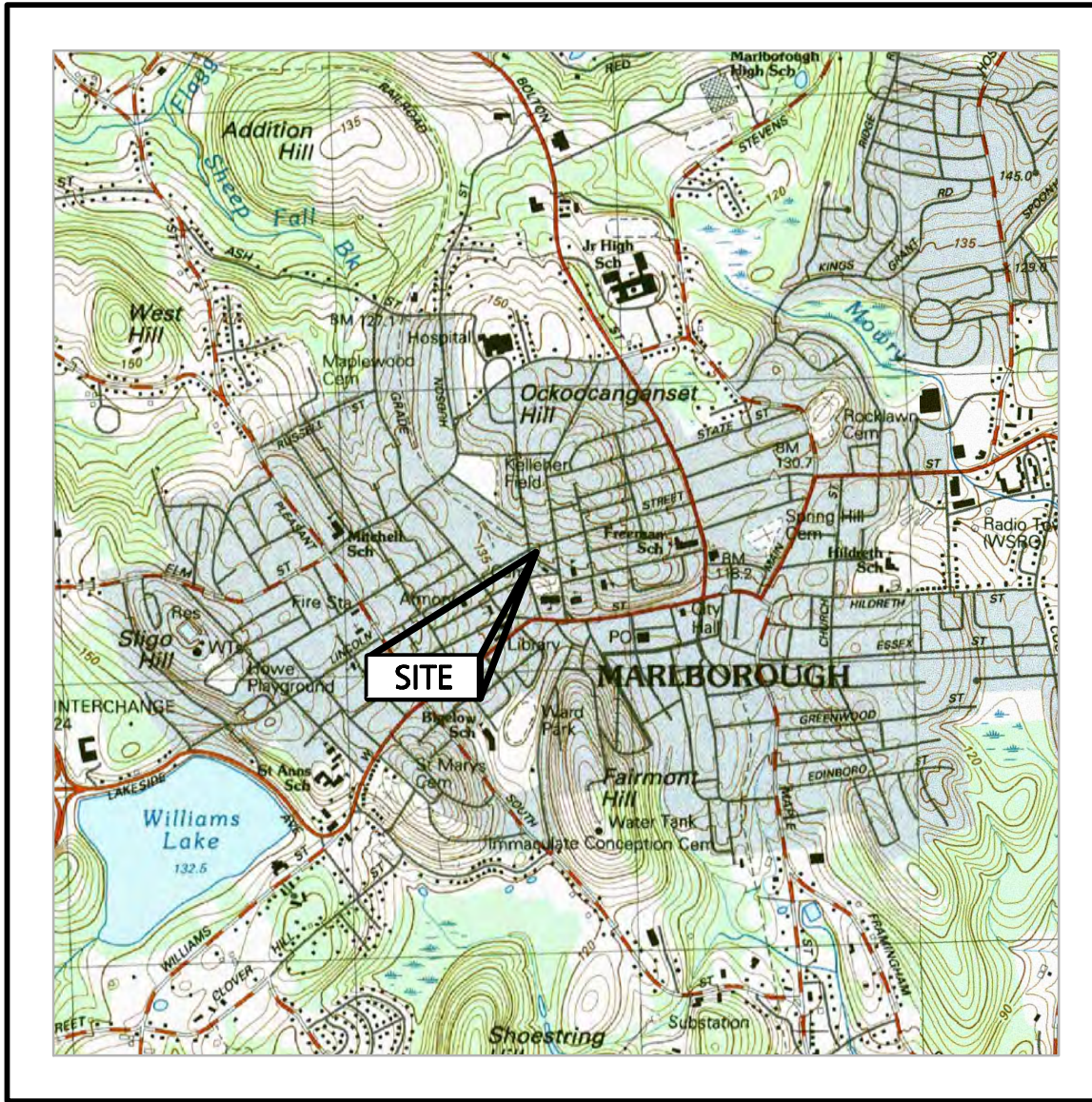


PROPOSED MULTI-FAMILY DEVELOPMENT

272 Lincoln Street
 (Tax Map 69 Lots 523 & 523A)
 Marlborough, Massachusetts 01752

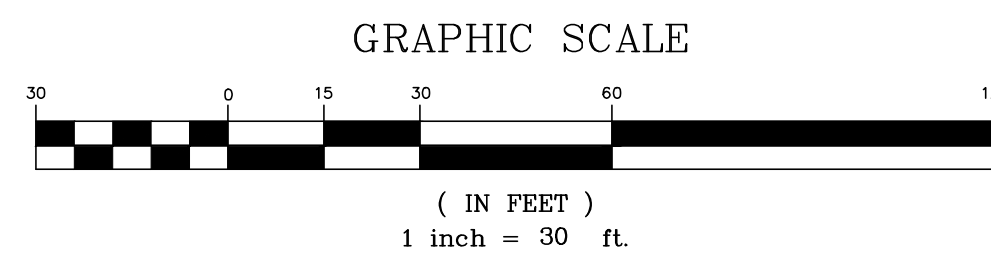
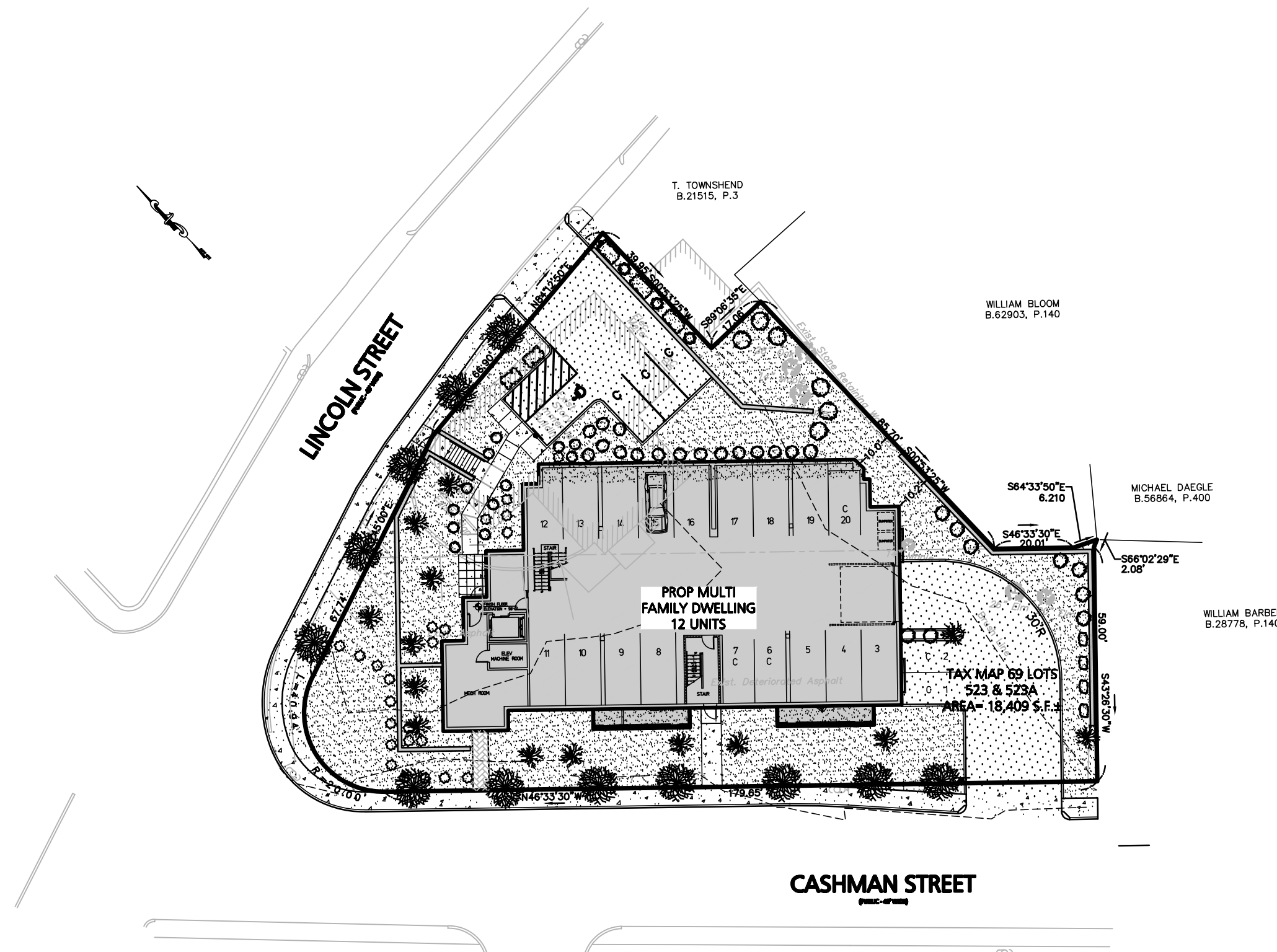


LOCUS MAP
 SCALE: 1:25,000

OWNER/APPLICANT:
 272 LINCOLN LLC
 11 PLACID ROAD
 NEWTON, MA 02459

CIVIL ENGINEER:
 ENGINEERING ALLIANCE, INC.
 194 CENTRAL STREET
 SAUGUS, MA 01906
 (781) 231-1349

ARCHITECT:
 BOURQUE DESIGN
 9 MORTON STREET
 WALTHAM, MA 02543
 (781) 296-6654

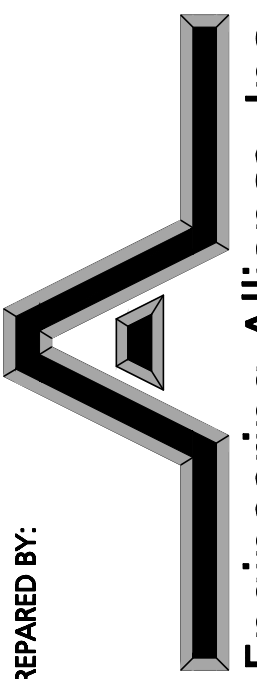


PREPARED BY:

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street 1950 Lafayette Road
 Saugus, MA 01906 Portsmouth, NH 03801
 Tel: (781) 231-1349 Tel: (603) 610-7100
 Fax: (781) 417-0020 Fax: (603) 6107101

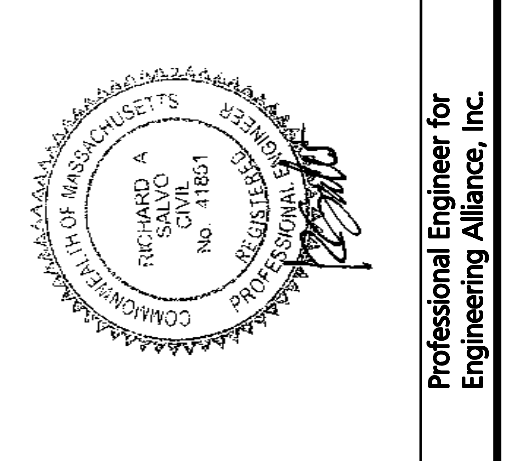
KEY MAP
 scale 1"=30'
 PREPARED FOR:
 272 Lincoln LLC
 11 Placid Road
 Newton, MA 02459

- SHEET NUMBER AND TITLE**
- C-0 COVER SHEET
 - C-1 EXISTING CONDITIONS PLAN
 - C-2 SITE LAYOUT PLAN
 - C-3 GRADING & DRAINAGE PLAN
 - D-1 CONSTRUCTION DETAILS I
 - D-2 CONSTRUCTION DETAILS II

PREPARED BY:

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street
 Saugus, MA 01906
 Tel: (781) 231-1349
 Fax: (781) 417-0020

PROJECT: **Plan of Land**
 272 Lincoln Street
 (Tax Map 69 Lots 523 & 523A)
 Marlborough, Massachusetts

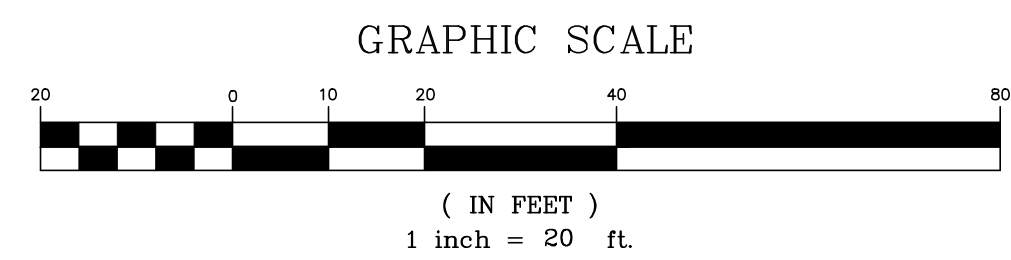
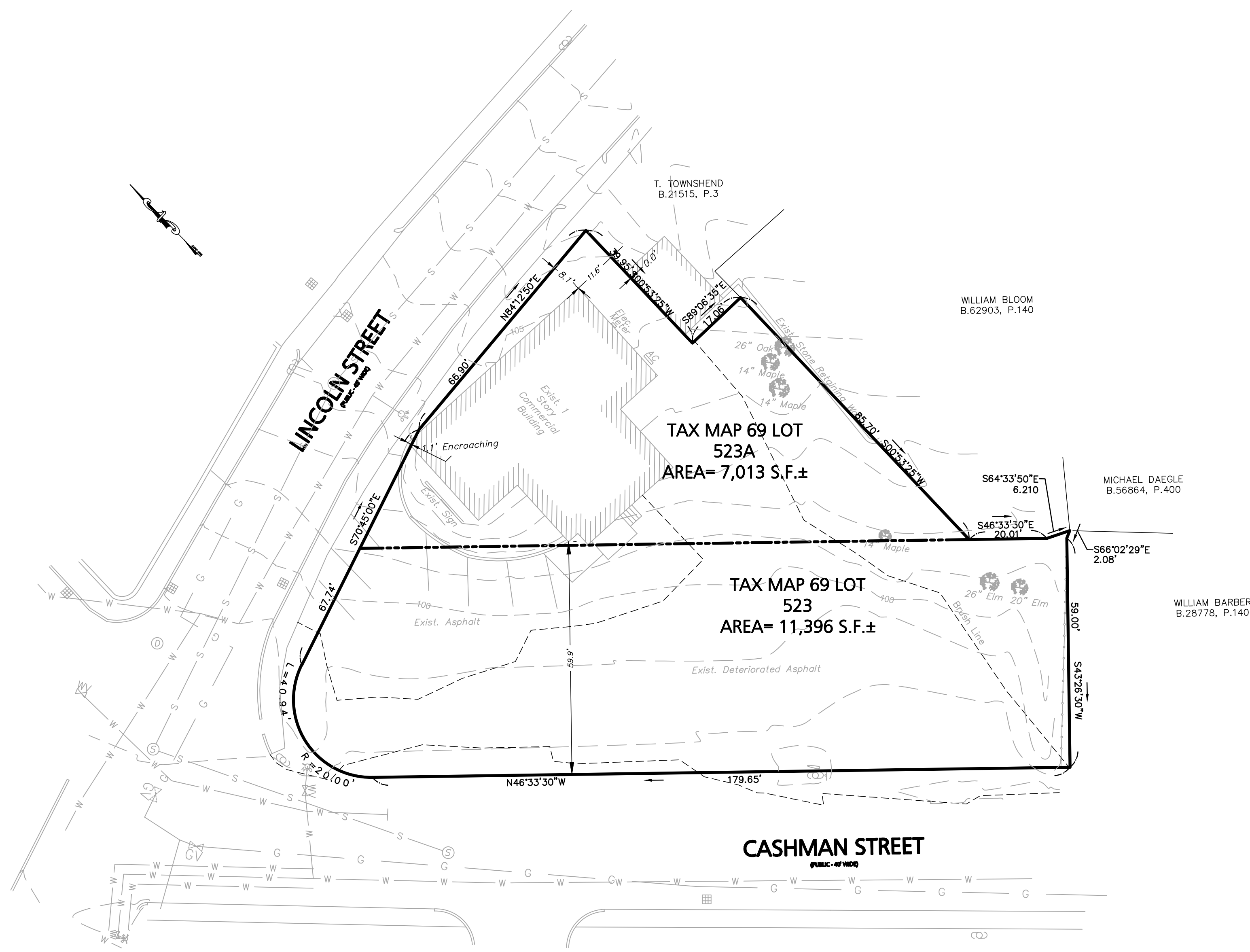
PROJECT #: 21-58510 DATE: January 19, 2022
 SCALE: As Noted DWG FILE NAME: 21-58510.DWG
 DESIGN BY: Ines Greenway CHECKED BY: Richard A. Salvo, P.E.



OWNER / APPLICANT:
 272 Lincoln LLC
 11 Placid Road
 Newton, MA 02459

DWG. NO. **C-0** DRAWING TITLE: **Cover Sheet**

2/2/2023	MODIFY BUILDING AND PARKING CONFIGURATION
12/29/22	MODIFY PER SITE PLAN REVIEW COMMENTS
9/2/22	REVISE BUILDING FOOTPRINT
DATE	DESCRIPTION OF REVISION



LEGEND - EXISTING CONDITIONS PLAN	
PROPERTY LINE	—————
EXISTING BUILDING	//////
EXISTING EDGE OF PAVEMENT	-----
EXISTING SPOT SHOT	15.52 x
EXISTING WATER SHUTOFF	⊕
EXISTING GAS SHUTOFF	⊕
EXISTING RETAINING WALL	⊞
EXISTING SEWER LINE	— S — S —
EXISTING WATER LINE	— W — W —
EXISTING ELECTRIC LINE	— EHV — EHV —
EXISTING HYDRANT	⊕
EXISTING SEWER MANHOLE	⊕
EXISTING DRAINAGE MANHOLE	⊕
EXISTING CATCH BASIN	⊕
EXISTING LIGHT POLE	⊕
EXISTING UTILITY POLE	⊕
EXISTING SIGN	⊕
EXISTING CONTOUR	— 82 —

GENERAL NOTES

OWNER OF RECORD: 272 LINCOLN LLC
11 PLACID ROAD
NEWTON, MA 02459

DEED REFERENCE: BOOK 74926, PAGE 430

TAX MAP REFERENCE: MAP 69 LOTS 523 & 523A

EXISTING CONDITIONS INFORMATION SHOWN ON THIS PLAN WAS OBTAINED FROM AN ACTUAL FIELD SURVEY PERFORMED BY HAWK CONSULTING IN SEPTEMBER 2020.

ACCORDING TO THE F.E.M.A. MAP FOR MIDDLESEX COUNTY, MAP No. 25017C048AF DATED JULY 7, 2014 THE SUBJECT PROPERTY IS LOCATED ENTIRELY WITHIN ZONE "X." ZONE "X" IS CLASSIFIED AS AREAS OF MINIMAL FLOODING.

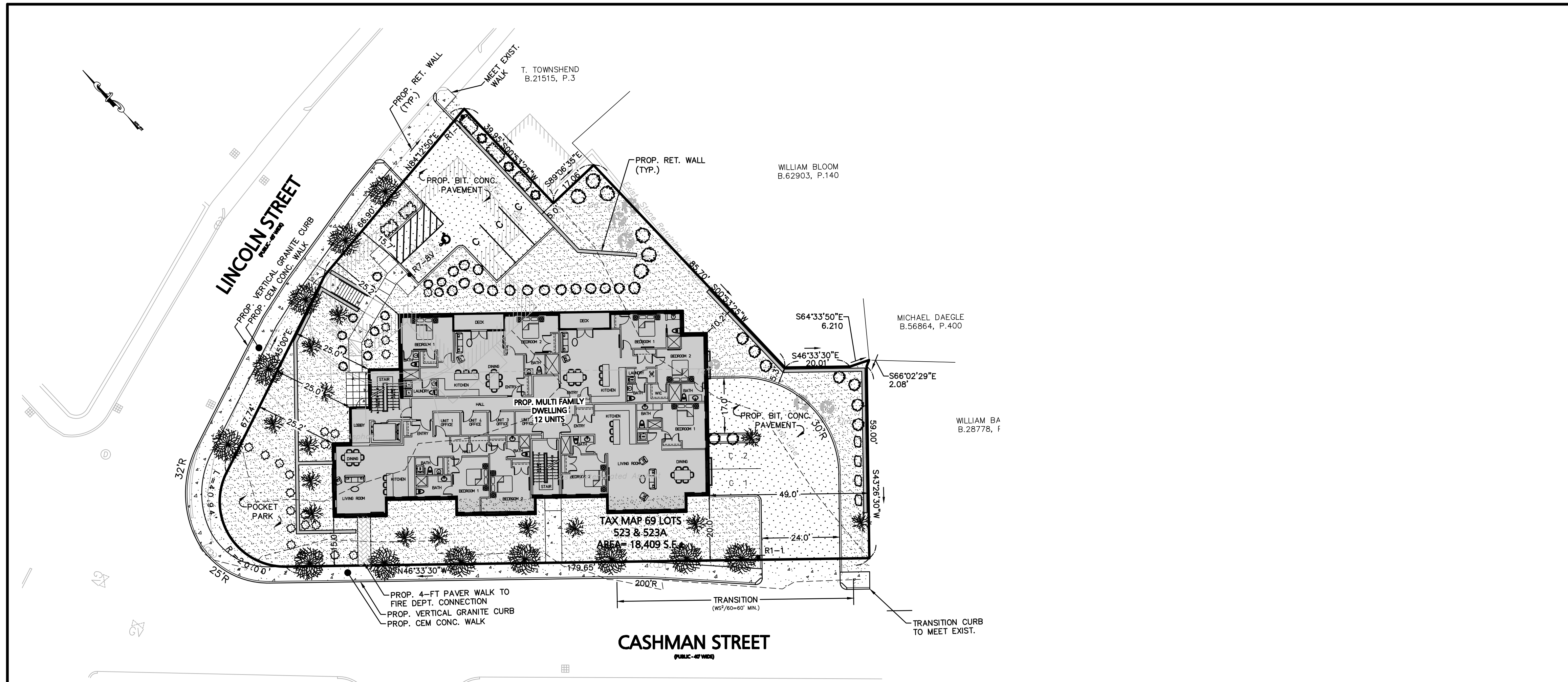
PREPARED BY:

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
1950 Lafayette Road
Portsmouth, NH 03801
Tel: (603) 610-7100
Fax: (603) 610-7101

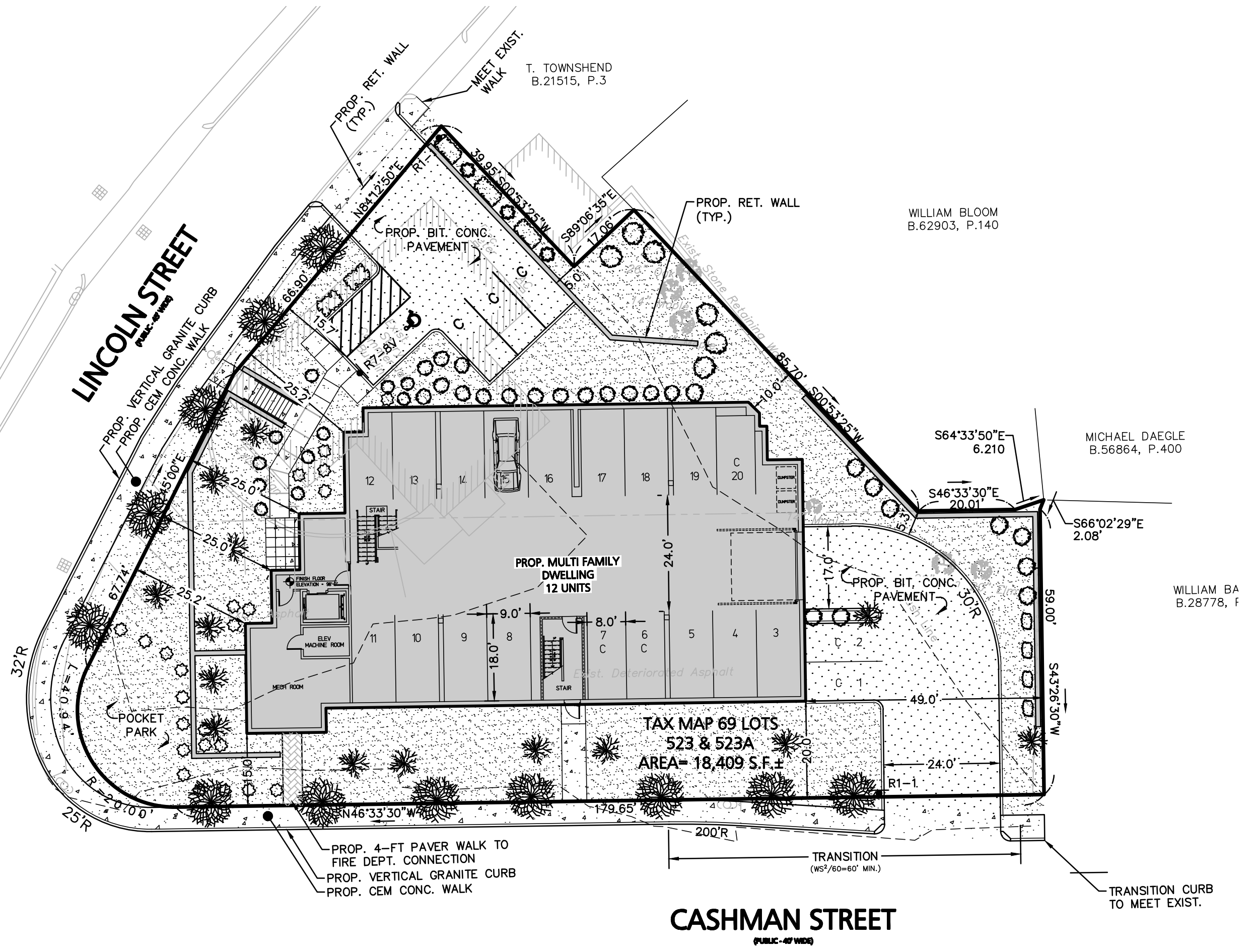
PROJECT:	Plan of Land	DATE: January 19, 2022
	272 Lincoln Street (Tax Map 69 Lots 523 & 523A) Marborough, Massachusetts	DWG FILE NAME: 21-58510.DWG
PROJECT #:	21-58510	CHECKED BY: Richard A. Salvo, P.E.
SCALE:	As Noted	DESIGN BY: Ines Greenway

Professional Engineer for
Engineering Alliance, Inc.

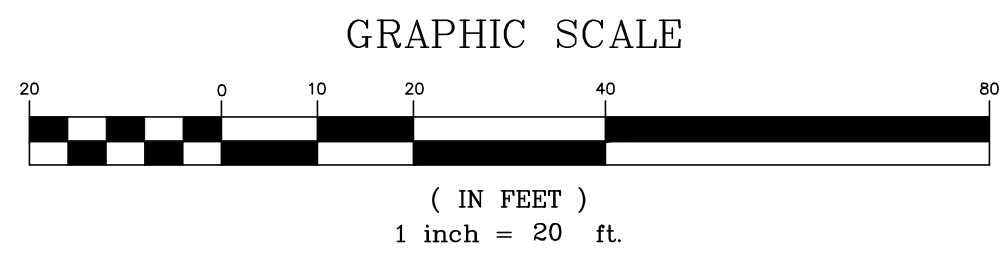
OWNER / APPLICANT:	272 Lincoln LLC 11 Placid Road Newton, MA 02459
DWG. NO.	C-1
DRAWING TITLE:	Existing Conditions Plan



Upper Level Layout Plan



Lower Level Parking Plan



LEGEND - SITE LAYOUT PLAN	
PROPERTY LINE	—————
PROPOSED STRIPING	
PROPOSED BUILDING	▬
PROPOSED COMPACT SPACE	⊙
PROPOSED CURBING	=====
PROPOSED POROUS ASPHALT
PROPOSED LANDSCAPED AREA
PROPOSED CEMENT CONCRETE
PROPOSED DIRECTIONAL ARROW	➔
PROPOSED ACCESSIBLE SPACE	♿
PROPOSED WALL	▬
PROPOSED SIGN	■

DIMENSIONAL AND DENSITY REGULATIONS (NEIGHBORHOOD BUSINESS DISTRICT (NB))			
ITEM	REQUIRED	PROVIDED	RELIEF REQUIRED
MINIMUM LOT AREA	5,000 S.F.	18,409 S.F.	NO
MINIMUM FRONTAGE & LOT WIDTH	50 FT	155.11 FT ⁽¹⁾	NO
MINIMUM SIDE YARD SETBACK	10 FT	10.0 FT	NO
MINIMUM FRONT YARD SETBACK	15 FT ^(1,2)	15.0 FT	NO
MINIMUM REAR YARD SETBACK	25 FT ⁽²⁾	N/A ⁽³⁾	NO
HEIGHT	2.5 MIN 52 FT MAX	34' - 10"	NO
MAXIMUM LOT COVERAGE	75%	34.4% ⁽⁴⁾	NO
OPEN SPACE (100 S.F./DU)	1,200	3,100 S.F.	NO

- NOTES:
- PER THE CITY OF MARLBOROUGH ZONING BYLAW SECTION 650-5, "DEFINITIONS, WORD USAGE" THE DEFINITION OF LOT FRONTAGE IS AS FOLLOWS: "...FOR LOTS ABUTTING MORE THAN ONE STREET, FRONTAGE SHALL BE REQUIRED AND MEASURED ALONG ONE STREET ONLY, BUT THE FRONT YARD REQUIRED BY ARTICLE VII HEREOF SHALL BE PROVIDED ALONG EACH STREET THE LOT ABUTS, AND THAT FOR CORNER LOTS FRONTAGE SHALL BE MEASURED TO THE INTERSECTION OF THE STREET RIGHT-OF-WAY LINES OR TO THE MIDDLE OF THE CORNER-ROUNDING CURVE CONNECTION SUCH STREET RIGHTS-OF-WAY."
 - 15 FEET FOR STRUCTURES UNDER 35 FEET; INCREASES TO 25 FEET FOR STRUCTURES 35 FEET OR TALLER.
 - CORNER LOT DOES NOT INCLUDE ANY REAR YARDS, ONLY FRONT AND SIDE YARDS
 - LOT COVERAGE = 6,325 S.F. / 18,409 S.F. = 34.4%
 - HEIGHT CALCULATION:
ROOF ELEVATION = 140.0
140.0 - 105.14 = 34.86
AVG GRADE ELEVATION = 105.14

PARKING CALCULATIONS		
COMPONENT	REQUIRED	PROPOSED
NEIGHBORHOOD BUSINESS (NB)	24 SPACES (2 spaces per unit) 12 units x 2 spaces = 24 Spaces	15 SPACES (Standard Parking) 8 SPACES (Compact Parking) 1 SPACE (Accessible Parking)
TOTAL	24 SPACES	24 SPACES

- NOTE:
1. STANDARD PARKING SPACE DIMENSIONS = 9'x18'
COMPACT PARKING SPACE DIMENSIONS = 8'x16'

SIGN TABLE					
REGULATORY DESCRIPTION	SIGN	SIZE	MOUNTING HEIGHT	DESCRIPTION	REFLECTORIZED
R7-8V		12' X 20"	7' - 0"	GREEN & BLUE ON WHITE	YES
R1-1		24' X 24"	7' - 0"	WHITE ON RED	YES

ALL SIGNS AND PAVEMENT MARKINGS TO BE INSTALLED SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

DATE	DESCRIPTION OF REVISION
2/2/2023	MODIFY BUILDING AND PARKING CONFIGURATION
12/29/22	MODIFY PER SITE PLAN REVIEW COMMENTS
9/29/22	CALCULATE AVG BLD GRADE & UPDATE BLD HEIGHT
9/2/22	REVISE BUILDING FOOTPRINT

PREPARED BY:

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
Fax: (781) 417-0020

PROJECT:

Plan of Land
272 Lincoln Street
(Tax Map 69 Lots 523 & 523A)
Marlborough, Massachusetts

DATE: January 19, 2022
DWG FILE NAME: 21-58510.DWG
CHECKED BY: Richard A. Salvo, P.E.

PROJECT #: 21-58510
SCALE: As Noted
DESIGN BY: Ines Greenway

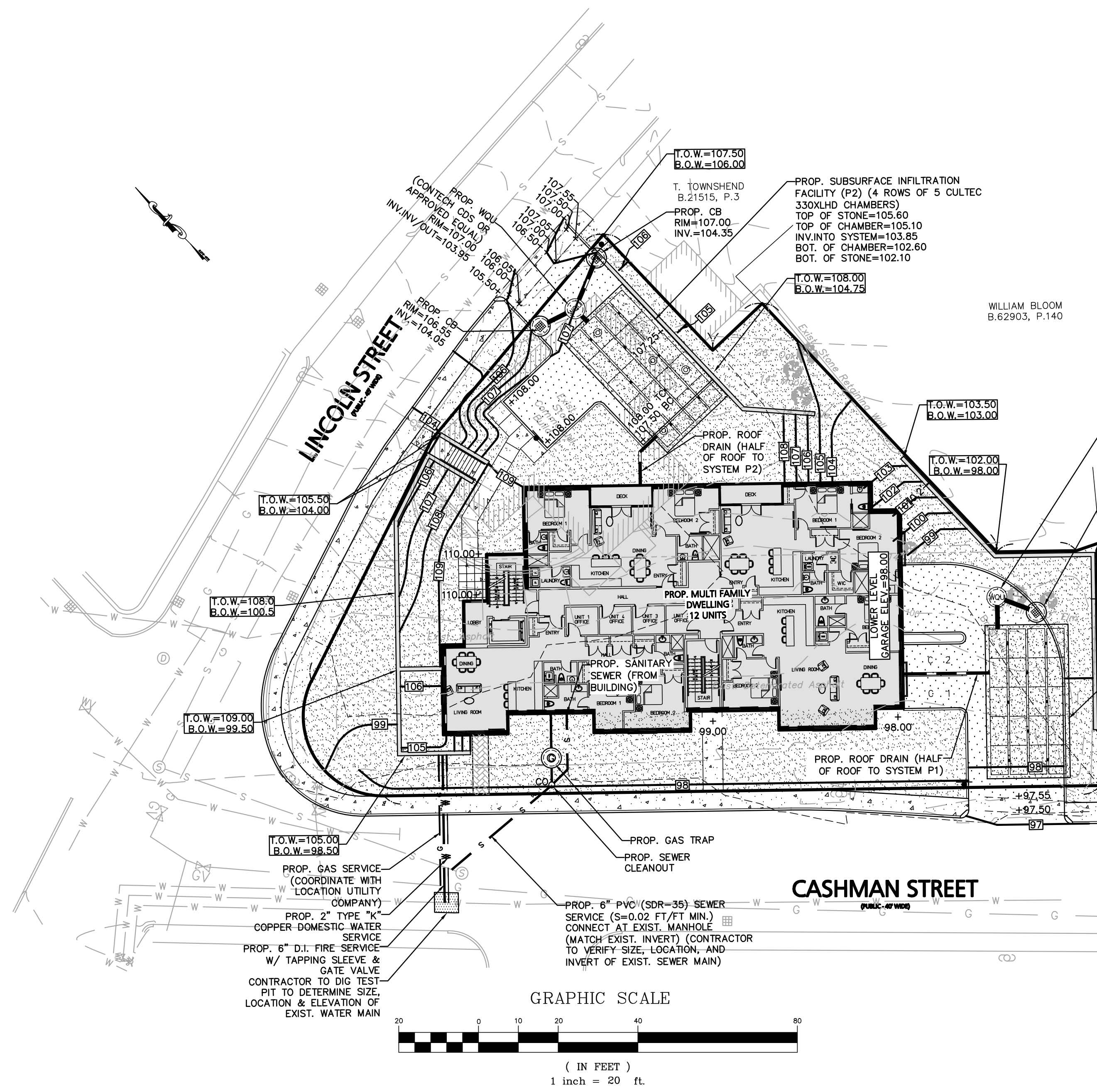
Professional Engineer for
Engineering Alliance, Inc.

OWNER / APPLICANT:

272 Lincoln LLC
11 Placid Road
Newton, MA 02459

DRAWING TITLE:
Site Layout Plan

DWG. NO.:
C-2



DRAINAGE NOTES:

1. ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH GAS/OIL HOODS AND 4 FOOT SUMPS.
2. ALL STORM DRAINAGE PIPES SHALL BE 12" HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) CORRUGATED OUTSIDE & SMOOTH INSIDE UNLESS NOTED OTHERWISE.
3. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF 10' FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
4. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SERVICE CONNECTIONS (I.E., ROOF DRAINS, WATER AND SEWER SERVICES, ETC.) WITHIN 10-FT OF THE BUILDING WALLS.

AVERAGE GRADE ALONG FRONT OF BUILDING (LINCOLN STREET & CASHMAN STREET)

109+110+109+106+105+99+98=736
736 / 7 = 105.14

LEGEND - GRADING, DRAINAGE, & UTILITY PLAN

PROPERTY LINE	---
PROPOSED BUILDING	▬
PROPOSED CURBING	▬
PROPOSED POROUS ASPHALT	▬
PROPOSED CEMENT CONCRETE	▬
PROPOSED WALL	▬
PROPOSED SIGN	▬
PROPOSED DRAIN LINE	▬
PROPOSED WATER QUALITY UNIT	⊙
PROPOSED OVERFLOW CATCH BASIN	⊙
EXISTING CONTOUR	---
PROPOSED SPOT ELEVATION	X
EXISTING WATER LINE	W
EXISTING WATER SHUTOFF	⊕
EXISTING HYDRANT	⊕
EXISTING SEWER LINE	S
EXISTING SEWER MANHOLE	⊙
EXISTING DRAIN MANHOLE	⊙
EXISTING CATCH BASIN	⊙
EXISTING GAS LINE	G
PROPOSED WATER LINE	W
PROPOSED SEWER LINE	S
PROPOSED GAS TRAP	⊙
PROPOSED SEWER CLEANOUT	⊙
PROPOSED GAS LINE	G

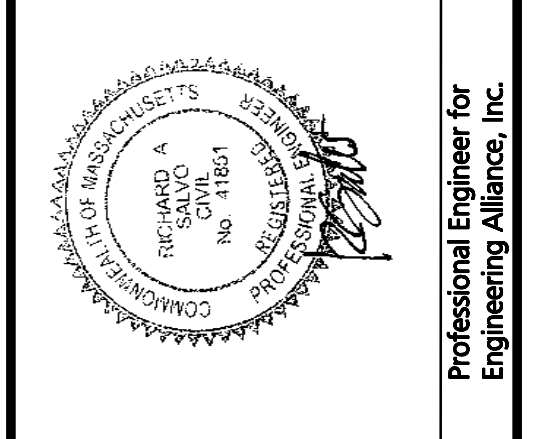
GENERAL UTILITY NOTES:

1. ALL EXISTING SITE FEATURES SHALL BE RETAINED UNLESS OTHERWISE NOTED.
2. DATUM: ASSUMED
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
5. THE CONTRACTOR SHALL EXCAVATE TEST PITS PRIOR TO COMMENCING WORK TO DETERMINE THE EXACT LOCATION OF WATER AND GAS SERVICES.
6. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
7. ALL PROPOSED WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE CITY OF MARLBOROUGH. THE CONTRACTOR SHALL NOTIFY THE CITY OF MARLBOROUGH D.P.W. PRIOR TO THE COMMENCEMENT OF ANY UTILITY WORK.
8. ALL UTILITY WORK WITHIN THE LINCOLN & CASHMAN STREET RIGHT-OF-WAYS SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE DPW & OBTAIN A PERMIT FOR SUCH WORK FROM THE DPW.
9. ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO ENSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN CONFORM TO STANDARD ENGINEERING AND CONSTRUCTION PRACTICES AND ADEQUATE TO SERVE THE PROJECT'S NEEDS AND COMPLY WITH APPLICABLE STANDARDS AND REGULATIONS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH THESE REGULATIONS.
11. THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
12. THE CONTRACTOR OR OWNER IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
13. DISPOSAL OF ALL MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT.
15. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) CORRUGATED OUTSIDE & SMOOTH INSIDE UNLESS NOTED OTHERWISE.
16. ALL ROOF DRAINAGE SHALL BE INFILTRATED VIA THE SUB-SURFACE INFILTRATION SYSTEMS. ALL CONNECTIONS ARE TO BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.
17. ALL UTILITY TRENCHES IN THE PUBLIC RIGHT-OF-WAY ARE TO BE REPAIRED WITH CONTROL DENSITY FILL AND INFRA-RED.
18. DURING CONSTRUCTION, TEST PITS AND PROPER SOIL EVALUATION ARE TO BE PERFORMED AT THE LOCATION OF ALL SUBSURFACE INFILTRATION FACILITIES. RESULTS ARE TO BE SUBMITTED TO THE ENGINEER AND THE CITY OF MARLBOROUGH IMMEDIATELY UPON COMPLETION.
19. THE APPLICANT IS RESPONSIBLE TO APPLY FOR A STORMWATER CONNECTION PERMIT WITH THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION ON SITE.

MODIFY BUILDING AND PARKING CONFIGURATION	2/2/2023
MODIFY PER SITE PLAN REVIEW COMMENTS	12/29/22
CALCULATE AVG BLD GRADE & UPDATE BLD HEIGHT	9/29/22
REVISE BUILDING FOOTPRINT	9/2/22
DESCRIPTION OF REVISION	DATE

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
Fax: (781) 417-0020

Plan of Land	DATE: January 19, 2022
272 Lincoln Street	DWG FILE NAME: 21-58510.DWG
(Tax Map 69 Lots 523 & 523A)	SCALE: As Noted
Marlborough, Massachusetts	DESIGN BY: mes Greenway
PROJECT # 21-58510	CHECKED BY: Richard A. Saito, P.E.



272 Lincoln LLC
11 Placid Road
Newton, MA 02459

Grading, Draining & Utility Plan

DWG. NO. **C-3**

