE CURB            |
| ⊙      | PARKING METER                  | CC        | GRANITE CURB             |
| ⊙      | TEST PIT                       | 6H CLF    | 6' HIGH CHAIN LINK FENCE |
| ⊙      | CLEANOUT                       | (FND)     | FOUND                    |
| ⊙      | MANHOLE                        | (TBS)     | TO BE SET                |
| ⊙      | CABLE TV MANHOLE               | SQ.FT.    | SQUARE FEET              |
|        |                                | BLDG.     | BUILDING                 |

Field located topography at 1 foot contour interval,,  
 NAVAD 88 datum,  
 3 hour GPS static observation  
 NGS opus solution

SCALE : 1" = 30'  
 0' 15' 30' 60'

TREE KEY  
 ○ 12" DBH  
 ○ 8" DBH  
 ○ 12" DBH DECIDUOUS  
 ○ 8" DBH MAPLE



CLIENT: MTP EQUITY PARTNERS LLC  
 150 EAST 58TH ST 36  
 SUITE 2000 NEW YORK NY  
 10155

CONSULTANT: CAMP LAND SURVEYORS PLLC  
 1137 NAVAL AVE  
 BREMERTON WA 98312  
 701 339 1508

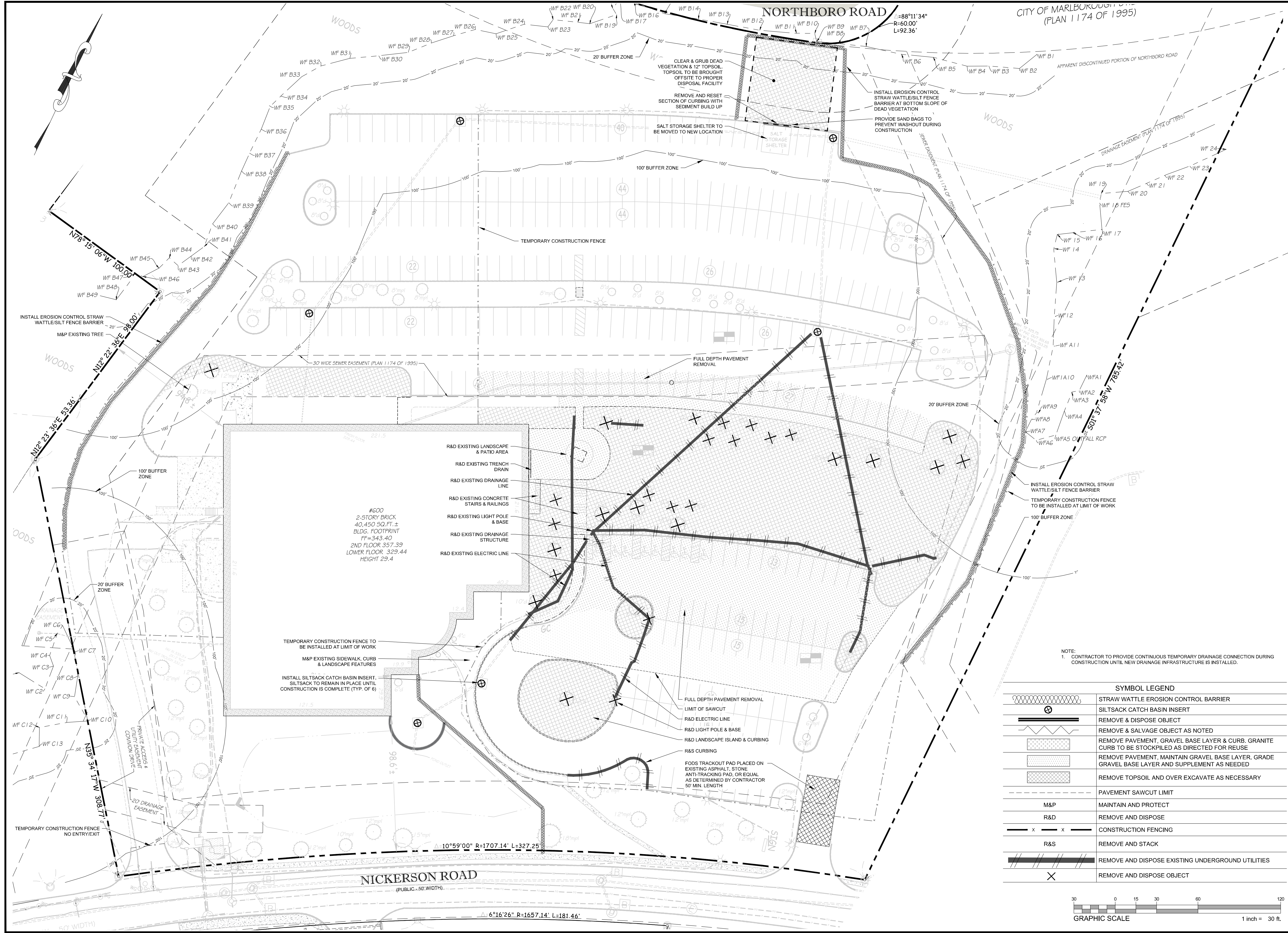


MAP OF EXISTING CONDITIONS  
 TOPOGRAPHIC SURVEY  
 600 Nickerson Road,  
 Marlborough, MA 01752

REV	DATE	DESCRIPTION
ISSUE TYPE:		SUBMITAL
ISSUE DATE:		6/17/2021
PROJECT NUMBER:		21-048
DRAWN BY:		
CHECKED BY:		
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SHEET TITLE:		
SURVEY		
EXISTING CONDITIONS		
SHEET NUMBER: 5 2 OF 2		







**HIGHPOINT ENGINEERING, INC.**  
 LAND PLANNING  
 SURVEYING  
 CIVIL ENGINEERING  
 CONSULTING

CANTON CORPORATE PLACE  
 45 DAN ROAD, SUITE 140  
 CANTON, MASSACHUSETTS 01921  
 www.HighpointEng.com

CLIENT:  
**KS PARTNERS, LLC**  
 130 New Boston Street, Suite 303  
 Woburn, MA 01801

CONSULTANT:

SCALE:

**COMMONWEALTH OF MASSACHUSETTS**  
 REGISTERED PROFESSIONAL ENGINEER  
 DENISE B. NEGADAT  
 CIVIL  
 NO. 41568  
 EXPIRES 12/31/2024

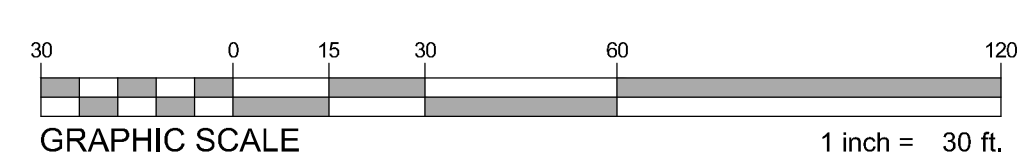
**600 NICKERSON ROAD - GMP EXPANSION  
 CORE & SHELL IMPROVEMENTS**

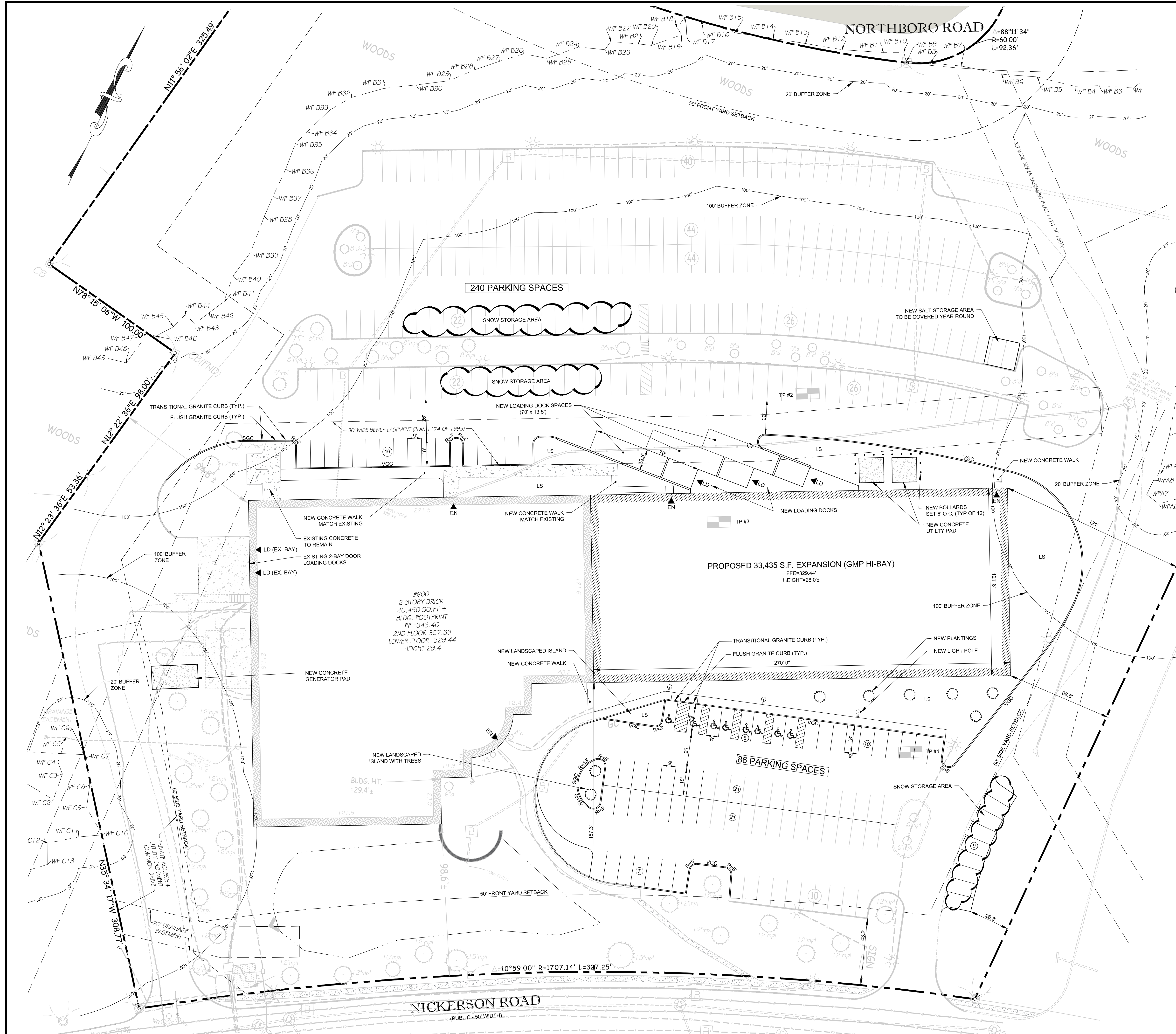
600 NICKERSON ROAD  
 MARLBOROUGH, MA

OWNER/APPLICANT: KS PARTNERS, LLC

NOTE:  
 1. CONTRACTOR TO PROVIDE CONTINUOUS TEMPORARY DRAINAGE CONNECTION DURING CONSTRUCTION UNTIL NEW DRAINAGE INFRASTRUCTURE IS INSTALLED.

SYMBOL LEGEND	
	STRAW WATTLE EROSION CONTROL BARRIER
	SILTSACK CATCH BASIN INSERT
	REMOVE & DISPOSE OBJECT
	REMOVE & SALVAGE OBJECT AS NOTED
	REMOVE PAVEMENT, GRAVEL BASE LAYER & CURB. GRANITE CURB TO BE STOCKPILED AS DIRECTED FOR REUSE
	REMOVE PAVEMENT, MAINTAIN GRAVEL BASE LAYER. GRADE GRAVEL BASE LAYER AND SUPPLEMENT AS NEEDED
	REMOVE TOPSOIL AND OVER EXCAVATE AS NECESSARY
	PAVEMENT SAWCUT LIMIT
	MAINTAIN AND PROTECT
	REMOVE AND DISPOSE
	CONSTRUCTION FENCING
	REMOVE AND STACK
	REMOVE AND DISPOSE EXISTING UNDERGROUND UTILITIES
	REMOVE AND DISPOSE OBJECT





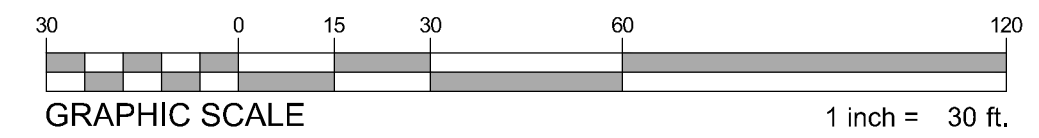
PARKING SUMMARY		
CRITERIA	REQUIRED	PROVIDED
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DEPTH	18 FT	18 FT
<b>COMPACT SPACES</b>		
WIDTH	8 FT	N/A
DEPTH	16 FT	N/A

SYMBOL LEGEND	
SGC	SLOPED GRANITE CURB
EOP	EDGE OF PAVEMENT
VGC	VERTICAL GRANITE CURB
LS	LANDSCAPE AREA
C.L.L.	CONSTRUCTION LIMIT LINE
LS	LOAM & SEED
R10'	CURB RADIUS
—	SIGN AS NOTED
⊙	LIGHT POLE
⊙	PARKING SPACE COUNT
●	NEW BOLLARD

ZONING SUMMARY - 600 NICKERSON RD, MARLBOROUGH MA	
ZONING DISTRICT:	LIMITED INDUSTRIAL (LI)
OVERLAY DISTRICT	WATER SUPPLY PROTECTION
ASSESSORS INFORMATION	PARCEL I.D. 88-32

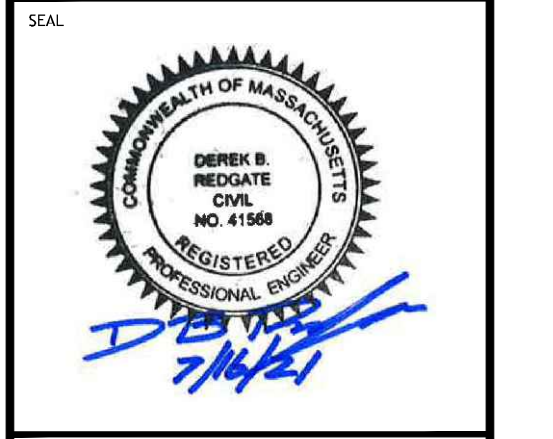
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(a) REQUIRED TOTAL LOT COVERAGE PER WATER SUPPLY PROTECTION DISTRICT OVERLAY



CLIENT:  
 KS PARTNERS, LLC  
 130 New Boston Street, Suite 303  
 Woburn, MA 01801

CONSULTANT:



**600 NICKERSON ROAD - GMP EXPANSION  
 CORE & SHELL IMPROVEMENTS**  
 600 NICKERSON ROAD  
 MARLBOROUGH, MA  
 OWNER/APPLICANT: KS PARTNERS, LLC

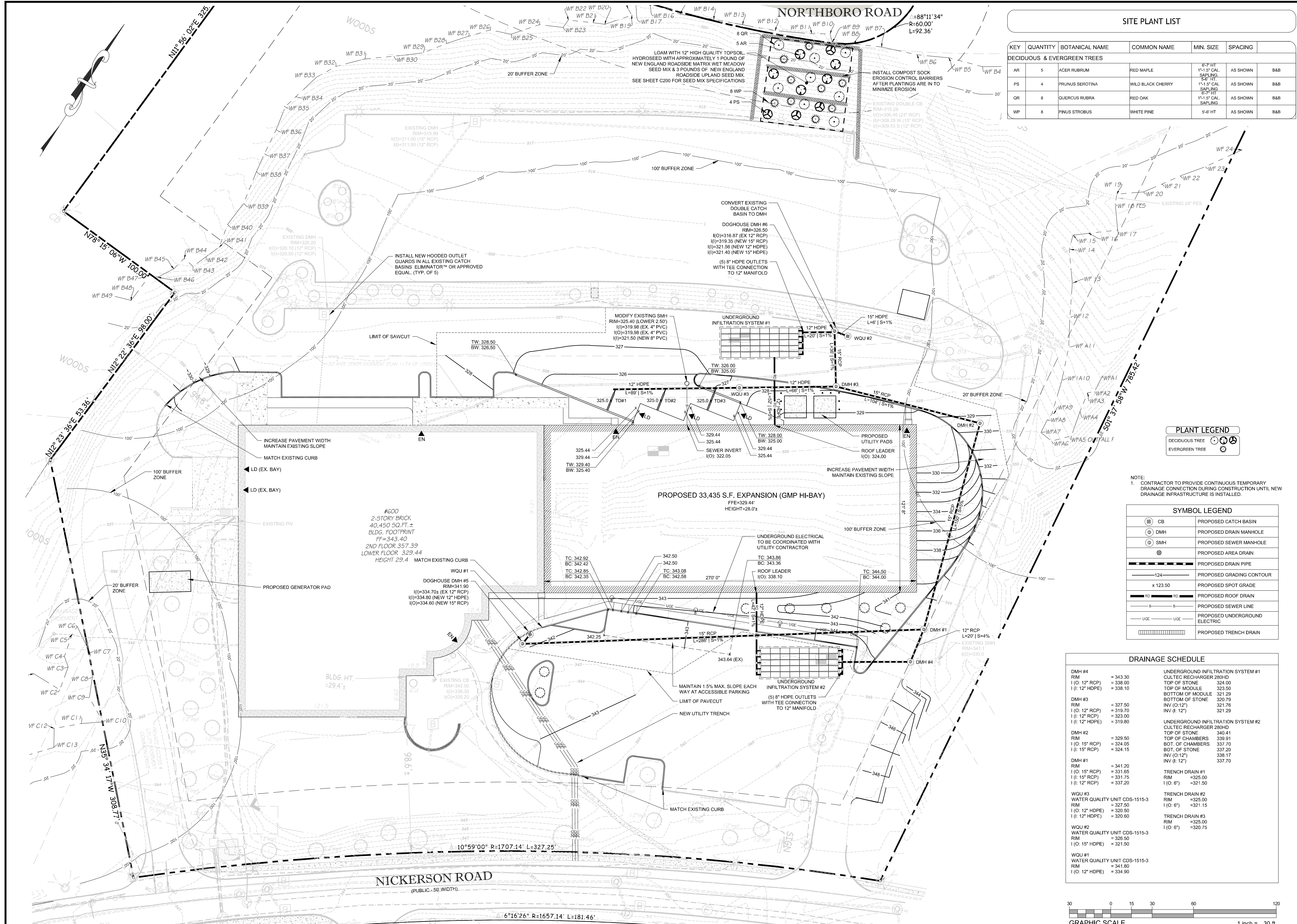
REV	DATE	DESCRIPTION
1	08/19/2021	REVISED PER COM CON MEETING COMMENTS 8/15/21

ISSUE TYPE:  
 DESIGN DEVELOPMENT  
 ISSUE DATE:  
 07-16-2021  
 PROJECT NUMBER:  
 21012

DRAWN BY: NK  
 CHECKED BY: DR

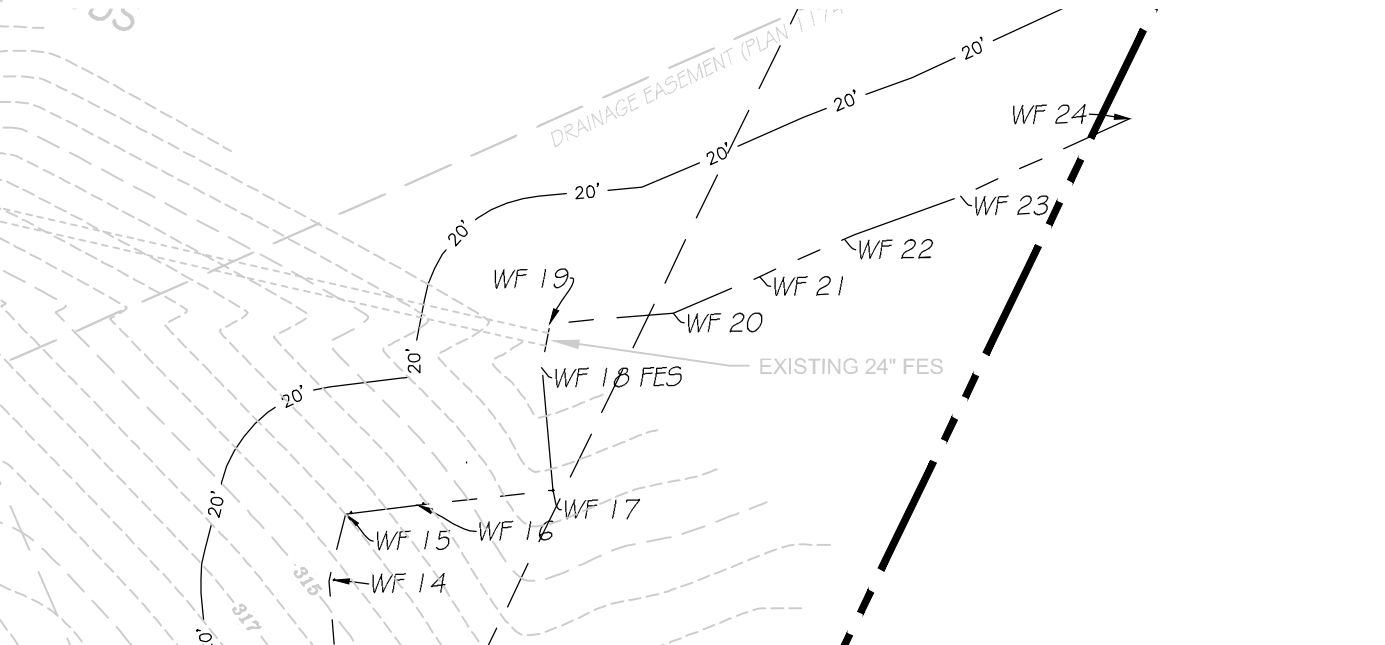
Copyright (c) by Highpoint Engineering, Inc.  
 All Rights Reserved.  
 SHEET TITLE:  
**LAYOUT &  
 MATERIALS PLAN**

SHEET NUMBER:  
**C400**  
 ISSUED FOR: SITE PLAN REVIEW



### SITE PLANT LIST

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	
<b>DECIDUOUS &amp; EVERGREEN TREES</b>						
AR	5	ACER RUBRUM	RED MAPLE	6'-7' HT 1"-1.5" CAL. SAPLING	AS SHOWN	B&B
PS	4	PRUNUS SEROTINA	WILD BLACK CHERRY	1"-1.5" CAL. SAPLING	AS SHOWN	B&B
OR	8	QUERCUS RUBRA	RED OAK	6'-7' HT 1"-1.5" CAL. SAPLING	AS SHOWN	B&B
WP	8	PINUS STROBUS	WHITE PINE	5'-6' HT	AS SHOWN	B&B



### SYMBOL LEGEND

	PROPOSED CATCH BASIN
	PROPOSED DRAIN MANHOLE
	PROPOSED SEWER MANHOLE
	PROPOSED AREA DRAIN
	PROPOSED DRAIN PIPE
	PROPOSED GRADING CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED ROOF DRAIN
	PROPOSED SEWER LINE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED TRENCH DRAIN

### DRAINAGE SCHEDULE

DMH #4	RIM = 343.30	UNDERGROUND INFILTRATION SYSTEM #1
	I (O) 12" RCP = 338.00	CULTEC RECHARGER 280HD
	I (I) 12" HDPE = 338.10	TOP OF STONE = 324.00
		TOP OF MODULE = 323.50
		BOTTOM OF MODULE = 321.29
		BOTTOM OF STONE = 320.79
DMH #3	RIM = 327.50	INV (O-12") = 321.76
	I (O) 12" RCP = 319.70	INV (I-12") = 321.29
	I (I) 12" RCP = 323.00	
	I (I) 12" HDPE = 319.80	UNDERGROUND INFILTRATION SYSTEM #2
DMH #2	RIM = 329.50	CULTEC RECHARGER 280HD
	I (O) 15" RCP = 324.05	TOP OF STONE = 340.41
	I (I) 15" RCP = 324.15	TOP OF CHAMBERS = 339.91
		BOT. OF CHAMBERS = 337.70
		BOT. OF STONE = 337.20
		INV (O-12") = 338.17
		INV (I-12") = 337.70
DMH #1	RIM = 341.20	
	I (O) 15" RCP = 331.65	TRENCH DRAIN #1
	I (I) 15" RCP = 331.75	RIM = 325.00
	I (I) 12" RCP = 337.20	I (O-6") = 321.50
WQU #3	WATER QUALITY UNIT CDS-1515-3	TRENCH DRAIN #2
	RIM = 327.50	RIM = 325.00
	I (O) 12" HDPE = 320.50	I (O-6") = 321.15
	I (I) 12" HDPE = 320.60	TRENCH DRAIN #3
WQU #2	WATER QUALITY UNIT CDS-1515-3	RIM = 325.00
	RIM = 326.50	I (O-6") = 320.75
	I (O) 15" HDPE = 321.50	
WQU #1	WATER QUALITY UNIT CDS-1515-3	
	RIM = 341.80	
	I (O) 12" HDPE = 334.90	

**NOTES:**  
 1. CONTRACTOR TO PROVIDE CONTINUOUS TEMPORARY DRAINAGE CONNECTION DURING CONSTRUCTION UNTIL NEW DRAINAGE INFRASTRUCTURE IS INSTALLED.

**PLANT LEGEND**  
 DECIDUOUS TREE  
 EVERGREEN TREE

**SYMBOL LEGEND**  
 CB PROPOSED CATCH BASIN  
 DMH PROPOSED DRAIN MANHOLE  
 SMH PROPOSED SEWER MANHOLE  
 AREA DRAIN PROPOSED AREA DRAIN  
 DRAIN PIPE PROPOSED DRAIN PIPE  
 GRADING CONTOUR PROPOSED GRADING CONTOUR  
 SPOT GRADE PROPOSED SPOT GRADE  
 ROOF DRAIN PROPOSED ROOF DRAIN  
 SEWER LINE PROPOSED SEWER LINE  
 UNDERGROUND ELECTRIC PROPOSED UNDERGROUND ELECTRIC  
 TRENCH DRAIN PROPOSED TRENCH DRAIN

**DRAINAGE SCHEDULE**  
 DMH #4 RIM = 343.30  
 I (O) 12" RCP = 338.00  
 I (I) 12" HDPE = 338.10  
 DMH #3 RIM = 327.50  
 I (O) 12" RCP = 319.70  
 I (I) 12" RCP = 323.00  
 I (I) 12" HDPE = 319.80  
 DMH #2 RIM = 329.50  
 I (O) 15" RCP = 324.05  
 I (I) 15" RCP = 324.15  
 DMH #1 RIM = 341.20  
 I (O) 15" RCP = 331.65  
 I (I) 15" RCP = 331.75  
 I (I) 12" RCP = 337.20  
 WQU #3 WATER QUALITY UNIT CDS-1515-3  
 RIM = 327.50  
 I (O) 12" HDPE = 320.50  
 I (I) 12" HDPE = 320.60  
 WQU #2 WATER QUALITY UNIT CDS-1515-3  
 RIM = 326.50  
 I (O) 15" HDPE = 321.50  
 WQU #1 WATER QUALITY UNIT CDS-1515-3  
 RIM = 341.80  
 I (O) 12" HDPE = 334.90

**GRAPHIC SCALE**  
 1 inch = 30 ft.

**HIGHPOINT ENGINEERING, INC.**  
 LAND PLANNING  
 SURVEYING  
 CIVIL ENGINEERING  
 CONSULTING

CANTON CORPORATE PLACE  
 45 DAN FORD, SUITE 140  
 CANTON, MASSACHUSETTS

www.HighpointEng.com

CLIENT:  
**KS PARTNERS, LLC**  
 130 New Boston Street, Suite 303  
 Woburn, MA 01801

CONSULTANT:

SCALE:

**REGISTERED PROFESSIONAL ENGINEER**  
 DEREK B. REDGATE  
 CIVIL  
 NO. 41568  
 MASSACHUSETTS

## 600 NICKERSON ROAD - GMP EXPANSION CORE & SHELL IMPROVEMENTS

600 NICKERSON ROAD  
 MARLBOROUGH, MA

OWNER/APPLICANT: KS PARTNERS, LLC

1 08/19/2021 REVISED PER COM CON MEETING  
 COMMENTS 5/5/21

REV	DATE	DESCRIPTION

ISSUE TYPE:  
**DESIGN DEVELOPMENT**

ISSUE DATE:  
**07-16-2021**

PROJECT NUMBER:  
**21012**

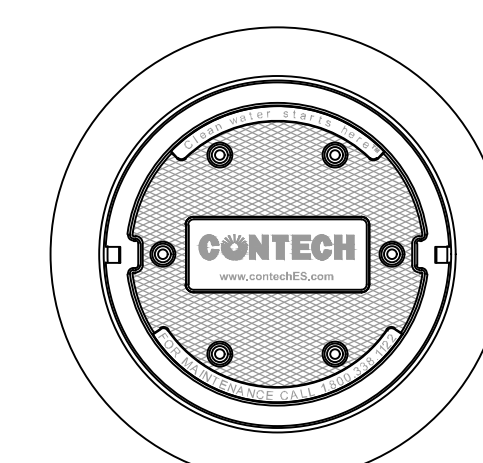
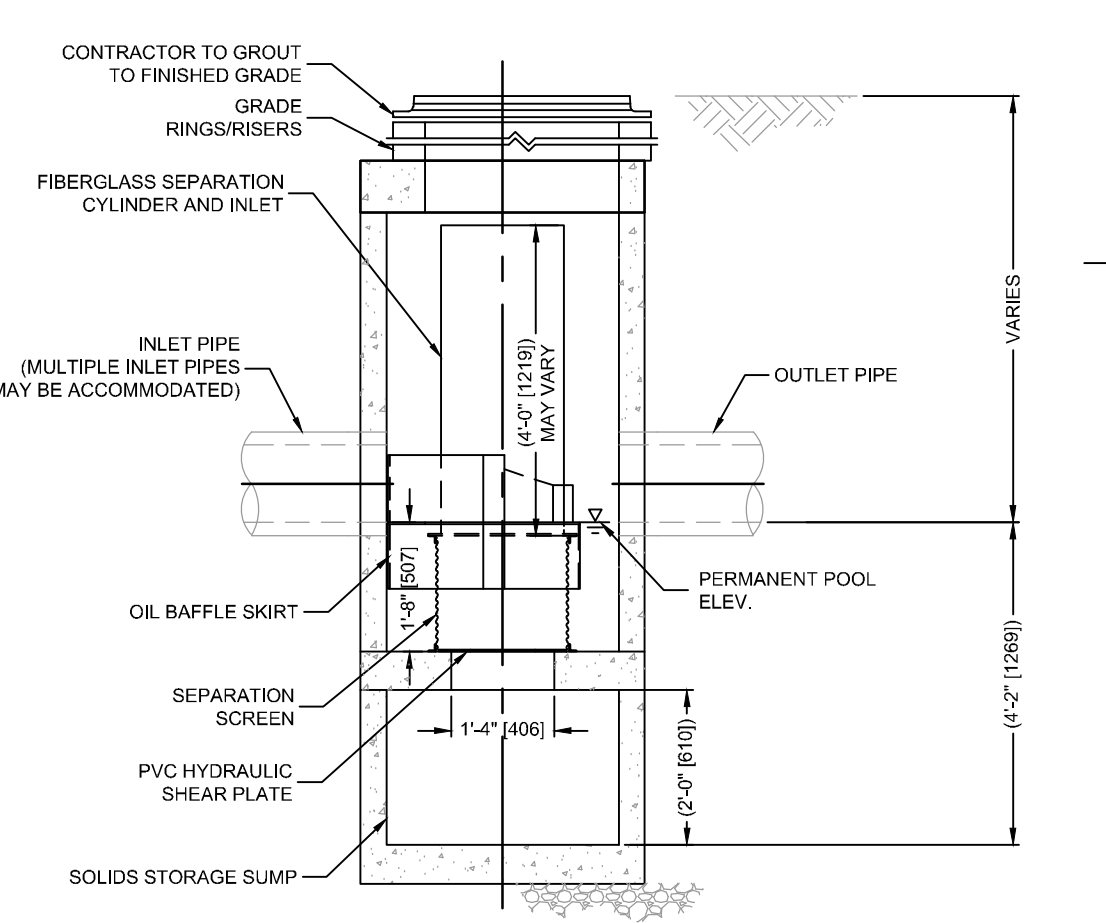
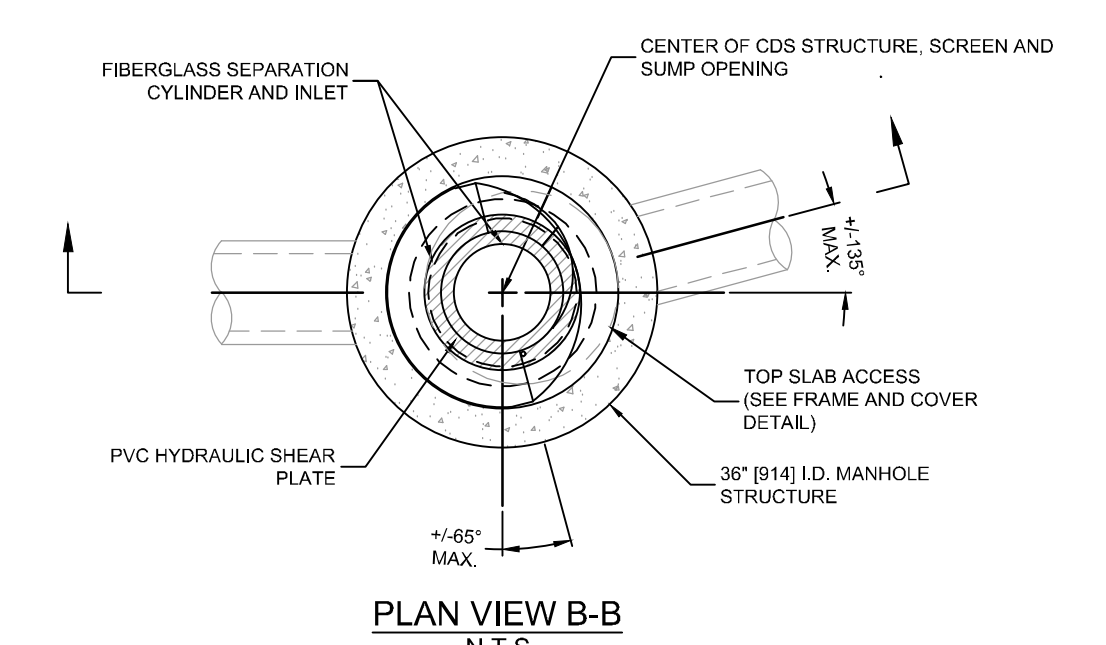
DRAWN BY: NK  
 CHECKED BY: DR

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SHEET TITLE:  
**GRADING & DRAINAGE/  
 UTILITY PLAN**

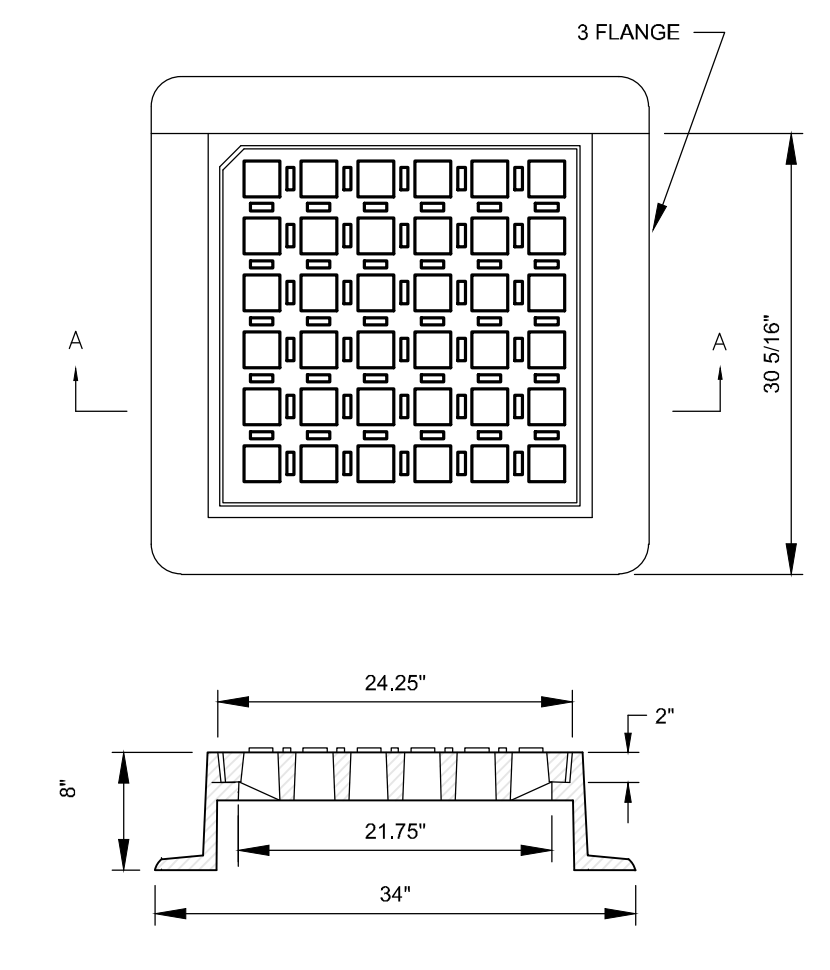
SHEET NUMBER:  
**C500**

ISSUED FOR: SITE PLAN REVIEW

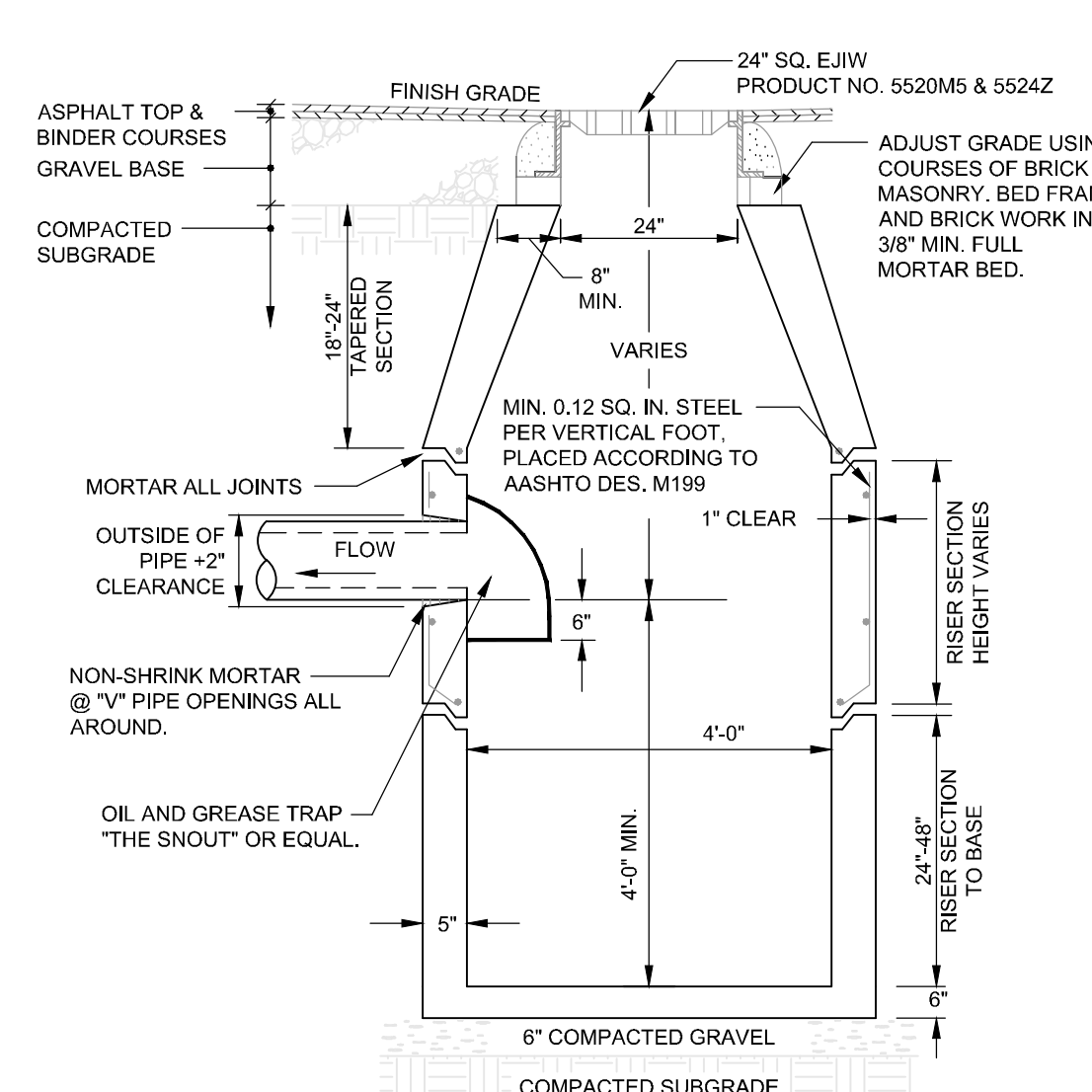


- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.CONTECHES.COM
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
  - STRUCTURE SHALL MEET ASHTO H200 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET ASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
  - IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
  - CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND ASHTO LOAD FACTOR DESIGN METHOD.
- INSTALLATION NOTES**
- ANY SUB-BASE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
  - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**CONTECH® CDS1515-3-C B3**  
 NOT TO SCALE

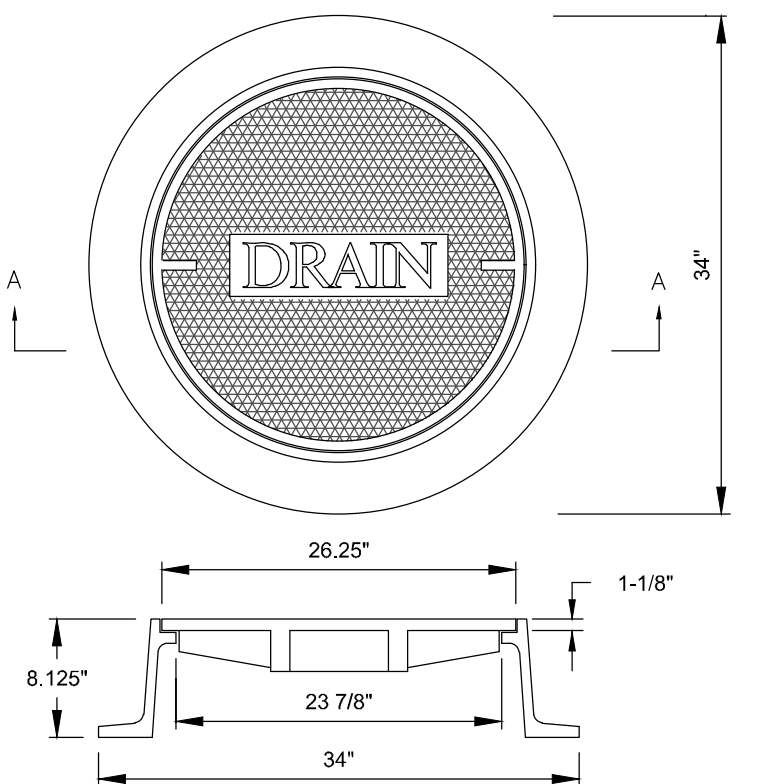


NOTE:  
 FRAME AND GRATE SHALL BE EAST JORDAN IRON WORKS CATALOG NOS. 5520M5 & 5524Z FOR THE 4 FLANGE AND CATALOG NOS. 5520M5 & 5523Z FOR THE 3 FLANGE, OR APPROVED EQUAL.



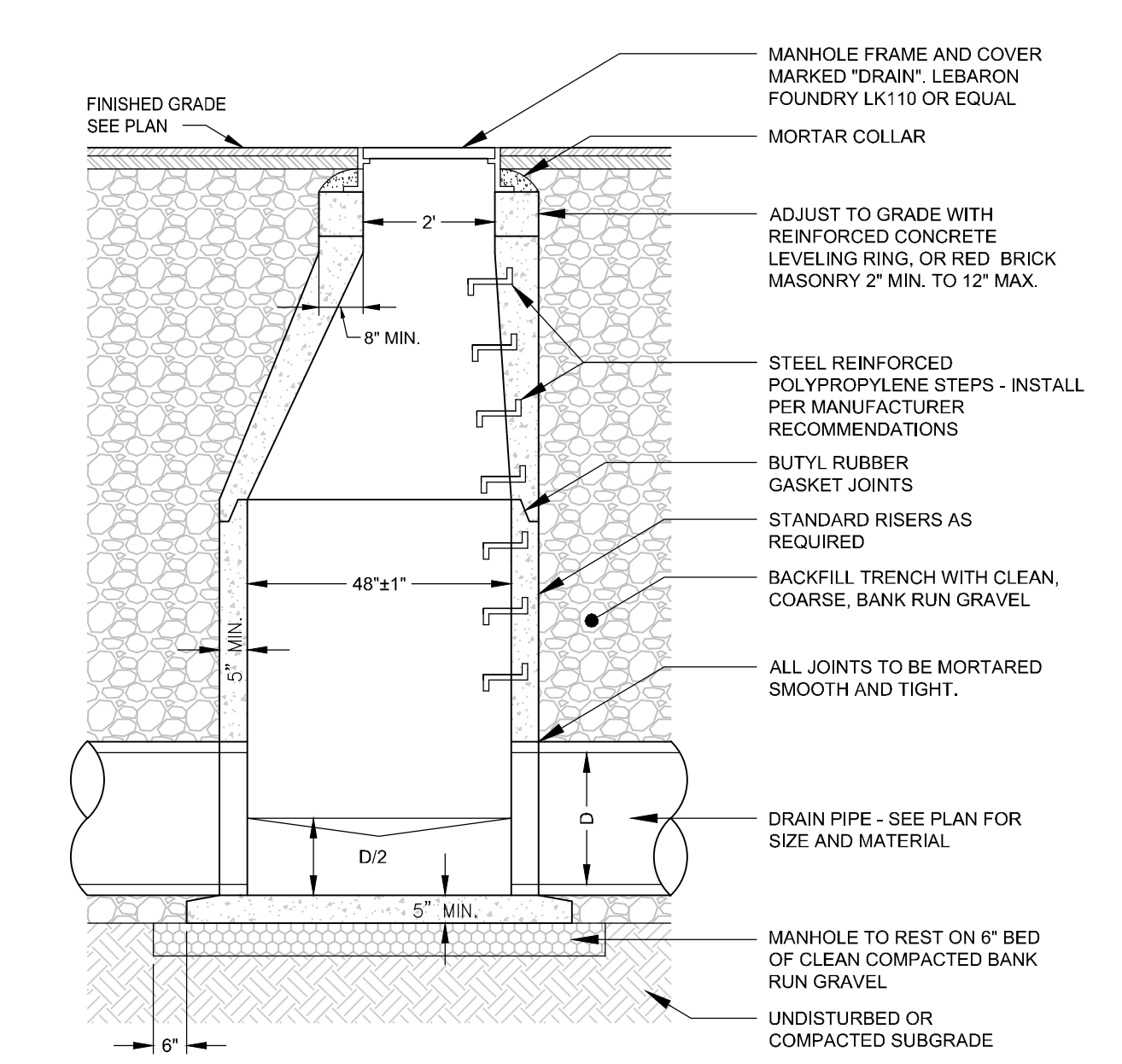
- NOTES:
- ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.
  - ALL BLOCKS TO BE LAID IN A FULL BED OF MORTAR.
  - OUTSIDE OF BASIN TO BE COATED WITH 2" OF MORTAR CEMENT PARINGS.
  - FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE.
  - PIPE OPENING COVERED WITH 23 GAUGE GALVANIZED WIRE MESH.
  - PLACE 2" C.F. OF 2" CRUSHED STONE OVER WIRE MESH.
  - BACKFILL SHALL CONSIST OF CLEAN SOIL MATERIALS UNIFORMLY PLACED IN 6-INCH LAYERS AROUND THE STRUCTURE AND THOROUGHLY COMPACTED WITH HAND TAMPERS OR MECHANICAL EQUIPMENT.

**SINGLE GRATE CATCH BASIN B2**  
 NOT TO SCALE

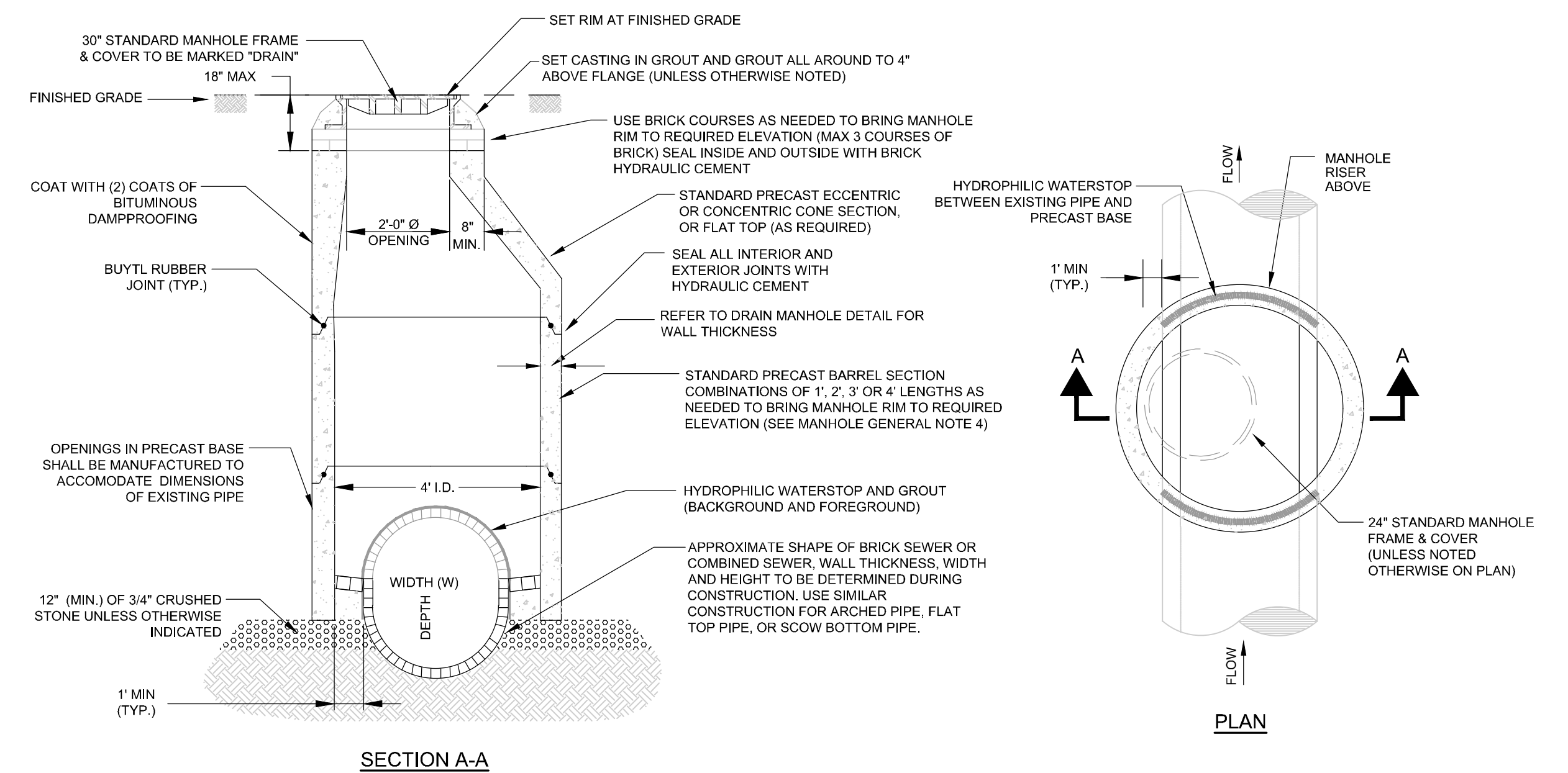


NOTE:  
 TYPE - A FRAME. MINIMUM WEIGHT - 265 LBS. MATERIAL - CAST IRON.

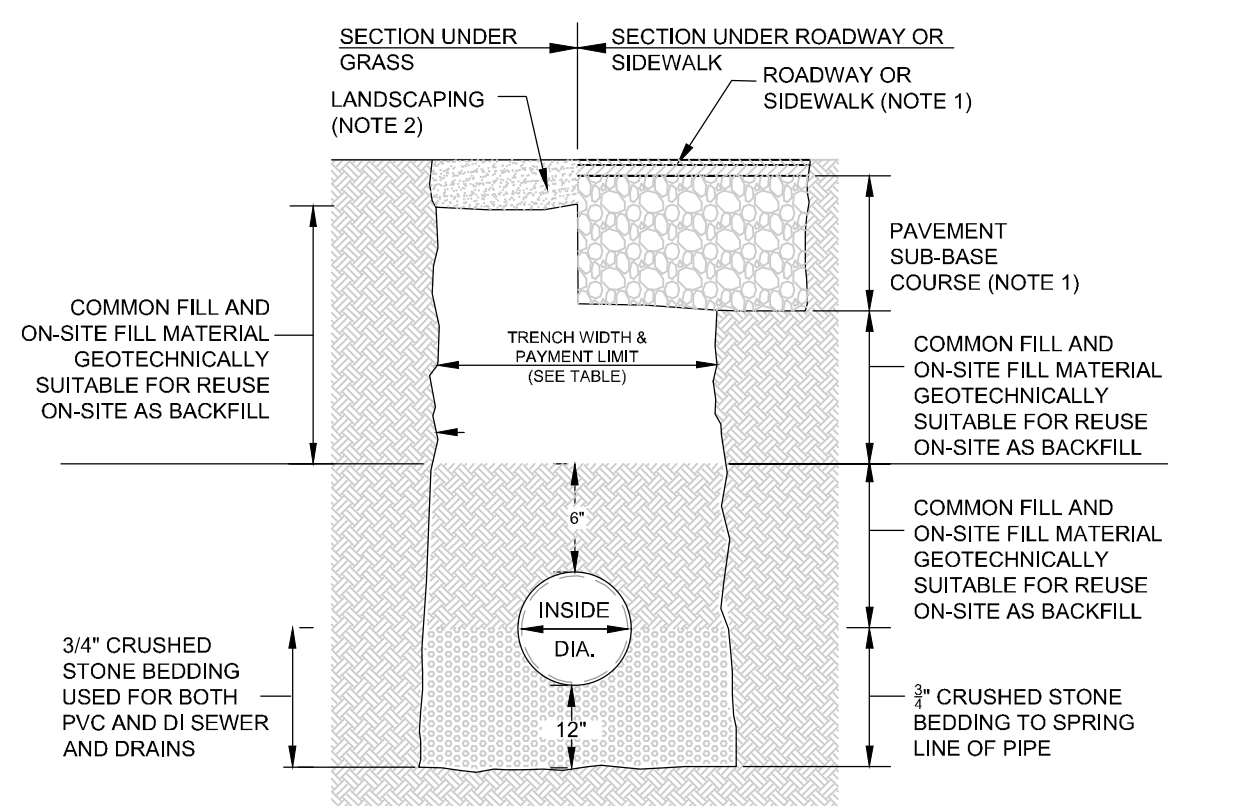
**DRAIN MANHOLE FRAME AND COVER C1**  
 NOT TO SCALE



**PRECAST CONCRETE DRAIN MANHOLE B1**  
 NOT TO SCALE



**PRECAST DROP-OVER DRAIN MANHOLE A3**  
 NOT TO SCALE

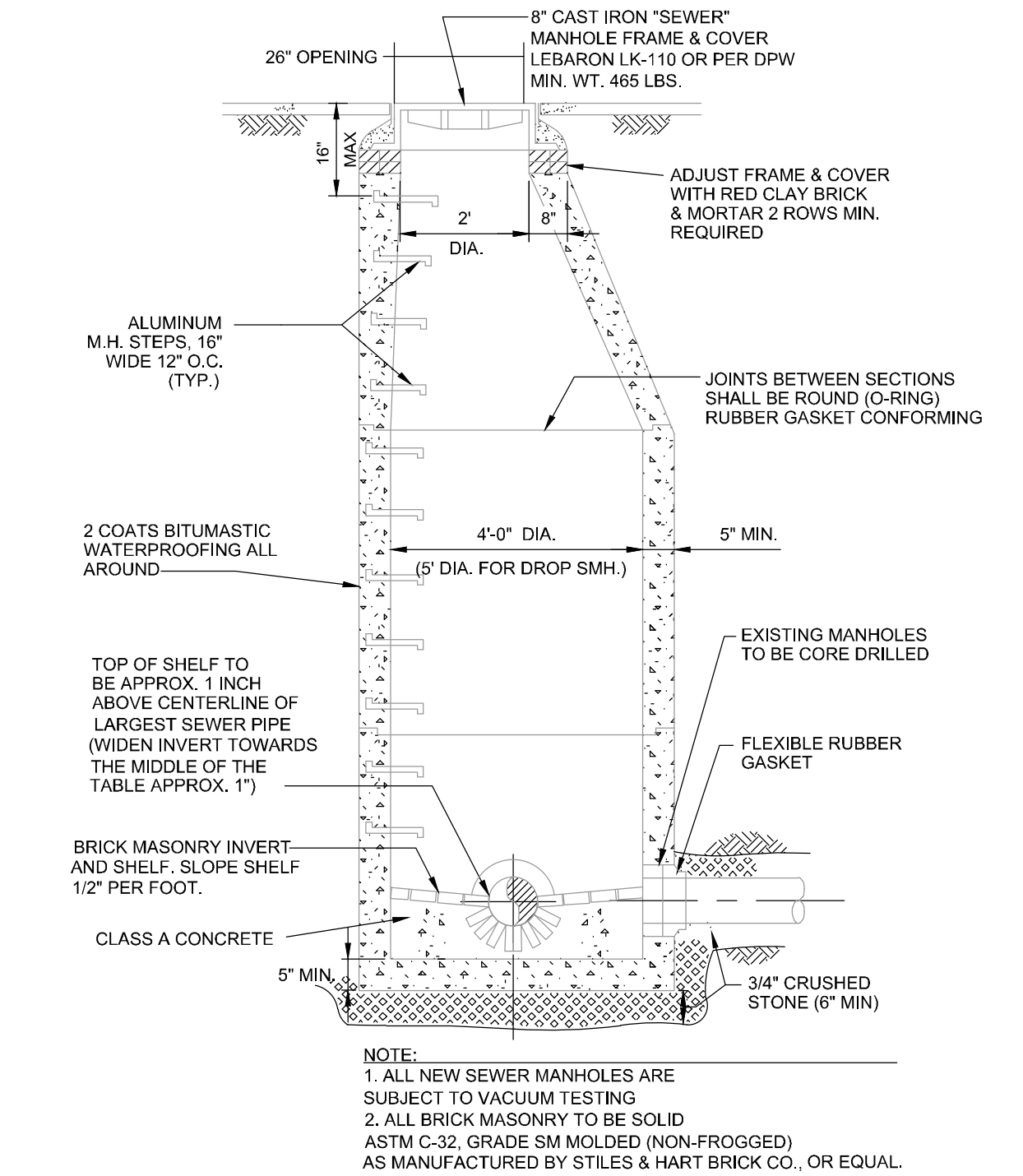


I.D. = INSIDE DIMENSION  
 FOR TRENCHES GREATER THAN 5' DEEP ADD MAXIMUM 3' FOR TEMPORARY SUPPORT OF EXCAVATION

- NOTES:
- REFER TO PAVING AND SURFACING, AND CURBS, WALKS AND DRIVEWAYS REQUIREMENTS
  - REFER TO LANDSCAPING REQUIREMENTS
  - REFER TO "TRENCH PAY LIMIT TABLE FOR PIPES" FOR PAYMENT OF ALL ITEMS IN WHICH PAY TRENCH WIDTH IS A VARIABLE FOR CALCULATIONS OF QUANTITIES EXCEPT FOR TRENCH PAVEMENT
  - REFER TO TRENCH PAVEMENT DETAIL FOR PAVEMENT PAYMENT WIDTHS

PIPE SIZE (DIA.)	MAX TRENCH WIDTH
LESS THAN 2"	3'-0"
2" TO 6"	3'-6"
6" TO 24"	4'-0"
24" & GREATER	10. + 2'-0"

**DRAINAGE AND SEWER TRENCH A2**  
 NOT TO SCALE



**SANITARY SEWER MANHOLE A1**  
 NOT TO SCALE

REV	DATE	DESCRIPTION
1	08/19/2021	REVISED PER CON COM MEETING COMMENTS 8/15/21

ISSUE TYPE:  
**DESIGN DEVELOPMENT**

ISSUE DATE:  
**07-16-2021**

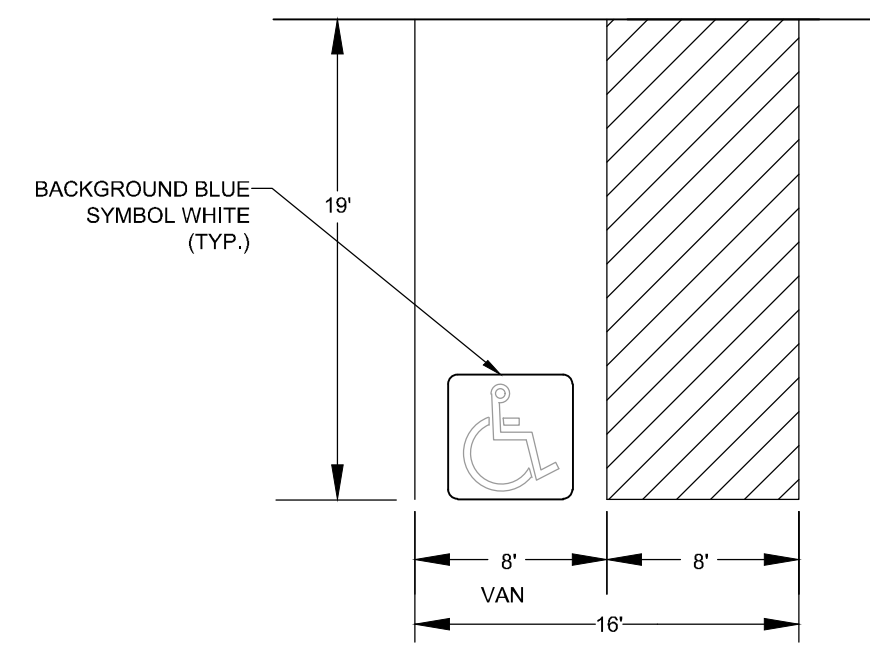
PROJECT NUMBER:  
**21012**

DRAWN BY: NK  
 CHECKED BY: DR

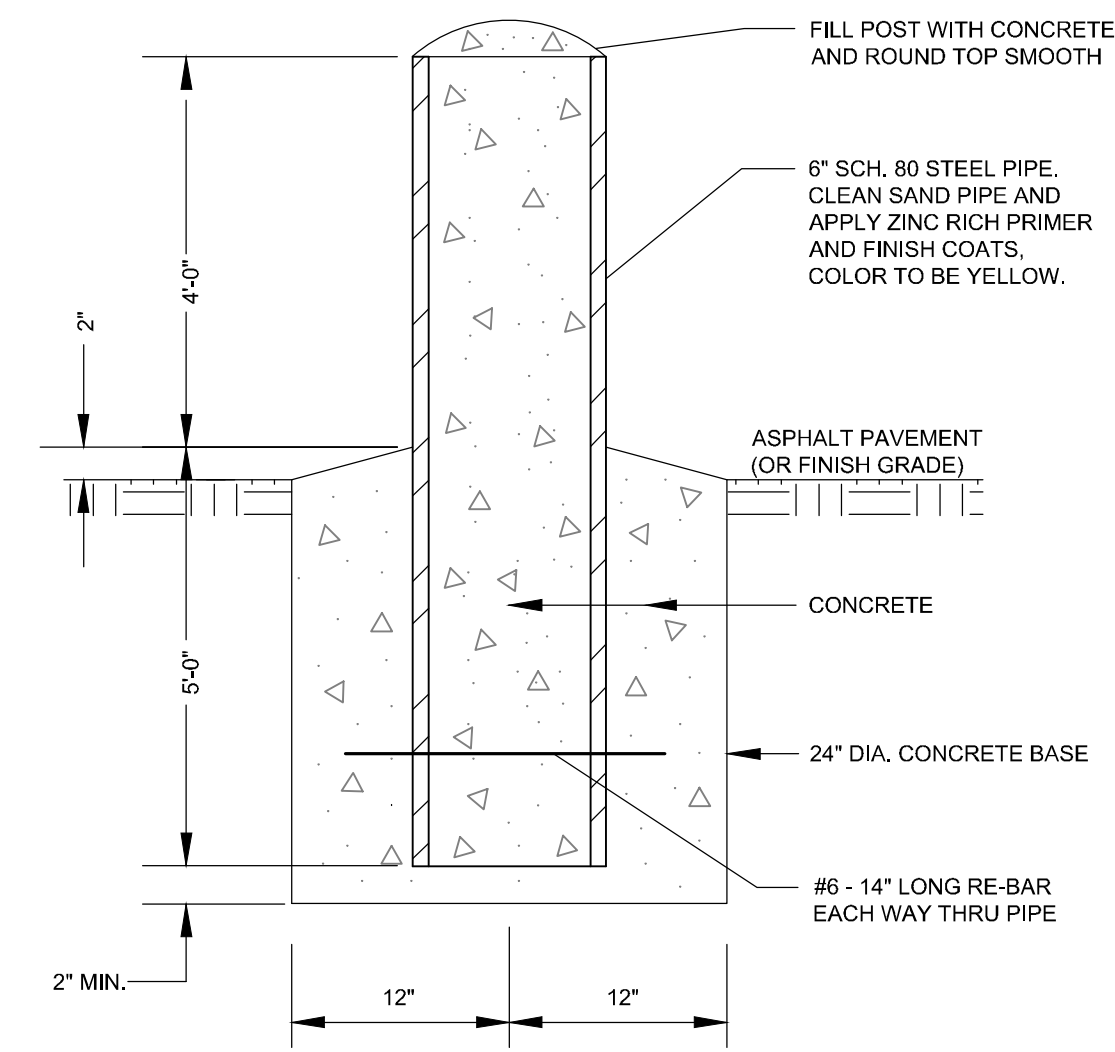
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**DETAIL SHEET**

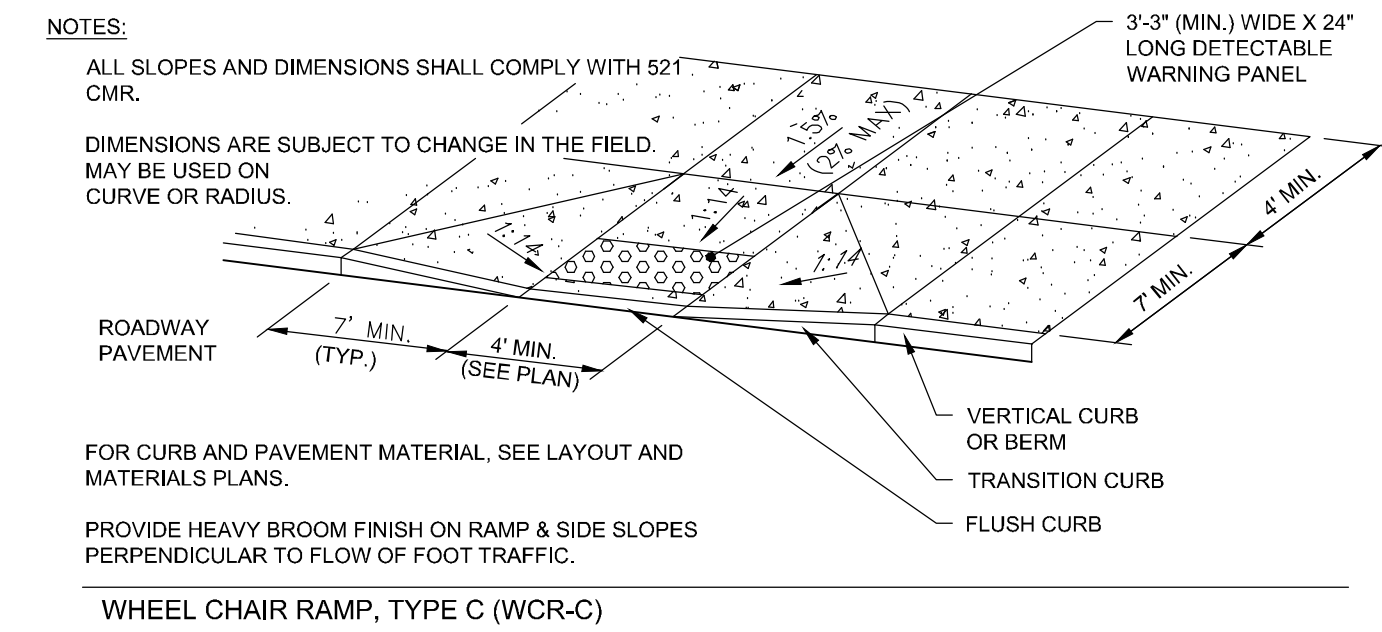
SHEET NUMBER:  
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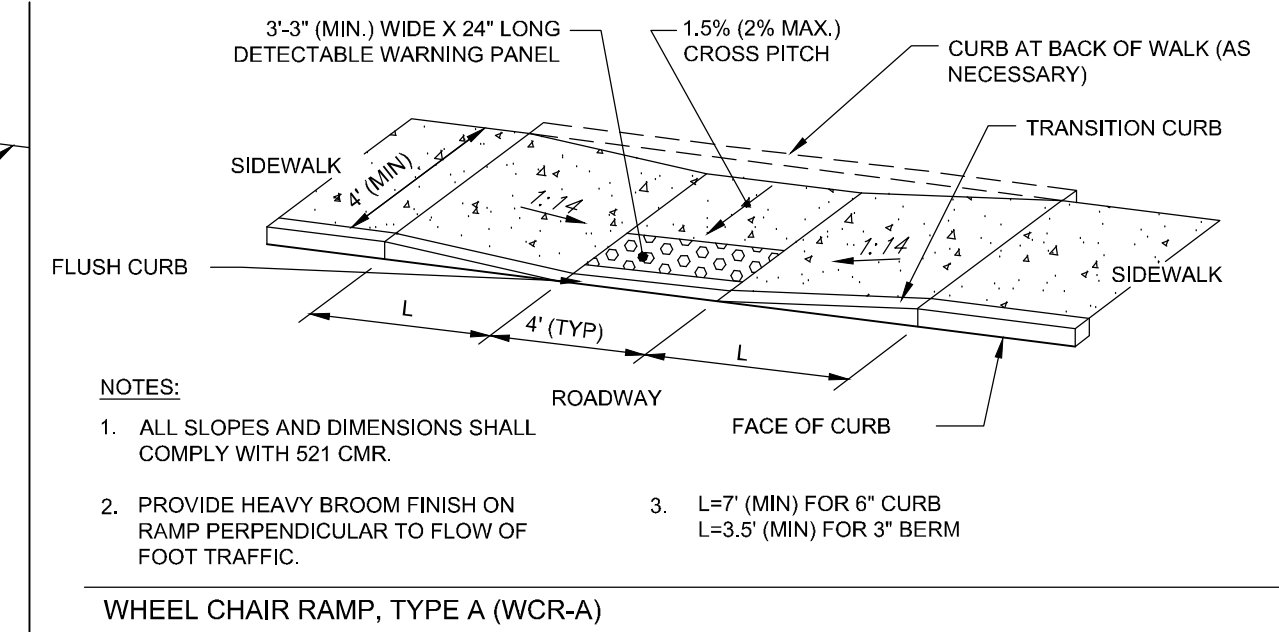
**HANDICAP PARKING**  
 NOT TO SCALE **C3**



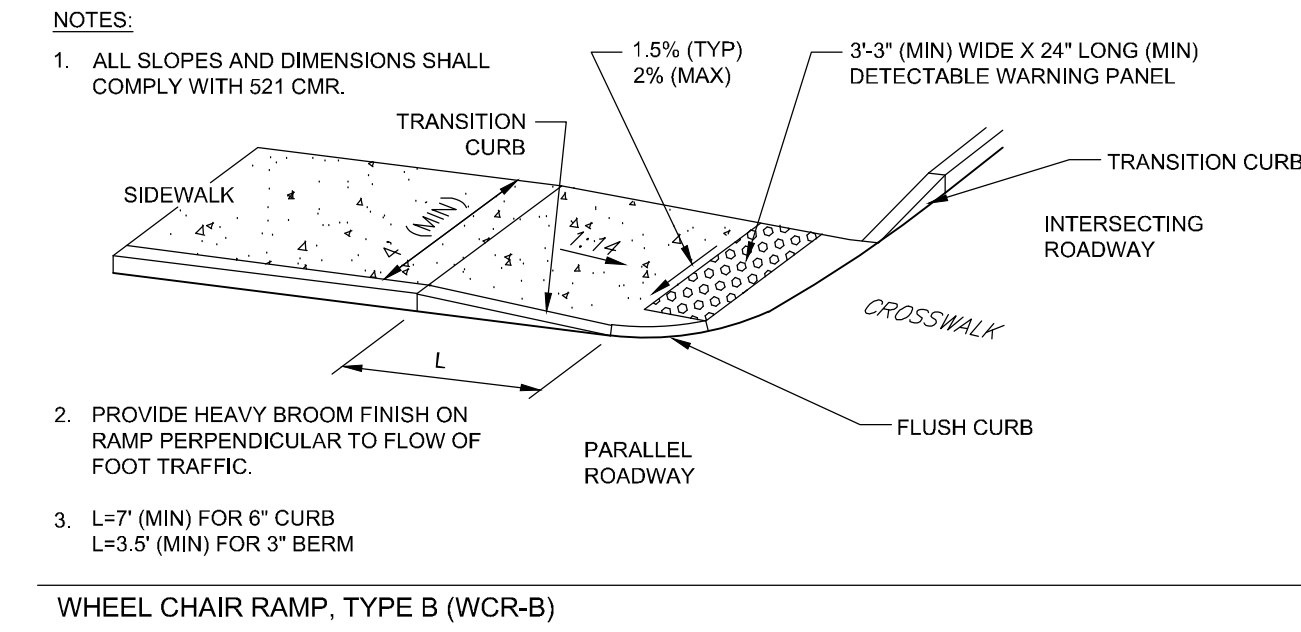
**6" CONCRETE-FILLED GALVANIZED STEEL PIPE BOLLARD**  
 NOT TO SCALE **C2**



**WHEEL CHAIR RAMP, TYPE C (WCR-C)**

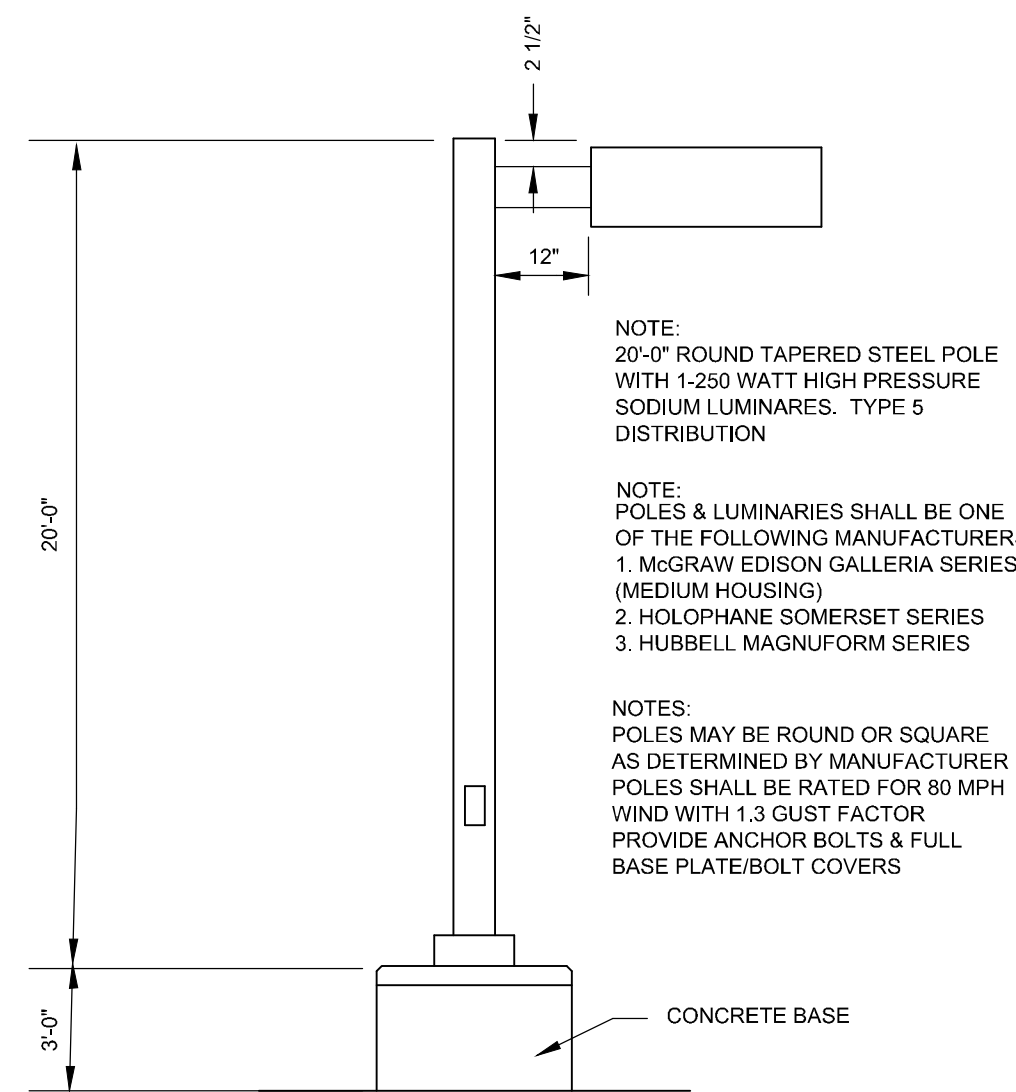


**WHEEL CHAIR RAMP, TYPE A (WCR-A)**

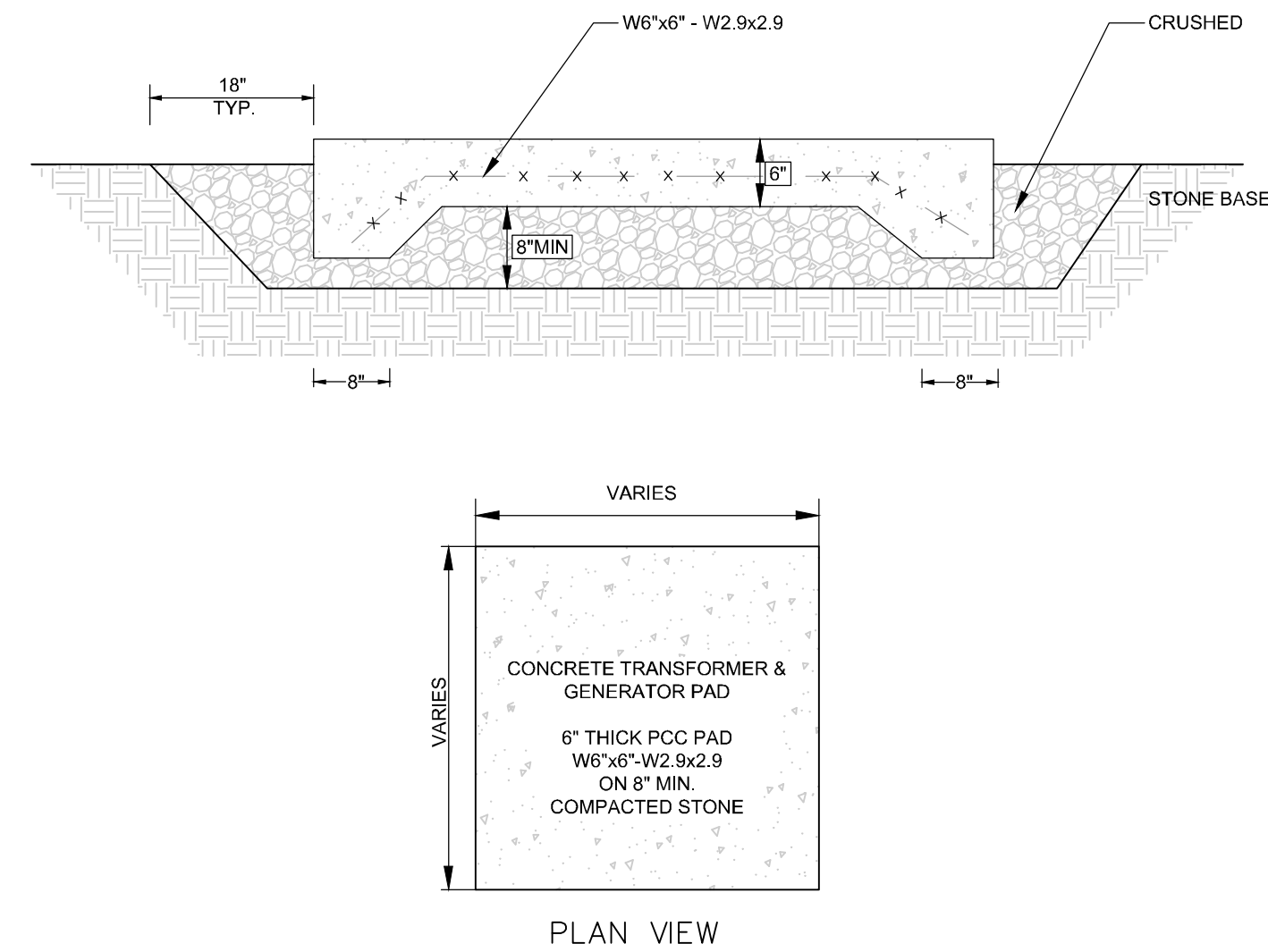


**WHEEL CHAIR RAMP, TYPE B (WCR-B)**

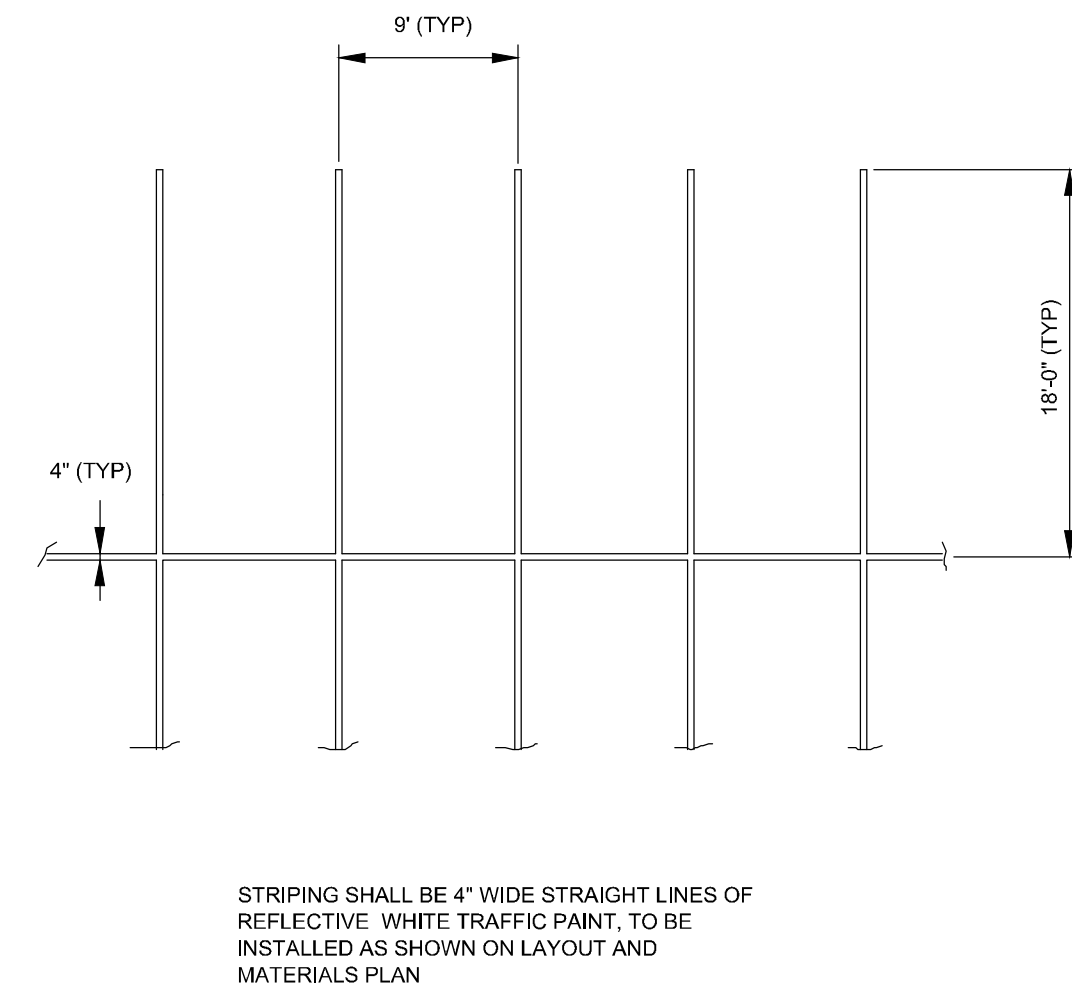
**HANDICAP RAMP DETAILS**  
 NOT TO SCALE **C1**



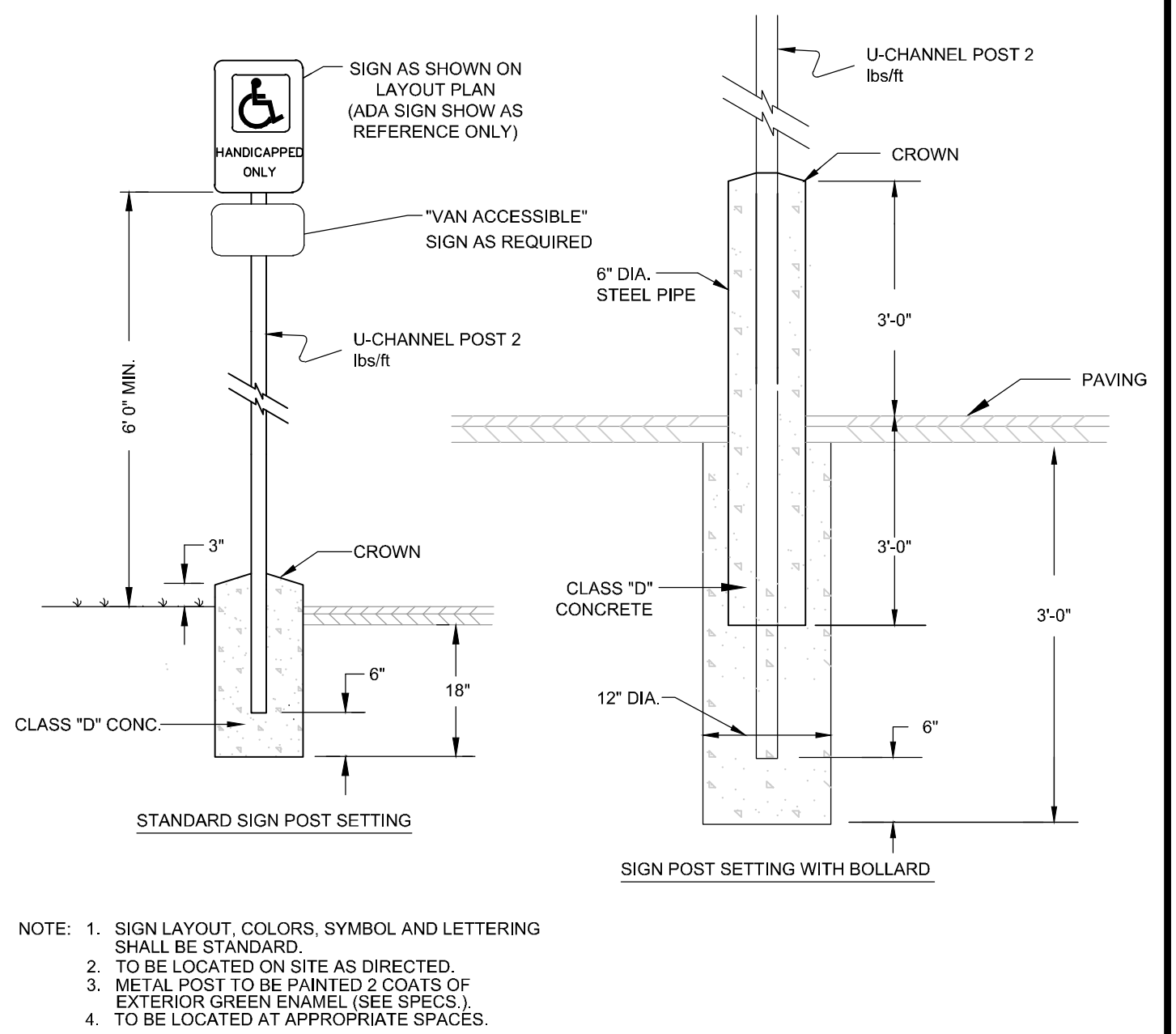
**TYPICAL LIGHTING DETAIL**  
 NOT TO SCALE **B4**



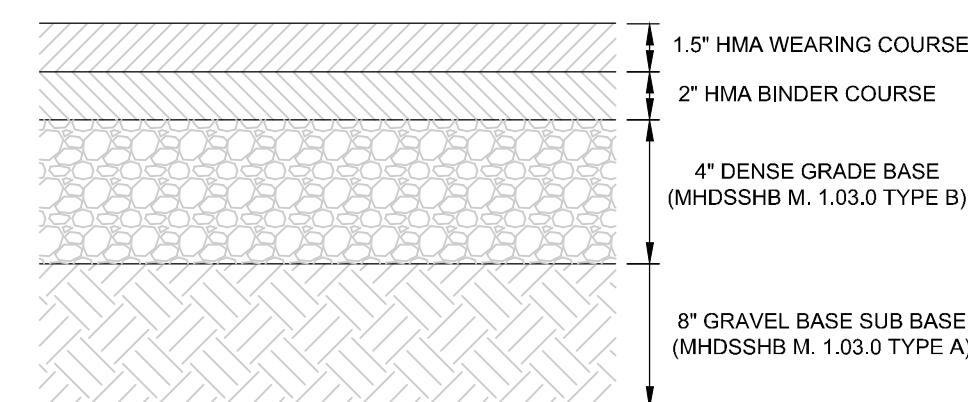
**TYPICAL CONCRETE PAD**  
 NOT TO SCALE **B3**



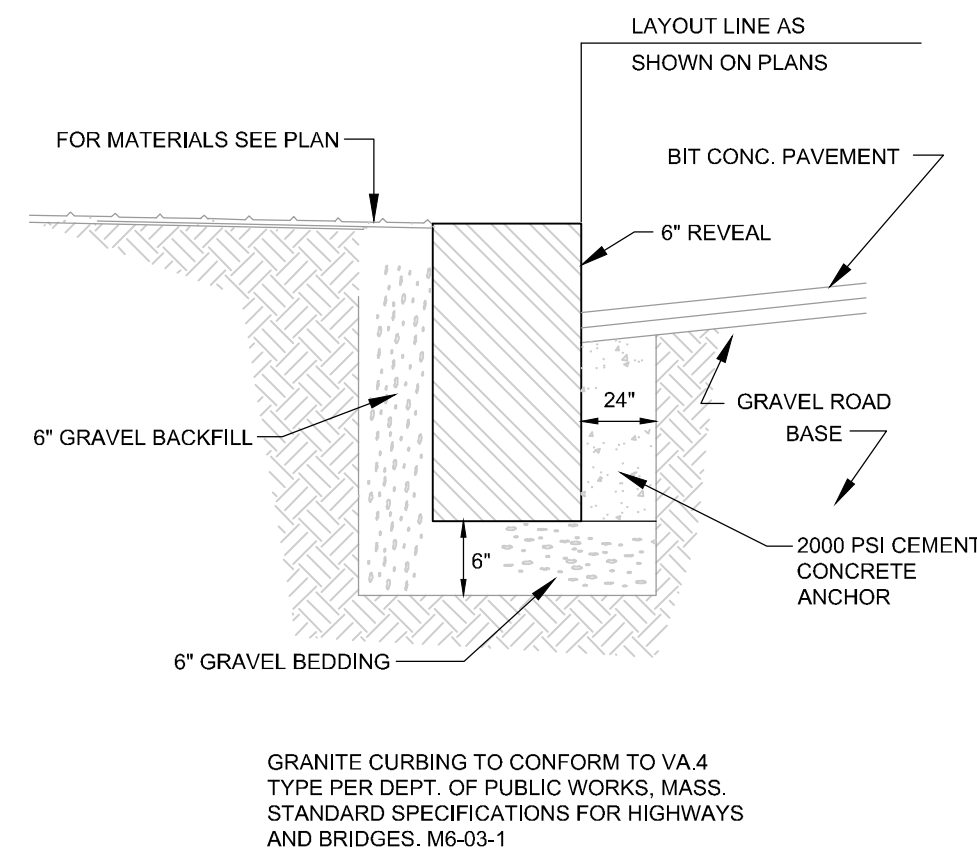
**TYPICAL PARKING SPACE STRIPING**  
 NOT TO SCALE **B2**



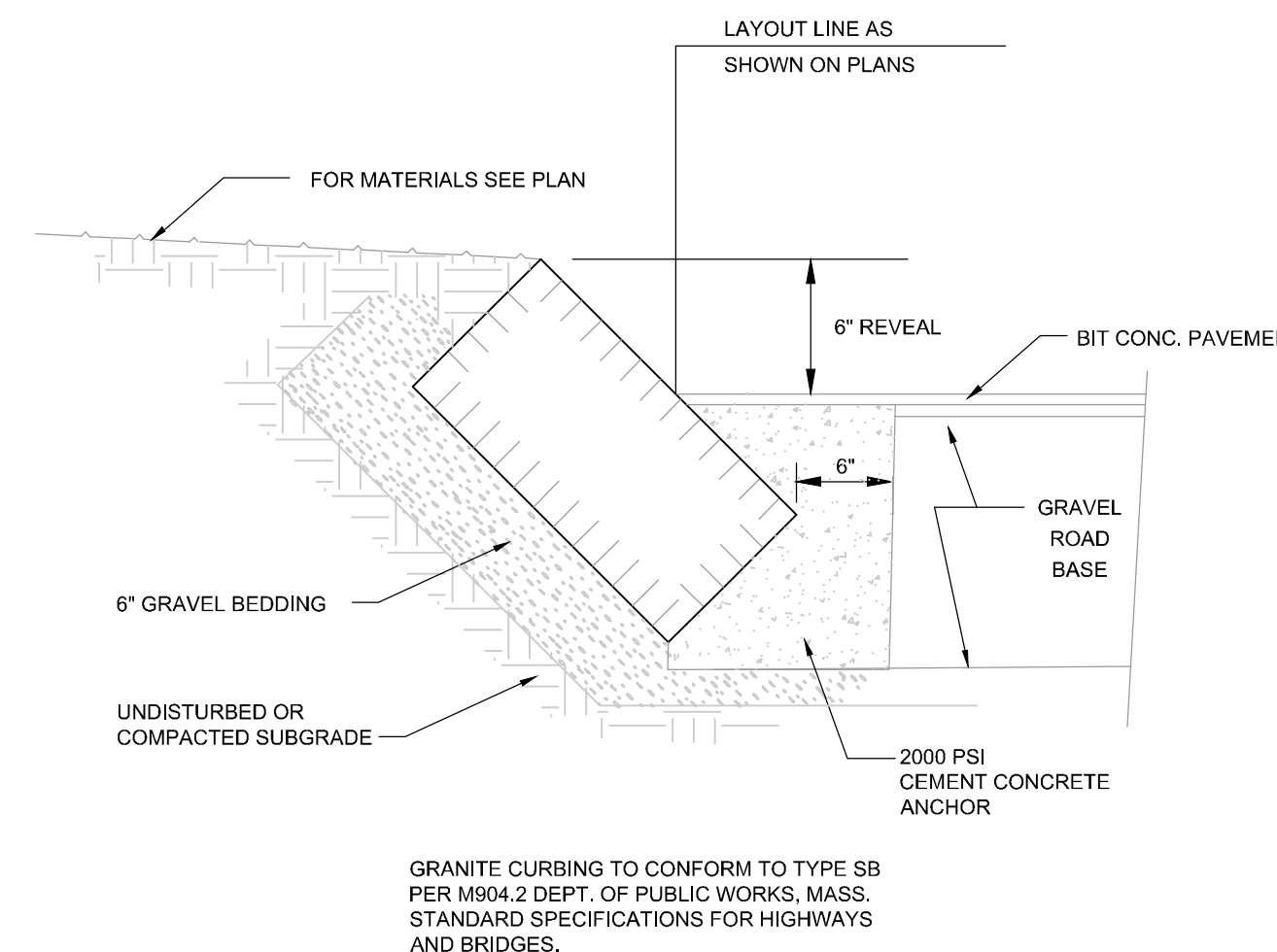
**SIGN POST DETAIL**  
 NOT TO SCALE **B1**



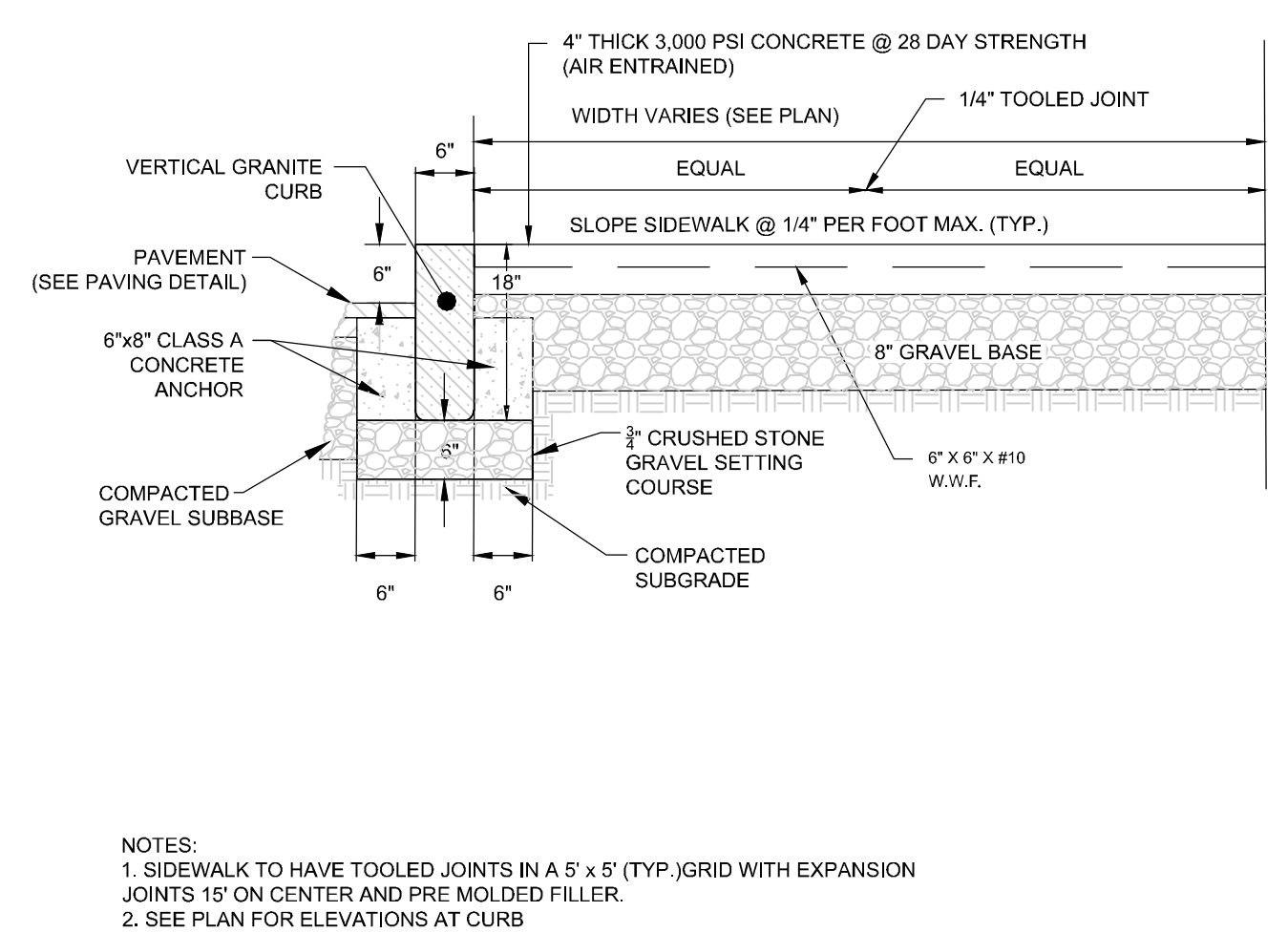
**BITUMINOUS CONCRETE PAVEMENT**  
 NOT TO SCALE **A4**



**VERTICAL GRANITE CURB**  
 NOT TO SCALE **A3**



**SLOPED GRANITE CURB DETAIL**  
 NOT TO SCALE **A2**



**VERTICAL GRANITE CURB & SIDEWALK DETAIL**  
 NOT TO SCALE **A1**

**600 NICKERSON ROAD - GMP EXPANSION**  
**CORE & SHELL IMPROVEMENTS**  
 600 NICKERSON ROAD  
 MARLBOROUGH, MA

OWNER/APPLICANT: KS PARTNERS, LLC

REV	DATE	DESCRIPTION
1	08/19/2021	REVISED PER CON COM MEETING COMMENTS 8/15/21

ISSUE TYPE:  
**DESIGN DEVELOPMENT**

ISSUE DATE:  
**07-16-2021**

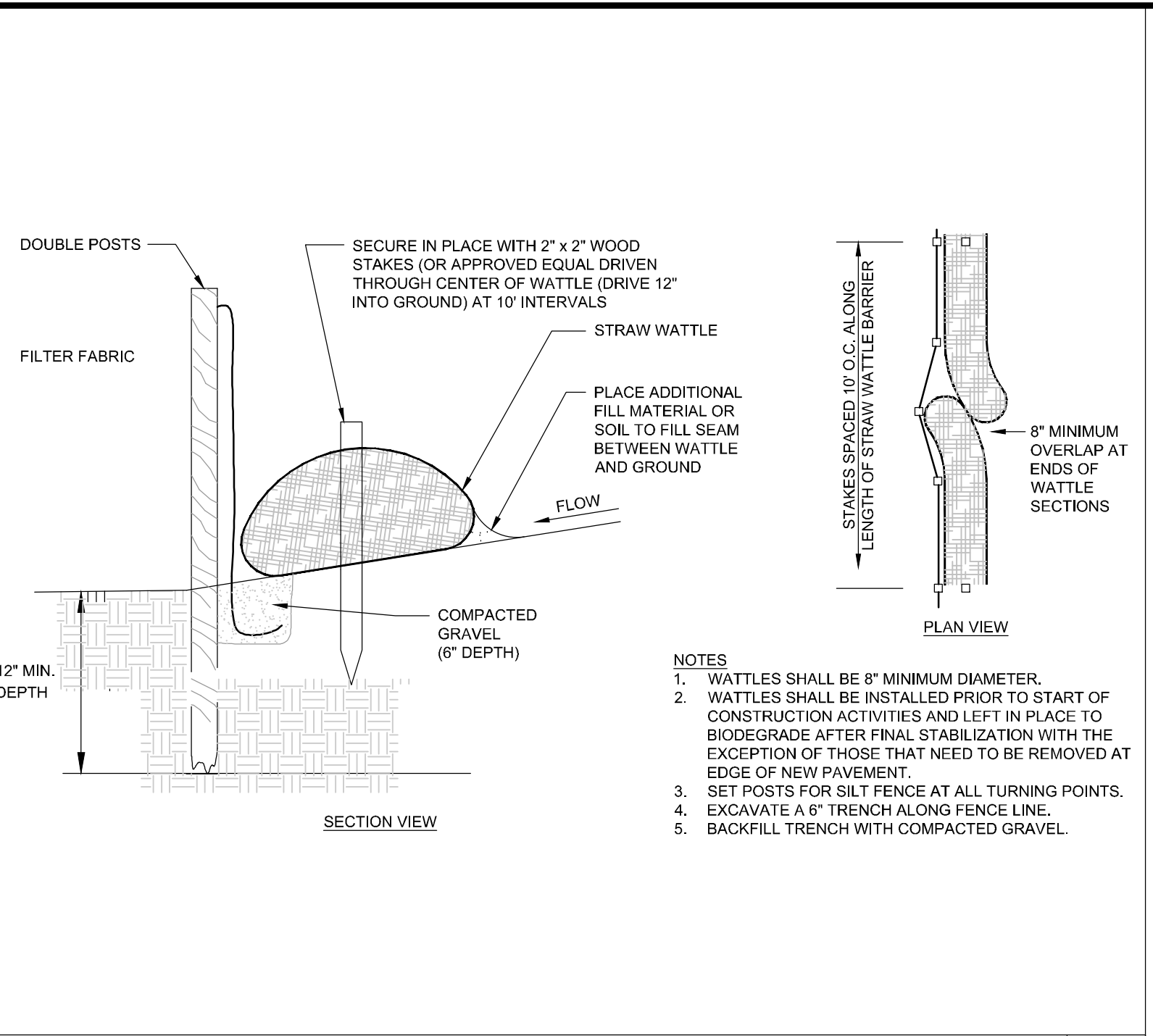
PROJECT NUMBER:  
**21012**

DRAWN BY: NK  
 CHECKED BY: DR

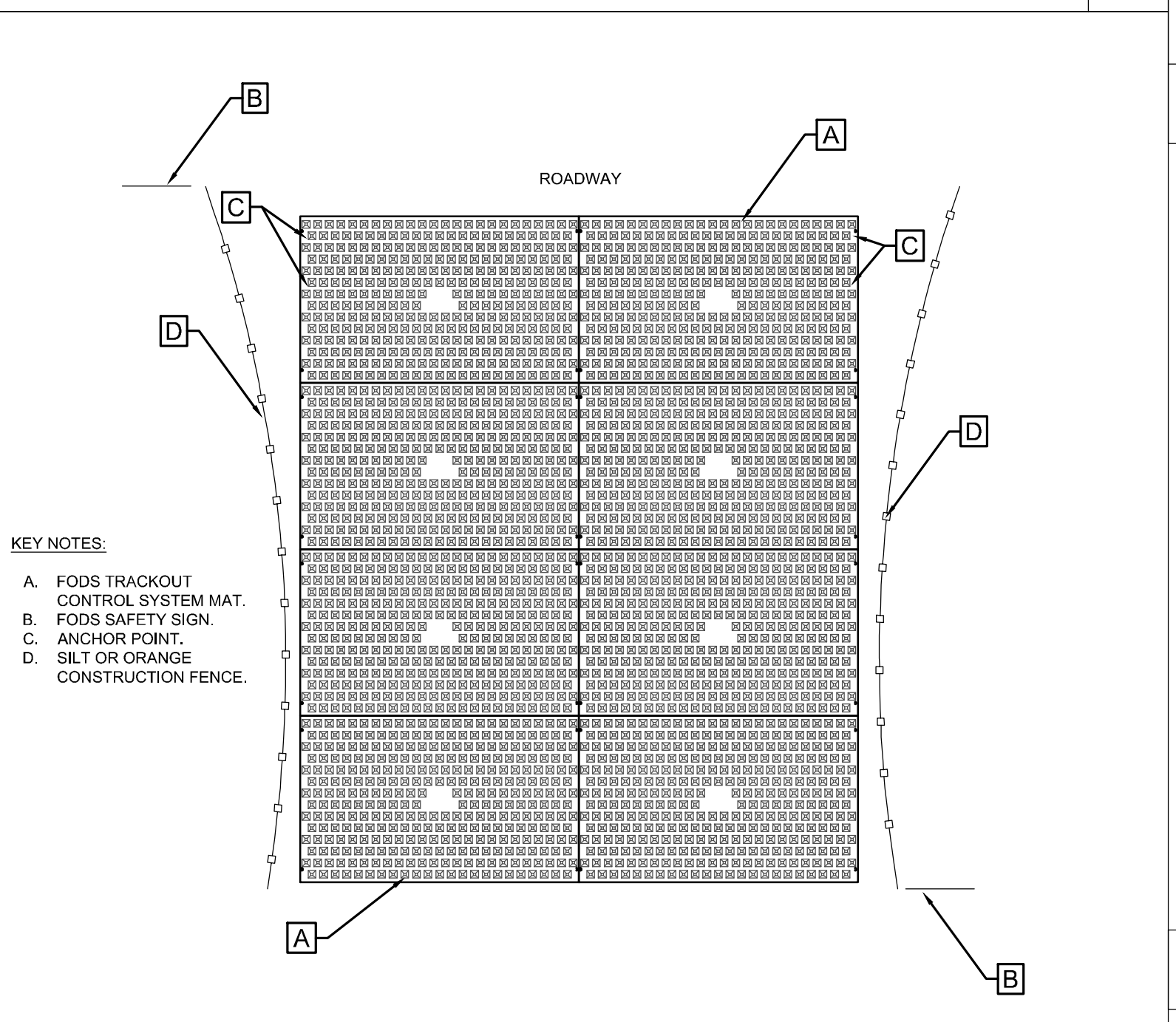
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SHEET TITLE:  
**DETAIL SHEET**

SHEET NUMBER:  
**C601**



**STRAW WATTLE/SILT FENCE EROSION CONTROL BARRIER** B3  
NOT TO SCALE



**INSTALLATION:**

- THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
- ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
- THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
- AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADJOINING MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE), TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
- AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
- ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
- NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
- UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS.
- SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

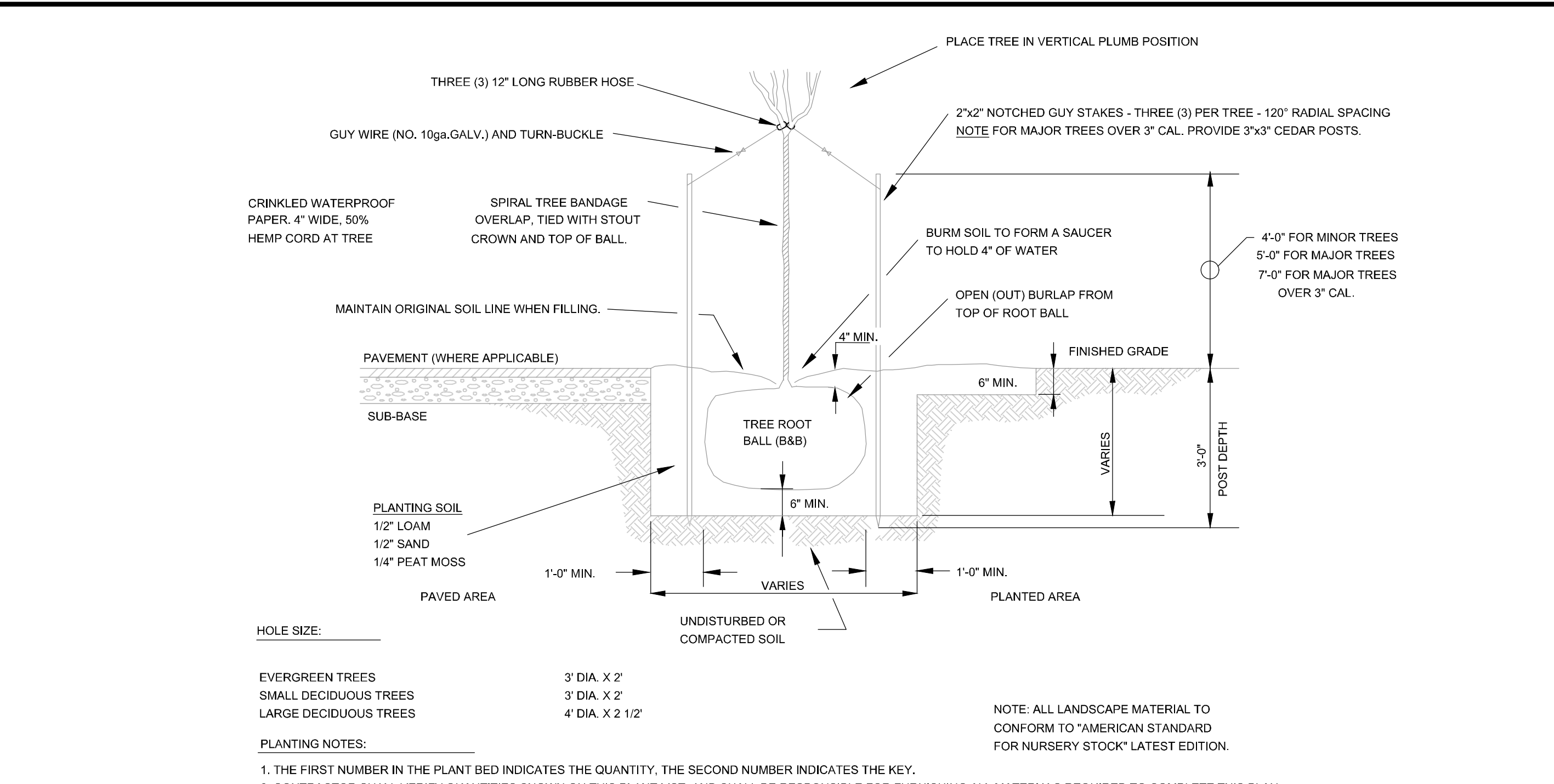
**USE AND MAINTENANCE**

- VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
- DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN ROUTE DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM.
- MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
- THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DE-ICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

**REMOVAL**

- REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
- STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
- THE ANCHORS SHOULD BE REMOVED.
- THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL SYSTEM.
- STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.

**FODS TRACKOUT CONTROL SYSTEM** A3  
NOT TO SCALE



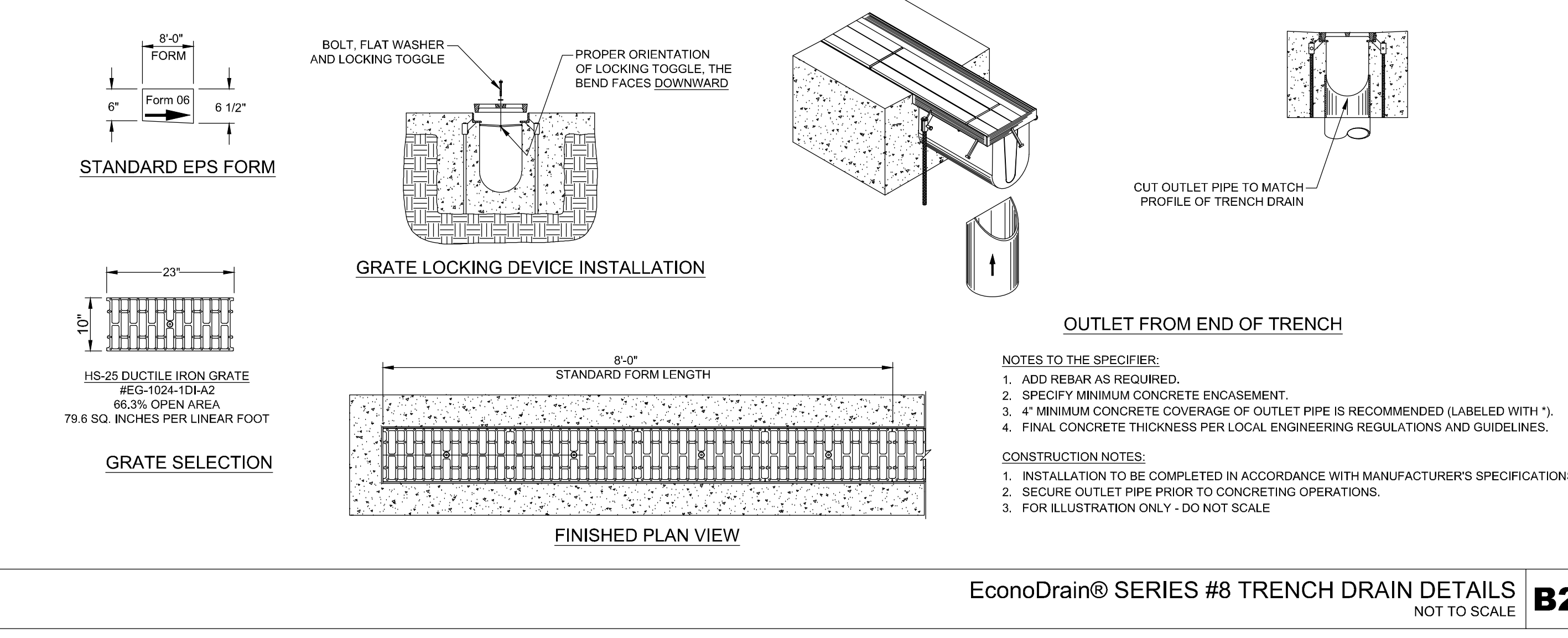
**PLANTING NOTES:**

- THE FIRST NUMBER IN THE PLANT BED INDICATES THE QUANTITY, THE SECOND NUMBER INDICATES THE KEY.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON THIS PLANT LIST, AND SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS REQUIRED TO COMPLETE THIS PLAN.
- OUTLINE OF PLANTING BEDS REPRESENTS CONTRACT LINES. AREAS WITHIN THESE LINES SHALL BE EXCAVATED 18\"/>

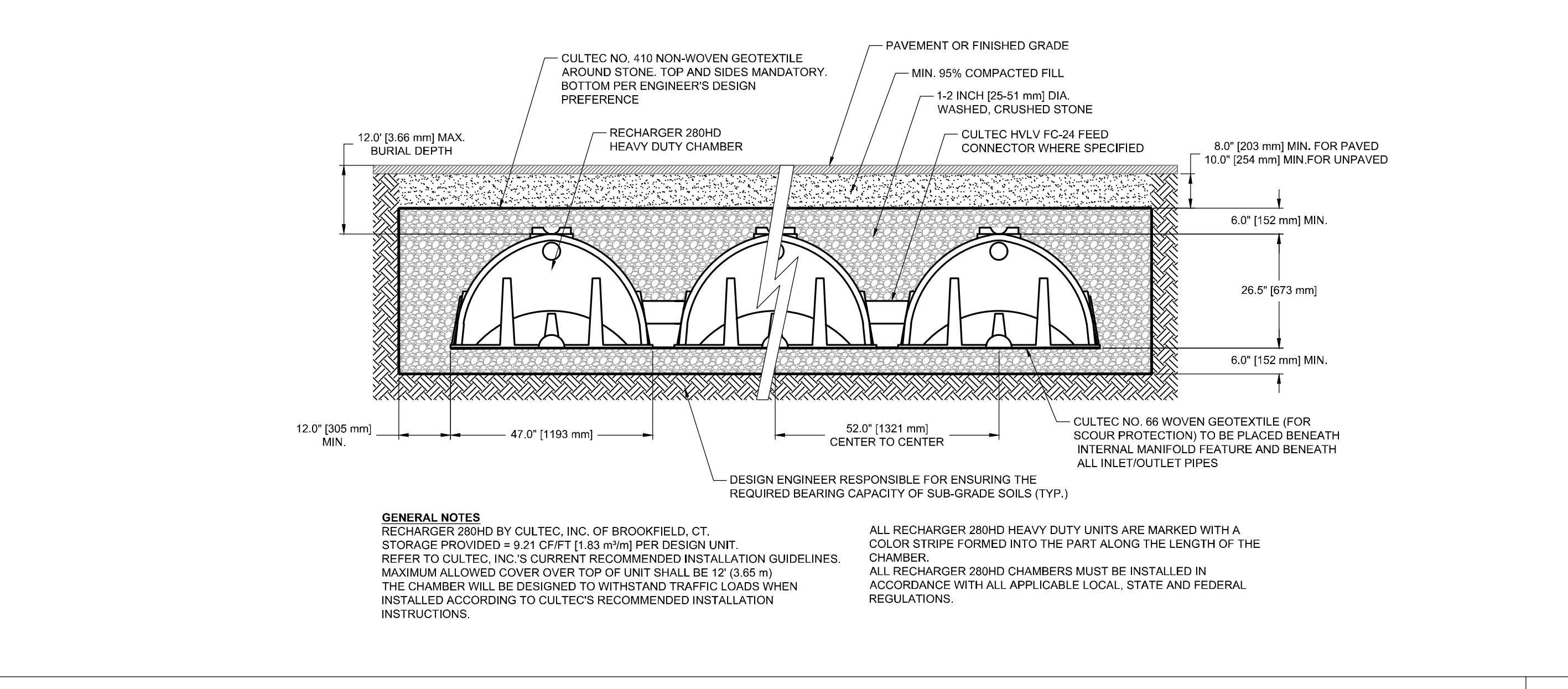
**HOLE SIZE:**

EVERGREEN TREES	3\"/>
SMALL DECIDUOUS TREES	3\"/>
LARGE DECIDUOUS TREES	4\"/>

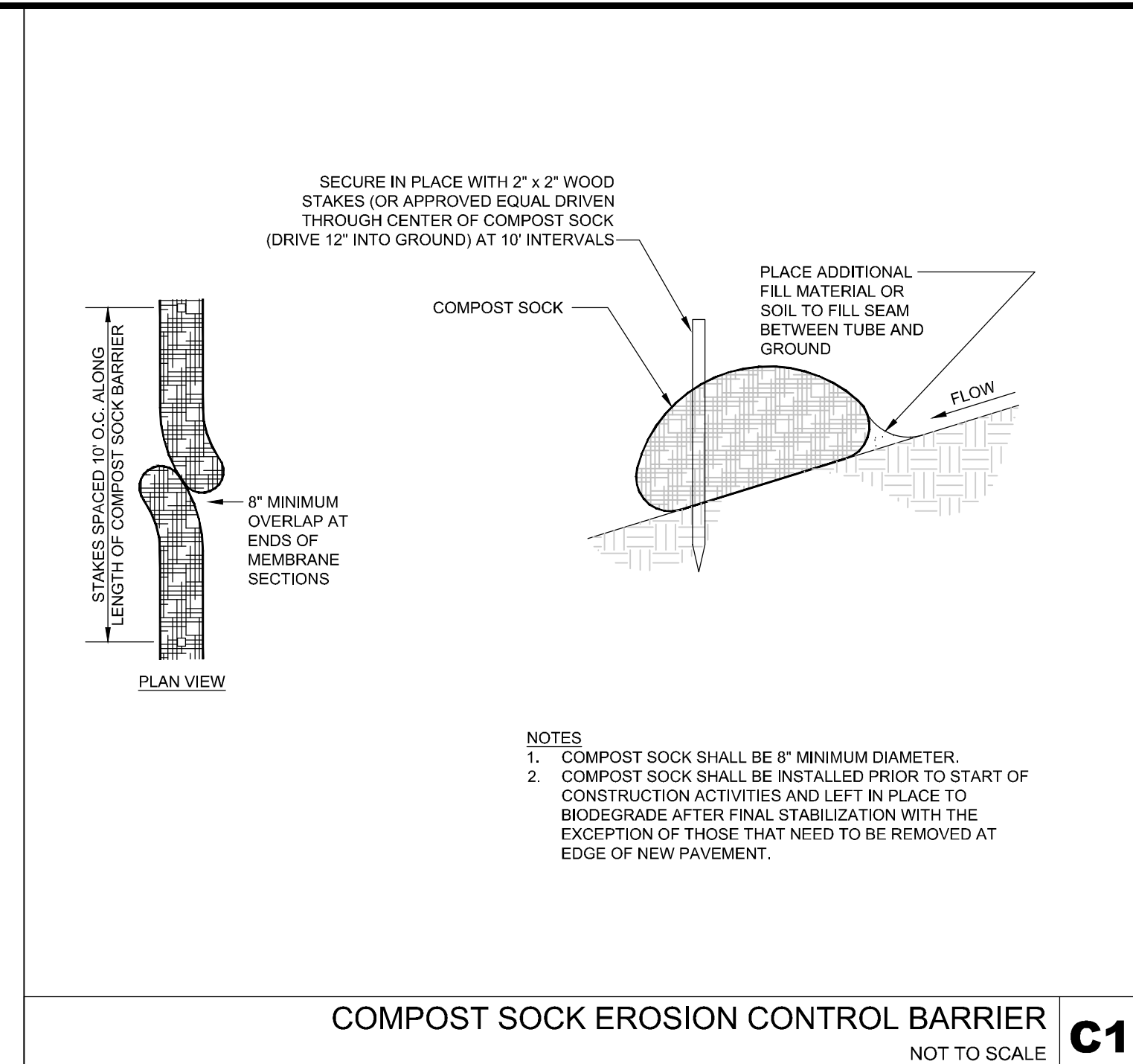
**TREE PLANTING DETAIL** C2  
NOT TO SCALE



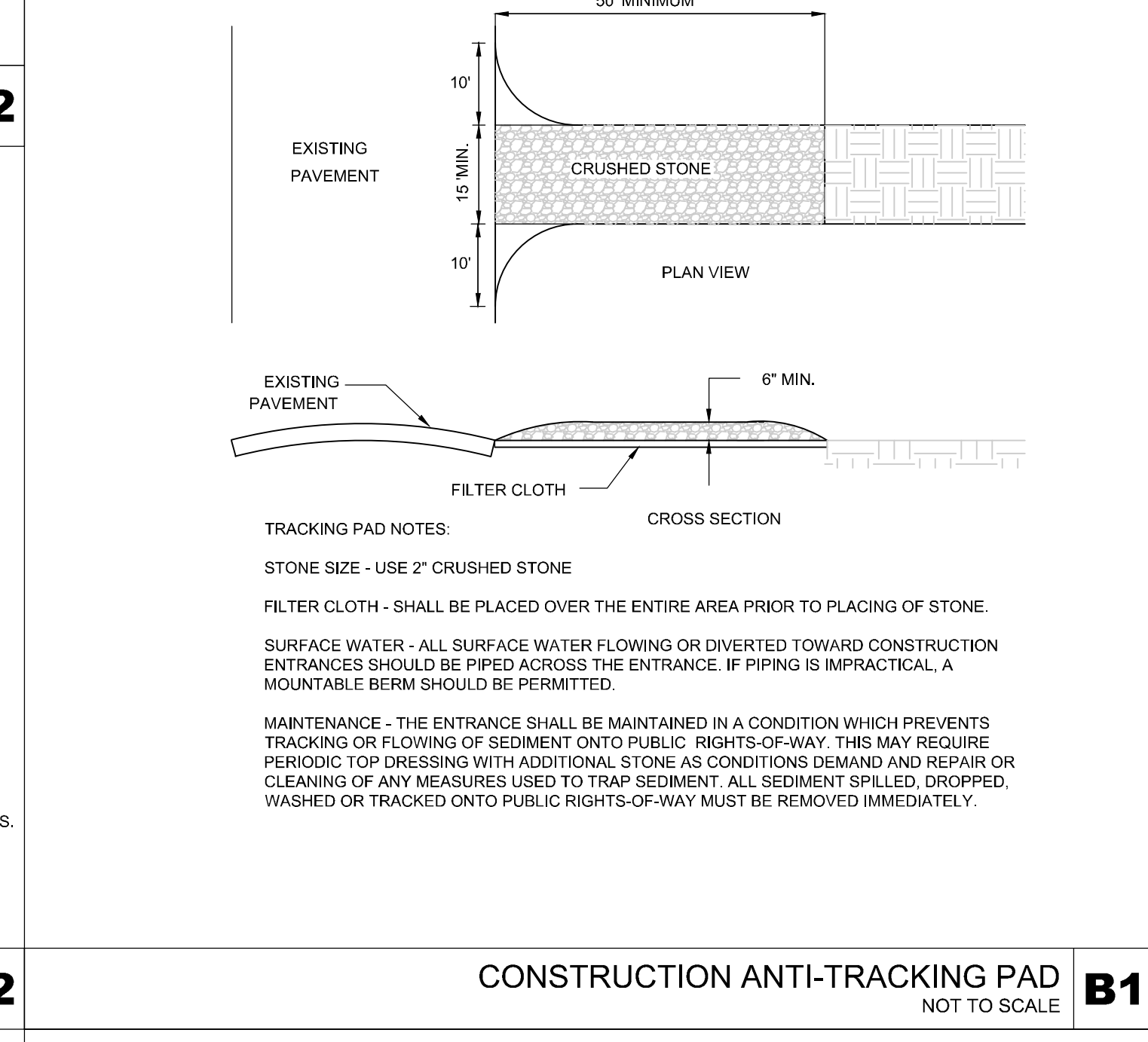
**EconoDrain® SERIES #8 TRENCH DRAIN DETAILS** B2  
NOT TO SCALE



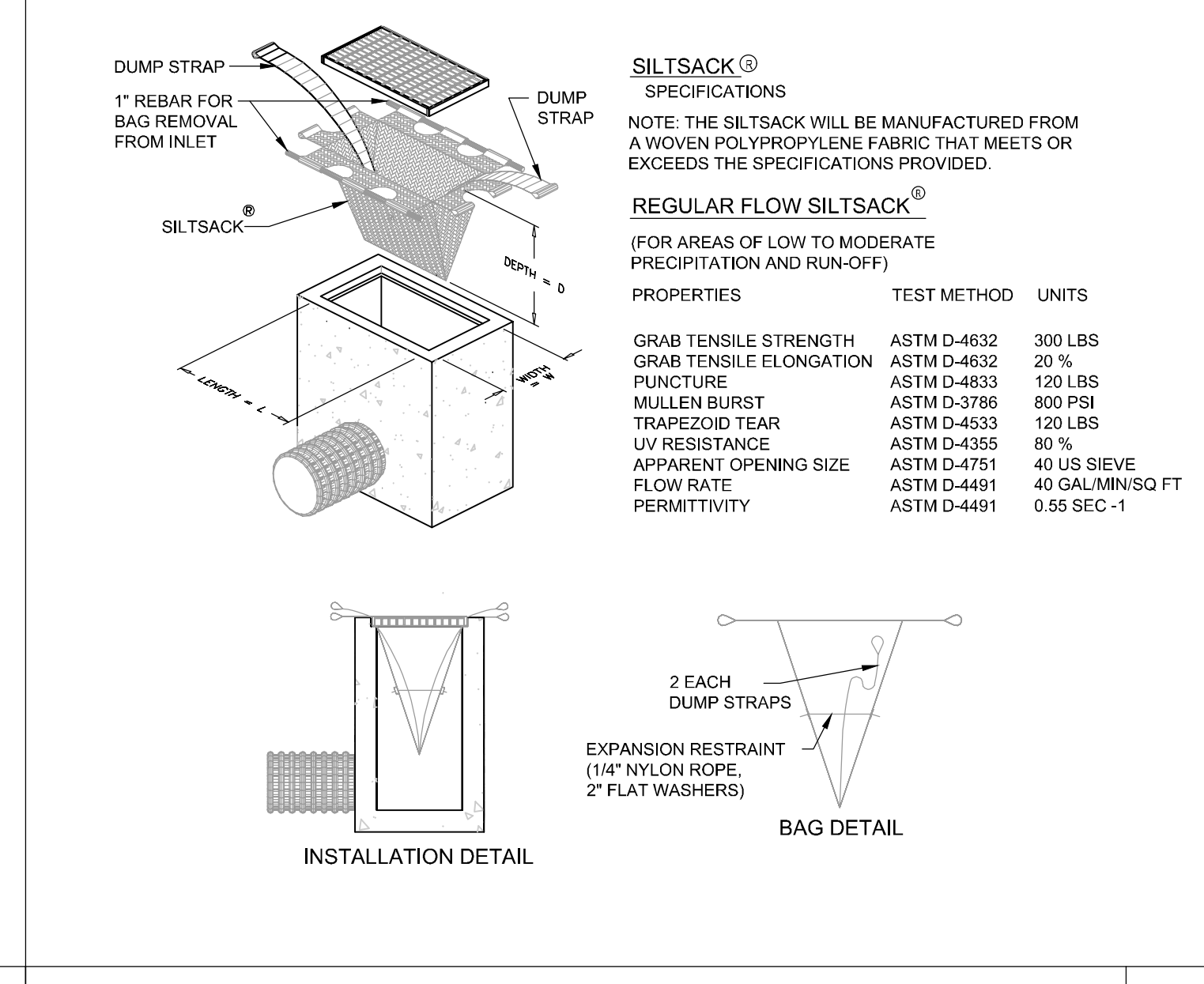
**CULTEC RECHARGER® 280HD DETAIL** A2  
NOT TO SCALE



**COMPOST SOCK EROSION CONTROL BARRIER** C1  
NOT TO SCALE



**CONSTRUCTION ANTI-TRACKING PAD** B1  
NOT TO SCALE



**SILTSACK CATCH BASIN INSERT** A1  
NOT TO SCALE

**HIGHPOINT ENGINEERING, INC.**  
LAND PLANNING  
SURVEYING  
CIVIL ENGINEERING  
CONSULTING

CLIENT:  
**KS PARTNERS, LLC**  
130 New Boston Street, Suite 303  
Woburn, MA 01801

CONSULTANT:  
**DEREK B. NEGATE**  
CIVIL ENGINEER  
NO. 41568  
REGISTERED

**600 NICKERSON ROAD - GMP EXPANSION**  
**CORE & SHELL IMPROVEMENTS**

600 NICKERSON ROAD  
MARLBOROUGH, MA

OWNER/APPLICANT: **KS PARTNERS, LLC**

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DRAWN BY: NK  
CHECKED BY: DR

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SHEET TITLE:  
**DETAIL SHEET**

SHEET NUMBER:  
**C602**

**ISSUED FOR: SITE PLAN REVIEW**

Construction Manager

Tenant

Project Manager

Consultant

Key Plan

Issue Schedule

Date	Description

Project No.

21107.11

Project Name

**CORE & SHELL IMPROVEMENTS**

Project Address

**600 NICKERSON RD.  
MARLBOROUGH  
MASSACHUSETTS**

Stamp

Sheet Title

**EXTERIOR BUILDING ELEVATIONS**

Approved By: BJ

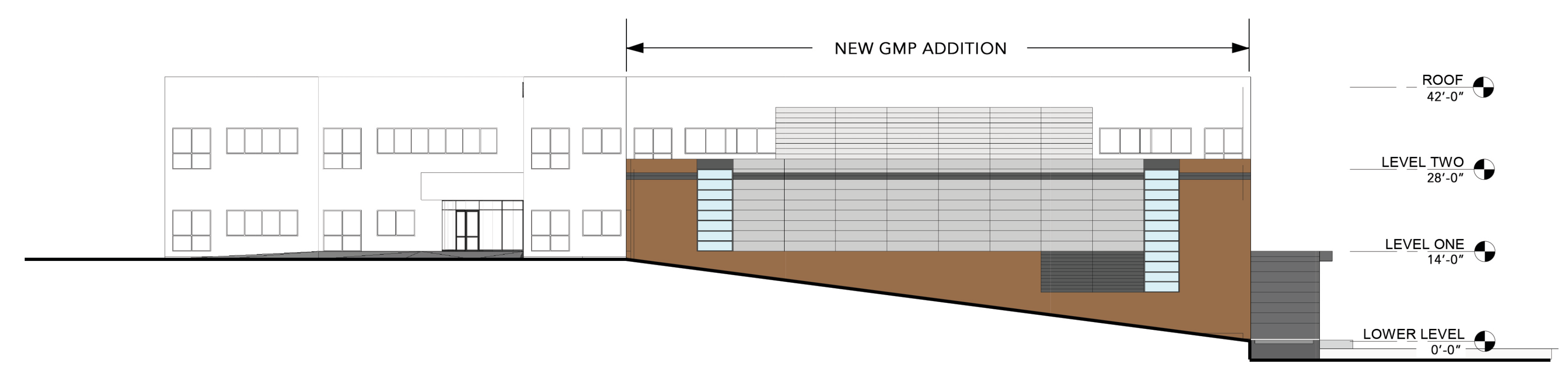
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Drawn By: TS

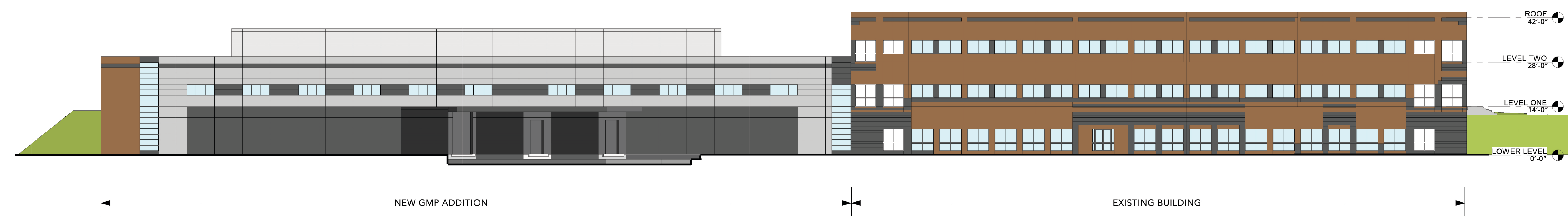
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Sheet Number

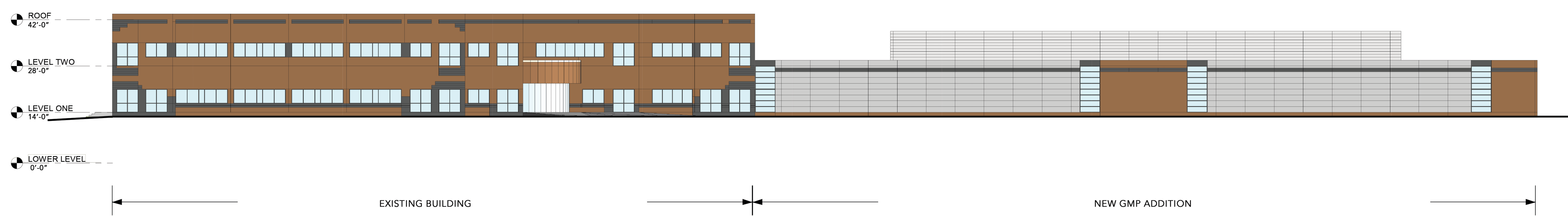
**A-5.0**



① East Elevation  
1/16" = 1'-0"



③ North Elevation  
1/16" = 1'-0"



② South Elevation  
1/16" = 1'-0"

7/12/2021 3:59:28 PM V:\data\600NICKERSON\Project\21107\_Core & Shell\_600-700 NickerSon Rdp\Rev\sketch.dwg made@600NickerSon\sketch.dwg - 2,1x





**BOSTON POST ROAD**  
(PUBLIC - VARIABLE WIDTH)  
750' SET  
ASPHALT PAVEMENT

**TEMPORARY BASIN**

**NOTE: temporary diversion swales and berms shall be constructed to direct runoff to the temporary basins**

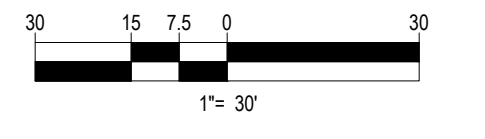
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**REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS**



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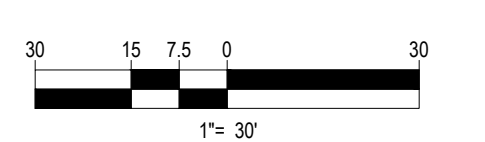
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**ARCO STORMWATER MANAGEMENT SEQUENCING  
LPC MARLBOROUGH**

**THIS SEQUENCING DOCUMENT IS SUBJECT TO CHANGE**

**BOHLER**  
SITE CIVIL, LAND SURVEYING, ENGINEERING  
PROGRAM MANAGEMENT  
LAND SURVEYING  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRUCKING SERVICES

**REVISIONS**

REV	DATE	COMMENT	ISSUED BY
1	08/13/2021	DPW COMMENTS	ASCC/EP JK/IB

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PROJECT No.: W211007  
DRAWN BY: CFC/AM  
CHECKED BY: NEM/JAK  
DATE: 08/09/2021  
CAD ID: W211007-CV1-1

**PROPOSED SITE PLAN DOCUMENTS**

FOR  
**LINCOLN PROPERTY COMPANY**

PROPOSED INDUSTRIAL BUILDING  
MAP #88, LOTS #29 & #36  
1000 NICKERSON ROAD  
CITY OF MARLBOROUGH  
MIDDLESEX COUNTY,  
MASSACHUSETTS

**BOHLER**  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
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NEW HAMPSHIRE LICENSE NO. 11028  
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PENNSYLVANIA LICENSE NO. 000178

SHEET TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN A**

SHEET NUMBER:

REVISION 1 - 08/13/2021

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REVISION 1 - 08/13/2021



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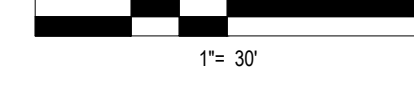
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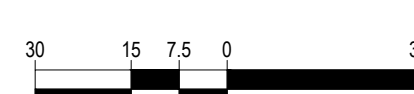
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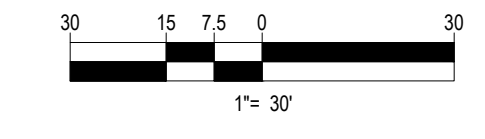
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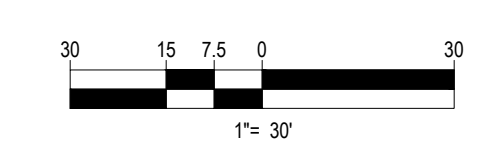
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BOSTON POST ROAD  
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750' SET  
POINTS  
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TEMPORARY  
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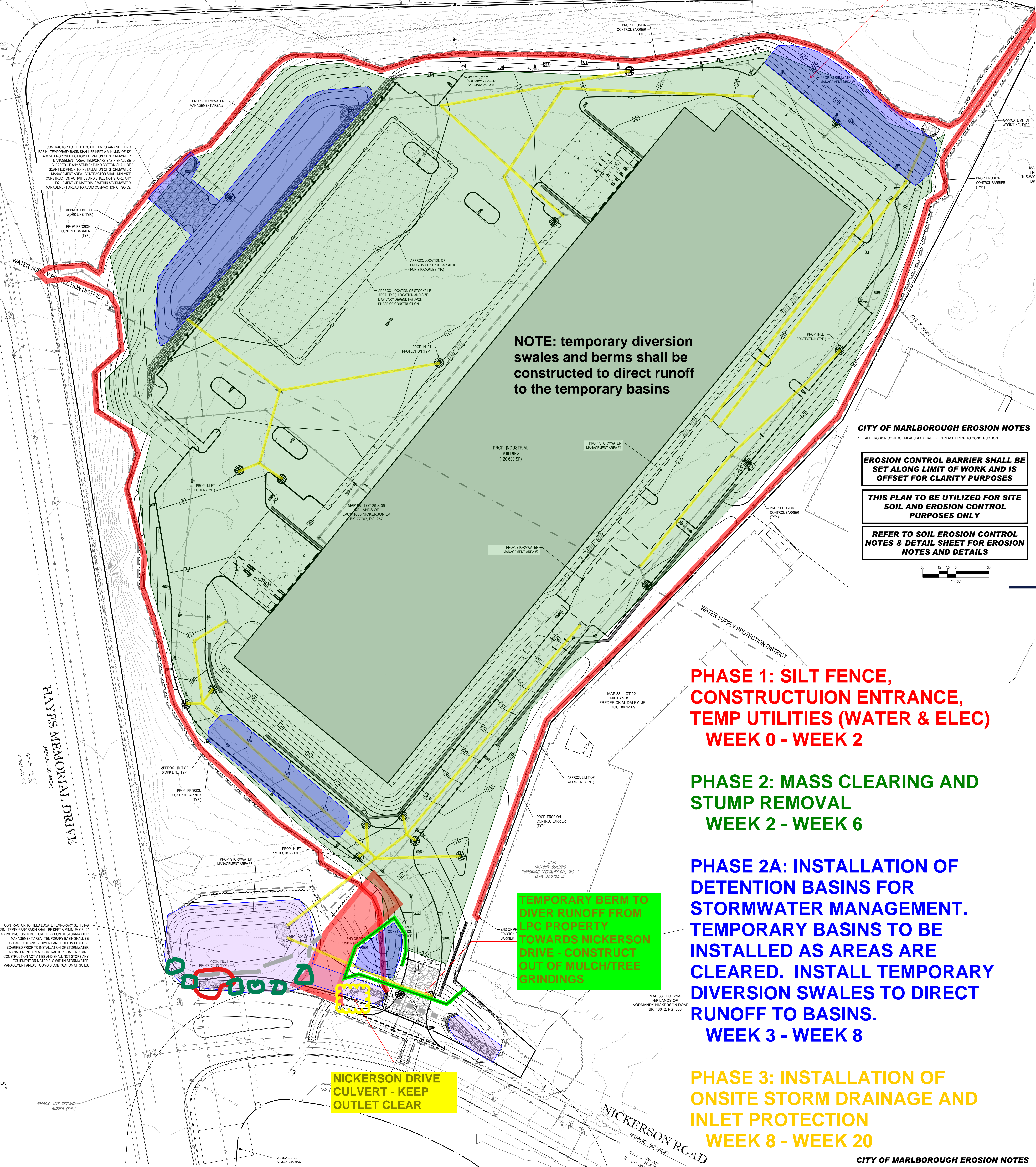
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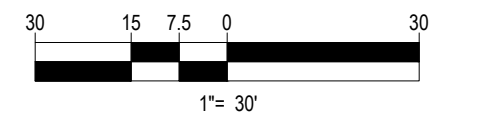
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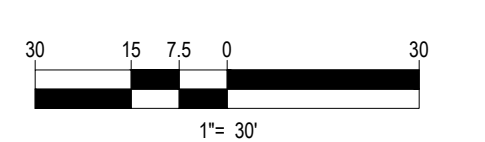
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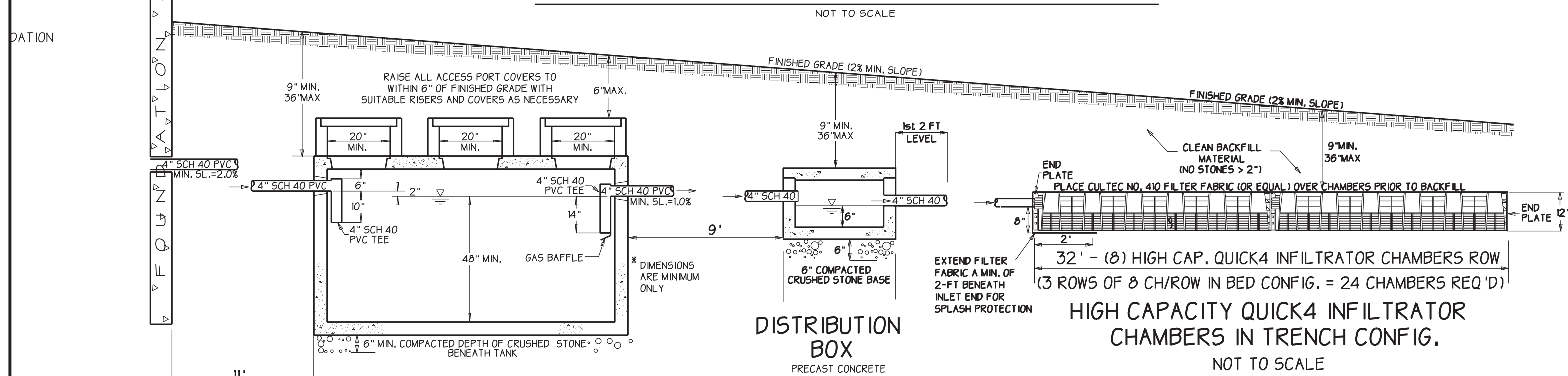
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# ARCO STORMWATER MANAGEMENT SEQUENCING LPC MARLBOROUGH

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**SEWAGE DISPOSAL SYSTEM PROFILE & DETAILS**



- SEPTIC TANK**  
 PRECAST CONCRETE  
 1500 GALLON CAPACITY  
 (SHALL CONFORM TO 310 CMR 15.226)  
 (SHEA CONCRETE PRODUCTS, INC. OR EQUAL)
1. INLET AND OUTLET TEES MUST BE SCH 40 PVC
  2. ACCESS PORTS AND COVERS MUST BE 20" MIN.
  3. SEPTIC TANK MUST BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH 310 CMR 15.300.
  4. TANK SHALL HAVE AN AIR SPACE A MIN. OF 3 INCHES ABOVE TEES AND 9 INCHES ABOVE FLOW LINE.

**DISTRIBUTION BOX**

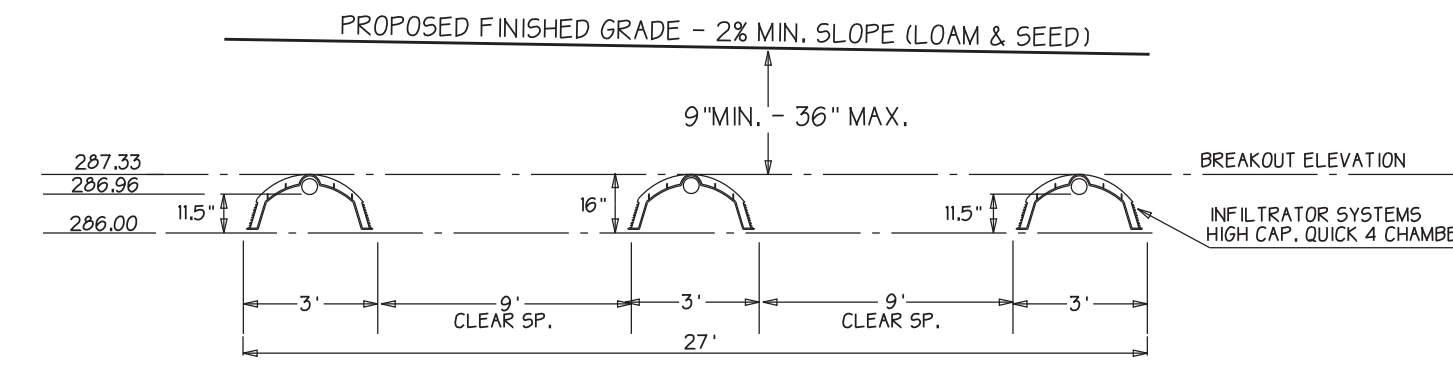
PRECAST CONCRETE  
 6 OUTLETS  
 (MORTAR ALL UNUSED KNOCKOUTS)

**HIGH CAPACITY QUICK4 INFILTRATOR CHAMBERS IN TRENCH CONFIG.**

NOT TO SCALE

**INSPECTION PORT DETAIL**

NOT TO SCALE  
 PROVIDE A MINIMUM OF ONE INSPECTION PORT

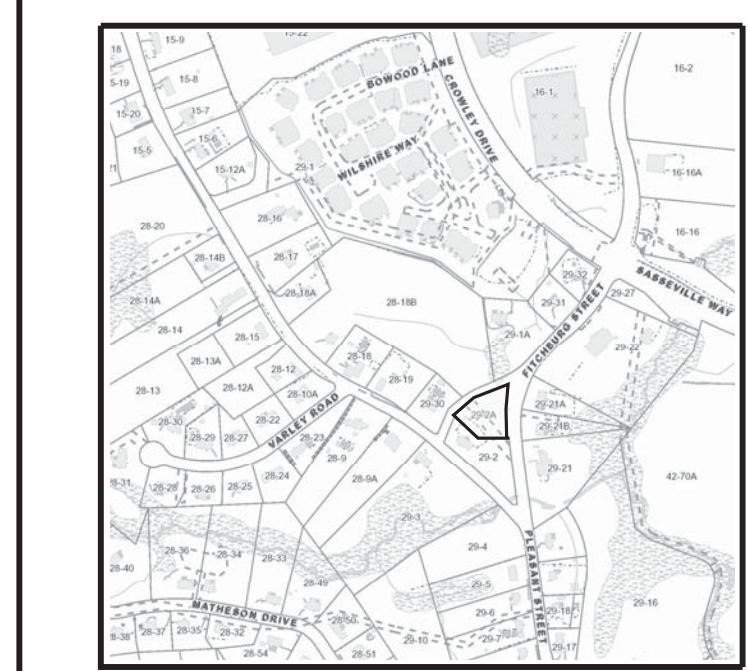


**SYSTEM CROSS SECTION**

NO SCALE

**RECON 50 CONCRETE BLOCK RET. WALL WITH IMPERVIOUS POLY BARRIER**

1. LEVEL AND COMPACT A SOLID BASE FOR FIRST COURSE OF BLOCKS. REMOVE AND REPLACE TOPSOIL AND SUBSOIL WITH COMPACTED GRANULAR FILL AS NEEDED.
2. PLACE FIRST COURSE OF BLOCKS ON THE COMPACTED LEVEL BASE (92.5). CONSTRUCT WALL AS REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
3. PLACE 40 MIL POLYSYNTHETIC LINER OVER INSIDE FACE OF WALL PRIOR TO BACKFILL.
4. BACKFILL LINER WITH CLEAN GRANULAR MATERIAL MEETING REQUIREMENTS OF 310 CMR 15.255.
5. CONTACTS:  
 LINER: MILLER ENVIRONMENTAL PRODUCTS 1-908-697-3710  
 BLOCKS: W.J.GRAVES CONCRETE 1-978-939-5568



**LOCUS**

NOT TO SCALE

**DEEP OBSERVATION HOLE LOGS**

TEST HOLE: TP-2  
 DATE: 6/18/08  
 SURFACE EL.: 282.5

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING	REMARKS
0-6"	A	MSL	10YR3/1		MASSIVE, FR.
6-12"	E	MLS	2.5Y4/6		MASSIVE, FR.
12-36"	BC	MLS	10YR5/8	0.10" 2.5YR4/8	MASSIVE, FR.
36-120"	C	CLS	2.5Y5/3		STRUCTURELESS 10% GRAVEL

DEPTH TO: BEDROCK: NONE  
 STANDING WATER: NONE  
 SEEPAGE: NONE  
 ESTIMATED SEASONAL HIGH GROUNDWATER: 10" (281.0)

TEST HOLE: TP#3  
 DATE: 6/18/08  
 SURFACE EL.: 283.0

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING	REMARKS
0-6"	A	MSL	10YR3/3		MASSIVE, FR.
6-12"	E	MLS	2.5Y4/6		MASSIVE, FR.
12-36"	B	MLS	10YR5/8	0.24" 2.5YR4/8	MASSIVE, FR.
36-120"	C	CLS	2.5Y4/3		STRUCTURELESS 10% GRAVEL

DEPTH TO: BEDROCK: NONE  
 STANDING WATER: NONE  
 SEEPAGE: NONE  
 ESTIMATED SEASONAL HIGH GROUNDWATER: 24" (281.0)

**ELEVATION SCHEDULE**

TOP OF FOUNDATION	293.50
INVERTS	
AT FOUNDATION	288.15
AT SEPTIC TANK INLET	287.75
AT SEPTIC TANK OUTLET	287.50
AT D-BOX INLET	287.23
AT D-BOX OUTLET	287.06
AT CHAMBER INLET	286.96
AT CHAMBER BOTTOM	286.00
TOP OF CHAMBER (BREAKOUT)	287.33
MIN. FINISH GRADE OVER CHAMBERS	288.33

**PERCOLATION TESTS**

ENGINEER: A. GORODETSKY, PE  
 HEALTH AGENT: ROBERT LANDRY, RS

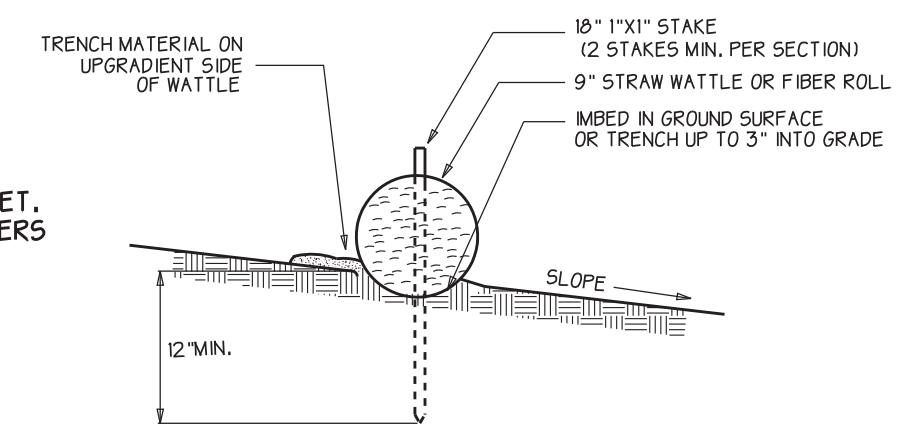
	PT-2	PT-3
DATE	6/18/08	6/18/08
DEPTH	44"	50"
RATE	9 MPI	2 MPI

**LEGEND**

- S.T. PROPOSED 1,500 GALLON PRECAST CONCRETE SEPTIC TANK
- D-BOX PROPOSED 6-OUTLET PRECAST CONCRETE DISTRIBUTION BOX
- TP DEEP TEST HOLE
- P PERCOLATION TEST
- 285X5 PROPOSED SPOT ELEVATION (TYP.)
- 258--- EXISTING 1-FT CONTOUR (TYP.)
- 260--- EXISTING 5-FT CONTOUR (TYP.)
- 264--- PROPOSED FINISHED CONTOUR (TYP.)

**STAKED STRAW WATTLE EROSION CONTROL BARRIER (ECB)**

NOT TO SCALE  
 (SEE PLAN VIEW FOR PROPOSED LOCATION)



**GENERAL NOTES**

1. THIS PLAN IS FOR THE CONSTRUCTION OF THE PROPOSED SEWAGE DISPOSAL SYSTEM ONLY. OTHER LOCAL REGULATIONS MAY BE APPLICABLE TO THE PROJECT (I.E. ZONING, WETLANDS, ETC.).
2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN OBSERVED FIELD CONDITIONS AND THIS DESIGN PLAN PRIOR TO INITIATING CONSTRUCTION.
3. PROPERTY BOUNDARIES SHOWN ARE THE RESULT OF A SURVEY BY FORESITE ENGINEERING ASSOCIATES, INC. WITH REFERENCE TO MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS PLAN NO. 401 OF 2009.
4. THE SYSTEM IS NOT DESIGNED FOR USE WITH A GARBAGE GRINDER.
5. THE SEPTIC TANK SHALL BE PUMPED WHEN THE SLUDGE DEPTH EXCEEDS 1/8 OF THE LIQUID CAPACITY OF THE SEPTIC TANK (ABOUT ONCE EVERY 2 YEARS) OR AS REQUIRED BY THE LOCAL BOARD OF HEALTH.
6. ANY PROPOSED WORK WITHIN 100 FEET OF A BORDERING VEGETATED WETLAND OR OTHER PROTECTED RESOURCE AREA IS UNDER THE JURISDICTION OF THE WETLANDS PROTECTION ACT AND THE LOCAL CONSERVATION COMMISSION.
7. ALL KNOWN DRINKING WATER WELLS WITHIN 200 FEET OF THE PROPOSED SEWAGE DISPOSAL SYSTEM ARE SHOWN OR INDICATED.
8. SITE IS NOT LOCATED WITHIN A DEP DESIGNATED NITROGEN SENSITIVE AREA (ZONE I, ZONE II, IMPA).

**CONSTRUCTION NOTES**

1. CONTRACTOR SHALL CONTACT 'DIGSAFE' AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE EXCAVATING ON PUBLIC OR PRIVATE PROPERTY.
2. CONSTRUCTION MATERIALS AND CONSTRUCTION METHODOLOGY SHALL CONFORM TO THIS PLAN, TITLE 5, AND THE REQUIREMENTS OF THE BOARD OF HEALTH.
3. ANY DEVIATION IN CONSTRUCTION FROM THIS PLAN SHALL VOID ANY CERTIFICATION MADE RELATIVE TO THE SYSTEM UNLESS APPROVED IN WRITING BY THE LOCAL APPROVING AUTHORITY AND FORESITE ENGINEERING ASSOCIATES, INC.
4. ALL TANKS INCLUDING SEPTIC TANKS, DISTRIBUTION BOXES, DOSING CHAMBERS AND GREASE TRAPS, SHALL EITHER BE WATERTIGHT BY MANUFACTURER'S SPECIFICATION OR MADE WATERTIGHT WITH ASPHALT OR POLYMER SEALER.
5. ALL PRECAST CONCRETE TANKS AND DISTRIBUTION BOXES SHALL BE SET ON A MINIMUM OF SIX INCHES OF WELL COMPACTED CRUSHED STONE AND SHALL BE MADE WATER TIGHT.
6. DISTRIBUTION BOX OUTLET PIPES SHALL BE LAID LEVEL FOR THE FIRST TWO FEET OUT OF THE DISTRIBUTION BOX.
7. DISTRIBUTION BOX SHALL BE SET ON A FIRM BASE OF EITHER SIX INCHES OF COMPACTED CRUSHED STONE OR A SIX-INCH THICK CONCRETE PAD WITH AN AREA 1.5 TIMES THE BOTTOM AREA OF THE DISTRIBUTION BOX.
8. AN INLET TEE SHALL BE INSTALLED IN THE DISTRIBUTION BOX WHEN THE SYSTEM IS A PUMP SYSTEM OR WHEN THE SLOPE OF THE INLET PIPE EXCEEDS 0.8%.
9. SYSTEM SHALL BE VENTED THROUGH THE BUILDING PLUMBING OR AS SHOWN ON THE SYSTEM PROFILE.
10. ALL SURFACES SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF FILL.
11. ALL UNSUITABLE MATERIAL ENCOUNTERED IN THE EXCAVATION SHALL BE REMOVED.
12. ALL CRUSHED STONE USED IN THE CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM SHALL BE THE SIZE SPECIFIED, DURABLE AND DOUBLE WASHED.
13. WHEN GRAVEL FILL IS REQUIRED, ALL ORGANIC MATERIAL WITHIN 5 FEET OF THE PROPOSED LEACHING FACILITY SHALL BE REMOVED AND REPLACED WITH WELL COMPACTED GRANULAR FILL MEETING THE REQUIREMENTS OF 310 CMR 15.255.
14. ALL BACKFILL AND BREAKOUT FILL REQUIRED SHALL BE CLEAN EARTHEN MATERIAL FREE OF CONSTRUCTION DEBRIS, STUMPS, BOULDERS AND FROZEN EARTH. FILL MATERIAL SHALL BE PLACED IN A MANNER THAT WILL ENSURE RUNOFF AND PREVENT EROSION.
15. SEWAGE DISPOSAL SYSTEM CORNERS SHALL BE STAKED AND FLAGGED BY A PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR PRIOR TO THE START OF CONSTRUCTION.
16. ALL SYSTEM COMPONENTS SHALL BE MARKED WITH MAGNETIC MARKING TAPE OR A COMPARABLE MEANS IN ORDER TO LOCATE THEM ONCE BURIED.

**SEWAGE DISPOSAL SYSTEM DESIGN PLAN**

LOCATION: **641 PLEASANT STREET**  
 MARLBOROUGH, MASSACHUSETTS 01752  
 ASSE550RS MAP 29 LOT 2A

PREPARED FOR: **BIG DADDY REALTY TRUST**  
 736 BOSTON POST ROAD  
 SUDBURY, MASSACHUSETTS 01776

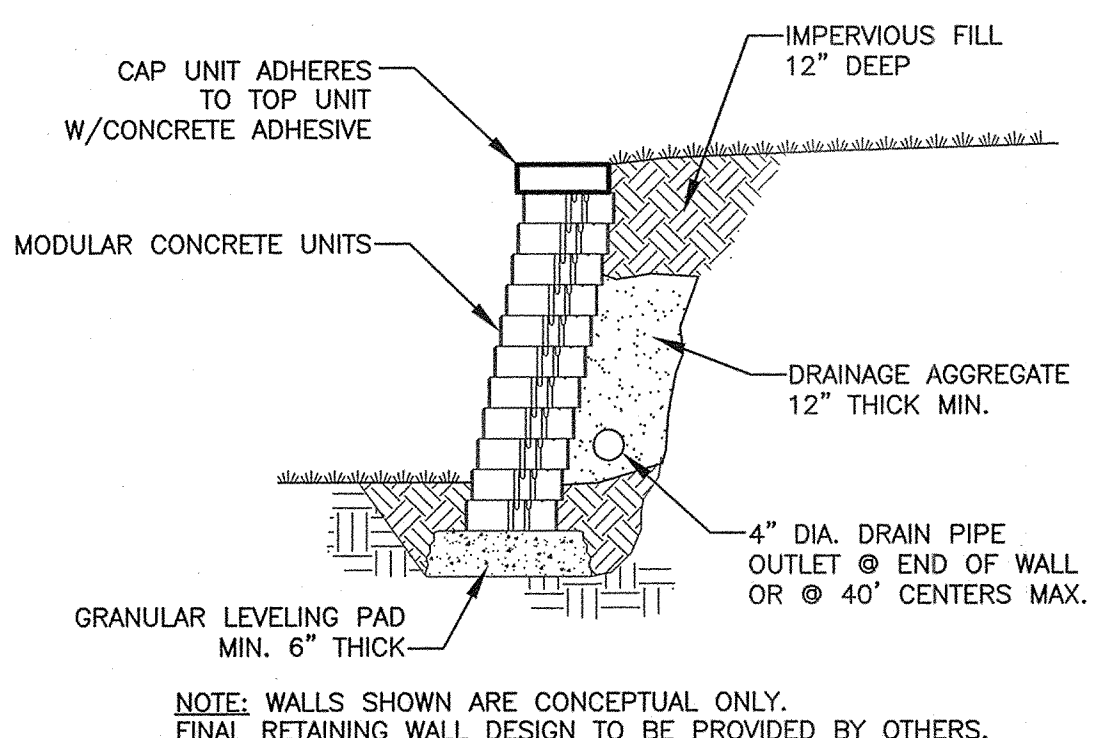
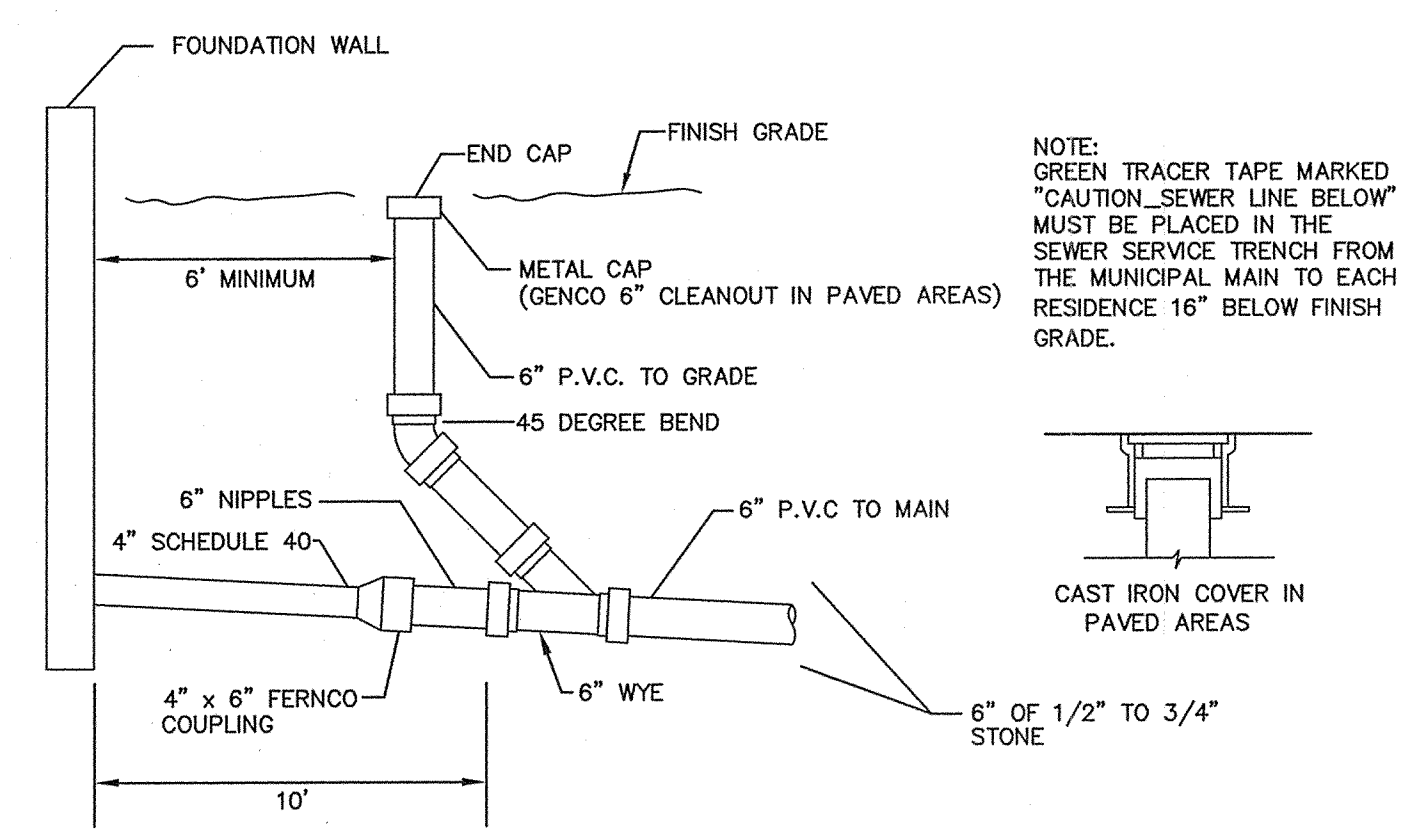
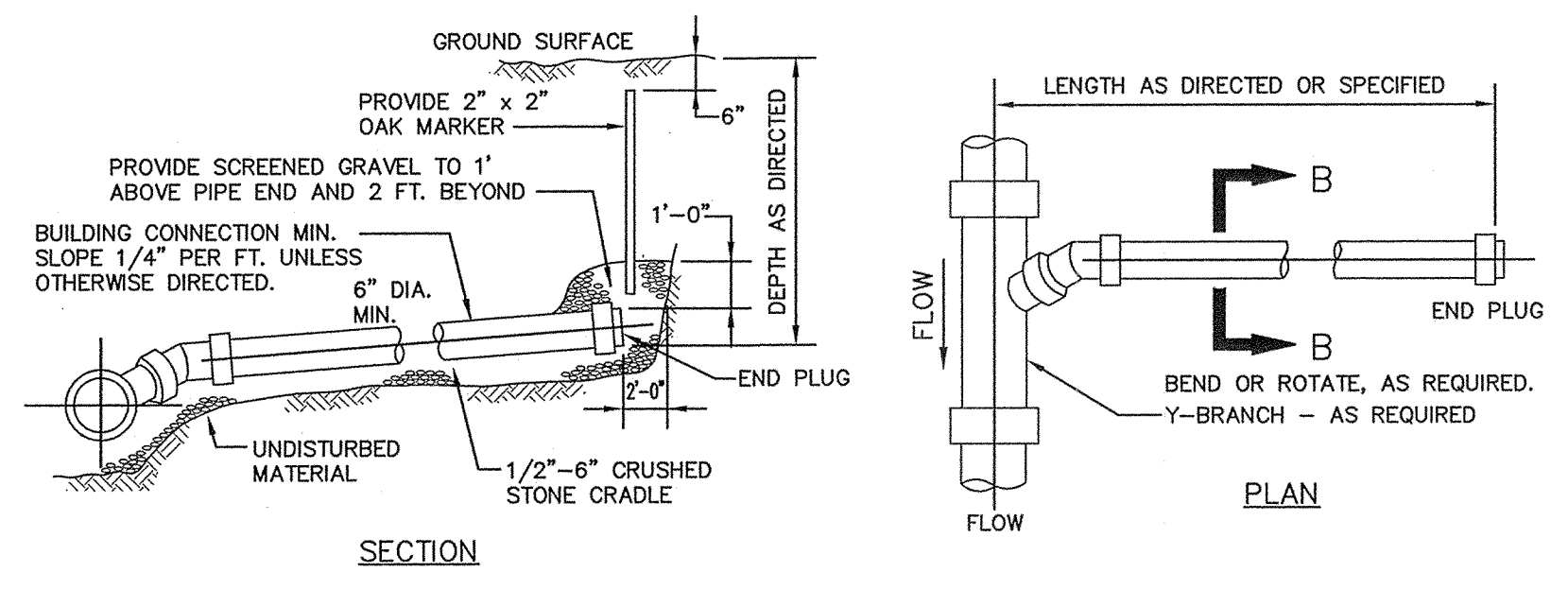
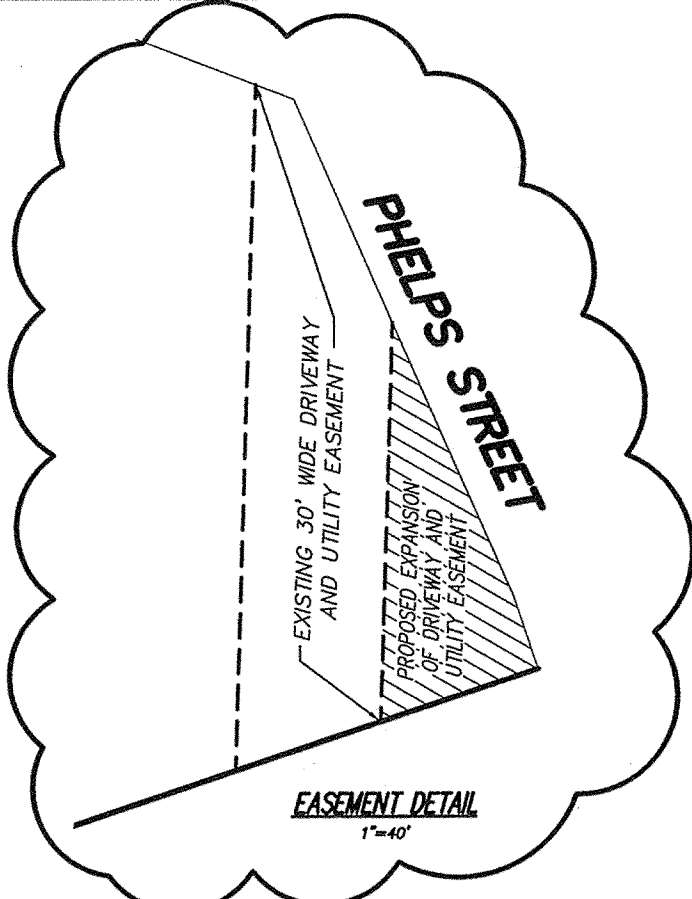
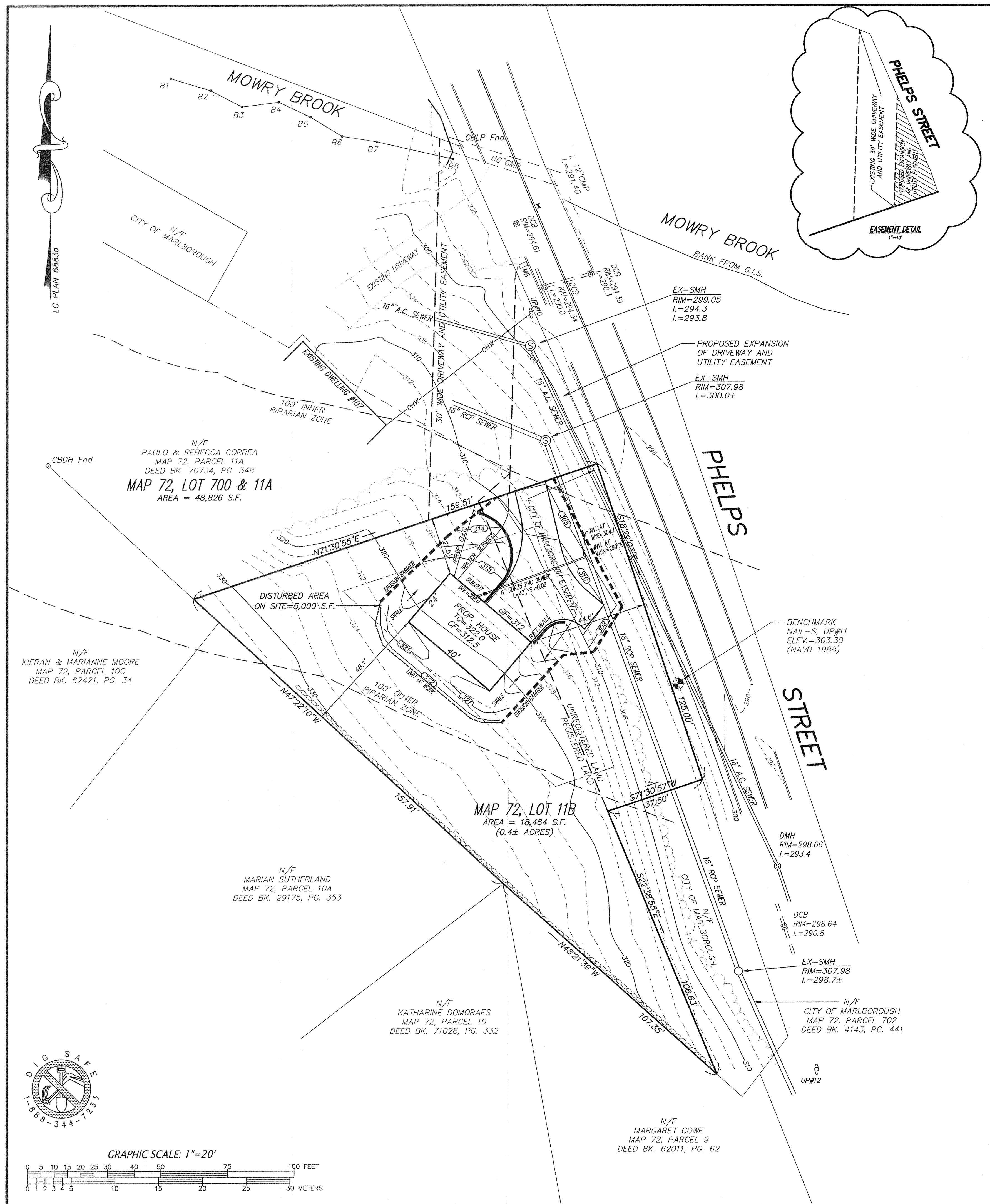
DATE: JUNE 1, 2021; REV. 8/18/21 SCALE: 1 INCH = 20 FEET

ENGINEERING SURVEYING PLANNING

**FORESITE ENGINEERING**  
 16 Gleasondale Road Suite 1-1  
 Stow, Massachusetts 01775  
 Phone: (978) 461-2350

www.foresitel.com

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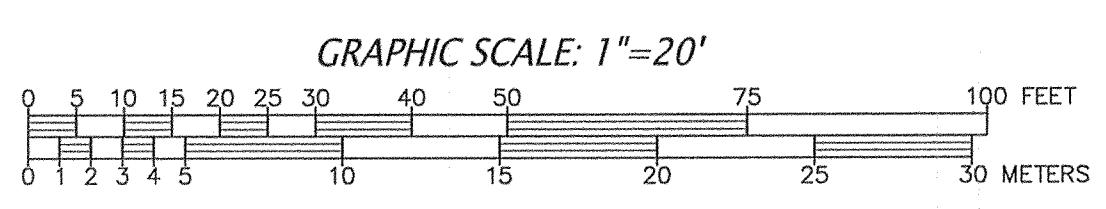
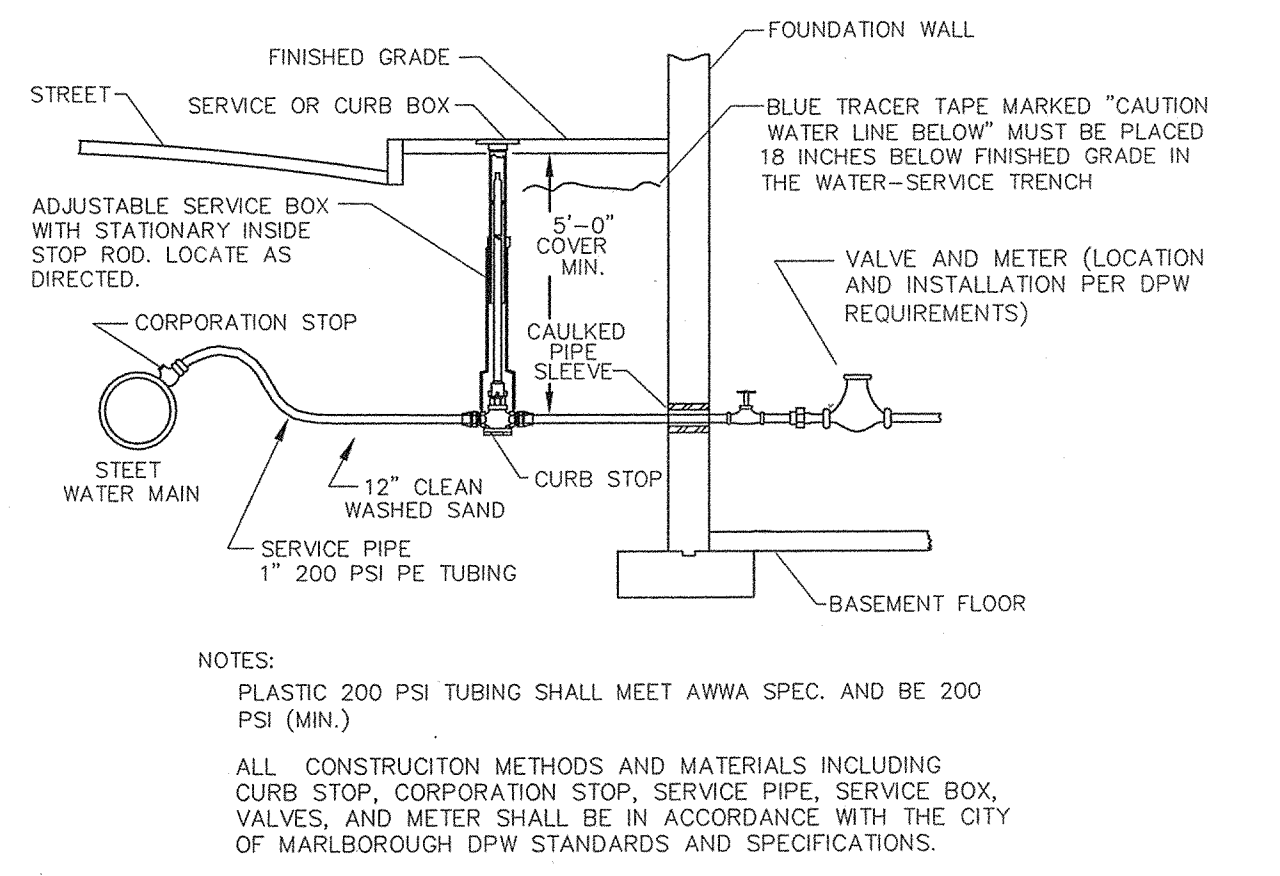


- GENERAL NOTES:**
- EXISTING TOPOGRAPHY IS BASED UPON A FIELD SURVEY BY CONNORSTONE ENGINEERING, INC. ON 8/1/2017. ELEVATIONS REFER TO NAVD 1988. SEE BENCHMARK, NAIL SET IN UTILITY POLE #11. ABUTTING LOT INFORMATION; HOUSES, DRIVEWAYS, ETC. TAKEN FROM CITY OF MARLBOROUGH GIS DATA. PROPERTY LINES ARE BASED UPON EXISTING PLANS AND DEEDS OF RECORD.
  - THE PARCEL IS SHOWN ON ASSESSORS MAP 71, PARCEL 701 & 702.
  - EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT DIG SAFE: 1-800-344-7233 (72 HOURS BEFORE DIGGING), AND TOWN DPW FOR UTILITY LOCATIONS PRIOR TO EXCAVATION. TEST PITS SHALL BE UTILIZED FOR UTILITY CONNECTIONS.
  - THE LOT SHOWN AND THE DWELLING THEREON ARE NOT LOCATED WITHIN THE 100 YEAR FEDERAL FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF MARLBOROUGH, MAP NUMBER 25017C0482F, DATED JULY 7, 2014.

**ZONED: RESIDENCE A2 - PROPOSED DWELLING**

	REQUIRED	PROPOSED HOUSE
AREA	18,000 sf	18,464 sf
FRONTAGE	120 feet	125 feet
FRONT	30 feet	44.5'
SIDE	15 feet	21.5'
REAR	40 feet	48.1'

EXISTING IMPERVIOUS LOT COVERAGE = 0 S.F.± (0%)  
PROPOSED IMPERVIOUS LOT COVERAGE = 2,126 S.F.± (11.5%): 30% MAX

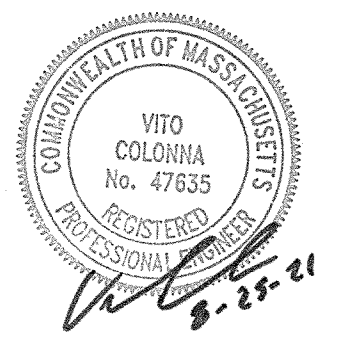


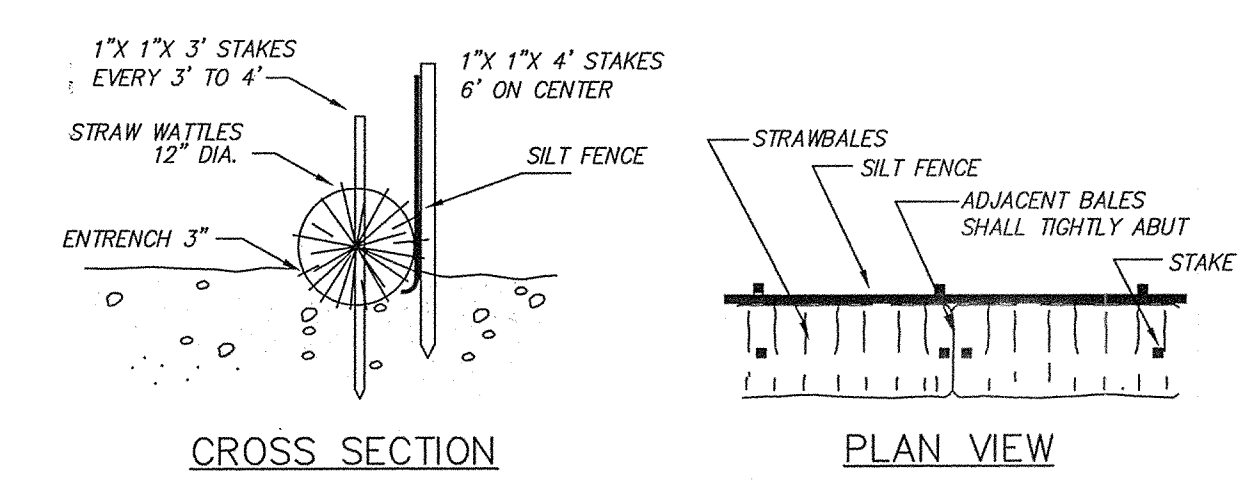
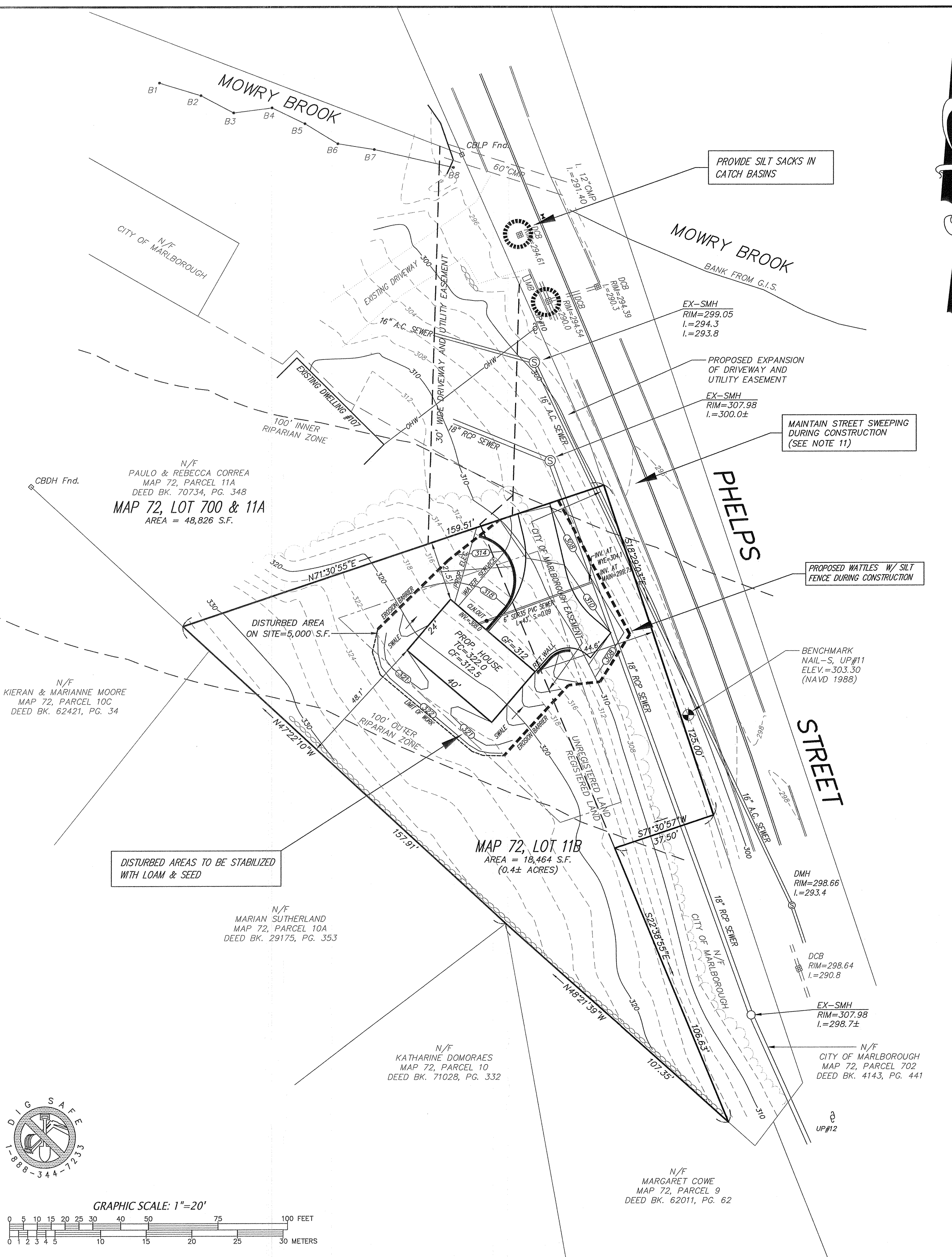
**PREPARED FOR:**  
FRANCA ENTERPRISE SERVICES  
449 BOSTON POST ROAD  
MARLBOROUGH, MA 01752

**CONNORSTONE ENGINEERING INC.**  
CIVIL ENGINEERS AND LAND SURVEYORS  
10 SOUTHWEST CUTOFF, SUITE 7  
NORTHBOROUGH, MASSACHUSETTS 01532  
PHONE: 508-393-9727 FAX: 508-393-5242

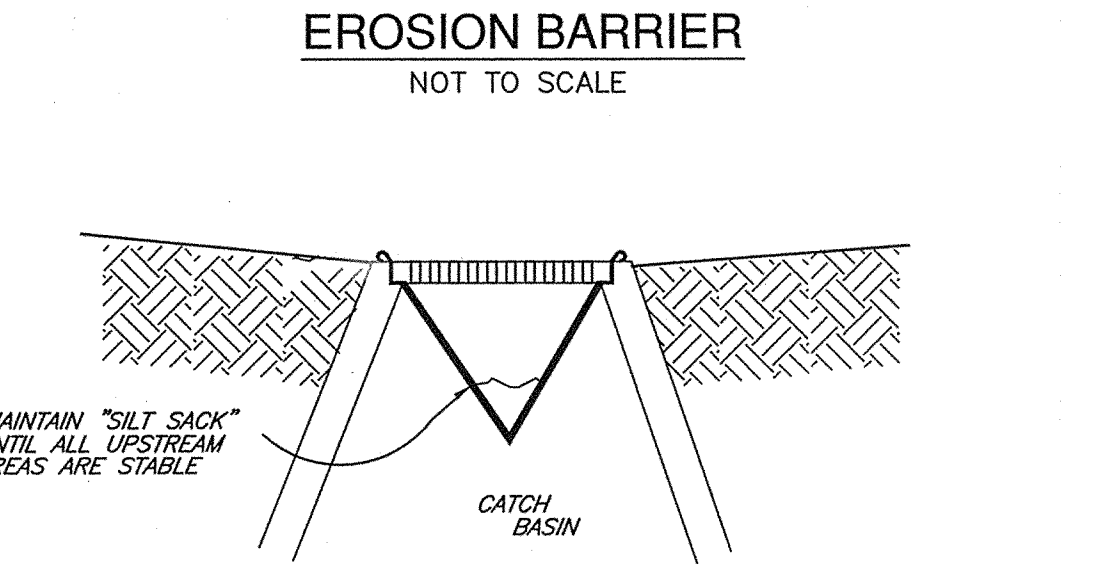
**PROPOSED SITE PLAN**  
OF  
109 PHELPS STREET  
MAP 72, LOT 11B  
IN  
MARLBOROUGH, MA

8-25-2021	DISTURBED AREA
2-17-2021	DPW COMMENTS
REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: DECEMBER 9, 2020	
SCALE: 1"=20'	SHEET 1 OF 2.



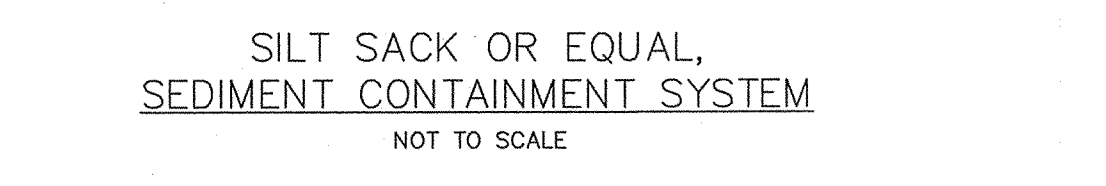


**CROSS SECTION**  
 1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" DEEP. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.  
 2. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

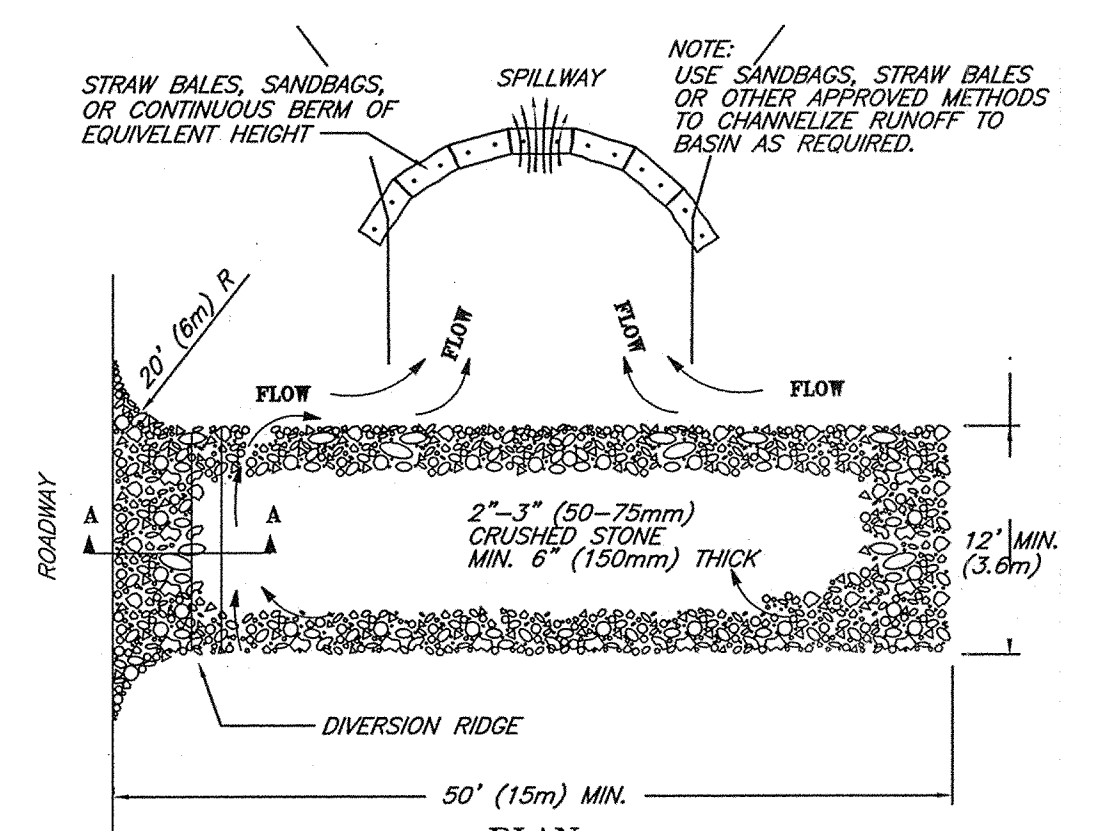
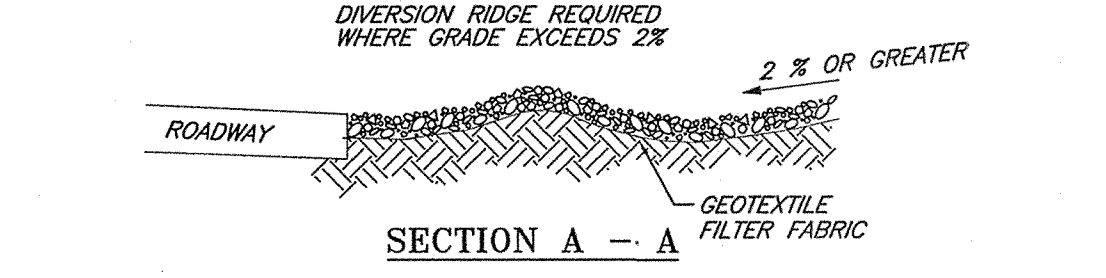


**EROSION BARRIER**  
 NOT TO SCALE

NOTES:  
 1. SILT SACKS ARE TO BE INSPECTED WEEKLY DURING CONSTRUCTION AND IMMEDIATELY AFTER STORM EVENTS.  
 2. IF SILT SACKS ARE MORE THAN 1/3RD FULL, THEY SHALL BE EMPTIED IMMEDIATELY. CAPTURED SILT SHALL BE RETAINED ON SITE AND REUSED.  
 3. SILT SACKS SHALL REMAIN IN PLACE UNTIL ALL VEGETATION IN IMMEDIATE VICINITY IS FULLY ESTABLISHED.



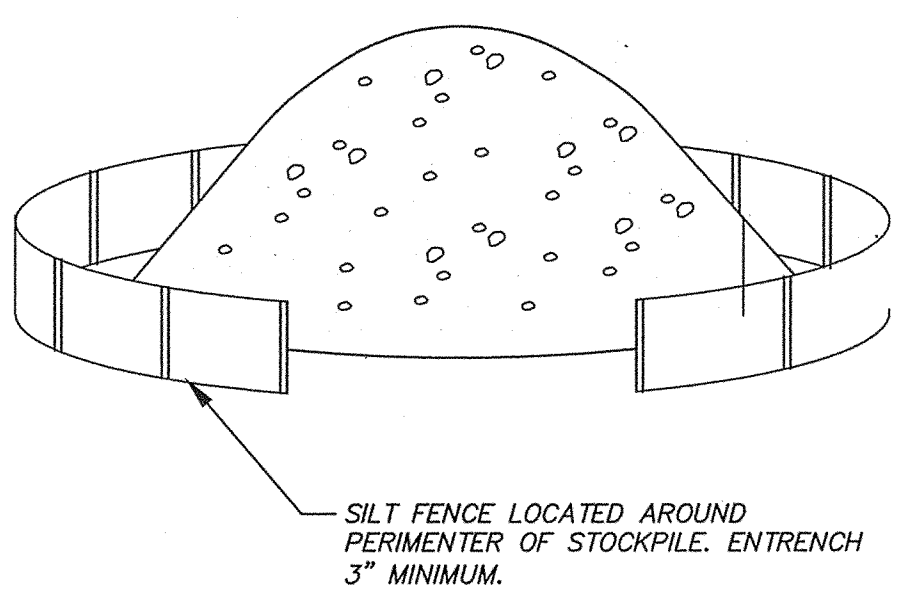
**SILT SACK OR EQUAL, SEDIMENT CONTAINMENT SYSTEM**  
 NOT TO SCALE



**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT**

NOTES:  
 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.  
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.  
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.  
 4. STONE APRON SHALL BE REPLACED AS DEPOSITED SOILS BUILD UP.

- EROSION AND SEDIMENTATION CONTROL NOTES:**
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
  - EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS AS CONDITIONED IN THE SITE PLAN APPROVAL CONDITIONS.
  - PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND DETAIL DRAWINGS.
  - THIS PLAN DEPICTS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL EMPLOY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSITATED BY SITE CONDITIONS, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE, OR THE CONSERVATION COMMISSION TO ENSURE PROTECTION OF ALL WETLAND RESOURCES AND CONTROL SEDIMENT TRANSPORT. IF SEDIMENTATION PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROL DEVICES IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
  - THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A DAILY BASIS AND IMMEDIATELY AFTER EACH RAINFALL; REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR WHEN THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF HAY BALE OR SEDIMENT TRAP, OR AS DIRECTED BY THE LOCAL AUTHORITY.
  - SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED. FENCING SHALL BE INSTALLED AROUND STOCKPILES IN EXCESS OF 10 FEET IN HEIGHT.
  - DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING, OR BY ANOTHER APPROVED METHOD, AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. DISTURBED AREAS WITH SLOPES 3:1 (H:V) OR GREATER SHALL BE COVERED WITH LOAM AND STABILIZED WITH HYDROSEED AND SOIL TACKLIFIER. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY SECURED.
  - DE-WATERING OPERATIONS, IF REQUIRED, SHALL DISCHARGE ONTO STABILIZED AREAS, AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ADJUTING PROPERTIES. AT A MINIMUM ALL DISCHARGES SHALL BE INTERCEPTED BY HAY BALE CORRAL AND HAY BALE CHECK DAMS SPACED 10' APART.
  - STAKED HAY BALES AND SILT FENCE SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT OR AS INDICATED ON THE PLANS. ADDITIONAL HAY BALES AND SILT FENCE SHALL BE LOCATED AS CONDITIONS WARRANT, AND IN SOME AREAS HAYBALE/SILT FENCING STRUCTURES MAY HAVE TO BE DUPLICATED AT REGULAR INTERVALS UP GRADIENT OF WETLANDS.
  - STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
  - ALL EXISTING AND PROPOSED DRAINAGE SYSTEM INLETS, WHICH MAY RECEIVE STORM WATER FLOW FROM DISTURBED AREAS, SHALL BE PROVIDED WITH INLET PROTECTION (CATCH BASIN INSERTS, STREAMGUARD - MODEL 3003, OR APPROVED EQUAL). THE CONTRACTOR SHALL MAINTAIN THESE DEVICES PER THE MANUFACTURERS RECOMMENDATIONS UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN ADEQUATELY STABILIZED.
  - DUST CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED PROPERLY THROUGHOUT DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. METHODS FOR DUST CONTROL SHALL INCLUDE WATER SPRINKLING AND/OR OTHER METHODS APPROVED BY THE ENGINEER.
  - ALL VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF 3/4"-1 1/2" INCH CRUSHED STONE TO A DEPTH OF 12" FOR THE FIRST 50 FEET FROM EXISTING PAVED STREETS. IF THE SITE CONDITIONS ARE SUCH THAT THE GRAVEL PAD DOES NOT REMOVE THE MAJORITY OF THE MUD AND DEBRIS, THEN THE TIRES SHALL BE WASHED BEFORE ANY VEHICLES ENTER ADJACENT ROADWAYS. ALL WATER USED FOR TIRE WASHING SHALL BE COLLECTED AND TREATED PRIOR TO ENTERING THE DRAINAGE SYSTEM. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER HEAVY USE.
  - EQUIPMENT SHALL NOT BE PARKED WITHIN WETLANDS.



**SOIL STOCKPILE DETAIL**  
 NOT TO SCALE

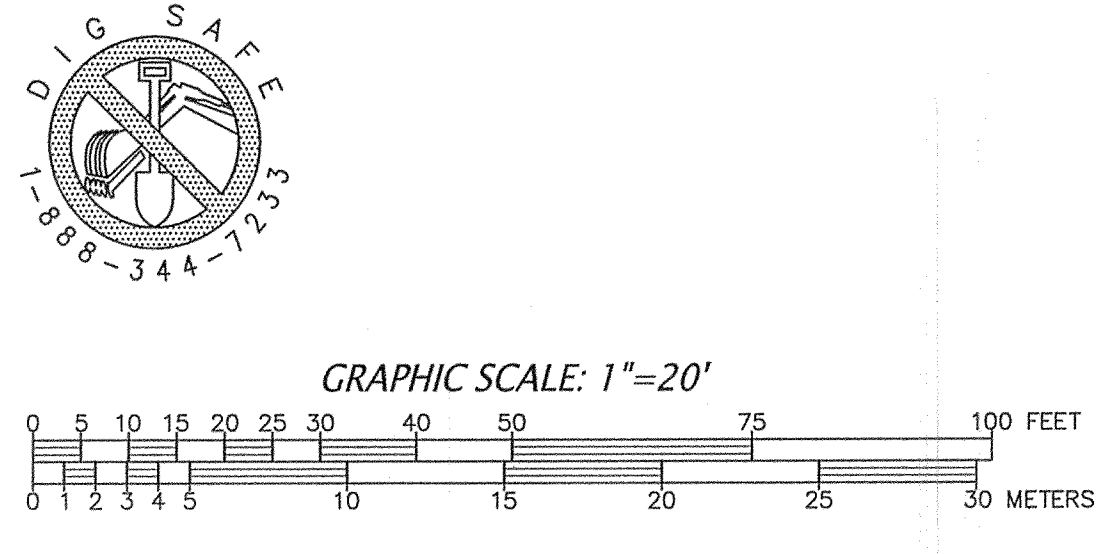
NOTES:  
 1. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED.  
 2. STOCKPILES SHALL BE LOCATED ON DRY STABLE AREAS.  
 3. STOCKPILE TO REMAIN FOR EXTENDED PERIODS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE.  
 4. PROVIDE SAFETY FENCING AROUND STOCKPILES OVER 10' IN HEIGHT OR OTHERWISE RESTRICT SITE ACCESS.

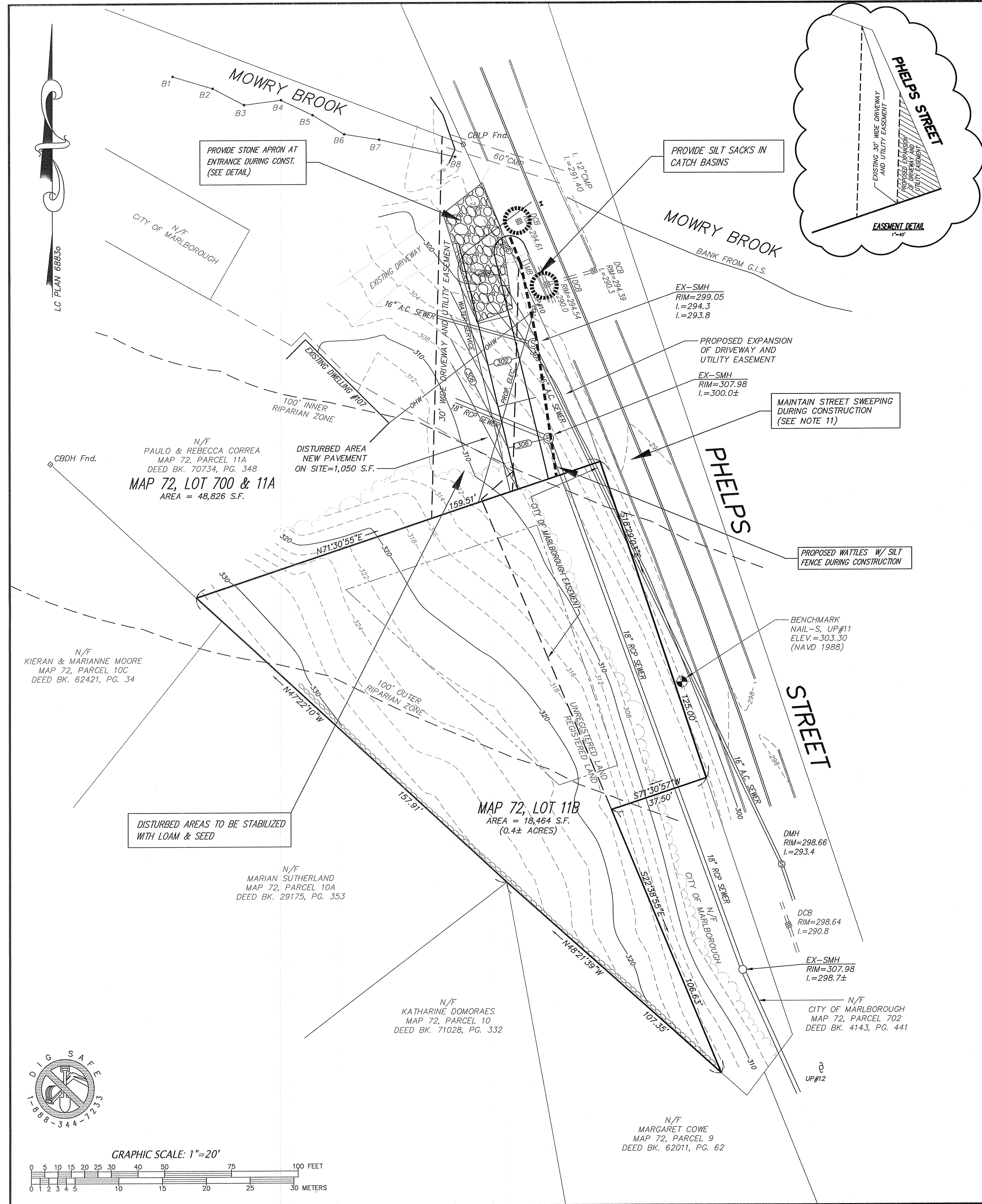
PREPARED FOR:  
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 PHONE: 508-393-9727 FAX: 508-393-5242

PROPOSED SITE PLAN  
 OF  
 109 PHELPS STREET  
 MAP 72, LOT 11B  
 IN  
 MARLBOROUGH, MA

8-25-2021	DISTURBED AREA
2-17-2021	DPW COMMENTS
REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: DECEMBER 9, 2020	
SCALE: 1"=20'	SHEET 2 OF 2.



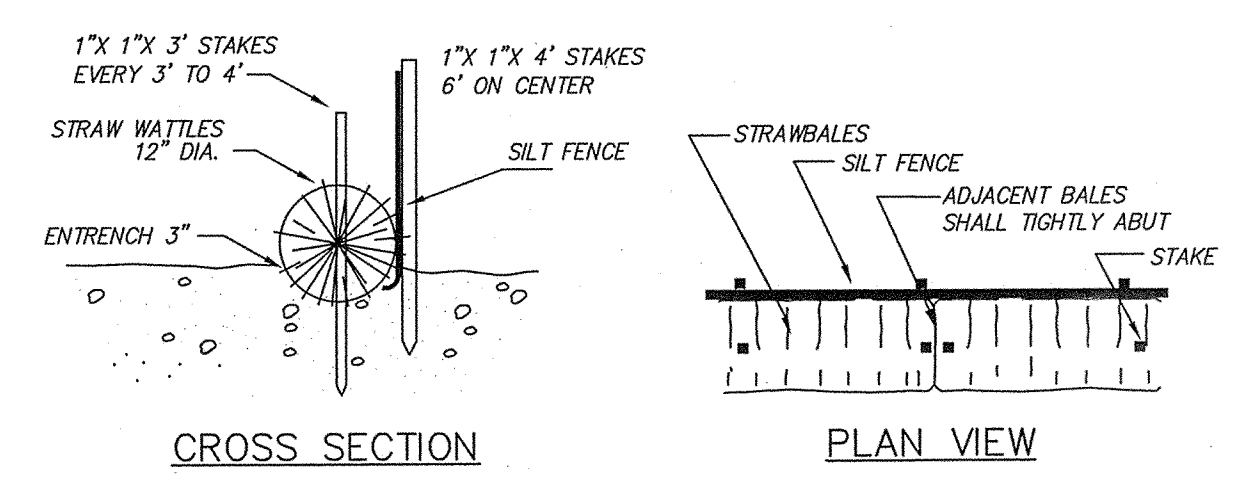
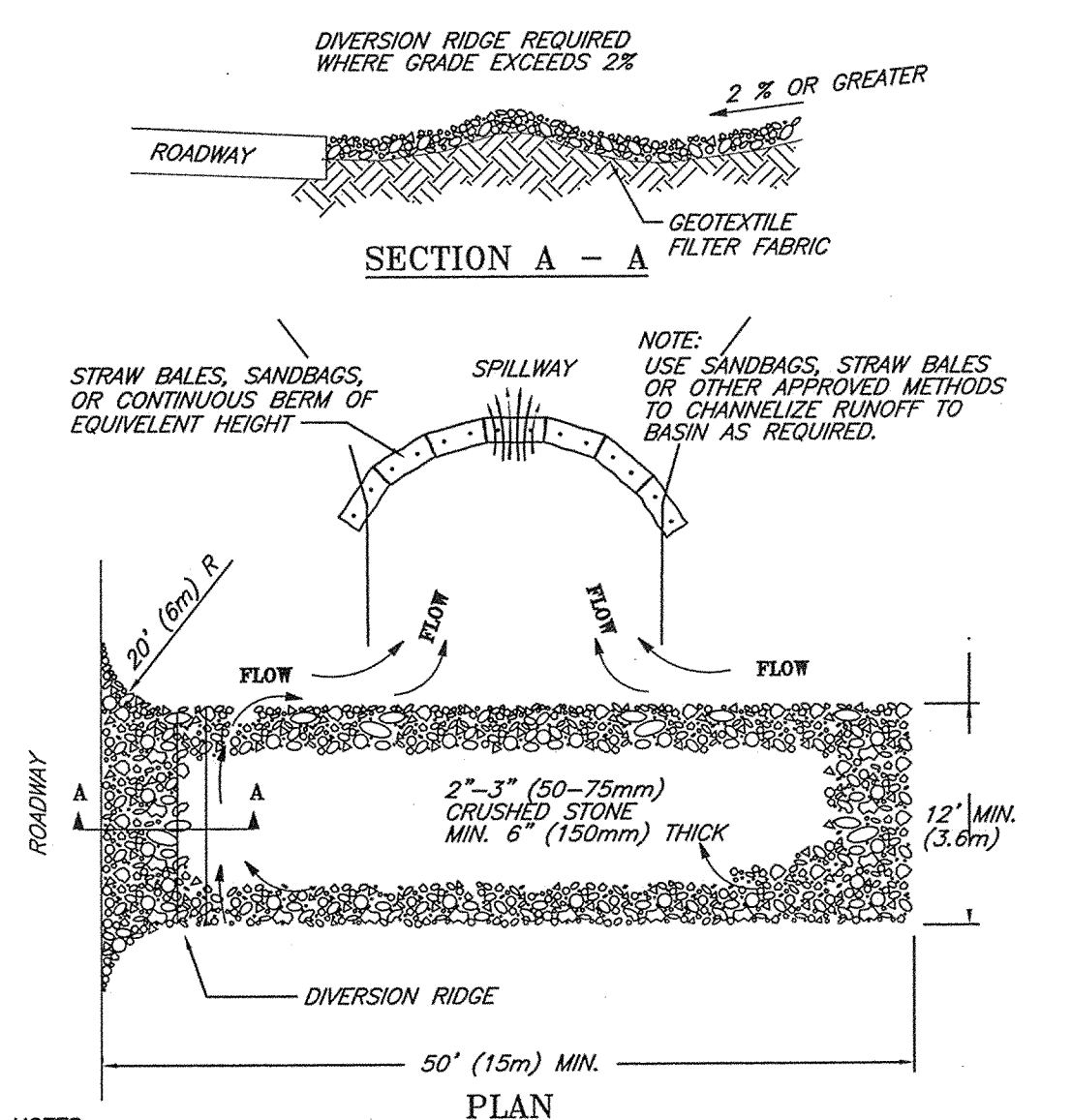


**EROSION AND SEDIMENTATION CONTROL NOTES:**

1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
2. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS AS CONDITIONED IN THE SITE PLAN APPROVAL CONDITIONS.
3. PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND DETAIL DRAWINGS.
4. THIS PLAN DEPICTS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL EMPLOY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSITATED BY SITE CONDITIONS, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE, OR THE CONSERVATION COMMISSION TO ENSURE PROTECTION OF ALL WETLAND RESOURCES AND CONTROL SEDIMENT TRANSPORT. IF SEDIMENTATION PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROL DEVICES IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
6. THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A DAILY BASIS AND IMMEDIATELY AFTER EACH RAINFALL; REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR WHEN THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF HAY BALE OR SEDIMENT TRAP, OR AS DIRECTED BY THE LOCAL AUTHORITY.
7. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED. FENCING SHALL BE INSTALLED AROUND STOCKPILES IN EXCESS OF 10 FEET IN HEIGHT.
8. DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING, OR BY ANOTHER APPROVED METHOD, AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. DISTURBED AREAS WITH SLOPES 3:1 (H:V) OR GREATER SHALL BE COVERED WITH LOAM AND STABILIZED WITH HYDROSEED AND SOIL TACKIFIER. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY SECURED.
9. DE-WATERING OPERATIONS, IF REQUIRED, SHALL DISCHARGE ONTO STABILIZED AREAS, AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES. AT A MINIMUM ALL DISCHARGES SHALL BE INTERCEPTED BY HAY BALE CORRAL AND HAY BALE CHECK DAMS SPACED 10' APART.
10. STAKED HAY BALES AND SILT FENCE SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT OR AS INDICATED ON THE PLANS. ADDITIONAL HAY BALES AND SILT FENCE SHALL BE LOCATED AS CONDITIONS WARRANT, AND IN SOME AREAS HAYBALE/SILT FENCING STRUCTURES MAY HAVE TO BE DUPLICATED AT REGULAR INTERVALS UP GRADIENT OF WETLANDS.
11. STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
12. ALL EXISTING AND PROPOSED DRAINAGE SYSTEM INLETS, WHICH MAY RECEIVE STORM WATER FLOW FROM DISTURBED AREAS, SHALL BE PROVIDED WITH INLET PROTECTION (CATCH BASIN INSERTS, STREAMGUARD - MODEL 3003, OR APPROVED EQUAL). THE CONTRACTOR SHALL MAINTAIN THESE DEVICES PER THE MANUFACTURERS RECOMMENDATIONS UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN ADEQUATELY STABILIZED.
13. DUST CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED PROPERLY THROUGHOUT DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. METHODS FOR DUST CONTROL SHALL INCLUDE WATER SPRINKLING AND/OR OTHER METHODS APPROVED BY THE ENGINEER.
14. ALL VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF 3/4"-1 1/2" INCH CRUSHED STONE TO A DEPTH OF 12" FOR THE FIRST 50 FEET FROM EXISTING PAVED STREETS. IF THE SITE CONDITIONS ARE SUCH THAT THE GRAVEL PAD DOES NOT REMOVE THE MAJORITY OF THE MUD AND DEBRIS, THEN THE TIRES SHALL BE WASHED BEFORE ANY VEHICLES ENTER ADJACENT ROADWAYS. ALL WATER USED FOR TIRE WASHING SHALL BE COLLECTED AND TREATED PRIOR TO ENTERING THE DRAINAGE SYSTEM. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER HEAVY USE.
15. EQUIPMENT SHALL NOT BE PARKED WITHIN WETLANDS.

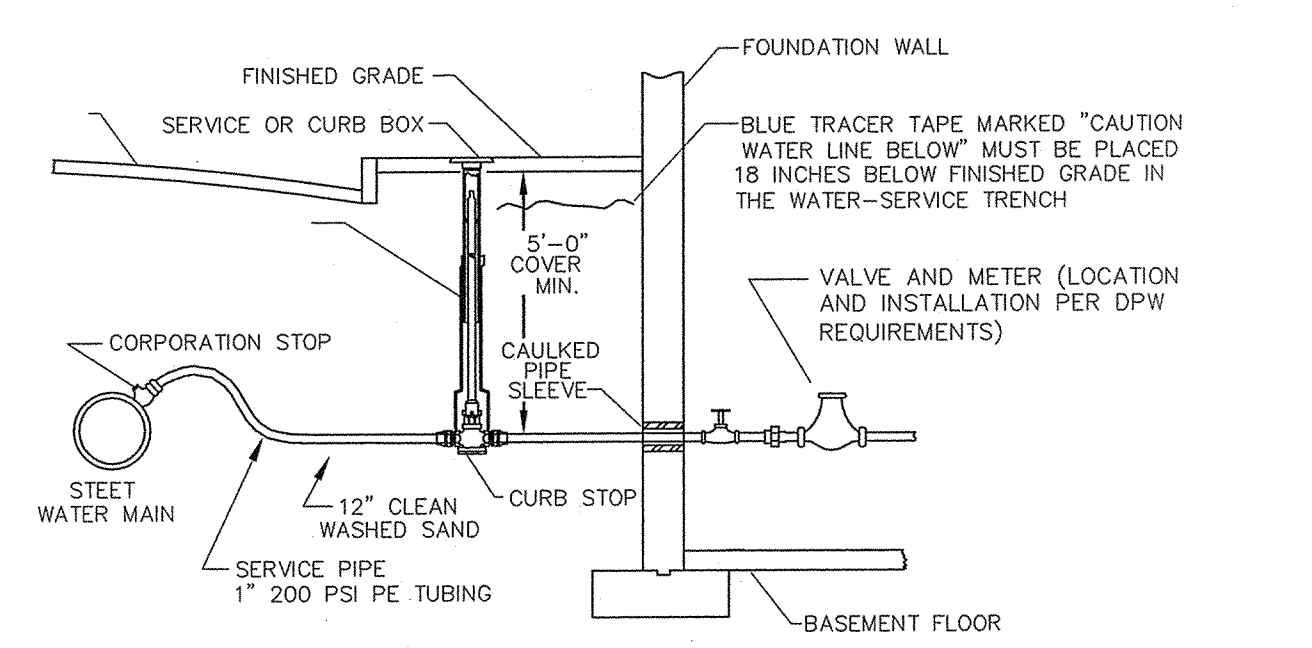
**GENERAL NOTES:**

1. EXISTING TOPOGRAPHY IS BASED UPON A FIELD SURVEY BY CONNORSTONE ENGINEERING, INC. ON 8/1/2017. ELEVATIONS REFER TO NAVD 1988. SEE BENCHMARK NAIL SET IN UTILITY POLE #11. ABUTTING LOT INFORMATION: HOUSES, DRIVEWAYS, ETC. TAKEN FROM CITY OF MARLBOROUGH GIS DATA. PROPERTY LINES ARE BASED UPON EXISTING PLANS AND DEEDS OF RECORD.
2. THE PARCEL IS SHOWN ON ASSESSORS MAP 71, PARCEL 701 & 702.
3. EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT DIG SAFE: 1-800-344-7233 (72 HOURS BEFORE DIGGING), AND TOWN DPW FOR UTILITY LOCATIONS PRIOR TO EXCAVATION. TEST PITS SHALL BE UTILIZED FOR UTILITY CONNECTIONS.
4. THE LOT SHOWN AND THE DWELLING THEREON ARE NOT LOCATED WITHIN THE 100 YEAR FEDERAL FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF MARLBOROUGH, MAP NUMBER 25017C0482F, DATED JULY 7, 2014.



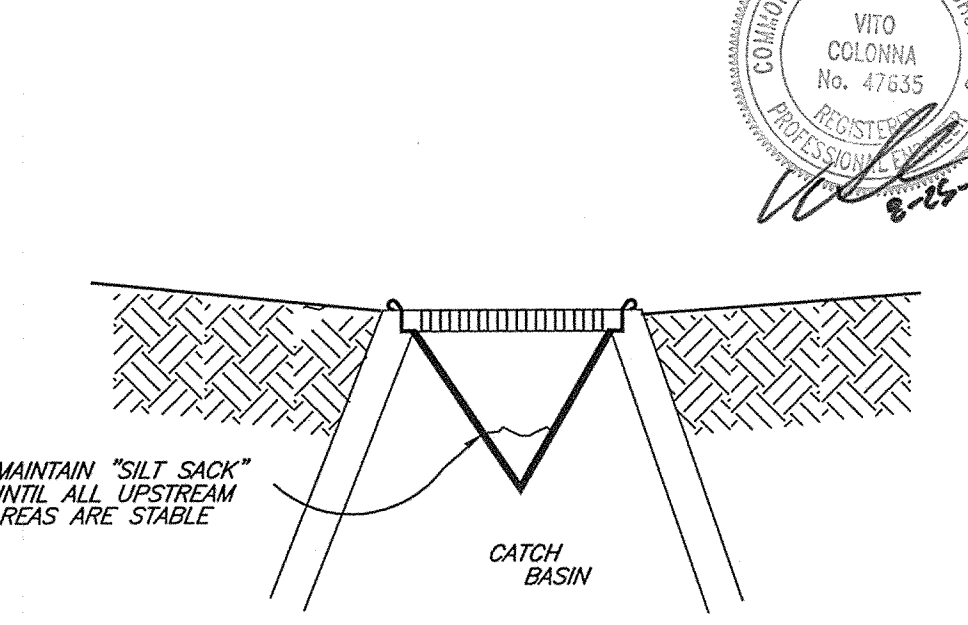
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" DEEP. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

**EROSION BARRIER**  
NOT TO SCALE



- NOTES:
1. PLASTIC 200 PSI TUBING SHALL MEET AWWA SPEC. AND BE 200 PSI (MIN.).
  2. ALL CONSTRUCTION METHODS AND MATERIALS INCLUDING CURB STOP, CORPORATION STOP, SERVICE PIPE, SERVICE BOX, VALVES, AND METER SHALL BE IN ACCORDANCE WITH THE CITY OF MARLBOROUGH DPW STANDARDS AND SPECIFICATIONS.

**TYPICAL WATER SERVICE CONNECTION**  
NOT TO SCALE



- NOTES:
1. SILT SACKS ARE TO BE INSPECTED WEEKLY DURING CONSTRUCTION AND IMMEDIATELY AFTER STORM EVENTS.
  2. IF SILT SACKS ARE MORE THAN 1/3RD FULL, THEY SHALL BE EMPTIED IMMEDIATELY. CAPTURED SILT SHALL BE RETAINED ON SITE AND REUSED.
  3. SILT SACKS SHALL REMAIN IN PLACE UNTIL ALL VEGETATION IN IMMEDIATE VICINITY IS FULLY ESTABLISHED.

**SILT SACK OR EQUAL, SEDIMENT CONTAINMENT SYSTEM**  
NOT TO SCALE

- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
  4. STONE APRON SHALL BE REPLACED AS DEPOSITED SOILS BUILD UP.

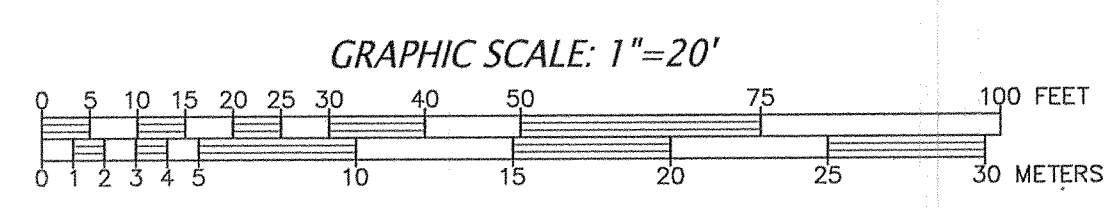
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

PREPARED FOR:  
FRANCA ENTERPRISE SERVICES  
449 BOSTON POST ROAD  
MARLBOROUGH, MA 01752

**CONNORSTONE ENGINEERING INC.**  
CIVIL ENGINEERS AND LAND SURVEYORS  
10 SOUTHWEST CUTOFF, SUITE 7  
NORTHBOROUGH, MASSACHUSETTS 01532  
PHONE: 508-393-9727 FAX: 508-393-5242

PROPOSED SITE PLAN OF  
107 PHELPS STREET IN  
MARLBOROUGH, MA

8-25-2021	DISTURBED AREA
2-17-2021	DPW COMMENTS
REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: DECEMBER 9, 2020	
SCALE: 1"=20'	SHEET 1 OF 1.





**George F. Connors  
Counselor At Law**

10 Southwest Cutoff, Northboro, MA 01532  
Zero Cranberry Lane, Hopkinton, MA 01748  
Phone (508) 393-6055 • Fax (508) 393-5242  
george@gfconnorslaw.com

Ms. Priscilla Ryder  
Marlborough Conservation Commission  
By email <mailto:pryder@marlborough-ma.gov>

Re: 107 Phelps Street

August 24, 2021

Dear Mr. Ryder:

The following is submitted in furtherance of the permitting at 107 Phelps Street.

Re: copied email of August 13, 2021 from PR to MAD and from PR to GC respectively

MAD to PR-

I just had a conversation with Priscilla. Because the parcel was subdivided after the river act she would like you to use the 10%. Rather than 5000 ft.<sup>2</sup>. She feels that the 10% will still give you enough and she was looking for that calculation if you get it to her by tomorrow they will be able to review the project on the 19th if later than that they will have to continue again  
Get [Outlook for iOS](#)

PR-GC-

So of the 78,425 s.f. how much of that is within the riverfront area? The regulations allow for the disturbance of 5,000 s.f. or 10% of the riverfront area, whichever is greater on a lot recorded before Oct. 6, 1997. It would be good if you (or Mary Ann) can provide a brief description on how this project meets the 310 CMR 10.58 (4)3. (d). No Significant Adverse Impact section. That will assist the Commission in their review.

-----\  
MS. Ryder-

In response to the questions of impact areas and No Significant Adverse Impact we submit the following on a slightly revised plan depicting the below calculations of disturbances, and photographs demonstrating additional information in support of the No Adverse Impact.

In the following calculations I am using just the two subject lots so the 78,425 number is no longer needed.

The impact from the driveway has been reduced from 2800 sf to 1050 sf. for the portion of driveway on the easement of the existing house. And for the proposed house a portion of the driveway (mostly apron) and the house/yard, the overall impact area remains at 5000 sf. The new total, notwithstanding our assertion that there are two separate ownership interests and two separate filings under the WPA is now 6050 sf. This is less than 10% of the overall original land tract from which the lot came from:



Photographs and GIS imagery attached demonstrate the area along, and parallel to, Phelps Street, that area the project proposes to place a driveway in, is overall a landscaped (lawn) area, associated with the existing house. Habitat value is minimal for lawn, but where the tree line provides an “edge habitat” that open space contributes to habitat that will not be disturbed, thus the impact is minimal from a driveway which totals 1050 sf of surface area. It is noted the City has (1) installed two trunk sewer lines along this location creating the original disturbance, and (2) the City has provided for development of the subject vacant lot (see plan attached, and previously submitted 11/16/20 explanation). Accordingly this lots development has been contemplated prior to this submission. It is noted the original engineered plan at that time has been changed by this applicant to reduce impacts.

No Adverse Impacts to the riverfront area along the driveway was initially addressed in a letter submitted to the Commission dated March 11, 2021.

**NO SIGNIFICANT IMPACT**

“Notwithstanding there are two separate ownership interests; one of a land owner having an easement across its lot and another of a vacant lot, clearly sanctioned by the City providing land to the project.

**IMPACTS:**

Existing House Lot where **driveway** is relocated is 48,826 sf, where the impacted area is 2800 sf (virtually all in the 100 foot zone), all of this impact area is over a sewer line easement, an existing paved driveway section, and lawn area / front yard. There is an existing driveway apron that will serve both lots. Within the remaining distance from the driveway to the lot line there are two sewer lines (18 inch and 16 inch). This area is front lawn type land cover. Effectively the entire area is “previously developed.” (see two google imagery pictures

attached) This lawn area will be altered for a paved driveway (due to slope pavement is appropriate) of 1050 sf, the remaining 1750 sf will become lawn. Thus of the 2800 sf disturbed area only 1050 will be changed. It is not high value Riverfront Area as pavement/lawn, sewer easement, and no significant impact will result. (310 CMR 10.58.4- "*...have no significant adverse impact on the riverfront area to protect the interests identified in MGL C 131 s40*")

310 CMR 10.58 provides "*In those portions so extensively altered by human activity that their important wildlife habitat functions have been effectively eliminated, riverfront areas are not significant to the protection of important wildlife habitat...*"

- **Proposed house** lot construction takes place in the 100-200 foot zone and is within forest cover for the most part (small section of the driveway edge near Phelps Street is in the sewer easement, a disturbed area of about 900 sf. The overall area of disturbance is 5000sf (4100 of wooded area) for the house, driveway and minimal surrounding grading (steeply sloping lot), on a lot of 18,464 sf area. The house is relatively small (24X40) with a garage under front loaded to minimize the disturbance. Grading around the house is focused on providing swales to divert water away from the uphill slope behind the house, and this grading has been minimized. There is an elevation change from Phelps Street (298) to the house location (320) of 20+ feet over a distance of 50 feet yielding a 40% slope with two sewer lines in between precluding access realistically. The Lot extends to elevation 330 behind the house over a total distance from the road of 120 feet for a slope of 25%."

It is clear from the above that the disturbance area to natural Riverfront area can be considered to be 5050 sf total for the two lots.

With the minor changes to the plan reflecting the new calculations it would appear that the proposal

1. Impacts less than 5000 sf of natural riparian habitat.
2. Less than 10% overall of the RFA for both lots.
3. Has no **significant impact** in the driveway access easement which consists of predominantly lawn area.
4. Effects the intent of the City to create the lot with necessary (ANR) frontage where unlimited rights of access across the former City land was provided for in the original taking around 100 years ago.
5. Further reduces that originally proposed on June 3, 2008 by the City DPW (copy attached, annotated to show the approximate disturbance of 20,000 sf), thus this is a "*practicable alternative with less impacts.*"
6. The existing lawn area is subject to disturbances from sewer line maintenance notwithstanding the proposed driveway.

Very truly,

George Connors

A handwritten signature in blue ink, appearing to be 'George Connors', written over the printed name. The signature is fluid and stylized, with a long horizontal stroke extending to the right.

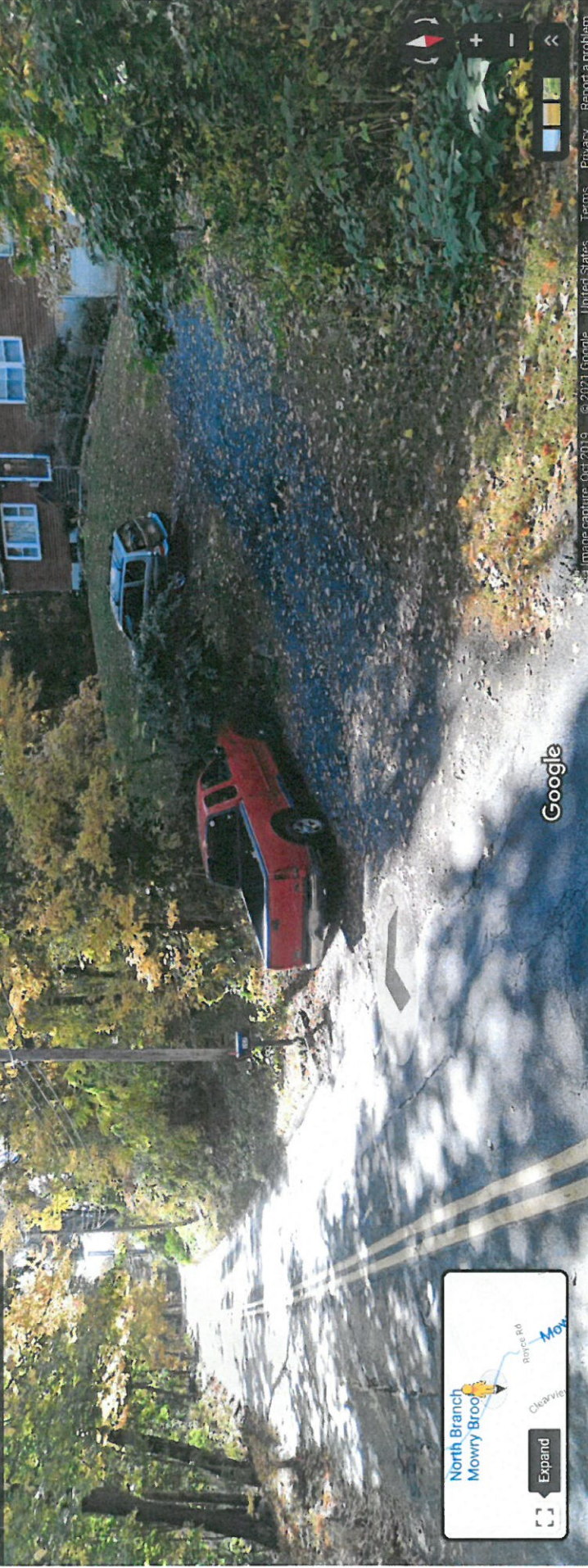
Encls

Cc

99 Phelps St  
Marlborough, Massachusetts

Google

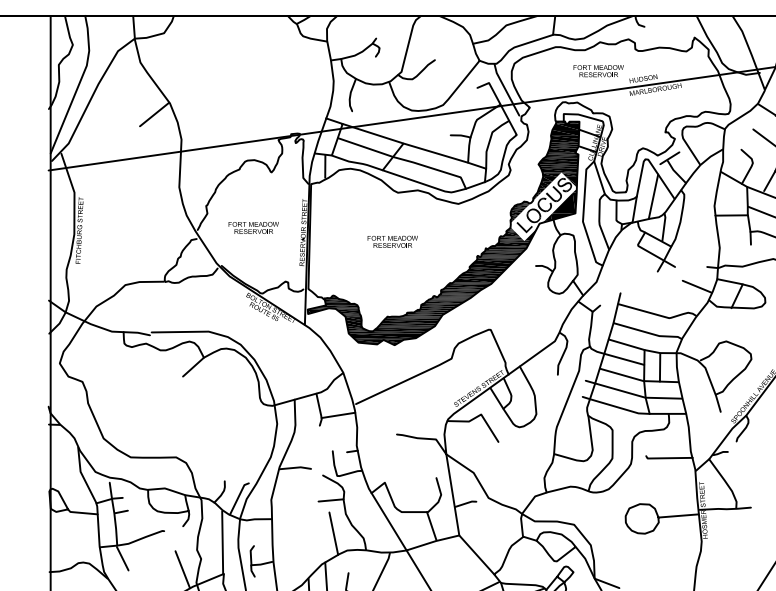
Street View



North Branch  
Mowry Brook

Expand

Clear View



LOCUS MAP

# PRELIMINARY SUBDIVISION PLAN

## CULLINANE DRIVE EXTENSION MARLBOROUGH, MA

OWNER:  
J. MOR REALTY TRUST  
209 CULLINANE DRIVE  
MARLBOROUGH, MA 01752  
BOOK 18768 PAGE 509  
PARCEL I.D. 30-10

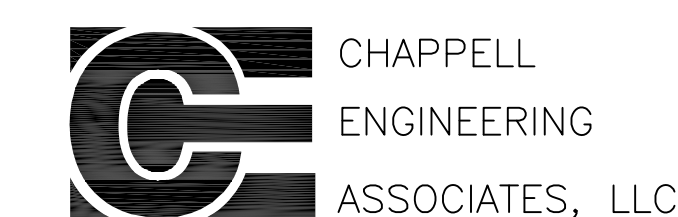
**PRELIMINARY  
SUBDIVISION PLAN  
CULLINANE DRIVE  
EXTENSION**

PLAN OF LAND

209 CULLINANE DRIVE  
MARLBOROUGH, MASS.

SCALE: 1" = 20'

DATE: AUGUST 6, 2021

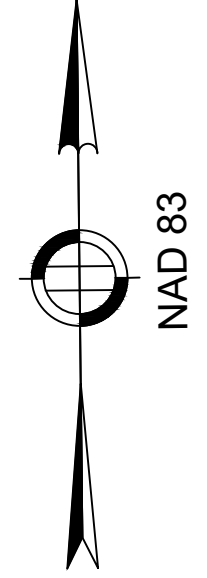


Civil Structural Land Surveying  
201 BOSTON POST ROAD WEST-SUITE 101  
MARLBOROUGH, MA 01752  
TEL (508) 481-7400  
www.chappellengineering.com

COVER SHEET

Parcel Number	GIS Number	Cama Number	Property Address	Owner Name	Owner Address	Owner City	Owner State	Owner Zip
18-141	M_196744_901917	18-141	STEVENS ST	ANSARI A A FAROOQ TR	6 EDGEWOOD RD	WESTBORO	MA	01581
18-68	M_196756_902248	18-68	124 UPLAND RD	GUARINO RUSSELL A	124 UPLAND RD	MARLBOROUGH	MA	01752
18-69	M_196756_902233	18-69	120 UPLAND RD	PERRY ROBERT	120 UPLAND RD	MARLBOROUGH	MA	01752
18-71	M_196755_902210	18-71	108 UPLAND RD	ORAM MARK A	108 UPLAND RD	MARLBOROUGH	MA	01752
18-72	M_196754_902187	18-72	104 UPLAND RD	DOLAN MARK C	104 UPLAND RD	MARLBOROUGH	MA	01752
18-73	M_196753_902160	18-73	96 UPLAND RD	RECINOS JUAN M	96 UPLAND RD	MARLBOROUGH	MA	01752
18-74	M_196752_902122	18-74	88 UPLAND RD	FRICAULT JOYCE A	88 UPLAND RD	MARLBOROUGH	MA	01752
18-75	M_196751_902088	18-75	80 UPLAND RD	BAKER KENNETH A	80 UPLAND RD	MARLBOROUGH	MA	01752
18-76	M_196750_902065	18-76	74 UPLAND RD	BAKER BETH	74 UPLAND RD	MARLBOROUGH	MA	01752
18-77	M_196749_902042	18-77	68 UPLAND RD	HART NANCY L	68 UPLAND RD	MARLBOROUGH	MA	01752
18-93	M_196413_901750	18-93	STEVENS ST	ANSARI A A FAROOQ TR	6 EDGEWOOD RD	WESTBORO	MA	01581
18-93A	M_196334_901653	18-93A	STEVENS ST	CITY OF MARLBOROUGH	140 MAIN ST	MARLBOROUGH	MA	01752
30-11A	M_195561_901552	30-11A	537 BOLTON ST	ST STEPHENS LUTHERAN CHURCH INC	537 BOLTON ST	MARLBOROUGH	MA	01752
30-12	M_196233_901412	30-12	431-441 BOLTON ST	CITY OF MARLBOROUGH	140 MAIN ST	MARLBOROUGH	MA	01752
30-9	M_195507_901640	30-9	9 RESERVOIR ST	CITY OF MARLBOROUGH	140 MAIN ST	MARLBOROUGH	MA	01752
6-112	M_196746_902487	6-112	166 CULLINANE DR	SOUJY DAVID L	166 CULLINANE DR	MARLBOROUGH	MA	01752
6-113	M_196717_902489	6-113	172 CULLINANE DR	KASSOY CHERYL A	172 CULLINANE DR	MARLBOROUGH	MA	01752
6-115	M_196690_902491	6-115	180 CULLINANE DR	BUCHAN MARC A	65 COUNTRY LN	MARLBOROUGH	MA	01752
6-116	M_196756_902459	6-116	25 LONGFELLOW TER	SABIN MICHAEL E	25 LONGFELLOW TER	MARLBOROUGH	MA	01752
6-127	M_196756_902415	6-127	24 LONGFELLOW TER	GIAQUINTO KARA E	24 LONGFELLOW TER	MARLBOROUGH	MA	01752
6-128	M_196751_902385	6-128	OAK RD	CURLEY JAMES M	P O BOX 841	RAYNHAM	MA	02768
6-137	M_196746_902339	6-137	18 OAK RD	FLEMING ROBERT	18 OAK RD	MARLBOROUGH	MA	01752
6-139	M_196775_902306	6-139	84 CULLINANE DR	COLLINS JULIETTE M	84 CULLINANE DR	MARLBOROUGH	MA	01752
6-140	M_196771_902291	6-140	136 UPLAND RD	CARLSON WARREN P TR	136 UPLAND RD	MARLBOROUGH	MA	01752
6-142	M_196762_902271	6-142	126 UPLAND RD	HANLON MICHAEL E	126 UPLAND RD	MARLBOROUGH	MA	01752
6-93	M_196656_902485	6-93	189 CULLINANE DR	WINSHMAN PAUL R	PO BOX 53	HOPKINTON	MA	01748

LOCATION OF PROPOSED CULLINANE DRIVE EXTENSION SUBDIVISION



**LEGEND**

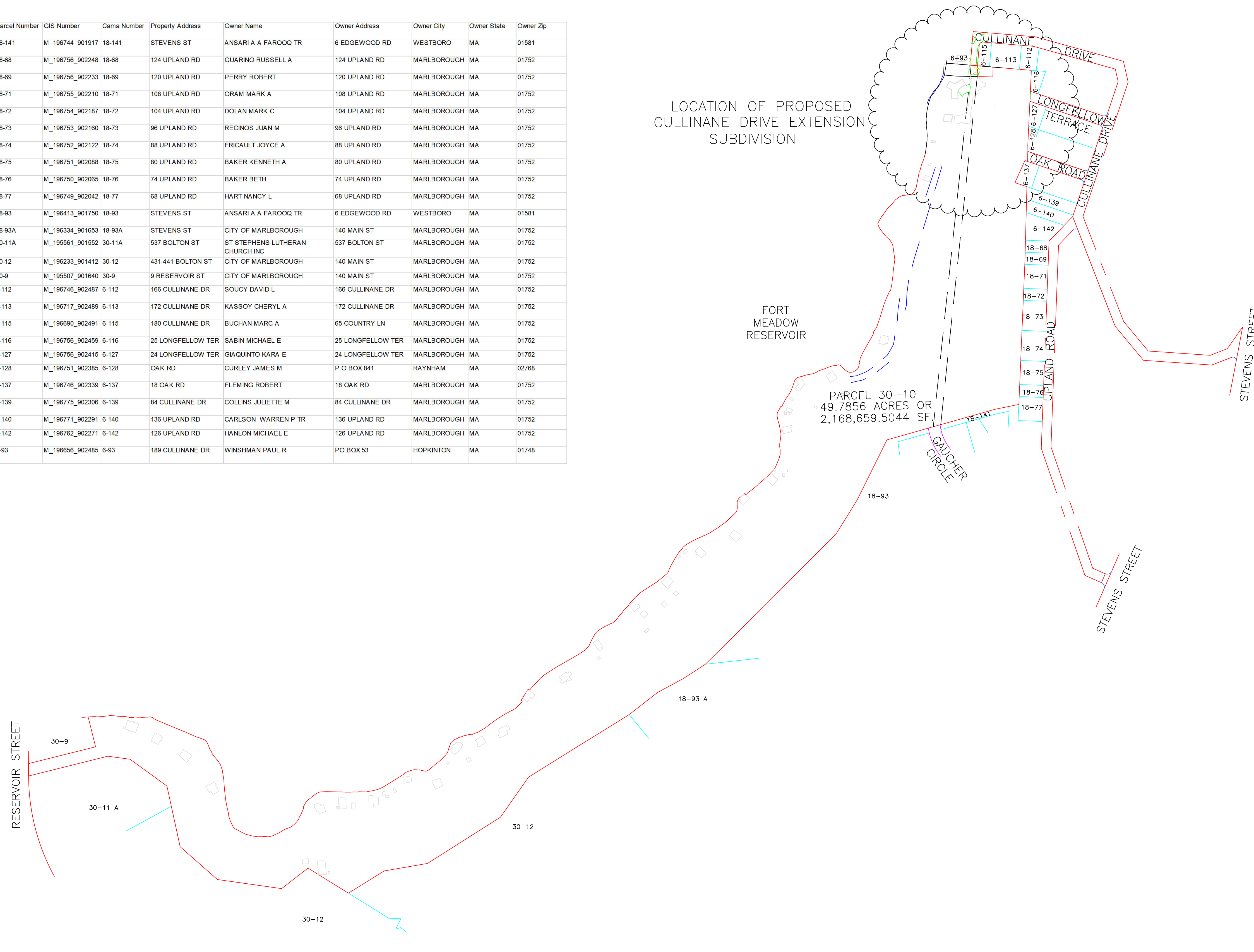
- STREET R.O.W. LINE
- ABUTTER PROPERTY LINE
- LOCUS PROPERTY LINE
- EDGE OF PAVEMENT
- EDGE OF WATER
- x CHAIN LINK FENCE
- PARCEL LINE
- PROPOSED SUBDIVISION LINE
- SEWER MANHOLE
- CATCH BASIN
- ELECTRIC METER
- GAS METER
- UTILITY POLE
- GUY WIRE ANCHOR
- SIGN
- HYDRANT
- WATER GATE
- GAS GATE
- CONCRETE BOUND DRILLHOLE
- STONE BOUND

**PLAN REFERENCES**

**PRELIMINARY SUBDIVISION PLAN CULLINANE DRIVE EXTENSION**

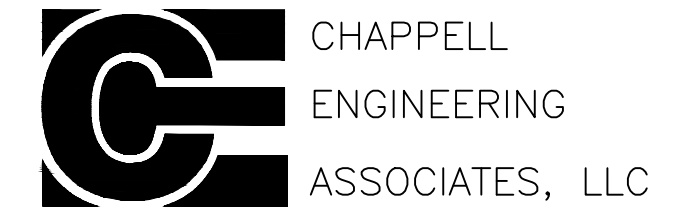
PLAN OF LAND  
209 CULLINANE DRIVE  
MARLBOROUGH, MASS.

SCALE: 1" = 20'  
DATE: AUGUST 6, 2021



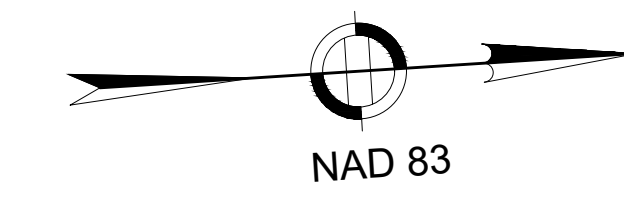
FIELD SURVEY PERFORMED BY CHAPPELL ENGINEERING ASSOCIATES, LLC. COMPLETED ON JULY 26TH-30TH, 2021.  
PROPERTY LINE INFORMATION SHOWN IS CALCULATED FROM FIELD OBSERVATIONS, CITY OF MARLBOROUGH, MASS. RECORDS AND PLANS & DEEDS RECORDED AT THE MIDDLESEX COUNTY REGISTRY OF DEEDS.

I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ON THE GROUND SURVEY PERFORMED BY CHAPPELL ENGINEERING AND COMPLETED ON JULY 30, 2021.

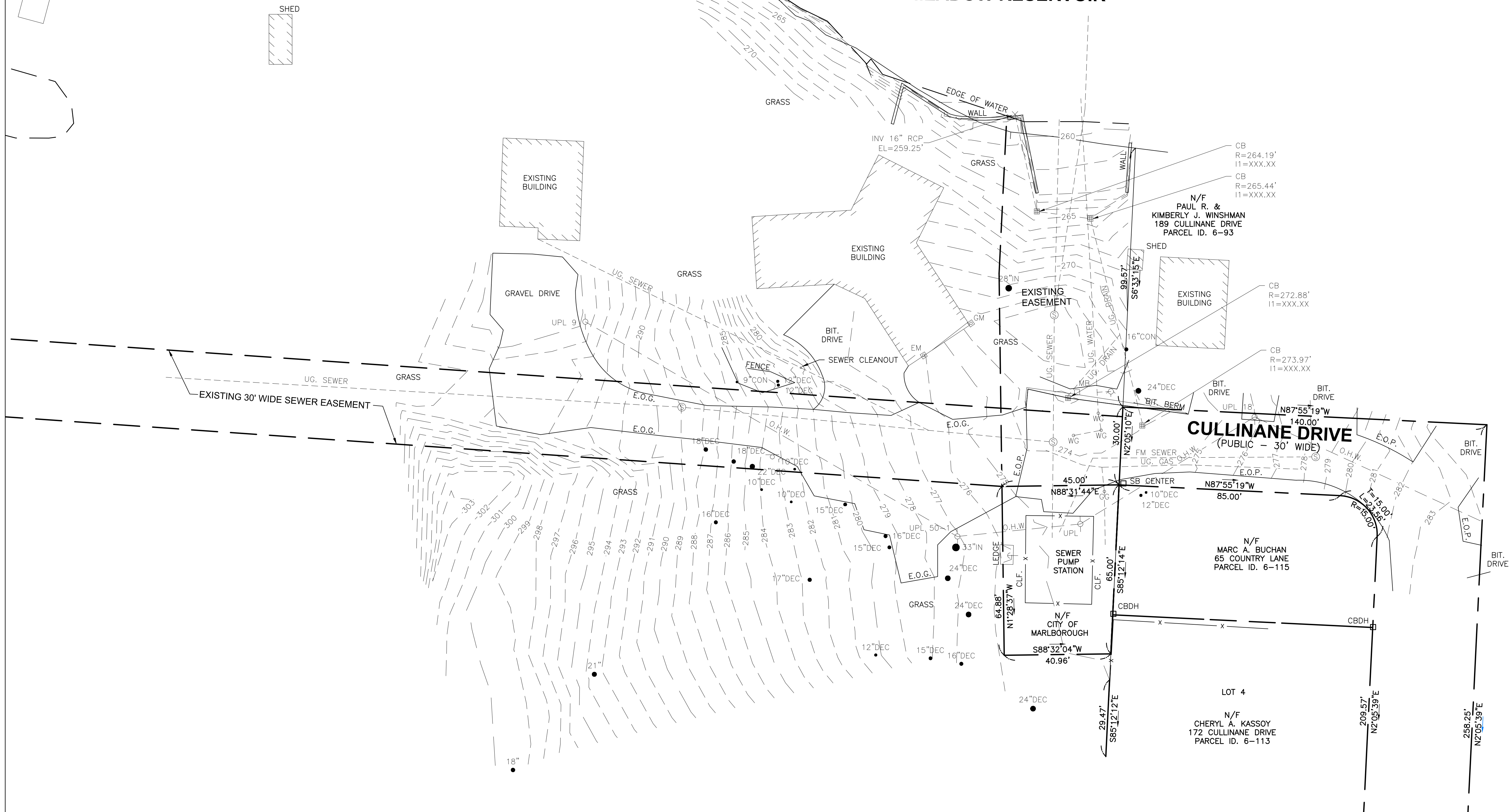


Civil Structural Land Surveying  
201 BOSTON POST ROAD WEST-SUITE 101  
MARLBOROUGH, MA 01752  
TEL (508) 481-7400  
www.chappellengineering.com

DATE WILLIAM-TIRRELL-49330



# FORT MEADOW RESERVOIR



**LEGEND**

- STREET R.O.W. LINE
- ABUTTER PROPERTY LINE
- LOCUS PROPERTY LINE
- EDGE OF PAVEMENT
- EDGE OF WATER
- x- CHAIN LINK FENCE
- PARCEL LINE
- PROPOSED SUBDIVISION LINE
- ⊙ SEWER MANHOLE
- ⊞ CATCH BASIN
- EM ⊞ ELECTRIC METER
- GM ⊞ GAS METER
- UTILITY POLE
- ⊖ GUY WIRE ANCHOR
- ⊙ SIGN
- ⊙ HYDRANT
- ⊙ WATER GATE
- ⊙ GAS GATE
- ⊞ CBDH CONCRETE BOUND DRILLHOLE
- ⊞ SB STONE BOUND

**PLAN REFERENCES**

**ROAD LAYOUTS**

- 1890 BOLTON STREET COUNTY LAYOUT
- 1940 RESERVOIR STREET COUNTY LAYOUT
- 1988 CULLINANE ROAD TOWN LAYOUT PLAN 1588 OF 1988
- 1988 OAK ROAD TOWN LAYOUT PLAN 1529 OF 1988
- 1988 LONGFELLOW ROAD TOWN LAYOUT PLAN 1533 OF 1988
- 1988 UPLAND ROAD TOWN LAYOUT PLAN 1586 OF 1988

**RECORDED PLANS**

- 1052 OF 1950
- 1468 OF 1965
- 944 OF 1969
- 1033 OF 1973
- 292 OF 1998
- 293 OF 1998

**OWNER:**  
 J. MOR REALTY TRUST  
 209 CULLINANE DRIVE  
 MARLBOROUGH, MA 01752  
 BOOK 18768 PAGE 509  
 PARCEL I.D. 30-10

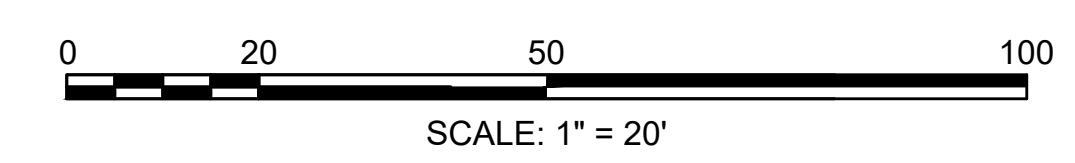
**PRELIMINARY  
 SUBDIVISION PLAN  
 CULLINANE DRIVE  
 EXTENSION**

EXISTING CONDITIONS  
 209 CULLINANE DRIVE  
 MARLBOROUGH, MASS.

SCALE: 1" = 20'  
 DATE: AUGUST 6, 2021

FIELD SURVEY PERFORMED BY CHAPPELL ENGINEERING ASSOCIATES, LLC. COMPLETED ON JULY 26TH-30TH, 2021.

PROPERTY LINE INFORMATION SHOWN IS CALCULATED FROM FIELD OBSERVATIONS, CITY OF MARLBOROUGH, MASS. RECORDS AND PLANS & DEEDS RECORDED AT THE MIDDLESEX COUNTY REGISTRY OF DEEDS.



I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ON THE GROUND SURVEY PERFORMED BY CHAPPELL ENGINEERING AND COMPLETED ON JULY 30, 2021.

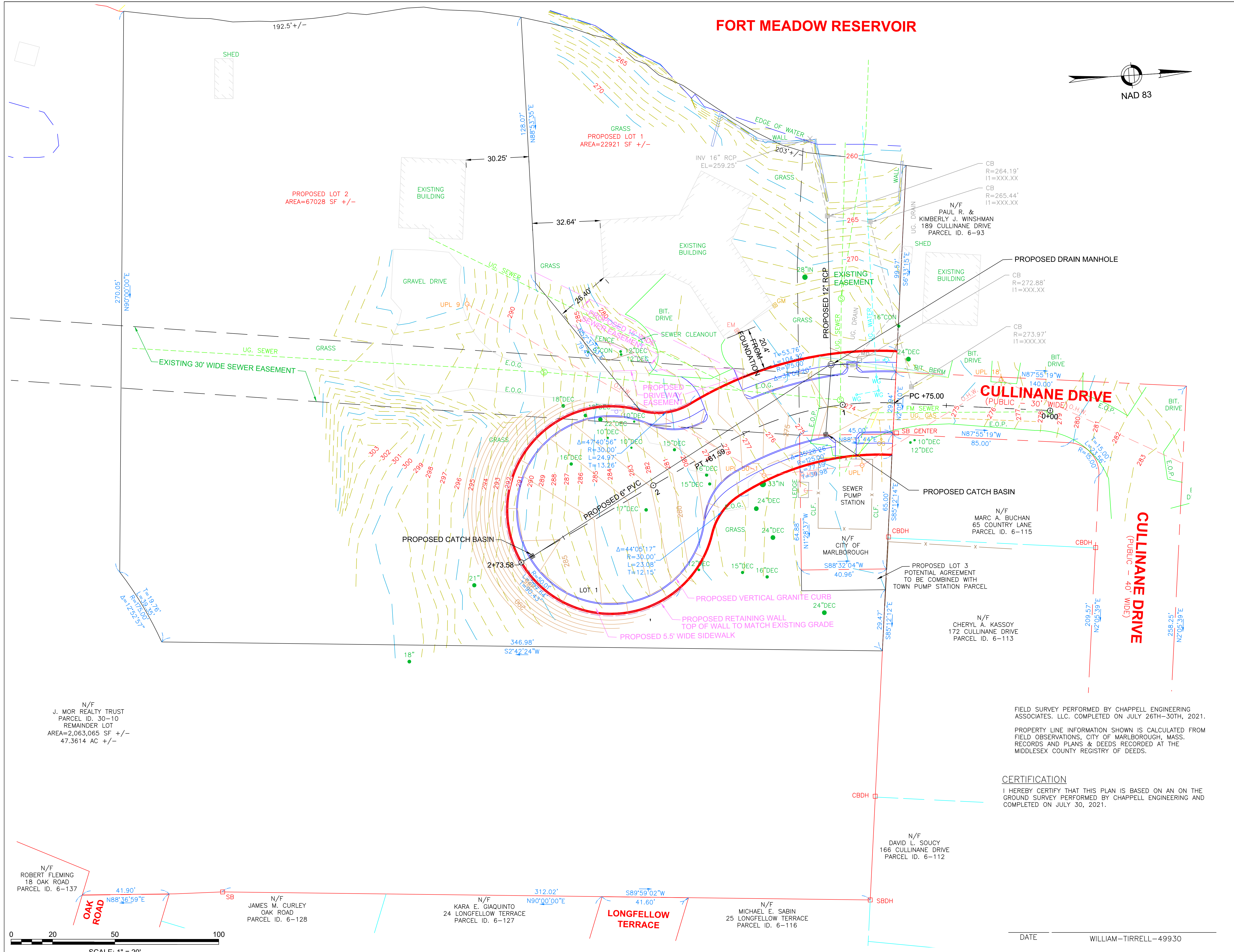
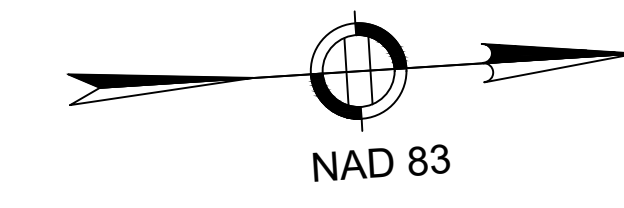
**CHAPPELL ENGINEERING ASSOCIATES, LLC**

Civil Structural Land Surveying  
 201 BOSTON POST ROAD WEST-SUITE 101  
 MARLBOROUGH, MA 01752  
 TEL (508) 481-7400  
 www.chappellengineering.com

DATE: WILLIAM-TIRRELL-49930



**FORT MEADOW RESERVOIR**



**LEGEND**

	STREET R.O.W. LINE
	ABUTTER PROPERTY LINE
	LOCUS PROPERTY LINE
	EDGE OF PAVEMENT
	EDGE OF WATER
	CHAIN LINK FENCE
	PARCEL LINE
	PROPOSED SUBDIVISION LINE
	SEWER MANHOLE
	CATCH BASIN
	ELECTRIC METER
	GAS METER
	UTILITY POLE
	GUY WIRE ANCHOR
	SIGN
	HYDRANT
	WATER GATE
	GAS GATE
	CONCRETE BOUND DRILLHOLE
	STONE BOUND

**ROAD LAYOUTS**  
 1890 BOLTON STREET COUNTY LAYOUT  
 1940 RESERVOIR STREET COUNTY LAYOUT  
 1968 CULLINANE ROAD TOWN LAYOUT PLAN 1588 OF 1968  
 1968 OAK ROAD TOWN LAYOUT PLAN 1529 OF 1968  
 1968 LONGFELLOW ROAD TOWN LAYOUT PLAN 1533 OF 1968  
 1968 UPLAND ROAD TOWN LAYOUT PLAN 1586 OF 1968

**RECORDED PLANS**  
 1052 OF 1990  
 1469 OF 1995  
 944 OF 1969  
 1033 OF 1973  
 292 OF 1998  
 293 OF 1998

**OWNER:**  
 J. MOR REALTY TRUST  
 209 CULLINANE DRIVE  
 MARLBOROUGH, MA 01752  
 BOOK 18768 PAGE 509  
 PARCEL I.D. 30-10

**PRELIMINARY SUBDIVISION PLAN**  
**CULLINANE DRIVE EXTENSION**  
**ALTERATIVE 1**  
 50' WIDTH ROW  
 CENTERED TO  
 EXISTING ROW  
 209 CULLINANE DRIVE  
 MARLBOROUGH, MASS.

SCALE: 1" = 20'  
 DATE: AUGUST 4, 2021

FIELD SURVEY PERFORMED BY CHAPPELL ENGINEERING ASSOCIATES, LLC. COMPLETED ON JULY 26TH-30TH, 2021.  
 PROPERTY LINE INFORMATION SHOWN IS CALCULATED FROM FIELD OBSERVATIONS. CITY OF MARLBOROUGH, MASS. RECORDS AND PLANS & DEEDS RECORDED AT THE MIDDLESEX COUNTY REGISTRY OF DEEDS.

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 MARLBOROUGH, MA 01752  
 TEL (508) 481-7400  
 www.chappellengineering.com

DATE: WILLIAM-TIRRELL-49930

SHEET 3 OF 8

N/F  
 J. MOR REALTY TRUST  
 PARCEL ID. 30-10  
 REMAINDER LOT  
 AREA=2,063,065 SF +/-  
 47.3614 AC +/-

N/F  
 ROBERT FLEMING  
 18 OAK ROAD  
 PARCEL ID. 6-137

N/F  
 JAMES M. CURLEY  
 OAK ROAD  
 PARCEL ID. 6-128

N/F  
 KARA E. GIAQUINTO  
 24 LONGFELLOW TERRACE  
 PARCEL ID. 6-127

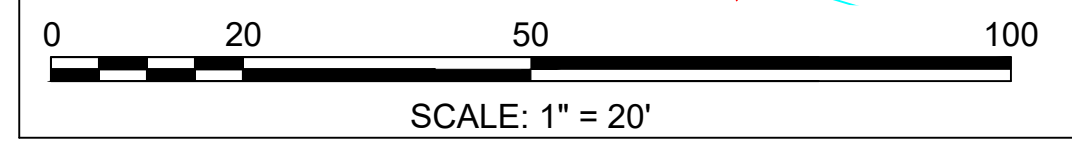
N/F  
 MICHAEL E. SABIN  
 25 LONGFELLOW TERRACE  
 PARCEL ID. 6-116

N/F  
 DAVID L. SOUCY  
 166 CULLINANE DRIVE  
 PARCEL ID. 6-112

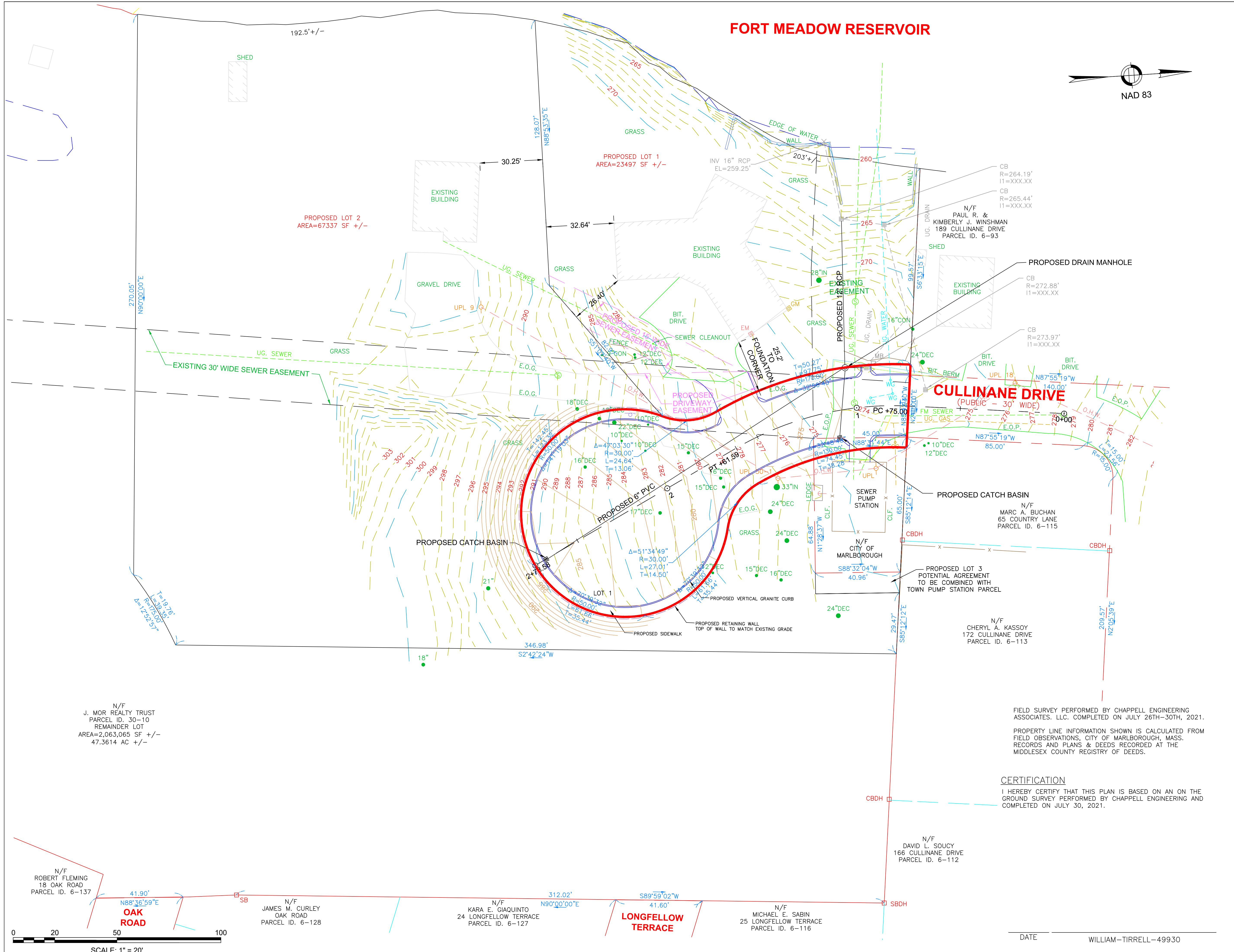
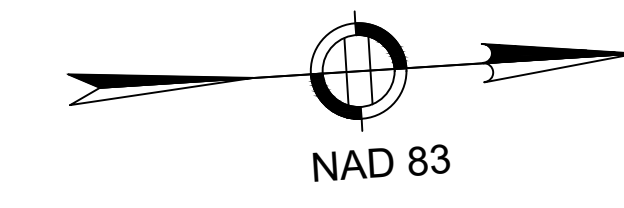
N/F  
 CHERYL A. KASSOY  
 172 CULLINANE DRIVE  
 PARCEL ID. 6-113

N/F  
 MARC A. BUCHAN  
 65 COUNTRY LANE  
 PARCEL ID. 6-115

N/F  
 PAUL R. &  
 KIMBERLY J. WINSHMAN  
 189 CULLINANE DRIVE  
 PARCEL ID. 6-93



# FORT MEADOW RESERVOIR



**LEGEND**

- STREET R.O.W. LINE
- ABUTTER PROPERTY LINE
- LOCUS PROPERTY LINE
- EDGE OF PAVEMENT
- EDGE OF WATER
- x CHAIN LINK FENCE
- PARCEL LINE
- PROPOSED SUBDIVISION LINE
- ⊙ SEWER MANHOLE
- ⊞ CATCH BASIN
- EM ELECTRIC METER
- GM GAS METER
- ⊙ UTILITY POLE
- ⊙ GUY WIRE ANCHOR
- ⊙ SIGN
- ⊙ HYDRANT
- ⊙ WATER GATE
- ⊙ GAS GATE
- ⊞ CBDH CONCRETE BOUND DRILLHOLE
- ⊞ SB STONE BOUND

**PLAN REFERENCES**

**ROAD LAYOUTS**

- 1680 BELTON STREET COUNTY LAYOUT
- 1940 RESERVOIR STREET COUNTY LAYOUT
- 1968 CULLINANE ROAD TOWN LAYOUT PLAN 1588 OF 1968
- 1968 OAK ROAD TOWN LAYOUT PLAN 1539 OF 1968
- 1968 LONGFELLOW ROAD TOWN LAYOUT PLAN 1533 OF 1968
- 1968 UPLAND ROAD TOWN LAYOUT PLAN 1586 OF 1968

**RECORDED PLANS**

- 1052 OF 1950
- 1468 OF 1965
- 944 OF 1969
- 1033 OF 1973
- 292 OF 1998
- 293 OF 1998

**OWNER:**

J. MOR REALTY TRUST  
209 CULLINANE DRIVE  
MARLBOROUGH, MA 01752  
BOOK 18768 PAGE 509  
PARCEL I.D. 30-10

**PRELIMINARY  
SUBDIVISION PLAN  
CULLINANE DRIVE  
EXTENSION  
ALTERNATIVE 2  
40' WIDTH ROW  
CENTERED TO  
EXISTING ROW  
209 CULLINANE DRIVE  
MARLBOROUGH, MASS.**

SCALE: 1" = 20'  
DATE: AUGUST 4, 2021

FIELD SURVEY PERFORMED BY CHAPPELL ENGINEERING ASSOCIATES, LLC. COMPLETED ON JULY 26TH-30TH, 2021.  
PROPERTY LINE INFORMATION SHOWN IS CALCULATED FROM FIELD OBSERVATIONS, CITY OF MARLBOROUGH, MASS. RECORDS AND PLANS & DEEDS RECORDED AT THE MIDDLESEX COUNTY REGISTRY OF DEEDS.

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DATE: WILLIAM-TIRRELL-49930

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Civil Structural Land Surveying  
201 BOSTON POST ROAD WEST-SUITE 101  
MARLBOROUGH, MA 01752  
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N/F  
J. MOR REALTY TRUST  
PARCEL ID. 30-10  
REMAINDER LOT  
AREA=2,063,065 SF +/-  
47.3614 AC +/-

N/F  
ROBERT FLEMING  
18 OAK ROAD  
PARCEL ID. 6-137

N/F  
JAMES M. CURLEY  
OAK ROAD  
PARCEL ID. 6-128

N/F  
KARA E. GIAQUINTO  
24 LONGFELLOW TERRACE  
PARCEL ID. 6-127

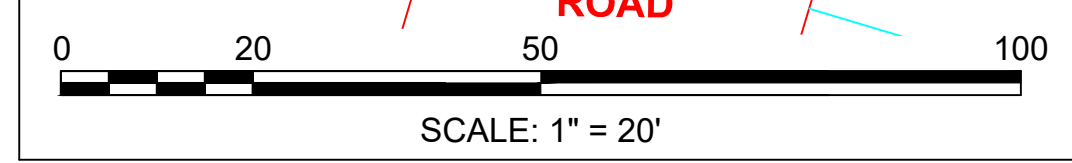
N/F  
MICHAEL E. SABIN  
25 LONGFELLOW TERRACE  
PARCEL ID. 6-116

N/F  
DAVID L. SOUCY  
166 CULLINANE DRIVE  
PARCEL ID. 6-112

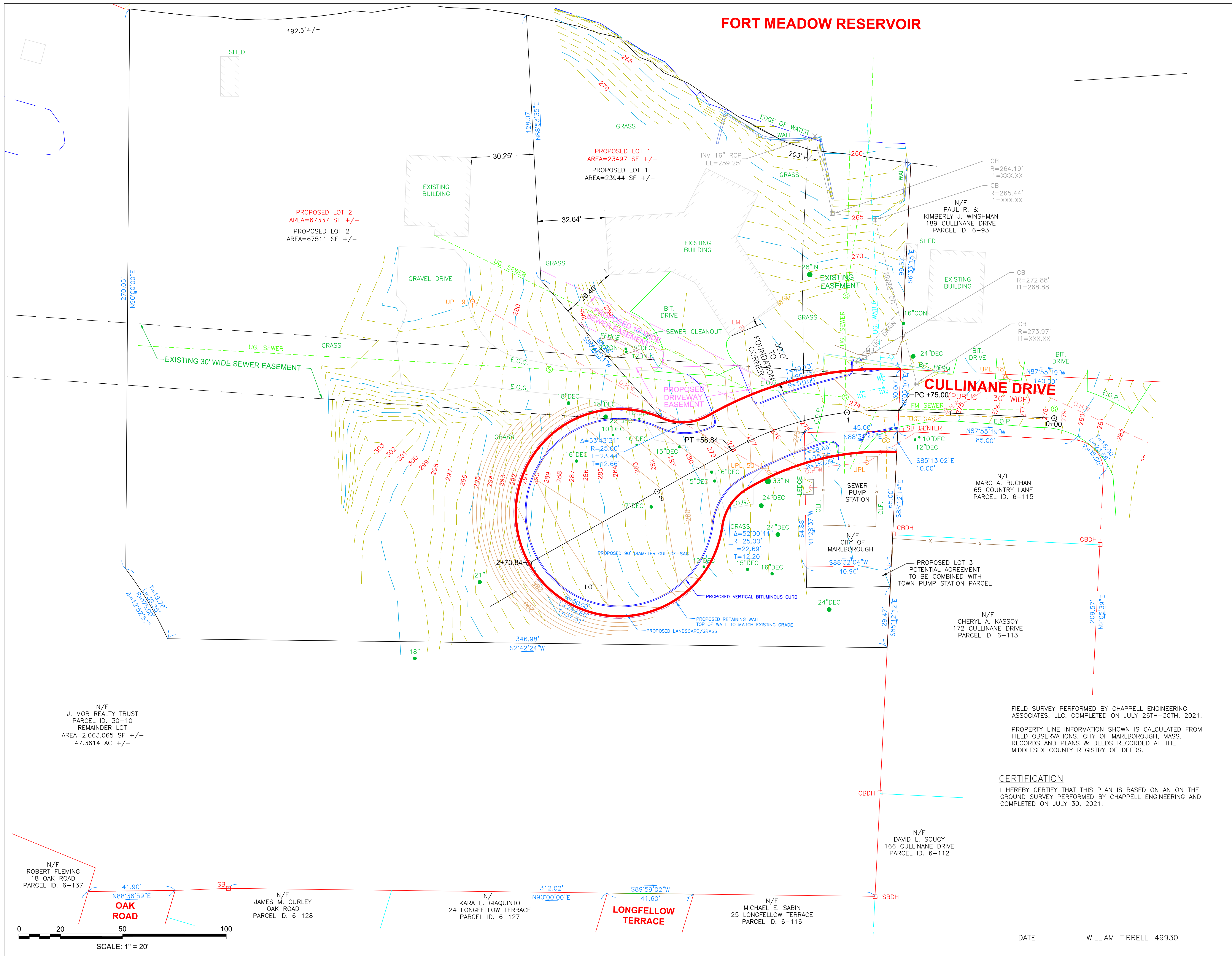
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MARC A. BUCHAN  
65 COUNTRY LANE  
PARCEL ID. 6-115

N/F  
CHERYL A. KASSOY  
172 CULLINANE DRIVE  
PARCEL ID. 6-113

N/F  
PAUL R. &  
KIMBERLY J. WINSHMAN  
189 CULLINANE DRIVE  
PARCEL ID. 6-93



# FORT MEADOW RESERVOIR



LEGEND	
	STREET R.O.W. LINE
	ABUTTER PROPERTY LINE
	LOCUS PROPERTY LINE
	EDGE OF PAVEMENT
	EDGE OF WATER
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	UTILITY POLE
	GUY WIRE ANCHOR
	SIGN
	HYDRANT
	WATER GATE
	GAS GATE
	CONCRETE BOUND DRILLHOLE
	STONE BOUND

PLAN REFERENCES	
<b>ROAD LAYOUTS</b>	
1899 BOLTON STREET COUNTY LAYOUT	1940 RESERVOIR STREET COUNTY LAYOUT
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1968 LONGFELLOW ROAD TOWN LAYOUT PLAN 1533 OF 1968	1968 UPLAND ROAD TOWN LAYOUT PLAN 1566 OF 1968
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944 OF 1969	1033 OF 1973
292 OF 1998	293 OF 1998
<b>OWNER:</b>	
J. MOR REALTY TRUST 209 CULLINANE DRIVE MARLBOROUGH, MA 01752 BOOK 18768 PAGE 509 PARCEL I.D. 30-10	

## PRELIMINARY SUBDIVISION PLAN CULLINANE DRIVE EXTENSION ALTERNATIVE 3

40' WIDTH ROW  
OFFSET TO EXISTING ROW

209 CULLINANE DRIVE  
MARLBOROUGH, MASS.

SCALE: 1" = 20'  
DATE: AUGUST 6, 2021

FIELD SURVEY PERFORMED BY CHAPPELL ENGINEERING ASSOCIATES, LLC. COMPLETED ON JULY 26TH-30TH, 2021.

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**CHAPPELL  
ENGINEERING  
ASSOCIATES, LLC**

Civil Structural Land Surveying  
201 BOSTON POST ROAD WEST-SUITE 101  
MARLBOROUGH, MA 01752  
TEL (508) 481-7400  
www.chappellengineering.com

DATE: \_\_\_\_\_ WILLIAM-TIRRELL-49930

SCALE: 1" = 20'

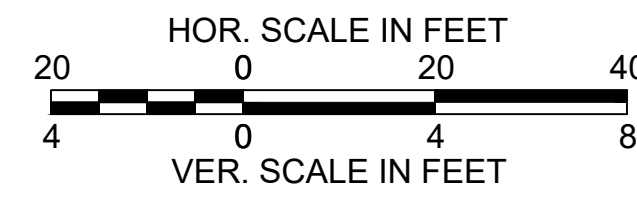
N/F ROBERT FLEMING  
18 OAK ROAD  
PARCEL ID. 6-137

N/F JAMES M. CURLEY  
OAK ROAD  
PARCEL ID. 6-128

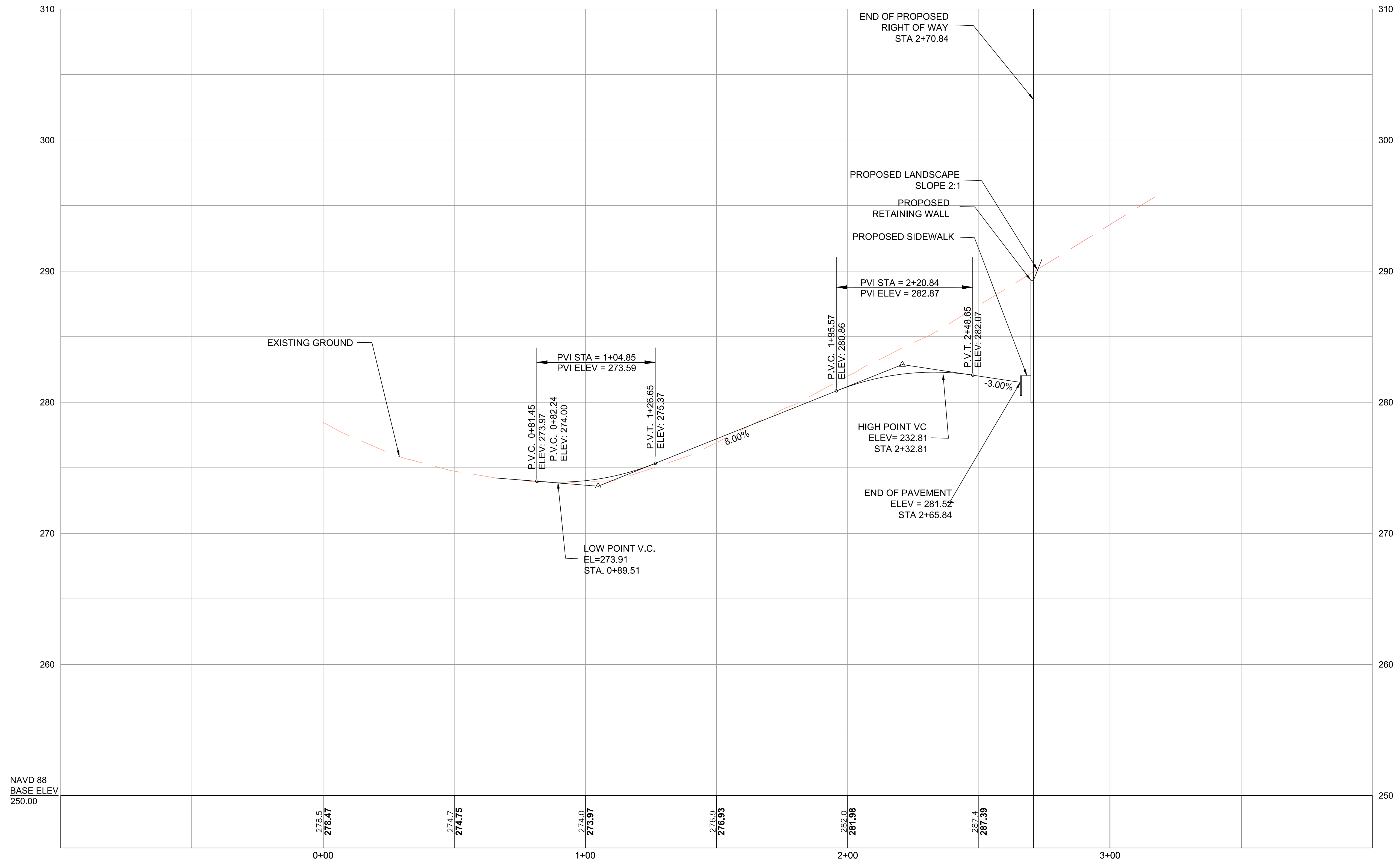
N/F KARA E. GIAQUINTO  
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PARCEL ID. 6-127

N/F MICHAEL E. SABIN  
25 LONGFELLOW TERRACE  
PARCEL ID. 6-116

N/F DAVID L. SOUCY  
166 CULLINANE DRIVE  
PARCEL ID. 6-112



50' CENTERED



**PRELIMINARY  
SUBDIVISION PLAN  
CULLINANE DRIVE  
EXTENSION**

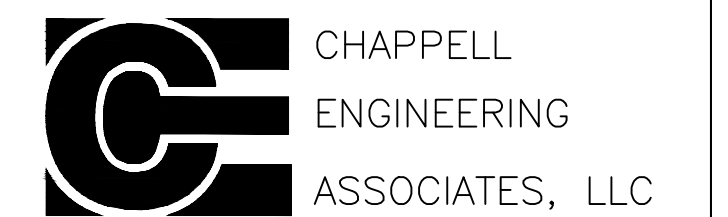
**ALTERNATIVE 1**

50' WIDTH ROW  
CENTERED TO  
EXISTING ROW

209 CULLINANE DRIVE  
MARLBOROUGH, MASS.

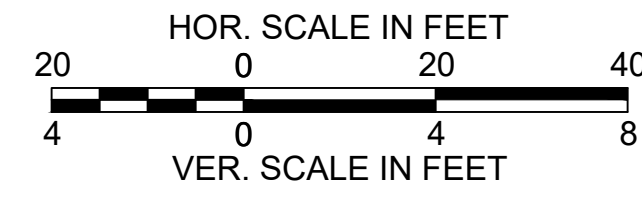
SCALE: 1" = 20'

DATE: AUGUST 4, 2021



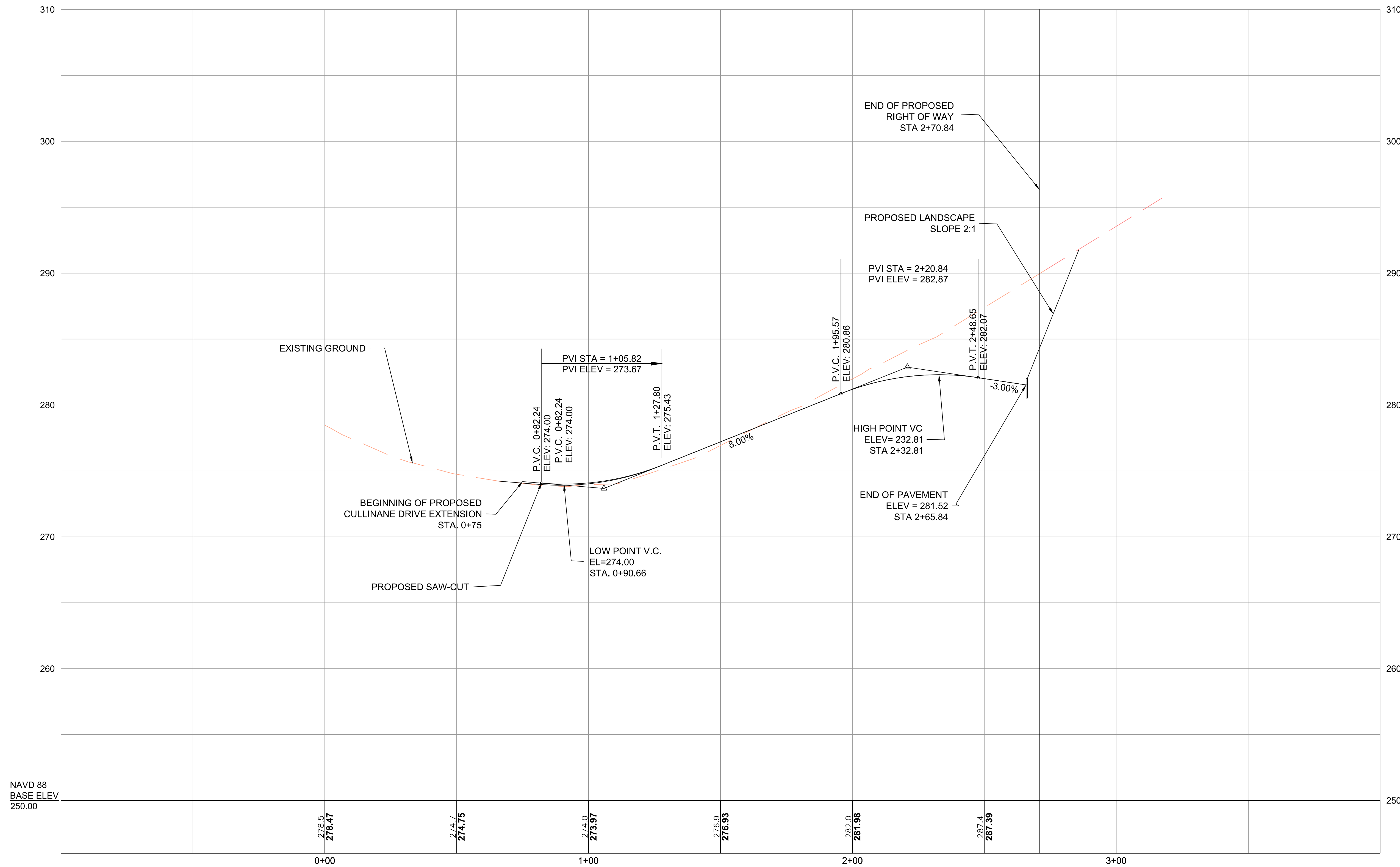
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MARLBOROUGH, MA 01752  
TEL (508) 481-7400  
www.chappellengineering.com

I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ON THE GROUND SURVEY PERFORMED BY CHAPPELL ENGINEERING AND COMPLETED ON JULY 30, 2021.



**40' LAYOUT CENTERED**

DATE WILLIAM-TIRRELL-49930



**PRELIMINARY  
SUBDIVISION PLAN**

**CULLINANE DRIVE  
EXTENSION**

**ALTERNATIVE 2**

40' WIDTH ROW  
CENTERED TO  
EXISTING ROW  
209 CULLINANE DRIVE  
MARLBOROUGH, MASS.

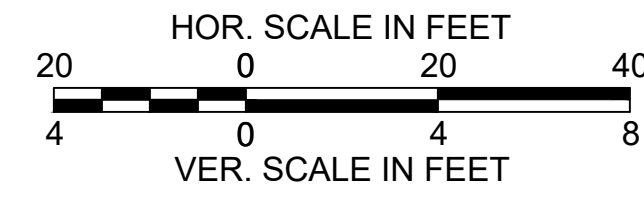
SCALE: 1" = 20'  
DATE: AUGUST 4, 2021

**CHAPPELL  
ENGINEERING  
ASSOCIATES, LLC**

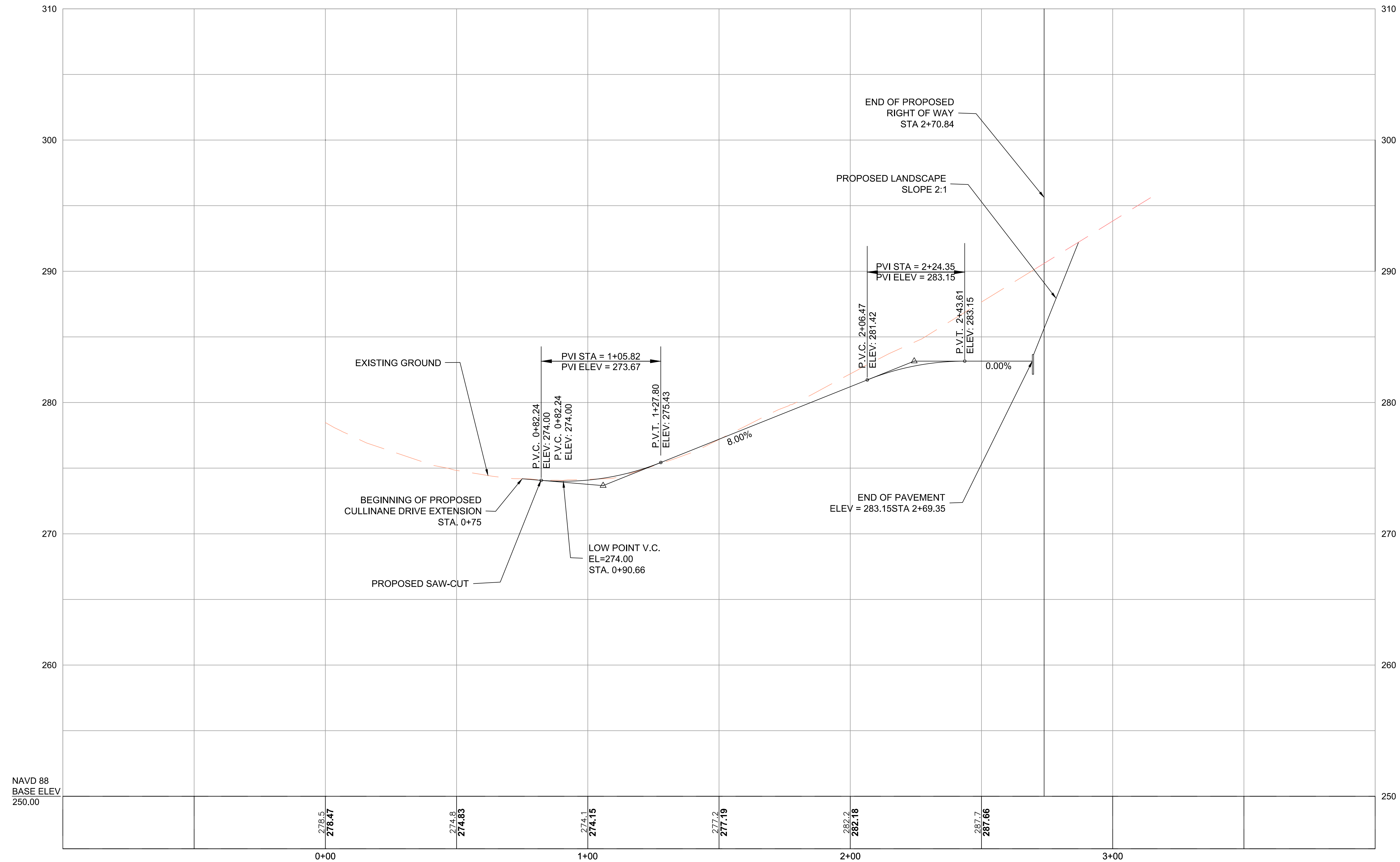
Civil Structural Land Surveying  
201 BOSTON POST ROAD WEST-SUITE 101  
MARLBOROUGH, MA 01752  
TEL (508) 481-7400  
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I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ON THE GROUND SURVEY PERFORMED BY CHAPPELL ENGINEERING AND COMPLETED ON JULY 30, 2021.

### 40 FOOT LAYOUT OFFSET



DATE WILLIAM-TIRRELL-49930

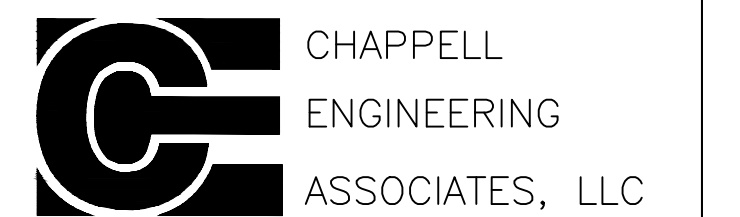


**PRELIMINARY  
SUBDIVISION PLAN  
CULLINANE DRIVE  
EXTENSION  
ALTERNATIVE 3**

40' WIDTH ROW  
OFFSET TO EXISTING ROW  
209 CULLINANE DRIVE  
MARLBOROUGH, MASS.

SCALE: 1" = 20'

DATE: AUGUST 4, 2021



Civil Structural Land Surveying  
201 BOSTON POST ROAD WEST-SUITE 101  
MARLBOROUGH, MA 01752  
TEL (508) 481-7400  
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# City of Marlborough Conservation Commission

140 Main Street  
Marlborough, Massachusetts 01752  
Tel. (508) 460-3768 Facsimile (508) 460-3747

Edward Clancy – Chairman  
Dennis Demers  
John Skarin  
Allan White  
David Williams  
Karin Paquin  
William Dunbar  
Priscilla Ryder Conservation Officer

August 27, 2021

Alexandre Sampaio  
514 Pleasant St.  
Marlborough, MA 01752

AACCSampaio@yahoo.com

RE: Follow up on Wetland Violation- 541 Pleasant St.  
\$700 fine

Dear Mr. Sampaio,

At its meeting on August 5 and again on August 19, 2021 the Conservation Commission discussed 541 Pleasant St. and I shared the e-mail you had sent to me. The Commission noted that their responsibility is to protect the wetland which you have cleared. Although they are sympathetic to your financial issues and the fact you had different expectations for the land, the fact is that the wetlands are protected by state law and the Commission is responsible for making sure the wetlands are protected. Wetlands are important for flood control, water quality improvements, wildlife habitat among a few of their many important functions. In Massachusetts it is the responsibility of the buyer to know what they are buying and what restrictions run with the land. The fact that you cleared trees in the wetland and buffer zone in the beginning without a permit and then continued to clear after you had been notified not to has resulted in the violation notices you have received. The last two notices required you to hire a wetland consultant in order to remedy the clearing violations and to give you a better sense of what you can and cannot do with your lot.

We were disappointed that you were not able to attend the August 19<sup>th</sup> meeting so the Commission could discuss this with you. Given that we have not heard from you the Commission has determined that a \$100 daily fine shall be assessed. I will be sending you a notice with a fine once a week for \$700 (7 days x \$100) until such time we hear from you and you have hired a wetland consultant to help you delineate the wetland.

If you would like to discuss further with the Commission, please plan to attend their next meeting either on Thursday Sept. 2, or the following meeting on Thursday, September 16, 2021 at 7:00 PM at City Hall.

Please let me know when you receive this letter. If you have a question on the above, please call this office at 508-460-3768.

Sincerely,

Priscilla Ryder  
Conservation/ Sustainability Officer

Ticket: #0332 - \$700



# City of Marlborough Conservation Commission

140 Main Street  
Marlborough, Massachusetts 01752  
Tel. (508) 460-3768 Facsimile (508) 460-3747

*Edward Clancy – Chairman  
Allan White  
David Williams  
Dennis Demers  
John Skarin  
Karin Paquin  
William Dunbar  
Priscilla Ryder Conservation Officer*

August 27, 2021

Israel Lopez  
Managing Director of Development  
The Gutierrez Co.  
200 Summit Drive; Suite 400  
Burlington, MA 01803

[ilopez@gutierrezco.com](mailto:ilopez@gutierrezco.com)

RE: DEP 212—1193 Wetland Violation notice- Fine \$400  
149 Hayes Memorial Dr., Marlborough

Dear Mr. Lopez,

As I discussed with Dan Dedinsky, Mark Arnold and the construction team on Friday August 20, 2021 on the 149 Hayes Memorial Dr. site, the muddy water and silt which was discharged into three different area into the wetlands during the rain last week is a violation of the Order of Conditions issued for this project and a fine of \$400 is being assessed for each of these discharges and the failure to follow the sequencing plan as required. The site was planned to be phased to ensure that the site would not be opened up. However, as this wasn't followed the site failed to be able to control the runoff from the heavy storm, we had last week.

As a follow up to my site visit last Friday, I have had several e-mails from both Dan and Mark which included construction sequencing and cleanup information which has addressed these violations and it is clear they are both working with the construction team to bring the site into a condition so these violations will not occur again and have cleaned up the silt from the wetlands. We appreciate the prompt attention given to address these issues. We will continue to keep a close eye on this site until it has been stabilized. We are hopeful this will be the last violation on this site.

Should you have any questions on the above, please give me a call at 508-460-3768.

Sincerely,

  
Priscilla Ryder  
Conservation Officer

E-mail: Tom DiPersio— DPW; Con Com  
Dan Dedinsky [ddedinsky@gutierrezco.com](mailto:ddedinsky@gutierrezco.com); Mark Arnold [mark@goddardconsultingllc.com](mailto:mark@goddardconsultingllc.com)

Ticket: #0333 \$400





# City of Marlborough Conservation Commission

140 Main Street  
Marlborough, Massachusetts 01752  
Tel. (508) 460-3768 Facsimile (508) 460-3747

Edward Clancy – Chairman  
Dennis Demers  
John Skarin  
Allan White  
David Williams  
Karin Paquin  
William Dunbar  
Priscilla Ryder Conservation Officer

August 27, 2021

Kevin O'Malley  
KCO Realty Trust  
3 Kelly Ln.  
Hudson, MA 01749

[kcoservice@aol.com](mailto:kcoservice@aol.com)


RE: Wetland Violation; DEP 212-1217- 78 Roosevelt St.  
\$200 fine

Dear Mr. O'Malley,

As we discussed on the phone on Friday August 20, 2021, the erosion controls at the above noted site had been breached during the previous rain event behind this lot, and the erosion controls along the roadway had also been destroyed and were no longer functioning sending soil and debris to the end of the roadway. These are violations of the Order of Conditions DEP 212-1217.

You must keep the erosion controls in working order to protect the adjacent wetlands. You are also responsible to check the site and all erosion controls before and after a storm event to ensure they are in good working order. When I arrived on the site on Friday after the storm on Thursday no attempt to correct any of these failures had been done. A fine of \$200 is being assessed for this violation. Please be sure to check your site before and after storm events to ensure proper functioning going forward, as is required by the Order of Conditions.

If you have a question on the above, please call this office at 508-460-3768.

Sincerely,  
  
Priscilla Ryder  
Conservation/ Sustainability Officer

Ticket: #0335 \$200

Rec. 8-23-2021

Neighbors of Boivin Drive  
Boivin Drive  
Marlborough, MA 01752

August 9, 2021

Lot 13

Re: Enforcement of Order of Conditions, 37 Boivin Drive, Marlborough MA 01752

To Whom It May Concern,

We are writing to formally request your attention to enforce the Order of Conditions of Occupancy, regarding the exterior landscape of, 37 Boivin Drive to date that have not been met.

The conditions of this property are unacceptable. It is our understanding that the occupancy was with restrictions that the property would comply with the neighborhood landscape. It is a concern of all of us in the neighborhood that take great pride in our property ownership and have complied with the City of Marlborough. We would expect that 37 Boivin Drive, meet these compliances as well.

We urge you in enforcing the order and resolve this issue in a timely manner.

Kindly,  
Neighbors of Boivin Drive

Judy Fogarty

Janet Eitoni

Trace Cappadona

Therese Briones

Linda Butler-White

Don R. Pater

✓ ✓ 7x2

William McGhee

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August 19, 2021

City of Marlborough  
Marlborough Conservation Commission  
Attn: Priscilla Ryder, Conservation Officer  
140 Main Street  
Marlborough, MA 01752

Reference: **Notice of Proposed Buried Cable Replacement along Ferrechia Drive,  
MacQuarrie Drive and Masciarelli Drive  
Marlborough, Massachusetts  
Coneco Project Number: 11518.0  
Work Request # 25471973**

Dear Commission Members:

This letter is to notify the Marlborough Conservation Commission that Massachusetts Electric Company (MECO) is planning to replace existing direct buried cable with new cable in conduit using directional drilling methods along Ferrechia Drive, MacQuarrie Drive and Masciarelli Drive in Marlborough, MA. A Bordering Vegetated Wetland is located at the intersection of Ferrechia Drive and Northboro Road East. Work will be completed more than 20 feet from the Bordering Vegetated Wetlands. It is anticipated that work will be completed by 2022/2023.

Please refer to the attached Aerial and USGS Topographic Quadrangle showing the project location.

#### **Work Area Description & Wetland Resource Areas**

The project involves the replacement of existing direct buried cable with new cable in conduit using directional drilling methods along Ferrechia Drive, MacQuarrie Drive and Masciarelli Drive in Marlborough, MA. Work limits include approximately 1,380 linear feet (lf) of Ferrechia Drive, starting at the Northboro Road East / Ferrechia Drive (at UP 64) intersection and ending approximately 120 feet north of MacQuarrie Drive; approximately 120 lf of Masciarelli Drive; and approximately 255 lf of MacQuarrie Drive. Cable to be installed will include: a total of approximately 1,660 lf of 1-2" cable in conduit (CIC), 375 lf of 2-2" CIC, and approximately 67 lf of 2-3" PVC conduit with 30 lf of the 2-3" PVC conduit encased in concrete. The project also includes the installation of 2-3" risers on UP 64 per NGRID standards, five pull boxes, a switch pad and four single phase transformers and pads.

Work will be completed within the roadway or immediately adjacent to the edge of pavement. The majority of conduit will be installed using directional drilling methods. Ground Penetrating Radar will be used to locate the existing utilities and guide the horizontal directional drilling process. Conduit will be encased in concrete at road crossings and where sections of conduit are installed under roadways, including the section of conduit proposed between UP 64 and Pull Box #1, located in Ferrechia Drive's eastern sidewalk. In cases where excavation occurs inside tolerance zones and in cases where cables must stay energized, work will be completed using a vacuum truck and hand

digging. Other excavation methods may also include the use of a backhoe. No ledge will be removed as a part of the project.

Protective measures and best management practices (BMPs) consisting of staked straw wattles, catch basin silt sacks and dewatering basins constructed out of straw bales, Mirafi fabric and stone will be implemented, as needed. Temporarily disturbed areas will be stabilized and restored to pre-construction conditions to the extent practicable. Restoration will include:

- Loaming and seeding grass areas to previously existing conditions or better,
- Repairing sidewalk to match full width of existing sidewalk, and
- Repairing or restoring curbing to match existing asphalt curbing as necessary.

All construction materials, vehicles, and nonbiodegradable sediment controls will be removed from the site upon completion of work. A copy of MECO's Environmental Guidance for Right-of-Way Access, Maintenance, and Construction BMPs is available upon request.

#### **Massachusetts Wetlands Protection Act Exemption**

The proposed project is exempt from the Massachusetts Wetlands Protection Act (Chapter 131, § 40) under Section 310 CMR 10.02(2)(a) 2. of the Regulations; *activities conducted to maintain, repair or replace, but not substantially change or enlarge an existing and lawfully located structure or facility used in the service of the public and used to provide electric, gas, water, sewer, telephone, telegraph and other communication services, provided said work utilizes the best practical measures to avoid or minimize impacts to wetland resource areas outside of the footprint of said structure or facility.*

#### **City of Marlborough Water Supply Protection District Regulations and 20 Foot Wetland Setback Policy**

The project is located within the City of Marlborough Water Supply Protection District. According to § 650-24 (4) of the Water Supply Protection District City Code, "No provisions of this subsection shall be construed to limit routine maintenance of public utilities or roads, conservation activities or recreation." Subsequently, no review or filing with the Marlborough Zoning Board is required.

The City of Marlborough does not have a Local Wetlands Ordinance. However, the City does have a 20-foot wetland setback policy which prohibits any work within 20 feet of a wetland. There is an existing Bordering Vegetated Wetland at the intersection of Ferrechia Drive and Northboro Road East. Within the project area, the wetland is immediately north of Northboro Road East and east of Ferrechia Drive. The wetland is between 21 and 30 feet from the back of Ferrechia Drive's paved sidewalk.

No work including the construction of directional drilling pilot holes shall occur within 20 feet of the wetland located at the intersection of Ferrechia Drive and Northboro East Road.

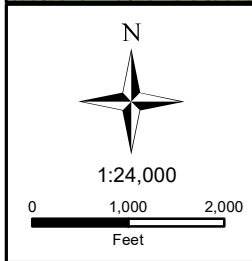
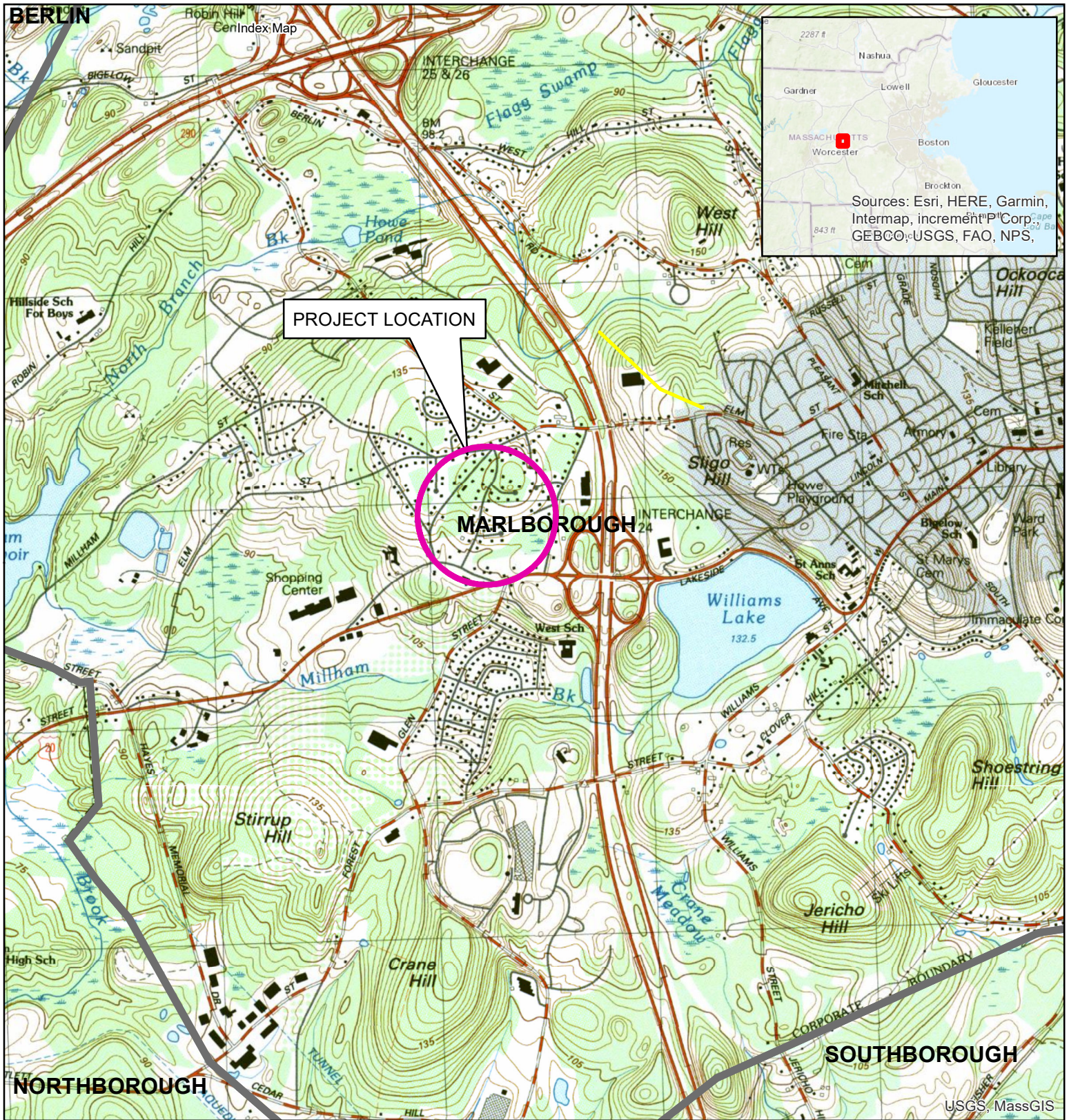
If you have any questions or would like more information, please contact me at 508-525-9945 or via email at [lmacdonald@coneco.com](mailto:lmacdonald@coneco.com).

Sincerely,

A handwritten signature in cursive script, reading "Lori A. Macdonald".

Lori A Macdonald, PWS, CWB, CESSWI  
Sr. Environmental Scientist-Ecological Services

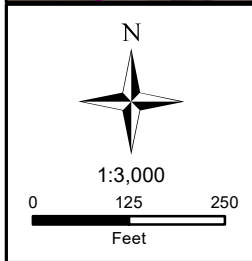
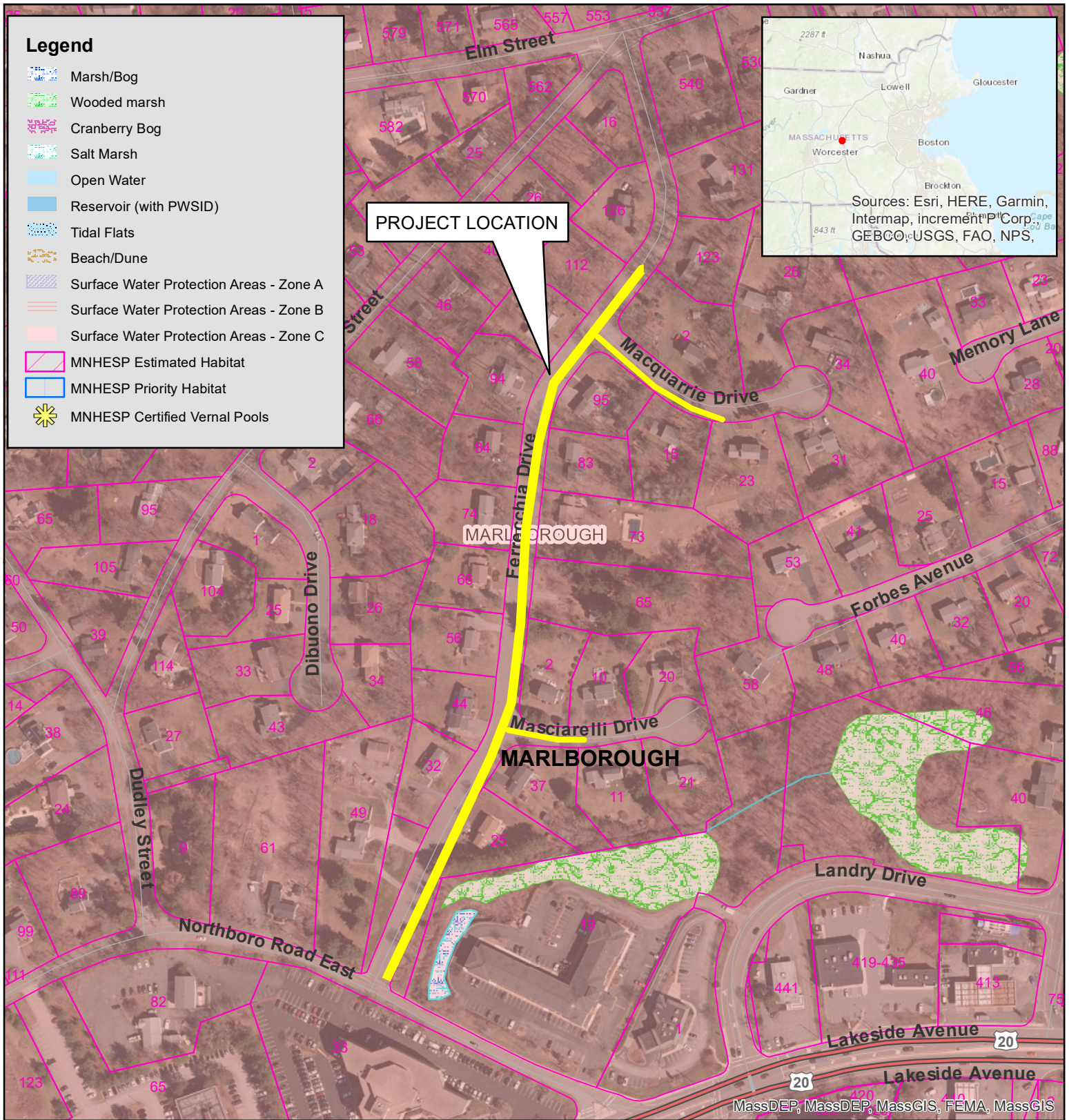
Attachments: Locus Site Maps  
cc: Marlborough Zoning Board  
Jaime Walker, MECO



**FIGURE 1: USGS Quadrangle**  
**PROPOSED BURIED CABLE REPLACEMENT**  
**ALONG FERRECHIA, MACQUARRIE AND MASCIARELLI DRIVES**  
Marlborough, Massachusetts  
Lat: 42.341750° Lon: -71.583255°

Source: Massachusetts 2019  
USGS Color Ortho Imagery





**FIGURE 2: AERIAL MAP**  
**PROPOSED BURIED CABLE REPLACEMENT**  
**ALONG FERRECHIA, MACQUARRIE AND MASCIARELLI DRIVES**  
 Marlborough, Massachusetts  
 Lat: 42.341750° Lon: -71.583255°

Source: Massachusetts 2019 USGS Color Ortho Imagery

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