

REGULAR MEETING  
FEBRUARY 22, 2021  
TIME: 8:00 PM

IN CITY COUNCIL  
ABSENT  
LOCATION: CITY HALL, 140 MAIN STREET, 2<sup>ND</sup> FLOOR

CONVENED:  
ADJOURNED:  
RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH

2021 FEB 18 P 1:55

This meeting of the City Council will be held virtually on Monday, February 22, 2021 at 8:00 PM with Councilors attending in person and/or remotely. **NO PUBLIC ATTENDANCE WILL BE PERMITTED.** This meeting will be televised on WMCT-TV (Comcast Channel 8 or Verizon/Fios Channel 34) or you can view the meeting using the link under the Meeting Videos tab on the city website ([www.marlborough-ma.gov](http://www.marlborough-ma.gov)).

1. Minutes, City Council Meeting, February 8, 2021.
2. From Council President Ossing having Mayor Vigeant, provide an update to the City Council regarding COVID-19 vaccine rollout.
3. PUBLIC HEARING on the Application for Sign Special Permit, from Serrato Signs, LLC on behalf of Starbucks (St. Mary's Credit Union), 133 South Bolton Street, Order No. 21-1008199A.

**\*\* TO PARTICIPATE IN THIS PUBLIC HEARING PLEASE CALL 1-617-433-9462 AND ENTER THE CONFERENCE ID 293 267 553 #. \*\***

4. Communication from the Mayor, re: Transfer Request in the amount of \$10,400,000.00 which moves funds from Ballparks and Fields Capital and Undesignated Fund to various accounts as noted on the transfer sheet to fund infrastructure projects as outlined by DPW Commissioner Divoll.
5. Communication from the Mayor, re: Transfer Request in the amount of \$1,250,101.00 from the Meals Tax Revenue account to fund FY21 bond payments associated with parks and recreation improvements.
6. Communication from the Mayor, re: Transfer Request in the amount of \$459,600.00 which moves funds from and to various accounts within DPW to fund equipment for the Easterly Wastewater Treatment Plant.
7. Communication from the Mayor, re: Grant Acceptance in the amount of \$6,380.00 from the Executive Office of Public Safety & Security awarded to the Fire Department to fund annual Student Awareness of Fire Safety Programs (SAFE) for the youth of Marlborough.
8. Communication from the Mayor, re: Grant Acceptance in the amount of \$2,880.00 from the Executive Office of Public Safety & Security awarded to the Fire Department to fund annual Senior Awareness of Fire Safety Programs (SAFE) for the senior population in Marlborough.
9. Communication from the Mayor, re: Request to rescind \$4,889,927.00 in various bonds for projects that are either complete or no longer available for bonding due to regulations.
10. Communication from the Mayor, re: Request to create a new position of Resident Drop-off Station Attendant including job description and salary schedule.

**Electronic devices, including laptops, cell phones, pagers, and PDAs must be turned off or put in silent mode upon entering the City Council Chamber, and any person violating this rule shall be asked to leave the chamber. Express authorization to utilize such devices may be granted by the President for recordkeeping purposes.**

11. Communication from Code Enforcement Officer Ethan Lippett, re: Request for Approval of a Flat Wall Sign, Apex Mini Golf, 21 Apex Drive, within the HRMUOD, Order No. 16/20-1006443.
12. Communication from Code Enforcement Officer Ethan Lippett, re: Request for Approval of a Flat Wall Sign, Apex Kids, 21 Apex Drive, within the HRMUOD, Order No. 16/20-1006443.
13. Communication from Code Enforcement Officer Ethan Lippett, re: Request for Approval of a Free-Standing Sign, Better Floors, Inc., 782 Boston Post Road East, within the Wayside District.
14. Application for Special Permit from Cal Verde Naturals, LLC, to operate an Adult Use Marijuana Retail Establishment, 239 Boston Post Road West.
15. Application for Special Permit from Attorney Brian Falk, on behalf of Global Montello Group Corp., to construct and operate a drive-thru facility to serve the current Alltown Convenience Store on the site, 656 Boston Post Road East.
16. Communication from Attorney Peter Tamm, on behalf of BH GRP TCAM Owner LLC, re: Proposed Zoning Map Amendment to the Results Way Mixed Use Overlay District (RWMUOD) and Proposed revisions to Chapter 650 §33 of the Zoning Code.
17. Communication from Attorney Brian Falk on behalf of WP Marlborough MA Owner, LLC (Waypoint Residential), re: Request to Extend Time Limitations to May 28, 2021 at 10:00 PM, on the Application for Special Permit to build a multifamily residential project in the Business District to be known as Walcott Heritage Farms, 339 Boston Post Road East (McGee Farm), Order No. 20-1007995H.
18. Communication from the Central MA Mosquito Control Project, re: Budget Notification for FY22 and Compliance Certification Policy.
19. Communication from Massachusetts Department of Transportation, re: MBTA Forging Ahead Service Proposal Environmental Notification Form.
20. Minutes of Boards, Commissions and Committees:
  - a) School Committee, January 12, 2021.
  - b) Planning Board, January 25, 2021.
21. CLAIMS:
  - a) Ravinder Narula, 345 Littlefield Lane, residential mailbox claim (2a).
  - b) Angelo Puzella, 156 Barnard Road, residential mailbox claim (2a).
  - c) Charles Sarian, 51 Bouffard Drive, residential mailbox claim (2a).
  - d) Jeffrey Simon, 30 Sheffield Terrace, residential mailbox claim (2a).
  - e) Akihiro Yamada, 62 Littlefield Lane, residential mailbox claim (2a).

22. ORDERED: That the City Council Legislative and Legal Affairs Committee review the following proposed amendment to the City Code. Chapter 270-19 re: fences:

Chapter 270, Building and Site Development, Article V: Fences

Chapter 270-19. Permit Required.

By adding the following section D, shown in red:

D. No permit shall be required under this article for the following fences, provided that the fence is in full compliance with all others provisions of this article and all other City ordinances:

- 1) A fence not exceeding three (3) feet in height which is erected to enclose a garden; or
- 2) A fence that is erected outside of the front, side or rear setback areas set forth in the city's zoning ordinance. Ch 650-XXXX.

Chapter 270-24. Easements and rights of way.

By adding the following wording to section A, shown in red:

A. On any lot subject to an easement **where a fence will encroach upon or hinder the use of an easement area**, the owner or applicant shall procure a release in writing from the holder of the easement, and said release shall be attached to the application for a fence filed with the Building Department.

.....Submitted by Councilor Doucette.

REPORTS OF COMMITTEES:

UNFINISHED BUSINESS:

**Councilors-at-Large**

Mark A. Oram  
Michael H. Ossing  
Samantha Perlman  
Kathleen D. Robey



**Ward Councilors**

Ward 1 – Laura J. Wagner  
Ward 2 – David Doucette  
Ward 3 – J. Christian Dumais  
Ward 4 – Robert J. Tunnera  
Ward 5 – John J. Irish  
Ward 6 – Sean A. Navin  
Ward 7 – Donald R. Landers, Sr.

**Council President**

Michael H. Ossing

**Council Vice-President**

Kathleen D. Robey

**CITY OF MARLBOROUGH  
CITY COUNCIL  
MEETING MINUTES  
MONDAY, FEBRUARY 8, 2021**

The regular meeting of the City Council was held on Monday, February 8, 2021 at 8:00 PM in City Council Chambers, City Hall. City Councilors Present: Ossing, Doucette, Dumais, Tunnera, Irish, Navin & Landers. Councilors Participating Remotely: Wagner, Oram, Perlman & Robey. Meeting adjourned at 9:05 PM.

Council President Ossing explained that this meeting is being held under the Emergency Order of the Governor allowing relief from the Open Meeting Law (MGL c. 30A §20). The Emergency Order allows for remote participation by public bodies. President Ossing further stated that all votes of the City Council will be taken by roll call vote pursuant to 940 CMR 29.10.

The City Council President asked for a roll call to confirm attendance of all City Councilors.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

Motion by Councilor Tunnera, seconded by the Chair to adopt the following:

**ORDERED:** That the Minutes of the City Council meeting, January 25, 2021, **FILE**; adopted.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

Motion by Councilor Tunnera, seconded by the Chair to adopt the following:

**Suspension of the Rules requested to allow for the Mayor to speak – granted.**

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

**ORDERED:** That the PUBLIC HEARING on the Petition from Massachusetts Electric to install a new solely owned pole #5 in the public right of way on North Bigelow Street to accommodate substation expansion, Order No. 21-1008189, all were heard who wish to be heard, hearing closed at 8:29 PM; adopted.

**Councilors Present: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman & Robey.**

ORDERED: That the PUBLIC HEARING on the Application for Modification of Special Permit from Todd Wilson, on behalf of Diversified Funding Acquisition LLC/Atlantic Property Management, to add kitchenettes to existing guest rooms for use as an extended stay hotel and the conversion of manager’s residence to a guest room for a total of 65 guest rooms at 880 Donald J. Lynch Boulevard (Quality Inn), Order No. 21-1008171, all were heard who wish to be heard, hearing closed at 8:40 PM; adopted.

**Councilors Present: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman & Robey.**

President Ossing called a recess at 8:40 PM and returned to open meeting at 8:41 PM.

Motion by Councilor Irish, seconded by the Chair to adopt the following:

ORDERED: Under authority of MGL Chapter 44, Section 53A, the City Council hereby **APPROVES** the Grant Acceptance in the amount of \$80,436.00 from the Executive Office of Elder Affairs (EOEA) awarded to the Council on Aging which will be utilized for many of the enrichment programs and services offered by the Senior Center; adopted.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

Motion by Councilor Irish, seconded by the Chair to adopt the following:

ORDERED: That the Proposed Amendment to Chapter 125 “Personnel” §6 of the Code to add a stipend for members of the Conservation Commission effective April 1, 2021, referred to the **FINANCE COMMITTEE**; adopted.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH THAT THE CITY CODE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED BY AMENDING CHAPTER 125, ENTITLED "PERSONNEL," AS FOLLOWS:

I. By adding to the salary schedule referenced in Section 125-6 the following:

| <u>Position</u>                | <u>Rate</u>   |
|--------------------------------|---|
| Conservation Commission Member | \$150 Per Conservation<br>Commission Meeting Attended |

This ordinance shall supersede and replace any existing rate for said position in the current salary schedule.

Motion by Councilor Irish, seconded by the Chair to adopt the following:

ORDERED: That the Transfer Request in the amount of \$3,150.00 which moves funds from Summer Employment to Conservation Commission Members to cover the proposed stipends through June 30, 2021, referred to the **FINANCE COMMITTEE**; adopted.

CITY OF MARLBOROUGH  
BUDGET TRANSFERS --

|                    |                   |                               |              |                          |                   |   |              |                                  |                   |
|--------------------|-------------------|-------------------------------|--------------|--------------------------|-------------------|---|--------------|----------------------------------|-------------------|
| DEPT:              |                   | Mayor                         |              |                          |                   | FISCAL YEAR:                              |              | 2021                             |                   |
| FROM ACCOUNT:      |                   |                               |              |                          |                   | TO ACCOUNT:                               |              |                                  |                   |
| Available Balance  | Amount            | Org Code                      | Object       | Account Description:     | Amount            | Org Code                                  | Object       | Account Description:             | Available Balance |
| <u>\$50,000.00</u> | <u>\$3,150.00</u> | <u>11210003</u>               | <u>51250</u> | <u>Summer Employment</u> | <u>\$3,150.00</u> | <u>12410003</u>                           | <u>51186</u> | <u>Conservation Comm Member:</u> | <u>\$0.00</u>     |
| Reason:            |                   | <u>Unused due to COVID-19</u> |              |                          |                   | <u>To fund stipends for board members</u> |              |                                  |                   |
|                    | \$3,150.00        | Total                         |              |                          | \$3,150.00        | Total                                     |              |                                  |                   |

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

Motion by Councilor Dumais, seconded by the Chair to adopt the following:

ORDERED: That the Reappointment of James Griffin to the Board of Health for a 3-year term to expire on the first Monday in February (February 5, 2024), referred to the **PERSONNEL COMMITTEE**; adopted.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

Motion by Councilor Dumais, seconded by the Chair to adopt the following:

ORDERED: That the Appointment of Phillip Short to the Board of Health for a 3-year term to expire on first Monday in February (February 5, 2024), replacing Robin Williams who has served on the board for 6-years, referred to the **PERSONNEL COMMITTEE**; adopted.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That the Request for Approval of a Flat Wall Sign, Edible (formerly Edible Arrangements), 1025 Boston Post Road East, within the Wayside District, **APPROVED**; adopted.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That the Communication from the Planning Board, re: Notice of Grant of Variance/Appeal to the Sign Ordinance (Chapter 526) for Serrato Signs, LLC on behalf of St. Mary's Credit Union (Starbucks), 133 South Bolton Street, **FILE**; adopted.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That there being no objection thereto set **MONDAY FEBRUARY 22, 2021** as the **DATE FOR PUBLIC HEARING**, on the Application for LED Sign Special Permit, from Serrato Signs, LLC on behalf of Starbucks (St. Mary's Credit Union), 133 South Bolton Street, referred to **URBAN AFFAIRS COMMITTEE & ADVERTISE**; adopted.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

Motion by Councilor Doucette, seconded by the Chair to adopt the following:

ORDERED: That the Minutes of following Boards, Commissions and Committees, **FILE**; adopted.

- a) School Committee, January 4, 2021.
- b) Board of Assessors, December 8, 2020.
- c) Conservation Commission, January 7, 2021.
- d) Library Trustees, January 5, 2021.
- e) Planning Board, January 11, 2021.
- f) Traffic Commission, December 30, 2020.
- g) Zoning Board of Appeals, January 19, 2021.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

Motion by Councilor Doucette, seconded by the Chair to adopt the following:

ORDERED: That the following CLAIM, refer to the **LEGAL DEPARTMENT**; adopted.

- a) Sharon Boegel, 180 Naugler Avenue, residential mailbox claim (2b).
- b) Chris Taylor, 159 Barnard Road, residential mailbox claim (2b).

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

Reports of Committees:

Councilor Landers orally reported on the matter in Public Services Committee for which the Public Hearing closed this evening with no questions or objections from the public:

**Order No. 20-1008189 – Petition from Massachusetts Electric to install a new solely owned pole #5 in the public right of way on North Bigelow Street to accommodate substation expansion.**

Based on the written recommendation from the City Engineer, Chair Landers requests a suspension of the rules to approve the petition this evening subject to the requirements of the City Engineer which are as follows:

That the new utility pole shall be located as far off the paved roadway as possible and the proposed location shall be marked by the petitioner and the location shall be approved by the Engineering Division prior to installation.

Motion by Councilor Irish, seconded by the Chair to adopt the following:

**Suspension of the Rules requested to allow a communication from the Mayor – granted.**

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

ORDERED: That the Transfer Request in the amount of \$370,000.00 which moves funds from PEG Funds to Marlborough Cable Trust to fund the operation of WMCT for FY2022, referred to **FINANCE COMMITTEE**.

**Councilor Ossing read a Disclosure of Appearance of Conflict of Interest into the record.**

| CITY OF MARLBOROUGH |              |                           |        |                             |              |              |        |                      |                   |  |
|---------------------|--------------|---------------------------|--------|-----------------------------|--------------|--------------|--------|----------------------|-------------------|--|
| BUDGET TRANSFERS –  |              |                           |        |                             |              |              |        |                      |                   |  |
| DEPT:               |              | Mayor                     |        |                             |              | FISCAL YEAR: |        | 2021                 |                   |  |
| FROM ACCOUNT:       |              |                           |        |                             | TO ACCOUNT:  |              |        |                      |                   |  |
| Available Balance   | Amount       | Org Code                  | Object | Account Description:        | Amount       | Org Code     | Object | Account Description: | Available Balance |  |
| \$634,764.76        | \$370,000.00 | 27000099                  | 47750  | Receipts Reserved-PEG Funds | \$370,000.00 | 89000        | 25581  | Marlboro Cable Trust | \$0.00            |  |
| Reason:             |              | To fund WMCTS FY22 Budget |        |                             |              |              |        |                      |                   |  |
| \$370,000.00        | Total        |                           |        |                             |              | \$370,000.00 | Total  |                      |                   |  |

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**



Motion by Councilor Landers, seconded by the Chair to adopt the following:

**Suspension of the Rules requested – granted.**

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

ORDERED: That the Petition from Massachusetts Electric to install a new solely owned pole #5 in the public right of way on North Bigelow Street to accommodate substation expansion, **APPROVED WITH THE FOLLOWING CONDITIONS**; adopted.

1. The new utility pole shall be located as far off the paved roadway as possible.
2. The proposed location shall be marked by the petitioner and the location shall be approved by the Engineering Division prior to installation.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

Motion by Councilor Tunnera, seconded by the Chair to adopt the following:

ORDERED There being no further business, the regular meeting of the City Council is herewith adjourned at 9:05 PM; adopted.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**



## IN CITY COUNCIL

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Marlborough, Mass., FEBRUARY 8, 2021

### ORDERED:

That there being no objection thereto set **MONDAY FEBRUARY 22, 2021** as the **DATE FOR PUBLIC HEARING**, on the Application for LED Sign Special Permit, from Serrato Signs, LLC on behalf of Starbucks (St. Mary's Credit Union), 133 South Bolton Street, be and is herewith referred to **URBAN AFFAIRS COMMITTEE & ADVERTISE**.

**Yea: 11 – Nay: 0**

**Yea: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman, & Robey.**

ADOPTED

ORDER NO. 21-1008199A



*City of Marlborough*  
*Office of the Mayor*

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH  
MAYOR  
*Arthur G. Vigeant*

2021 FEB 18 A 10:55  
*Patricia M. Bernard*  
EXECUTIVE AIDE

140 Main Street  
Marlborough, Massachusetts 01752  
508.460.3770 Fax 508.460.3698 TDD 508.460.3610  
www.marlborough-ma.gov

*Michele A. O'Brien*  
EXECUTIVE SECRETARY

February 18, 2021

Council President Michael Ossing  
Marlborough City Council  
140 Main Street  
Marlborough, MA 01752

**RE: Transfer Request – for Infrastructure Investments**

Honorable President Ossing and Councilors:

Enclosed for your approval is a transfer request in the amount of \$3,000,000.00 from Ballparks and Fields Capital and \$7,400,000.00 from the undesignated fund to be used for infrastructure projects including the mill and overlay street list outlined in Commissioner Sean Divoll's memo enclosed.

In 2020, I worked with Massachusetts Division of Local Services Commissioner Sean Cronin on legislation to allow municipalities some flexibility with revenue funds during COVID and we are taking advantage of this allowance to use funds that we currently have on Capital projects. This will allow us to reduce the amount of borrowing enabling us to continue to manage our debt level and save for future investments.

Thank you in advance for your consideration. Commission Sean Divoll and I will be available for discussion.

Sincerely,

**Arthur G. Vigeant**  
**Mayor**

Enclosures



*City of Marlborough*  
**Department of Public Works**

135 NEIL STREET  
MARLBOROUGH, MASSACHUSETTS 01752  
TEL. 508- 624-6910  
\*TDD 508-460-3610

SEAN M. DIVOLL, P.E.  
COMMISSIONER

**Date:** February 18, 2021  
**To:** Mayor Vigeant  
**From:** Sean M. Divoll Commissioner of Public Works  
**Copy:** Thomas DiPersio, Jr., City Engineer  
**Re:** Budget Transfer Requests - Capital

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Attached herewith are budget transfer requests in the amount of \$10,400,000 from available funds to cover costs relative to:

|                                       |                    |
|---------------------------------------|--------------------|
| 1. Cedar Hill Booster Pump Station    | \$2,000,000        |
| 2. Minehan Sewer Installation         | \$1,500,000        |
| 3. Donald Lynch Blvd Paving (Phase 2) | \$2,000,000        |
| 4. Boston Post Road East Water Main   | \$3,000,000        |
| 5. Mill & Overlay Various Streets     | <u>\$1,900,000</u> |
| Total                                 | \$10,400,000       |

THEODORE L. SCOTT, P.E.  
ASST. COMMISSIONER, OPERATIONS

CHRISTOPHER S. LAFRENIERE  
ASST. COMMISSIONER, UTILITIES

THOMAS DIPERSIO, JR. P.E., P.L.S.  
CITY ENGINEER



*City of Marlborough*  
**Department of Public Works**

135 NEIL STREET  
MARLBOROUGH, MASSACHUSETTS 01752  
TEL. 508-624-6910  
\*TDD 508-460-3610

SEAN M. DIVOLL, P.E.  
COMMISSIONER

**Date:** February 17, 2021  
**To:** Mayor Vigeant  
**From:** Sean M. Divoll, Commissioner of Public Works  
**Copy:** Thomas DiPersio, Jr., City Engineer  
**Re:** Mill and Overlay Street List

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Please see below the list of streets the DPW plans to mill and overlay this construction season. The approximate cost is \$2.5 million.

The two contemplated funding sources are:

- \$1,930,810 from free cash previously identified in a transfer request dated August 20, 2020
- \$579,275.76 from available Eversource funds received in lieu of Eversource completing final trench repair for various projects over the last two years.

2021 Mill and Overlay List

Ripley Ave. Tucker Ave.  
Flynn Ave. Teller St.  
Donahue Dr. Doucette Dr.  
Phelps St. Kenney Ln.  
Bellow Cir. Dirado Dr.  
Neil St. Zompetti St.  
Lambert St.

Please let me know if you have any questions.

CITY OF MARLBOROUGH  
BUDGET TRANSFERS --

| DEPT:             | Mayor         | FISCAL YEAR: | 2021                            |
|-------------------|---------------|--------------|---------------------------------|
| Available Balance | FROM ACCOUNT: | TO ACCOUNT:  | Available Balance               |
| Amount            | Org Code      | Object       | Account Description:            |
| \$4,813,122.94    | 27000         | 33086        | Fund Bal-Parks & Fields Capital |
| \$3,000,000.00    | 10000         | 35900        | Undesignated Fund Balance       |
| \$7,400,000.00    | 19300006      | 58305        | Cedar Hill Pump Station         |
| \$15,047,854.00   | 19300006      | 58716        | Minehan Sewer Install           |
|                   | 19300006      | 53149        | Donald Lynch Blvd Paving        |
|                   | 19300006      | 55953        | Bost Post Rd E Water            |
|                   | 19300006      | 58312        | Mill & Overlay Various          |
| \$10,400,000.00   |               |              | Total                           |

Department Head signature:  2/18/2021

Auditor signature: 

Finance Director signature: \_\_\_\_\_



*City of Marlborough*  
*Office of the Mayor*

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH  
*Arthur G. Vigeant*  
MAYOR

2021 FEB 18 A 10:55

*Patricia M. Bernard*  
EXECUTIVE AIDE

140 Main Street  
Marlborough, Massachusetts 01752  
508.460.3770 Fax 508.460.3698 TDD 508.460.3610  
[www.marlborough-ma.gov](http://www.marlborough-ma.gov)

*Michele A. O'Brien*  
EXECUTIVE SECRETARY

February 18, 2021

Council President Michael Ossing  
Marlborough City Council  
140 Main Street  
Marlborough, MA 01752

**RE: Transfer Request – Meals Tax Revenue Account**

Honorable President Ossing and Councilors:

Enclosed for your approval is a transfer request in the amount of \$1,250,101.00 from the Meals Tax Revenue account to fund FY21 bond payments associated with parks and recreation improvements.

Thank you for your consideration. Let me know if you have any questions.

Sincerely,

**Arthur G. Vigeant**  
Mayor

Enclosures

CITY OF MARLBOROUGH  
BUDGET TRANSFERS --

| Available Balance | DEPT:          | Auditor  |          |        | Amount         | FROM ACCOUNT: |        |                      | Amount                     | Account Description: | TO ACCOUNT: |        |                      | Available Balance |
|-------------------|----------------|--|----------|--------|----------------|---------------|--------|----------------------|----------------------------|----------------------|-------------|--------|----------------------|-------------------|
|                   |                | Amount   | Org Code | Object |                | Org Code      | Object | Account Description: |                            |                      | Org Code    | Object | Account Description: |                   |
| \$4,813,122.94    | \$1,250,101.00 | 27000  | 33086    |        | \$1,250,101.00 | 19910009      | 49715  |                      | Transfer-Meal Local Option |                      |             |        | \$0.00               |                   |
|                   | Reason:        | Local options meals tax funding FY21 bond payments associated with parks & fields as per the recap |          |        |                |               |        |                      |                            |                      |             |        |                      |                   |
|                   | Reason:        |  |          |        |                |               |        |                      |                            |                      |             |        |                      |                   |
|                   | Reason:        |  |          |        |                |               |        |                      |                            |                      |             |        |                      |                   |
|                   | Reason:        |  |          |        |                |               |        |                      |                            |                      |             |        |                      |                   |
|                   | Reason:        |  |          |        |                |               |        |                      |                            |                      |             |        |                      |                   |
|                   | Reason:        |  |          |        |                |               |        |                      |                            |                      |             |        |                      |                   |
|                   | Reason:        |  |          |        |                |               |        |                      |                            |                      |             |        |                      |                   |
|                   | Reason:        |  |          |        |                |               |        |                      |                            |                      |             |        |                      |                   |
|                   | Reason:        |  |          |        |                |               |        |                      |                            |                      |             |        |                      |                   |
|                   | Total          |  |          |        | \$1,250,101.00 |               |        |                      | Total                      |                      |             |        | \$1,250,101.00       |                   |

Department Head signature: *[Signature]*

Auditor signature: *[Signature]*

Finance Director signature: *[Signature]*



**LOCAL OPTION MEALS TAX**

|                      |              |               |
|----------------------|--------------|---------------|
| 6/30/2014 State Aid  | \$60,975.10  | May           |
| 9/30/2014 State Aid  | \$198,618.41 | Jun, Jul, Aug |
| 12/31/2014 State Aid | \$202,214.11 |               |
| 3/31/2015 State Aid  | \$197,399.16 |               |
| 6/30/2015 State Aid  | \$197,114.57 |               |
| 9/30/2015 State Aid  | \$223,086.95 |               |
| 12/31/2015 State Aid | \$218,283.51 |               |
| 3/31/2016 State Aid  | \$221,714.03 |               |
| 6/30/2016 State Aid  | \$214,435.84 |               |
| 9/30/2016 State Aid  | \$232,554.39 |               |
| 12/31/2016 State Aid | \$225,517.35 |               |
| 3/31/2017 State Aid  | \$218,918.28 |               |
| 6/30/2017 State Aid  | \$226,968.72 |               |
| 9/30/2017 State Aid  | \$237,499.87 |               |
| 12/31/2017 State Aid | \$235,562.25 |               |
| 3/31/2018 State Aid  | \$231,462.05 |               |
| 6/30/2018 State Aid  | \$264,487.50 |               |
| 9/28/2018 State Aid  | \$266,737.22 |               |
| 12/31/2018 State Aid | \$266,346.66 |               |
| 3/26/2019 State Aid  | \$280,759.99 |               |
| 6/30/2019 State Aid  | \$268,415.21 |               |
| 9/30/2019 State Aid  | \$283,443.19 |               |
| 12/31/2019 State Aid | \$283,140.81 |               |
| 3/31/2020 State Aid  | \$279,689.96 |               |
| 6/30/2020 State Aid  | \$140,167.25 |               |
| 9/30/2020 State Aid  | \$184,164.09 |               |
| 12/31/2020 State Aid | \$202,839.47 |               |

|               |                |
|---------------|----------------|
| Total Funding | \$6,062,515.94 |
|---------------|----------------|

|                           |               |
|---------------------------|---------------|
| 10/6/2014 CO# 14-1005915  | -\$34,000.00  |
| 6/20/2016 CO# 16-1006570A | -\$62,400.00  |
| 6/4/2018 CO# 18-1007278A  | -\$398,500.00 |
| 6/17/2019 CO# 19-1007683A | -\$388,000.00 |
| 5/18/2020 CO# 20-1008003  | -\$366,493.00 |

|                 |                 |
|-----------------|-----------------|
| Total Transfers | -\$1,249,393.00 |
|-----------------|-----------------|

|                                |                |
|--------------------------------|----------------|
| Available for future transfers | \$4,813,122.94 |
|--------------------------------|----------------|

**FY21 REVENUE PROJECTIONS**

|                             | <b>FY 17 Actual</b> | <b>FY 18 Actual</b> | <b>FY 19 Actual</b> | <b>FY 20 Actual</b> | <b>FY 21 Projection</b> |                   |
|-----------------------------|---------------------|---------------------|---------------------|---------------------|-------------------------|-------------------|
| MOTOR VECH                  | \$ 5,606,019.34     | \$ 5,605,522.00     | \$ 5,639,562.00     | \$ 5,338,332.00     | \$ 5,300,000.00         | Estimate          |
| <b>OTHER EXCISE - Meals</b> | \$ -                | \$ 398,500.00       | \$ 388,000.00       | \$ 366,493.00       | \$ 1,250,101.00         | Estimate          |
| OTHER EXCISE - Room         | \$ 1,661,273.58     | \$ 1,772,605.00     | \$ 1,835,704.00     | \$ 1,555,151.00     | \$ 500,000.00           | Estimate          |
| OTHER EXCISE - Other        | \$ 44,680.00        | \$ 52,780.00        | \$ 49,100.00        | \$ 47,500.00        | \$ 47,000.00            | Estimate          |
| CANNABIS                    |                     |                     |                     | \$ 354,565.00       | \$ 400,000.00           | Estimate          |
| PENALTIES & INTEREST        | \$ 567,961.15       | \$ 561,424.00       | \$ 616,490.00       | \$ 529,766.00       | \$ 500,000.00           | Estimate          |
| LIEU OF TAXES               | \$ 323,541.74       | \$ 254,195.00       | \$ 316,701.00       | \$ 211,880.00       | \$ 200,000.00           | Estimate          |
| CHARGES WATER               | \$ 12,735,824.78    | \$ 11,900,534.00    | \$ 11,326,797.00    | \$ 11,214,452.00    | \$ 11,606,958.00        | 3.5% Rate Change  |
| CHARGES FOR SEWER           | \$ 11,370,356.48    | \$ 10,267,909.00    | \$ 10,311,747.00    | \$ 10,285,522.00    | \$ 10,774,084.00        | 4.75% Rate Change |
| FEES                        | \$ 357,321.78       | \$ 357,729.00       | \$ 347,163.00       | \$ 138,076.00       | \$ 135,000.00           | Estimate          |
| RENTAL                      | \$ 273,131.47       | \$ 279,389.00       | \$ 291,501.00       | \$ 286,917.00       | \$ 279,900.00           | Estimate          |
| DEPT REV. LIBRARIES         | \$ 5,059.95         | \$ 2,462.00         | \$ 4,684.00         | \$ 2,579.00         | \$ 400.00               | Estimate          |
| DEPT REV. CEMETERIES        | \$ 69,890.00        | \$ 68,080.00        | \$ 72,790.00        | \$ 80,000.00        | \$ 72,000.00            | Estimate          |
| OTHER DEPT REV              | \$ 137,466.00       | \$ 150,588.00       | \$ 129,826.00       | \$ 155,344.00       | \$ 138,200.00           | Estimate          |
| LICENSES AND PERMITS        | \$ 1,698,488.99     | \$ 1,343,207.00     | \$ 1,298,260.00     | \$ 2,073,494.00     | \$ 1,540,000.00         | Estimate          |
| FINE AND FORFEITS           | \$ 255,508.35       | \$ 148,482.00       | \$ 135,725.00       | \$ 165,835.00       | \$ 135,000.00           | Estimate          |
| INVESTMENT INCOME           | \$ 704,484.58       | \$ 874,859.00       | \$ 1,311,950.00     | \$ 870,984.00       | \$ 750,000.00           | Estimate          |
| MISC. REV.                  | \$ 91,640.69        | \$ 62,095.00        | \$ 43,329.00        | \$ 107,907.00       | \$ 40,000.00            | Estimate          |
| Medicaid Reimbursement      | \$ 617,536.80       | \$ 585,488.00       | \$ 452,664.00       | \$ 297,785.00       | \$ 295,000.00           | Estimate          |
| MISC REV NON RECURRING      | \$ 1,125,044.16     | \$ 520,958.00       | \$ 927,881.00       | \$ 1,073,285.00     | \$ 405,000.00           | Estimate          |
| SUB TOTAL Local Rcpt        | \$ 37,645,229.84    | \$ 35,206,806.00    | \$ 35,499,874.00    | \$ 35,155,867.00    | \$ 34,368,643.00        |                   |
| School Construction         | \$ 170,309.00       | \$ 170,309.00       | \$ 170,309.00       | \$ 170,309.00       | \$ 170,309.00           |                   |
| CHERRY SHEET                | \$ 31,297,581.53    | \$ 31,654,072.00    | \$ 34,243,957.45    | \$ 35,452,790.00    | \$ 37,688,627.00        |                   |
| TOTAL                       | \$ 69,113,120.37    | \$ 67,031,187.00    | \$ 69,914,140.45    | \$ 70,778,966.00    | \$ 72,227,579.00        |                   |



*City of Marlborough*  
*Office of the Mayor*

140 Main Street  
Marlborough, Massachusetts 01752  
508.460.3770 Fax 508.460.3698 TDD 508.460.3610  
www.marlborough-ma.gov

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH  
MAYOR

2021 FEB 18 A 10:55  
*Patricia M. Bernard*  
EXECUTIVE AIDE

*Michele A. O'Brien*  
EXECUTIVE SECRETARY

February 18, 2021

Council President Michael Ossing  
Marlborough City Council  
140 Main Street  
Marlborough, MA 01752

**RE: Transfer Request – Department of Public Works**

Honorable President Ossing and Councilors:

Enclosed for your approval are two transfer requests totaling \$459,600.00 to fund equipment for the Easterly Wastewater Treatment Plant, reallocating costs from the WeCare solid waste account to the curbside rubbish account and increased tipping fees for recycling.

Commissioner Sean Divoll and I will be available for further discussion if needed.

Thank you in advance for your consideration.

Sincerely,

**Arthur G. Vigeant**  
**Mayor**


Enclosures



*City of Marlborough*  
**Department of Public Works**

135 NEIL STREET  
MARLBOROUGH, MASSACHUSETTS 01752  
TEL. 508-624-6910  
\*TDD 508-460-3610

SEAN M. DIVOLL, P.E.  
COMMISSIONER

**Date:** February 17, 2021  
**To:** Mayor Vigeant  
**From:** Sean M. Divoll, Commissioner of Public Works   
**Re:** Budget Transfer Requests

---

Attached herewith are budget transfer requests in the amount of \$459,600 from available funds to cover costs relative to:

1. Equipment needs at the Easterly Wastewater Treatment Plant
2. Reallocating costs from the WeCare solid waste account to the curbside rubbish account
3. Increased tipping fees for recyclables

THEODORE L. SCOTT, P.E.  
ASST. COMMISSIONER, OPERATIONS

CHRISTOPHER S. LAFRENIERE  
ASST. COMMISSIONER, UTILITIES

THOMAS DIPERSIO, JR. P.E., P.L.S.  
CITY ENGINEER

CITY OF MARLBOROUGH  
BUDGET TRANSFERS --

|                   |  |                                       |              |        |                         |                   |
|-------------------|--|---------------------------------------|--------------|--------|-------------------------|-------------------|
| DEPT:             | Department of Public Works/Public Facilities |                                       | FISCAL YEAR: | 2021   |                         |                   |
| Available Balance | Amount                                       | FROM ACCOUNT:                         | Org Code     | Object | Account Description:    | Available Balance |
| \$63,348          | \$45,218.00                                  | 60081001                              | 50750        | 53174  | Contact Services/Lab Te | \$52,350.00       |
|                   | Reason:                                      | Excess due to vacancy                 |              |        |                         |                   |
| \$885,475         | \$414,382.00                                 | 60086006                              | 52935        | 52920  | Rubbish Collection      | \$192,000.00      |
|                   | Reason:                                      | Excess due to end of WeCare contract. |              |        |                         |                   |
|                   | Reason:                                      | Due to increased recycling costs      |              |        |                         |                   |
|                   | \$459,600.00                                 | Total                                 |              |        |                         |                   |

Department Head signature:  2/17/2021  
 Auditor signature:   
 Comptroller signature: 



*City of Marlborough*  
*Office of the Mayor*

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RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH  
MAYOR  
2021 FEB 18 A 10:55  
*Arthur G. Vigeant*  
MAYOR  
*Patricia M. Bernard*  
EXECUTIVE AIDE

*Michele A. O'Brien*  
EXECUTIVE SECRETARY

February 18, 2021

Council President Michael Ossing  
Marlborough City Council  
140 Main Street  
Marlborough, MA 01752

**RE: Grant Acceptance – S.A.F.E. Grant for MFD**

Honorable President Ossing and Councilors:

I am pleased to inform you that the Marlborough Fire Department has been awarded a grant in the amount of \$6,380.00 through the Commonwealth of Massachusetts Executive Office of Public Safety and Security. This grant will be expended on fire education programs for our youth.

We appreciate the continued support from the state that enables us to educate our youth about fire safety and prevention.

Sincerely,

**Arthur G. Vigeant**  
**Mayor**

Enclosures



**CITY OF MARLBOROUGH  
FIRE DEPARTMENT**

215 Maple Street, Marlborough, MA 01752  
Business (508) 624-6986 Facsimile (508) 460-3795

February 16, 2021



The Honorable Arthur G. Vigeant, Mayor  
City of Marlborough  
140 Main Street  
Marlborough, Ma. 01752

RE: FY21 S.A.F.E. Grant

Dear Mayor Vigeant,

Attached please find documentation in support of a grant in the amount of \$6,380.00 which has been awarded to the Fire Department through The Commonwealth of Massachusetts Executive Office of Public Safety and Security.

The FY21 S.A.F.E. Grant has been approved for funding and granted to the Marlborough Fire Department in order to provide student awareness of fire education programs as outlined in the application.

In accordance with Massachusetts General Laws, Chapter 44 Section 53A this grant was applied for and accepted by the Fire Department but in order for it to be expended for the purposes of the grant, the Mayor must recommend and the City Council must vote to approve the expenditure.

I would ask that this information be placed on the next available council agenda, and that you recommend and ask the City Council to approve the expenditure of these funds for the purposes of the grant by the Fire Department.

Sincerely,

Kevin J. Breen  
Fire Chief

**CITY OF MARLBOROUGH  
NOTICE OF GRANT AWARD**

DEPARTMENT: FIRE DATE: 2/16/2021

PERSON RESPONSIBLE FOR GRANT EXPENDITURE: KEVIN J. BREEN, FIRE CHIEF

NAME OF GRANT: FY21 STUDENT AWARENESS OF FIRE EDUCATION (S.A.F.E.)

GRANTOR: COMMONWEALTH OF MASSACHUSETTS

GRANT AMOUNT: \$6,380.00

GRANT PERIOD: 12 MONTHS

SCOPE OF GRANT/  
ITEMS FUNDED ANNUAL STUDENT AWARENESS OF FIRE SAFETY PROGRAMS  
EDUCATIONAL MATERIALS FOR VARIOUS FIRE SAFETY PROGRAMS,  
LECTURES, SCHOOL VISITS, OPEN HOUSE,  
SEASONAL SAFETY AWARENESS PROGRAMS.

IS A POSITION BEING  
CREATED: NO

IF YES: CAN FRINGE BENEFITS BE PAID FROM GRANT? \_\_\_\_\_

ARE MATCHING CITY  
FUNDS REQUIRED? NO

IF MATCHING IS NON-MONETARY (MAN HOURS, ETC.) PLEASE SPECIFY:  
\_\_\_\_\_  
\_\_\_\_\_

IF MATCHING IS MONETARY PLEASE GIVE ACCOUNT NUMBER AND DESCRIPTION OF CITY FUNDS  
TO BE USED:  
\_\_\_\_\_  
\_\_\_\_\_

ANY OTHER EXPOSURE TO CITY?  
NO

IS THERE A DEADLINE FOR CITY COUNCIL APPROVAL: GRANT EXPIRATION 12 MONTHS

**DEPARTMENT HEAD MUST SUBMIT THIS FORM, A COPY OF THE GRANT APPROVAL, AND A COVER LETTER TO THE MAYOR'S OFFICE REQUESTING THAT THIS BE SUBMITTED TO CITY COUNCIL FOR APPROVAL OF DEPARTMENT TO EXPEND THE FUNDS RECEIVED FOR THE PURPOSE OF THE GRANT**





*The Commonwealth of Massachusetts  
Executive Office of Public Safety and Security  
Department of Fire Services*



CHARLES D. BAKER  
GOVERNOR

KARYN E. POLITO  
LT. GOVERNOR

THOMAS A. TURCO, III  
SECRETARY

*P.O. Box 1025 ~ State Road*

*Stow, Massachusetts 01775*

*(978) 567-3100 Fax: (978) 567-3121*

*www.mass.gov/dfs*

PETER J. OSTROSKY  
STATE FIRE MARSHAL

February 12, 2021

Chief Kevin J. Breen  
Marlborough Fire Department  
215 Maple Street  
Marlborough, MA 01752

Dear Chief Breen:

I am pleased to inform you that your FY 2021 Student Awareness of Fire Education (S.A.F.E.) and Senior SAFE grant applications have been approved for funding. The Marlborough Fire Department has been awarded \$6,380.00 for your S.A.F.E. grant and \$2,880.00 for Senior SAFE.

Be sure to alert your treasurer and to check with them to ensure receipt of the funds. We expect the funds to be electronically distributed within the next couple of weeks.

All grantees are required to submit the FY 2020 year-end report to DFS by January 31, 2021. If there are any unexpended funds, the grantee may apply for a one-time 6-month extension, which will be part of the year-end report form. At the close of the single 6-month extension, all unexpended funds must be returned to the Commonwealth. At this time, any prior year remaining funds must be returned to the Commonwealth.

Twenty-six years ago, the Administration advocated for the creation of the S.A.F.E. Program. Since that time average annual child fire deaths have been reduced by 78%. Seven years ago, the S.A.F.E. program was expanded to offer funds to local communities in support of senior fire prevention training. Seniors are the most vulnerable of populations at risk of fire related deaths. Senior SAFE is aimed at educating seniors on fire prevention, general home safety and how to be better prepared in the event of a fire. It is our hope that with this opportunity we can recreate the success with our older population that we have had with children.

I thank you for your commitment to the S.A.F.E. program and for your continuing efforts to promote fire prevention for all citizens. If you have any questions, please feel free to contact the Public Education Unit at (978) 567-3382 or the S.A.F.E. staff at (978) 567-3388.

Sincerely,

Peter J. Ostroskey  
State Fire Marshal



*City of Marlborough*  
*Office of the Mayor*

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH  
*Arthur G. Vigeant*  
MAYOR

2021 FEB 18 A 10:55  
*Patricia M. Bernard*  
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www.marlborough-ma.gov

*Michele A. O'Brien*  
EXECUTIVE SECRETARY

February 18, 2021

Council President Michael Ossing  
Marlborough City Council  
140 Main Street  
Marlborough, MA 01752

**RE: Grant Acceptance – S.A.F.E. Grant for MFD**

Honorable President Ossing and Councilors:

I am pleased to inform you that the Marlborough Fire Department has been awarded a grant in the amount of \$2,880.00 through the Commonwealth of Massachusetts Executive Office of Public Safety and Security. This grant will be expended on fire education programs for our senior population.

We appreciate the continued support from the state that enables us to educate our seniors about fire safety and prevention.

Sincerely,

**Arthur G. Vigeant**  
Mayor

Enclosures



**CITY OF MARLBOROUGH  
FIRE DEPARTMENT**

215 Maple Street, Marlborough, MA 01752  
Business (508) 624-6986 Facsimile (508) 460-3795



February 16, 2021

The Honorable Arthur G. Vigeant, Mayor  
City of Marlborough  
140 Main Street  
Marlborough, Ma. 01752

RE: FY21 Senior S.A.F.E. Grant

Dear Mayor Vigeant,

Attached please find documentation in support of a grant in the amount of \$2,880.00 which has been awarded to the Fire Department through The Commonwealth of Massachusetts Executive Office of Public Safety and Security.

The FY21 Senior S.A.F.E. Grant has been approved for funding and granted to the Marlborough Fire Department in order to provide awareness to our senior population for fire education programs as outlined in the application.

In accordance with Massachusetts General Laws, Chapter 44 Section 53A this grant was applied for and accepted by the Fire Department but in order for it to be expended for the purposes of the grant, the Mayor must recommend and the City Council must vote to approve the expenditure.

I would ask that this information be placed on the next available council agenda, and that you recommend and ask the City Council to approve the expenditure of these funds for the purposes of the grant by the Fire Department.

Sincerely,

Kevin J. Breen  
Fire Chief

**CITY OF MARLBOROUGH  
NOTICE OF GRANT AWARD**

DEPARTMENT: FIRE DATE: 2/16/2021

PERSON RESPONSIBLE FOR GRANT EXPENDITURE: KEVIN J. BREEN, FIRE CHIEF

NAME OF GRANT: FY21 SENIOR SAFE

GRANTOR: COMMONWEALTH OF MASSACHUSETTS

GRANT AMOUNT: \$2,880.00

GRANT PERIOD: 12 MONTHS

SCOPE OF GRANT/  
ITEMS FUNDED ANNUAL SENIOR AWARENESS OF FIRE SAFETY PROGRAMS  
EDUCATIONAL MATERIALS FOR VARIOUS FIRE SAFETY PROGRAMS,  
LECTURES, SEASONAL SAFETY AWARENESS PROGRAMS.

IS A POSITION BEING  
CREATED: NO

IF YES: CAN FRINGE BENEFITS BE PAID FROM GRANT? \_\_\_\_\_

ARE MATCHING CITY  
FUNDS REQUIRED? NO

IF MATCHING IS NON-MONETARY (MAN HOURS, ETC.) PLEASE SPECIFY:  
\_\_\_\_\_  
\_\_\_\_\_

IF MATCHING IS MONETARY PLEASE GIVE ACCOUNT NUMBER AND DESCRIPTION OF CITY FUNDS  
TO BE USED:  
\_\_\_\_\_  
\_\_\_\_\_

ANY OTHER EXPOSURE TO CITY?  
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**DEPARTMENT HEAD MUST SUBMIT THIS FORM, A COPY OF THE GRANT APPROVAL, AND A COVER  
LETTER TO THE MAYOR'S OFFICE REQUESTING THAT THIS BE SUBMITTED TO CITY COUNCIL  
FOR APPROVAL OF DEPARTMENT TO EXPEND THE FUNDS RECEIVED FOR THE PURPOSE OF THE GRANT**



*The Commonwealth of Massachusetts*  
*Executive Office of Public Safety and Security*  
*Department of Fire Services*



CHARLES D. BAKER  
GOVERNOR

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LT. GOVERNOR

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PETER J. OSTROSKY  
STATE FIRE MARSHAL

February 12, 2021

Chief Kevin J. Breen  
Marlborough Fire Department  
215 Maple Street  
Marlborough, MA 01752

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Be sure to alert your treasurer and to check with them to ensure receipt of the funds. We expect the funds to be electronically distributed within the next couple of weeks.

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Twenty-six years ago, the Administration advocated for the creation of the S.A.F.E. Program. Since that time average annual child fire deaths have been reduced by 78%. Seven years ago, the S.A.F.E. program was expanded to offer funds to local communities in support of senior fire prevention training. Seniors are the most vulnerable of populations at risk of fire related deaths. Senior SAFE is aimed at educating seniors on fire prevention, general home safety and how to be better prepared in the event of a fire. It is our hope that with this opportunity we can recreate the success with our older population that we have had with children.

I thank you for your commitment to the S.A.F.E. program and for your continuing efforts to promote fire prevention for all citizens. If you have any questions, please feel free to contact the Public Education Unit at (978) 567-3382 or the S.A.F.E. staff at (978) 567-3388.

Sincerely,

Peter J. Ostrosky  
State Fire Marshal



*City of Marlborough*  
*Office of the Mayor*

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH  
*Arthur G. Vigeant*  
MAYOR

2021 FEB 18 A 10:55

*Patricia M. Bernard*  
EXECUTIVE AIDE

*Michele A. O'Brien*  
EXECUTIVE SECRETARY

140 Main Street  
Marlborough, Massachusetts 01752  
508.460.3770 Fax 508.460.3698 TDD 508.460.3610  
[www.marlborough-ma.gov](http://www.marlborough-ma.gov)

February 18, 2021

Council President Michael Ossing  
Marlborough City Council  
140 Main Street  
Marlborough, MA 01752

**RE: Rescinding of Bonds**

Honorable President Ossing and Councilors:

Please find enclosed for your review an order to rescind \$4.8 million in various bonds and an enclosed order from City Solicitor Grossfield. Also attached are the original appropriations detailing the use.

These bonds are ready to be rescinded either because the projects are complete or as they are no longer available to be bonded due to regulations. The City may not spend the full value on bonds for various reasons, including lower than expected project costs or the use of other funding sources.

Rescinding these bonds will help maintain our financial position by lowering the amount of debt authorized and outstanding. The City's outstanding debt level is one factor that rating agencies review when determining the City's rating on new issuances.

Thanks to the City's financial team's dedication, we continue to secure advantageous interest rates which results in significant savings for our taxpayers.

Sincerely,

**Arthur G. Vigeant**  
Mayor

Enclosures



**CITY OF MARLBOROUGH**

**Office of the City Auditor**

140 Main St.

Marlborough, MA 01752

January 29, 2021

Mayor Arthur G. Vigeant  
City Hall  
140 Main Street  
Marlborough, MA 01752

**RE: Rescinding of Bonds**

I respectfully request that the City rescind the attached list of bonds totaling over \$4.8 million. These amounts are no longer available to be bonded for the intended projects. The rescinding of the bonds will strengthen the City's position financially by lowering the amount of debt authorized and outstanding.

Please contact me if you should have any further questions regarding this information.

Sincerely,

Diane Smith, CGA  
City Auditor

ORDERED:

That the City Council of the City of Marlborough hereby rescinds previously authorized but unissued amounts of the following described loan orders, which are henceforth of no further force or effect:

the \$1,759,927 balance of the \$56,720,000 authorized to be borrowed for the construction and upgrade to the Easterly Wastewater Treatment Plant, duly adopted by order of this Council and approved by the Mayor on August 8, 2011;

the \$3,095,000 balance of the \$3,095,000 authorized to be borrowed for the construction of municipal outdoor recreational facilities, duly adopted by order of this Council and approved by the Mayor on April 10, 2015; and

the \$35,000 balance of the \$110,000 authorized to be borrowed for building maintenance departmental equipment, duly adopted by order of this Council and approved by the Mayor on January 11, 1999.

ADOPTED  
In City Council  
Order No. 21-  
Adopted

Approved by Mayor  
Arthur G. Vigeant  
Date:

A TRUE COPY  
ATTEST:





# IN CITY COUNCIL

Marlborough, Mass.,

AUGUST 1, 2011

## ORDERED:

**Suspension of the Rules requested - granted**

That \$56,720,000 (fifty six million seven hundred twenty thousand) dollars is appropriated for the purpose of financing the construction and upgrade to the Easterly Wastewater Treatment Plant including without limitation all cost thereof as defined in Section 1 of Chapter 29C of the General Laws, as most recently amended by ST. 1998, c.78; that to meet this appropriation the Treasurer with the approval of the Mayor and the Auditor is authorized to borrow \$56,720,000 dollars and issue bonds or notes therefore under Chapter 44 Section 8 (15) and/or Chapter 29C of the General Laws, as most recently amended by ST. 1998,c.78; that such bonds or note shall be general obligations of the City unless the Treasurer with the approval of the Mayor and the Auditor determines that they should be issued as limited obligations and may be secured by local system revenues as defined in Section 1 of Chapter 29C, as most recently amended by ST. 1998,c.78; that the Treasurer with the approval of the Mayor and the Auditor is authorized to borrow all or a portion of such amount from the Massachusetts Water Pollution Abatement Trust established pursuant to Chapter 29C, as most recently amended by St. 1998, c.78; and in connection therewith to enter into a loan agreement and/or a security agreement with the Trust and otherwise to contract with the Trust and Department of Environmental Protection with respect to such loan and for any federal or state aid available for the project or for the financing thereof; that the Mayor is authorized to enter into a project regulatory agreement with the Department of Environmental Protection, to expend all funds available for the project and to take any action necessary to carry out the project, be and is herewith **APPROVED**.

**Yea: 10- Nay: 0**

**Yea: Delano, Ferro, Elder, Tunnera, Clancy, Landers, Ossing, Pope, Vigeant & Levy**

**Absent: Seymour**

**ADOPTED**

In City Council

Order No. 11-1002948A

Approved by Mayor

Nancy E. Stevens

Date: August 8, 2011

A TRUE COPY

ATTEST:

  
City Clerk

34646101-58300



## IN CITY COUNCIL

Marlborough, Mass., APRIL 6, 2015

### ORDERED:

That the sum of \$3,095,000 (three million ninety-five thousand) dollars be and is hereby appropriated for the construction of municipal outdoor recreational facilities.

That to meet said appropriation, the Comptroller-Treasurer, with the approval of the Mayor, is hereby authorized to issue bonds or notes of the City of Marlborough in the amount of \$3,095,000.

Pursuant to the provisions of Chapter 44, section 7 (25) of the Massachusetts General Laws, as amended, each issue of such bonds or notes shall be payable in not more than fifteen (15) years from its date of issue, be and is herewith **APPROVED**.

**Yea: 10 – Abstain: 1**

**Yea: Delano Page, Tunnera, Irish, Clancy, Landers, Ossing, Pope, Oram & Robey**

**Abstain: Elder**

ADOPTED  
In City Council  
Order No. 15-1006089-2C

Approved by Mayor  
Arthur G. Vigeant  
Date: April 10, 2015

A TRUE COPY  
ATTEST:

  
City Clerk



## IN CITY COUNCIL

Marlborough, Mass, JANUARY 11, 1999 19

ORDERED:

That the sum of \$110,000 (one hundred ten thousand dollars) be and is hereby appropriated for Building Maintenance Departmental Equipment.

That to meet said appropriations, the Comptroller/Treasurer, with the approval of the Mayor, is hereby authorized to issue bonds or notes of the City of Marlborough in the amount of \$110,000.

Pursuant to the provisions of Chapter 44 Section 7 of the Massachusetts General Laws as amended, each issue of such bonds or notes shall be payable in not more than five (5) years from its date of issue.

Yea: 11 - Nay: 0

Yea: Katz, Langley, Nawrocki, Pope, Evangelous, Oram, Zomar, Hunt, McAllister, Vigeant, Yurkus.

ADOPTED

In City Council

Order No. 98-7845B

Adopted January 11, 1999

Approved by Mayor

William J. Mauro, Jr.

Date: January 14, 1999

A TRUE COPY

ATTEST:

City Clerk



*City of Marlborough*  
*Office of the Mayor*

140 Main Street  
Marlborough, Massachusetts 01752  
508.460.3770 Fax 508.460.3698 TDD 508.460.3610  
www.marlborough-ma.gov

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH  
Arthur G. Vigeant  
MAYOR  
2021 FEB 18 A 10:55  
Patricia M. Bernard  
EXECUTIVE AIDE

Michele A. O'Brien  
EXECUTIVE SECRETARY

February 18, 2021

Council President Michael Ossing  
Marlborough City Council  
140 Main Street  
Marlborough, MA 01752

**RE: Resident Drop-off Station Attendant**

Honorable President Ossing and Councilors:

I am submitting for your approval a request to create a new position in the Marlborough Municipal Employees union as a permanent resident drop off station attendant. The City has been functioning with seasonal attendants for some time, and we would like to provide consistency and maintain a maximum level of customer service to residents as noted in Commissioner Sean Divoll's memo attached.

The salary table was derived by researching similar size communities. Additionally, the job description and salary has been discussed with the MMEA as required by our collective bargaining agreement.

Thank you for your consideration and please do not hesitate to contact me or Commissioner Divoll with any questions.

Sincerely,

**Arthur G. Vigeant**  
**Mayor**

Enclosures



*City of Marlborough*  
**Department of Public Works**

135 NEIL STREET  
MARLBOROUGH, MASSACHUSETTS 01752  
TEL. 508-624-6910  
\*TDD 508-460-3610

SEAN M. DIVOLL, P.E.  
COMMISSIONER

**Date:** February 2, 2021

**To:** Mayor Vigeant

**From:** Sean M. Divoll, Commissioner of Public Works

**Copy:** David Brumby, Interim HR Director  
Theodore L. Scott, Assistant Commissioner of Operations

**Re:** Resident Drop-Off Station Attendant

---

This memo serves as a request of the City to create the position of "Resident Drop-Off Station Attendant" (Attendant) with a proper job description and salary schedule. As you know the DPW has been operating the facility for the better part of a year with seasonal Attendants and our experience tells us that the position is vital to maintaining a high level of service. The abridged list of essential functions is:

- Maintain the facility in accordance with the rules and regulations
- Open & close
- Issue stickers
- Check in customers
- Direct customers on how to use the facility
- Monitor dumpster capacity and coordinate the pickup of when full
- Perform snow removal
- Perform yard maintenance when necessary

Our vision is to have one full-time Attendant and one or more seasonal Attendants depending on facility demand.

The position reports to the Assistant Commissioner of Operations through the Drop-Off Station Foreman.

I am happy to answer any questions you or the City Council may have.

THEODORE L. SCOTT, P.E.  
ASST. COMMISSIONER, OPERATIONS

CHRISTOPHER S. LAFRENIERE  
ASST. COMMISSIONER, UTILITIES

THOMAS DIPERSIO, JR. P.E., P.L.S.  
CITY ENGINEER

**CITY OF MARLBOROUGH**  
**DEPARTMENT OF PUBLIC WORKS**

---

**DPW**  
**RESIDENT DROP-OFF STATION ATTENDANT**

**Definition/Purpose**

The purpose of this position is to provide support for the Resident Drop-Off Station, focused on assisting residents at the Drop-Off station and the delivery of exceptional service to the community. The Drop-Off Station is located at 860 Boston Post Road East, Marlborough.

**Supervision Required:**

Under the supervision of the Resident Drop-Off Station foreman. This employee may also receive direction from the DPW Commissioner and Assistant Commissioner of Operations.

**Supervisory Responsibility:**

None.

**Work Environment:**

Work is performed inside and outdoors in weather conditions. Employee may be exposed to equipment/machinery, noise, odors, chemical fumes, dust, heat and cold, oil, dirt or grease, and risk of personal injury. The employee operates a personal computer and/or tablet including Microsoft Office, email, telephone, fax, scanning and copy machines.

**Essential Functions:**

*(The essential functions or duties listed below are intended only as illustrations of the various type of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.)*

- Open and close the Drop-Off Station according to the schedule.
- Maintain Drop-Off Station in accordance with rules and regulations.
- Operate all compactors and balers as needed.
- Check all vehicles entering the transfer station for a valid City of Marlborough sticker.
- Issue City of Marlborough Drop-Off stickers.
- Complete all associated paperwork and tracking.
- Answer phones
- Must ensure that no hazardous waste is disposed of at the facility
- Perform yard maintenance as necessary.
- Monitor dumpster capacity and coordinate with vendors to pick up dumpsters when full.
- Perform some snow removal.
- Perform other related work as required.
- Performs other duties as requested by the Resident Drop-Off Station Foreman, Assistant Commissioner of Operations and/or the Commissioner of Public Works.

**Education and Experience:**

Must have a High School Diploma or equivalent.

**Special Requirements:**

- Valid Class D Massachusetts Driver’s License;

**Knowledge, Abilities and Skill**

- Ability to establish positive communication and interaction with customers and staff.
- Ability to provide guidance, assistance, and/or interpretation to others on how to apply procedures and standards to specific situations.
- Ability to establish positive public relations for the City and/or department; and to interact effectively with a wide variety of people.
- Ability to quickly easily adapt to customer situations and changes in procedures.
- Ability to multi-task.
- Must be computer literate; familiar with computer software applications such as Microsoft, Facility software system and other applications tailored to specific departmental needs.
- Thorough knowledge of the methods, materials, scheduling, and tools and equipment used in the operation of the Resident Drop-Off Facility.
- Working knowledge of the hazards and safety precautions common to Streets division work.

**Physical Requirements**

*The physical demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.*

Duties require frequent and extended periods of outside work, subject to weather conditions; continuous walking, standing, and climbing; may work on damp or uneven surfaces; grasp, drag, lift and carry items weighing up to 30 pounds; work may be performed above shoulder level; may be exposed to dust and fumes; electrical and mechanical hazards, vibration and noise, work with machinery; may require the exercise of caution when operating heavy equipment; mobility, vision, hearing, dexterity and use of hands and legs appropriate to the duties to be performed.

|                  |   |   |                                       |
|------------------|---|---|---------------------------------------|
| <b>Position:</b> | <input checked="" type="checkbox"/> Union     | <input type="checkbox"/> Non-Union            | <input type="checkbox"/> Contract     |
| <b>Class:</b>    | <input checked="" type="checkbox"/> Full-Time | <input type="checkbox"/> Part-Time            | <input type="checkbox"/> Intermittent |
|                  | <input type="checkbox"/> Provisional          | <input checked="" type="checkbox"/> Permanent | <input type="checkbox"/> Temporary    |

**RESIDENT DROP-OFF STATION ATTENDANT  
SALARY TABLE**

| <b>STEP/LEVEL</b> | <b>HOURLY RATE</b> | <b>DAILY RATE<br/>(7 hrs./day)</b> | <b>PERIOD SALARY<br/>(35 hrs./week)</b> | <b>ANNUAL<br/>SALARY</b> |
|-------------------|--------------------|------------------------------------|---|--------------------------|
| 00                | 18.0000            | 126.0000                           | 630.00                                  | 32,760.00                |
| 01                | 18.7500            | 131.2500                           | 656.25                                  | 34,125.00                |
| 02                | 19.5313            | 136.7191                           | 683.60                                  | 35,547.20                |
| 03                | 20.3451            | 142.4157                           | 712.08                                  | 37,028.16                |



*City of Marlborough*  
*Commonwealth of Massachusetts*

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH



Ethan Lippitt  
Code Enforcement Officer  
140 Main Street  
Marlborough, MA 01752  
Phone: (508) 460-3776 XT 30201  
Fax: (508) 460-3736  
Email: [elippitt@marlborough-ma.gov](mailto:elippitt@marlborough-ma.gov)  
[pwilderma@marlborough-ma.gov](mailto:pwilderma@marlborough-ma.gov)

## City Council Sign Approval Form

2/12/2021

To City Council President and all Councilors,  
Included in this form is an applicant seeking approval from City Council as it relates to the signage project at the below address. Attached to this form is a copy of the sign that has already been installed.

Please note that this property has current sign violations levied against them in the form of signs having been installed without permit, signs installed without a permit application, unpaid sign permit violations and signs painted on buildings. The sign application that this approval form is for a sign that has already been installed and illuminated without sign permit.

Address of Location seeking approval 21 Apex Drive.  
BP-2021-000028

|                          |                                   |
|--------------------------|-----------------------------------|
| Zoning District:         | HRMUOD Hospitality and Recreation |
| Meets Current Sign Code: | NO                                |
| Planning Board Variance: | NO                                |

Code Enforcement Officer Ethan Lippitt

CC File  
City Council  
Commissioner Cooke



CITY OF MARLBOROUGH

Building Department  
(508) 460-3776

# BUILDING PERMIT

## JOB WEATHER CARD

PERMIT NO **BP-2021-000028**

ISSUE DATE **01/06/2021**

APPLICANT **BARLO SIGNS**

PERMIT TO **Flat Wall Sign**

AT (LOCATION) **21 APEX DR, MARLBOROUGH, MA 01752** ZONING DISTRICT **B** Bldg. Type: **Commercial**

SUBDIVISION MAP BLOCK LOT **78-12-21-** BUILDING IS TO BE: **CONST TYPE** USE GROUP **Business**

### WORK DESCRIPTION

Installation of a Flat Wall Sign for "Apex Mini Golf" Length 22'8", Width 3'2", Area 77.

### CONTRACTOR

LICENSE **0000**  
Construction Supervisor

**BARLO SIGNS**  
158 GREELY STREET  
HUDSON, NH 003051

AREA (SQ FT) EST COST(\$) **18000.00** PERMIT FEE (\$) **50.00**

OWNER **WALKER REALTY LLC**  
ADDRESS **C/O RYAN DEVELOPMENT LLC**  
**WESTFORD MA 01886**

BUILDING DEPT BY

PHONE **603-882-9638**

THIS PERMIT CONVEYS NO RIGHT TO OCCUPY ANY STREET, ALLEY OR SIDEWALK OR ANY PART THEREOF, EITHER TEMPORARILY OR PERMANENTLY. ENCROACHMENTS ON PUBLIC PROPERTY, NOT SPECIFICALLY PERMITTED UNDER THE BUILDING CODE, MUST BE APPROVED BY THE JURISDICTION. STREET OR ALLEY GRADES AS WELL AS DEPTH AND LOCATION OF PUBLIC SEWERS MAY BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. THE ISSUANCE OF THIS PERMIT DOES NOT RELEASE THE APPLICANT FROM THE CONDITIONS OF ANY APPLICABLE SUBDIVISION RESTRICTIONS.

MINIMUM INSPECTIONS REQUIRED FOR ALL CONSTRUCTION WORK: 1) FOUNDATIONS OR FOOTINGS. 2) PRIOR TO COVERING STRUCTURAL MEMBERS (READY FOR LATH OR FINISH COVERING) 3) FINAL INSPECTION BEFORE OCCUPANCY 4) REFER TO DETAILED INSPECTION SCHEDULE

APPROVED PLANS MUST BE RETAINED ON JOB AND THIS CARD KEPT POSTED UNTIL FINAL INSPECTION HAS BEEN MADE. WHERE A CERTIFICATE OF OCCUPANCY IS REQUIRED, SUCH BUILDING SHALL NOT BE OCCUPIED UNTIL FINAL INSPECTION HAS BEEN MADE.

WHERE APPLICABLE SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL PLUMBING/GAS AND MECHANICAL INSTALLATIONS.

## POST THIS CARD SO IT IS VISIBLE FROM STREET

### BUILDING INSPECTIONS APPROVALS

| REQUIRED INSPECTIONS LISTED ON REVERSE |        |  |
|--|--------|--|
|  |        |  |
|  | OTHER: |  |
|  |        |  |

WORK SHALL NOT PROCEED UNTIL THE INSPECTOR HAS APPROVED THE VARIOUS STAGES OF CONSTRUCTION

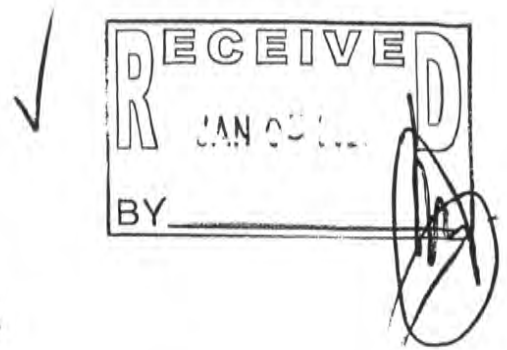
PERMIT WILL BECOME NULL AND VOID IF CONSTRUCTION WORK IS NOT STARTED WITHIN SIX MONTHS OF DATE THE PERMIT IS ISSUED AS NOTED ABOVE.

INSPECTIONS INDICATED ON THIS CARD CAN BE ARRANGED FOR BY TELEPHONE OR WRITTEN NOTIFICATION.



# City of Marlborough BUILDING DEPARTMENT

140 Main Street  
Marlborough, Massachusetts 01752



Date: 12/14/2020 Permit No. BP-2021-000028

Address/Location of Sign 11-169 APEX DRIVE  
Name of Business APEX MINI GOLF

Name of Owner of Business SAME Telephone \_\_\_\_\_

Type of Sign: (check off which applies)  
 Flat Wall  Free Standing  Awning  Banner  Projecting

Does this site have a Special Permit  YES  NO

Is this a replacement of a same size existing sign(s) LESS  YES  NO  
THAN REPLACES 86.9 SF

Dimensions Sign: See enclosed plans  
Length 22'8" Width 32" Height (Free Standing) \_\_\_\_\_ Area 77

Location of Sign on Bld. North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Dimensions Façade:  
Length 45' +/- Width 20' +/- Area 900

Signature of Responsible Party [Signature] Telephone JENN ROBICHAUD 603 882 2638 X 333

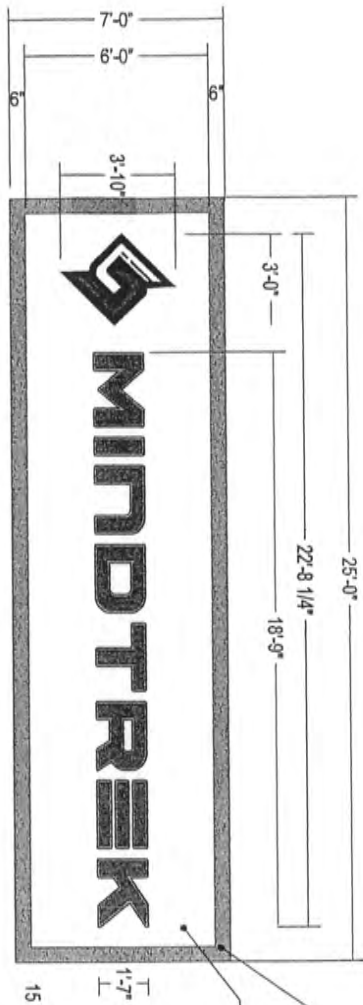
Installer Company BARLO SIGNS Telephone 603 882 2638 X 333  
jenn@barlosigns.com  
Email

I hereby declare that I have the authority to request this permit and that the statements and information provided are true and accurate to the best of my knowledge and belief as well as to conform to the City's current Sign Ordinance and MA State Building Code, signed under the pains and penalties of perjury.

Signature [Signature] Date 12/14/2020

Cost of Sign(s) 18000 Permit Fee \$ 50.00

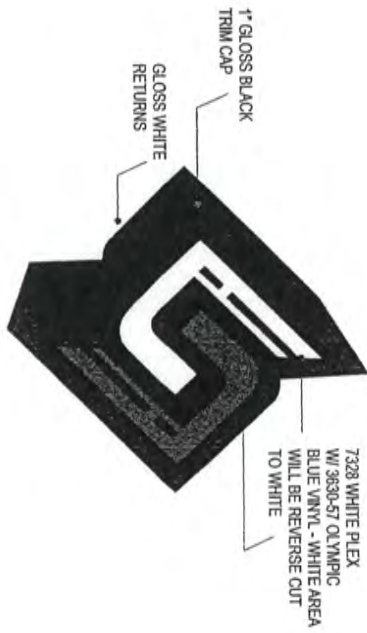
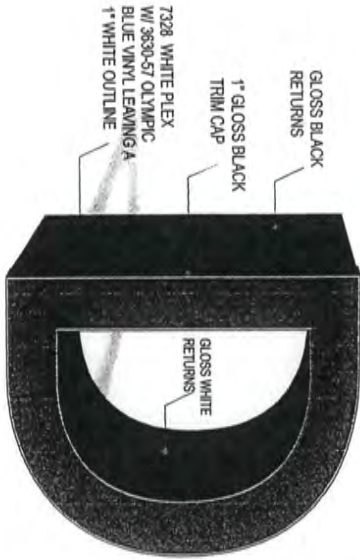
**ITEM A - FACE-LIT/BACK-LIT LED CHANNEL LETTERS ON BACKER PAN**  
SCALE: 1/4"=1'-0"



Gray BEA Crown Molding  
(to match Gray on building column - exact color TBD)

White BEA Face

15 FT. LOW VOLTAGE LEADS REQUIRED



SIMULATED NIGHT VIEW

**COLORS FABRICATION - LETTERS**

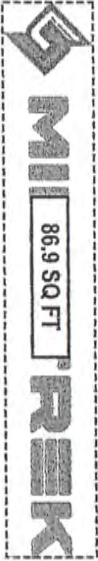
FACES: 3/16" 7328 WHITE PLEX W/ 3630-57 OLYMPIC BLUE VINYL LEAVING A 3/8" WHITE OUTLINE  
 RETURNS: 0/0" GLOSS BLACK BEA 5" DEEP  
 TRIMCAP: 1" BLACK  
 BACKS: 3/16" Clear Polycarbonate sanded  
 RACEWAY: N/A

**COLORS FABRICATION - LOGO**

FACES: 3/16" 7328 WHITE PLEX W/ 3630-57 OLYMPIC BLUE VINYL - WHITE AREA WILL BE REVERSE CUT TO WHITE  
 RETURNS: 0/0" BLACK BEA 5" DEEP  
 TRIMCAP: 1" OR 2" BLACK with metal led-lips as required  
 BACKS: 3/16" Clear Polycarbonate sanded  
 RACEWAY: N/A

**COLORS COPV**

3630-22 BLACK  
 3630-57 OLYMPIC BLUE



|   |                                  |                         |
|---|----------------------------------|-------------------------|
| <b>SCOPE OF WORK</b>  |                                  | Sign Area: 86.9 SQ. FT. |
| MANUFACTURE AND INSTALL (1) 7'-0" X 25'-0" WALL SIGN WITH ALUMINUM FACE AND FACE-LIT/BACK-LIT LED CHANNEL LETTERS INSTALLED ON THE SURFACE. POWER SUPPLIES TO BE SELF CONTAINED IN CABINET WITH ACCESS DOORS FOR SERVICING. |                                  |                         |
| SEE SHEET 1.1 FOR MANUFACTURING SPE   |                                  |                         |
| Job Name:   | MINDTRAK VR @ APEX               |                         |
| Location:   | APEX DRIVE MARLBOROUGH, MA 01752 |                         |
| Design Specifications Accepted By:  | Diana Br. AS                     |                         |
| Client:   | Sales Rep. KELL                  |                         |
| Estimate:   | PKL_HL                           |                         |
| Date:   | 12-21-07                         |                         |
| Project Approval:   |                                  |                         |
| Design:   | AS                               | Date: 12-21             |
| Estimating:   |                                  | Date:                   |
| Sales:  |                                  | Date:                   |
| Production:   |                                  | Date:                   |
| Installation:   |                                  | Date:                   |

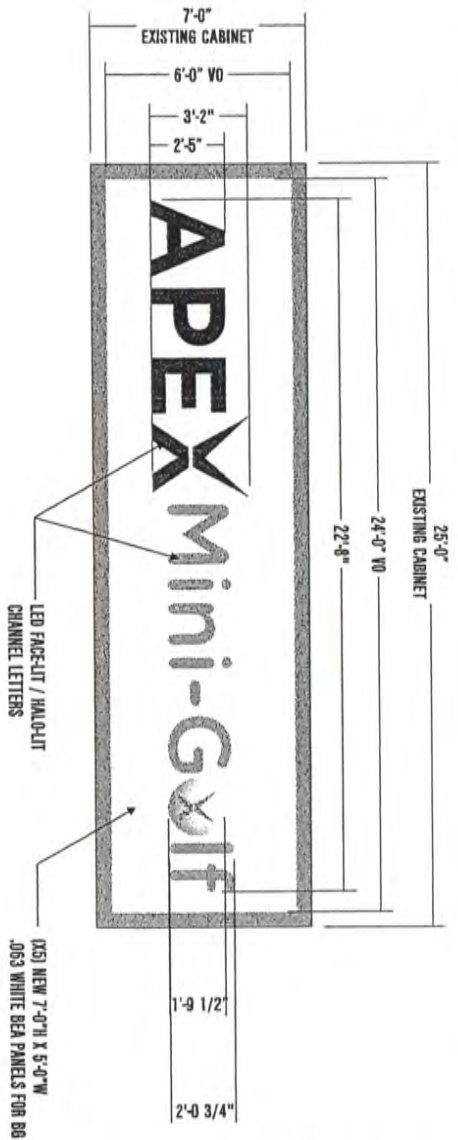
**PARLO SIGNS**  
100 County St., Lowell, MA 01850  
978-452-1100  
Fax: 978-452-1101

© COPYRIGHT 2011 THE PARLO SIGN GROUP  
THIS DOCUMENT IS THE PROPERTY OF PARLO SIGNS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

1/1

JOB #:

SCALE: 1/4" = 1'-0"

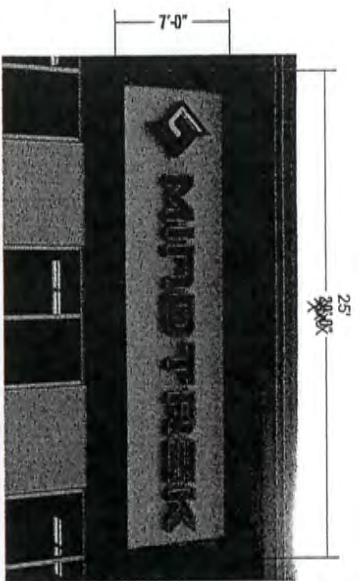


3'-2" X 22'-8" = 77 SF PROPOSED  
 86'-9" EXISTING



FILE NAME: APEX MINI GOLF 200707144 U 7.28.20

EXISTING SIGN



SIMULATED NIGHT VIEW



SCOPE OF WORK - BARLO / DSW

REMOVE & DISPOSE "HANDOTHER" CHANNEL LOGO & BACKER PANELS ON EXISTING WALL SIGN.  
 MANUFACTURE & INSTALL (1) SET OF FACE-LIT / HALO-LIT CHANNEL LETTERS MOUNTED TO NEW BACKER PANELS AND INSTALL IN EXISTING WALL SIGN. SIGN TO BE RE-WIRED AS NECESSARY.

MFG. SPECIFICATIONS - CHANNEL LETTERS

"APEX" LETTERS  
 FACE: J03 WHITE ACRYLIC  
 BACK: SEE COLOR SCHEDULE  
 THK: 1" WHITE  
 RETURN: J03 GLOSS WHITE - 5" DEEP  
 BACK: SANDED CLEAR W/ TRANS WHITE DIFFUSER  
 ILLUMINATION: WHITE LED

"MINI-GOLF" LETTERS  
 FACE: J03 7200 WHITE ACRYLIC  
 BACK: SEE COLOR SCHEDULE  
 THK: 1" WHITE  
 RETURN: J03 GLOSS WHITE - 5" DEEP  
 BACK: SANDED CLEAR W/ TRANS WHITE DIFFUSER  
 ILLUMINATION: WHITE LED

COLOR SCHEDULE

3603-127 INTERIOR BLUE VINT.  3603-44 TANGENT VINT.   ORIGINALLY PRINTED GRAPHIC

BARLO



INTERNATIONAL  
 1000 N. WASHINGTON ST. SUITE 200  
 WILMINGTON, DE 19804  
 TEL: 302.438.1572  
 FAX: 302.438.1573  
 WWW.BARLO.COM

PROJECT APPROVAL  
 Client: Date:  
 Designer LP: Date: 7/23/20  
 Sales: Date:  
 Updelling: Date:  
 Production: Date:

DESIGNER: LP  
 SALES REP: BARN  
 PM: BC

APEX MINI GOLF  
 APEX DR  
 MARLBOROUGH, MA 01752  
 07/14/20

ITEM  
**A**

SHEET 1.0

QUOTE #: 7144

JOB #: 18488.1

*City of Marlborough*  
*Commonwealth of Massachusetts*

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH



Ethan Lippitt  
Code Enforcement Officer  
140 Main Street  
Marlborough, MA 01752  
Phone: (508) 460-3776 XT 30201  
Fax: (508) 460-3736  
Email: [elippitt@marlborough-ma.gov](mailto:elippitt@marlborough-ma.gov)  
[pwilderma@marlborough-ma.gov](mailto:pwilderma@marlborough-ma.gov)

## City Council Sign Approval Form

2/12/2021

To City Council President and all Councilors,  
Included in this form is an applicant seeking approval from City Council as it relates to the signage project at the below address. Attached to this form is a copy of the sign that has already been installed.

Please note that this property has current sign violations levied against them in the form of signs having been installed without permit, signs installed without a permit application, unpaid sign permit violations and signs painted on buildings. The sign application that this approval form is for a sign that has already been installed and illuminated without sign permit.

Address of Location seeking approval 21 Apex Drive.  
BP-2021-000029

|                          |                                   |
|--------------------------|-----------------------------------|
| Zoning District:         | HRMUOD Hospitality and Recreation |
| Meets Current Sign Code: | NO                                |
| Planning Board Variance: | NO                                |

Code Enforcement Officer Ethan Lippitt

CC File  
City Council  
Commissioner Cooke



CITY OF MARLBOROUGH

Building Department  
(508) 460-3776

BUILDING  
PERMIT

JOB WEATHER CARD

PERMIT NO

BP-2021-000029

ISSUE DATE

01/06/2021

APPLICANT

BARLO SIGNS

PERMIT TO

Flat Wall Sign

AT (LOCATION) 21 APEX DR, MARLBOROUGH, MA 01752 ZONING DISTRICT B Bldg. Type: Commercial

SUBDIVISION MAP BLOCK LOT 78-12-21- BUILDING IS TO BE: CONST TYPE USE GROUP Business

WORK DESCRIPTION  
Installation of a Flat Wall Sign for "Apex Mini Golf" Length 22'6", Width 3'10", Area 86.25.

CONTRACTOR  
LICENSE 0000  
Construction Supervisor  
BARLO SIGNS  
158 GREELY STREET  
HUDSON, NH

AREA (SQ FT) EST COST(\$) 8000.00 PERMIT FEE (\$) 50.00  
OWNER WALKER REALTY LLC  
ADDRESS C/O RYAN DEVELOPMENT LLC  
WESTFORD MA 01886

BUILDING DEPT BY

PHONE 603-882-2633

THIS PERMIT CONVEYS NO RIGHT TO OCCUPY ANY STREET, ALLEY OR SIDEWALK OR ANY PART THEREOF, EITHER TEMPORARILY OR PERMANENTLY. ENCROACHMENTS ON PUBLIC PROPERTY, NOT SPECIFICALLY PERMITTED UNDER THE BUILDING CODE, MUST BE APPROVED BY THE JURISDICTION. STREET OR ALLEY GRADES AS WELL AS DEPTH AND LOCATION OF PUBLIC SEWERS MAY BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. THE ISSUANCE OF THIS PERMIT DOES NOT RELEASE THE APPLICANT FROM THE CONDITIONS OF ANY APPLICABLE SUBDIVISION RESTRICTIONS.

MINIMUM INSPECTIONS REQUIRED FOR ALL CONSTRUCTION WORK: 1) FOUNDATIONS OR FOOTINGS. 2) PRIOR TO COVERING STRUCTURAL MEMBERS (READY FOR LATH OR FINISH COVERING) 3) FINAL INSPECTION BEFORE OCCUPANCY 4) REFER TO DETAILED INSPECTION SCHEDULE

APPROVED PLANS MUST BE RETAINED ON JOB AND THIS CARD KEPT POSTED UNTIL FINAL INSPECTION HAS BEEN MADE. WHERE A CERTIFICATE OF OCCUPANCY IS REQUIRED, SUCH BUILDING SHALL NOT BE OCCUPIED UNTIL FINAL INSPECTION HAS BEEN MADE.

WHERE APPLICABLE SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL PLUMBING/GAS AND MECHANICAL INSTALLATIONS.

POST THIS CARD SO IT IS VISIBLE FROM STREET

BUILDING INSPECTIONS APPROVALS

| REQUIRED INSPECTIONS LISTED ON REVERSE |        |  |
|--|--------|--|
|  |        |  |
|  | OTHER: |  |
|  |        |  |

WORK SHALL NOT PROCEED UNTIL THE INSPECTOR HAS APPROVED THE VARIOUS STAGES OF CONSTRUCTION

PERMIT WILL BECOME NULL AND VOID IF CONSTRUCTION WORK IS NOT STARTED WITHIN SIX MONTHS OF DATE THE PERMIT IS ISSUED AS NOTED ABOVE.

INSPECTIONS INDICATED ON THIS CARD CAN BE ARRANGED FOR BY TELEPHONE OR WRITTEN NOTIFICATION.



City of Marlborough
BUILDING DEPARTMENT

140 Main Street
Marlborough, Massachusetts 01752



Date: 12/14/2020 Permit No. BP-2021-000029

Address/Location of Sign 11-169 Apex Drive

Name of Business APEX KIDS

Name of Owner of Business SAME Telephone

Type of Sign: (check off which applies)

x Flat Wall Free Standing Awning Banner Projecting

Does this site have a Special Permit x YES NO

Is this a replacement of a same size existing sign(s) x YES NO

Dimensions Sign: See enclosed plans, removal of 114.99 sf of signage, installation of 86.25 sf

Length 22'6" Width 3'10" Height (Free Standing) Area 86.25

Location of Sign on Bld. North South East West

Dimensions Façade:

Length Width Area

Signature of Responsible Party JENN ROBICHAUD 603 882 2638 X 333 Telephone

Installer Company BARLO SIGNS Telephone 603 882 2638 X 333

jenn@barlosigns.com Email

I hereby declare that I have the authority to request this permit and that the statements and information provided are true and accurate to the best of my knowledge and belief as well as to conform to the City's current Sign Ordinance and MA State Building Code, signed under the pains and penalties of perjury.

Signature Date 12/14/2020

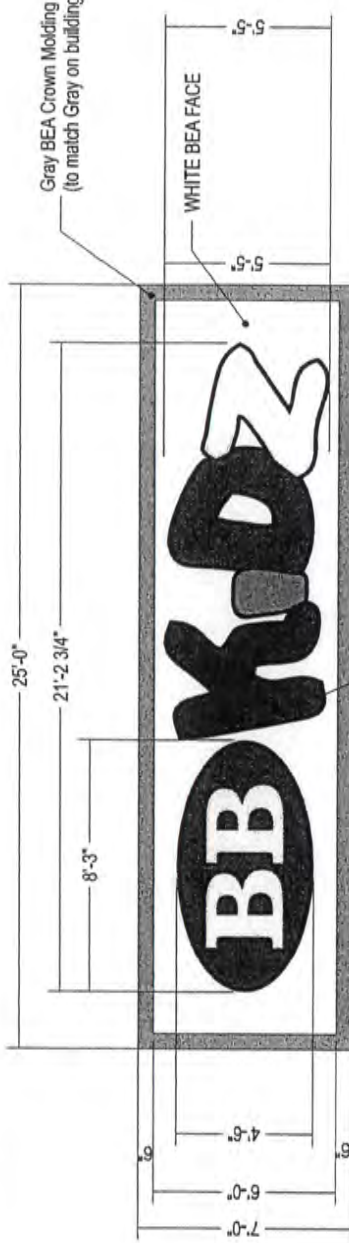
Cost of Sign(s) 8,000 Permit Fee \$ 50.00



JOB#:

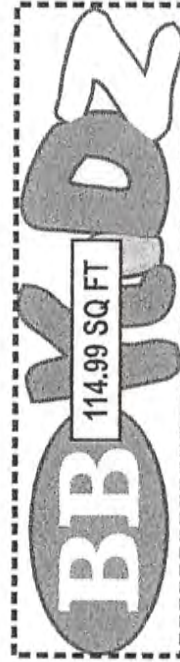
**ITEM C - FACE-LIT LED CHANNEL LETTERS ON BACKER PAN**

SCALE: 1/4"=1'-0"



**COLORS HAVE NOT BEEN VERIFIED BY THE CLIENT 10/12/17**

FACE-LIT/BACK-LIT CHANNEL LETTERS AND LOG PER CORPORATE SPECS



\*\*BACKS MUST HAVE DIFFUSER FILM\*\*

**COLORS: FABRICATION - LETTERS**

FACES: White Acrylic w/ Vinyl Overlay  
 RETURNS: .063" Gloss Black BEA 5" Deep  
 TRIMCAP: 1" Black or 2" with metal .clips as required  
 BACKS: Clear Polycarbonate scratched w/ DIFFUSER FILM  
 RACEWAY: Dishpan painted per details

**COLORS: FABRICATION - LOGO**

FACES: White Acrylic or Sign grade Polycarbonate Where required w/ Vinyl Overlay  
 RETURNS: .063" Gloss Black BEA 5" Deep  
 TRIMCAP: 1" Black or 2" Black with metal .clips as required  
 BACKS: Clear Polycarbonate scratched  
 RACEWAY: Dishpan painted per details

**COLORS: COPY**

COPY:  
 PINK - 3630-78 VIVID ROSE (CLIENT TO APPROVE)  
 BLUE - 3630-127 INTENSE BLUE (CLIENT TO APPROVE)  
 GREEN - 3630-136 LIME GREEN (CLIENT TO APPROVE)  
 YELLOW - 3630-115 LT LEMON YELLOW (CLIENT TO APPROVE)

|   |                   |
|---|-------------------|
| Job Name: Apex  | Down By: NGB / LP |
| Location: Apex Drive Marlborough, MA 01752              | Sales Rep: PK     |
| Design Specifications Accepted By:                      | PK HL             |
| Client:   | Date: 2/12/2017   |
| Lead:   | Date: 2/12/2017   |
| <b>PROJECT APPROVAL</b>                                 |                   |
| Design:   | Date:             |
| Engineering:  | Date:             |
| Estimating:   | Date:             |
| Sales:  | Date:             |
| Production:   | Date:             |
| Installation:   | Date:             |
| File Name: Apex Building Lighting BB KOD 170216ZTC-4B J | SHEET: 3.0        |

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Barlo Signs  
 225 Orange St. Marlborough, MA 01752  
 (508) 865-5428 Fax (508) 865-7866  
 For Service 800.227.6674



3'10" x 22'6" = 86.25 SF PROPOSED  
REMOVING 114.99 SF



NOT TO SCALE - SKEWED PHOTO

EXISTING SIGN



SIMULATED NIGHT VIEW



**SCOPE OF WORK**

REMOVE & DISPOSE "BB KIDZ" CHANNEL LOGO & BACKER PANELS ON EXISTING WALL SIGN.

MANUFACTURE & INSTALL (1) SET OF FACE-LIT / HALO-LIT CHANNEL LETTERS MOUNTED TO NEW BACKER PANELS AND INSTALL IN EXISTING WALL SIGN. SIGN TO BE RE-WIRED AS NECESSARY.

**INFO: SPECIFICATIONS - CHANNEL LETTERS**

**"APEX" LETTERS**

FACE: 3/16" 7328 WHITE ACRYLIC  
VINYL: SEE COLOR SCHEDULE  
THICK: 1" WHITE  
RETURNING: .063 GLOSS WHITE - 5" DEEP  
BACK: SANDED CLEAR

ILLUMINATION: WHITE LED

**"KIDS" LETTERS**

FACE: 3/16" 7328 WHITE ACRYLIC  
VINYL: SEE COLOR SCHEDULE  
THICK: 1" WHITE  
RETURNING: .063 GLOSS WHITE - 5" DEEP  
BACK: SANDED CLEAR

ILLUMINATION: WHITE LED

**COLOR SCHEDULE - CLIENT TO VERIFY**

36300-127 INTENSE BLUE VINYL

36300-84 TANGERINE VINYL

*City of Marlborough*  
*Commonwealth of Massachusetts*

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH



Ethan Lippitt <sup>2021</sup> FEB 12 P 3:55  
Code Enforcement Officer  
140 Main Street  
Marlborough, MA 01752  
Phone: (508) 460-3776 XT 30201  
Fax: (508) 460-3736  
Email: [elippitt@marlborough-ma.gov](mailto:elippitt@marlborough-ma.gov)  
[pwilderma@marlborough-ma.gov](mailto:pwilderma@marlborough-ma.gov)

## City Council Sign Approval Form

2/12/2021

To City Council President and all Councilors,  
Included in this form is an applicant seeking approval from City Council as it relates to the signage project at the below address.

Address of Location seeking approval 782 Boston Post Road.

BP-2021-000183

Zoning District:

Wayside Zoning

Meets Current Sign Code:

YES

Planning Board Variance:

NO

Code Enforcement Officer Ethan Lippitt

CC File  
City Council  
Commissioner Cooke



CITY OF MARLBOROUGH

Building Department  
(508) 460-3776

BUILDING PERMIT

JOB WEATHER CARD

PERMIT NO BP-2021-000183

ISSUE DATE 02/11/2021

APPLICANT FT SIGNS

PERMIT TO SIGN

AT (LOCATION) 782 BOSTON POST RD, MARLBOROUGH, MA 0 ZONING DISTRICT B Bldg. Type: Commercial

SUBDIVISION MAP BLOCK LOT 61-11-- BUILDING IS TO BE: CONST TYPE USE GROUP

WORK DESCRIPTION

Installation of a free-standing sign with no special permit but is a replacement of a prior sign. Sign dimensions: Length 32, width 120,5.

CONTRACTOR

LICENSE 0000 Construction Supervisor

FT SIGNS

134 MAIN STREET  
MARLBOROUGH, MA 01752

PAID

PHONE 508-786-0678

AREA (SQ FT) EST COST(\$) 350.00 PERMIT FEE (\$) 50.00

OWNER KORTIL LLC

ADDRESS 782 BOSTON POST RD EAST

MARLBOROUGH MA 01752

BUILDING DEPT BY

THIS PERMIT CONVEYS NO RIGHT TO OCCUPY ANY STREET, ALLEY OR SIDEWALK OR ANY PART THEREOF, EITHER TEMPORARILY OR PERMANENTLY. ENCROACHMENTS ON PUBLIC PROPERTY, NOT SPECIFICALLY PERMITTED UNDER THE BUILDING CODE, MUST BE APPROVED BY THE JURISDICTION. STREET OR ALLEY GRADES AS WELL AS DEPTH AND LOCATION OF PUBLIC SEWERS MAY BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. THE ISSUANCE OF THIS PERMIT DOES NOT RELEASE THE APPLICANT FROM THE CONDITIONS OF ANY APPLICABLE SUBDIVISION RESTRICTIONS.

MINIMUM INSPECTIONS REQUIRED FOR ALL CONSTRUCTION WORK: 1) FOUNDATIONS OR FOOTINGS. 2) PRIOR TO COVERING STRUCTURAL MEMBERS (READY FOR LATH OR FINISH COVERING) 3) FINAL INSPECTION BEFORE OCCUPANCY 4) REFER TO DETAILED INSPECTION SCHEDULE

APPROVED PLANS MUST BE RETAINED ON JOB AND THIS CARD KEPT POSTED UNTIL FINAL INSPECTION HAS BEEN MADE. WHERE A CERTIFICATE OF OCCUPANCY IS REQUIRED, SUCH BUILDING SHALL NOT BE OCCUPIED UNTIL FINAL INSPECTION HAS BEEN MADE.

WHERE APPLICABLE SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL PLUMBING/GAS AND MECHANICAL INSTALLATIONS.

POST THIS CARD SO IT IS VISIBLE FROM STREET

BUILDING INSPECTIONS APPROVALS

| REQUIRED INSPECTIONS LISTED ON REVERSE |        |
|--|--------|
|  |        |
|  |        |
|  | OTHER: |
|  |        |

ENTERED

WORK SHALL NOT PROCEED UNTIL THE INSPECTOR HAS APPROVED THE VARIOUS STAGES OF CONSTRUCTION

PERMIT WILL BECOME NULL AND VOID IF CONSTRUCTION WORK IS NOT STARTED WITHIN SIX MONTHS OF DATE THE PERMIT IS ISSUED AS NOTED ABOVE.

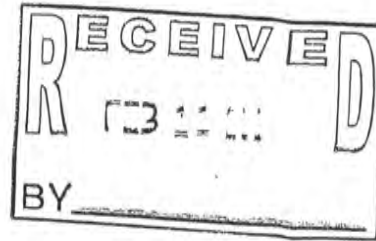
INSPECTIONS INDICATED ON THIS CARD CAN BE ARRANGED FOR BY TELEPHONE OR WRITTEN NOTIFICATION.



*City of Marlborough*  
**BUILDING DEPARTMENT**

140 Main Street  
Marlborough, Massachusetts 01752

B 61-11  
Retail



Date: 02/05/2021

Permit No. \_\_\_\_\_

Address/Location of Sign 782 Boston Post Road East - Marlborough

Name of Business Better Floors INC

Name of Owner of Business Anthony Silva Telephone (508) 485-8427

Type of Sign: (check off which applies)

Flat Wall  Free Standing  Awning  Banner  Projecting

Does this site have a Special Permit  YES  NO

Is this a replacement of a same size existing sign(s)  YES  NO

**Dimensions Sign:**

Length 32 Width 120,5 Height (Free Standing) \_\_\_\_\_ Area \_\_\_\_\_

Location of Sign on Bld. North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Dimensions Façade:**

Length \_\_\_\_\_ Width \_\_\_\_\_ Area \_\_\_\_\_

Signature of Responsible Party \_\_\_\_\_ Telephone \_\_\_\_\_

Installer Company FT SIGNS and Graphics Telephone 508-786-0675

Laura @ FT SIGNS. com  
Email

I hereby declare that I have the authority to request this permit and that the statements and information provided are true and accurate to the best of my knowledge and belief as well as to conform to the City's current Sign Ordinance and MA State Building Code, signed under the pains and penalties of perjury.

[Signature]  
Signature

02/05/2021  
Date



Cost of Sign(s) \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_

POST ROAD  
**Carpet**



**BETTER FLOORS**  
**(508) 485-8427**

**FINANCING  
AVAILABLE**





**BETTER FLOORS**  
**(508) 485-8427**

120.50"

32.00"

CITY OF MARLBOROUGH  
OFFICE OF THE CITY CLERK

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH

APPLICATION TO CITY COUNCIL FOR ISSUANCE OF SPECIAL PERMIT

2021 FEB 10 A 11: 35

1. Name and address of Petitioner or Applicant:

Calverde Naturals, LLC, 10 Briarwood Lane, Winchester, MA

2. Specific Location of property including Assessor's Plate and Parcel Number.

239 Boston Post Road West, Marlborough, MA 01752 (Map #78, Lot #2A)

3. Name and address of owner of land if other than Petitioner or Applicant:

R.K. Marlboro West, LLC c/o R.K. Centers, 50 Cabot Street, Suite 200, Needham, MA 02494

4. Legal interest of Petitioner or Applicant (owner, lessee, prospective owner, etc.)

5. Specific Zoning Ordinance under which the Special Permit is sought:

Article V Section 650-17 Paragraph Sub-paragraph

6. Zoning District in which property in question is located:

Business Zoning District (B)

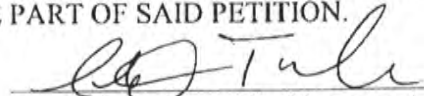
7. Specific reason(s) for seeking Special Permit

The Applicant requests a Special Permit to operate an Adult Use Marijuana Retail Establishment at 239 Boston Post Road West.

This use requires a Special Permit under Section 650-17 of the Zoning Ordinance.

8. List of names and addresses of abutter. SEPARATE SHEET ATTACHED

PETITION IS HEREBY MADE FOR THE ISSUANCE OF A SPECIAL PERMIT BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH AND IS BASED ON THE WITHIN PETITION OR APPLICATION AS FILED HERewith AND MADE PART OF SAID PETITION.

  
Signature of Petitioner or Applicant

Address: 10 Briarwood Lane

Winchester, MA 01890

Telephone No. 617-797-2999

Date: 1/11/21



LIST OF NAMES AND ADDRESS OF ABUTTERS  
AS REQUESTED ON THE APPLICATION FOR SPECIAL PERMIT OF:

Calverde Naturals, LLC

---

(Name of Petitioner)

FOR THE ISSUANCE OF SPECIAL PERMIT BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH UNDER CHAPTER 650, ZONING, OF THE CODE OF THE CITY OF MARLBOROUGH.

(Abutters as defined in §650-59, Section 4H, **Powers and Procedure of Special-Permit Granting Authorities**)

Please refer to the enclosed exhibit for the Certified Abutter's List

241 BPR REALTY LLC  
241 BOSTON POST RD WEST  
MARLBOROUGH, MA 01752

ROYAL PLAZA MARLBOROUGH L  
181 BOSTON POST RD WEST  
MARLBOROUGH, MA 01752

WALKER REALTY LLC  
C/O RYAN DEVELOPMENT LLC  
4 LAN DR  
WESTFORD, MA 01886

BPR 293 EQUITY PARTNERS L  
C/O KS PARTNERS LLC  
130 NEW BOSTON ST STE 303  
WOBURN, MA 01801

WALKER REALTY LLC  
C/O RYAN DEVELOPMENT LLC  
4 LAN DR  
WESTFORD, MA 01886

WALKER REALTY LLC  
C/O RYAN DEVELOPMENT LLC  
4 LAN DR  
WESTFORD, MA 01886

BUFFALO-MARLBOROUGH ASSOC  
7978 COOPER CREEK BLVD  
UNIVERSITY PARK, FL 34201

WALKER REALTY LLC  
C/O RYAN DEVELOPMENT LLC  
4 LAN DR  
WESTFORD, MA 01886

WALKER REALTY LLC  
C/O RYAN DEVELOPMENT LLC  
4 LAN DR  
WESTFORD, MA 01886

KORANDANIS ASPASIA TR  
275 BOSTON POST RD WEST  
MARLBOROUGH, MA 01752

WALKER REALTY LLC  
C/O RYAN DEVELOPMENT LLC  
4 LAN DR  
WESTFORD, MA 01886

KORANDANIS ASPASIA TR  
275 BOSTON POST RD WEST  
MARLBOROUGH, MA 01752

WALKER REALTY LLC  
C/O RYAN DEVELOPMENT LLC  
4 LAN DR  
WESTFORD, MA 01886

MARLBORO HOSPITALITY LLC  
C/O RYAN DEVELOPMENT LLC  
4 LAN DR  
WESTFORD, MA 01886

WALKER REALTY LLC  
C/O RYAN DEVELOPMENT LLC  
4 LAN DR  
WESTFORD, MA 01886

NEWTON-WALTHAM BANK & TRU  
101 N TRYON ST NC1-001-03-81  
ATTN BANK OF AMERICA  
CHARLOTTE, NC 28255

WALKER REALTY LLC  
C/O RYAN DEVELOPMENT LLC  
4 LAN DR  
WESTFORD, MA 01886

R K ASSOCIATES-MARLBORO I  
50 CABOT ST STE 200  
ATTN RK CENTERS  
NEEDHAM, MA 02494

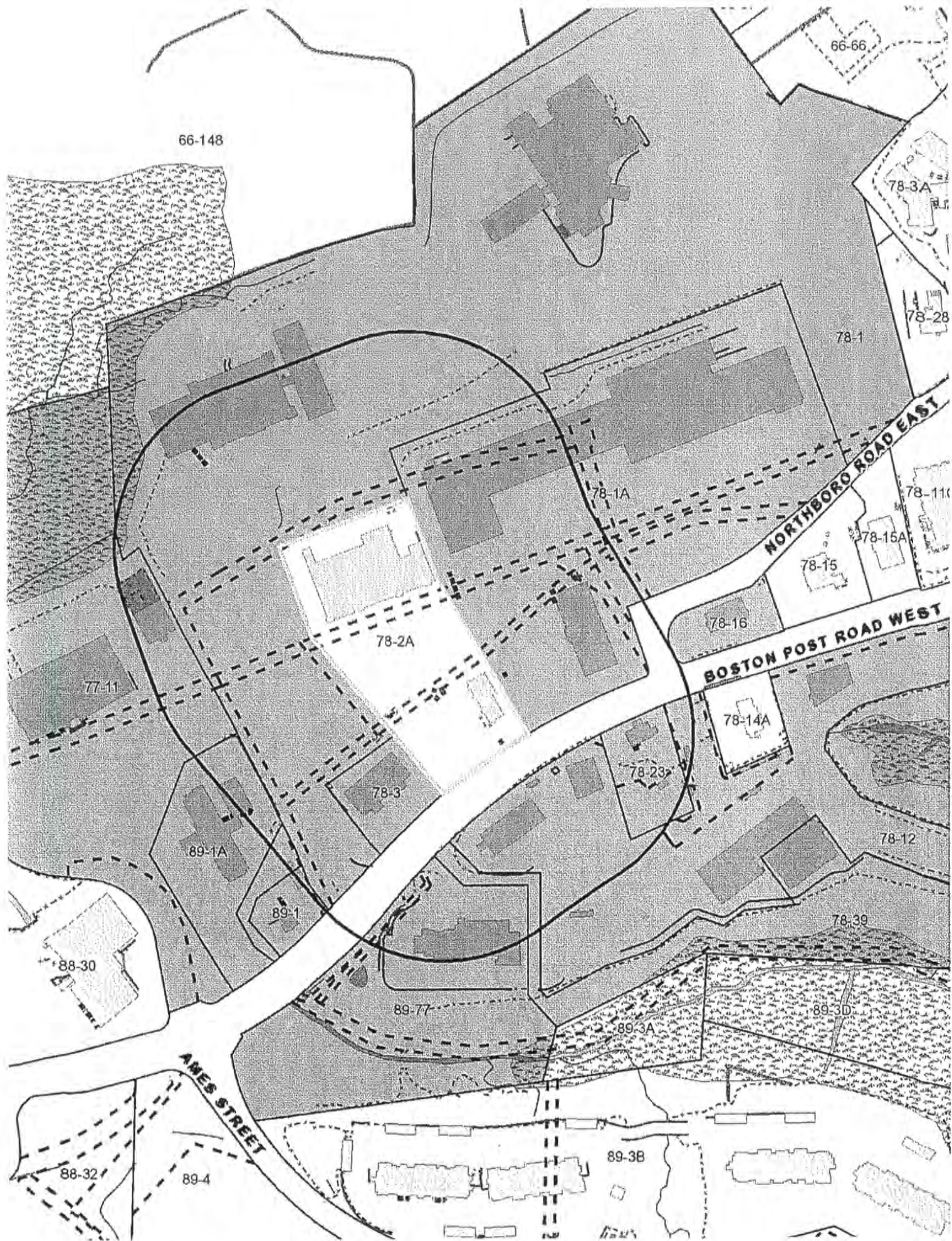
WALKER REALTY LLC  
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WESTFORD, MA 01886

R K ASSOCIATES-MARLBORO I  
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NEEDHAM, MA 02494

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C/O RYAN DEVELOPMENT LLC  
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WESTFORD, MA 01886

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50 CABOT STREET STE 200  
ATTN RK CENTERS  
NEEDHAM, MA 02494

WALKER REALTY LLC  
C/O RYAN DEVELOPMENT LLC  
4 LAN DR  
WESTFORD, MA 01886



66-148

66-66

78-3A

78-28

78-1

78-1A

**NORTHBORO ROAD EAST**

78-11C

78-15A

78-15

**BOSTON POST ROAD WEST**

78-16

77-11

78-2A

78-14A

78-23

78-3

78-12

89-1A

78-39

89-1

88-30

89-77

89-3A

89-3D

**AMES STREET**

88-32

89-4

89-3B

ABUTTERS - 219-237 BOSTON POST ROAD WEST (78-2A) - 400 FT

| Parcel Number | GIS Number          | Camra Number | Property Address                  | Owner Name                           | Co-Owner Name | Owner Address               | Owner Address                   | Owner City       | Owner State | Owner Zip |
|---------------|---------------------|--------------|-----------------------------------|--------------------------------------|---------------|-----------------------------|---------------------------------|------------------|-------------|-----------|
| 77-11         | M_192158_898<br>711 | 77-11        | 291-293<br>BOSTON POST<br>RD WEST | BPR 293<br>EQUITY<br>PARTNERS<br>LLC |               | C/O KS PARTNERS<br>LLC      | 130 NEW<br>BOSTON ST<br>STE 303 | WOBURN           | MA          | 01801     |
| 78-1          | M_192633_899<br>100 | 78-1         | 261 BOSTON<br>POST RD WEST        | ROYAL PLAZA<br>MARLBOROUGH<br>H LLC  |               | 181 BOSTON POST<br>RD WEST  |                                 | MARLBOROUGH<br>H | MA          | 01752     |
| 78-12         |                     | 78-12        | 142 APEX DR                       | WALKER<br>REALTY LLC                 |               | C/O RYAN<br>DEVELOPMENT LLC | 4 LAN DR                        | WESTFORD         | MA          | 01886     |
| 78-12         |                     | 78-12        | 157 APEX DR                       | WALKER<br>REALTY LLC                 |               | C/O RYAN<br>DEVELOPMENT LLC | 4 LAN DR                        | WESTFORD         | MA          | 01886     |
| 78-12         |                     | 78-12        | 160 APEX DR                       | WALKER<br>REALTY LLC                 |               | C/O RYAN<br>DEVELOPMENT LLC | 4 LAN DR                        | WESTFORD         | MA          | 01886     |
| 78-12         |                     | 78-12        | 21 APEX DR                        | WALKER<br>REALTY LLC                 |               | C/O RYAN<br>DEVELOPMENT LLC | 4 LAN DR                        | WESTFORD         | MA          | 01886     |
| 78-12         |                     | 78-12        | 22 APEX DR                        | WALKER<br>REALTY LLC                 |               | C/O RYAN<br>DEVELOPMENT LLC | 4 LAN DR                        | WESTFORD         | MA          | 01886     |
| 78-12         |                     | 78-12        | 36 APEX DR                        | WALKER<br>REALTY LLC                 |               | C/O RYAN<br>DEVELOPMENT LLC | 4 LAN DR                        | WESTFORD         | MA          | 01886     |
| 78-12         |                     | 78-12        | 43 APEX DR                        | WALKER<br>REALTY LLC                 |               | C/O RYAN<br>DEVELOPMENT LLC | 4 LAN DR                        | WESTFORD         | MA          | 01886     |
| 78-12         |                     | 78-12        | 58 APEX DR                        | WALKER<br>REALTY LLC                 |               | C/O RYAN<br>DEVELOPMENT LLC | 4 LAN DR                        | WESTFORD         | MA          | 01886     |
| 78-12         |                     | 78-12        | 90 APEX DR                        | WALKER<br>REALTY LLC                 |               | C/O RYAN<br>DEVELOPMENT LLC | 4 LAN DR                        | WESTFORD         | MA          | 01886     |
| 78-12         | M_192617_898<br>673 | 78-12        | BOSTON POST<br>RD WEST            | WALKER<br>REALTY LLC                 |               | C/O RYAN<br>DEVELOPMENT LLC | 4 LAN DR                        | WESTFORD         | MA          | 01886     |
| 78-12         |                     | 78-12        | 105 APEX DR                       | WALKER<br>REALTY LLC                 |               | C/O RYAN<br>DEVELOPMENT LLC | 4 LAN DR                        | WESTFORD         | MA          | 01886     |

MARLBOROUGH ASSESSORS

*Andrew J. Conway*  
*William K. G. Munnister*

|       |                     |       |                     |                   |  |                          |          |          |    |       |
|-------|---------------------|-------|---------------------|-------------------|--|--------------------------|----------|----------|----|-------|
| 78-12 |                     | 78-12 | 115 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 142 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 157 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 160 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
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| 78-12 | M_192617_898<br>673 | 78-12 | BOSTON POST RD WEST | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
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|       |                     |       |                     |                   |  |                          |          |          |    |       |
|-------|---------------------|-------|---------------------|-------------------|--|--------------------------|----------|----------|----|-------|
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| 78-12 | M_192617_898<br>673 | 78-12 | BOSTON POST RD WEST | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 105 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 115 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 142 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 157 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 160 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 21 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 22 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 36 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 43 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 58 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 90 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 | M_192617_898<br>673 | 78-12 | BOSTON POST RD WEST | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 105 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 115 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 142 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 157 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 160 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 21 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |

|       |                     |       |                     |                   |  |                          |          |          |    |       |
|-------|---------------------|-------|---------------------|-------------------|--|--------------------------|----------|----------|----|-------|
| 78-12 |                     | 78-12 | 22 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 36 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 43 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 58 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 90 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 | M_192617_898<br>673 | 78-12 | BOSTON POST RD WEST | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 105 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 115 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 142 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 157 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 160 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 21 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 22 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 36 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 43 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 58 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 90 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 | M_192617_898<br>673 | 78-12 | BOSTON POST RD WEST | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 105 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 115 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 142 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 157 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 160 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |

|       |  |                     |                     |                   |  |                          |          |          |    |       |
|-------|--|---------------------|---------------------|-------------------|--|--------------------------|----------|----------|----|-------|
| 78-12 |  |                     | 21 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 22 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 36 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 43 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 58 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 90 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  | M_192617_898<br>673 | BOSTON POST RD WEST | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 105 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 115 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 142 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 157 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 160 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 21 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 22 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 36 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 43 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 58 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 90 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  | M_192617_898<br>673 | BOSTON POST RD WEST | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 105 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 115 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 142 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 157 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |



|       |                     |       |                     |                   |                          |          |          |    |       |
|-------|---------------------|-------|---------------------|-------------------|--------------------------|----------|----------|----|-------|
| 78-12 |                     | 78-12 | 160 APEX DR         | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 21 APEX DR          | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 22 APEX DR          | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 36 APEX DR          | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 43 APEX DR          | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 58 APEX DR          | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 90 APEX DR          | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 | M_192617_898<br>673 | 78-12 | BOSTON POST RD WEST | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 105 APEX DR         | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 115 APEX DR         | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 142 APEX DR         | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 157 APEX DR         | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 160 APEX DR         | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 21 APEX DR          | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 22 APEX DR          | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 36 APEX DR          | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 43 APEX DR          | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 58 APEX DR          | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 90 APEX DR          | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 | M_192617_898<br>673 | 78-12 | BOSTON POST RD WEST | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 105 APEX DR         | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 115 APEX DR         | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |                     | 78-12 | 142 APEX DR         | WALKER REALTY LLC | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |

|       |  |                     |                     |                   |  |                          |          |          |    |       |
|-------|--|---------------------|---------------------|-------------------|--|--------------------------|----------|----------|----|-------|
| 78-12 |  |                     | 157 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 160 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 21 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 22 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 36 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 43 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 58 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 90 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | BOSTON POST RD WEST | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  | M_192617_898<br>673 | 105 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 115 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 142 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 157 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 160 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 21 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 22 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 36 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 43 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 58 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 90 APEX DR          | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  | M_192617_898<br>673 | BOSTON POST RD WEST | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 105 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |
| 78-12 |  |                     | 115 APEX DR         | WALKER REALTY LLC |  | C/O RYAN DEVELOPMENT LLC | 4 LAN DR | WESTFORD | MA | 01886 |

|       |                     |       |                                   |   |                                 |                         |                          |       |
|-------|---------------------|-------|-----------------------------------|---|---------------------------------|-------------------------|--------------------------|-------|
| 78-16 | M_192641_898<br>760 | 78-16 | 187-189<br>BOSTON POST<br>RD WEST | R K<br>ASSOCIATES-<br>MARLBORO<br>INC             | 50 CABOT ST STE<br>200          | ATTN RK<br>CENTERS      | NEEDHAM<br>MA            | 02494 |
| 78-1A | M_192648_898<br>901 | 78-1A | 191-199<br>BOSTON POST<br>RD WEST | R K<br>ASSOCIATES-<br>MARLBORO<br>INC             | 50 CABOT STREET<br>STE 200      | ATTN RK<br>CENTERS      | NEEDHAM<br>MA            | 02494 |
| 78-1A | M_192648_898<br>901 | 78-1A | 201 BOSTON<br>POST RD WEST        | R K<br>ASSOCIATES-<br>MARLBORO<br>INC             | 50 CABOT STREET<br>STE 200      | ATTN RK<br>CENTERS      | NEEDHAM<br>MA            | 02494 |
| 78-1A | M_192648_898<br>901 | 78-1A | 191-199<br>BOSTON POST<br>RD WEST | R K<br>ASSOCIATES-<br>MARLBORO<br>INC             | 50 CABOT STREET<br>STE 200      | ATTN RK<br>CENTERS      | NEEDHAM<br>MA            | 02494 |
| 78-1A | M_192648_898<br>901 | 78-1A | 201 BOSTON<br>POST RD WEST        | R K<br>ASSOCIATES-<br>MARLBORO<br>INC             | 50 CABOT STREET<br>STE 200      | ATTN RK<br>CENTERS      | NEEDHAM<br>MA            | 02494 |
| 78-23 | M_192584_898<br>651 | 78-23 | 190 BOSTON<br>POST RD WEST        | NEWTON-<br>WALTHAM<br>BANK &<br>TRUST<br>COMPANY  | 101 N TRYON ST<br>NC1-001-03-81 | ATTN BANK<br>OF AMERICA | CHARLOTTE<br>NC          | 28255 |
| 78-3  | M_192389_898<br>637 | 78-3  | 241 BOSTON<br>POST RD WEST        | 241 BPR<br>REALTY LLC                             | 241 BOSTON POST<br>RD WEST      |                         | MARLBOROUGH<br>MA<br>H   | 01752 |
| 89-1  | M_192317_898<br>551 | 89-1  | 275 BOSTON<br>POST RD WEST        | KORANDANIS<br>ASPASIA TR                          | 275 BOSTON POST<br>RD WEST      |                         | MARLBOROUGH<br>MA<br>H   | 01752 |
| 89-1A | M_192266_898<br>595 | 89-1A | 277 BOSTON<br>POST RD WEST        | BUFFALO-<br>MARLBOROUGH<br>H<br>ASSOCIATES<br>LLC | 7978 COOPER<br>CREEK BLVD       |                         | UNIVERSITY<br>PARK<br>FL | 34201 |
| 89-1B | M_192315_898<br>594 | 89-1B | BOSTON POST<br>RD WEST            | KORANDANIS<br>ASPASIA TR                          | 275 BOSTON POST<br>RD WEST      |                         | MARLBOROUGH<br>MA<br>H   | 01752 |
| 89-77 | M_192465_898<br>519 | 89-77 | 169 APEX DR                       | MARLBORO<br>HOSPITALITY<br>LLC                    | C/O RYAN<br>DEVELOPMENT LLC     | 4 LAN DR                | WESTFORD<br>MA           | 01886 |

## SPECIAL PERMIT-SUMMARY IMPACT STATEMENT

Applicant's Name: Calverde Naturals, LLC Address: 10 Briarwood Lane, Winchester, MA 01890

Project Name: Calverde Naturals - Marijuana Establishment Address: 239 Boston Post Road West, Marlborough, MA

1. PROPOSED USE: (describe) Adult Use Marijuana Retail Establishment

2. EXPANSION OR NEW: New

3. SIZE: floor area sq. ft. 2,800 1<sup>st</sup> floor 2,800 all floors 2,800

# buildings 1 # stories 1 lot area (s.f.) 208,005 +/-

4. LOT COVERAGE: 78.7 % Landscaped area: 21.3 %

5. POPULATION ON SITE: Number of people expected on site at anytime: (For Calverde Use Only)

Normal: 17 Peak period: 26

6. TRAFFIC:

(A) Number of vehicles parked on site: (For Calverde Use Only)

During regular hours: 17 Peak period: 26

(B) How many service vehicles will service the development and on what schedule?

Please see the enclosed project narrative.

7. LIGHT: How will the development be lit at the exterior? How much light will leave the property and enter the abutting property? Please see the enclosed project narrative.

8. NOISE:

(A) Compare the noise levels of the proposed development to those that exist in the area now.

Please see the enclosed project narrative.

(B) Describe any major sources of noise generation in the proposed development and include their usual times of operation. Please see the enclosed project narrative.

9. AIR: What sources of potential air pollution will exist at the development? Calverde Naturals does not anticipate air pollution to occur at the development. Please see the enclosed project narrative.

10. WATER AND SEWER: Describe any unusual generation of waste. No unusual water and sewer waste will occur as a result of this development.

11. HAZARDOUS MATERIAL: List any types of Hazardous Waste that will be on-site. How will this waste be stored? Where? How much will be in storage on a daily basis? How will it be disposed? Please see the enclosed project narrative which outlines Calverde's plan to regularly return cannabis waste to the licensed marijuana establishments from which it emanated.

**\*Attach additional sheets if necessary**



**CITY OF MARLBOROUGH  
MARLBOROUGH, MASSACHUSETTS 01752**

City Hall

140 Main St.

Marlborough, Massachusetts 01752

Voice (508) 460-3775 Facsimile (508) 460-3723 TTD (508) 460-3610

President and Members City Council

Date: \_\_\_\_\_

**SPECIAL PERMIT APPLICATION  
CERTIFICATION BY PLANNING DEPARTMENT**

Project Name: Calverde Naturals - Marijuana Establishment

Project Use Summary: Adult Use Marijuana Retail Establishment

Project Street Address: 239 Boston Post Road West

Plate: \_\_\_\_\_ Parcel: 78-2A

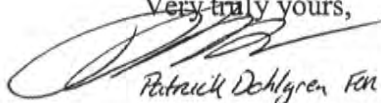
Applicant/Developer Name: Calverde Naturals, LLC

Plan Date: 01/11/2021 Revision Date: \_\_\_\_\_

Dear President and Members:

In accordance with the City Council's Rules for Special Permit Applications, I hereby certify that the Site Plan filed with the City Clerk has been reviewed by the Building Department within the limits of work shown on the plan, and that said plan meets all prior referenced informational requirements of Section 7; that the plan conforms in all aspects to City Code and to these Rules and Regulations, and that any necessary zoning variances have been already granted by the Marlborough Zoning Board of Appeals, and any applicable appeal period concerning said variances have run.

Very truly yours,

  
*Patrick Dehlgren for Jeffrey Cooke*  
Jeffrey K. Cooke  
Acting Director of Planning

**Application Fee to submit to  
City Clerk's office**

\$500

**City of Marlborough, Massachusetts  
CITY CLERK DEPARTMENT**

**Steven W. Kerrigan  
City Clerk**



Dear Applicant,

To ensure that each department listed below receives a copy of your completed Special Permit application, please hand-deliver to each department as instructions indicate below.

**PLACE A CHECK-MARK AFTER HAND-DELIVERING THE APPLICATION TO THE FOLLOWING DEPARTMENTS AND SIGN YOUR NAME & DATE IT ACCORDINGLY. MAKE SURE THIS PAGE IS SIGNED AND RETURNED TO THE CITY CLERK'S OFFICE WITH THE COMPLETED APPLICATION. THE CITY CLERK'S OFFICE WILL NOT ACCEPT THE APPLICATION WITHOUT THE SIGNATURE OF THE APPLICANT OR PETITIONER AS INDICATED BELOW.**

|         |  |
|---------|--|
| 1 SET   | POLICE CHIEF _____   |
| 1 SET   | FIRE CHIEF _____   |
| 1 SET   | CITY ENGINEER _____  |
| 1 SET   | DIRECTOR OF PLANNING _____   |
| 1 SET   | CONSERVATION OFFICER (IF WETLANDS AFFECTED) _____                                  |
| 1 SET   | BUILDING COMMISSIONER _____  |
| 12 SETS | OFFICE OF THE CITY COUNCIL _____   |
| 3 SETS  | OFFICE OF THE CITY CLERK _____ ( <b><u>MUST be Original</u></b> & 2 Complete Sets) |

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

Thank you for your cooperation in this matter.

Sincerely,

*Steven W. Kerrigan  
City Clerk*



**City of Marlborough, Massachusetts  
CITY CLERK DEPARTMENT**

**Steven W. Kerrigan  
City Clerk**

I certify under the penalties of perjury that I, to my best knowledge and belief, have filed all Municipal tax returns and paid all Municipal taxes required under law.

**Company Name**

R.K. Marlboro West, LLC c/o R.K. Centers

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**Owner Name/Officer Name of LLC or Corporation**

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**Owner/Officer Complete Address and Telephone Number**

50 Cabot Street, Suite 200

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Needham, MA 02494

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781-320-0001

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**Signature of Applicant**

*[Handwritten Signature]*

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**Attorney on behalf of Applicant, if applicable**

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The Special Permit Package will not be accepted unless this certification clause is signed by the applicant and the Tax Collector.

*Aileen Brustle*

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**Tax Collector**



*City of Marlborough*  
**BUILDING DEPARTMENT**

140 Main Street  
Marlborough, Massachusetts 01752  
Tel. (508) 460-3776 Facsimile (508) 460-3736  
building\_dept@marlborough-ma.gov

JEFFREY COOKE, C.B.O.  
BUILDING COMMISSIONER

PATRICK DAHLGREN  
ASSISTANT BUILDING  
COMMISSIONER

WILLIAM PAYNTON  
LOCAL BUILDING INSPECTOR

RICHARD DESIMONE  
PLUMBING & GAS INSPECTOR

JOHN CAIN  
WIRING INSPECTOR

**ZONING DENIAL**

December 29, 2020

To:

**Owner** (property)  
R.K. Marlboro West, LLC  
c/o R.K. Centers  
50 Cabot Street, Suite 200  
Needham, MA 02494

**Applicant**  
Calverde Naturals, LLC  
10 Briarwood Lane  
Winchester, MA 01890

RE: 239 Boston Post Road West

Your application to operate an Adult Use Marijuana Retail Establishment at 239 Boston Post Road West, Marlborough, MA Parcel ID #78-2A, located in the Business zoning district (B) is denied as it does not comply with Chapter 650-17 of City Code of Marlborough. The "Table of Uses" states that your use requested, Adult Use Marijuana Retail Establishment requires a "Special Permit" (SP) issued by the Marlborough City Council.

I have determined that the proposed use "Adult Use Marijuana Retail Establishment" to be located within an propose new retail building 239 Boston Post Road West meets the intent of 650-32 & 650-18(46) condition of use.

Your use requested requires a Zoning relief issued by the Marlborough City Council.


You have the right to continue to the Marlborough City Council (SPGA) for a Special Permit as stated in the City Code section 650-59 or you have the right to appeal this decision to the Zoning Board of Appeals as per section 650-58.

An appeal from this denial for a SP may be taken to the Marlborough City Council by filling a Notice of Appeal with the City Clerk within 30 days of the date of this denial letter. Further information should be obtained from the Marlborough City Council.

The code in its entirety may be found at [www.ecode360.com/MA1056](http://www.ecode360.com/MA1056)  
In your appeal, you may request a Special Permit (SP).

Please note; 239 Boston Post Road West is the assigned street number for the new building

Sincerely,

  
Jeffrey Cooke, C.B.O.  
Building Commissioner, Zoning Enforcement Officer

CC: Files, City Council



Date: December 22, 2020

Commonwealth of Massachusetts  
CITY OF MARLBOROUGH  
**APPLICATION FOR USE OR CHANGE OF USE**

The Marlborough City Code requires that a permit be obtained before any land or structure may be used in any way, and before any use may be changed.

► This does not apply to a change of ownership – only to a change in use.

Applications for permits shall be accompanied by two prints of a plan of the lot, drawn to scale, showing the actual dimensions of the lot, exact location and size of any existing or proposed buildings and streets and ways adjacent to the lot.

Address of property for which use or change of use is applied for:

239- 219-237 Boston Post Road WEST MAP 78- Parcel A-2 78-2A B  
No. / Street Parcel ID# Zoning District  
Assessors Init: \_\_\_\_\_

Description of Use Proposed (as written in Section 650-17 Table of Uses).  
Please attach a brief narrative, if necessary.

Adult Use Marijuana Retail/Marijuana Accessories Retail

If Residential, state # of units proposed \_\_\_\_\_

If Business, state exact type: Adult Use Marijuana Retail Dispensary/Licensed Marijuana Retail establishment (LMRE)

Present Use of Property, including any existing structures

Undeveloped pad to a retail shopping center

Applicant's Name: Calverde Naturals, LLC Bldg/Property Owner's Name: R.K. Marlboro West LLC c/o R.K. Centers

Applicant's Address:  
10 Briarwood Lane  
Winchester, MA 01890

Owner's Address:  
50 Cabot Street, Suite 200  
Needham, MA 02494

Applicant's Phone: (617) 797-2999

Owners Phone: (781) 320-0001

I, as Owner/Authorized Agent hereby declare that the statements and information on the foregoing application are true and accurate, to the best of my knowledge and belief.

Stephen Tomasello  
Applicant's Signature (Stephen Tomasello)

David R Baker (mgr)  
Owner's Signature (David R Baker, Manager)

I certify that the owner of record below is not delinquent in payments to the City of Marlborough under any circumstances per MGL Chapter 40 Section 57.

Tax Collector \_\_\_\_\_ Date \_\_\_\_\_

**OVER ►**

**FOR ADMINISTRATION USE ONLY – DO NOT WRITE BELOW THIS LINE**

APPROVE \_\_\_\_\_ ZONING CODE 650-32 & 650-17  
**DENIED** ✓ REASON FOR DENIAL REQUIRES SPECIM PERMIT  
\_\_\_\_\_  
ZONING AGENT DATE 29 DEC 2020

Description of Business: A first class, high quality Licensed Marijuana Retail Establishment (LMRE) including the storage and sales of approved marijuana products and accessories.

Name and Address of all persons involved in proposed Business: Kelly and Stephen Tomasello, 10 Briarwood Lane, Winchester, MA 01890

List all major equipment used in this business: No major equipment

What size vehicle will be involved with the business, if any: Deliveries shall be through a secured, fenced in loading area designed to accommodate small box trucks. Otherwise vehicles involved in the business will be limited to potential 3<sup>rd</sup> party delivery services.

Where on the premises will business be conducted? Interior of the new building.

Will there be any exterior changes to this property including signs? Proposed new construction of a 2,800 sf retail building.

Will there be any noise, emissions, noticeable to persons adjacent to this property? NO

Will customers visit the property? YES If yes, how many people are expected at one time? 15

List materials sold or stored at the property: Approved marijuana products and accessories

Is this business solely a telephone or marketing business use? NO

Please provide any other information that would allow us to understand your proposed business that you feel is important:

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Name of Business: Calverde Naturals, LLC dba Cal Verde Naturals



Calverde Naturals, LLC (“Calverde”) seeks a Special Permit and Site Plan Review approval from the Marlborough City Council to operate an Adult Use Marijuana Retail Establishment engaged in the retail sale of marijuana and marijuana products (the “MRE”) at 239 Boston Post Road West in Marlborough (the “Property”). The Property is located within the Business Zoning District (the “B District”). Pursuant to the City of Marlborough’s Zoning Ordinance § 650-18(c), such a use is permissible in this portion of the Business District subject to a Special Permit and Site Plan Review approval. In compliance with 935 CMR 500.110(3) and §650-32(F.1)(1) of the Marlborough Zoning Ordinance, the property is not located within 500 feet of an existing public or private school providing education to children in kindergarten or grades 1 through 12. Pursuant to §650-32(F.1)(2) of the Zoning Ordinance, the facility is not located within a radius of 500 feet of a day-care center.

**I. Project Context**

The Property is currently developed and contains a vacant “pad area” that is located with frontage along Boston Post Road (Route 20). Calverde seeks to construct a 2,800 square foot standalone commercial building in the existing pad slated for development at the site. The existing curb and parking lot striping will remain, allowing Calverde full access to the 253 parking spaces located on the property. Please see the enclosed Site Plans and Floor Plans, attached hereto as **Exhibit A**, which were designed in full compliance with the standards set forth by the Marlborough Zoning Ordinance.

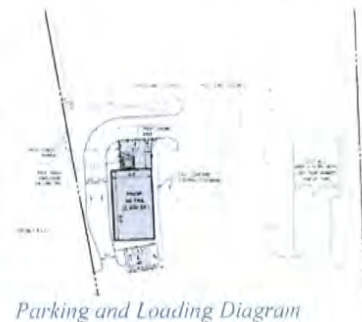


**II. Project Narrative**

With a focus on safe and efficient operations, Calverde has identified the Property as an ideal location to operate an MRE. The Property is located in an area designated by local zoning for the aforementioned use with numerous similarly situated parcels, allows for easy access for customers and employees, and will allow the parcel to be developed to its highest and best use. Additionally, the construction of a new building allows Calverde to implement interior and exterior design features to reflect best practices in marijuana security and operations from the other facilities across the country.

**A. Project Exterior**

**Parking & Loading:** Access to the Property may be obtained by an existing driveway off Boston Post Road West along the street-facing perimeter of the Property. The Calverde use will have access to 253 parking spaces within the property, including nine accessible spaces, which is in excess of the spaces required by the Marlborough Zoning Ordinance. The parking lot also includes a



30'x30' fenced loading zone adjacent to a dumpster pad which can be secured in accordance with Cannabis Control Commission security preferences to ensure the highest level of safety during the unloading of product deliveries to the site.

*Signage and Lighting:* As demonstrated in the enclosed renderings attached hereto as **Exhibit B**, facility signage will be discrete and visually appealing. Calverde will not utilize signs or printed materials advertising marijuana products or any logo or symbols with images of marijuana.



2 Exterior Rendering

Exterior lighting will be downcast, dark-sky compliant fixtures that are affixed to the building and intended to illuminate the parking lot to ensure the safety of customers and employees leaving the facility during evening hours. Calverde's exterior security cameras utilize infrared capabilities and do not require external sources of light to operate effectively. Light will not extend beyond the bounds of Calverde's leased premises and the parking lot.

*Facility Access:* In accordance with best practices to prevent diversion, customers will enter and exit the facility from two separate vestibules. Both the entry and exit of the facility are designed utilizing a sallyport vestibule style, ensuring that no individual is able to gain immediate access to the customer floor by requiring customers to walk through a series of doorways.

A secured receiving area will be utilized exclusively for the loading of marijuana and marijuana products within the facility in the rear. It will be fenced off to prevent public access.

#### B. Project Interior

Customers will only have access to designated portions of the facility, including (1) a secure entry vestibule in which customers must demonstrate proof that they have the appropriate credentials to enter the facility; (2) a general sales floor with point-of-sale terminals; and (3) a secured exit vestibule. The secure entry vestibule and general sales floor are large to ensure the facility can accommodate all customers seeking entry to the facility to prevent exterior queuing.

The rest of the facility will only be accessible to staff on a tiered basis and includes (1) an order fulfillment and inventory room; (2) a vault; (3) a secure receiving room; (4) an information technology room; (5) a staff break area; (6) restrooms; (7) storage areas; (8) security rooms; (9) a reception office; and (10) staff offices.

#### C. Facility Operations

In accordance with Cannabis Control Commission regulations, access to the facility is limited to individuals that are 21 years of age or older that can demonstrate valid government-issued identification. Upon a customer's entry into the premises, an agent will immediately inspect the customer's proof of identification and determine the individual's age. Failing this confirmation, an individual will be required to leave the facility utilizing the same door in which they entered.

Once inside the sales area, customers will enter a queue to obtain individualized service where they may select any of the products available to them with the help of an agent. Once a customer has selected a product for purchase, an agent will collect the chosen items from the designated product storage area. An agent will then scan each product barcode into the point of sale system. Upon checkout, customers will be required to confirm their identities and age a second time. Per M.G.L. c. 94G § 7, adult use sales are limited to one ounce of marijuana flower or five grams of marijuana concentrate per transaction. In the event an agent determines an individual would place themselves or the public at risk, the agent will refuse to sell any marijuana products to the consumer.

Customers will promptly exit the facility utilizing the secured exit vestibule leading back to the parking lot.

### **III. Property Operations**

#### **A. Trash**

All waste containing marijuana or marijuana products will be stored securely within Calverde's vault. Product waste will be picked up from the facility and returned to the licensed cultivation and product manufacturing establishment from which it emanated, where it will be destroyed in compliance with all regulations set forth by the Cannabis Control Commission.

Waste that does not contain marijuana will be stored in the secured, fenced dumpster to the rear of the building and picked up weekly by a commercial trash vendor.

#### **B. Snow Removal and Landscaping**

Calverde's landlord will maintain responsibility for landscaping services and a snow removal vendor to plow its driveway and parking lot as needed throughout the winter.

#### **C. Loading**

Product deliveries will occur between two to three times each week in unmarked transport vans. Pursuant to 935 CMR 500.105, there will be no advertising, markings, or branding indicating that the vehicle is being used to transport marijuana. Routes and times used for the transportation of marijuana and marijuana products are randomized. Marijuana and marijuana products will be transported in secure, locked storage compartments that are a part of the vehicle transporting the marijuana products and cannot be easily removed. At least two agents will staff vehicles transporting marijuana. One agent will remain in the vehicle at all times, and the other will be accompanied by a staff member into the facility and through the receiving area. Within eight hours after arrival, Calverde will weigh, inventory, and account for, on video, all marijuana and marijuana products received. An armored car service will pick up monetary instruments as needed each week.

#### **D. Traffic and Parking**

With 253 parking spaces located on-site, Calverde respectfully submits that there is ample parking to accommodate its projected customers and employees. The company will take great care to develop, implement, and refine operational procedures that ensure that customer visits are short and will not result in congestion within the parking lot or the store. Operational procedures will be continually evaluated and adjusted as necessary to ensure optimal function of the facility.

Please see the Traffic Impact Statement affixed as **Exhibit C**. Calverde respectfully submits that its proposed use of the Property will not disturb the existing right of way, pedestrian access, and will not cause a hazard to vehicle or pedestrian traffic. Traffic generated and patterns of access and egress will not cause congestion, hazard, or a substantial change to the neighborhood character.

Calverde recognizes the critical importance of operational planning and collaboration with the City to ensure that its fledgling months of operation do not pose a nuisance to the surrounding community. Please see Calverde's proposed Opening Day Plan, attached hereto as **Exhibit D**.

#### E. Nuisance

*Light:* Calverde will install discrete exterior lighting utilized for safety and operational purposes. All lighting will be dark-sky compliant and will remain downcast and shielded as to not shine onto adjacent properties or into the night sky. Security cameras will rely on infrared illuminators to allow for night surveillance, allowing them to see over 1,000 feet in total darkness. Pursuant to 935 CMR 500.105, Calverde is prohibited from illuminating exterior signage beyond the period of 30 minutes before sundown until closing.

*Odor:* No significant odor-emitting activities will occur on-site. All marijuana and marijuana products will arrive pre-packaged from a licensed cultivation and product manufacturing facility located in the Commonwealth. Marijuana and marijuana products will be packaged in sealed, opaque, odor-resistant packaging that is specifically designed to eliminate marijuana odor. Calverde does not intend for any loose, unpackaged marijuana to be present within the facility at any time. As such, odor will not be detectable on employees as they depart the facility or on abutting properties at any time.

The highest concentration of marijuana and marijuana products will be in Calverde's secured vault. Although the product packaging has been designed to eliminate odors, Calverde will employ carbon filtration odor scrubbers or other state of the art air filtration equipment in this area to ensure that odor does not disperse throughout the facility. The locations of the air filtration equipment will be indicated in Calverde's application for a Building Permit and installed by a licensed contractor.

Calverde will designate a specific employee within the facility to oversee the maintenance of all filtration systems. Records of system maintenance will be retained on site.

Records of any odor complaints transmitted to the facility by the City, local residents, or other parties will be maintained by Calverde's staff and addressed immediately. All complaints will be reported to the City's designated representative, Calverde's Chief Executive Officer, and the

facility manager. The facility manager will be responsible for coordinating with on-site staff and executive management to remedy the problem and respond in writing.

*Noise – Mechanical:* Calverde does not envision the installation of any on-site systems or operations that will result in noise pollution. Common concerns raised by abutters include:

- Noise from delivery vehicles: Calverde does not utilize delivery vehicles that emit tonal noises during backup, as deliveries are designed to be as discrete as possible.
- Noise from alarms: Calverde’s internal alarm systems will not be audible to abutting properties.
- Noise from construction: When submitting its plans for a Building Permit, Calverde will submit a construction plan outlining plans to protect abutting properties from noise, dust, vibrations, or other construction nuisance.
- Noise from HVAC or other systems: Upon the procurement of any new machinery, Calverde will ensure that its systems do not generate a level of noise beyond what is permitted within the City of Marlborough and utilize physical sound barriers for noise protections.

*Noise, Debris, and Other Patron Nuisance:* Calverde believes that an effective plan to mitigate nuisance behaviors on the surrounding community requires both prevention and corrective action.

Prevention: Customers visiting the facility for the first time will go through an intake process where they receive a primer on regulations surrounding cannabis; how to safely consume, store, and transport their product; and information regarding strains, dosage, and desired effects. All customers will be required to review and sign a Community Norms Attestation, in which they certify that they understand that the ability to utilize Calverde’s store is contingent on respect for the surrounding neighborhood and that littering, on-site consumption, noise and loitering, and other nuisance behaviors are not tolerated and practicing them will eliminate the opportunity for future store visits.

Corrective Action - Debris: A Calverde janitorial employee will monitor the region around Calverde’s facility, including abutting parcels, as requested, to ensure there is no errant trash. Monitoring walks will be increased based on demonstrated need. Customers who are identified as littering or engaging in any other nuisance behaviors will not be allowed back to the facility.

Corrective Action – Noise and On-Site Use: Calverde will have video and on-site surveillance covering its parking lot. Should a customer attempt to utilize their products on or around Calverde’s site or engage in loud nuisance behavior, depending on the behavior, Calverde’s corrective action may include issuing a polite reminder and warning to the customer that the behavior is prohibited, notifying local law enforcement, or banning the customer from utilizing Calverde’s facility in the future.

#### **IV. Compliance with § 650-18**

In addition to any specific factors that may be set forth in this chapter, the determination shall include, but is not limited to, consideration of each of the following:

**1. Social, economic, or community needs which are served by the proposal:**

Calverde's proposed use of the Property for a MRE is desirable to public welfare because it provides adult use marijuana consumers aged 21 or older who live in Marlborough and in the surrounding region with a reliable source to obtain lab-tested, high quality marijuana products. The sales occurring within Marlborough (in lieu of neighboring communities) increases revenues to the City as a result of annual community impact payments that Calverde makes to the City based on a Host Community Agreement under which the company remits three percent of its gross sales to the City. The City also stands to benefit from an additional three percent of local option taxes. Increases in sales revenue will positively impact social, economic, and community needs by allowing the City to allocate additional revenue towards priorities that benefit Marlborough residents, businesses, and stakeholders.

Similarly, the proposed use will allow for the phased creation of over 30 jobs at the facility over the next three years. Calverde will prioritize the hiring of local residents.

**2. Traffic flow and safety, including parking and loading:**

With 253 parking spaces located on-site, Calverde respectfully submits that there is ample parking to accommodate its projected customers and employees. The company will take great care to develop, implement, and refine operational procedures that ensure that customer visits are short and will not result in congestion within the parking lot or the store. Operational procedures will be continually evaluated and adjusted as necessary to ensure optimal function of the facility.

Please see the Traffic Impact Statement affixed as **Exhibit C**. Calverde respectfully submits that its proposed use of the Property will not disturb the existing right of way, pedestrian access, and will not cause a hazard to vehicle or pedestrian traffic. Traffic generated and patterns of access and egress will not cause congestion, hazard, or a substantial change to the neighborhood character.

Calverde recognizes the critical importance of operational planning and collaboration with the City to ensure that its fledgling months of operation do not pose a nuisance to the surrounding community. Please see Calverde's proposed Opening Day Plan, attached hereto as **Exhibit D**.

The parking lot also includes a 30'x30' fenced loading zone adjacent to a dumpster pad which can be secured in accordance with Cannabis Control Commission security preferences to ensure the highest level of safety during the unloading of product deliveries to the site.

**3. Adequacy of utilities and other public services:**



Calverde's proposed MRE does not require utilities beyond that of a traditional commercial use. The proposed utilities are adequate for the MRE use.

#### **4. Neighborhood character and social structures:**

Calverde has demonstrated that it has taken great care to minimize any adverse impacts on the neighborhood character and social structures through thoughtful site design and the implementation of comprehensive standard operating procedures, including:

- The selection of a Property within the Business Zone which has been identified as an appropriate zone for MRE uses and is not within 500 feet of any offending buffer uses;
- The construction of a state-of-the-art facility from the ground up that has been specifically designed to accommodate best practices for MRE uses, including separate customer entry and exit points, a secure loading area, ample parking, and thoughtful signage, lighting, and landscaping;
- The proposal of an Opening Day Plan which contemplates numerous traffic mitigation measures including appointment only operations, parking lot attendants, and phased stages of opening;
- The proposal of an Odor Control Plan that relies on prepackaged materials and odor control technologies to protect against odor escape from the vault;
- Nuanced signage, exterior design, and screening to maintain a respectful streetscape façade; and
- A comprehensive security plan.

#### **5. Impacts on the natural environment:**

The proposed development will not negatively impact the natural environment.

#### **6. Potential fiscal impact, including impact on City services, tax base, and employment:**

As noted above, Calverde's proposed use of the Property for a MRE is desirable to public welfare because it provides adult use marijuana consumers aged 21 or older who live in Marlborough and in the surrounding region with a reliable source to obtain lab-tested, high quality marijuana products. The sales occurring within Marlborough (in lieu of neighboring communities) increases revenues to the City as a result of annual community impact payments that Calverde makes to the City based on a Host Community Agreement under which the company remits three percent of its gross sales to the City. The City also stands to benefit from an additional three percent of local option taxes. Increases in sales revenue will positively impact social, economic, and community needs by allowing the City to allocate additional revenue towards priorities that benefit Marlborough residents, businesses, and stakeholders.

Similarly, the proposed use will allow for the phased creation of over 30 jobs at the facility over the next three years. Calverde will prioritize the hiring of local residents.

#### **7. Hours of operation:**

Monday – Saturday: 10:00 AM – 8:00 PM  
Sunday: 10:00 AM – 5:00 PM

**8. Requiring that contact information be provided to the Chief of Police, the Building Commissioner, and the special permit granting authority:**

Kelly and Steve Tomasello will serve as initial emergency contacts.

| Name            | Email  | Phone        |
|-----------------|--|--------------|
| Kelly Tomasello | <a href="mailto:Kcronin611@gmail.com">Kcronin611@gmail.com</a>                   | 617-281-0878 |
| Steve Tomasello | <a href="mailto:stomasello@atlanticretail.com">stomasello@atlanticretail.com</a> | 617-797-2999 |

**9. Requiring payment of a community impact fee:**

Calverde has agreed to remit an annual community impact fee through its Host Community Agreement.

**10. Requiring the submission to the special permit granting authority of the same annual reports that must be provided to the Commonwealth of Massachusetts Department of Public Health and/or the Massachusetts Cannabis Control Commission:**

Annual renewal materials will be remitted to the City of Marlborough.

**11. Requiring regular inspections by City officials or their agents, and access to the same records which are available for inspection to the Commonwealth of Massachusetts Department of Public Health and/or the Massachusetts Cannabis Control Commission:**

Calverde is amenable to this condition.

**12. Requiring employees to undergo a criminal background check, including but not limited to CORI and an additional background check, by the Police Chief who shall have the authority to disapprove the employment of any person(s) as a result of said background check:**

Calverde is amenable to this condition.

**13. Requiring surveillance cameras, capable of twenty-four-hour video recording, archiving recordings and ability to immediately produce images, in, on, around or at the premises:**

Calverde is amenable to this condition.

**14. Prohibiting the sale of any materials or items unrelated to the purposes of registration by the Commonwealth of Massachusetts Department of Public Health and/or the**

**Massachusetts Cannabis Control Commission, including, without limitation, tobacco products, clove cigarettes, or c-cigarettes:**

Calverde is amenable to this condition.

**15. The ability for the business to:**

**a. Provide a secure indoor waiting area for clients:**

Please see the enclosed floor plan affixed hereto as **Exhibit B** which provides a secure indoor waiting area.

**b. Provide an adequate and secure pickup/dropoff area for clients, customers and products:**

Please see the enclosed site plans affixed hereto as **Exhibit A** which demonstrate adequate and secure pick up and drop off areas for clients and products.

**c. Provide adequate security measures to ensure that no individual participant will pose a direct threat to the health or safety of other individuals:**

Calverde has submitted a Security Plan to the Marlboro Police Department for review and approval.

**d. Adequately address issues of traffic demand, parking, and queuing, especially at peak periods at the business, and its impact on neighboring uses:**

Please see **Exhibits C and D** which outline Calverde's plan to address traffic demand, parking, and queuing.

**e. Provide opaque exterior windows:**

Please see the enclosed renderings attached hereto as **Exhibit B** which demonstrate Calverde's intent to utilize opaque exterior window treatments.

**16. Signs and signage:**

Please see the enclosed renderings attached hereto as **Exhibit B** which demonstrate Calverde's proposed signage.

**17. Names of businesses, business logos and symbols, subject to state and federal law and regulations:**

Calverde Naturals, LLC intends to conduct business as Calverde Naturals. Please see the business' logo below.



603 Salem Street  
Wakefield, MA 01880  
Tel: (781) 246-2800  
Fax: (781) 246-7596

## Traffic Impact Statement

Nantucket, MA 02554  
Tel: (508) 228-7909

Refer to File No. MBO-0022

**TO:** City of Marlborough  
The Honorable Arthur Vigeant, Mayor

**FROM:** Tony Capachietti, *Project Manager*

**DATE:** February 4, 2020

**SUBJECT:** Traffic Impact Statement  
Proposed Marijuana Establishment  
Calverde Naturals, LLC  
219-237 Boston Post Road West  
Marlborough, Massachusetts

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Hayes Engineering, Inc. (HEI) has prepared this Traffic Impact Statement in support of the proposed marijuana dispensary at 219-237 Boston Post Road West, pursuant to the request of the Project Proponent, Calverde Naturals, LLC. The purpose of this Impact Statement is to evaluate the anticipated Average Daily and Peak Hour trip generation for the facility to assess potential traffic of the impacts from the proposed use.

The Applicant seeks to construct a 2,800± square foot (sf) retail facility at the site. The facility is part of a larger shopping complex that houses a supermarket, office store, retail and fast food uses. In the vicinity of the project, Boston Post Road West (Route 20) is a four-lane, divided highway with a median. Direct access to the site from Boston Post Road West is only available via right turn from the westbound direction. There are no breaks in the median that directly access the site drive from the eastbound direction. Access to the site from the east is via the signalized intersection with Northboro Road East.

### **Trip Generation**

Average Daily Vehicle Trips and Peak Hour Trips for the project are calculated using data published by the Institute of Transportation Engineers (ITE) Trip Generation Manual, 10<sup>th</sup> Edition, unless otherwise specified.

The proposed dispensary use is best classified as Institute of Transportation Engineers (ITE) Land Use Code (LUC) 882, Marijuana Dispensary, defined in the ITE Trip Generation Manual, 10<sup>th</sup> Edition as being:

"... a standalone facility where cannabis is sold to patients or consumers in a legal manner."

Trip Generation rates are summarized in Table 2, below, for the proposed 2,800± sf dispensary use. It should be noted that the ITE cautions the use of its Marijuana Dispensary data, as it was derived from studying only four (4) dispensaries in Colorado and Oregon.

**Table 2:** *Trip Generation LUC 882 – Marijuana Dispensary*

| <u>Time Period</u>              | <u>LUC 882 Average<br/>Trip Ends per<br/>1,000sf GFA<sup>(1)</sup></u> | <u>LUC 882<br/>Estimated Vehicle<br/>Trip Ends<sup>(2)</sup></u> | <u>Estimated<br/>Vehicle Visits<sup>(3)</sup></u> |
|---------------------------------|--|--|---|
| <b>Weekday Daily</b>            | 252.70   | 708  | 354   |
| <b>Weekday AM Peak<br/>Hour</b> | 20.88  | 58   | 29  |
| <b>Weekday PM Peak<br/>Hour</b> | 29.93  | 84   | 42  |
| <b>Saturday Daily</b>           | 259.31   | 726  | 363   |
| <b>Saturday Peak Hour</b>       | 36.43  | 102  | 51  |

(1) ITE cautions use due to small sample size

(2) Based on 2,800± square feet of GFA

(3) Each vehicle is represented by 2 trip ends, one arriving and one departing the facility

It is our opinion that this early data obtained by ITE is representative of additional trip generation due to curiosity and the scarcity of the use. This is evidenced by actual data obtained by monitoring existing and operational dispensaries in the Commonwealth. HEI monitored total transactions at a recently opened recreational and medical marijuana dispensary in Lynn, MA during the initial opening period between October 26 and November 18, 2019. It was assumed that each transaction represented an individual vehicle resulting in 2 trip ends to the facility, one arriving and one departing. Table 3, below, estimates projected trip ends for the proposed facility using these observed rates:

**Table 3:** *Observed Data, Lynn, Massachusetts*

| <u>Time Period</u>    | <u>Average Trip Ends<br/>per<br/>1,000sf GFA</u> | <u>Estimated Vehicle<br/>Trip Ends<sup>(4)</sup></u> | <u>Estimated<br/>Vehicle Visits<sup>(3)</sup></u> |
|-----------------------|--|--|---|
| <b>Weekday Daily</b>  | 144.16   | 404  | 202   |
| <b>Saturday Daily</b> | 176.74   | 495  | 248   |

(3) Each vehicle is represented by 2 trip ends, one arriving and one departing the facility

(4) Based on 2,800± square feet of GFA

Not all vehicle trips anticipated by the proposed dispensary represent new trips. It is anticipated that many customers to the facility will be pass-by trips, rather than destination trips to the facility and will have minimal impacts to vehicle traffic conditions in the area. Studies have shown that for developments such as the proposed dispensary, a substantial portion of vehicle trips are from existing traffic passing by the site or diverted from another route to the proposed site. Data presented in the ITE Trip Generation Handbook indicates that for the average percentage of pass-by trips for Pharmacy/Drugstores without Drive-Through Windows is 49-percent during the weekday PM peak hour. This would further reduce the number of new vehicles that are anticipated to be traveling to/from the site. HEI conducted a transportation survey of 257 patrons exiting an existing dispensary operating in Brookline, MA on June 13, 2019 identified 53.7% of patrons considered their stop to be a pass-by or diversion trip on their way to their ultimate destination.

Based on the ITE trip generation rates, the greatest peak-hour vehicle increase of 51 vehicles (102 trip ends) occurs on Saturdays, followed by the estimated Weekday PM peak hour increase of 42 vehicles (84 trip ends). These projected increases are without any deductions for pass-by trips or observed trip generation rates.

MassDOT maintains traffic counts approximately 1-mile west of the proposed project site on Route 20 (ID 251267). Traffic volumes on Wednesday June 12, 2019 for the PM peak hour resulted in 780 vehicles traveling in the westbound direction between 5:00p-6:00p. The Highway Capacity Manual indicates typical per lane capacity of a highway to be 1,600 passenger cars per hour per lane, or 3,200 vehicles for the two (2) westbound lanes. Volume to capacity ratio provides an estimate of roadway level of service (LOS). The existing condition volume to capacity ratio ( $v/c$ ) is 24.4-percent (24.4%). The anticipated increase of 42 vehicles would increase the  $v/c$  to 25.7%. Generally, a  $v/c$  ratio greater than 16% and less than 32% corresponds to LOS C on level terrain. As such, the projected increase in PM peak-hour weekday trips is not anticipated to adversely affect prevailing traffic conditions.

It is recommended that the Proponent work with the Marlborough public safety offices to develop an opening day strategy that provides for police details, parking attendants and way-finding assistance to minimize disruptions during the initial opening period. This strategy should be reviewed on a daily, or weekly, basis to evaluate its continuing need and implemented until customer levels normalize.



Calverde Naturals, LLC (“Calverde”) shares the City of Marlborough’s goals of ensuring that all operations at its proposed facility are designed to optimize local safety, minimize impact to the surrounding neighborhood, and allow Calverde to operate harmoniously within the larger Marlborough community.

**Plan Goals**

1. Ensure the safety of customers, employees, and surrounding abutters.
2. Minimize the impact of traffic flow on adjacent businesses and nearby streets.
3. Facilitate efficient parking lot operations to minimize back up on adjacent streets.
4. Implement efficient appointment systems to reduce initial traffic burdens.
5. Provide information to allow customers to get to/from the facility efficiently and safely.
6. Promote efficient coordination between Calverde, the Marlborough Police Department, and the City of Marlborough.
7. Establish open lines of communication with abutters and nearby residents and local businesses.

**I. Site Plan and Parking**

**1. Use of Parking Spaces**

With over 253 parking spaces located on the premises, there is ample parking to accommodate Calverde’s projected customers.

**2. Suitability of Parking Spaces**

As outlined in the enclosed **Traffic Impact Statement**, Calverde anticipates that at its peak hour, 51 vehicles will seek to utilize the dispensary parking lot, resulting in 102 trip ends. 253 parking spots are available for use during peak hours. Calverde anticipates that the average customer will be on site for 15 minutes. One parking space will be designated for express pick up only to facilitate efficient use of the lot.

| <b>Average Transaction Time</b> | <b>Peak Hour Customer Parking Requirements</b>                   | <b>Hourly Parking Availability (Assuming 15 min visit)</b>     |
|---------------------------------|--|--|
| 15 minutes (0.25 hr) – 4 turns  | 51 spaces required at parking lot at its peak hour of operations | 253 spaces * 4 turns = 1,012 spots available for use each hour |

Calverde does not anticipate the need for additional overflow parking, but will communicate with the Marlborough Police Department and the City of Marlborough prior to opening. Should overflow parking be desired, Calverde will work with both parties relative to operational concerns and plan approvals.

### **3. Parking Lot Management**

For at least the first month of operation and as long is deemed necessary by Calverde, the Marlborough Police Department, and City officials, Calverde will seek to employ police details in areas designated by the Marlborough Police Department to control and direct traffic in front of the proposed facility.

For at least the first month of operation and as long is deemed necessary by Calverde and City officials, Calverde will employ numerous parking lot attendants to allow for the safe and efficient flow of customers in and out of the parking lot. The parking lot attendants will direct customers to available parking spaces to eliminate backups occurring in and out of the lot and assist in ensuring that customers safely traverse the parking lot when walking in and out of the facility.

Calverde will designate a marked area of the parking lot for ride share operations to reduce inefficiencies within the parking lot. Signage will indicate that vehicles may not idle in the lot.

## **II. Interior Facility Capacity and Management**

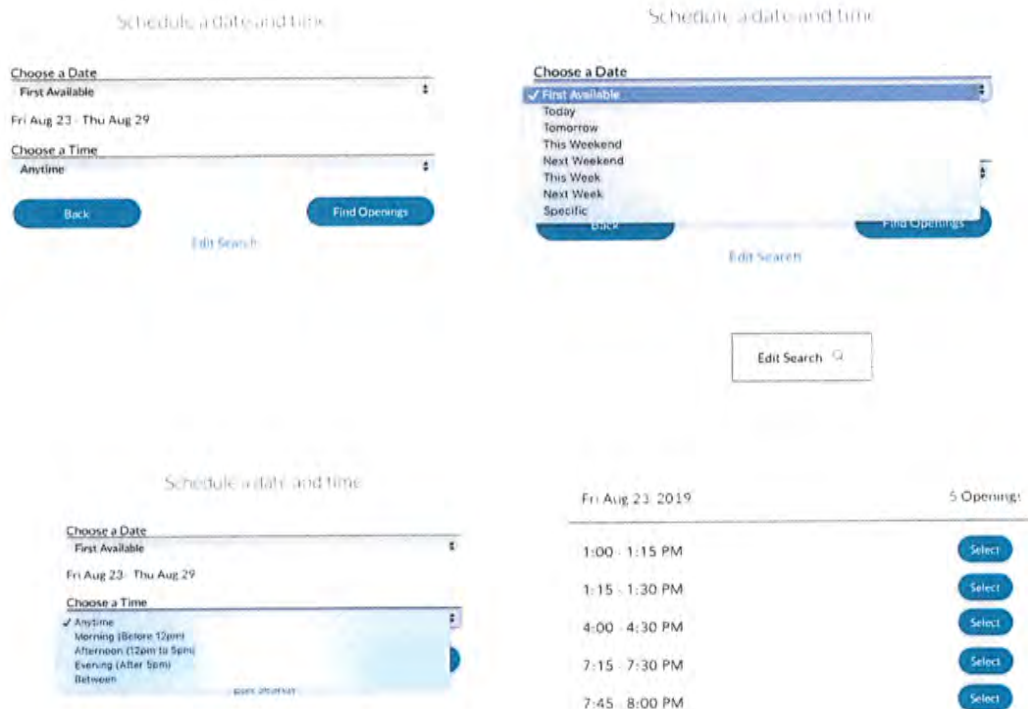
### **1. Soft Opening Period**

Should the City desire it, Calverde will conduct a soft opening for the fledgling weeks of operation by only offering facility access to customers that have made an online appointment via Calverde's website. Offering appointment only services will assist in preventing an overflow of customers, mitigating traffic impacts, educating customers about how to safely access the facility, and allowing for efficient operations inside of the retail establishment.

Calverde will meet with the City after the first month of operations and determine how long a reservation only system should be utilized based on demand, traffic, and operations. Should City officials request that the reservation system be continued, Calverde will request monthly follow-up meetings.

To book appointments online, customers will create an account on Calverde's website. They will then be able to schedule specific appointments as outlined below.





Calverde will also accept appointments via telephone.

## 2. Floor Plan Capacity

Calverde's enclosed **Floor Plan** has been designed to accommodate high volume customer counts while protecting consumer privacy, optimizing customer experience, and preserving the flow throughout the retail facility.

Oversight over the number of customers in the facility will be the responsibility of security staff stationed at the entry and exit points of the facility. Staff will utilize a digital tally system for an accurate count of who is in the facility at any given time.

## 3. Queuing

Calverde will not allow physical queuing on the exterior of the facility.

For adult use customers, Calverde will employ a customer waiting system similar to what is used in restaurants. This system will be activated whenever Calverde is within five (5) customers of hitting capacity. Calverde anticipates utilizing an online queuing system such as Qminder to monitor the number of customers in the facility and customers awaiting service, which works utilizing the following protocols:

- a. Entry and exit attendees maintain constant facility counts utilizing cloud-based tally systems to have an accurate accounting of capacity limits at all times;
- b. When the facility is within five (5) customers of hitting capacity, Calverde will begin utilizing the exterior queuing system; and
- c. When seeking entry, the attendant will notify the customer that they are on the wait list and will be asked to wait in their vehicle. Customers will be offered an anticipated wait time and notified via cell phone or buzzer when they may enter the facility. Customers who indicate that they walked or biked will be asked to wait inside the facility.

Calverde intends to utilize the above-noted queuing system as a part of its normal course of operations beyond the opening day plan.

#### **4. Customer Flow**

##### *Entry Vestibule:*

In accordance with 935 CMR 500.140(3), access to Calverde's facility is limited to individuals 21 years of age and older. Customers will be required to ring an exterior video doorbell to gain access into the premises. Individuals will be required to show proof of identification into the video doorbell to gain entry. When the door is opened, an attendant will immediately register their entry into a digital tally system.

Upon a customer's entry into the lobby, they will be required to provide proof of identification that is scanned via a card reader to confirm the form of identification is valid. An individual will not be admitted to the sales floor unless the staff member has verified that the individual is an appropriate age to enter the facility.

##### *Retail Floor:*

Once inside the retail area, adult use customers will enter a queue to obtain individualized service where they may select any of the products available to them with the help of a Calverde agent. A Calverde agent will remain permanently stationed at the queue to assist in directing them, as desired, directly to a point of sale terminal or to the dispensary floor for a personalized discussion with an agent.

Upon checkout, customers will be required to confirm their identities and age a second time. Checkout also activates the seed-to-sale tracking system that is compliant with 935 CMR 500.105(8).

In the event an agent determines an individual would place themselves or the public at risk, the agent will refuse to sell any marijuana products to the consumer.

### **III. Dissemination of Traffic and Parking Information**

Calverde will be sure to include clearly marked information about appointment-only periods, and traffic and parking for its Marlborough facility on its website and social media channels. Although Calverde does not anticipate conducting any outbound media activities, it will include information about appointment requirements, traffic, and parking in its responses to inbound media requests should it receive any. A map of traffic flows will be provided.

Calverde will also provide this information to the City of Marlborough and the Marlborough Police Department to post or share at its discretion.

Prior to opening, Calverde will send a mailing to the neighborhoods closest to the establishment to inform them about opening procedures and provide contact information that they may utilize to receive additional information or alert Calverde's management team about system inefficiencies.

### **IV. Plan Evaluation**

Calverde respectfully requests the opportunity to meet with representatives from the City of Marlborough and the Marlborough Police Department to discuss traffic and queue management at the following times:

- Prior to opening the facility;
- One week after opening;
- Two weeks after opening or as needed in the month following opening;
- One month after opening;
- Two months following opening;
- Six months following opening; and
- Additionally, at the discretion of Calverde, the City of Marlborough, and the Marlborough Police Department.

### **V. Plan Utilization Following Opening Day Period**

During any periods of high traffic or higher than expected volume following the opening period, Calverde will, independently or at the written request of City officials or the Police Department, implement measures of the plan to ensure the facility is operating efficiently, safely, and in harmony with the surrounding community.

# BOHLER //

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH

352 Turnpike Road  
Southborough, MA 01772  
508.480.9900

2021 FEB 10 A 11: 35

February 4, 2021

*Via FedEx*

Marlborough City Hall  
City Council  
Karen Boule, Council Secretary  
140 Main Street  
Marlborough, MA 01752

**RE: Special Permit Application – Calverde Naturals, LLC  
239 Boston Post Road West**

Dear Councilor Members:

On behalf of Calverde Naturals, LLC, we respectfully submit the enclosed special permit application for a new Adult Use Marijuana Establishment to be located at the above address. The project will include the construction of a new 2,800 square foot building within an existing shopping plaza.

The application seeks a special permit under Section 650-17 of the Zoning Ordinance for an Adult Use Marijuana Establishment and is hopeful to appear before the Council later this month. We have appeared informally in front of the City's Site Plan Review Committee for review and comment on the proposed project.

Please do not hesitate to contact me at 508-480-9900 should you have any questions or require any additional information regarding our responses.

Very truly yours,

**BOHLER**



Randy Miron

cc: Steve Tomasello (via email)  
Mark Donahue (via email)

# SPECIAL PERMIT PLANS

FOR \_\_\_\_\_



PROPOSED  
**RETAIL DISPENSARY**  
LOCATION OF SITE:  
239 BOSTON POST ROAD WEST  
CITY OF MARLBOROUGH  
MIDDLESEX COUNTY, MASSACHUSETTS  
MAP #78, LOT #2A



USGS MAP

SCALE: 1" = 1,000'  
SOURCE: MARLBOROUGH, MASSACHUSETTS USGS QUADRANGLE



AERIAL MAP

SCALE: 1" = 100'  
SOURCE: GOOGLE EARTH, TERRACON CONSULTING

PREPARED BY



**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LAND SURVEYING  
LANDSCAPE ARCHITECTURE  
PLANS AND SPECIFICATIONS  
TRAFFIC ENGINEERING  
CONSTRUCTION SERVICES

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811  
ALWAYS CALL 811  
BEFORE YOU DIG  
MASS. STATE - 811.MA.GOV

**ISSUED FOR PERMIT**  
THIS DRAWING IS TO BE USED TO OBTAIN A PERMIT FROM THE LOCAL AUTHORITIES.  
THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.  
NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BOHLER ENGINEERING.

PROJECT NO.:  
DRAWN BY:  
CHECKED BY:  
DATE: 10/24/24  
SCALE: 1"=100'-0"

**SPECIAL PERMIT  
PLANS**  
FOR  
**CAL VERDE  
NATURALS**  
PROPOSED  
RETAIL DISPENSARY  
MAP #78, LOT #2A  
239 BOSTON POST ROAD  
WEST  
CITY OF MARLBOROUGH,  
MIDDLESEX COUNTY,  
MASSACHUSETTS

**BOHLER**  
185 T. TEMPLE ROAD  
SOUTHBOROUGH, MA 01772  
Phone: (508) 885-8888  
www.BohlerEngineering.com

**J.G. GARDNER**  
REGISTERED PROFESSIONAL ENGINEER  
LICENSE NO. 22695  
100 STATE STREET  
LOWELL, MA 01852  
PHONE: (978) 452-1234  
WWW.JG-GARDNER.COM

PROJECT TITLE:  
**COVER SHEET**

SHEET NUMBER:  
**C-101**  
0893 - 0010 - 0101001

**DRAWING SHEET INDEX**

| SHEET TITLE   | SHEET NUMBER |
|---|--------------|
| COVER SHEET   | C-101        |
| GENERAL NOTES SHEET                                   | C-102        |
| PROPOSED AND EXISTING EROSION & SEDIMENT CONTROL PLAN | C-103        |
| SITE LAYOUT PLAN                                      | C-104        |
| GRADING AND DRAINAGE PLAN                             | C-105        |
| UTILITY PLAN  | C-106        |
| LANDSCAPE PLAN  | C-107        |
| LANDSCAPE NOTES AND DETAILS                           | C-108        |
| DETAIL SHEET  | C-109        |
| DETAIL SHEET  | C-110        |
| ALTIMETERS AND TIE SURVEY (BY OTHERS)                 | 1            |
| EXISTING CONDITIONS PLAN (BY OTHERS)                  | 1            |

OWNER:  
OR MARLBOROUGH WEST LLC  
50 CRAFT STREET, SUITE 206  
MARLBOROUGH, MA 01501

ENGINEER:  
J.G. GARDNER ENGINEERING, INC.  
100 STATE STREET  
LOWELL, MA 01852

SURVEYOR:  
KELLY ENGINEERING GROUP  
3 CAMPWELLS LANE  
BARNSTABLE, MA 01958

**GENERAL NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN.
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**GENERAL GRADING & UTILITY PLAN NOTES**

1. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN.
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**GENERAL DEMOLITION NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN.
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

**TYPICAL ABBREVIATIONS**

| KEY | DESCRIPTION | KEY | DESCRIPTION  |
|-----|-------------|-----|--------------|
| 1   | EXISTING    | 10  | PROPOSED     |
| 2   | DEMOLITION  | 11  | CONSTRUCTION |
| 3   | REVISION    | 12  | AS-BUILT     |
| 4   | ADJUSTED    | 13  | AS-BUILT     |
| 5   | ADJUSTED    | 14  | AS-BUILT     |
| 6   | ADJUSTED    | 15  | AS-BUILT     |
| 7   | ADJUSTED    | 16  | AS-BUILT     |
| 8   | ADJUSTED    | 17  | AS-BUILT     |
| 9   | ADJUSTED    | 18  | AS-BUILT     |

**TYPICAL LEGEND**



**REFER TO SITE PLAN FOR ZONING ANALYSIS TABLE AND LAND USE ZONING INFORMATION & NOTES**

REFER TO SITE PLAN FOR ZONING ANALYSIS TABLE AND LAND USE ZONING INFORMATION & NOTES.

**REFER TO LANDSCAPE NOTES & DETAILS SHEET FOR TYPICAL LANDSCAPE NOTES AND DETAILS**

REFER TO LANDSCAPE NOTES & DETAILS SHEET FOR TYPICAL LANDSCAPE NOTES AND DETAILS.

**ISSUED FOR PERMIT**

ISSUED FOR PERMIT. PROJECT NO. 2018-001. PROJECT NAME: 238 BOSTON PORT ROAD. OWNER: MCDONALD'S CORP. DRAWING NO. 18-001-001. DATE: 08/15/2018.

**BOHLER**

**BOHLER**  
238 BOSTON PORT ROAD  
MIDDLEBURY COUNTY, MASSACHUSETTS

**GENERAL PERMIT PLANS**

**GENERAL PERMIT PLANS**  
FOR  
**CAL VERDE**  
RETAIL DISCOUNT STORE  
238 BOSTON PORT ROAD  
MIDDLEBURY COUNTY, MASSACHUSETTS

**BOHLER**

**BOHLER**  
238 BOSTON PORT ROAD  
MIDDLEBURY COUNTY, MASSACHUSETTS

**GENERAL NOTES**

**GENERAL NOTES**

DATE: 08/15/2018

PROJECT NO. 2018-001

PROJECT NAME: 238 BOSTON PORT ROAD

OWNER: MCDONALD'S CORP.

DRAWING NO. 18-001-001

DATE: 08/15/2018

**BOHLER**  
 RITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 PLANNING SERVICES  
 TRANSPORTATION SERVICES

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**811**  
 ALWAYS CALL 811  
 BEFORE YOU DIG  
 811 is the national number for the public utility locating service. Call 811 to request a utility locate before you dig.

**ISSUED FOR PERMIT**  
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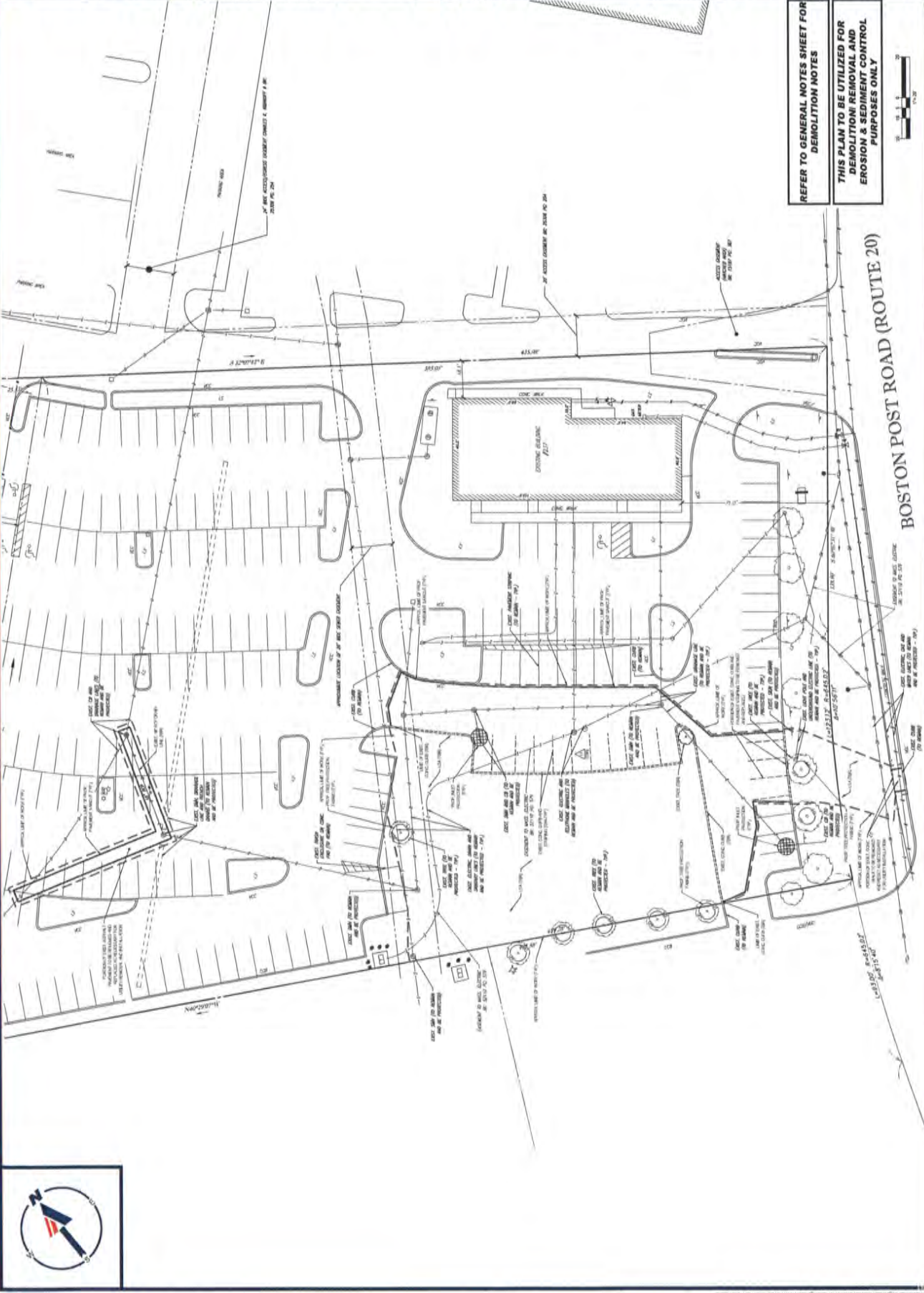
**SPECIAL PERMIT PLANS**  
 FOR  
**CALVERDE**  
 PROPOSED  
 RETAIL DISPENSARY  
 MAP #79, LOT #24  
 100 WEST MAIN STREET  
 CITY OF MALDEN, MASSACHUSETTS

**BOHLER**  
 382 TURNPIKE ROAD  
 SOUTH BOSTON, MA 02127  
 www.BohlerEngineering.com

**J.G. POWERLINE**  
 LOCAL 100  
 100 WEST MAIN STREET  
 MALDEN, MA 02148

**DEMOLITION AND EROSION & SEDIMENT CONTROL PLAN**

**C-201**  
 ORD. DATE: 10/1/2021



**REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES**

**THIS PLAN TO BE UTILIZED FOR DEMOLITION, EROSION AND SEDIMENT CONTROL PURPOSES ONLY**



**BOSTON POST ROAD (ROUTE 20)**





### ZONING ANALYSIS TABLE

PROJECT NO: 2024-001  
 ZONING DISTRICT: R-1A  
 OVERLAY DISTRICT: NONE

| REQUIRED PERMIT            | ZONE CRITERIA             | EXISTING                  | PROPOSED                  |
|----------------------------|---------------------------|---------------------------|---------------------------|
| 1. ZONING PERMIT           | 1. ZONING DISTRICT        | R-1A                      | R-1A                      |
| 2. CONSTRUCTION PERMIT     | 2. LOT COVERAGE           | 30%                       | 30%                       |
| 3. SIGNAGE PERMIT          | 3. SIGNAGE                | NO SIGNAGE                | NO SIGNAGE                |
| 4. ACCESSORY USE PERMIT    | 4. ACCESSORY USE          | NO ACCESSORY USE          | NO ACCESSORY USE          |
| 5. SIDEWALK CLOSURE PERMIT | 5. SIDEWALK CLOSURE       | NO SIDEWALK CLOSURE       | NO SIDEWALK CLOSURE       |
| 6. TREE REMOVAL PERMIT     | 6. TREE REMOVAL           | NO TREE REMOVAL           | NO TREE REMOVAL           |
| 7. LANDSCAPE BATTERED CUT  | 7. LANDSCAPE BATTERED CUT | NO LANDSCAPE BATTERED CUT | NO LANDSCAPE BATTERED CUT |
| 8. SIDEWALK BRIDGE         | 8. SIDEWALK BRIDGE        | NO SIDEWALK BRIDGE        | NO SIDEWALK BRIDGE        |
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| 17. SIDEWALK BRIDGE        | 17. SIDEWALK BRIDGE       | NO SIDEWALK BRIDGE        | NO SIDEWALK BRIDGE        |
| 18. SIDEWALK BRIDGE        | 18. SIDEWALK BRIDGE       | NO SIDEWALK BRIDGE        | NO SIDEWALK BRIDGE        |
| 19. SIDEWALK BRIDGE        | 19. SIDEWALK BRIDGE       | NO SIDEWALK BRIDGE        | NO SIDEWALK BRIDGE        |
| 20. SIDEWALK BRIDGE        | 20. SIDEWALK BRIDGE       | NO SIDEWALK BRIDGE        | NO SIDEWALK BRIDGE        |

IF INDICATED FROM THIS TABLE, THE PROPOSED PROJECT DOES NOT MEET THE REQUIREMENTS OF THE ZONING DISTRICT. THE PROJECT WILL BE SUBJECT TO THE REQUIREMENTS OF THE ZONING DISTRICT. THE PROJECT WILL BE SUBJECT TO THE REQUIREMENTS OF THE ZONING DISTRICT. THE PROJECT WILL BE SUBJECT TO THE REQUIREMENTS OF THE ZONING DISTRICT.



**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES**

DATE: 11-20-24

**BOHLER**  
 SITE PLAN, LANDSCAPE ARCHITECTURE, PLANNING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SIGNAGE DESIGN, TRANSPORTATION SERVICES

### REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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**811**  
 ALWAYS CALL 811  
 BEFORE YOU DIG

**ISSUED FOR PERMIT**

PROJECT NO: 2024-001  
 DATE: 11-20-24  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: AS SHOWN

**SPECIAL PERMIT PLANS**

FOR: **CAL VERDE**  
 PROPOSED: RETAIL DISPENSARY  
 100 BOSTON POST ROAD  
 BOSTON, MASSACHUSETTS

**BOHLER**  
 302 TOWNSHIRE ROAD  
 SOUTHBROOK, MA 01772  
 TEL: 508-326-1100  
 WWW.BOHLER-ENGINEERING.COM

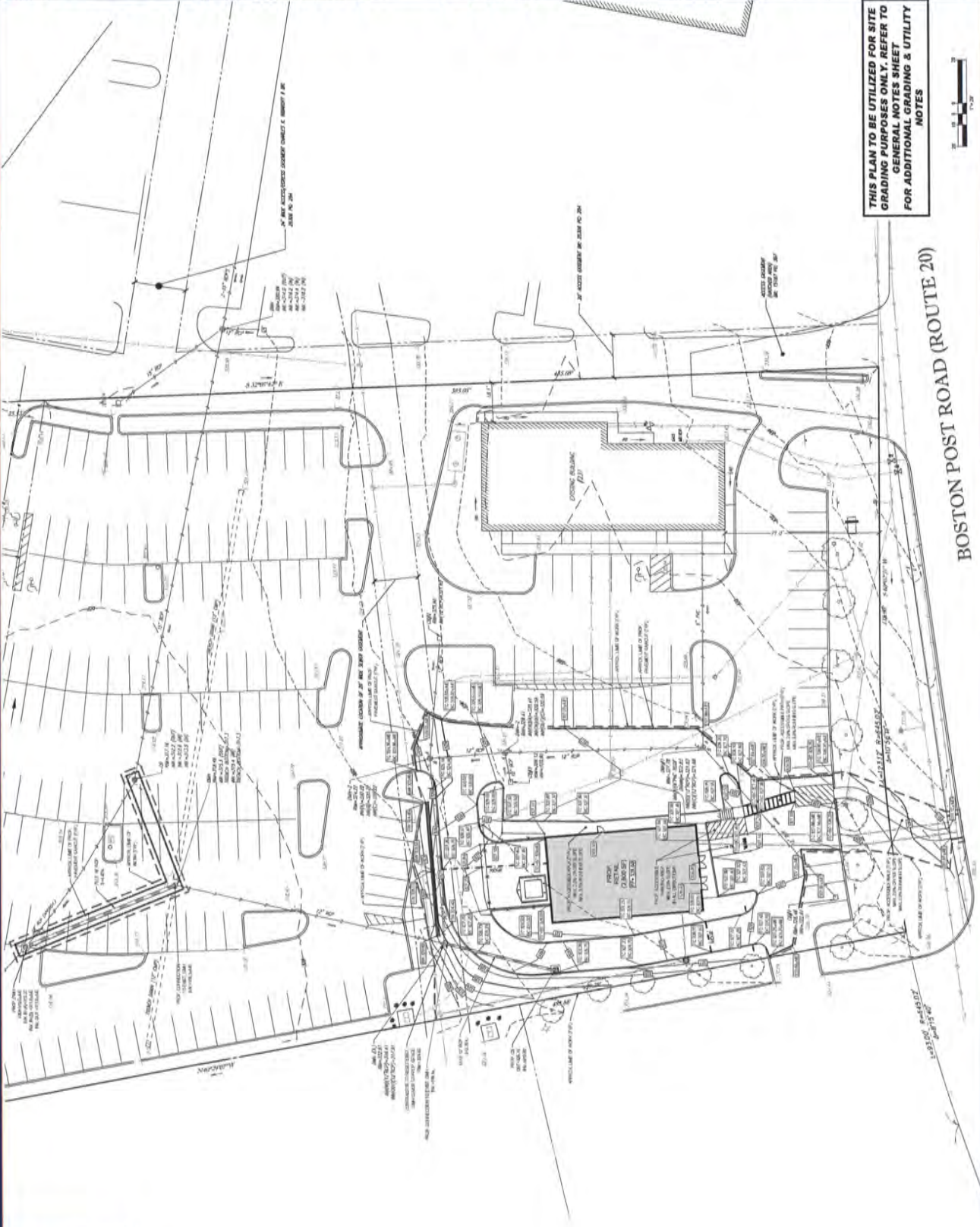
**J.G. SWEARINGIN**  
 CIVIL ENGINEER  
 100 BOSTON POST ROAD  
 BOSTON, MASSACHUSETTS

**SITE LAYOUT PLAN**

**C-301**

DATE: 11-20-24





**THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES**

**BOSTON POST ROAD (ROUTE 20)**

1:50,000 8-4-2017  
DATE: 8-15-2017

**BOHLER**

SITE PLAN AND CONSULTING ENGINEERING  
LANDSCAPE ARCHITECTURE  
PROGRAM MANAGEMENT  
LAND SURVEYING  
TRANSPORTATION SERVICES

REVISEMENTS

| NO. | DATE | COMMENT |
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**ISSUED FOR PERMIT**

PROJECT: [REDACTED]

DATE: [REDACTED]

SCALE: [REDACTED]

PREPARED BY: [REDACTED]

CHECKED BY: [REDACTED]

APPROVED BY: [REDACTED]

**911**

EMERGENCY CALL 911

FOR FIRE, POLICE, OR AMBULANCE

**SPECIAL PERMIT PLANS**

FOR:

**CAL VERDE**

PROPOSED RETAIL DEVELOPMENT  
MAP #74, LOT #6A  
288 BOSTON POST ROAD  
MIDDLESEX COUNTY,  
MASSACHUSETTS

**BOHLER**

382 TURNPIKE ROAD  
SOUTHBRIDGE, MA 01772

www.BohlerEngineering.com

**J.G. WELLS**

REGISTERED PROFESSIONAL ENGINEER  
LICENSE NO. 10228  
EXPIRES 12-31-2019

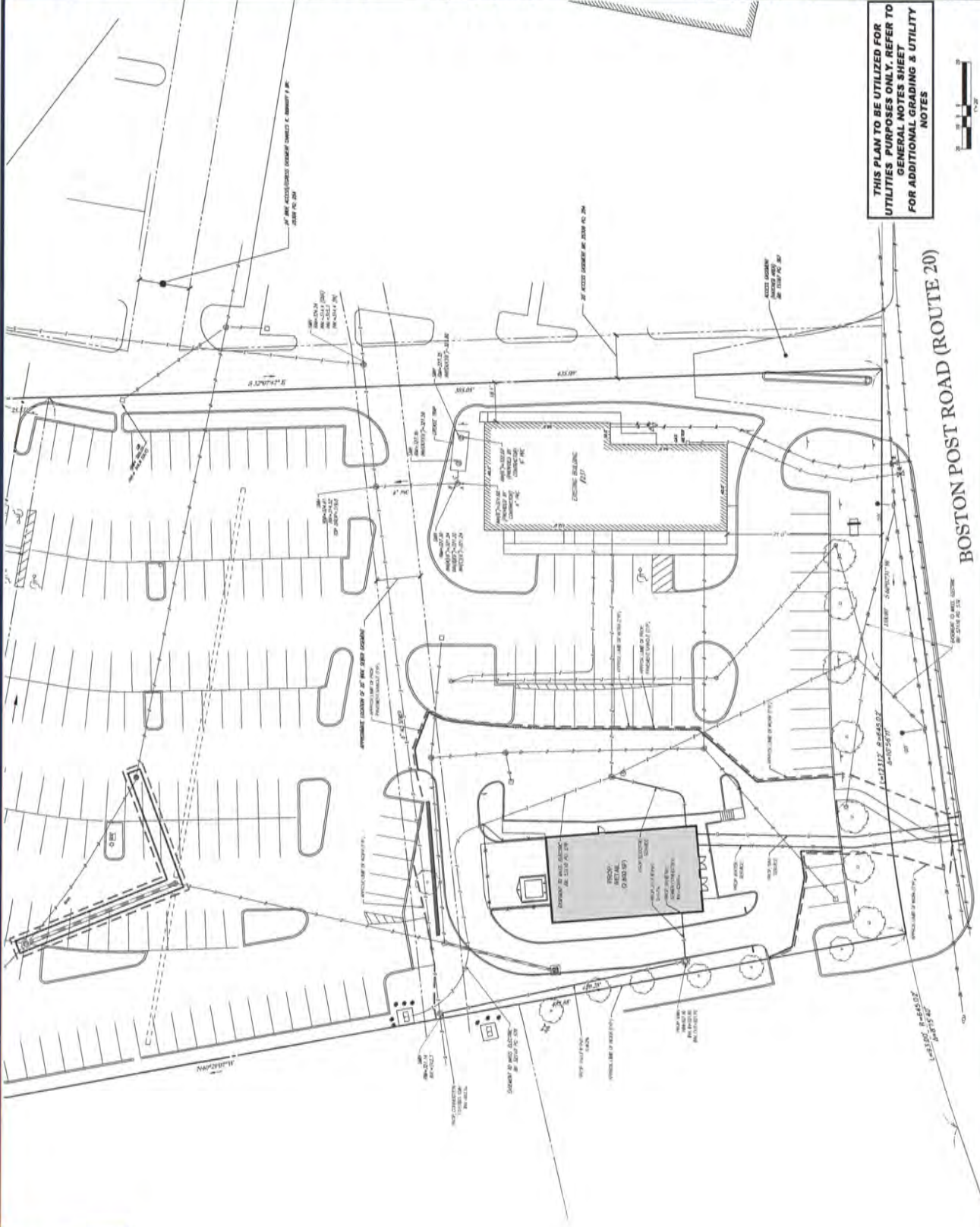
**GRADING AND DRAINAGE PLAN**

SHEET NO. **C-401**

DATE: 8-15-2017

DATE: 8-15-2017

SCALE: 1"=20'



**THIS PLAN IS TO BE UTILIZED FOR UTILITIES PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES**

DATE: DATE - 00/00/00

**BOSTON POST ROAD (ROUTE 20)**

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LAND SURVEYING  
 LANDSCAPE ARCHITECTURE  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

| REV# | DATE | COMMENT |
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**811**  
 ALWAYS CALL 811  
 BEFORE YOU DIG  
 811 is the national number for locating underground utilities.

**ISSUED FOR PERMIT**  
 PROJECT NO.:  
 CONTRACT NO.:  
 DATE:  
 DRAWN BY:  
 CHECKED BY:

**SPECIAL PERMIT PLANS**  
 FOR  
**CAL VERDE**  
 PROPOSED  
 RETAIL DEVELOPMENT  
 230 BOSTON POST ROAD  
 CITY OF MALDENBOROUGH  
 MASSACHUSETTS

**BOHLER**  
 100 STATE STREET, SUITE 200  
 SOUTH BOSTON, MA 02127  
 Phone: (781) 466-8900  
 www.BohlerEngineering.com

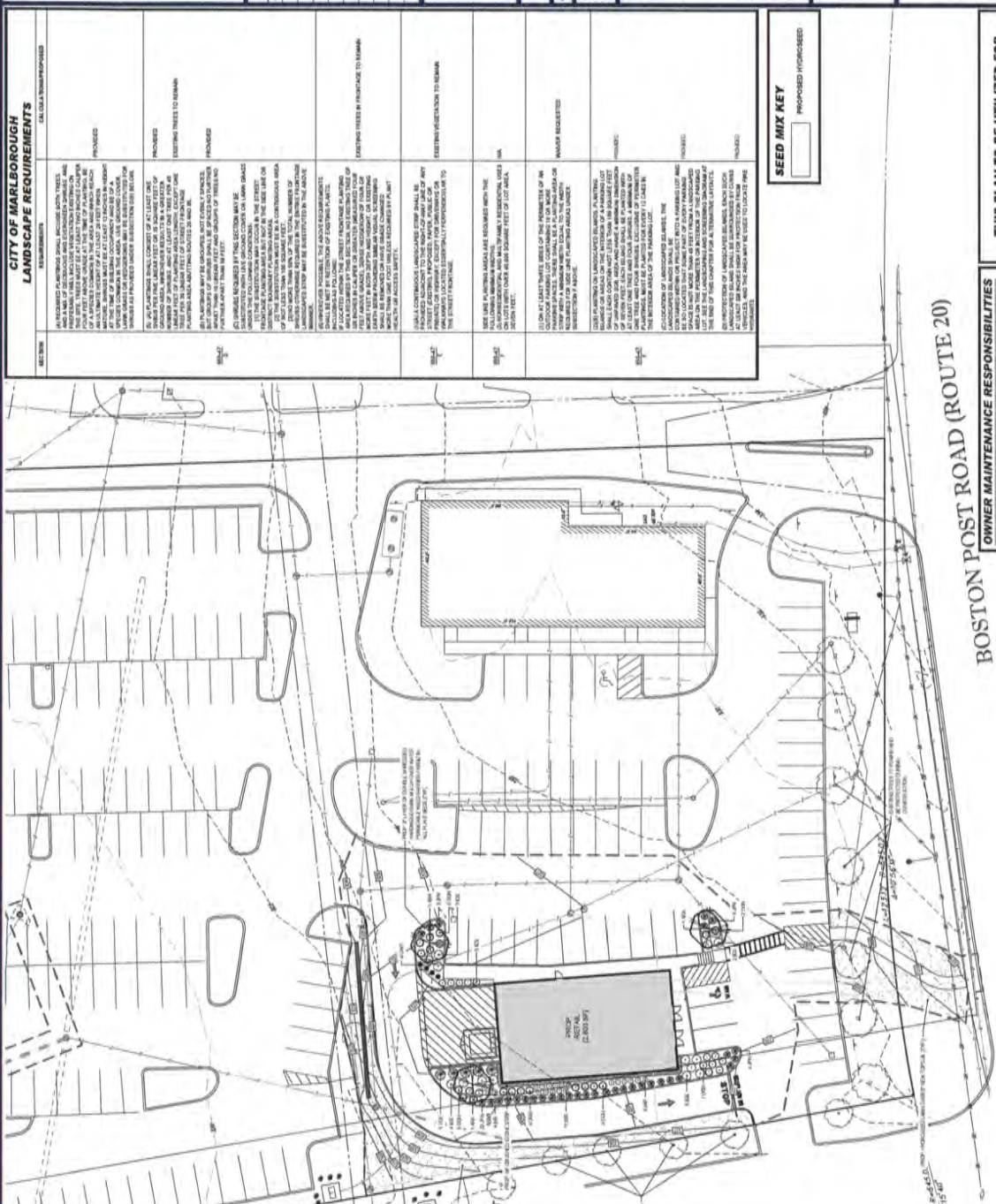
**J.C. GAMBERG**  
 ENGINEER  
 100 STATE STREET, SUITE 200  
 SOUTH BOSTON, MA 02127  
 Phone: (781) 466-8900  
 www.BohlerEngineering.com

**UTILITY PLAN**  
 SHEET NUMBER:  
**C-501**



**LANDSCAPE SCHEDULE**

| KEY | QTY | SPECIFIC NAME | COMMON NAME | SIZE | SORT |
|-----|-----|---------------|-------------|------|------|
| 1   | 1   | ...           | ...         | ...  | ...  |
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| 100 | 1   | ...           | ...         | ...  | ...  |



**BOSTON POST ROAD (ROUTE 20)**

**OWNER MAINTENANCE RESPONSIBILITIES**

- 1. The owner shall be responsible for the maintenance of all trees and shrubs planted on the property.
- 2. The owner shall be responsible for the maintenance of all irrigation systems installed on the property.
- 3. The owner shall be responsible for the maintenance of all landscape lighting installed on the property.
- 4. The owner shall be responsible for the maintenance of all landscape structures installed on the property.
- 5. The owner shall be responsible for the maintenance of all landscape materials installed on the property.
- 6. The owner shall be responsible for the maintenance of all landscape plants installed on the property.
- 7. The owner shall be responsible for the maintenance of all landscape trees installed on the property.
- 8. The owner shall be responsible for the maintenance of all landscape shrubs installed on the property.
- 9. The owner shall be responsible for the maintenance of all landscape perennials installed on the property.
- 10. The owner shall be responsible for the maintenance of all landscape annuals installed on the property.
- 11. The owner shall be responsible for the maintenance of all landscape groundcovers installed on the property.
- 12. The owner shall be responsible for the maintenance of all landscape mulches installed on the property.
- 13. The owner shall be responsible for the maintenance of all landscape rocks installed on the property.
- 14. The owner shall be responsible for the maintenance of all landscape boulders installed on the property.
- 15. The owner shall be responsible for the maintenance of all landscape walls installed on the property.
- 16. The owner shall be responsible for the maintenance of all landscape fences installed on the property.
- 17. The owner shall be responsible for the maintenance of all landscape gates installed on the property.
- 18. The owner shall be responsible for the maintenance of all landscape bridges installed on the property.
- 19. The owner shall be responsible for the maintenance of all landscape stairs installed on the property.
- 20. The owner shall be responsible for the maintenance of all landscape ramps installed on the property.
- 21. The owner shall be responsible for the maintenance of all landscape paths installed on the property.
- 22. The owner shall be responsible for the maintenance of all landscape drives installed on the property.
- 23. The owner shall be responsible for the maintenance of all landscape parking areas installed on the property.
- 24. The owner shall be responsible for the maintenance of all landscape lawns installed on the property.
- 25. The owner shall be responsible for the maintenance of all landscape lawns installed on the property.

**THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY**

**REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS**



**BOHLER**  
 SITE, CIVIL, AND COMMUNITY ENGINEERING  
 LANDSCAPE ARCHITECTURE  
 PROGRAM MANAGEMENT  
 CONSULTING SERVICES  
 100 STATE STREET  
 MARLBOROUGH, MASSACHUSETTS 01946  
 Phone: (508) 465-1000  
 www.BohlerEngineering.com

**REVISIONS**

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
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**811**  
 Call Before You Dig  
 ALWAYS CALL 811  
 BEFORE YOU DIG

**ISSUED FOR PERMIT**  
 PROJECT NO.: 2024-001  
 SHEET NO.: 1 OF 1  
 DATE: 10/20/2024

**SPECIAL PERMIT PLANS**  
 FOR  
**CAL VERDI**  
 231 BOSTON POST ROAD  
 BOSTON, MASSACHUSETTS 02111  
 Phone: (617) 552-1000  
 www.CalVerdi.com

**BOHLER**  
 100 STATE STREET  
 MARLBOROUGH, MASSACHUSETTS 01946  
 Phone: (508) 465-1000  
 www.BohlerEngineering.com



**LANDSCAPE PLAN**  
 SHEET NO.: **C-701**  
 DATE: 10/20/2024



| NO. | DATE | REVISIONS |
|-----|------|-----------|
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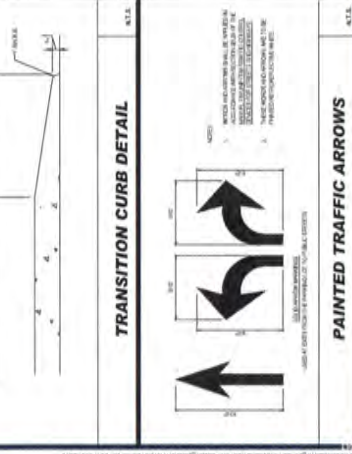
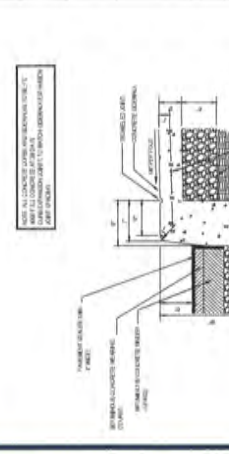
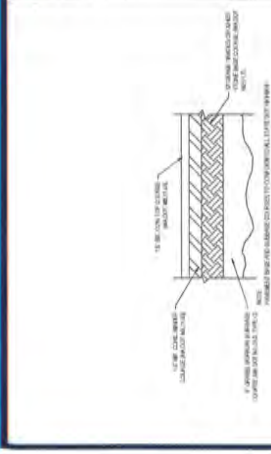
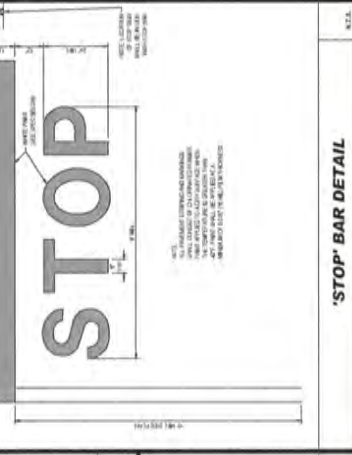
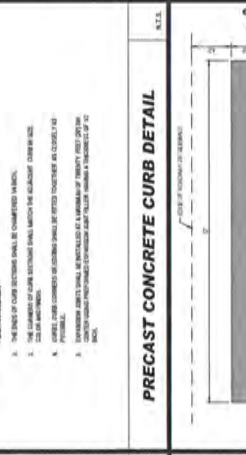
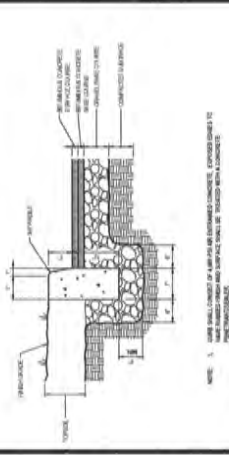
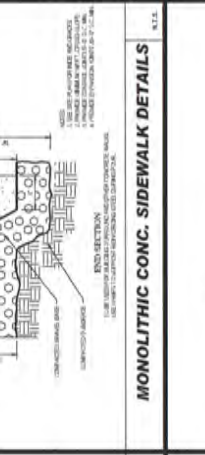
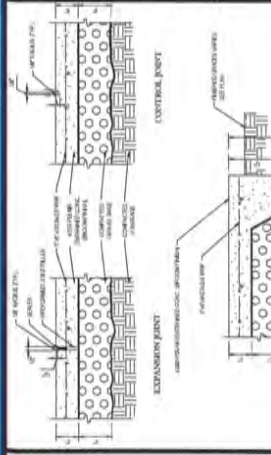
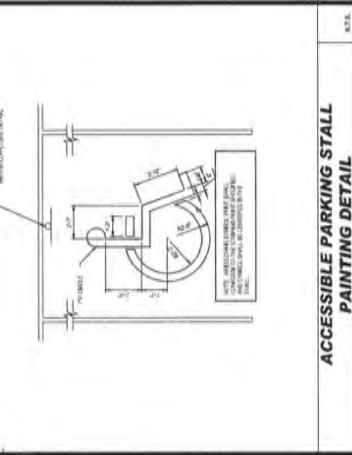
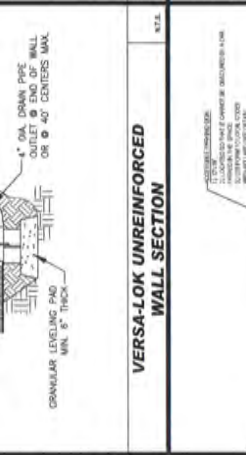
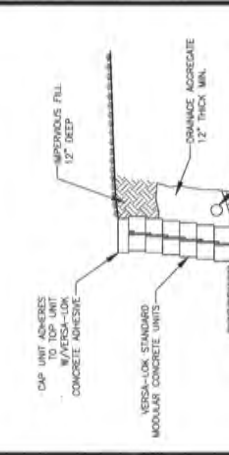
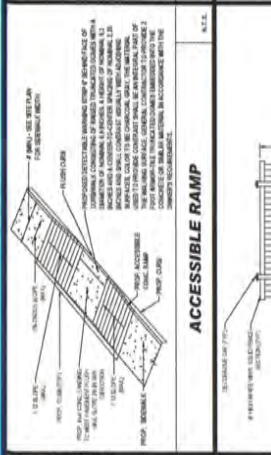
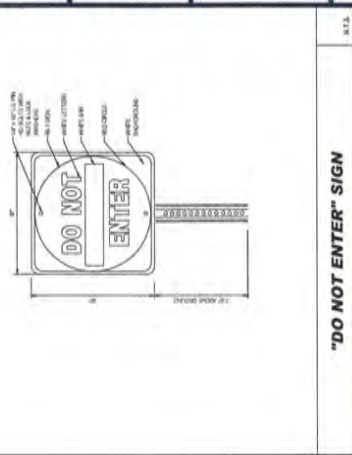
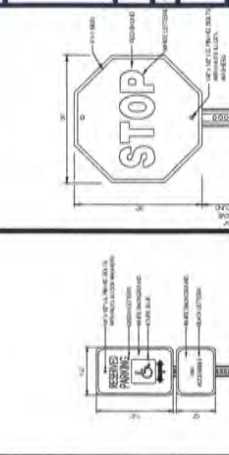
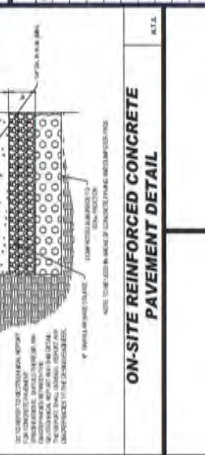
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 PROJECT: 2024-001  
 DRAWING NO: 2024-001-01  
 DATE: 08/15/2024  
 DRAWN BY: J. G. GOWER  
 CHECKED BY: J. G. GOWER  
 APPROVED BY: J. G. GOWER

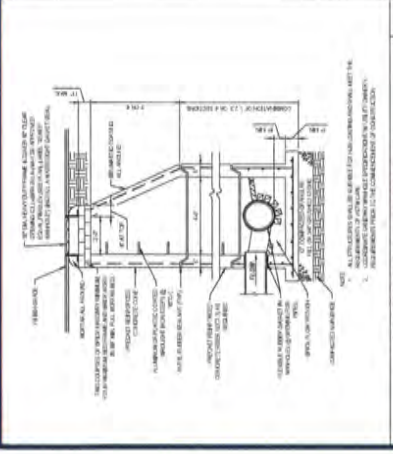
**SPECIAL PERMIT PLANS**  
 FOR  
**CAL VERDE**  
 RETAIL DISPENSARY  
 2024-001 LOT 6A  
 200 BOSTON PORT ROAD  
 WILMINGTON, MASSACHUSETTS

**BOHLER**  
 302 TURNPIKE ROAD  
 SOUTH BOSTON, MA 01772  
 TEL: 978.653.1234  
 WWW.BOHLERCORPORATION.COM

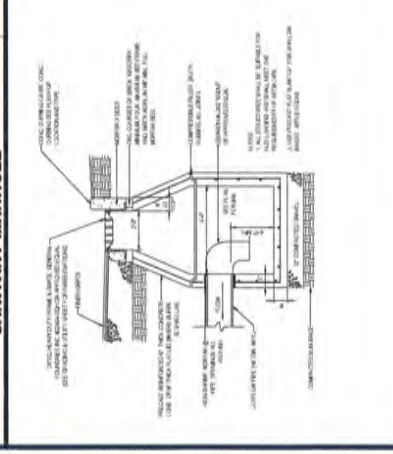
**J.G. GOWER**  
 CIVIL ENGINEER  
 2024-001 LOT 6A  
 200 BOSTON PORT ROAD  
 WILMINGTON, MASSACHUSETTS

**DETAIL SHEET**  
 SHEET NUMBER: **C-901**  
 ORG. DATE: 08/15/2024

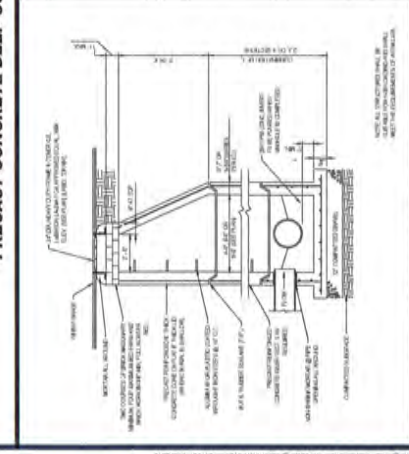




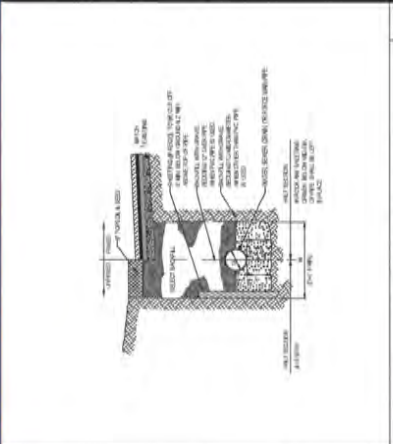
**TYP. PRECAST CONCRETE SANITARY MANHOLE**



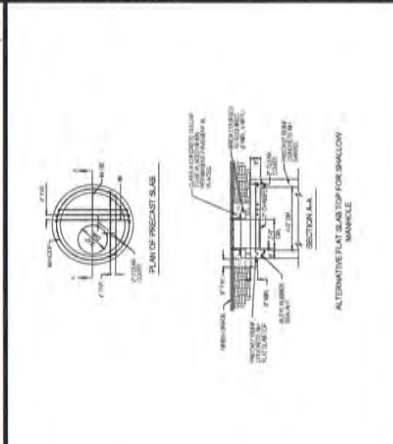
**PRECAST CONCRETE DEEP SUMP CATCH BASIN DETAIL**



**PRECAST CONCRETE STORM DRAIN MANHOLE**



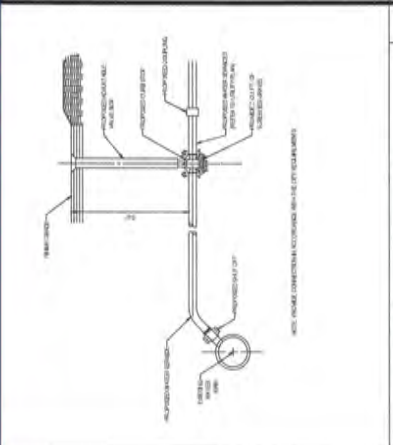
**TYPICAL UTILITY TRENCH**



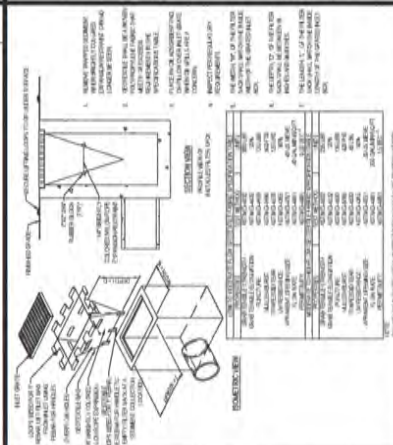
**PLAN OF PRECAST SLAB AND ALTERNATIVE FLAT SLAB TOP FOR SPALLOW MANHOLE**



**SERVICE CONNECTION DETAIL**



**CROSSWALK DETAIL**



**SIDEWALK DETAIL**



**FILTER SACS (GRADED INLETS)**

| REV | DATE | COMMENT |
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**ISSUED FOR PERMIT**

PROJECT NO. 0811

ISSUED BY: [Signature]

CHECKED BY: [Signature]

DATE: 08/11/2021

PROJECT: [Project Name]

**SPECIAL PERMIT PLANS**

FOR: [Project Name]

SCALE: AS SHOWN

PROJECT: [Project Name]

ISSUED BY: [Signature]

CHECKED BY: [Signature]

DATE: 08/11/2021

**BOHLER**

181 TURKISH ROAD  
SOUTHBOROUGH, MA 01772  
Phone: 508-350-8000  
www.BohlerEngineering.com

**J.G. WILKINS**

REGISTERED PROFESSIONAL ENGINEER  
No. 40201  
MASSACHUSETTS

**DETAIL SHEET**

**C-902**

DATE: 08/11/2021



**LOCUS**

**SCHEDULE B ITEMS**

7.1.1. Title to the City of Boston of the Survey of the Surveyor's Office of the City of Boston, dated January 27, 2011, recorded in Book 1026, Page 208 (1/27/11).

7.1.2. The City of Boston's Order of Issuance for the Survey of the Surveyor's Office of the City of Boston, dated January 27, 2011, recorded in Book 1026, Page 208 (1/27/11).

7.1.3. The City of Boston's Order of Issuance for the Survey of the Surveyor's Office of the City of Boston, dated January 27, 2011, recorded in Book 1026, Page 208 (1/27/11).

7.1.4. The City of Boston's Order of Issuance for the Survey of the Surveyor's Office of the City of Boston, dated January 27, 2011, recorded in Book 1026, Page 208 (1/27/11).

7.1.5. The City of Boston's Order of Issuance for the Survey of the Surveyor's Office of the City of Boston, dated January 27, 2011, recorded in Book 1026, Page 208 (1/27/11).

7.1.6. The City of Boston's Order of Issuance for the Survey of the Surveyor's Office of the City of Boston, dated January 27, 2011, recorded in Book 1026, Page 208 (1/27/11).

**NOTES:**

1. Survey of the Surveyor's Office of the City of Boston, dated January 27, 2011, recorded in Book 1026, Page 208 (1/27/11).

2. Survey of the Surveyor's Office of the City of Boston, dated January 27, 2011, recorded in Book 1026, Page 208 (1/27/11).

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19. Survey of the Surveyor's Office of the City of Boston, dated January 27, 2011, recorded in Book 1026, Page 208 (1/27/11).

20. Survey of the Surveyor's Office of the City of Boston, dated January 27, 2011, recorded in Book 1026, Page 208 (1/27/11).

**LEGEND**

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**Surveyor's Certification:**

I, K. M. Mearns, LLC and Kelly/Kelly Engineering, Inc. certify that the map and plat on which this plat is shown was made in accordance with the 2003 Minimum Standard Requirements for Maps and Plat (MSR) and that the information shown on this map is true and correct. The work was completed in October of 2008.

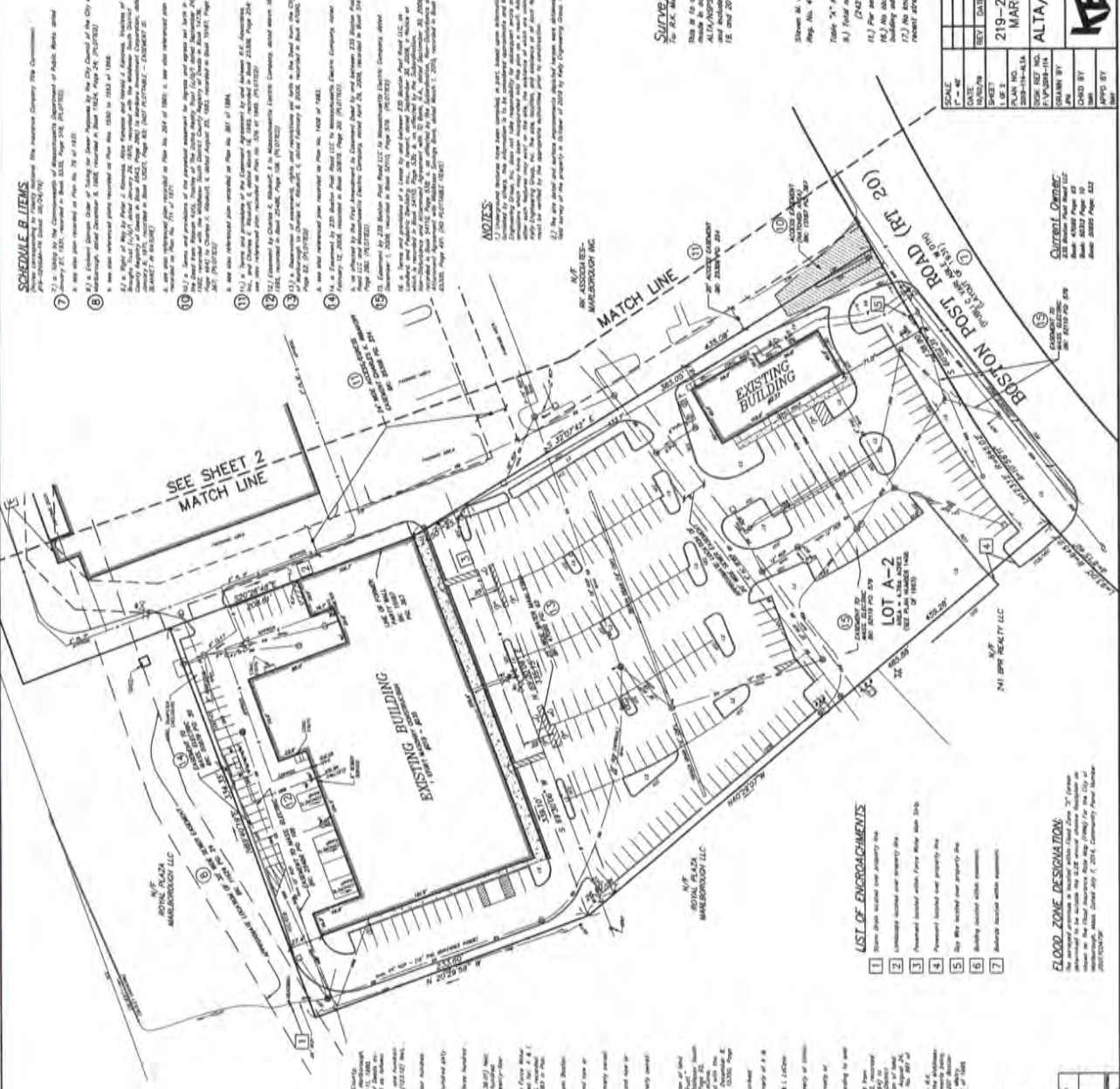


Shown at Inland, P.L.L.C. File No. 61027 with the Commissioner of Massachusetts

Total number of sheets, including this sheet = 208

(242 regular sheets and 8 thumbnail sheets)

(242 regular sheets and 8 thumbnail sheets)



- LIST OF ENCROACHMENTS**
1. Stone Block on lot A-2, Lot 10.
  2. Concrete pad on lot A-2, Lot 10.
  3. Paved walkway on lot A-2, Lot 10.
  4. Paved walkway on lot A-2, Lot 10.
  5. Utility meter on lot A-2, Lot 10.
  6. Utility meter on lot A-2, Lot 10.
  7. Utility meter on lot A-2, Lot 10.

**FLOOD ZONE DESIGNATION:**

The project is located in a Flood Hazard Zone 'X' (Zone X) as shown on the Flood Hazard Map of the City of Boston, dated July 7, 2011, Community Plan Number 2011-0000P.

**GRAPHIC SCALE**

1" = 60' 0" 1/2"

1" = 120' 0" 1/2"

**COMPONENT (C) BY KELLY ENGINEERING GROUP, INC.**

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**REVISIONS**

| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
| 1   |      |          |    |
| 2   |      |          |    |
| 3   |      |          |    |
| 4   |      |          |    |
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| 8   |      |          |    |
| 9   |      |          |    |
| 10  |      |          |    |

**Current Owner:**

20 Boston Post Road LLC  
20 Boston Post Road LLC  
20 Boston Post Road LLC  
20 Boston Post Road LLC

|               |                  |
|---------------|------------------|
| SCALE         | 1" = 60' 0" 1/2" |
| DATE          | 10/22/08         |
| REVISION      |                  |
| BY            |                  |
| FILE NO.      |                  |
| PLAN NO.      | 208-18-A-11A     |
| DATE OF PLAN  | 10/22/08         |
| ISSUED BY     | APR              |
| DRAWN BY      | APR              |
| CHECKED BY    | APR              |
| DATE OF CHECK | 10/22/08         |
| DATE OF PLAN  | 10/22/08         |
| DATE OF PLAN  | 10/22/08         |

**KELLY ENGINEERING GROUP**

1111 CRENSHAW AVENUE, SUITE 101  
CAMBRIDGE, MA 02142

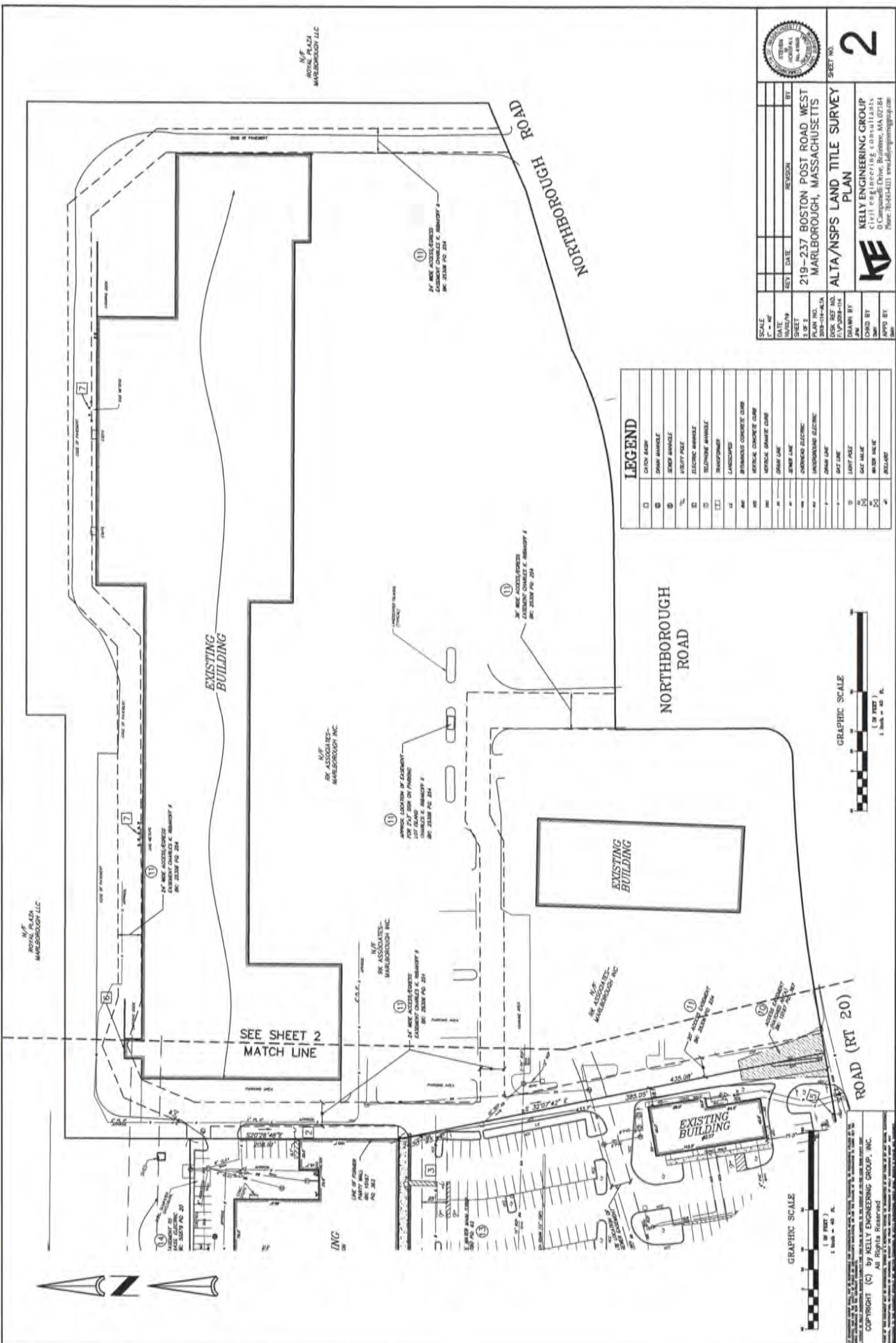
PH: 781-441-1111 FAX: 781-441-1112

**ALTA/NPS LAND TITLE SURVEY**

219-237 BOSTON POST ROAD WEST  
MARLBOROUGH, MASSACHUSETTS

**1**

SHEET NO.



SHEET NO. **2**

|  |          |      |          |
|--|----------|------|----------|
| SCALE  | DATE     | REV. | BY       |
| 1" = 40' PL                                  | 11/15/21 | 1    | REVISION |
| SHEET  |          |      |          |
| 2 OF 2                                       |          |      |          |
| PROJECT NO.                                  |          |      |          |
| 219-237 BOSTON POST ROAD WEST                |          |      |          |
| MARLBOROUGH, MASSACHUSETTS                   |          |      |          |
| ALTA/NSPS LAND TITLE SURVEY                  |          |      |          |
| PLAN   |          |      |          |
| KELLY ENGINEERING GROUP, INC.                |          |      |          |
| 1001 CENTRE STREET, SUITE 200                |          |      |          |
| MARLBOROUGH, MA 01501                        |          |      |          |
| PHONE: 781-545-4033 WWW.KELLYENGINEERING.COM |          |      |          |

| LEGEND |                         |
|--------|-------------------------|
| □      | CURB MARK               |
| ○      | CONCRETE MARKER         |
| ○      | WOOD MARKER             |
| ○      | UTILITY POLE            |
| ○      | ELECTRIC SERVICE        |
| ○      | TELEPHONE MARKER        |
| ○      | TRANSFORMER             |
| ○      | LANDSCAPED              |
| ○      | SPRINKLER CONCRETE CURB |
| ○      | SEWER CONCRETE CURB     |
| ○      | SEWER GRANITE CURB      |
| ○      | SEWER LINE              |
| ○      | SEWER JUMP              |
| ○      | SEWER ELECTRIC          |
| ○      | SEWER/STORM ELECTRIC    |
| ○      | SEWER JUMP              |
| ○      | UTILITY POLE            |
| ○      | GAS VALVE               |
| ○      | WATER VALVE             |
| ○      | WELL                    |
| ○      | POLE                    |



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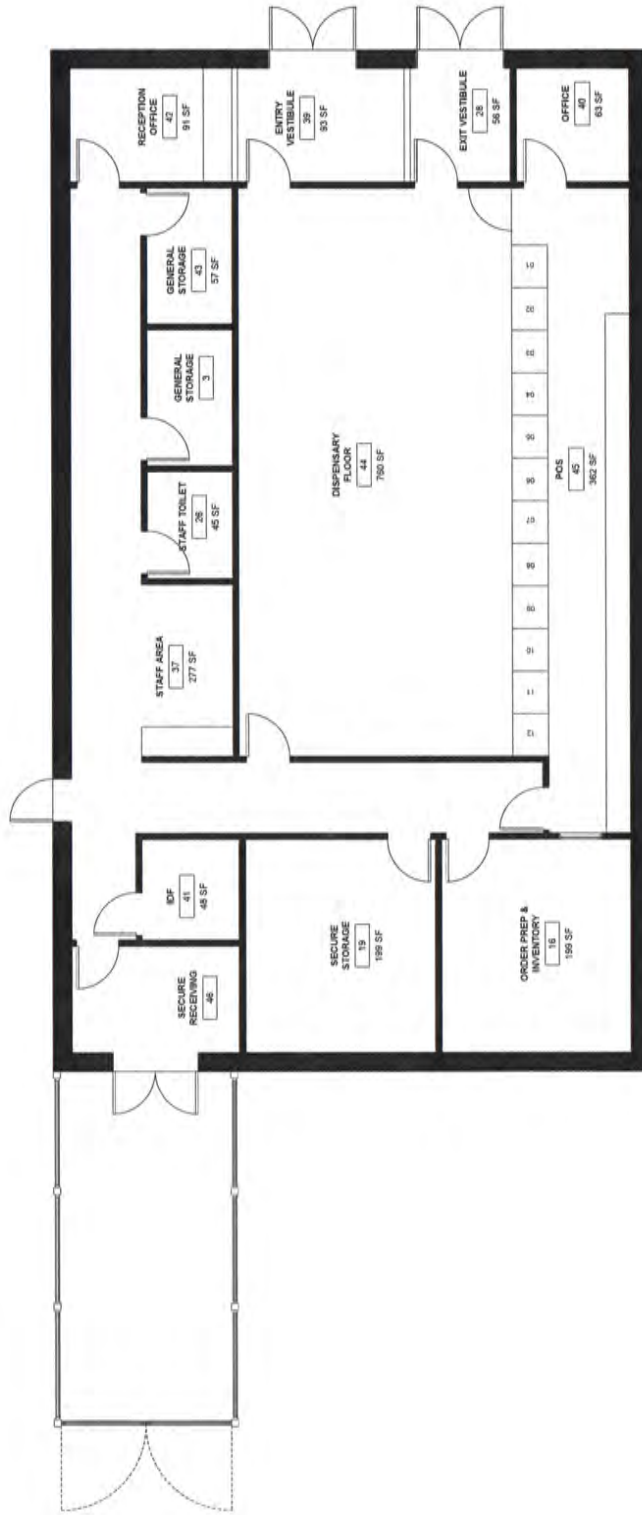
**CAVENEY**  
architectural collaborative, inc.  
138 WARREN ST ■ LOWELL, MA 01852  
info@caveneyarch.com  
978 - 770 - 0518

CAL VERDE  
MARLBOROUGH DISPENSARY  
218-27 BOSTON POST ROAD, MARLBOROUGH, MASSACHUSETTS

CONCEPT  
DESIGN

PROJECT NO. 1810-06  
DATE: 01/20/20  
DRAWN BY: M. CALIBRO  
REVISIONS  
NO. DATE NOTES

MAIN LEVEL  
FLOOR PLAN  
A1.0



1 MAIN LEVEL FLOOR PLAN  
1/4" = 1'-0"







RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH

2021 FEB 18 A 8:10

**Brian R. Falk**  
Mirick O'Connell  
100 Front Street  
Worcester, MA 01608-1477  
bfalk@mirickoconnell.com  
t 508.929.1678  
f 508.983.6256

February 17, 2021

**VIA EMAIL**

Councilor Michael Ossing, President  
Marlborough City Council  
City Hall  
Marlborough, MA 01752

Re: Alltown; 656 Boston Post Road East;  
Special Permit Application for a Drive-Thru Use

Dear Councilor Ossing:

On behalf of my client Global Montello Group Corp. ("Global"), I respectfully submit the enclosed application for a special permit to construct and operate a drive-thru facility to serve the existing Alltown convenience store and food service use at 656 Boston Post Road East. Global is also adding an outdoor dining area near the existing convenience store building.

This proposal is in addition to the ongoing interior renovations of the Alltown store at the site, and is intended to enhance customer convenience. The drive-thru will serve the Alltown store and does not involve the addition of another food and beverage operator at the site. The site design provides ample queuing capacity for vehicles using the drive-thru lane. Parking capacity at the site will remain at 30 spaces, which is roughly double what is required in the Wayside District. The preexisting nonconforming Mobile gas station and car wash uses will remain unchanged at the site.

In addition to a special permit, the project will require Site Plan Approval from the Site Plan Committee, and may require an Order of Conditions (or amended order) from the Conservation Commission.

Thank you for your time and attention to this matter.

Very truly yours,



Brian R. Falk

BRF/

Encl.

cc: Client

**CITY OF MARLBOROUGH  
OFFICE OF THE CITY CLERK**

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH  
2021 FEB 18 A 8:10

**APPLICATION TO CITY COUNCIL FOR ISSUANCE OF SPECIAL PERMIT**

1. Name and address of Petitioner or Applicant:

Global Montello Group Corp., 15 Northeast Industrial Road, Bradford, CT 06405

2. Specific Location of property including Assessor's Plate and Parcel Number.

656 Boston Post Road East, Parcel 61-2

3. Name and address of owner of land if other than Petitioner or Applicant:

Global Montello Group Corp., 15 Northeast Industrial Road, Bradford, CT 06405

4. Legal interest of Petitioner or Applicant (owner, lessee, prospective owner, etc.)

5. Specific Zoning Ordinance under which the Special Permit is sought:

IV + 650-12.B, 650-14.B(2), 650-17, 650-18  
Article V Section \_\_\_\_\_ Paragraph \_\_\_\_\_ Sub-paragraph \_\_\_\_\_

6. Zoning District in which property in question is located:

Wayside

7. Specific reason(s) for seeking Special Permit

The Applicant seeks a special permit to construct and operate a drive-thru facility to serve the current

Alltown convenience store and food service use at the site. The Applicant is also adding an outdoor dining  
area. The pre-existing nonconforming gasoline filling station and car wash uses at the site will continue  
unchanged.

8. List of names and addresses of abutter. SEPARATE SHEET ATTACHED

PETITION IS HEREBY MADE FOR THE ISSUANCE OF A SPECIAL PERMIT BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH AND IS BASED ON THE WITHIN PETITION OR APPLICATION AS FILED HERewith AND MADE PART OF SAID PETITION.



Signature of Petitioner or Applicant  
Brian R. Falk, Esq.  
Address: Mirick, O'Connell, DeMallie & Lougee, LLP  
100 Front Street  
Worcester, MA 01608

Telephone No. (508) 929-1678

Date: 2/16/2021

LIST OF NAMES AND ADDRESS OF ABUTTERS  
AS REQUESTED ON THE APPLICATION FOR SPECIAL PERMIT OF:

Global Montello Group Corp.

---

(Name of Petitioner)

FOR THE ISSUANCE OF SPECIAL PERMIT BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH UNDER CHAPTER 650, ZONING, OF THE CODE OF THE CITY OF MARLBOROUGH.

(Abutters as defined in §650-59, Section 4H, **Powers and Procedure of Special-Permit Granting Authorities**)



ABUTTERS 656 BOSTON POST RD EAST (61-2) 400 FT

| Parcel Number | GIS Number          | Carina Number | Property Address                  | Owner Name                        | Co-Owner Name | Owner Address                  | Owner Address 2          | Owner City       | Owner State | Owner Zip |
|---------------|---------------------|---------------|-----------------------------------|-----------------------------------|---------------|--------------------------------|--------------------------|------------------|-------------|-----------|
| 60-30         | M_199434_899<br>865 | 60-30-586-1   | 586 BOSTON<br>POST RD EAST<br>#1  | CHO CHONG                         |               | 236 OLD<br>LANCASTER RD        |                          | SUDBURY          | MA          | 01776     |
| 60-30         | M_199434_899<br>865 | 60-30-586-1   | 586 BOSTON<br>POST RD EAST<br>#1  | CHO CHONG                         |               | 236 OLD<br>LANCASTER RD        |                          | SUDBURY          | MA          | 01776     |
| 60-30         | M_199434_899<br>865 | 60-30-586-10  | 586 BOSTON<br>POST RD EAST<br>#10 | LIBERATORE<br>RICHARD H LI<br>EST |               | 586 BOSTON POST<br>RD EAST #10 |                          | MARLBOROUGH<br>H | MA          | 01752     |
| 60-30         | M_199434_899<br>865 | 60-30-586-10  | 586 BOSTON<br>POST RD EAST<br>#10 | LIBERATORE<br>RICHARD H LI<br>EST |               | 586 BOSTON POST<br>RD EAST #10 |                          | MARLBOROUGH<br>H | MA          | 01752     |
| 60-30         | M_199434_899<br>865 | 60-30-586-11  | 586 BOSTON<br>POST RD EAST<br>#11 | CRUZ<br>FABIANA A                 |               | 586 BOSTON POST<br>RD EAST #11 |                          | MARLBOROUGH<br>H | MA          | 01752     |
| 60-30         | M_199434_899<br>865 | 60-30-586-11  | 586 BOSTON<br>POST RD EAST<br>#11 | CRUZ<br>FABIANA A                 |               | 586 BOSTON POST<br>RD EAST #11 |                          | MARLBOROUGH<br>H | MA          | 01752     |
| 60-30         | M_199434_899<br>865 | 60-30-586-12  | 586 BOSTON<br>POST RD EAST<br>#12 | LAM PATRICK                       |               | 32 ADAMS RD                    |                          | SUDBURY          | MA          | 01776     |
| 60-30         | M_199434_899<br>865 | 60-30-586-12  | 586 BOSTON<br>POST RD EAST<br>#12 | LAM PATRICK                       |               | 32 ADAMS RD                    |                          | SUDBURY          | MA          | 01776     |
| 60-30         | M_199434_899<br>865 | 60-30-586-2   | 586 BOSTON<br>POST RD EAST<br>#2  | SILVA<br>MARINETE                 |               | 89 WILSON ST #1                | ATTN<br>MARINETE<br>LUNA | MARLBOROUGH<br>H | MA          | 01752     |
| 60-30         | M_199434_899<br>865 | 60-30-586-2   | 586 BOSTON<br>POST RD EAST<br>#2  | SILVA<br>MARINETE                 |               | 89 WILSON ST #1                | ATTN<br>MARINETE<br>LUNA | MARLBOROUGH<br>H | MA          | 01752     |
| 60-30         | M_199434_899<br>865 | 60-30-586-3   | 586 BOSTON<br>POST RD EAST<br>#3  | AZEREDO<br>ELIANA F               |               | 586 BOSTON POST<br>RD EAST #3  |                          | MARLBOROUGH<br>H | MA          | 01752     |
| 60-30         | M_199434_899<br>865 | 60-30-586-3   | 586 BOSTON<br>POST RD EAST<br>#3  | AZEREDO<br>ELIANA F               |               | 586 BOSTON POST<br>RD EAST #3  |                          | MARLBOROUGH<br>H | MA          | 01752     |
| 60-30         | M_199434_899<br>865 | 60-30-586-4   | 586 BOSTON<br>POST RD EAST<br>#4  | GONCALVES<br>DUILIO               |               | 19 RUTH DR                     |                          | MARLBOROUGH<br>H | MA          | 01752     |
| 60-30         | M_199434_899<br>865 | 60-30-586-4   | 586 BOSTON<br>POST RD EAST<br>#4  | GONCALVES<br>DUILIO               |               | 19 RUTH DR                     |                          | MARLBOROUGH<br>H | MA          | 01752     |

MARLBOROUGH ASSESSORS

*Handwritten signature and date*

|       |                     |              |                                   |                            |  |                               |                     |            |
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| 60-30 | M_199434_899<br>865 | 60-30-586-5  | 586 BOSTON<br>POST RD EAST<br>#5  | PAULA RONNE                |  | 586 BOSTON POST<br>RD EAST #5 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-586-5  | 586 BOSTON<br>POST RD EAST<br>#5  | PAULA RONNE                |  | 586 BOSTON POST<br>RD EAST #5 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-586-6  | 586 BOSTON<br>POST RD EAST<br>#6  | DIDIO<br>JACQUIE A         |  | 43 POPE ST                    | HUDSON MA           | 01749      |
| 60-30 | M_199434_899<br>865 | 60-30-586-6  | 586 BOSTON<br>POST RD EAST<br>#6  | DIDIO<br>JACQUIE A         |  | 43 POPE ST                    | HUDSON MA           | 01749      |
| 60-30 | M_199434_899<br>865 | 60-30-586-7  | 586 BOSTON<br>POST RD EAST<br>#7  | OLIVEIRA<br>NELJO          |  | 14 GATELY DR                  | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-586-7  | 586 BOSTON<br>POST RD EAST<br>#7  | OLIVEIRA<br>NELJO          |  | 14 GATELY DR                  | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-586-8  | 586 BOSTON<br>POST RD EAST<br>#8  | SANDRI<br>MARLENE          |  | 631 ELM ST                    | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-586-8  | 586 BOSTON<br>POST RD EAST<br>#8  | SANDRI<br>MARLENE          |  | 631 ELM ST                    | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-586-9  | 586 BOSTON<br>POST RD EAST<br>#9  | CHAMBERLAIN<br>THOMAS E JR |  | 586 BOSTON POST<br>RD EAST #9 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-586-9  | 586 BOSTON<br>POST RD EAST<br>#9  | CHAMBERLAIN<br>THOMAS E JR |  | 586 BOSTON POST<br>RD EAST #9 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-596-1  | 596 BOSTON<br>POST RD EAST<br>#1  | TAVARES<br>FERNANDA        |  | 23 BALCOM RD                  | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-596-1  | 596 BOSTON<br>POST RD EAST<br>#1  | TAVARES<br>FERNANDA        |  | 23 BALCOM RD                  | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-596-10 | 596 BOSTON<br>POST RD EAST<br>#10 | ALVES<br>LUCIANO           |  | 23 BALCOM RD                  | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-596-10 | 596 BOSTON<br>POST RD EAST<br>#10 | ALVES<br>LUCIANO           |  | 23 BALCOM RD                  | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-596-11 | 596 BOSTON<br>POST RD EAST<br>#11 | BLEAKLEY<br>JAMES R TR     |  | 20 LIBERTY AVE                | LEXINGTON MA        | 02420-3445 |

|       |                     |              |                                   |                         |  |                                |                     |            |
|-------|---------------------|--------------|-----------------------------------|-------------------------|--|--------------------------------|---------------------|------------|
| 60-30 | M_199434_899<br>865 | 60-30-596-11 | 596 BOSTON<br>POST RD EAST<br>#11 | BLEAKLEY<br>JAMES R TR  |  | 20 LIBERTY AVE                 | LEXINGTON MA        | 02420-3445 |
| 60-30 | M_199434_899<br>865 | 60-30-596-12 | 596 BOSTON<br>POST RD EAST<br>#12 | OMALLEY<br>SANDRA       |  | 15 MEETINGHOUSE<br>LN          | SOUTH<br>EASTON MA  | 02375      |
| 60-30 | M_199434_899<br>865 | 60-30-596-12 | 596 BOSTON<br>POST RD EAST<br>#12 | OMALLEY<br>SANDRA       |  | 15 MEETINGHOUSE<br>LN          | SOUTH<br>EASTON MA  | 02375      |
| 60-30 | M_199434_899<br>865 | 60-30-596-13 | 596 BOSTON<br>POST RD EAST<br>#13 | PRG LJS LLC             |  | 60 LEO<br>BIRMINGHAM PKWY      | BRIGHTON MA         | 02135      |
| 60-30 | M_199434_899<br>865 | 60-30-596-13 | 596 BOSTON<br>POST RD EAST<br>#13 | PRG LJS LLC             |  | 60 LEO<br>BIRMINGHAM PKWY      | BRIGHTON MA         | 02135      |
| 60-30 | M_199434_899<br>865 | 60-30-596-14 | 596 BOSTON<br>POST RD EAST<br>#14 | DIANA<br>MICHAEL A      |  | 4 VOYAGERS LN                  | ASHLAND MA          | 01721      |
| 60-30 | M_199434_899<br>865 | 60-30-596-14 | 596 BOSTON<br>POST RD EAST<br>#14 | DIANA<br>MICHAEL A      |  | 4 VOYAGERS LN                  | ASHLAND MA          | 01721      |
| 60-30 | M_199434_899<br>865 | 60-30-596-15 | 596 BOSTON<br>POST RD EAST<br>#15 | OLIVEIRA<br>MARCILENE S |  | 596 BOSTON POST<br>RD EAST #15 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-596-15 | 596 BOSTON<br>POST RD EAST<br>#15 | OLIVEIRA<br>MARCILENE S |  | 596 BOSTON POST<br>RD EAST #15 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-596-16 | 596 BOSTON<br>POST RD EAST<br>#16 | CIERI KAREN<br>A        |  | 596 BOSTON POST<br>RD EAST #16 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-596-16 | 596 BOSTON<br>POST RD EAST<br>#16 | CIERI KAREN<br>A        |  | 596 BOSTON POST<br>RD EAST #16 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-596-17 | 596 BOSTON<br>POST RD EAST<br>#17 | BASSETTI<br>JACIMAR T   |  | 15 DICKENSON WAY<br>#82L       | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-596-17 | 596 BOSTON<br>POST RD EAST<br>#17 | BASSETTI<br>JACIMAR T   |  | 15 DICKENSON WAY<br>#82L       | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-596-18 | 596 BOSTON<br>POST RD EAST<br>#18 | DAROS MARIA<br>D        |  | 596 BOSTON POST<br>RD EAST #18 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-596-18 | 596 BOSTON<br>POST RD EAST<br>#18 | DAROS MARIA<br>D        |  | 596 BOSTON POST<br>RD EAST #18 | MARLBOROUGH MA<br>H | 01752      |

|       |                     |              |                                   |                          |  |                                |                      |       |
|-------|---------------------|--------------|-----------------------------------|--------------------------|--|--------------------------------|----------------------|-------|
| 60-30 | M_199434_899<br>865 | 60-30-596-19 | 596 BOSTON<br>POST RD EAST<br>#19 | PAGE<br>MICHAEL          |  | 50 PAGE RD                     | WESTON MA            | 02193 |
| 60-30 | M_199434_899<br>865 | 60-30-596-19 | 596 BOSTON<br>POST RD EAST<br>#19 | PAGE<br>MICHAEL          |  | 50 PAGE RD                     | WESTON MA            | 02193 |
| 60-30 | M_199434_899<br>865 | 60-30-596-2  | 596 BOSTON<br>POST RD EAST<br>#2  | TAVARES<br>FERNANDA A    |  | 596 BOSTON POST<br>RD EAST #2  | MARLBOROUGH MA<br>H  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-596-2  | 596 BOSTON<br>POST RD EAST<br>#2  | TAVARES<br>FERNANDA A    |  | 596 BOSTON POST<br>RD EAST #2  | MARLBOROUGH MA<br>H  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-596-20 | 596 BOSTON<br>POST RD EAST<br>#20 | MARIA<br>MARTIN TR       |  | PO BOX 272                     | WESTBOROUGH MA<br>GH | 01581 |
| 60-30 | M_199434_899<br>865 | 60-30-596-20 | 596 BOSTON<br>POST RD EAST<br>#20 | MARIA<br>MARTIN TR       |  | PO BOX 272                     | WESTBOROUGH MA<br>GH | 01581 |
| 60-30 | M_199434_899<br>865 | 60-30-596-21 | 596 BOSTON<br>POST RD EAST<br>#21 | CHEN<br>YINGXUE          |  | 103 CANTERBURY<br>HILL RD      | ACTON MA             | 01720 |
| 60-30 | M_199434_899<br>865 | 60-30-596-21 | 596 BOSTON<br>POST RD EAST<br>#21 | CHEN<br>YINGXUE          |  | 103 CANTERBURY<br>HILL RD      | ACTON MA             | 01720 |
| 60-30 | M_199434_899<br>865 | 60-30-596-22 | 596 BOSTON<br>POST RD EAST<br>#22 | OSMAN<br>JEFFREY L       |  | 596 BOSTON POST<br>RD EAST #22 | MARLBOROUGH MA<br>H  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-596-22 | 596 BOSTON<br>POST RD EAST<br>#22 | OSMAN<br>JEFFREY L       |  | 596 BOSTON POST<br>RD EAST #22 | MARLBOROUGH MA<br>H  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-596-23 | 596 BOSTON<br>POST RD EAST<br>#23 | MILIOLI<br>JULIANO       |  | 596 BOSTON POST<br>RD EAST #23 | MARLBOROUGH MA<br>H  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-596-23 | 596 BOSTON<br>POST RD EAST<br>#23 | MILIOLI<br>JULIANO       |  | 596 BOSTON POST<br>RD EAST #23 | MARLBOROUGH MA<br>H  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-596-24 | 596 BOSTON<br>POST RD EAST<br>#24 | THORNTON<br>JOHN P       |  | 596 BOSTON POST<br>RD EAST #24 | MARLBOROUGH MA<br>H  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-596-24 | 596 BOSTON<br>POST RD EAST<br>#24 | THORNTON<br>JOHN P       |  | 596 BOSTON POST<br>RD EAST #24 | MARLBOROUGH MA<br>H  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-596-3  | 596 BOSTON<br>POST RD EAST<br>#3  | RICHARDSON<br>CLIFFORD D |  | 12 KILLEEN RD                  | E WALPOLE MA         | 02032 |

|       |                     |              |                                   |                           |                                |                 |       |
|-------|---------------------|--------------|-----------------------------------|---------------------------|--------------------------------|-----------------|-------|
| 60-30 | M_199434_899<br>865 | 60-30-596-3  | 596 BOSTON<br>POST RD EAST<br>#3  | RICHARDSON<br>CLIFFORD D  | 12 KILLEEN RD                  | E WALPOLE MA    | 02032 |
| 60-30 | M_199434_899<br>865 | 60-30-596-5  | 596 BOSTON<br>POST RD EAST<br>#5  | HEFFERNAN<br>WILLIAM F JR | 30A LACKEY ST                  | WESTBORO MA     | 01581 |
| 60-30 | M_199434_899<br>865 | 60-30-596-5  | 596 BOSTON<br>POST RD EAST<br>#5  | HEFFERNAN<br>WILLIAM F JR | 30A LACKEY ST                  | WESTBORO MA     | 01581 |
| 60-30 | M_199434_899<br>865 | 60-30-596-6  | 596 BOSTON<br>POST RD EAST<br>#6  | SILVA PAULO<br>FERNANDO   | 50 BELAIR HEIGHTS              | LEOMINSTER MA   | 01453 |
| 60-30 | M_199434_899<br>865 | 60-30-596-6  | 596 BOSTON<br>POST RD EAST<br>#6  | SILVA PAULO<br>FERNANDO   | 50 BELAIR HEIGHTS              | LEOMINSTER MA   | 01453 |
| 60-30 | M_199434_899<br>865 | 60-30-596-7  | 596 BOSTON<br>POST RD EAST<br>#7  | HEFFERNAN<br>KAREN A TR   | 30A LACKEY ST                  | WESTBORO MA     | 01581 |
| 60-30 | M_199434_899<br>865 | 60-30-596-7  | 596 BOSTON<br>POST RD EAST<br>#7  | HEFFERNAN<br>KAREN A TR   | 30A LACKEY ST                  | WESTBORO MA     | 01581 |
| 60-30 | M_199434_899<br>865 | 60-30-596-8  | 596 BOSTON<br>POST RD EAST<br>#8  | TAVARES<br>FERNANDA A     | 23 BALCOM RD                   | MARLBOROUGH MA  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-596-8  | 596 BOSTON<br>POST RD EAST<br>#8  | TAVARES<br>FERNANDA A     | 23 BALCOM RD                   | MARLBOROUGH MA  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-596-9  | 596 BOSTON<br>POST RD EAST<br>#9  | TRINDADE<br>MARCO A       | 596 BOSTON POST<br>RD EAST #18 | MARLBOROUGH MA  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-596-9  | 596 BOSTON<br>POST RD EAST<br>#9  | TRINDADE<br>MARCO A       | 596 BOSTON POST<br>RD EAST #18 | MARLBOROUGH MA  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-1  | 608 BOSTON<br>POST RD EAST<br>#1  | DASILVA<br>SAYONARA K     | 95 COOLIDGE CIR                | NORTHBOROUGH MA | 01732 |
| 60-30 | M_199434_899<br>865 | 60-30-608-1  | 608 BOSTON<br>POST RD EAST<br>#1  | DASILVA<br>SAYONARA K     | 95 COOLIDGE CIR                | NORTHBOROUGH MA | 01732 |
| 60-30 | M_199434_899<br>865 | 60-30-608-10 | 608 BOSTON<br>POST RD EAST<br>#10 | KREMER<br>RICHARD H       | 608 BOSTON POST<br>RD EAST #10 | MARLBOROUGH MA  | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-10 | 608 BOSTON<br>POST RD EAST<br>#10 | KREMER<br>RICHARD H       | 608 BOSTON POST<br>RD EAST #10 | MARLBOROUGH MA  | 01752 |

|       |                     |              |                                   |                               |  |                                |           |                     |       |
|-------|---------------------|--------------|-----------------------------------|-------------------------------|--|--------------------------------|-----------|---------------------|-------|
| 60-30 | M_199434_899<br>865 | 60-30-608-11 | 608 BOSTON<br>POST RD EAST<br>#11 | PRG LJS LLC                   |  | 60 LEO<br>BIRMINGHAM PKWY      | 3RD FLOOR | BRIGHTON MA         | 02135 |
| 60-30 | M_199434_899<br>865 | 60-30-608-11 | 608 BOSTON<br>POST RD EAST<br>#11 | PRG LJS LLC                   |  | 60 LEO<br>BIRMINGHAM PKWY      | 3RD FLOOR | BRIGHTON MA         | 02135 |
| 60-30 | M_199434_899<br>865 | 60-30-608-12 | 608 BOSTON<br>POST RD EAST<br>#12 | BAUER JAMES<br>TR             |  | 41 OAKVALE RD                  |           | FRAMINGHAM MA       | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-608-12 | 608 BOSTON<br>POST RD EAST<br>#12 | BAUER JAMES<br>TR             |  | 41 OAKVALE RD                  |           | FRAMINGHAM MA       | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-608-13 | 608 BOSTON<br>POST RD EAST<br>#13 | TEIXEIRA<br>BRIAN L           |  | 608 BOSTON POST<br>RD EAST #13 |           | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-13 | 608 BOSTON<br>POST RD EAST<br>#13 | TEIXEIRA<br>BRIAN L           |  | 608 BOSTON POST<br>RD EAST #13 |           | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-14 | 608 BOSTON<br>POST RD EAST<br>#14 | BLEAKLEY<br>JAMES R TR        |  | 20 LIBERTY AVE                 |           | LEXINGTON MA        | 02420 |
| 60-30 | M_199434_899<br>865 | 60-30-608-14 | 608 BOSTON<br>POST RD EAST<br>#14 | BLEAKLEY<br>JAMES R TR        |  | 20 LIBERTY AVE                 |           | LEXINGTON MA        | 02420 |
| 60-30 | M_199434_899<br>865 | 60-30-608-15 | 608 BOSTON<br>POST RD EAST<br>#15 | SONI AMIT                     |  | 1249 ELM ST                    |           | CONCORD MA          | 01742 |
| 60-30 | M_199434_899<br>865 | 60-30-608-15 | 608 BOSTON<br>POST RD EAST<br>#15 | SONI AMIT                     |  | 1249 ELM ST                    |           | CONCORD MA          | 01742 |
| 60-30 | M_199434_899<br>865 | 60-30-608-16 | 608 BOSTON<br>POST RD EAST<br>#16 | ALCANTARA<br>LEANDRO F        |  | 8 LILAC CIR                    |           | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-16 | 608 BOSTON<br>POST RD EAST<br>#16 | ALCANTARA<br>LEANDRO F        |  | 8 LILAC CIR                    |           | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-17 | 608 BOSTON<br>POST RD EAST<br>#17 | DEAZEREDO<br>ALAIOR<br>FLORES |  | 608 BOSTON POST<br>RD EAST #17 |           | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-17 | 608 BOSTON<br>POST RD EAST<br>#17 | DEAZEREDO<br>ALAIOR<br>FLORES |  | 608 BOSTON POST<br>RD EAST #17 |           | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-18 | 608 BOSTON<br>POST RD EAST<br>#18 | ZULAWNIK<br>LEILA R           |  | 15 LAKESHORE DR                |           | HUDSON MA           | 01749 |

|       |                     |              |                                   |                            |                                |                        |       |
|-------|---------------------|--------------|-----------------------------------|----------------------------|--------------------------------|------------------------|-------|
| 60-30 | M_199434_899<br>865 | 60-30-608-18 | 608 BOSTON<br>POST RD EAST<br>#18 | ZULAWNIK<br>LEILA R        | 15 LAKESHORE DR                | HUDSON<br>MA           | 01749 |
| 60-30 | M_199434_899<br>865 | 60-30-608-19 | 608 BOSTON<br>POST RD EAST<br>#19 | LI LI                      | PO BOX 52635                   | BOSTON<br>MA           | 02205 |
| 60-30 | M_199434_899<br>865 | 60-30-608-19 | 608 BOSTON<br>POST RD EAST<br>#19 | LI LI                      | PO BOX 52635                   | BOSTON<br>MA           | 02205 |
| 60-30 | M_199434_899<br>865 | 60-30-608-2  | 608 BOSTON<br>POST RD EAST<br>#2  | OLIVEIRA<br>DIVINO P       | 54 HOSMER ST                   | MARLBOROUGH<br>MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-2  | 608 BOSTON<br>POST RD EAST<br>#2  | OLIVEIRA<br>DIVINO P       | 54 HOSMER ST                   | MARLBOROUGH<br>MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-20 | 608 BOSTON<br>POST RD EAST<br>#20 | LEVY DAVID J               | 42 DAVIS FARM RD               | ASHLAND<br>MA          | 01721 |
| 60-30 | M_199434_899<br>865 | 60-30-608-20 | 608 BOSTON<br>POST RD EAST<br>#20 | LEVY DAVID J               | 42 DAVIS FARM RD               | ASHLAND<br>MA          | 01721 |
| 60-30 | M_199434_899<br>865 | 60-30-608-21 | 608 BOSTON<br>POST RD EAST<br>#21 | LEVY DAVID J               | 42 DAVIS FARM RD               | ASHLAND<br>MA          | 01721 |
| 60-30 | M_199434_899<br>865 | 60-30-608-21 | 608 BOSTON<br>POST RD EAST<br>#21 | LEVY DAVID J               | 42 DAVIS FARM RD               | ASHLAND<br>MA          | 01721 |
| 60-30 | M_199434_899<br>865 | 60-30-608-22 | 608 BOSTON<br>POST RD EAST<br>#22 | SRE<br>PROPERTIES<br>3 LLC | 98 BISHOPS<br>FOREST DR        | WALTHAM<br>MA          | 02452 |
| 60-30 | M_199434_899<br>865 | 60-30-608-22 | 608 BOSTON<br>POST RD EAST<br>#22 | SRE<br>PROPERTIES<br>3 LLC | 98 BISHOPS<br>FOREST DR        | WALTHAM<br>MA          | 02452 |
| 60-30 | M_199434_899<br>865 | 60-30-608-23 | 608 BOSTON<br>POST RD EAST<br>#23 | LEWIS<br>MEAGHAN A         | 608 BOSTON POST<br>RD EAST #23 | MARLBOROUGH<br>MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-23 | 608 BOSTON<br>POST RD EAST<br>#23 | LEWIS<br>MEAGHAN A         | 608 BOSTON POST<br>RD EAST #23 | MARLBOROUGH<br>MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-24 | 608 BOSTON<br>POST RD EAST<br>#24 | LAMPILA<br>STEPHANIE       | 608 BOSTON POST<br>RD EAST #24 | MARLBOROUGH<br>MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-24 | 608 BOSTON<br>POST RD EAST<br>#24 | LAMPILA<br>STEPHANIE       | 608 BOSTON POST<br>RD EAST #24 | MARLBOROUGH<br>MA<br>H | 01752 |

|       |                     |              |                                   |                            |  |                                |                     |       |
|-------|---------------------|--------------|-----------------------------------|----------------------------|--|--------------------------------|---------------------|-------|
| 60-30 | M_199434_899<br>865 | 60-30-608-25 | 608 BOSTON<br>POST RD EAST<br>#25 | DEVELLIS<br>STEPHEN        |  | 608 BOSTON POST<br>RD EAST #25 | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-25 | 608 BOSTON<br>POST RD EAST<br>#25 | DEVELLIS<br>STEPHEN        |  | 608 BOSTON POST<br>RD EAST #25 | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-4  | 608 BOSTON<br>POST RD EAST<br>#4  | BAUER JAMES<br>TR          |  | 41 OAKVALE RD                  | FRAMINGHAM MA       | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-608-4  | 608 BOSTON<br>POST RD EAST<br>#4  | BAUER JAMES<br>TR          |  | 41 OAKVALE RD                  | FRAMINGHAM MA       | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-608-5  | 608 BOSTON<br>POST RD EAST<br>#5  | HAWILLA<br>SAMMY           |  | 608 BOSTON POST<br>RD EAST #5  | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-5  | 608 BOSTON<br>POST RD EAST<br>#5  | HAWILLA<br>SAMMY           |  | 608 BOSTON POST<br>RD EAST #5  | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-6  | 608 BOSTON<br>POST RD EAST<br>#6  | SRE<br>PROPERTIES<br>3 LLC |  | 98 BISHOPS<br>FOREST DR        | WALTHAM MA          | 02452 |
| 60-30 | M_199434_899<br>865 | 60-30-608-6  | 608 BOSTON<br>POST RD EAST<br>#6  | SRE<br>PROPERTIES<br>3 LLC |  | 98 BISHOPS<br>FOREST DR        | WALTHAM MA          | 02452 |
| 60-30 | M_199434_899<br>865 | 60-30-608-7  | 608 BOSTON<br>POST RD EAST<br>#7  | JEAN-<br>MICHAEL<br>GERARD |  | 608 BOSTON POST<br>RD EAST #7  | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-7  | 608 BOSTON<br>POST RD EAST<br>#7  | JEAN-<br>MICHAEL<br>GERARD |  | 608 BOSTON POST<br>RD EAST #7  | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-8  | 608 BOSTON<br>POST RD EAST<br>#8  | TAVARES<br>FERNANDO        |  | 23 BALCOM RD                   | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-8  | 608 BOSTON<br>POST RD EAST<br>#8  | TAVARES<br>FERNANDO        |  | 23 BALCOM RD                   | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-9  | 608 BOSTON<br>POST RD EAST<br>#9  | MARTINS<br>MARGARIDA<br>TR |  | 608 BOSTON POST<br>RD EAST #9  | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-608-9  | 608 BOSTON<br>POST RD EAST<br>#9  | MARTINS<br>MARGARIDA<br>TR |  | 608 BOSTON POST<br>RD EAST #9  | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-618-1  | 616 BOSTON<br>POST RD EAST<br>#1  | GROSSI<br>WILLIAM          |  | 36 LONGEDGE RD                 | CLINTON MA          | 01510 |



|       |                     |              |                                   |                        |  |                                 |                     |       |
|-------|---------------------|--------------|-----------------------------------|------------------------|--|---------------------------------|---------------------|-------|
| 60-30 | M_199434_899<br>865 | 60-30-616-1  | 616 BOSTON<br>POST RD EAST<br>#1  | GROSSI<br>WILLIAM      |  | 36 LONGEDGE RD                  | CLINTON MA          | 01510 |
| 60-30 | M_199434_899<br>865 | 60-30-616-10 | 616 BOSTON<br>POST RD EAST<br>#10 | BOAVENTURA<br>GILMAR M |  | 62 GREENWOOD ST                 | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-10 | 616 BOSTON<br>POST RD EAST<br>#10 | BOAVENTURA<br>GILMAR M |  | 62 GREENWOOD ST                 | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-11 | 616 BOSTON<br>POST RD EAST<br>#11 | KAY GISELE             |  | 688 BOSTON POST<br>RD EAST #122 | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-11 | 616 BOSTON<br>POST RD EAST<br>#11 | KAY GISELE             |  | 688 BOSTON POST<br>RD EAST #122 | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-12 | 616 BOSTON<br>POST RD EAST<br>#12 | MEHTA<br>MEENA A       |  | 45 EWALD AVE                    | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-12 | 616 BOSTON<br>POST RD EAST<br>#12 | MEHTA<br>MEENA A       |  | 45 EWALD AVE                    | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-13 | 616 BOSTON<br>POST RD EAST<br>#13 | CONCALVES<br>DANIELA   |  | 19 RUTH DR                      | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-13 | 616 BOSTON<br>POST RD EAST<br>#13 | CONCALVES<br>DANIELA   |  | 19 RUTH DR                      | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-14 | 616 BOSTON<br>POST RD EAST<br>#14 | PAREENE<br>DANIEL M    |  | 555 CHESTNUT ST                 | ASHLAND MA          | 01724 |
| 60-30 | M_199434_899<br>865 | 60-30-616-14 | 616 BOSTON<br>POST RD EAST<br>#14 | PAREENE<br>DANIEL M    |  | 555 CHESTNUT ST                 | ASHLAND MA          | 01724 |
| 60-30 | M_199434_899<br>865 | 60-30-616-15 | 616 BOSTON<br>POST RD EAST<br>#15 | NICHOLAS<br>PAUL       |  | 21 ADAMS DR                     | STOW MA             | 01775 |
| 60-30 | M_199434_899<br>865 | 60-30-616-15 | 616 BOSTON<br>POST RD EAST<br>#15 | NICHOLAS<br>PAUL       |  | 21 ADAMS DR                     | STOW MA             | 01775 |
| 60-30 | M_199434_899<br>865 | 60-30-616-16 | 616 BOSTON<br>POST RD EAST<br>#16 | SLATKAVITZ<br>ALAN E   |  | 616 BOSTON POST<br>RD EAST #16  | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-16 | 616 BOSTON<br>POST RD EAST<br>#16 | SLATKAVITZ<br>ALAN E   |  | 616 BOSTON POST<br>RD EAST #16  | MARLBOROUGH MA<br>H | 01752 |

|       |                     |              |                                   |                         |  |                                |                     |            |
|-------|---------------------|--------------|-----------------------------------|-------------------------|--|--------------------------------|---------------------|------------|
| 60-30 | M_199434_899<br>865 | 60-30-616-17 | 616 BOSTON<br>POST RD EAST<br>#17 | JAMBA<br>NICHOLAS       |  | 49 FORT POND LN                | LANCASTER MA        | 01523-3231 |
| 60-30 | M_199434_899<br>866 | 60-30-616-17 | 616 BOSTON<br>POST RD EAST<br>#17 | JAMBA<br>NICHOLAS       |  | 49 FORT POND LN                | LANCASTER MA        | 01523-3231 |
| 60-30 | M_199434_899<br>865 | 60-30-616-18 | 616 BOSTON<br>POST RD EAST<br>#18 | BOAVENTURA<br>GILMAR M  |  | 62 GREENWOOD ST                | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-18 | 616 BOSTON<br>POST RD EAST<br>#18 | BOAVENTURA<br>GILMAR M  |  | 62 GREENWOOD ST                | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-19 | 616 BOSTON<br>POST RD EAST<br>#19 | LANES<br>HARLEN         |  | 38 LEOLEIS DR                  | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-19 | 616 BOSTON<br>POST RD EAST<br>#19 | LANES<br>HARLEN         |  | 38 LEOLEIS DR                  | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-2  | 616 BOSTON<br>POST RD EAST<br>#2  | ELLIS LORI A            |  | 616 BOSTON POST<br>RD EAST #2  | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-2  | 616 BOSTON<br>POST RD EAST<br>#2  | ELLIS LORI A            |  | 616 BOSTON POST<br>RD EAST #2  | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-20 | 616 BOSTON<br>POST RD EAST<br>#20 | ST PIERRE<br>TERRENCE W |  | 42281 GALESHEAD<br>CT          | TEMECULA CA         | 92592-7222 |
| 60-30 | M_199434_899<br>865 | 60-30-616-20 | 616 BOSTON<br>POST RD EAST<br>#20 | ST PIERRE<br>TERRENCE W |  | 42281 GALESHEAD<br>CT          | TEMECULA CA         | 92592-7222 |
| 60-30 | M_199434_899<br>866 | 60-30-616-21 | 616 BOSTON<br>POST RD EAST<br>#21 | ANDRADE<br>EXPEDITA     |  | 616 BOSTON POST<br>RD EAST #21 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-21 | 616 BOSTON<br>POST RD EAST<br>#21 | ANDRADE<br>EXPEDITA     |  | 616 BOSTON POST<br>RD EAST #21 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-22 | 616 BOSTON<br>POST RD EAST<br>#22 | BURKE<br>GREGORY        |  | 51 MAIDEN LN                   | WAYLAND MA          | 01778      |
| 60-30 | M_199434_899<br>865 | 60-30-616-22 | 616 BOSTON<br>POST RD EAST<br>#22 | BURKE<br>GREGORY        |  | 51 MAIDEN LN                   | WAYLAND MA          | 01778      |
| 60-30 | M_199434_899<br>865 | 60-30-616-23 | 616 BOSTON<br>POST RD EAST<br>#23 | DEFREITAS<br>BLAINE J   |  | ONE PLEASANT ST                | MAYNARD MA          | 01754      |

|       |                     |              |                                   |                          |  |                                |                   |            |
|-------|---------------------|--------------|-----------------------------------|--------------------------|--|--------------------------------|-------------------|------------|
| 60-30 | M_199434_899<br>865 | 60-30-616-23 | 616 BOSTON<br>POST RD EAST<br>#23 | DEFREITAS<br>BLAINE J    |  | ONE PLEASANT ST                | MAYNARD<br>MA     | 01754      |
| 60-30 | M_199434_899<br>865 | 60-30-616-24 | 616 BOSTON<br>POST RD EAST<br>#24 | LANE<br>CHRISTINE E      |  | 30 MYRICK ST                   | AYER<br>MA        | 01432      |
| 60-30 | M_199434_899<br>865 | 60-30-616-24 | 616 BOSTON<br>POST RD EAST<br>#24 | LANE<br>CHRISTINE E      |  | 30 MYRICK ST                   | AYER<br>MA        | 01432      |
| 60-30 | M_199434_899<br>865 | 60-30-616-25 | 616 BOSTON<br>POST RD EAST<br>#25 | GONCALVES<br>DUILIO      |  | 616 BOSTON POST<br>RD EAST #25 | MARLBOROUGH<br>MA | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-25 | 616 BOSTON<br>POST RD EAST<br>#25 | GONCALVES<br>DUILIO      |  | 616 BOSTON POST<br>RD EAST #25 | MARLBOROUGH<br>MA | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-26 | 616 BOSTON<br>POST RD EAST<br>#26 | BLEAKLEY<br>ELENA TR     |  | 20 LIBERTY AVE                 | LEXINGTON<br>MA   | 02420-3445 |
| 60-30 | M_199434_899<br>865 | 60-30-616-26 | 616 BOSTON<br>POST RD EAST<br>#26 | BLEAKLEY<br>ELENA TR     |  | 20 LIBERTY AVE                 | LEXINGTON<br>MA   | 02420-3445 |
| 60-30 | M_199434_899<br>865 | 60-30-616-27 | 616 BOSTON<br>POST RD EAST<br>#27 | DESCHENEAU<br>X WEI YANG |  | 163 PLEASANT ST                | UPTON<br>MA       | 01568      |
| 60-30 | M_199434_899<br>865 | 60-30-616-27 | 616 BOSTON<br>POST RD EAST<br>#27 | DESCHENEAU<br>X WEI YANG |  | 163 PLEASANT ST                | UPTON<br>MA       | 01568      |
| 60-30 | M_199434_899<br>865 | 60-30-616-28 | 616 BOSTON<br>POST RD EAST<br>#28 | MARIA<br>MARTIN TR       |  | PO BOX 272                     | WESTBOROUGH<br>MA | 01581      |
| 60-30 | M_199434_899<br>865 | 60-30-616-28 | 616 BOSTON<br>POST RD EAST<br>#28 | MARIA<br>MARTIN TR       |  | PO BOX 272                     | WESTBOROUGH<br>MA | 01581      |
| 60-30 | M_199434_899<br>865 | 60-30-616-29 | 616 BOSTON<br>POST RD EAST<br>#29 | NYLAND<br>FERNANDA       |  | 616 BOSTON POST<br>RD EAST #29 | MARLBOROUGH<br>MA | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-29 | 616 BOSTON<br>POST RD EAST<br>#29 | NYLAND<br>FERNANDA       |  | 616 BOSTON POST<br>RD EAST #29 | MARLBOROUGH<br>MA | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-3  | 616 BOSTON<br>POST RD EAST<br>#3  | ZIZZA<br>CHRISTOPHE<br>R |  | 616 BOSTON POST<br>RD EAST #3  | MARLBOROUGH<br>MA | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-616-3  | 616 BOSTON<br>POST RD EAST<br>#3  | ZIZZA<br>CHRISTOPHE<br>R |  | 616 BOSTON POST<br>RD EAST #3  | MARLBOROUGH<br>MA | 01752      |

|       |                     |              |                                   |                    |  |                                   |         |                           |       |
|-------|---------------------|--------------|-----------------------------------|--------------------|--|-----------------------------------|---------|---------------------------|-------|
| 60-30 | M_199434_899<br>865 | 60-30-616-30 | 616 BOSTON<br>POST RD EAST<br>#30 | FREEDMAN<br>EDWARD |  | 616 BOSTON POST<br>RD EAST #30    | UNIT 30 | MARLBOROUGH<br>MA         | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-30 | 616 BOSTON<br>POST RD EAST<br>#30 | FREEDMAN<br>EDWARD |  | 616 BOSTON POST<br>RD EAST #30    | UNIT 30 | MARLBOROUGH<br>MA         | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-4  | 616 BOSTON<br>POST RD EAST<br>#4  | ZAHID BRAHIM       |  | 215 HARVARD ST<br>UNIT #15        |         | MEDFORD<br>MA             | 02155 |
| 60-30 | M_199434_899<br>865 | 60-30-616-4  | 616 BOSTON<br>POST RD EAST<br>#4  | ZAHID BRAHIM       |  | 215 HARVARD ST<br>UNIT #15        |         | MEDFORD<br>MA             | 02155 |
| 60-30 | M_199434_899<br>865 | 60-30-616-5  | 616 BOSTON<br>POST RD EAST<br>#5  | BAUER JAMES<br>TR  |  | 41 OAKVALE RD                     |         | FRAMINGHAM<br>MA          | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-616-5  | 616 BOSTON<br>POST RD EAST<br>#5  | BAUER JAMES<br>TR  |  | 41 OAKVALE RD                     |         | FRAMINGHAM<br>MA          | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-616-7  | 616 BOSTON<br>POST RD EAST<br>#7  | WEENER<br>STEVEN   |  | 17 WAYSIDE AVE                    |         | FRAMINGHAM<br>MA          | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-616-7  | 616 BOSTON<br>POST RD EAST<br>#7  | WEENER<br>STEVEN   |  | 17 WAYSIDE AVE                    |         | FRAMINGHAM<br>MA          | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-616-8  | 616 BOSTON<br>POST RD EAST<br>#8  | BAKER<br>KENNETH H |  | 131 LEOLEIS DR                    |         | MARLBOROUGH<br>MA         | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-8  | 616 BOSTON<br>POST RD EAST<br>#8  | BAKER<br>KENNETH H |  | 131 LEOLEIS DR                    |         | MARLBOROUGH<br>MA         | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-616-9  | 616 BOSTON<br>POST RD EAST<br>#9  | ABU DAVID L<br>TR  |  | 200 PACIFIC COAST<br>HIGHWAY #408 |         | HUNTINGTON<br>BEACH<br>CA | 92648 |
| 60-30 | M_199434_899<br>865 | 60-30-624-1  | 624 BOSTON<br>POST RD EAST<br>#1  | CHO CHONG<br>M     |  | 236 OLD<br>LANCASTER RD           |         | SUDBURY<br>MA             | 01776 |
| 60-30 | M_199434_899<br>865 | 60-30-624-1  | 624 BOSTON<br>POST RD EAST<br>#1  | CHO CHONG<br>M     |  | 236 OLD<br>LANCASTER RD           |         | SUDBURY<br>MA             | 01776 |
| 60-30 | M_199434_899<br>865 | 60-30-624-10 | 624 BOSTON<br>POST RD EAST<br>#10 | CHEN CHIU<br>YANG  |  | 35 CHURCH ST                      |         | GRAFTON<br>MA             | 01519 |

|       |                     |              |                                   |                                       |  |                                |                     |            |
|-------|---------------------|--------------|-----------------------------------|---------------------------------------|--|--------------------------------|---------------------|------------|
| 60-30 | M_199434_899<br>865 | 60-30-624-10 | 624 BOSTON<br>POST RD EAST<br>#10 | CHEN CHIU<br>YANG                     |  | 35 CHURCH ST                   | GRAFTON MA          | 01519      |
| 60-30 | M_199434_899<br>865 | 60-30-624-11 | 624 BOSTON<br>POST RD EAST<br>#11 | LAM JERRY                             |  | 18 GRAYSTONE RD                | STONEHAM MA         | 02180-2708 |
| 60-30 | M_199434_899<br>865 | 60-30-624-11 | 624 BOSTON<br>POST RD EAST<br>#11 | LAM JERRY                             |  | 18 GRAYSTONE RD                | STONEHAM MA         | 02180-2708 |
| 60-30 | M_199434_899<br>865 | 60-30-624-12 | 624 BOSTON<br>POST RD EAST<br>#12 | CAMAROTA<br>HEATHER A                 |  | 624 BOSTON POST<br>RD EAST #12 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-624-12 | 624 BOSTON<br>POST RD EAST<br>#12 | CAMAROTA<br>HEATHER A                 |  | 624 BOSTON POST<br>RD EAST #12 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-624-13 | 624 BOSTON<br>POST RD EAST<br>#13 | FALLER<br>WILLIAM M                   |  | 624 BOSTON POST<br>RD EAST #13 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-624-13 | 624 BOSTON<br>POST RD EAST<br>#13 | FALLER<br>WILLIAM M                   |  | 624 BOSTON POST<br>RD EAST #13 | MARLBOROUGH MA<br>H | 01752      |
| 60-30 | M_199434_899<br>865 | 60-30-624-14 | 624 BOSTON<br>POST RD EAST<br>#14 | DACOSTA<br>LAURO<br>JONATHAN<br>SILVA |  | 20 AUTUMN LN                   | BOLTON MA           | 01740      |
| 60-30 | M_199434_899<br>865 | 60-30-624-14 | 624 BOSTON<br>POST RD EAST<br>#14 | DACOSTA<br>LAURO<br>JONATHAN<br>SILVA |  | 20 AUTUMN LN                   | BOLTON MA           | 01740      |
| 60-30 | M_199434_899<br>865 | 60-30-624-15 | 624 BOSTON<br>POST RD EAST<br>#15 | GEBSCO<br>REALTY<br>CORPORATIO<br>N   |  | 410 BOSTON POST<br>RD STE #28  | SUDBURY MA          | 01776      |
| 60-30 | M_199434_899<br>865 | 60-30-624-15 | 624 BOSTON<br>POST RD EAST<br>#15 | GEBSCO<br>REALTY<br>CORPORATIO<br>N   |  | 410 BOSTON POST<br>RD STE #28  | SUDBURY MA          | 01776      |
| 60-30 | M_199434_899<br>865 | 60-30-624-16 | 624 BOSTON<br>POST RD EAST<br>#16 | DOERR LAURA<br>L KANGAS               |  | 398 MAIN ST                    | ACTON MA            | 01720      |
| 60-30 | M_199434_899<br>865 | 60-30-624-16 | 624 BOSTON<br>POST RD EAST<br>#16 | DOERR LAURA<br>L KANGAS               |  | 398 MAIN ST                    | ACTON MA            | 01720      |
| 60-30 | M_199434_899<br>865 | 60-30-624-17 | 624 BOSTON<br>POST RD EAST<br>#17 | TRUMBLE<br>STEVEN                     |  | 1 SAUTA FARM WAY               | HUDSON MA           | 01749      |

|       |                     |              |                                   |                       |  |                                  |                     |       |
|-------|---------------------|--------------|-----------------------------------|-----------------------|--|----------------------------------|---------------------|-------|
| 60-30 | M_199434_899<br>865 | 60-30-624-17 | 624 BOSTON<br>POST RD EAST<br>#17 | TRUMBLE<br>STEVEN     |  | 1 SAUTA FARM WAY                 | HUDSON MA           | 01749 |
| 60-30 | M_199434_899<br>865 | 60-30-624-18 | 624 BOSTON<br>POST RD EAST<br>#18 | OLIVERIA<br>PAUL J    |  | 624 BOSTON POST<br>RD EAST #18   | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-18 | 624 BOSTON<br>POST RD EAST<br>#18 | OLIVERIA<br>PAUL J    |  | 624 BOSTON POST<br>RD EAST #18   | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-19 | 624 BOSTON<br>POST RD EAST<br>#19 | BENWAY<br>CHUN LAN    |  | 25 FLAGG RD                      | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-19 | 624 BOSTON<br>POST RD EAST<br>#19 | BENWAY<br>CHUN LAN    |  | 25 FLAGG RD                      | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-2  | 624 BOSTON<br>POST RD EAST<br>#2  | WAITE MARY<br>JANE TR |  | 3080 GRAND BAY<br>BLVD UNIT #536 | LONGBOAT FL<br>KEY  | 34228 |
| 60-30 | M_199434_899<br>865 | 60-30-624-2  | 624 BOSTON<br>POST RD EAST<br>#2  | WAITE MARY<br>JANE TR |  | 3080 GRAND BAY<br>BLVD UNIT #536 | LONGBOAT FL<br>KEY  | 34228 |
| 60-30 | M_199434_899<br>865 | 60-30-624-20 | 624 BOSTON<br>POST RD EAST<br>#20 | BAUER JAMES<br>TR     |  | 41 OAKVALE RD                    | FRAMINGHAM MA       | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-624-20 | 624 BOSTON<br>POST RD EAST<br>#20 | BAUER JAMES<br>TR     |  | 41 OAKVALE RD                    | FRAMINGHAM MA       | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-624-21 | 624 BOSTON<br>POST RD EAST<br>#21 | MORAIS<br>LUCIANO     |  | 624 BOSTON POST<br>RD EAST #21   | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-21 | 624 BOSTON<br>POST RD EAST<br>#21 | MORAIS<br>LUCIANO     |  | 624 BOSTON POST<br>RD EAST #21   | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-22 | 624 BOSTON<br>POST RD EAST<br>#22 | GONCALVES<br>DUILIO   |  | 19 RUTH DR                       | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-22 | 624 BOSTON<br>POST RD EAST<br>#22 | GONCALVES<br>DUILIO   |  | 19 RUTH DR                       | MARLBOROUGH MA<br>H | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-23 | 624 BOSTON<br>POST RD EAST<br>#23 | JAMBA<br>NICHOLAS N   |  | 49 FORT POND INN<br>RD           | LANCASTER MA        | 01523 |
| 60-30 | M_199434_899<br>865 | 60-30-624-23 | 624 BOSTON<br>POST RD EAST<br>#23 | JAMBA<br>NICHOLAS N   |  | 49 FORT POND INN<br>RD           | LANCASTER MA        | 01523 |

|       |                     |              |                                   |                                 |                                     |                       |       |
|-------|---------------------|--------------|-----------------------------------|---------------------------------|-------------------------------------|-----------------------|-------|
| 60-30 | M_199434_899<br>865 | 60-30-624-24 | 624 BOSTON<br>POST RD EAST<br>#24 | MEHTA<br>APURVA                 | 45 EWALD AVE                        | MARLBOROUGH MA<br>H   | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-24 | 624 BOSTON<br>POST RD EAST<br>#24 | MEHTA<br>APURVA                 | 45 EWALD AVE                        | MARLBOROUGH MA<br>H   | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-25 | 624 BOSTON<br>POST RD EAST<br>#25 | FOSS JAMES<br>TR                | 7 DYER CT                           | DANVERS MA            | 01923 |
| 60-30 | M_199434_899<br>865 | 60-30-624-25 | 624 BOSTON<br>POST RD EAST<br>#25 | FOSS JAMES<br>TR                | 7 DYER CT                           | DANVERS MA            | 01923 |
| 60-30 | M_199434_899<br>865 | 60-30-624-26 | 624 BOSTON<br>POST RD EAST<br>#26 | DJ&Z<br>MANAGEMENT<br>GROUP LLC | 101 GRANT AVE                       | NEWTON MA             | 02459 |
| 60-30 | M_199434_899<br>865 | 60-30-624-26 | 624 BOSTON<br>POST RD EAST<br>#26 | DJ&Z<br>MANAGEMENT<br>GROUP LLC | 101 GRANT AVE                       | NEWTON MA             | 02459 |
| 60-30 | M_199434_899<br>865 | 60-30-624-27 | 624 BOSTON<br>POST RD EAST<br>#27 | FOX QUINN<br>WONG TR            | 20 JERICHO HILL RD                  | SOUTHBOROUGH MA<br>GH | 01772 |
| 60-30 | M_199434_899<br>865 | 60-30-624-27 | 624 BOSTON<br>POST RD EAST<br>#27 | FOX QUINN<br>WONG TR            | 20 JERICHO HILL RD                  | SOUTHBOROUGH MA<br>GH | 01772 |
| 60-30 | M_199434_899<br>865 | 60-30-624-28 | 624 BOSTON<br>POST RD EAST<br>#28 | MURPHY<br>DAVID J TR            | C/O JORDAN<br>PROPERTY<br>SOLUTIONS | MARLBOROUGH MA<br>H   | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-28 | 624 BOSTON<br>POST RD EAST<br>#28 | MURPHY<br>DAVID J TR            | C/O JORDAN<br>PROPERTY<br>SOLUTIONS | MARLBOROUGH MA<br>H   | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-29 | 624 BOSTON<br>POST RD EAST<br>#29 | CHUNG<br>KENNETH TR             | 19 ELSBETH RD                       | SUDBURY MA            | 01776 |
| 60-30 | M_199434_899<br>865 | 60-30-624-29 | 624 BOSTON<br>POST RD EAST<br>#29 | CHUNG<br>KENNETH TR             | 19 ELSBETH RD                       | SUDBURY MA            | 01776 |
| 60-30 | M_199434_899<br>865 | 60-30-624-3  | 624 BOSTON<br>POST RD EAST<br>#3  | VAGHELA<br>LAXMI                | 624 BOSTON POST<br>RD EAST #3       | MARLBOROUGH MA<br>H   | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-3  | 624 BOSTON<br>POST RD EAST<br>#3  | VAGHELA<br>LAXMI                | 624 BOSTON POST<br>RD EAST #3       | MARLBOROUGH MA<br>H   | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-30 | 624 BOSTON<br>POST RD EAST<br>#30 | CHAN<br>WILLIAM Y               | 624 BOSTON POST<br>RD EAST #30      | MARLBOROUGH MA<br>H   | 01752 |

|       |                     |              |                                   |                            |                                |                       |       |
|-------|---------------------|--------------|-----------------------------------|----------------------------|--------------------------------|-----------------------|-------|
| 60-30 | M_199434_899<br>865 | 60-30-624-30 | 624 BOSTON<br>POST RD EAST<br>#30 | CHAN<br>WILLIAM Y          | 624 BOSTON POST<br>RD EAST #30 | MARLBOROUGH MA<br>H   | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-31 | 624 BOSTON<br>POST RD EAST<br>#31 | BOUZAN RYAN<br>T           | 82 LEIGH ST                    | FRAMINGHAM MA         | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-624-31 | 624 BOSTON<br>POST RD EAST<br>#31 | BOUZAN RYAN<br>T           | 82 LEIGH ST                    | FRAMINGHAM MA         | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-624-32 | 624 BOSTON<br>POST RD EAST<br>#32 | GLEASON<br>CYNTHIA         | 32 KNIGHT RD                   | FRAMINGHAM MA         | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-624-32 | 624 BOSTON<br>POST RD EAST<br>#32 | GLEASON<br>CYNTHIA         | 32 KNIGHT RD                   | FRAMINGHAM MA         | 01701 |
| 60-30 | M_199434_899<br>865 | 60-30-624-33 | 624 BOSTON<br>POST RD EAST<br>#33 | DUCHARME<br>LUCIENE M      | 39 NEPTUNE DR                  | SHREWSBURY MA         | 01545 |
| 60-30 | M_199434_899<br>865 | 60-30-624-33 | 624 BOSTON<br>POST RD EAST<br>#33 | DUCHARME<br>LUCIENE M      | 39 NEPTUNE DR                  | SHREWSBURY MA         | 01545 |
| 60-30 | M_199434_899<br>865 | 60-30-624-34 | 624 BOSTON<br>POST RD EAST<br>#34 | GELLER<br>ANDREW           | 3080 GRAND BAY<br>BLVD #536    | LONGBOAT<br>FL<br>KEY | 34228 |
| 60-30 | M_199434_899<br>865 | 60-30-624-34 | 624 BOSTON<br>POST RD EAST<br>#34 | GELLER<br>ANDREW           | 3080 GRAND BAY<br>BLVD #536    | LONGBOAT<br>FL<br>KEY | 34228 |
| 60-30 | M_199434_899<br>865 | 60-30-624-35 | 624 BOSTON<br>POST RD EAST<br>#35 | OHALLORAN<br>JOHN F        | 624 BOSTON POST<br>RD EAST #35 | MARLBOROUGH MA<br>H   | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-35 | 624 BOSTON<br>POST RD EAST<br>#35 | OHALLORAN<br>JOHN F        | 624 BOSTON POST<br>RD EAST #35 | MARLBOROUGH MA<br>H   | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-36 | 624 BOSTON<br>POST RD EAST<br>#36 | MARTEL<br>FRANCINE P<br>TR | 29 BERLIN ST #108              | CLINTON<br>MA         | 01510 |
| 60-30 | M_199434_899<br>865 | 60-30-624-36 | 624 BOSTON<br>POST RD EAST<br>#36 | MARTEL<br>FRANCINE P<br>TR | 29 BERLIN ST #108              | CLINTON<br>MA         | 01510 |
| 60-30 | M_199434_899<br>865 | 60-30-624-4  | 624 BOSTON<br>POST RD EAST<br>#4  | BRISBOIS<br>ELENI          | 624 BOSTON POST<br>RD EAST #4  | MARLBOROUGH MA<br>H   | 01752 |
| 60-30 | M_199434_899<br>865 | 60-30-624-4  | 624 BOSTON<br>POST RD EAST<br>#4  | BRISBOIS<br>ELENI          | 624 BOSTON POST<br>RD EAST #4  | MARLBOROUGH MA<br>H   | 01752 |



|        |                     |             |                                   |  |                               |                     |       |
|--------|---------------------|-------------|-----------------------------------|--|-------------------------------|---------------------|-------|
| 60-30  | M_199434_899<br>865 | 60-30-624-5 | 624 BOSTON<br>POST RD EAST<br>#5  | BOWLES<br>JAMES S                        | 624 BOSTON POST<br>RD EAST #5 | MARLBOROUGH MA<br>H | 01752 |
| 60-30  | M_199434_899<br>865 | 60-30-624-5 | 624 BOSTON<br>POST RD EAST<br>#5  | BOWLES<br>JAMES S                        | 624 BOSTON POST<br>RD EAST #5 | MARLBOROUGH MA<br>H | 01752 |
| 60-30  | M_199434_899<br>865 | 60-30-624-6 | 624 BOSTON<br>POST RD EAST<br>#6  | HURST<br>MICHAEL                         | 624 BOSTON POST<br>RD EAST #6 | MARLBOROUGH MA<br>H | 01752 |
| 60-30  | M_199434_899<br>865 | 60-30-624-6 | 624 BOSTON<br>POST RD EAST<br>#6  | HURST<br>MICHAEL                         | 624 BOSTON POST<br>RD EAST #6 | MARLBOROUGH MA<br>H | 01752 |
| 60-30  | M_199434_899<br>865 | 60-30-624-7 | 624 BOSTON<br>POST RD EAST<br>#7  | PRG LJS LLC                              | 60 LEO<br>BIRMINGHAM PKWY     | BRIGHTON MA         | 02135 |
| 60-30  | M_199434_899<br>865 | 60-30-624-7 | 624 BOSTON<br>POST RD EAST<br>#7  | PRG LJS LLC                              | 60 LEO<br>BIRMINGHAM PKWY     | BRIGHTON MA         | 02135 |
| 60-30  | M_199434_899<br>865 | 60-30-624-8 | 624 BOSTON<br>POST RD EAST<br>#8  | AVA CENTRAL<br>MASS<br>PROPERTIES<br>LLC | 30 K MARIE DR                 | ATTLEBORO MA        | 02703 |
| 60-30  | M_199434_899<br>865 | 60-30-624-8 | 624 BOSTON<br>POST RD EAST<br>#8  | AVA CENTRAL<br>MASS<br>PROPERTIES<br>LLC | 30 K MARIE DR                 | ATTLEBORO MA        | 02703 |
| 60-30  | M_199434_899<br>865 | 60-30-624-9 | 624 BOSTON<br>POST RD EAST<br>#9  | MCGOVERN<br>STEPHEN                      | 624 BOSTON POST<br>RD EAST #9 | MARLBOROUGH MA<br>H | 01752 |
| 60-30  | M_199434_899<br>865 | 60-30-624-9 | 624 BOSTON<br>POST RD EAST<br>#9  | MCGOVERN<br>STEPHEN                      | 624 BOSTON POST<br>RD EAST #9 | MARLBOROUGH MA<br>H | 01752 |
| 60-30A | M_199568_899<br>993 | 60-30A      | 630-650<br>BOSTON POST<br>RD EAST | 650 BPR LLC                              | 18 WASHINGTON ST<br>UNIT# 116 | CANTON MA           | 02021 |
| 60-31  | M_199452_900<br>030 | 60-31-77-1  | 77 WILSON ST<br>#1                | HALEY<br>MICHAEL J                       | 77 WILSON ST #1               | MARLBOROUGH MA<br>H | 01752 |
| 60-31  | M_199452_900<br>030 | 60-31-77-1  | 77 WILSON ST<br>#1                | HALEY<br>MICHAEL J                       | 77 WILSON ST #1               | MARLBOROUGH MA<br>H | 01752 |
| 60-31  | M_199452_900<br>030 | 60-31-77-10 | 77 WILSON ST<br>#10               | MILLER<br>LAWRENCE M                     | 77 WILSON ST #10              | MARLBOROUGH MA<br>H | 01752 |

|       |                     |             |                     |                              |  |                  |                     |       |
|-------|---------------------|-------------|---------------------|------------------------------|--|------------------|---------------------|-------|
| 60-31 | M_199452_900<br>030 | 60-31-77-10 | 77 WILSON ST<br>#10 | MILLER<br>LAWRENCE M         |  | 77 WILSON ST #10 | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-2  | 77 WILSON ST<br>#2  | JOLLES BRIAN                 |  | 77 WILSON ST #2C | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-2  | 77-93 WILSON<br>ST  |                              |  |                  |                     |       |
| 60-31 | M_199452_900<br>030 | 60-31-77-2  | 77 WILSON ST<br>#2  | JOLLES BRIAN                 |  | 77 WILSON ST #2C | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-2  | 77-93 WILSON<br>ST  |                              |  |                  |                     |       |
| 60-31 | M_199452_900<br>030 | 60-31-77-2  | 77 WILSON ST<br>#2  | JOLLES BRIAN                 |  | 77 WILSON ST #2C | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-2  | 77-93 WILSON<br>ST  |                              |  |                  |                     |       |
| 60-31 | M_199452_900<br>030 | 60-31-77-3  | 77 WILSON ST<br>#3  | SIZE CHO F                   |  | 77 WILSON ST #3  | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-3  | 77 WILSON ST<br>#3  | SIZE CHO F                   |  | 77 WILSON ST #3  | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-4  | 77 WILSON ST<br>#4  | DOHERTY<br>CHRISTOPHE<br>R J |  | 77 WILSON ST #4  | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-4  | 77 WILSON ST<br>#4  | DOHERTY<br>CHRISTOPHE<br>R J |  | 77 WILSON ST #4  | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-5  | 77 WILSON ST<br>#5  | LANTIGUA<br>LAJJA            |  | 94 SWAN ST       | METHUEN MA          | 01844 |
| 60-31 | M_199452_900<br>030 | 60-31-77-5  | 77 WILSON ST<br>#5  | LANTIGUA<br>LAJJA            |  | 94 SWAN ST       | METHUEN MA          | 01844 |
| 60-31 | M_199452_900<br>030 | 60-31-77-6  | 77 WILSON ST<br>#6  | GUPTA<br>PRANJAL             |  | 77 WILSON ST #6  | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-6  | 77 WILSON ST<br>#6  | GUPTA<br>PRANJAL             |  | 77 WILSON ST #6  | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-7  | 77 WILSON ST<br>#7  | LIVENGOOD<br>JOHN D          |  | 77 WILSON ST #7  | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-7  | 77 WILSON ST<br>#7  | LIVENGOOD<br>JOHN D          |  | 77 WILSON ST #7  | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-8  | 77 WILSON ST<br>#8  | WRIGHT<br>RICHARD E          |  | 77 WILSON ST #8  | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-8  | 77 WILSON ST<br>#8  | WRIGHT<br>RICHARD E          |  | 77 WILSON ST #8  | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-77-9  | 77 WILSON ST<br>#9  | MARKS<br>SHERWIN J TR        |  | 6 FOOTHILL RD    | FRAMINGHAM MA       | 01701 |

|       |                     |             |                     |                              |                      |                     |       |
|-------|---------------------|-------------|---------------------|------------------------------|----------------------|---------------------|-------|
| 60-31 | M_199452_900<br>030 | 60-31-77-9  | 77 WILSON ST<br>#9  | MARKS<br>SHERWIN J TR        | 6 Foothill RD        | FRAMINGHAM MA       | 01701 |
| 60-31 | M_199452_900<br>030 | 60-31-89-1  | 89 WILSON ST<br>#1  | LUNA<br>MARINETE L           | 89 WILSON ST #1      | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-89-1  | 89 WILSON ST<br>#1  | LUNA<br>MARINETE L           | 89 WILSON ST #1      | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-89-10 | 89 WILSON ST<br>#10 | KAMBOSOS<br>DEMETRIOS        | 3 TURNER RIDGE<br>RD | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-89-10 | 89 WILSON ST<br>#10 | KAMBOSOS<br>DEMETRIOS        | 3 TURNER RIDGE<br>RD | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-89-2  | 89 WILSON ST<br>#2  | LOPES ZIMAR<br>J             | 89 WILSON ST #2      | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-89-2  | 89 WILSON ST<br>#2  | LOPES ZIMAR<br>J             | 89 WILSON ST #2      | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-89-3  | 89 WILSON ST<br>#3  | KAMBOSOS<br>DEMETRIOS        | 3 TURNER RIDGE<br>RD | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-89-3  | 89 WILSON ST<br>#3  | KAMBOSOS<br>DEMETRIOS        | 3 TURNER RIDGE<br>RD | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-89-4  | 89 WILSON ST<br>#4  | TROIANI LEDA                 | 74 MAIN ST           | WALTHAM MA          | 02453 |
| 60-31 | M_199452_900<br>030 | 60-31-89-4  | 89 WILSON ST<br>#4  | TROIANI LEDA                 | 74 MAIN ST           | WALTHAM MA          | 02453 |
| 60-31 | M_199452_900<br>030 | 60-31-89-5  | 89 WILSON ST<br>#5  | PIERRE<br>ETHIMA             | 89 WILSON ST #5      | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-89-5  | 89 WILSON ST<br>#5  | PIERRE<br>ETHIMA             | 89 WILSON ST #5      | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-89-6  | 89 WILSON ST<br>#6  | MORALES<br>CESAR             | 89 WILSON ST #6      | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-89-6  | 89 WILSON ST<br>#6  | MORALES<br>CESAR             | 89 WILSON ST #6      | MARLBOROUGH MA<br>H | 01752 |
| 60-31 | M_199452_900<br>030 | 60-31-89-7  | 89 WILSON ST<br>#7  | MOEDER<br>CHARLES W          | 13 MARTHAS LN        | HARWICH MA          | 02645 |
| 60-31 | M_199452_900<br>030 | 60-31-89-7  | 89 WILSON ST<br>#7  | MOEDER<br>CHARLES W          | 13 MARTHAS LN        | HARWICH MA          | 02645 |
| 60-31 | M_199452_900<br>030 | 60-31-89-8  | 89 WILSON ST<br>#8  | 89 WILSON<br>STREET LLC      | 74 MAIN ST           | WALTHAM MA          | 02453 |
| 60-31 | M_199452_900<br>030 | 60-31-89-8  | 89 WILSON ST<br>#8  | 89 WILSON<br>STREET LLC      | 74 MAIN ST           | WALTHAM MA          | 02453 |
| 60-31 | M_199452_900<br>030 | 60-31-89-9  | 89 WILSON ST<br>#9  | JOWKAR<br>HOSSEIN            | 10 CRESTVIEW DR      | SUDBURY MA          | 01776 |
| 60-31 | M_199452_900<br>030 | 60-31-89-9  | 89 WILSON ST<br>#9  | JOWKAR<br>HOSSEIN            | 10 CRESTVIEW DR      | SUDBURY MA          | 01776 |
| 60-31 | M_199452_900<br>030 | 60-31-93-1  | 93 WILSON ST<br>#1  | MYERS<br>MATTHEW<br>WAYNE TR | 93 WILSON ST #1      | MARLBOROUGH MA<br>H | 01752 |

|        |                     |            |                            |   |  |                            |                     |            |
|--------|---------------------|------------|----------------------------|---|--|----------------------------|---------------------|------------|
| 60-31  | M_199452_900<br>030 | 60-31-93-1 | 93 WILSON ST<br>#1         | MYERS<br>MATTHEW<br>WAYNE TR              |  | 93 WILSON ST #1            | MARLBOROUGH MA<br>H | 01752      |
| 60-31  | M_199452_900<br>030 | 60-31-93-2 | 93 WILSON ST<br>#2         | VARANO<br>DENISE M                        |  | 93 WILSON ST #2            | MARLBOROUGH MA<br>H | 01752      |
| 60-31  | M_199452_900<br>030 | 60-31-93-2 | 93 WILSON ST<br>#2         | VARANO<br>DENISE M                        |  | 93 WILSON ST #2            | MARLBOROUGH MA<br>H | 01752      |
| 60-31  | M_199452_900<br>030 | 60-31-93-3 | 93 WILSON ST<br>#3         | SHU PING                                  |  | 17 HEMLOCK ST              | ARLINGTON MA        | 02474      |
| 60-31  | M_199452_900<br>030 | 60-31-93-3 | 93 WILSON ST<br>#3         | SHU PING                                  |  | 17 HEMLOCK ST              | ARLINGTON MA        | 02474      |
| 60-31  | M_199452_900<br>030 | 60-31-93-4 | 93 WILSON ST<br>#4         | KAMBOSOS<br>DEMETRIOS                     |  | 3 TURNER RIDGE<br>RD       | MARLBOROUGH MA<br>H | 01752      |
| 60-31  | M_199452_900<br>030 | 60-31-93-4 | 93 WILSON ST<br>#4         | KAMBOSOS<br>DEMETRIOS                     |  | 3 TURNER RIDGE<br>RD       | MARLBOROUGH MA<br>H | 01752      |
| 60-31  | M_199452_900<br>030 | 60-31-93-5 | 93 WILSON ST<br>#5         | KAMBOSOS<br>ATHANASIOS                    |  | 1 SHAWMUT ST               | WORCESTER MA        | 01609-3423 |
| 60-31  | M_199452_900<br>030 | 60-31-93-5 | 93 WILSON ST<br>#5         | KAMBOSOS<br>ATHANASIOS                    |  | 1 SHAWMUT ST               | WORCESTER MA        | 01609-3423 |
| 60-31  | M_199452_900<br>030 | 60-31-93-6 | 93 WILSON ST<br>#6         | SILVA<br>ALEXANDRA<br>SOUSA               |  | 93 WILSON ST #6            | MARLBOROUGH MA<br>H | 01752      |
| 60-31  | M_199452_900<br>030 | 60-31-93-6 | 93 WILSON ST<br>#6         | SILVA<br>ALEXANDRA<br>SOUSA               |  | 93 WILSON ST #6            | MARLBOROUGH MA<br>H | 01752      |
| 60-32  | M_199520_900<br>128 | 60-32      | 99 WILSON ST               | FOSTER-<br>ERLANDSON<br>VIVIANNE L TR     |  | 99 WILSON ST               | MARLBOROUGH MA<br>H | 01752      |
| 60-33  | M_199443_900<br>250 | 60-33      | 135 WILSON ST              | CITY OF<br>MARLBOROUGH<br>H               |  | 140 MAIN ST                | MARLBOROUGH MA<br>H | 01752      |
| 60-34  | M_199645_900<br>518 | 60-34      | 0 BOSTON<br>POST RD EAST   | CITY OF<br>MARLBOROUGH<br>H               |  | 140 MAIN ST                | MARLBOROUGH MA<br>H | 01752      |
| 61-1   | M_199585_900<br>163 | 61-1       | 652 BOSTON<br>POST RD EAST | 652 BOSTON<br>POST ROAD<br>LLC            |  | 740 BOSTON POST<br>RD EAST | MARLBOROUGH MA<br>H | 01752      |
| 61-25  | M_199835_899<br>884 | 61-25      | 701 BOSTON<br>POST RD EAST | ROUTE 20<br>MARLBORO<br>BB LLC            |  | P O BOX 105842             | ATLANTA<br>GA       | 30348-5842 |
| 61-25B | M_199739_899<br>971 | 61-25B     | 681 BOSTON<br>POST RD EAST | ROUTE 20<br>MARLBORO<br>PROPERTIES<br>LLC |  | 50 CABOT STREET<br>STE 200 | NEEDHAM<br>MA       | 02484      |

|        |                     |            |                                    |                                |  |                                 |                                  |                       |            |
|--------|---------------------|------------|------------------------------------|--------------------------------|--|---------------------------------|----------------------------------|-----------------------|------------|
| 61-27  | M_199567_899<br>780 | 61-27      | 605 BOSTON<br>POST RD EAST         | TARGET<br>CORPORATIO<br>N      |  | P O BOX 9456                    | ATTN PROP<br>TAX DEPT T-<br>2570 | MINNEAPOLIS MN        | 55440-9456 |
| 61-27A | M_199637_899<br>914 | 61-27A     | 661 BOSTON<br>POST RD EAST         | INDIAN<br>DEVELOPMEN<br>T CORP |  | 120 QUARRY DR                   |                                  | MILFORD MA            | 01757-1729 |
| 61-34  | M_199595_900<br>039 | 61-34      | BOSTON POST<br>RD EAST             | CITY OF<br>MARLBOROUGH<br>H    |  | 140 MAIN ST                     |                                  | MARLBOROUGH MA<br>H   | 01752      |
| 61-5   | M_199735_900<br>061 | 61-5-1-100 | 688 BOSTON<br>POST RD EAST<br>#100 | PRG LJS LLC                    |  | 60 LEO<br>BIRMINGHAM PKWY       |                                  | BRIGHTON MA           | 02135      |
| 61-5   | M_199735_900<br>061 | 61-5-1-100 | 688 BOSTON<br>POST RD EAST<br>#100 | PRG LJS LLC                    |  | 60 LEO<br>BIRMINGHAM PKWY       |                                  | BRIGHTON MA           | 02135      |
| 61-5   | M_199735_900<br>061 | 61-5-1-101 | 688 BOSTON<br>POST RD EAST<br>#101 | ALVES NILMA                    |  | 688 BOSTON POST<br>RD EAST #101 |                                  | MARLBOROUGH MA<br>H   | 01752      |
| 61-5   | M_199735_900<br>061 | 61-5-1-101 | 688 BOSTON<br>POST RD EAST<br>#101 | ALVES NILMA                    |  | 688 BOSTON POST<br>RD EAST #101 |                                  | MARLBOROUGH MA<br>H   | 01752      |
| 61-5   | M_199735_900<br>061 | 61-5-1-102 | 688 BOSTON<br>POST RD EAST<br>#102 | WHIPPLE<br>NATHAN              |  | 22 MARLBORO ST                  |                                  | HUDSON MA             | 01749      |
| 61-5   | M_199735_900<br>061 | 61-5-1-102 | 688 BOSTON<br>POST RD EAST<br>#102 | WHIPPLE<br>NATHAN              |  | 22 MARLBORO ST                  |                                  | HUDSON MA             | 01749      |
| 61-5   | M_199735_900<br>061 | 61-5-1-103 | 688 BOSTON<br>POST RD EAST<br>#103 | FOX QUINN<br>WONG              |  | 20 JERICHO HILL RD              |                                  | SOUTHBOROUGH MA<br>GH | 01772      |
| 61-5   | M_199735_900<br>061 | 61-5-1-103 | 688 BOSTON<br>POST RD EAST<br>#103 | FOX QUINN<br>WONG              |  | 20 JERICHO HILL RD              |                                  | SOUTHBOROUGH MA<br>GH | 01772      |
| 61-5   | M_199735_900<br>061 | 61-5-1-104 | 688 BOSTON<br>POST RD EAST<br>#104 | KEENEY<br>WILLIAM F            |  | 1 STONYBROOK RD                 |                                  | NORTH<br>GRAFTON MA   | 01536-2203 |
| 61-5   | M_199735_900<br>061 | 61-5-1-104 | 688 BOSTON<br>POST RD EAST<br>#104 | KEENEY<br>WILLIAM F            |  | 1 STONYBROOK RD                 |                                  | NORTH<br>GRAFTON MA   | 01536-2203 |
| 61-5   | M_199735_900<br>061 | 61-5-1-105 | 688 BOSTON<br>POST RD EAST<br>#105 | PAYES<br>CARLOS                |  | 688 BOSTON POST<br>RD EAST #105 |                                  | MARLBOROUGH MA<br>H   | 01752      |
| 61-5   | M_199735_900<br>061 | 61-5-1-105 | 688 BOSTON<br>POST RD EAST<br>#105 | PAYES<br>CARLOS                |  | 688 BOSTON POST<br>RD EAST #105 |                                  | MARLBOROUGH MA<br>H   | 01752      |

|      |                  |            |                              |                             |                              |                  |       |
|------|------------------|------------|------------------------------|-----------------------------|------------------------------|------------------|-------|
| 61-5 | M_199735_900_061 | 61-5-1-106 | 688 BOSTON POST RD EAST #106 | DEFREITAS RONALDO           | 688 BOSTON POST RD EAST #106 | MARLBOROUGH MA H | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-106 | 688 BOSTON POST RD EAST #106 | DEFREITAS RONALDO           | 688 BOSTON POST RD EAST #106 | MARLBOROUGH MA H | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-108 | 688 BOSTON POST RD EAST #108 | SCIMONE DAVID F             | 44 GLEN RD                   | HOPKINTON MA     | 01748 |
| 61-5 | M_199735_900_061 | 61-5-1-108 | 688 BOSTON POST RD EAST #108 | SCIMONE DAVID F             | 44 GLEN RD                   | HOPKINTON MA     | 01748 |
| 61-5 | M_199735_900_061 | 61-5-1-109 | 688 BOSTON POST RD EAST #109 | VALADARES JULIO CESAR FARIA | 145 PLEASANT ST #206         | MARLBOROUGH MA H | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-109 | 688 BOSTON POST RD EAST #109 | VALADARES JULIO CESAR FARIA | 145 PLEASANT ST #206         | MARLBOROUGH MA H | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-110 | 688 BOSTON POST RD EAST #110 | MENEZES MARCELO             | 271 BOSTON POST RD EAST #7   | MARLBOROUGH MA H | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-110 | 688 BOSTON POST RD EAST #110 | MENEZES MARCELO             | 271 BOSTON POST RD EAST #7   | MARLBOROUGH MA H | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-120 | 688 BOSTON POST RD EAST #120 | MENEZES FABIANA             | 271 BOSTON POST RD EAST #7   | MARLBOROUGH MA H | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-120 | 688 BOSTON POST RD EAST #120 | MENEZES FABIANA             | 271 BOSTON POST RD EAST #7   | MARLBOROUGH MA H | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-121 | 688 BOSTON POST RD EAST #121 | KADEHJIAN ERIC C            | 688 BOSTON POST RD EAST #121 | MARLBOROUGH MA H | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-121 | 688 BOSTON POST RD EAST #121 | KADEHJIAN ERIC C            | 688 BOSTON POST RD EAST #121 | MARLBOROUGH MA H | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-122 | 688 BOSTON POST RD EAST #122 | KAY GISELE L                | 688 BOSTON POST RD EAST #122 | MARLBOROUGH MA H | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-122 | 688 BOSTON POST RD EAST #122 | KAY GISELE L                | 688 BOSTON POST RD EAST #122 | MARLBOROUGH MA H | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-123 | 688 BOSTON POST RD EAST #123 | STRIVE CAPITAL LLC          | 495 BROOK ST                 | FRAMINGHAM MA    | 01701 |

|      |                  |            |                              |                      |  |                              |                          |                |       |
|------|------------------|------------|------------------------------|----------------------|--|------------------------------|--------------------------|----------------|-------|
| 61-5 | M_199735_900_061 | 61-5-1-123 | 688 BOSTON POST RD EAST #123 | STRIVE CAPITAL LLC   |  | 495 BROOK ST                 | ATTN SUSAN & DAVID ELLIS | FRAMINGHAM MA  | 01701 |
| 61-5 | M_199735_900_061 | 61-5-1-124 | 688 BOSTON POST RD EAST #124 | PAGE THOMAS M        |  | 50 PAGE RD                   |                          | WESTON MA      | 02193 |
| 61-5 | M_199735_900_061 | 61-5-1-124 | 688 BOSTON POST RD EAST #124 | PAGE THOMAS M        |  | 50 PAGE RD                   |                          | WESTON MA      | 02193 |
| 61-5 | M_199735_900_061 | 61-5-1-125 | 688 BOSTON POST RD EAST #125 | PEREIRA FLORIZA G    |  | 688 BOSTON POST RD EAST #125 |                          | MARLBOROUGH MA | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-125 | 688 BOSTON POST RD EAST #125 | PEREIRA FLORIZA G    |  | 688 BOSTON POST RD EAST #125 |                          | MARLBOROUGH MA | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-126 | 688 BOSTON POST RD EAST #126 | CULLEN LORRAINE A TR |  | 688 BOSTON POST RD EAST #126 |                          | MARLBOROUGH MA | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-126 | 688 BOSTON POST RD EAST #126 | CULLEN LORRAINE A TR |  | 688 BOSTON POST RD EAST #126 |                          | MARLBOROUGH MA | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-127 | 688 BOSTON POST RD EAST #127 | COMERATO JOHN J III  |  | 121 MAPLEWOOD AVE            |                          | MARLBOROUGH MA | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-127 | 688 BOSTON POST RD EAST #127 | COMERATO JOHN J III  |  | 121 MAPLEWOOD AVE            |                          | MARLBOROUGH MA | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-128 | 688 BOSTON POST RD EAST #128 | MALEKMADAN I SAFIEH  |  | 688 BOSTON POST RD EAST #128 |                          | MARLBOROUGH MA | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-128 | 688 BOSTON POST RD EAST #128 | MALEKMADAN I SAFIEH  |  | 688 BOSTON POST RD EAST #128 |                          | MARLBOROUGH MA | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-200 | 688 BOSTON POST RD EAST #200 | CHANG INNJEN         |  | 47 WOODROW ST                |                          | HUDSON MA      | 01749 |
| 61-5 | M_199735_900_061 | 61-5-1-200 | 688 BOSTON POST RD EAST #200 | CHANG INNJEN         |  | 47 WOODROW ST                |                          | HUDSON MA      | 01749 |
| 61-5 | M_199735_900_061 | 61-5-1-201 | 688 BOSTON POST RD EAST #201 | VARGAS FRIDA CARINA  |  | 688 BOSTON POST RD EAST #201 |                          | MARLBOROUGH MA | 01752 |
| 61-5 | M_199735_900_061 | 61-5-1-201 | 688 BOSTON POST RD EAST #201 | VARGAS FRIDA CARINA  |  | 688 BOSTON POST RD EAST #201 |                          | MARLBOROUGH MA | 01752 |

|      |                     |            |                                    |                     |                                 |                        |       |
|------|---------------------|------------|------------------------------------|---------------------|---------------------------------|------------------------|-------|
| 61-5 | M_199735_900<br>061 | 61-5-1-202 | 688 BOSTON<br>POST RD EAST<br>#202 | PRG LJS LLC         | 60 LEO<br>BIRMINGHAM PKWY       | BRIGHTON<br>MA         | 02135 |
| 61-5 | M_199735_900<br>061 | 61-5-1-202 | 688 BOSTON<br>POST RD EAST<br>#202 | PRG LJS LLC         | 60 LEO<br>BIRMINGHAM PKWY       | BRIGHTON<br>MA         | 02135 |
| 61-5 | M_199735_900<br>061 | 61-5-1-203 | 688 BOSTON<br>POST RD EAST<br>#203 | GENEROSO<br>MARCELO | 16 COLBURN ST                   | NORTHBORO<br>UGH<br>MA | 01532 |
| 61-5 | M_199735_900<br>061 | 61-5-1-203 | 688 BOSTON<br>POST RD EAST<br>#203 | GENEROSO<br>MARCELO | 16 COLBURN ST                   | NORTHBORO<br>UGH<br>MA | 01532 |
| 61-5 | M_199735_900<br>061 | 61-5-1-204 | 688 BOSTON<br>POST RD EAST<br>#204 | MENEZES<br>FABIANA  | 271 BOSTON POST<br>RD EAST #7   | MARLBOROUGH<br>MA      | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-204 | 688 BOSTON<br>POST RD EAST<br>#204 | MENEZES<br>FABIANA  | 271 BOSTON POST<br>RD EAST #7   | MARLBOROUGH<br>MA      | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-205 | 688 BOSTON<br>POST RD EAST<br>#205 | BIAGIO FABIO        | 573 BROAD ST #333               | EAST<br>WEYMOUTH<br>MA | 02189 |
| 61-5 | M_199735_900<br>061 | 61-5-1-205 | 688 BOSTON<br>POST RD EAST<br>#205 | BIAGIO FABIO        | 573 BROAD ST #333               | EAST<br>WEYMOUTH<br>MA | 02189 |
| 61-5 | M_199735_900<br>061 | 61-5-1-206 | 688 BOSTON<br>POST RD EAST<br>#206 | MIRANDA<br>MARLI    | 688 BOSTON POST<br>RD EAST #206 | MARLBOROUGH<br>MA      | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-206 | 688 BOSTON<br>POST RD EAST<br>#206 | MIRANDA<br>MARLI    | 688 BOSTON POST<br>RD EAST #206 | MARLBOROUGH<br>MA      | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-207 | 688 BOSTON<br>POST RD EAST<br>#207 | MENEZES<br>MARCELO  | 271 BOSTON POST<br>RD EAST #7   | MARLBOROUGH<br>MA      | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-207 | 688 BOSTON<br>POST RD EAST<br>#207 | MENEZES<br>MARCELO  | 271 BOSTON POST<br>RD EAST #7   | MARLBOROUGH<br>MA      | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-208 | 688 BOSTON<br>POST RD EAST<br>#208 | ROJAS<br>MARITZA    | 36 WALNUT ST                    | MARLBOROUGH<br>MA      | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-208 | 688 BOSTON<br>POST RD EAST<br>#208 | ROJAS<br>MARITZA    | 36 WALNUT ST                    | MARLBOROUGH<br>MA      | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-209 | 688 BOSTON<br>POST RD EAST<br>#209 | TINOCO LUIS<br>H    | 688 BOSTON POST<br>RD EAST #209 | MARLBOROUGH<br>MA      | 01752 |



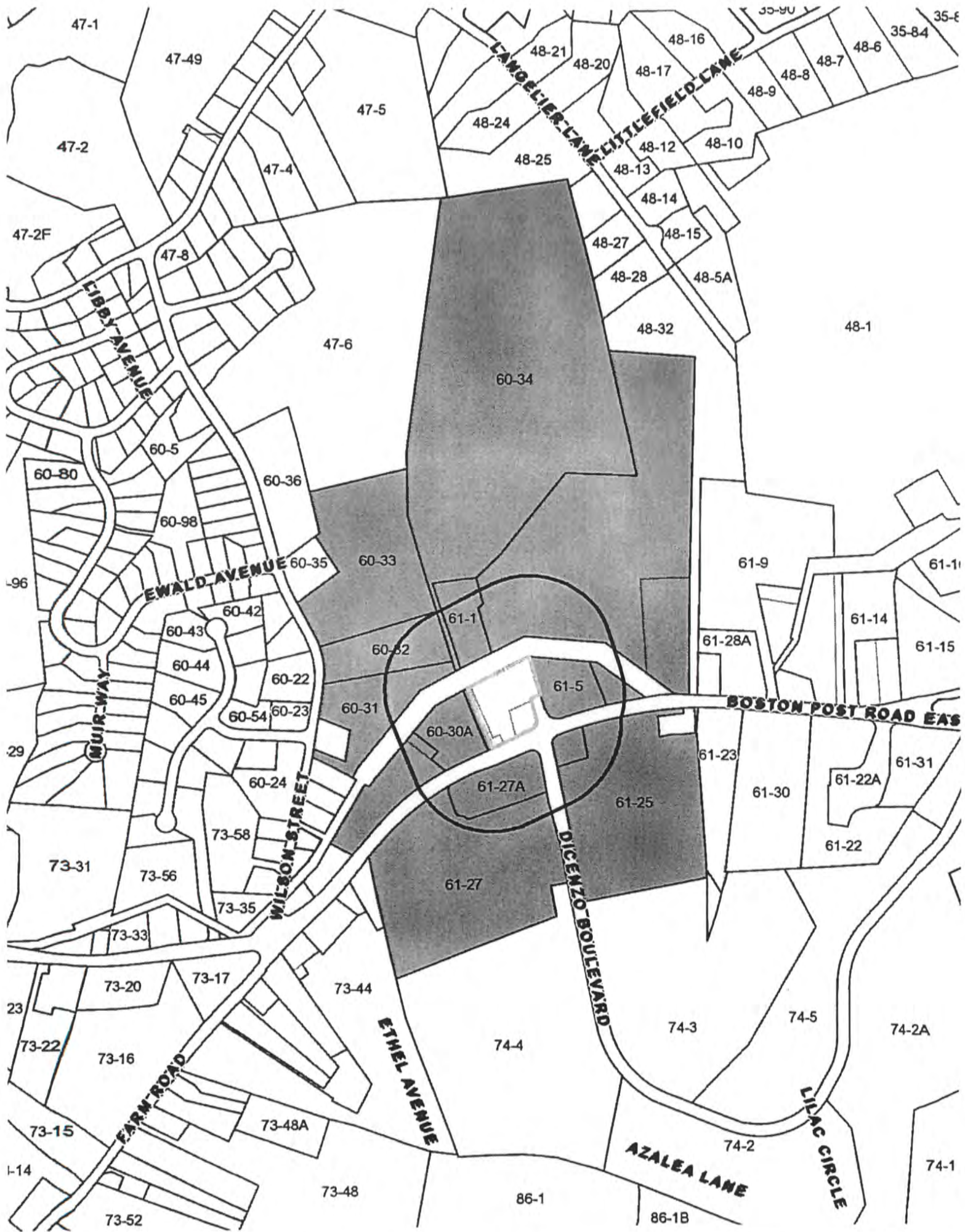
|      |                  |            |                              |                    |  |                              |                  |            |
|------|------------------|------------|------------------------------|--------------------|--|------------------------------|------------------|------------|
| 61-5 | M_199735_900_061 | 61-5-1-209 | 688 BOSTON POST RD EAST #209 | TINOCO LUIS H      |  | 688 BOSTON POST RD EAST #209 | MARLBOROUGH MA H | 01752      |
| 61-5 | M_199735_900_061 | 61-5-1-210 | 688 BOSTON POST RD EAST #210 | ZAHID BRAHIM       |  | 215 HARVARD ST UNIT #15      | MEDFORD MA       | 02155      |
| 61-5 | M_199735_900_061 | 61-5-1-210 | 688 BOSTON POST RD EAST #210 | ZAHID BRAHIM       |  | 215 HARVARD ST UNIT #16      | MEDFORD MA       | 02155      |
| 61-5 | M_199735_900_061 | 61-5-1-211 | 688 BOSTON POST RD EAST #211 | WILBER CARL J      |  | 688 BOSTON POST RD EAST #211 | MARLBOROUGH MA H | 01752      |
| 61-5 | M_199735_900_061 | 61-5-1-211 | 688 BOSTON POST RD EAST #211 | WILBER CARL J      |  | 688 BOSTON POST RD EAST #211 | MARLBOROUGH MA H | 01752      |
| 61-5 | M_199735_900_061 | 61-5-1-220 | 688 BOSTON POST RD EAST #220 | CHEN XIAOPU        |  | 688 BOSTON POST RD EAST #220 | MARLBOROUGH MA H | 01752      |
| 61-5 | M_199735_900_061 | 61-5-1-220 | 688 BOSTON POST RD EAST #220 | CHEN XIAOPU        |  | 688 BOSTON POST RD EAST #220 | MARLBOROUGH MA H | 01752      |
| 61-5 | M_199735_900_061 | 61-5-1-221 | 688 BOSTON POST RD EAST #221 | DE SOUZA LAVINIA S |  | 688 BOSTON POST RD EAST #221 | MARLBOROUGH MA H | 01752      |
| 61-5 | M_199735_900_061 | 61-5-1-221 | 688 BOSTON POST RD EAST #221 | DE SOUZA LAVINIA S |  | 688 BOSTON POST RD EAST #221 | MARLBOROUGH MA H | 01752      |
| 61-5 | M_199735_900_061 | 61-5-1-222 | 688 BOSTON POST RD EAST #222 | GIANG YUNG         |  | 401 DAVIS ST                 | NORTHBORO UGH    | 01532-2421 |
| 61-5 | M_199735_900_061 | 61-5-1-222 | 688 BOSTON POST RD EAST #222 | GIANG YUNG         |  | 401 DAVIS ST                 | NORTHBORO UGH    | 01532-2421 |
| 61-5 | M_199735_900_061 | 61-5-1-223 | 688 BOSTON POST RD EAST #223 | GIANG YUNG         |  | 401 DAVIS ST                 | NORTHBORO UGH    | 01532      |
| 61-5 | M_199735_900_061 | 61-5-1-223 | 688 BOSTON POST RD EAST #223 | GIANG YUNG         |  | 401 DAVIS ST                 | NORTHBORO UGH    | 01532      |
| 61-5 | M_199735_900_061 | 61-5-1-224 | 688 BOSTON POST RD EAST #224 | BOAVENTURA JOSE L  |  | 688 BOSTON POST RD EAST #224 | MARLBOROUGH MA H | 01752      |
| 61-5 | M_199735_900_061 | 61-5-1-224 | 688 BOSTON POST RD EAST #224 | BOAVENTURA JOSE L  |  | 688 BOSTON POST RD EAST #224 | MARLBOROUGH MA H | 01752      |

|      |                     |            |                                    |                                |                                 |                     |            |
|------|---------------------|------------|------------------------------------|--------------------------------|---------------------------------|---------------------|------------|
| 61-5 | M_199735_900<br>061 | 61-5-1-225 | 688 BOSTON<br>POST RD EAST<br>#225 | DEOLIVERIA<br>HELIO            | 688 BOSTON POST<br>RD EAST #225 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-225 | 688 BOSTON<br>POST RD EAST<br>#225 | DEOLIVERIA<br>HELIO            | 688 BOSTON POST<br>RD EAST #225 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-226 | 688 BOSTON<br>POST RD EAST<br>#226 | MCGAUGHEY<br>TANYA             | 688 BOSTON POST<br>RD EAST #226 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-226 | 688 BOSTON<br>POST RD EAST<br>#226 | MCGAUGHEY<br>TANYA             | 688 BOSTON POST<br>RD EAST #226 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-227 | 688 BOSTON<br>POST RD EAST<br>#227 | PASQUANTON<br>JO LORRAINE<br>M | 688 BOSTON POST<br>RD EAST #227 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-227 | 688 BOSTON<br>POST RD EAST<br>#227 | PASQUANTON<br>JO LORRAINE<br>M | 688 BOSTON POST<br>RD EAST #227 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-228 | 688 BOSTON<br>POST RD EAST<br>#228 | COVIELLO<br>VICTORIA           | 688 BOSTON POST<br>RD EAST #228 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-228 | 688 BOSTON<br>POST RD EAST<br>#228 | COVIELLO<br>VICTORIA           | 688 BOSTON POST<br>RD EAST #228 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-300 | 688 BOSTON<br>POST RD EAST<br>#300 | MENEZES<br>MAURICIO            | 578 BIGELOW ST                  | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-300 | 688 BOSTON<br>POST RD EAST<br>#300 | MENEZES<br>MAURICIO            | 578 BIGELOW ST                  | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-301 | 688 BOSTON<br>POST RD EAST<br>#301 | AHUJA<br>VARSHA                | 5785 OWL HILL AVE               | SANTA ROSA CA       | 95409-4364 |
| 61-5 | M_199735_900<br>061 | 61-5-1-301 | 688 BOSTON<br>POST RD EAST<br>#301 | AHUJA<br>VARSHA                | 5785 OWL HILL AVE               | SANTA ROSA CA       | 95409-4364 |
| 61-5 | M_199735_900<br>061 | 61-5-1-302 | 688 BOSTON<br>POST RD EAST<br>#302 | WINSKE<br>ERNEST J TR          | 860 CONCORD RD                  | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-302 | 688 BOSTON<br>POST RD EAST<br>#302 | WINSKE<br>ERNEST J TR          | 860 CONCORD RD                  | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-303 | 688 BOSTON<br>POST RD EAST<br>#303 | MOREIRA<br>RICARDO             | 688 BOSTON POST<br>RD EAST #303 | MARLBOROUGH MA<br>H | 01752      |

|      |                     |            |                                    |   |  |                                 |                     |       |
|------|---------------------|------------|------------------------------------|---|--|---------------------------------|---------------------|-------|
| 61-5 | M_199735_900<br>061 | 61-5-1-303 | 688 BOSTON<br>POST RD EAST<br>#303 | MOREIRA<br>RICARDO                      |  | 688 BOSTON POST<br>RD EAST #303 | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-304 | 688 BOSTON<br>POST RD EAST<br>#304 | PRG LJS LLC                             |  | 60 LEO<br>BIRMINGHAM PKWY       | BRIGHTON MA         | 02135 |
| 61-5 | M_199735_900<br>061 | 61-5-1-304 | 688 BOSTON<br>POST RD EAST<br>#304 | PRG LJS LLC                             |  | 60 LEO<br>BIRMINGHAM PKWY       | BRIGHTON MA         | 02135 |
| 61-5 | M_199735_900<br>061 | 61-5-1-305 | 688 BOSTON<br>POST RD EAST<br>#305 | PEREIRA<br>MARLUCIA S                   |  | 688 BOSTON POST<br>RD EAST #305 | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-305 | 688 BOSTON<br>POST RD EAST<br>#305 | PEREIRA<br>MARLUCIA S                   |  | 688 BOSTON POST<br>RD EAST #305 | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-306 | 688 BOSTON<br>POST RD EAST<br>#306 | ANDRADE<br>MONICA<br>SABINO<br>FERREIRA |  | 688 BOSTON POST<br>RD EAST #306 | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-306 | 688 BOSTON<br>POST RD EAST<br>#306 | ANDRADE<br>MONICA<br>SABINO<br>FERREIRA |  | 688 BOSTON POST<br>RD EAST #306 | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-307 | 688 BOSTON<br>POST RD EAST<br>#307 | LADEIRA<br>PEDRO L                      |  | 688 BOSTON POST<br>RD EAST #307 | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-307 | 688 BOSTON<br>POST RD EAST<br>#307 | LADEIRA<br>PEDRO L                      |  | 688 BOSTON POST<br>RD EAST #307 | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-308 | 688 BOSTON<br>POST RD EAST<br>#308 | CODSIDE LLC                             |  | 109 CORTLAND LN                 | BOXBOROUGH MA<br>H  | 01719 |
| 61-5 | M_199735_900<br>061 | 61-5-1-308 | 688 BOSTON<br>POST RD EAST<br>#308 | CODSIDE LLC                             |  | 109 CORTLAND LN                 | BOXBOROUGH MA<br>H  | 01719 |
| 61-5 | M_199735_900<br>061 | 61-5-1-309 | 688 BOSTON<br>POST RD EAST<br>#309 | AMIRHOSSEIN<br>I FARIBORZ<br>KHALAJ     |  | 13 BRADFORD RD                  | NATICK MA           | 01760 |
| 61-5 | M_199735_900<br>061 | 61-5-1-309 | 688 BOSTON<br>POST RD EAST<br>#309 | AMIRHOSSEIN<br>I FARIBORZ<br>KHALAJ     |  | 13 BRADFORD RD                  | NATICK MA           | 01760 |
| 61-5 | M_199735_900<br>061 | 61-5-1-310 | 688 BOSTON<br>POST RD EAST<br>#310 | OLIVEIRA<br>ARTHUR<br>LUCAS SOUSA       |  | 688 BOSTON POST<br>RD EAST #310 | MARLBOROUGH MA<br>H | 01752 |

|      |                     |            |                                    |                                   |                                 |                     |            |
|------|---------------------|------------|------------------------------------|-----------------------------------|---------------------------------|---------------------|------------|
| 61-5 | M_199735_900<br>061 | 61-5-1-310 | 688 BOSTON<br>POST RD EAST<br>#310 | OLIVEIRA<br>ARTHUR<br>LUCAS SOUSA | 688 BOSTON POST<br>RD EAST #310 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-311 | 688 BOSTON<br>POST RD EAST<br>#311 | WOOD JOHN<br>M                    | 688 BOSTON POST<br>RD EAST #311 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-311 | 688 BOSTON<br>POST RD EAST<br>#311 | WOOD JOHN<br>M                    | 688 BOSTON POST<br>RD EAST #311 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-320 | 688 BOSTON<br>POST RD EAST<br>#320 | SCHNAIBLE<br>LAURA L              | 688 BOSTON POST<br>RD EAST #320 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-320 | 688 BOSTON<br>POST RD EAST<br>#320 | SCHNAIBLE<br>LAURA L              | 688 BOSTON POST<br>RD EAST #320 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-321 | 688 BOSTON<br>POST RD EAST<br>#321 | OLIVEIRA<br>ARTHUR<br>LUCAS SOUSA | 688 BOSTON POST<br>RD EAST #321 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-321 | 688 BOSTON<br>POST RD EAST<br>#321 | OLIVEIRA<br>ARTHUR<br>LUCAS SOUSA | 688 BOSTON POST<br>RD EAST #321 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-322 | 688 BOSTON<br>POST RD EAST<br>#322 | SHAHEEN<br>NORMAN M               | 688 BOSTON POST<br>RD EAST #322 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-322 | 688 BOSTON<br>POST RD EAST<br>#322 | SHAHEEN<br>NORMAN M               | 688 BOSTON POST<br>RD EAST #322 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-323 | 688 BOSTON<br>POST RD EAST<br>#323 | WONG ERIC F                       | 688 BOSTON POST<br>RD EAST #323 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-323 | 688 BOSTON<br>POST RD EAST<br>#323 | WONG ERIC F                       | 688 BOSTON POST<br>RD EAST #323 | MARLBOROUGH MA<br>H | 01752      |
| 61-5 | M_199735_900<br>061 | 61-5-1-324 | 688 BOSTON<br>POST RD EAST<br>#324 | KEENEY<br>WILLIAM F               | 1 STONYBROOK RD                 | NORTH<br>GRAFTON MA | 01536-2203 |
| 61-5 | M_199735_900<br>061 | 61-5-1-324 | 688 BOSTON<br>POST RD EAST<br>#324 | KEENEY<br>WILLIAM F               | 1 STONYBROOK RD                 | NORTH<br>GRAFTON MA | 01536-2203 |
| 61-5 | M_199735_900<br>061 | 61-5-1-325 | 688 BOSTON<br>POST RD EAST<br>#325 | MCATEE<br>FABIANA F               | 271 BOSTON POST<br>RD EAST #7   | MARLBOROUGH MA<br>H | 01752      |

|      |                     |            |                                    |   |  |                                 |                     |       |
|------|---------------------|------------|------------------------------------|---|--|---------------------------------|---------------------|-------|
| 61-5 | M_199735_900<br>061 | 61-5-1-325 | 688 BOSTON<br>POST RD EAST<br>#325 | MCATEE<br>FABIANA F                     |  | 271 BOSTON POST<br>RD EAST #7   | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-326 | 688 BOSTON<br>POST RD EAST<br>#326 | MENEZES<br>MARCELO                      |  | 271 BOSTON POST<br>RD EAST #7   | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-326 | 688 BOSTON<br>POST RD EAST<br>#326 | MENEZES<br>MARCELO                      |  | 271 BOSTON POST<br>RD EAST #7   | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-327 | 688 BOSTON<br>POST RD EAST<br>#327 | VOSTRIAKOV<br>VICTOR                    |  | 688 BOSTON POST<br>RD EAST #327 | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-327 | 688 BOSTON<br>POST RD EAST<br>#327 | VOSTRIAKOV<br>VICTOR                    |  | 688 BOSTON POST<br>RD EAST #327 | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-328 | 688 BOSTON<br>POST RD EAST<br>#328 | AKHOJILI<br>YOUNES                      |  | 688 BOSTON POST<br>RD EAST #328 | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-328 | 688 BOSTON<br>POST RD EAST<br>#328 | AKHOJILI<br>YOUNES                      |  | 688 BOSTON POST<br>RD EAST #328 | MARLBOROUGH MA<br>H | 01752 |
| 61-5 | M_199735_900<br>061 | 61-5-1-44  | 688-688<br>BOSTON POST<br>RD EAST  |   |  |                                 |                     |       |
| 61-6 | M_199803_900<br>061 | 61-6       | 700 BOSTON<br>POST RD EAST         | MARIE<br>ESTHER<br>HEALTH<br>CENTER INC |  | 720 BOSTON POST<br>RD EAST      | MARLBOROUGH MA<br>H | 01752 |
| 61-7 | M_199802_900<br>280 | 61-7       | 720 BOSTON<br>POST RD EAST         | MARIE<br>ESTHER<br>HEALTH<br>CENTER INC |  | 720 BOSTON POST<br>RD EAST      | MARLBOROUGH MA<br>H | 01752 |



## SPECIAL PERMIT-SUMMARY IMPACT STATEMENT

Applicant's Name: Global Montello Group Corp. Address: 15 Northeast Industrial Road, Bradford, CT  
Project Name: Alltown Address: 06405  
656 Boston Post Road East

1. PROPOSED USE: (describe) Drive-thru facility for the existing Alltown convenience store and food service use.

2. EXPANSION OR NEW: Expansion

3. SIZE: floor area sq. ft. 3,951 1<sup>st</sup> floor 3,951 all floors 3,951  
# buildings 1 # stories 1 lot area (s.f.) 91,394

4. LOT COVERAGE: 63.5% %Landscaped area: 36.5 %

5. POPULATION ON SITE: Number of people expected on site at anytime:

Normal: 15/20 Peak period: 25

6. TRAFFIC:

(A) Number of vehicles parked on site:

During regular hours: 15/20 Peak period: 25/30

(B) How many service vehicles will service the development and on what schedule?

Daily deliveries of inventory, supplies, and food. Weekly refueling deliveries. Regular trash removal.

7. LIGHT: How will the development be lit at the exterior? How much light will leave the property and enter the abutting property? Standard downward-facing lighting.

8. NOISE:

(A) Compare the noise levels of the proposed development to those that exist in the area now.

Same

(B) Described any major sources of noise generation in the proposed development and include their usual times of operation. Drive-thru speakers during operating hours.

9. AIR: What sources of potential air pollution will exist at the development? \_\_\_\_\_

Auto exhaust.

10. WATER AND SEWER: Describe any unusual generation of waste. None.

11. HAZARDOUS MATERIAL: List any types of Hazardous Waste that will be on-site. How will this waste be stored? Where? How much will be in storage on a daily basis? How will it be disposed? Gasoline in underground fuel storage tanks.

**\*Attach additional sheets if necessary**



**CITY OF MARLBOROUGH  
MARLBOROUGH, MASSACHUSETTS 01752**

City Hall

140 Main St.

Marlborough, Massachusetts 01752

Voice (508) 460-3775 Facsimile (508) 460-3723 TTD (508) 460-3610

President and Members City Council

Date: 2/17/2021

**SPECIAL PERMIT APPLICATION  
CERTIFICATION BY PLANNING DEPARTMENT**

Project Name: Alltown

Project Use Summary: Drive-thru facility for convenience store and food service use.

Project Street Address: 656 Boston Post Road East

Plate: 61 Parcel: 2


Applicant/Developer Name: Global Montello Group Corp.

Plan Date: 1/28/2021 Revision Date: \_\_\_\_\_

Dear President and Members:

In accordance with the City Council's Rules for Special Permit Applications, I hereby certify that the Site Plan filed with the City Clerk has been reviewed by the Building Department within the limits of work shown on the plan, and that said plan meets all prior referenced informational requirements of Section 7; that the plan conforms in all aspects to City Code and to these Rules and Regulations, and that any necessary zoning variances have been already granted by the Marlborough Zoning Board of Appeals, and any applicable appeal period concerning said variances have run.

Very truly yours,

  
Jeffrey K. Cooke  
Building Commissioner

Application Fee to submit to  
City Clerk's office

\$ 500.00



**City of Marlborough, Massachusetts  
CITY CLERK DEPARTMENT**

**Steven W. Kerrigan  
City Clerk**



Dear Applicant,

To ensure that each department listed below receives a copy of your completed Special Permit application, please hand-deliver to each department as instructions indicate below.

**PLACE A CHECK-MARK AFTER HAND-DELIVERING THE APPLICATION TO THE FOLLOWING DEPARTMENTS AND SIGN YOUR NAME & DATE IT ACCORDINGLY. MAKE SURE THIS PAGE IS SIGNED AND RETURNED TO THE CITY CLERK'S OFFICE WITH THE COMPLETED APPLICATION. THE CITY CLERK'S OFFICE WILL NOT ACCEPT THE APPLICATION WITHOUT THE SIGNATURE OF THE APPLICANT OR PETITIONER AS INDICATED BELOW.**

|         |   |   |   |
|---------|---|---|---|
| 1 SET   | POLICE CHIEF                                | <u> X </u>  | * Filed via email, in accordance with<br>Section 17 of Chapter 53 of the Acts<br>of 2020. |
| 1 SET   | FIRE CHIEF                                  | <u> X </u>  |   |
| 1 SET   | CITY ENGINEER                               | <u> X </u>  |   |
| 1 SET   | DIRECTOR OF PLANNING                        | <u> X </u>  |   |
| 1 SET   | CONSERVATION OFFICER (IF WETLANDS AFFECTED) | <u> X </u>  |   |
| 1 SET   | BUILDING COMMISSIONER                       | <u> X </u>  |   |
| 12 SETS | OFFICE OF THE CITY COUNCIL                  | <u> X </u>  |   |
| 3 SETS  | OFFICE OF THE CITY CLERK                    | <u> X </u> ( <b>MUST be Original</b> & 2 Complete Sets) |   |

\_\_\_\_\_  
Signature

2/17/2021

\_\_\_\_\_  
Date

Thank you for your cooperation in this matter.

Sincerely,

*Steven W. Kerrigan*  
City Clerk

**City of Marlborough, Massachusetts**  
**CITY CLERK DEPARTMENT**  
**Steven W. Kerrigan**  
**City Clerk**



I certify under the penalties of perjury that I, to my best knowledge and belief, have filed all Municipal tax returns and paid all Municipal taxes required under law.

**Company Name**

Global Montello Group Corp.

**Owner Name/Officer Name of LLC or Corporation**

Edward J. Faneuil, EVP

**Owner/Officer Complete Address and Telephone Number**

15 Northeast Industrial Road

Bradford, CT 06405

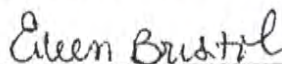
**Signature of Applicant**

**Attorney on behalf of Applicant, if applicable**



Brian R. Falk

The Special Permit Package will not be accepted unless this certification clause is signed by the applicant and the Tax Collector.



**Tax Collector**

# SPECIAL PERMIT PLANS

FOR \_\_\_\_\_



Global Partners LP

PROPOSED  
**DRIVE-THRU AND PARKING IMPROVEMENT**  
 LOCATION OF SITE:  
 656 BOSTON POST ROAD, CITY OF MARLBOROUGH  
 MIDDLESEX COUNTY, MASSACHUSETTS  
 MAP #61, LOT #2



**USGS MAP**

SCALE: 1" = 100 FEET  
 SOURCE: MARLBOROUGH, MASSACHUSETTS  
 USGS TOPOGRAHIC



**SITE MAP**

SCALE: 1" = 100 FEET  
 SOURCE: AERIAL PHOTOGRAPHY

PREPARED BY



**DRAWING SHEET INDEX**

| SHEET TITLE                                    | SHEET NUMBER |
|--|--------------|
| COVER SHEET                                    | C-011        |
| GENERAL NOTES SHEET                            | C-012        |
| DEVELOPMENT PLAN                               | C-013        |
| SITE LAYOUT PLAN                               | C-014        |
| GRAZING AND DRAINAGE PLAN                      | C-015        |
| UTILITY PLAN                                   | C-016        |
| EROSION AND SEDIMENT CONTROL PLAN              | C-017        |
| EROSION AND SEDIMENT CONTROL NOTES AND DETAILS | C-018        |
| ALTA SURVEY (BY OTHERS)                        | 1            |

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 LAND MANAGEMENT  
 PROGRAM MANAGEMENT  
 LAND ACQUISITION  
 FINANCIAL DESIGN  
 TRANSPORTATION SERVICES  
 PLANNING SERVICES

**REVISIONS**

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**811**  
 Call Before You Dig  
 Massachusetts  
 811.MA

**PRELIMINARY REVIEW**  
 THIS DRAWING HAS BEEN REVIEWED FOR CONFORMANCE WITH THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS.

PROJECT NO.:  
 DATE: 01/11/2011  
 CHECKED BY:  
 DRAWN BY:  
 SCALE: AS SHOWN

**SPECIAL PERMIT PLANS**  
 FOR \_\_\_\_\_  
  
 GLOBAL PARTNERS LP  
 DRIVE-THRU AND PARKING IMPROVEMENT  
 656 BOSTON POST ROAD  
 MIDDLESEX COUNTY, MASSACHUSETTS

**BOHLER**  
 383 TEMPERANCE ROAD  
 SOUTHBOROUGH, MA 01772  
 PHONE: 508.366.9000  
 WWW.BOHLERENGINEERING.COM

**J.G. SWERLING**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 10001  
 EXPIRES 12/31/2011

**COVER SHEET**

**C-101**

0803 DATE: 01/11/2011



**BOHLER**

RTS CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 TRANSPORTATION SERVICES

1111 STATE STREET, SUITE 200  
 WILMINGTON, MASSACHUSETTS 01897  
 TEL: 978.261.1111  
 WWW.BOHLERCO.COM

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**811**  
 MA  
 ALWAYS CALL 811  
 BEFORE YOU DIG  
 876.868.8111

**PRELIMINARY REVIEW**

DATE: 01/11/2023  
 REVIEWED BY: J.G. SWERLING  
 CHECKED BY: J.G. SWERLING  
 DRAWN BY: J.G. SWERLING

**SPECIAL PERMIT PLANS**

FOR  
**GLOBAL**  
 Global Partners LP  
 PROPOSED  
 DEVELOPMENT AND WORKING  
 DRAWINGS FOR THE  
 MAPS LOT 4B  
 100 BOSTON POST ROAD  
 CITY OF WASHINGTON  
 WASHINGTON COUNTY,  
 MASSACHUSETTS

**BOHLER**

382 TURNPIKE ROAD  
 WASHINGTON, MA 01877  
 TEL: 978.261.1111  
 WWW.BOHLERCO.COM

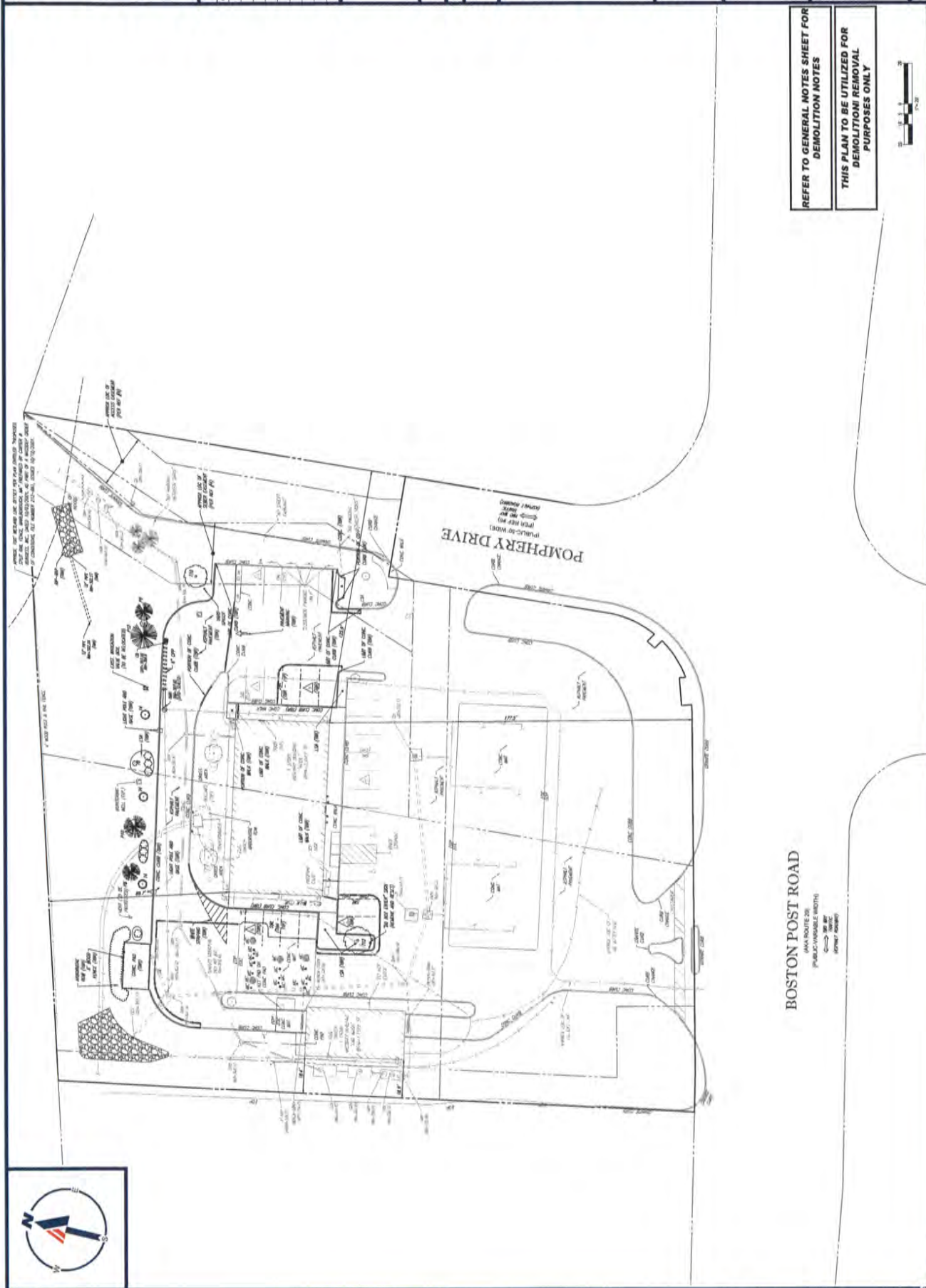
**J.G. SWERLING**

PROFESSIONAL ENGINEER  
 LICENSE NO. 10427  
 CIVIL ENGINEERING  
 COMMONWEALTH OF MASSACHUSETTS  
 100 BOSTON POST ROAD  
 WASHINGTON, MA 01877

**DEMOLITION PLAN**

**C-201**

DRWG. DATE: 10/20/2023







**VEHICLE PROFILE**  
MAINTENANCE OF A CLEAR SIGHT LINE  
IS THE RESPONSIBILITY OF THE  
PROPERTY OWNER

| Vehicle         | Height | Eye Height | Object Height |
|-----------------|--------|------------|---------------|
| Passenger Car   | 4.5    | 5.5        | 3.5           |
| Light Truck     | 4.5    | 5.5        | 3.5           |
| Medium Truck    | 7.0    | 7.5        | 3.5           |
| Tractor Trailer | 13.5   | 14.0       | 3.5           |



**C-302**  
SHEET NUMBER

**VEHICLE STUDY PLAN**

**J.G. SWERLING**  
PROFESSIONAL ENGINEER  
1000 STATE STREET, SUITE 200  
BOSTON, MASSACHUSETTS 02118  
PHONE: 617.552.1234  
FAX: 617.552.1235  
WWW.JG-SWERLING.COM

**BOHLER**  
392 TURNPIKE ROAD  
SCITUATE, MASSACHUSETTS 01903  
PHONE: 508.548.9177  
WWW.BOHLERCORPORATION.COM

**GLOBAL**  
PROPOSED  
DRIVING AND STOPPING  
MAPS WILL BE  
FOR THE CITY OF  
MIDDLESEX COUNTY,  
MASSACHUSETTS

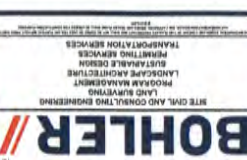
**SPECIAL PERMIT PLANS**  
FOR  
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CHECKED BY: [Blank]  
DATE: [Blank]  
SCALE: [Blank]

**PRELIMINARY REVIEW**  
DATE: [Blank]  
BY: [Blank]

**18**  
ALWAYS CALL 811  
BEFORE YOU DIG  
811.FREE.AT.811

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**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
LANDSCAPE ARCHITECTURE  
PROGRAM MANAGEMENT  
SUSTAINABLE DESIGN  
PLANNING SERVICES  
TRANSPORTATION SERVICES



**BOHLER**  
 SITE COST AND CONSULTING ENGINEERING  
 LAND SURVEYING  
 PROGRAM MANAGEMENT  
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 TRANSPORTATION SERVICES  
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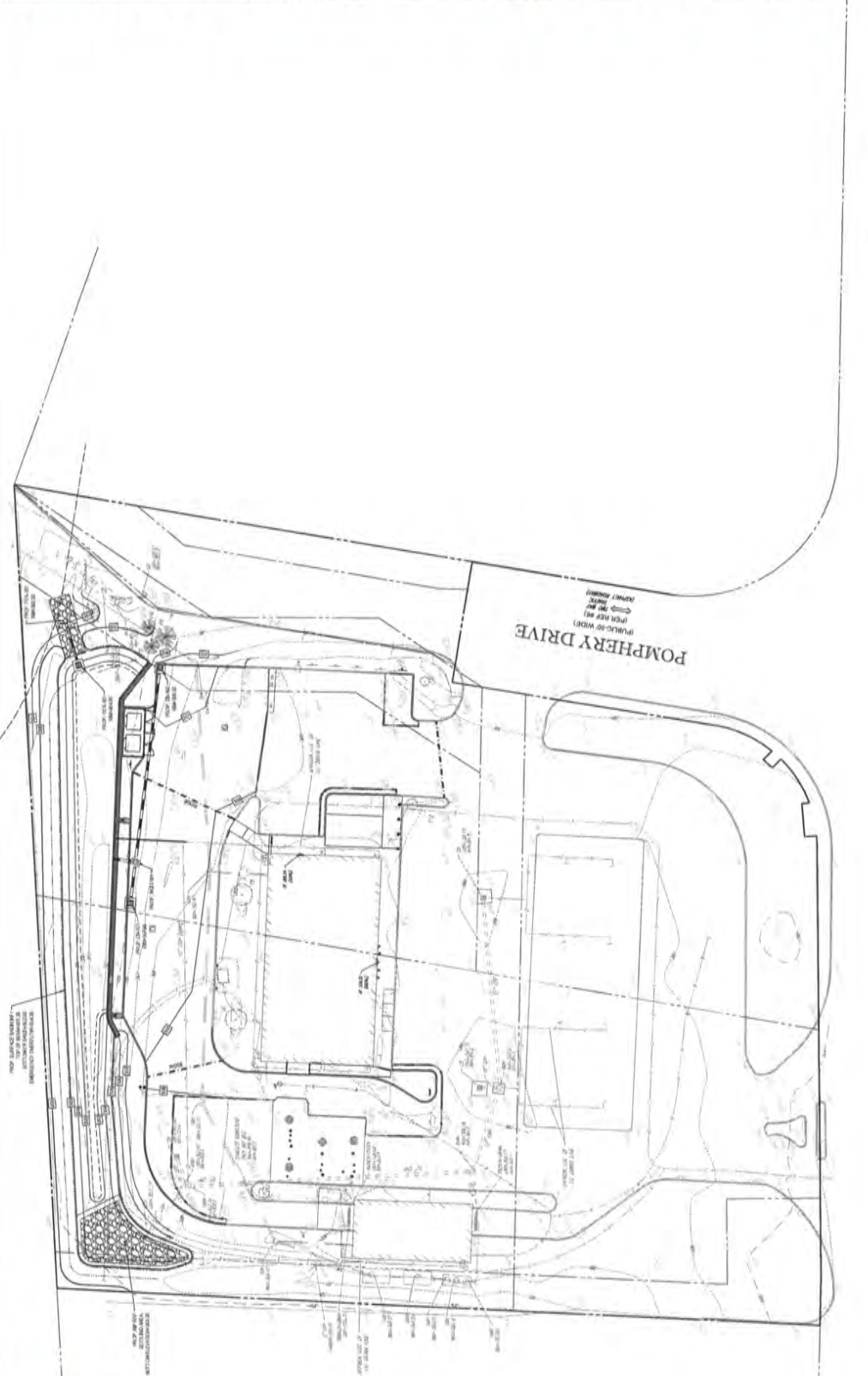
**PRELIMINARY REVIEW**  
 ALWAYS CALL 877  
 877-877-8777

**SPECIAL PERMIT PLANS**  
 FOR  
**GLOBAL**  
 SPECIAL PERMIT  
 PROPOSED IMPROVEMENTS  
 DRAINAGE AND EROSION  
 CONTROL MEASURES  
 MAP INCLUDES THE  
 CITY OF MANASSAS  
 CITY OF MANASSAS  
 WASHINGTON COUNTY,  
 VIRGINIA

**BOHLER**  
 3821 TURNBROKE ROAD  
 SUITE 100  
 MANASSAS, VA 20108  
 PHONE: (703) 440-5001  
 www.bohler-engineering.com

**J.G. SWERLING**  
 PROFESSIONAL ENGINEER  
 REG. NO. 55118  
 SPECIALTY: CIVIL  
 STATE OF VIRGINIA

**GRADING AND UTILITY PLAN**  
**C-401**  
 DATE: 08/20/2011



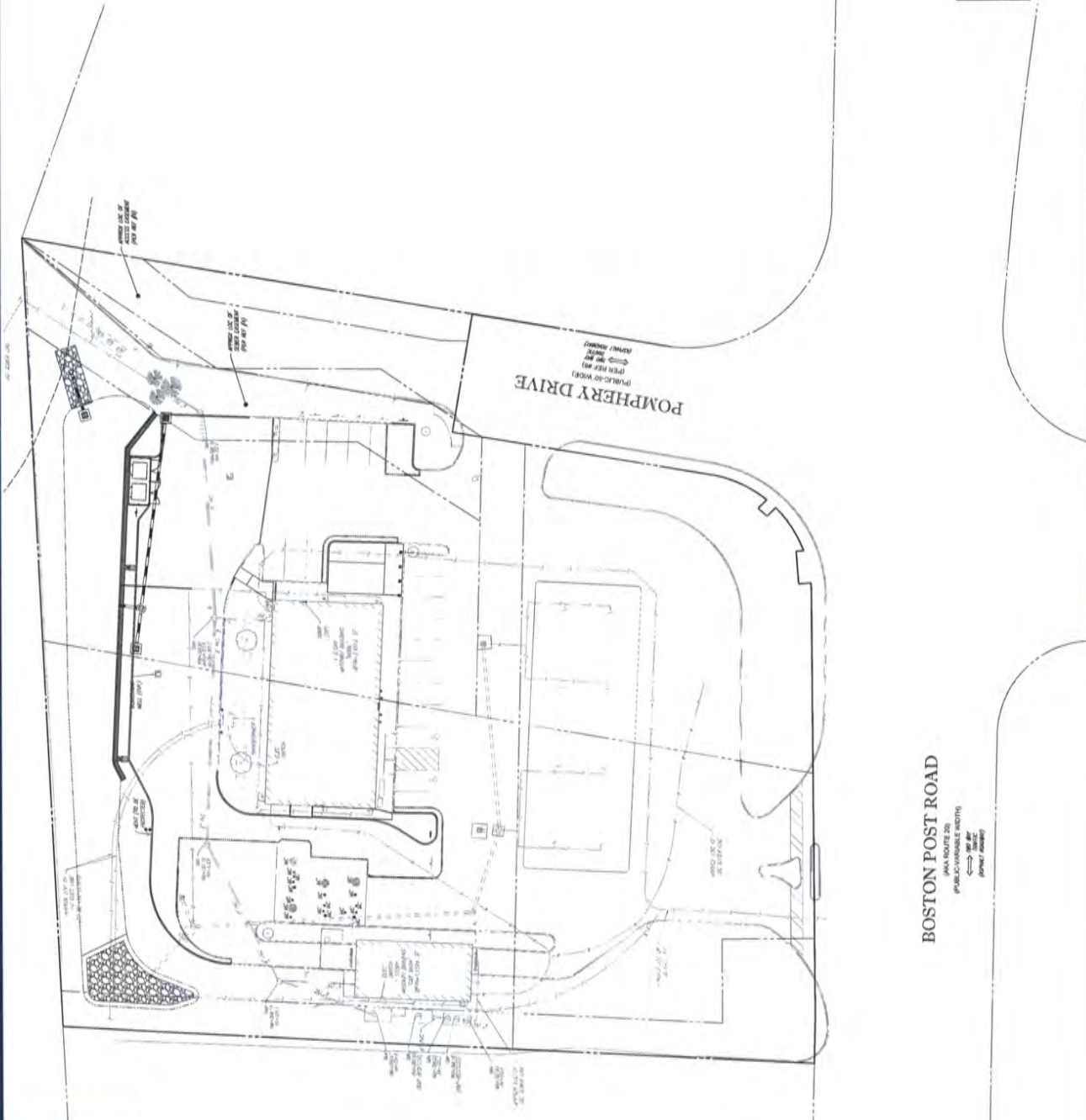
**THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES**

**THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES**



**BOSTON POST ROAD**  
 (PUBLIC-ROADS) (METS)  
 (METS) (METS)  
 (METS) (METS)





THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES

BOSTON POST ROAD  
 AREA SUBJECT TO  
 (PUBLIC VARIABLE WIDTH)  
 (APPROXIMATE)

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PLANNING SERVICES  
 TRANSPORTATION SERVICES

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**118**  
 ALWAYS CALL 911  
 IT'S FREE. IT'S FAST. IT'S THE WAY.

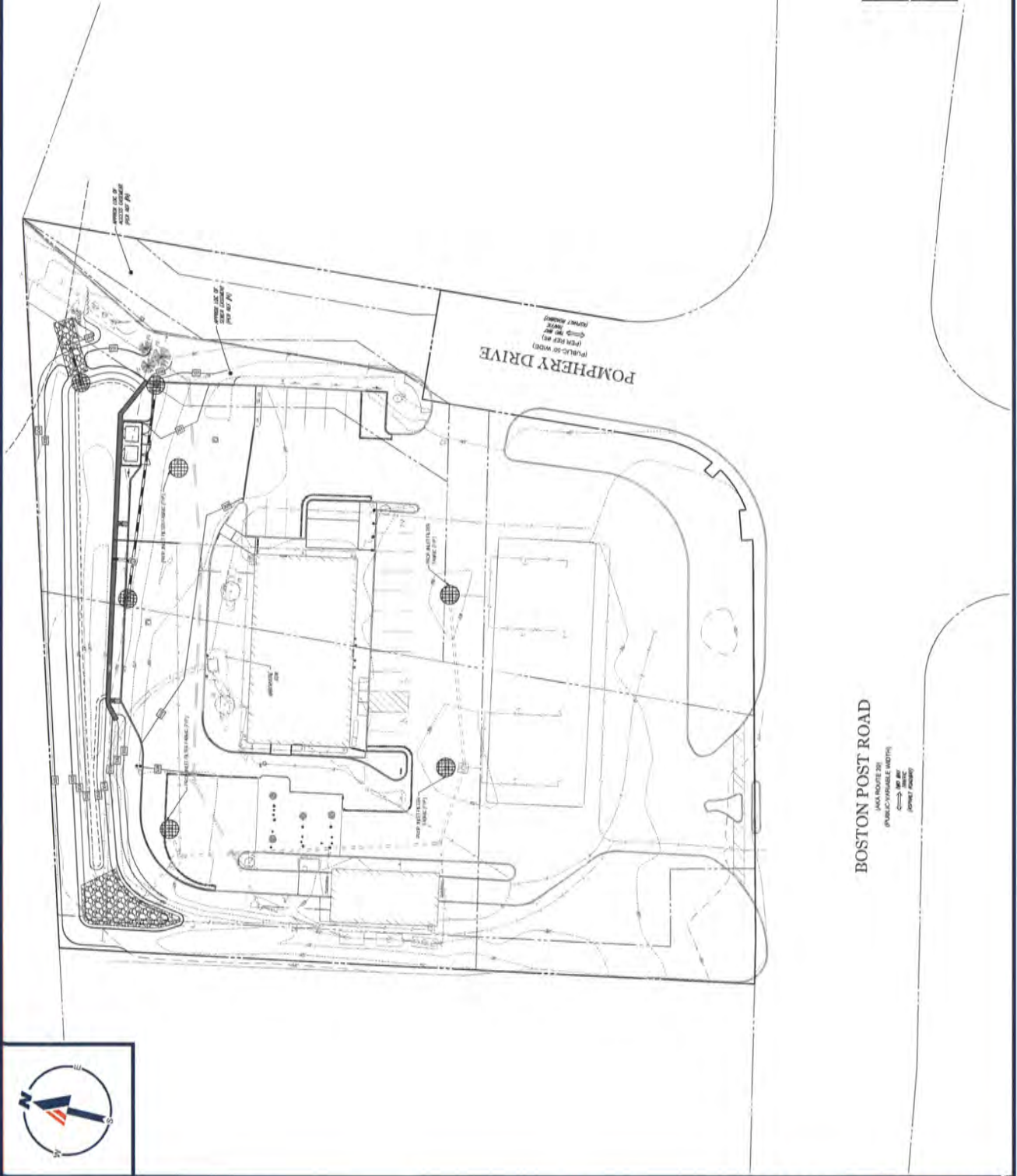
**PRELIMINARY REVIEW**  
 PROJECT NO.:  
 SHEET NO.:  
 DATE:  
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 CHECKED BY:  
 CANCEL:

**SPECIAL PERMIT PLANS**  
 FOUR  
**GLOBAL**  
 PROPOSED DRIVE-THRU AND PARKING MAPS WILL BE USE IN THE STATE OF MASSACHUSETTS FOR THE ROAD IN WOLBESIT COUNTY, MASSACHUSETTS

**BOHLER**  
 302 TURNPIKE ROAD  
 SOUTHBOROUGH, MA 01772  
 www.BohlerEngineering.com

**J.G. SWERLING**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 10000  
 REGISTERED IN THE STATE OF MASSACHUSETTS

**UTILITY PLAN**  
 SHEET NUMBER: **C-501**  
 DRAWING NUMBER: 17-20



**BOHLER**  
 SITE CIVIL AND CORREL. ENG'G  
 LANDSCAPE ARCHITECTURE  
 PROGRAM MANAGEMENT  
 LEAD PLANNING  
 CONSULTING SERVICES  
 TRANSPORTATION SERVICES  
 SURVEYING  
 EROSION CONTROL DESIGN  
 LANDSCAPE ARCHITECTURE  
 PROGRAM MANAGEMENT  
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 CONSULTING SERVICES

**REVISIONS**

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**PRELIMINARY REVIEW**  
 PROJECT NO. 2012-010  
 SHEET NO. C-601  
 PROJECT: [REDACTED]  
 CLIENT: [REDACTED]  
 DATE: [REDACTED]

**SPECIAL PERMIT PLANS**  
**GLOBAL**  
 PROPOSED DRIVEWAYS AND PARKING AREAS  
 855 BOSTON POST ROAD  
 CITY OF BOSTON, MASSACHUSETTS

**BOHLER**  
 285 THOMPSON ROAD  
 SOUTHBOROUGH, MA 01772  
 Phone: (508) 349-8888  
 www.BohlerEngineering.com

**J.G. SWERLING**  
 PROFESSIONAL ENGINEER  
 STATE OF MASSACHUSETTS  
 LICENSE NO. 10158  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL ENGINEERING  
 10158

**SOIL EROSION & SEDIMENT CONTROL PLAN**  
 SHEET NUMBER  
**C-601**  
 JOHN G. SWERLING - REGISTERED

THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY  
 REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS



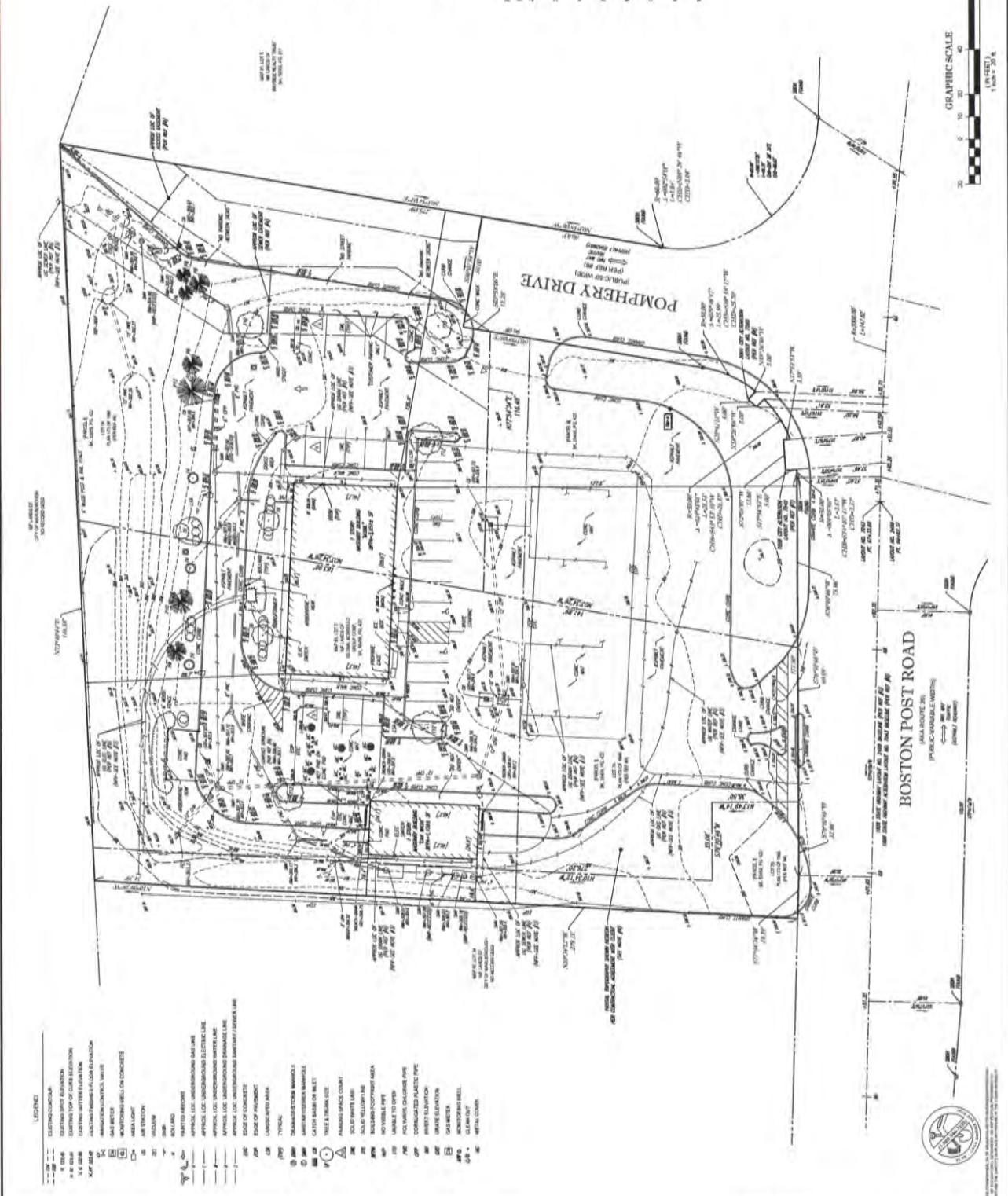




- NOTES:**
1. THE INFORMATION ON THIS PLAN IS BASED ON THE CITY OF MIDDLESEX, MASSACHUSETTS, MAP NO. 10.
  2. AREA 4 IS 200 SQUARE FEET (2.3 ACRE).
  3. LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE AS SHOWN ON THE CITY OF MIDDLESEX, MASSACHUSETTS, MAP NO. 10. THE LOCATION OF ALL UTILITIES SHOWN ON THIS PLAN IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION OF ANY STRUCTURE, FENCE, OR FURNITURE. THE LOCATION OF ALL UTILITIES SHOWN ON THIS PLAN IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION OF ANY STRUCTURE, FENCE, OR FURNITURE. THE LOCATION OF ALL UTILITIES SHOWN ON THIS PLAN IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION OF ANY STRUCTURE, FENCE, OR FURNITURE.
  4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED BY THE FIELDS BY CONTROL POINT ASSOCIATES, INC. AND OTHER INSTRUMENTAL SURVEYORS.
  5. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
  6. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
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  9. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
  10. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

- REFERENCES:**
1. THE MASSACHUSETTS MAP OF MIDDLESEX COUNTY, MAP NO. 10.
  2. THE MASSACHUSETTS MAP OF MIDDLESEX COUNTY, MAP NO. 10.
  3. THE MASSACHUSETTS MAP OF MIDDLESEX COUNTY, MAP NO. 10.
  4. THE MASSACHUSETTS MAP OF MIDDLESEX COUNTY, MAP NO. 10.
  5. THE MASSACHUSETTS MAP OF MIDDLESEX COUNTY, MAP NO. 10.
  6. THE MASSACHUSETTS MAP OF MIDDLESEX COUNTY, MAP NO. 10.
  7. THE MASSACHUSETTS MAP OF MIDDLESEX COUNTY, MAP NO. 10.
  8. THE MASSACHUSETTS MAP OF MIDDLESEX COUNTY, MAP NO. 10.
  9. THE MASSACHUSETTS MAP OF MIDDLESEX COUNTY, MAP NO. 10.
  10. THE MASSACHUSETTS MAP OF MIDDLESEX COUNTY, MAP NO. 10.

| NO. | DESCRIPTION      | DATE       | BY     | FOR                         |
|-----|------------------|------------|--------|-----------------------------|
| 1   | PRELIMINARY PLAN | 10-14-2020 | J.L.H. | GLOBAL MONTELLO GROUP CORP. |
| 2   | FINAL PLAN       | 10-14-2020 | J.L.H. | GLOBAL MONTELLO GROUP CORP. |
| 3   | AS BUILT         | 10-14-2020 | J.L.H. | GLOBAL MONTELLO GROUP CORP. |
| 4   | AS BUILT         | 10-14-2020 | J.L.H. | GLOBAL MONTELLO GROUP CORP. |
| 5   | AS BUILT         | 10-14-2020 | J.L.H. | GLOBAL MONTELLO GROUP CORP. |
| 6   | AS BUILT         | 10-14-2020 | J.L.H. | GLOBAL MONTELLO GROUP CORP. |
| 7   | AS BUILT         | 10-14-2020 | J.L.H. | GLOBAL MONTELLO GROUP CORP. |
| 8   | AS BUILT         | 10-14-2020 | J.L.H. | GLOBAL MONTELLO GROUP CORP. |
| 9   | AS BUILT         | 10-14-2020 | J.L.H. | GLOBAL MONTELLO GROUP CORP. |
| 10  | AS BUILT         | 10-14-2020 | J.L.H. | GLOBAL MONTELLO GROUP CORP. |



- LEGEND:**
- 1. DOTTED LINE - EXISTING CONCRETE
  - 2. DASHED LINE - EXISTING TOP OF CURB ELEVATION
  - 3. SOLID LINE - EXISTING UTILITY ELEVATION
  - 4. DASHED LINE - EXISTING FINISH FLOOR ELEVATION
  - 5. SOLID LINE - EXISTING FINISH FLOOR ELEVATION
  - 6. DOTTED LINE - EXISTING FINISH FLOOR ELEVATION
  - 7. DASHED LINE - EXISTING FINISH FLOOR ELEVATION
  - 8. SOLID LINE - EXISTING FINISH FLOOR ELEVATION
  - 9. DOTTED LINE - EXISTING FINISH FLOOR ELEVATION
  - 10. DASHED LINE - EXISTING FINISH FLOOR ELEVATION



**CONTROL POINT ASSOCIATES, INC.**  
 100 BOSTON POST ROAD  
 BOSTON, MASSACHUSETTS 02111  
 TEL: 617-552-1111  
 FAX: 617-552-1112  
 WWW: CONTROLPOINT.COM

**GLOBAL MONTELLO GROUP CORP.**  
 100 BOSTON POST ROAD  
 BOSTON, MASSACHUSETTS 02111  
 TEL: 617-552-1111  
 FAX: 617-552-1112  
 WWW: GLOBALMONTELLO.COM

**BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY**  
 GERRYL L. HOLDRIGHT, P.L.S.  
 10-14-2020  
 DATE

**GRAPHIC SCALE**  
 0 10 20 30 40 50  
 FEET  
 1 inch = 20 feet

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CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH

2021 FEB 18 A 10:45

**goulston&storrs**  
counsellors at law

Peter Tamm, Esq.  
ptamm@goulstonstorrs.com  
(617) 574-7891 (tel)  
(617) 574-4112 (fax)

February 18, 2021

**VIA OVERNIGHT DELIVERY**

Marlborough City Council  
Marlborough City Hall, Second Floor  
140 Main Street  
Marlborough, MA 01752

**Re: Zoning Amendment affecting the Campus at Marlborough, Simerano Drive and Martinangelo Drive, Marlborough, MA (the "Property")**

Dear Members of the City Council,

On behalf of BH GRP TCAM Owner LLC, an affiliate of Greatland Realty Partners (the "**Proponent**"), I am pleased to submit the following enclosed materials in support of a zoning change at the Property:

1. a plan showing a proposed zoning map amendment extending the adjoining Results Way Mixed Use Overlay District (the "**RWMUOD**") over the Property; and
2. a redline reflecting proposed minor revisions to the RWMUOD text, as described below.

The Proponent is the current owner of the Property, which comprises City of Marlborough Assessing Parcels #100-10, #111-1 and 111-2 and contains a total of approximately 121.16 acres of land presently in the Industrial District. The Property is currently improved with approximately 550,000 square feet of office space constructed as Phase I of "The Campus at Marlborough" master project (the "**TCAM Project**").

As shown on the enclosed plan, the Proponent is seeking to extend the RWMUOD, which currently covers approximately 100 acres of land adjacent to the Property across Simerano Drive, to include the Property. Expanding this overlay zoning designation to the Property is consistent with the City's mixed-use planning and economic development goals. Specifically, Section 4.3.2.2 of the City of Marlborough's 2011 *Economic Development Master Plan* suggests, as a zoning change to facilitate new development in the City's industrial zones, "Specifying mixed-use options for projects in industrial zoning districts, particularly retail/office, retail/industrial and live-work options." Such a zoning change would provide the framework and flexibility to allow the Proponent to fulfill its vision for the TCAM Project by completing the unrealized "Phase 2" commercial component thereof. Following on the construction of the Revance building, which is currently undergoing site plan review by the Site Plan Review Committee, this vision involves the establishment of a central square providing amenities and public dining options, surrounded by a "bio-ring"—consisting of office, life science and biomanufacturing uses—as well as a limited number of townhomes at the base of the hill.

As you are aware, the existing RWMUOD requires that a mixed use development (as defined in the RWMUOD zoning text, a "**MUD**") obtain City Council approval of a master plan and development agreement, followed by site plan approval by the City Council for the construction of each mixed-use component thereof. However, as currently written, the RWMUOD does not contemplate more than one MUD within the district. As a result, the RWMUOD text requires minor adjustments to allow the TCAM Project to proceed as a second MUD within the expanded RWMUOD. If these revisions are approved,

the Proponent will subsequently file a draft master plan and development agreement for the TCAM Project with the City Council, followed by site plan review applications for individual project components. This iterative process ensures continued input and oversight by the City Council as development plans for Phase 2 are advanced.

In addition to these changes, two minor substantive changes are required to best position the Property for development into a key biomanufacturing hub in the Commonwealth of Massachusetts. The first substantive change to the zoning addresses an ambiguity in the RWMUOD text related to biomanufacturing use in general. Section 650-33E(3)(g) of the RWMUOD contains a general prohibition on “hazardous and toxic chemical manufacturing”. However, it is not unusual for modern biomanufacturing to involve some hazardous material. Such biomanufacturing uses are subject to rigorous local, state and federal regulation to ensure that such production is done in a safe and responsible manner. Without revision, the blanket prohibition set forth in Section 650-33E(3)(g) prohibits many of the heavily-regulated and safe uses that the RWMUOD was intended to allow. The proposed revision would clarify this to ensure that the City of Marlborough is “biomanufacturing-ready”.

Second, in order to allow for the development of a limited number of townhomes at the base of the hill on the Property, a 100-unit residential cap is proposed to be applied to the newly expanded portion of the district. Although these residences are essential to the mixed-use vision for the TCAM Project, they represent a modest component of the overall TCAM Project, which, at full-build, will become a job and innovation center of over 1.1 million square feet of commercial development.

Please do not hesitate to reach out if you have any questions. Thank you.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Peter Tamm", written over a horizontal line.

Peter Tamm, Esq.

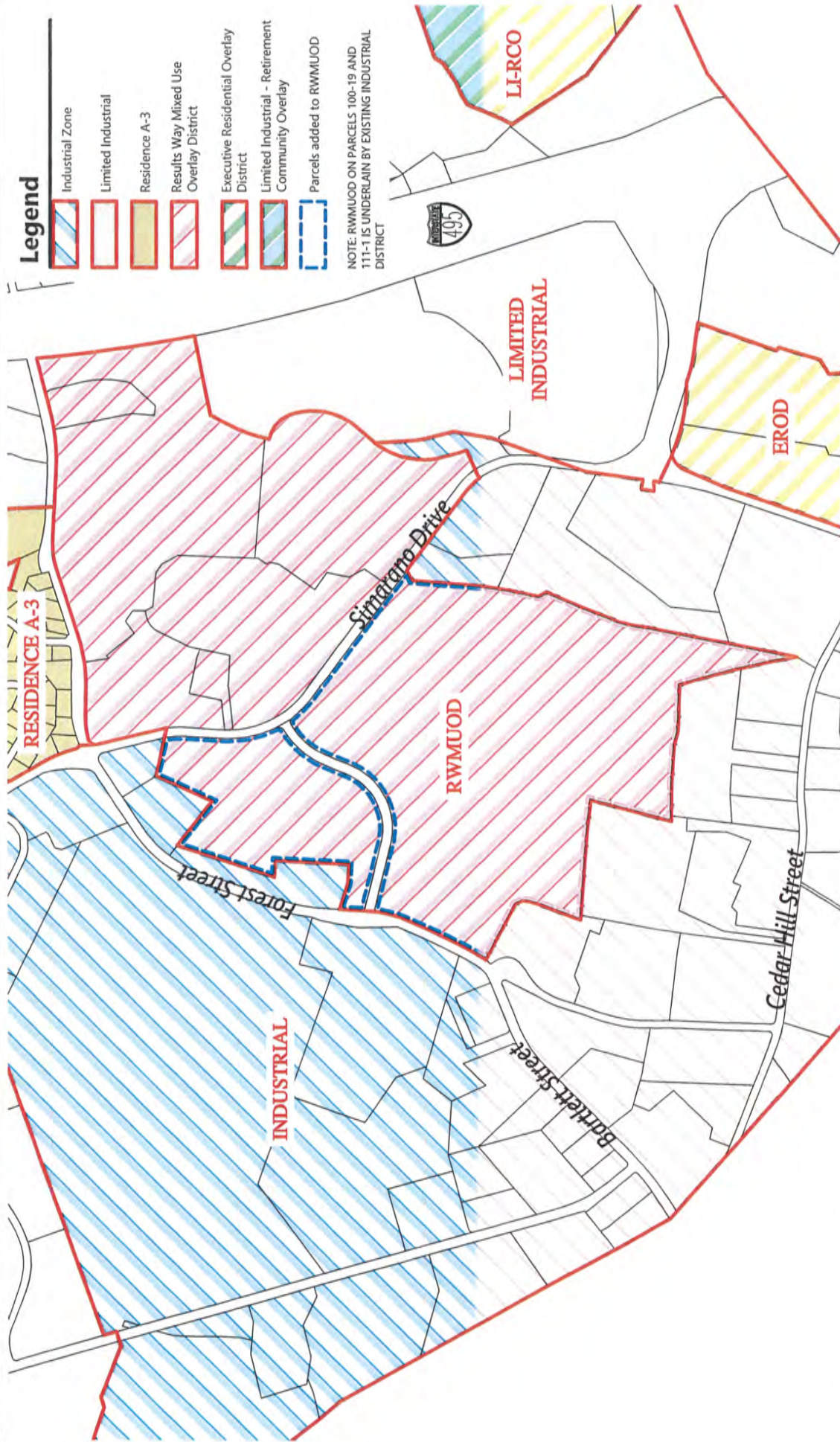
Enclosures

1. Proposed RWMUOD Extension Plan; and
2. Proposed RWMUOD text revisions.

CC (VIA EMAIL DELIVERY):

Mr. Kevin Sheehan, Greatland Realty Partners  
Ms. Teri Ford, Greatland Realty Partners  
Mr. David O. Gillespie, AvalonBay Communities, Inc.

ATTACHMENT #1: PROPOSED RWMUOD EXTENSION PLAN



Proposed Zoning Revisions  
The Campus at Marlborough

**Figure 1**

Jan. 22, 2021



ATTACHMENT #2: PROPOSED RWMUOD TEXT REVISIONS

**§ 650-33. Results Way Mixed Use Overlay District. [Added 12-17-2012 by Ord. No. 12-1005154C], as revised [•], 2021 by Ord. No. 21-[•]**

A. Purpose and objectives.

- (1) The Results Way Mixed Use Overlay District (herein, also RWMUOD) allows the application of supplemental land use controls within the boundaries of a certain overlay district, subject to City Council approval (Hereinafter any reference to City approval shall be deemed to mean approval by the City Council.) as an alternative to land use controls that exist in the underlying district(s). The establishment goals of the Results Way Mixed Used Overlay District are to enhance land use development and encourage desired growth patterns for the benefit of the public health, safety and welfare by promoting integrated, pedestrian-friendly, mixed use development to allow for the development of housing, retail and workplaces within close proximity of each other consistent with the stated economic development objectives of the City (collectively, herein mixed use developments or MUD).
- (2) For the purposes of this section, the RWMUOD shall be superimposed on the other districts existing at the time that any land in any said underlying district is also included in the RWMUOD. The RWMUOD is adjacent to Simarano Drive ~~to the west, and~~ Forest Street ~~to the north, and Puritan Way and Results Way to the east~~ as indicated on the City Zoning Map and more particularly described in Exhibit A annexed hereto and incorporated by reference herein.<sup>1</sup>
- (3) For the purposes of the Zoning Ordinance, a mixed use development or MUD shall include any eligible use set forth in Subsection E, below, which may be commingled into a single structure or structures with other eligible uses or may be located in separate structures on the site subject to any restrictions and/or limitations set forth in the development agreement described in Subsection C(2) below. Accordingly, mixed use developments shall benefit the public health, safety and welfare through the sharing of parking lots and driveway curb cuts to minimize the amount of impervious paved parking areas, to reduce traffic congestion, to reduce automobile trips, and accordingly to improve air quality.

B. Authority of permit granting authority.

- (1) The City Council shall be the permit granting authority for special permit and site plan approval in the RWMUOD. In all instances, a development which proceeds under the RWMUOD overlay is subject to site plan approval in accordance with § 270-2 of the Marlborough City

**1. Editor's Note: Exhibit A is on file in the City offices.**

Code, with the exception that the City Council shall be the permit granting authority for special permit and site plan approval in the RWMUOD.

- (2) The City Council may elect to vary the dimensional and parking requirements of this section by special permit if, in its opinion, such change shall result in a substantially improved project and will not nullify or substantially derogate from the intent or purpose of this section. This authority continues subsequent to occupancy.

C. Master concept plan; development agreement. ~~The~~<sup>Δ</sup> property owner/developer ~~of~~<sup>within</sup> the RWMUOD shall, prior to or simultaneously with the first application for approval of a site plan and/or special permit for a MUD within the RWMUOD, file the following with the City Council for approval:

(1) Master concept plan.

(a) A master concept plan (master plan) which shall in a general manner show:

- [1] The location and areas of proposed development;
- [2] Proposed open space (usable or natural);
- [3] Proposed site access curb cuts off of Simarano Drive and Forest Street; and
- [4] Proposed building envelope(s) where construction is anticipated to occur (excluding internal site driveways).

(b) A table showing approximate acres and calculations of the following:

- [1] Total land area of each development area (building envelope area);
- [2] Total development limitations, if any, of uses in any developable area;
- [3] Total maximum development (square footage/use limitations); and
- [4] Approximate number of parking spaces ~~for the entire RWMUOD District.~~

(c) The master plan shall be approved by a super majority (2/ 3) vote of the City Council at a public meeting and shall thereafter become the general development plan governing development at the ~~RWMUOD~~<sup>MUD</sup>. The master plan may be amended from time to time by a super majority vote (2/3) of the City Council by application from the property owner/developer to reflect changing development conditions.

- (2) A development agreement in recordable form binding upon the developer/property owner.
- (a) The development agreement shall be approved by a super majority (2/3) vote of the City Council prior to the issuances of the first permit/site plan approval for development within the ~~RWMUOD~~MUD, which shall contain, without limitation:
- [1] Required mitigation (including traffic demand management initiatives) to address the impacts arising out of the use and occupancy of the proposed project, or if at the time of execution such impacts are not known, the methodology for assessing and addressing such impacts as the development of the ~~RWMUOD~~MUD progresses.
  - [2] Restrictions on development areas and such other development limitations as may be agreed upon.
  - [3] Proposed phasing of the development of the ~~RWMUOD~~MUD.
  - [4] Obligations with respect to pedestrian and vehicular interconnectivity within the ~~RWMUOD~~MUD to facilitate pedestrian access and parking efficiencies.
  - [5] The authority of the City Council to retain the necessary professionals to assist in its review of development applications.
  - [6] An agreement by the property owner/developer of the residential component of the property to make a onetime financial contribution to the City per residential unit developed at the ~~RWMUOD~~MUD for which a building permit is issued. This payment shall be due at the time of the issuance of the building permit for the unit(s). This amount is to be used by the City acting by and through the City Council to assist in the identification and implementation of zoning, economic and other strategies to foster professional, retail and commercial development initiatives as well as the development of affordable housing which may include, without limitation, the preparation of a housing production plan in accordance with the rules and regulations of the Massachusetts Department of Housing and Community Development (760 CMR 56.03(4)) and the funding of the implementation of the goals and objectives set forth in such plan.

(b) The development agreement shall govern the implementation of the master plan and development at the MUD.

(c) Notwithstanding anything contained in any current or future development agreement to the contrary, each development agreement shall only apply to the applicable MUD and shall not govern any development of other MUDs within the RWMUOD.

D. Exclusivity/control. Except as specifically provided herein, uses and provisions of Article V of Chapter 650 (Zoning) relating to the underlying zoning district not otherwise impacted by this section (§ 650-33 et seq.) shall continue to remain in full force and effect; provided, however, that the City Council shall be the special permit granting and site plan approval authority, if applicable. This section (§ 650-33 et seq.) of the Zoning Ordinance exclusively controls the establishment, development, and design of any MUD undertaken in the RWMUOD and supersedes any other provision of the Zoning Ordinance (except the provisions of the Water Supply Protection District, provided that the maximum total impervious surface coverage for the RWMUD shall be 60% calculated on the entire land area of ~~the RWMUOD~~ each MUD and not on an individual lot basis). In the event of any conflict between the provisions of this section (§ 650-33 et seq.) and any other provision of the Zoning Ordinance, the provisions of this section shall govern and control.

E. Eligible uses. Except as specifically set forth below, all uses permitted in the Industrial and Limited Industrial Districts either as of right or by special permit in accordance with § 650-17 of the Zoning Ordinance are permitted in the RWMUOD. If a use requires a special permit under § 650-17, Table of Use Regulations, such use shall continue to require a special permit under this section.

(1) The following additional uses are also permitted by right in the RWMUOD:

(a) Research and experimental labs (33). (NOTE: Numbers in parentheses correspond to subsection numbers in § 650-18, Conditions for Uses, as noted in § 650-17, Table of Use Regulations.) Research and development includes, without limitation, laboratories engaged in research, experimental and testing activities, including, but not limited to, the fields of biology, chemistry, electronics, engineering, geology, pharmaceuticals, medicine and physics.

(b) Medical office and diagnostic medical laboratories appurtenant to offices of physicians and dentists.

- (c) Associated/accessory research uses (35). (NOTE: Numbers in parentheses correspond to subsection numbers in § 650-18, Conditions for Uses, as noted in § 650-17, Table of Use Regulations.)
  - (d) Advanced manufacturing, which shall include high technology manufacturing, such as, but not limited to, laser technology, robotics, nanotechnology and computer-associated design and software development.
  - (e) Multifamily dwelling: up to ~~350 dwelling units within the entire RWMUOD Zoning District~~ the maximum amounts set forth on Exhibit A including, without limitation, age-restricted dwelling units.
  - (f) Retail sales and services: up to ~~75,000 square feet of total gross floor area; up to 10,000 square feet of gross floor area per establishment~~ the maximum amounts set forth on Exhibit A.
  - (g) Hotels and motels.
  - (h) Hotels with conference facilities and commercial uses.
  - (i) Car parking lots, garages: a structure or a group of structures that facilitate the parking of vehicles at ground level, above or below grade and shall include area for the parking of vehicles at, above and/or below grade under a building or otherwise integrated into another structure.
  - (j) Consumer service establishments complementary to the other principal uses at the property.
  - (k) Restaurant, cafe with or without table service (including outside seating and service).
  - (l) Health, sports and fitness clubs (indoor and/or outdoor) and related facilities.
  - (m) Self-service laundry.
  - (n) Dry cleaning (pickup and dropoff only).
- (2) The following additional uses are also permitted by special permit in the RWMUOD:
- (a) Multifamily dwelling — more than ~~350 dwelling units within the entire RWMUOD Zoning District~~ the maximum amounts set forth on Exhibit A including, without limitation, age-restricted dwelling units.

- (b) Drive-through facilities associated with retail (e.g. banks; pharmacies) and food services.

(3) The foregoing subsections notwithstanding, the uses set forth as follows are expressly prohibited in the RWMUOD:

- (a) Adult entertainment, including an adult bookstore, video store, paraphernalia store, movie theater, or live entertainment establishment.
- (b) Tattoo and body piercing parlors and shops.
- (c) Dye works.
- (d) Biosafety Level 4 laboratories, as defined by the United States Center for Disease Control and Prevention.
- (e) Establishments for construction in such services as, but not limited to, building, building maintenance, plumbing, landscaping, electrical, masonry, carpentry, well drilling.
- (f) Electroplating, metal finishing except by special permit as an accessory use to an otherwise permitted principal use.
- (g) Hazardous and toxic chemical manufacturing, except in accordance with applicable state and federal regulations.
- (h) Trucking terminal and distribution center.
- (i) Automotive sales and/or service.
- (j) Retail gasoline, oil and lubrication stations.
- (k) Commercial bakeries.
- (l) On-site sales and rental of heavy machinery and vehicles.
- (m) Laundry and dry cleaning establishment, except dropoff and pickup operations and facilities designed to service residents of multifamily dwelling.
- (n) Any activity or use directly or indirectly involving, without limitation, the dispensing, use, sale, growing, storage or transportation of medical marijuana, including any medical marijuana treatment center.

- (o) Any on-site facility or clinic devoted to the treatment of substance addiction, including any narcotic detoxification and/or maintenance facility.

F. Dimensional requirements. The RWMUOD shall be subject to the dimensional standards in accordance with Article VII of the Marlborough Zoning Ordinance with the following exceptions:

- (1) The RWMUOD shall consist of one or more lots. There is no minimum acreage requirement for a lot to be a part of the Results Way Mixed Use Overlay District.
- (2) Minimum lot frontage measurement shall be no less than 50 feet for any lot wholly located within the boundaries of the RWMUOD.
- (3) Minimum front yard measurement shall be no less than 30 feet for any lot wholly located within boundaries of a RWMUOD.
- (4) No less than 15 feet shall separate the structural side wall of any two or more MUD structures. No less than 15 feet shall separate any area behind and/or between structures, and fire suppression vehicles shall have clear and adequate access to all structures.
- (5) Maximum building height in RWMUOD shall not exceed 80 feet, provided that:
  - (a) Residential structures shall not exceed 70 feet; and
  - (b) No structure located within 120 feet from the center line of Forest Street shall exceed 50 feet.
- (6) Maximum lot coverage shall be calculated on the entire land area of the ~~RWMUOD~~MUD and not on an individual lot basis, and shall not exceed 60% of the total area of the ~~RWMUOD~~MUD.

G. Parking and curb cut requirements. Except as otherwise provided in this section, parking and circulation requirements shall conform to the provisions of §§ 650-48 and 650-49 of the Zoning Ordinance.

- (1) General. In the RWMUOD adequate off-street parking shall be provided. The City Council and the applicant shall have as a goal for the purposes of defining adequate off-street parking, making the most efficient use of the parking facilities to be provided and minimizing the area of land to be paved for this purpose. In implementing this goal the City Council shall consider complementary or shared use of parking areas by activities having different peak demand times, and the applicant shall locate adjacent uses in such a manner as will facilitate the complementary use of such parking areas. Implementation of such



complementary use of parking areas may result in permitted reductions in the parking requirements.

- (2) Parking locations. Parking may be provided at ground level, underground or in a parking garage. Parking garages can be freestanding or as part of buildings dedicated to other permitted uses.
- (3) Parking spaces for each dwelling unit. There shall be a minimum of 1.5 parking spaces for each dwelling unit.
- (4) Granting of relief from parking regulations. The City Council may waive any of the foregoing requirements or the requirements of § 650-48 if it makes a finding that to do so will enhance the overall design of the RWMUOD.

#### H. Signage.

- (1) Except as otherwise provided in this mixed use section, signage shall conform to the provisions of Chapter 526 of the Marlborough City Code, the Sign Ordinance.
- (2) Granting of relief from signage regulations. The City Council may waive any of the requirements of the Sign Ordinance if it makes a finding that to do so will enhance the overall design of the RWMUOD.

#### I. Application.

- (1) An application for a special permit for a use in the mixed use development in the RWMUOD shall comply with the requirements of § 650-59 et seq. of the Zoning Ordinance. In the matter of a site plan approval, the application shall comply with the requirements of the City Code, Chapter 270, Article II, Permits and Approvals, § 270-2 et seq.
- (2) The City Council in connection with a special permit and/or site plan application shall review such applications with respect to the following design criteria:
  - (a) Compliance of sidewalks with Americans with Disabilities Act (ADA) design standards;
  - (b) Street facade and exterior walls visible from public ways;
  - (c) Public space;
  - (d) Scale of buildings; and
  - (e) External lighting.

- (3) Concurrent with any public hearing/meeting associated with a special permit and/or site plan filing, the applicant shall make a presentation to the City Council to present the proposed architectural design and shall consider the comments and input from the City Council. A final building elevation shall be submitted prior to the close of the public hearing/meeting.

J. Standards for roadways and drainage.

- (1) Roadways. Internal RWMUOD roadways shall be private ways and shall be maintained by the owners/developers of the RWMUOD and portions thereof. Private ways within the RWMUOD, to the extent feasible, shall be constructed using the methods and materials prescribed in the Rules and Regulations for the Subdivision of Land in the City, but shall not be required to conform to the dimensional requirements thereof, provided that those private roadways shall be adequate for the intended vehicular and pedestrian traffic and shall be maintained by the owner/developer or an association of owners.
- (2) Stormwater management system. ~~The~~Each MUD within the RWMUOD shall have a stormwater management system designed in accordance with the applicable Rules and Regulations for the Subdivision of Land in the City and the Department of Environmental Protection's Storm Water Management Guidelines, as amended.

- K. Amendments. After approval, ~~the~~an owner/developer may seek amendments to the approved permits. Minor amendments to a special permit and major or minor amendments to a site plan approval may be made by a super majority (2/3) vote of the City Council. It shall be a finding of the City Council, not subject to dispute by the applicant, whether a requested amendment is deemed to be a major amendment or a minor one. In general, a minor modification shall not produce more than a material increase in the scale of a project nor produce more than a material increase in impact on City services, the environment or the neighborhood. If it is determined that revisions to a special permit are not minor, per § 650-59 of the Zoning Ordinance, an application for a revised special permit shall be filed, and a public hearing shall be held in the same manner as required for a new application, subject to the fee schedule under Subsection C(3)(f) of § 650-59.

The RWMUOD shall comprise two separate subdistricts, as described below. Within each subdistrict, one MUD shall be permitted, which shall be subject to a separate development agreement and master plan, and which may contain up to the maximum number of units of multifamily dwellings and gross floor area of retail sales and services uses set forth below.

|                             | <u>Included Parcels</u><br><u>[NOTE: To be confirmed by Assessor].</u>  | <u>Total number of dwelling units permitted as-of-right (subject to site plan approval as set forth herein)</u> | <u>Total gross floor area of retail sales and services uses allowed</u>  |
|-----------------------------|---|---|--|
| <u>RWMUOD Subdistrict 1</u> | <ul style="list-style-type: none"> <li>• <u>PID# 100-1</u></li> <li>• <u>PID# 100-1B</u></li> <li>• <u>PID #100-2</u></li> <li>• <u>PID #100-3</u></li> <li>• <u>PID #100-1A</u></li> <li>• <u>PID #101-2B</u></li> </ul> | <ul style="list-style-type: none"> <li>• <u>350 dwelling units as-of-right</u></li> </ul>                       | <ul style="list-style-type: none"> <li>• <u>75,000 square feet of total gross floor area (up to 10,000 square feet of gross floor area per establishment)</u></li> </ul> |
| <u>RWMUOD Subdistrict 2</u> | <ul style="list-style-type: none"> <li>• <u>PID #100-19</u></li> <li>• <u>PID #111-1</u></li> <li>• <u>PID #111-2</u></li> </ul>  | <ul style="list-style-type: none"> <li>• <u>100 dwelling units as-of-right</u></li> </ul>                       | <ul style="list-style-type: none"> <li>• <u>75,000 square feet of total gross floor area (up to 10,000 square feet of gross floor area per establishment)</u></li> </ul> |



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CITY OF MARLBOROUGH

2021 FEB 16 P 5:50

CITY OF MARLBOROUGH  
*Office of the City Council*  
140 Main Street  
Marlborough, Massachusetts 01752  
(508) 460-3711 TDD (508) 460-3610


**AGREEMENT TO EXTEND  
TIME LIMITATIONS**

Order No. 2020-1007995B  
Application for Special Permit by  
WP Marlborough MA Owner, LLC (Wayside Residential)  
339 Boston Post Road East  
Multifamily Dwelling Residential Project

The Decision of the Special Permit granting authority shall be made within ninety days following the date of such public hearing. The required time limits for a public hearing and said action may be extended by written agreement between the petitioner and the special permit granting authority. A copy of such agreement shall be filed in the office of the City Clerk.

Pursuant to Mass. General Laws, c.40A, s.9, as amended, the required time limits for action by the Marlborough City Council, as it is the special permit granting authority in the above referenced matter, is hereby extended, by agreement, until 10:00 p.m. on **May 28, 2021**.

By: \_\_\_\_\_  
Kathleen D. Robey, Chair, Urban Affairs Committee,  
acting on behalf of, and at the direction of,  
the special permit granting authority:  
**Marlborough City Council**

  
By: \_\_\_\_\_  
Brian R. Falk, Esq.  
**For Petitioner**



THE COMMONWEALTH OF MASSACHUSETTS  
STATE RECLAMATION & MOSQUITO CONTROL BOARD

# CENTRAL MASSACHUSETTS MOSQUITO CONTROL PROJECT

111 Otis Street, Northborough, MA 01532 - 2414  
Telephone (508) 393-3055 • Fax (508) 393-8492

[www.cmmcp.org](http://www.cmmcp.org)



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CITY OF NORTHBOROUGH  
2021 FEB 10 P 3:26

COMMISSION CHAIRMAN  
RICHARD DAY

EXECUTIVE DIRECTOR  
TIMOTHY D. DESCHAMPS

February 4, 2021

Pursuant to the State Reclamation & Mosquito Control Board's (SRMCB) budget notification and compliance certification policy, as revised, please find enclosed Form SRB-1.

These documents show our preliminary proposed budget amount, increase from FY21 and estimated balance forward on page 1. Pages 3 and 4 show each member community's percentage of total budget, share amounts for CMMCP and SRMCB, and total assessment estimate for FY22.

Revisions to this budget may occur, especially if new communities join our service area. The proposed budget for FY21 included a 2.5% increase, but with the addition of 2 new communities and the associated assessments, the FY21 budget was level-funded and no increase in assessment was observed for current member communities.

There are no forms to be mailed back to our office. Please direct any questions, comments or concerns to me at (508) 393-8766 or [deschamps@cmmcp.org](mailto:deschamps@cmmcp.org) before April 15, 2021.

For more information, please find budget information posted on our website at this link: <https://www.cmmcp.org/budget-information>. Thank you.

Sincerely,

Timothy D. Deschamps  
Executive Director

cc:  
City Council & Mayor  
Town Administrators/ Town Managers  
Select Board Chair  
Finance Committee Chair  
Board of Health Director/Agent

Project Name: Central Mass. Mosquito Control Project

**NOTICE OF PRELIMINARY PROPOSED BUDGET FOR FY2022**

Notice is hereby given that the Central Mass. Mosquito Control Project's (the "Project") preliminary proposed budget for **FY2022** is available online for viewing at (<https://www.cmmcp.org/budget-information>) and summarized below. Any questions, comments or concerns regarding this preliminary budget should be directed to: Central Mass. Mosquito Control Project Executive Director Timothy Deschamps at [deschamps@cmmcp.org](mailto:deschamps@cmmcp.org) by April 15<sup>th</sup>.

1. The total preliminary dollar amount that the Project is proposing for FY2022 is \$ 2,794,714. The chart found below highlights the preliminary budget request by the Project for the coming year with pertinent budget information that fully describes the "total trust fund account" budget amount available for the Project to expend in FY2022.

| A.            | B.                  | C.  | D.   | E.                                       | F.   | G.  | H.                            | I.  |
|---------------|---------------------|---|--|--|--|---|-------------------------------|---|
| Project Name  | Number of Employees | FY2022 Preliminary Proposed Budget Amount | FY2022 % Increase towards Operating Budget | FY2022 % Increase towards Capital Budget | FY2022 Total % Increase Over Certified FY2021 Budget (Add D + E) | FY2021 Estimated Balance Forward /Rollover Amount | FY2021 Actual Budget Revenues | FY2022 Total Est'd Funding Available in Trust Account (Add C + G) |
| Central Mass. | 22                  | \$2,794,714                               | 3.25%                                      | 0%                                       | 3.25%  | \$100,000   | \$2,706,745                   | \$2,894,714   |

2. The member municipalities within the Project together with each municipality's estimated proportionate share thereof expressed both as a percentage and as a dollar amount, are as set forth on Form SRB-1, Page 2. **As of the date of this notice, the Project is comprised of 44 municipalities as listed on Form SRB-1, Page 3.**

If the composition of the Project changes because one or more municipalities join or withdraw from the Project, the total preliminary budget will be adjusted pro rata.

8. A copy of this Notice, together with a copy of the preliminary budget proposed, has been delivered or mailed to the Chief Administrative Officer, Chief Executive Officer, to the Finance Committee of each member municipality having a finance committee, and to the State Reclamation and Mosquito Control Board.

Project Name: Central Mass. Mosquito Control Project  
 FY2022 Proposed Cherry Sheet Assessments Estimates  
 Based on the preliminary proposed Project budget  
 (2020 Equalized Valuations)

| Municipality | Percentage of Total Budget | Project Share Amount* | State Reclamation Board Share Amount* | Total Assessment Estimate* |
|--------------|----------------------------|-----------------------|---------------------------------------|----------------------------|
| Acton        | 2.66%                      | \$74,453              | \$3,192                               | \$77,645                   |
| Ashland      | 1.68%                      | \$46,997              | \$2,015                               | \$49,012                   |
| Auburn       | 1.83%                      | \$51,060              | \$2,189                               | \$53,249                   |
| Ayer         | 1.07%                      | \$29,947              | \$1,284                               | \$31,231                   |
| Berlin       | 1.32%                      | \$36,990              | \$1,586                               | \$38,576                   |
| Billerica    | 3.71%                      | \$103,705             | \$4,445                               | \$108,150                  |
| Blackstone   | 1.19%                      | \$33,330              | \$1,429                               | \$34,759                   |
| Bolton       | 2.06%                      | \$57,450              | \$2,463                               | \$59,913                   |
| Boxborough   | 1.17%                      | \$32,687              | \$1,401                               | \$34,088                   |
| Boylston     | 1.64%                      | \$45,921              | \$1,968                               | \$47,889                   |
| Chelmsford   | 3.17%                      | \$88,714              | \$3,803                               | \$92,517                   |
| Clinton      | 0.80%                      | \$22,346              | \$958                                 | \$23,304                   |
| Dracut       | 2.62%                      | \$73,337              | \$3,144                               | \$76,481                   |
| Fitchburg    | 3.08%                      | \$86,100              | \$3,691                               | \$89,791                   |
| Gardner      | 2.31%                      | \$64,665              | \$2,772                               | \$67,437                   |
| Grafton      | 2.59%                      | \$72,285              | \$3,099                               | \$75,384                   |
| Holliston    | 2.21%                      | \$61,882              | \$2,653                               | \$64,535                   |
| Hopedale     | 0.62%                      | \$17,394              | \$746                                 | \$18,140                   |
| Hopkinton    | 3.20%                      | \$89,483              | \$3,836                               | \$93,319                   |
| Hudson       | 1.59%                      | \$44,325              | \$1,900                               | \$46,225                   |
| Lancaster    | 2.76%                      | \$77,236              | \$3,311                               | \$80,547                   |
| Leominster   | 3.41%                      | \$95,323              | \$4,086                               | \$99,409                   |
| Littleton    | 1.91%                      | \$53,464              | \$2,292                               | \$55,756                   |
| Lowell       | 2.88%                      | \$80,369              | \$3,445                               | \$83,814                   |
| Lunenburg    | 2.74%                      | \$76,576              | \$3,283                               | \$79,859                   |
| Marlborough  | 3.08%                      | \$86,054              | \$3,689                               | \$89,743                   |
| Milford      | 2.00%                      | \$55,790              | \$2,392                               | \$58,182                   |
| Millbury     | 1.78%                      | \$49,849              | \$2,137                               | \$51,986                   |



|              |                |                    |                  |                    |
|--------------|----------------|--------------------|------------------|--------------------|
| Millville    | 0.52%          | \$14,402           | \$617            | \$15,019           |
| Natick       | 2.94%          | \$82,223           | \$3,525          | \$85,748           |
| Northborough | 2.26%          | \$63,281           | \$2,713          | \$65,994           |
| Northbridge  | 1.91%          | \$53,433           | \$2,290          | \$55,723           |
| Sherborn     | 1.71%          | \$47,928           | \$2,054          | \$49,982           |
| Shrewsbury   | 3.04%          | \$84,901           | \$3,639          | \$88,540           |
| Southborough | 1.77%          | \$49,507           | \$2,122          | \$51,629           |
| Stow         | 1.88%          | \$52,557           | \$2,253          | \$54,810           |
| Sturbridge   | 3.73%          | \$104,331          | \$4,472          | \$108,803          |
| Tewksbury    | 2.85%          | \$79,555           | \$3,410          | \$82,965           |
| Webster      | 1.47%          | \$40,950           | \$1,755          | \$42,705           |
| Westborough  | 2.65%          | \$74,156           | \$3,179          | \$77,335           |
| Westford     | 3.69%          | \$103,250          | \$4,426          | \$107,676          |
| Wilmington   | 2.46%          | \$68,832           | \$2,951          | \$71,783           |
| Worcester    | 6.00%          | \$167,676          | \$7,188          | \$174,864          |
| <b>TOTAL</b> | <b>100.00%</b> | <b>\$2,794,714</b> | <b>\$119,803</b> | <b>\$2,914,517</b> |



Charles D. Baker, Governor  
Karyn E. Polito, Lieutenant Governor  
Jamey Tesler, Acting MassDOT Secretary & CEO  
Steve Poflak, General Manager

**massDOT**  
Massachusetts Department of Transportation

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CITY OF MARLBOROUGH

2021 FEB 10 P 3:26

February 3, 2021

**RE: MBTA Forging Ahead Service Proposal  
Environmental Notification Form**

Dear Municipal Office:

On February 1, 2021, the MBTA filed an Environmental Notification Form (ENF) for the MBTA's Potential Service Reductions in 2021. The MEPA regulations do not have ENF thresholds for service reductions. The MBTA's enabling legislation, however, requires that *"for a system wide decrease in service of 10% or more, the decrease shall be the subject of an environmental notification form initiating review pursuant to sections 61 and 62H, inclusive of chapter 30"* (MGL 161A (5)(d)). This ENF is designed to meet that statutory requirement.

This ENF will be subjected to public review and comment as part of the MEPA process. A copy of the ENF, and the accompanying summary documents, are now available for review on the MBTA website and can be found at [www.mbta.com/forging-ahead](http://www.mbta.com/forging-ahead).

MEPA will accept comments on this ENF prior to making its determination and issuing a certificate on its adequacy. During remote MEPA operations, please utilize the Public Comment Portal or send comments electronically to the general MEPA e-mail address: [MEPA@mass.gov](mailto:MEPA@mass.gov).

As required in the MEPA regulations, MEPA will hold a virtual Scoping Session during the public comment process. When the date and time of that scoping session is established, the MBTA will update the website with the specific information, including the information on how to log into the meeting.

***Comments must be submitted to MEPA no later than Tuesday, March 2, 2021.***

If you have any questions regarding this filing, please do not hesitate to contact me at [abrennan@mbta.com](mailto:abrennan@mbta.com).

Sincerely,

Andrew D. Brennan  
Sr. Director for Energy & Environment



# Marlborough Public Schools

*School Committee*  
District Education Center  
25 Union Street, Marlborough, MA 01752  
(508) 460-3509

## Call to Order

January 12, 2021

1. Chairman Vigeant called the regular meeting of the Marlborough School Committee to order at 7:30 p.m. at 17 Washington Street, Marlborough, MA. Members present included Michelle Bodin-Hettinger, Daniel Caruso, Earl Geary, Katherine Hennessy, Heidi Matthews, and Denise Ryan. Also present were Chairman Vigeant, Superintendent Michael Bergeron, Director of Finance and Operations, Douglas Dias, Assistant Superintendent of Teaching and Learning, Mary Murphy, and Assistant Superintendent of Student Services and Equity, Jody O'Brien. MEA Representative, Eileen Barry, was present as well. Student Advisory Council Representative, Allison Lucas, was remotely present.

This meeting is being recorded by local cable, WMCT-TV, and is available for review.

2. **Pledge of Allegiance:** Chairman Vigeant led the Pledge of Allegiance.

Superintendent Bergeron read the public participation guidelines, which include a phone number to call for this public hearing.

3. **Presentation:**

- A. **MHS Student Advisory Update**

Hattie Parker, the 11<sup>th</sup> grade representative, followed up about junior college planning. Since her last update, the Guidance Department has increased their communication to students/families. Hattie surveyed her peers to understand their thoughts on the college process, and all of them felt comfortable reaching out to their guidance counselors.

Abigail Hennessy, a 10<sup>th</sup> grade representative, discussed safe online music performance. She shared numerous student testimonies about the music programs this year. Abigail also spoke about the opportunities and structure of the music programs. Students greatly appreciate the chance to continue learning and playing music.

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# Marlborough Public Schools

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Jessica Rosenzweig, a 10<sup>th</sup> grade representative, spoke about supporting students' mental health. Jessica compared a normal school year to this current school, and she shared her own current mental health struggles. Jessica polled students in different grades, who have varying experiences. Some students have been able to work more on their mental health while others have seen theirs deteriorate. Jessica shared anonymous student testimonies to reflect this. She presented some resources for students and thanked the guidance counselors for their support.

Risha Khanderia, the 9<sup>th</sup> grade representative, talked about the virtual club fair Mrs. Murphy helped plan in response to Risha's previous report that it was difficult for freshman to become involved at MHS. She shared some feedback from students regarding this virtual club fair.

Superintendent Bergeron apologized that Allison had not been invited to the January 4<sup>th</sup>, 2021 School Committee meeting.

Allison Lucas, the 12<sup>th</sup> grade representative, polled the student body about which model of learning they prefer. About 60% of students reported that they wanted to remain in remote learning. Allison noted that it is much easier for students to choose between hybrid and remote now. She encouraged students to remain remote if they could. She mentioned that seniors are curious about their last day of school and graduation.

Superintendent Bergeron and Mr. Riley will find out about the last day of school for seniors.

In response to Chairman Vigeant, Allison believed students would have been more likely to choose in person as their preferred learning model if sports were contingent on such.

**4. Committee Discussion/Directives:** None.

**5. Communications:** None.

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# Marlborough Public Schools

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*School Committee  
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## **6. Superintendent's Report:**

Superintendent Bergeron updated the committee on the Winter 2021 COVID-19 Data district wide. Not every case is a quarantine since many students are remote. The testing positivity rate has increased to 9.7% since his report.

The Superintendent briefly spoke about the FY21 School Year calendar. The final day of school is planned for June 18<sup>th</sup>.

Mr. Bergeron asked the committee for their approval to put the application from New England Innovation Academy (NEIA) on the January 26<sup>th</sup>, 2021 meeting agenda. Members from this school would attend the School Committee meeting remotely to discuss their application. NEIA is a private school requesting to open a program in Marlborough.

Superintendent Bergeron stated that there is a press release from Mr. Rosenthal attached to his report, which recognizes six students who will represent MPS during a virtual master class. These students are Eli Plummer, Samantha Gamber, Aiden Grocki, Tara Pierre, Jackson Clemons, and Hannah Gluck. Two MHS students, Jonathan Berganza and Adham Hussein, had their art selected for the Emerging Young Artists 2021 Juried Exhibition hosted by the College of Visual and Performing Arts at UMass Dartmouth. Their artwork is attached to this report.

The Superintendent informed the committee that Mr. Dias will request an extension for the FY22 budget process tonight. Mr. Bergeron shared his thoughts about this process, which are detailed in his report.

Chairman Vigeant spoke a bit about the FY22 Budget and the state's assistance during the pandemic.

Mrs. Hennessy brought up the return to school discussion, which Chairman Vigeant explained will occur at the end of the meeting.

Mr. Caruso and Superintendent Bergeron discussed the quarantine process for classes and buses.

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# Marlborough Public Schools

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*School Committee  
District Education Center  
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## **A. Assistant Superintendent of Teaching & Learning Report**

Mrs. Murphy, the Assistant Superintendent of Teaching and Learning, updated the committee on MCAS and accountability. The Department of Elementary and Secondary Education (DESE) reported these changes on January 5<sup>th</sup>, 2021. Students in the Class of 2021 who have not yet earned their competency determination (CD) requirement will be able to through an approved course instead of taking the MCAS exam. The MCAS testing time for students in grades 3-8 will be shortened. Each student will take a portion of each MCAS assessment in each subject. Mrs. Murphy stated that the Commissioner will not name or recommend any new underperforming or chronically underperforming districts or schools in the upcoming school year to the Board.

Mrs. Bodin-Hettinger voiced her concern that the sampling approach would not provide accurate individual level data.

Mr. Caruso remarked that schools had been trying to get similar changes for years, and only now DESE has made them during the pandemic.

Mrs. Hennessy noted that DESE has not addressed the issue of remote learners.

Mrs. Murphy mentioned that that seniors can graduate with these changes, and if a waiver of accountability is received, then the issue of the participation rate of remote learners will be resolved.

Mrs. Murphy introduced the Supervisor of Humanities, Jose Reyes, who will present on the Civics Project requirement.

This presentation is included in the meeting agenda. Mr. Reyes gave an overview of the project, the timeline, high quality civics projects in MA, and initial planning steps. The Civics Project can be completed individually, in small groups, or as a whole class. The Commonwealth Civics Challenge will occur in the 2022-2023 academic year for 8<sup>th</sup> grade students. Due to the pandemic, the scale of this Civics Project will not be what it previously would have been, and it should stem organically from the current curriculum.

Mr. Reyes discussed the 8<sup>th</sup> grade Civics Course offered to students.

Chairman Vigeant requested the curriculum from Superintendent Bergeron. Superintendent Bergeron stressed that the City Clerk's Office could be a resource for MHS students.

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# Marlborough Public Schools

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Chairman Vigeant shared what middle school students used to do for civics and a potential new program they will have the opportunity to participate in in the future. Mrs. Hennessy noted that community service groups are valuable resources for these projects and lessons.

Mrs. Bodin-Hettinger pointed out that City Councilor At-Large Samantha Perlman is very active in engaging the youth in civics. Mr. Reyes collaborated with her to determine ways to engage more students.

Mr. Reyes explained that this is a district level project since the state does not need to approve projects. The state does provide guidelines, however.

## **B. Director of Finance & Operations Report**

Mr. Dias, the Director of Finance and Operations, reported on food services. Mr. Dias explained the eight routes and 80 stops the district has utilized throughout the past few months. The new routes are ready to be shared with families once remote learners return to school in person. Students in person receive breakfast at the end of the school day to eat at home the following morning.

Mr. Dias requested a 30-day extension for the FY22 budget schedule due to various factors listed in his report. The new budget schedule is outlined in his report as well. Mr. Dias will bring this as an action item to the next School Committee meeting.

## **7. Acceptance of Minutes:**

### **A. Minutes of the November 24, 2020 School Committee Meeting**

Motion made by Mrs. Matthews, seconded by Mrs. Bodin-Hettinger to accept these minutes.

Motion passed 7-0-0.

### **B. Minutes of the December 8, 2020 School Committee Meeting**

Motion made by Mrs. Matthews, seconded by Mrs. Bodin-Hettinger to accept these minutes.

Motion passed 7-0-0.

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# Marlborough Public Schools

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## 8. Public Participation:

The Superintendent read two emails sent to him prior to this meeting. The first email was from Marlborough Resident Julia Marshall at 29 Wellington Street. She wrote about the February and April school breaks coming up. Ms. Marshall offered an alternative option presented by parents who discussed these matters with her, which was to combine the breaks into one week in March.

The second email was sent by Ben Resnikoff and Stacey Resnikoff. They discussed the return to in-person/hybrid learning. The Resnikoffs believed January 19<sup>th</sup> is too soon to return to school. They included various statistics and articles in their email to the Superintendent.

It should be noted that members of the public may provide comment by dialing in to the specified number and conference ID during virtual School Committee meetings or via email before the meeting to [superintendent@mps-edu.org](mailto:superintendent@mps-edu.org). Public participation is a time for your comments to be heard by the committee; it is not a question-and-answer session.

## 9. Action Items/Reports

### A. FY21 Operating Budget Transfers

Mr. Dias outlined transfers for the FY21 operating budget in an attached document.

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to approve these transfers as presented.

Motion passed 7-0-0.

### B. Policy for Review and Acceptance

#### 1. Policy 8.120 Student Records

Motion made by Mrs. Hennessy, seconded by Chairman Vigeant to suspend the rules to vote on this policy tonight.

Motion passed 7-0-0.

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# Marlborough Public Schools

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Mrs. Hennessy noted a minor change was recommended by their attorney to allow the Board of Health to access certain information/records.

Motion made by Mrs. Hennessy, seconded by Chairman Vigeant to approve this policy as amended.

Motion passed 7-0-0.

## C. Acceptance of Donations and Gifts

**New York Life.** New York Life donated \$500.00 to Kane School.

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to accept this donation.

Motion passed 7-0-0.

**MA DESE FY21 274 IDEA Program Imp. SpEd Grant.** MPS received this grant for \$28,936.00.

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to accept this donation.

Motion passed 7-0-0.

**MA DESE FY21 298 Early Childhood SpEd Grant.** MPS received this grant for \$4,501.00.

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to accept this donation.

Motion passed 7-0-0.

## 10. Reports of School Committee Sub-Committees: None.

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# Marlborough Public Schools

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## 11. Members' Forum:

Chairman Vigeant opened the floor for Mrs. Hennessy to discuss the return to in person school.

Mrs. Hennessy voiced her concerns about having kids return to school in person on January 19<sup>th</sup>.

The Superintendent presented a realistic view of what school would look like if students returned on the 19<sup>th</sup> this month. Many classrooms would be quarantined, especially at the secondary level where students are in teams instead of one classroom all day. Mr. Bergeron predicted that there would be grade-wide breaks this winter if school goes back next week. The Superintendent acknowledged that being in school and having to quarantine is difficult for students and families.

Mrs. Bodin-Hettinger and Superintendent Bergeron discussed pool testing that could happen in the future and substitute teachers. There is a need for substitutes in the school system.

Mrs. Matthews mentioned that she is not comfortable with students returning to school January 19<sup>th</sup> either. She proposed March 8<sup>th</sup>, 2021 as the new return date because two weeks out is too soon to return. She also expressed her agreement that eliminating vacation would be beneficial since nobody should be traveling during the pandemic.

Chairman Vigeant noted that there is no right and wrong decision; when to return to in person school is a difficult decision to make.

Mrs. Hennessy asked to look at other opportunities to bring back some classrooms or grade levels in a staggering situation. She also mentioned how cases have risen after vacations/breaks typically.

Mrs. Barry spoke on behalf of the teachers and their concern of returning to school on January 19<sup>th</sup>.

Mrs. Ryan discussed remote learning from a parent's perspective as she has 3 children doing remote learning. She emphasized how difficult of a decision this is to make.

Chairman Vigeant and Superintendent Bergeron discussed what returning all third-grade students would realistically look like.

Chairman Vigeant proposed the new return date should continue to be the week after a School Committee meeting, which would push the return date back to February 1<sup>st</sup> for now. He spoke about the vaccine rollouts.

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# Marlborough Public Schools

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25 Union Street, Marlborough, MA 01752  
(508) 460-3509*

Mrs. Hennessy discussed the school vacations/breaks and how people tend to not follow the rules during these periods.

Superintendent Bergeron spoke about what needs to happen to discuss eliminating or revising breaks.

Mr. Geary had no issue with eliminating breaks to get through the school year, however he did not agree with that decision if it would be made to control what the public did.

Mr. Caruso noted that students could be further behind if those weeks are considered school weeks, yet families take their students away for the week(s) as they had planned to. He also spoke about the return to school date.

Motion made by Mrs. Bodin-Hettinger, seconded by Chairman Vigeant to move the potential return to school date to February 1<sup>st</sup>, 2021.

Motion passed 7-0-0.

The return to school date will be discussed again at the January 26<sup>th</sup>, 2021 School Committee meeting.

Mrs. Matthews reviewed the warrant and will sign it.

## **12. Adjournment:**

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to adjourn at 9:35 p.m.

Motion passed 7-0-0.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Heidi Matthews', with a long horizontal flourish extending to the right.

Heidi Matthews  
Secretary, Marlborough School Committee

HM/jm

Approved February 9, 2021

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MINUTES  
MARLBOROUGH PLANNING BOARD  
MARLBOROUGH, MA 01752

1A

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH

January 25, 2021

2021 FEB 12 A 11:30

Call to Order

The remote meeting of the Marlborough Planning Board was called to order at 7:00 pm. Members present- Barbara Fenby, Matt Elder, Sean Fay, Phil Hodge, George LaVenture and Chris Russ. Meeting support provided by City Engineer, Thomas DiPersio, Assistant City Solicitor, Jason Piques and Planning Board Administrator, Krista Holmi.

1. Meeting Minutes

A. January 11, 2021

On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to accept and file the January 11, 2021 meeting minutes. Yea: Elder, Fay, Hodge, LaVenture, Russ and Fenby. Nay: 0. Motion carried.

2. Chair's Business (None)

3. Approval Not Required (None)

4. Public Hearings (None)

5. Subdivision Progress Reports

A. Goodale Estates Performance Bond (informational)

At the December 21, 2020 meeting, the Board voted to approve the reduction of the bond securing the completion of the Goodale Estates subdivision to \$123,000. The provided rider confirms the new bond value. The bond is set to expire on February 4, 2022.

6. Preliminary/Open Space /Limited Development Subdivision (None)

7. Definitive Subdivision Submissions (None)

8. Signs

A. Continued - Application for Sign Variance - Serrato Signs, LLC on behalf of St. Mary's Credit Union/Starbucks 133 S. Bolton St.

Mr. LaVenture read the January 21, 2021 letter from Assistant City Solicitor Piques into the record. Assistant City Solicitor Piques outlined his opinions regarding several elements of the sign ordinance, including the conditions under which the Board may grant the variance. A variance may be granted under § 526-13 (B) (12): If because of the shape, size and/or proximity of a commercial lot to a residentially zoned district it is not possible to place the sign more than 200 feet from the nearest point of an abutting residentially zoned district, then the Planning Board may grant a variance for closer placement, provided that when located within 200 feet of a residentially zoned district, all digital display portions of the sign shall be oriented so that no portion of the sign is visible from an existing primary residential structure in that district.

Chair Fenby asked if the Board was ready to make a motion. Mr. Fay offered the motion.

On a motion by Mr. Fay, seconded by Mr. Elder, the Board voted to accept and file the correspondence and approve the variance request for closer placement (of the sign) conditioned upon the determination of appropriate screening to the abutting residential neighborhood (by the City's Engineering Division) and acceptance of the applicant's stated terms of use - that the "DOS" digital customer order screen turns off between customer orders. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Motion carried. A Special Permit Must be Obtained from the Marlborough City Council Prior to Sign Placement. Councilor Robey requested that the Board share its decision with the City Council.

Mr. Fay suggested that with the proliferation of new digital technology, the City should consider evaluating its sign ordinance for possible modification. Mr. LaVenture expressed some concerns that it was evident that the site was already prepared for the sign installation. It is preferable for applicants to appear before the Board prior to investing in the site infrastructure.

## 9. Correspondence (None)

## 10. Unfinished Business

- A. Definitive Subdivision Application - 76 Broad St. 4-Lot Subdivision  
Applicant: W.R.E., LLC, 319 Stow Road, Marlborough, MA 01752  
Engineer: Hancock Associates, 315 Elm St., Marlborough, MA 01752. Robert DiBenedetto, Representative.  
Attorney Sandra Austin, Counsel.  
Chair Fenby asked if there were objections to waiving the full reading of the January 20, 2021 correspondence from Hancock Associates Re: Four Lot Subdivision – 76 Broad St. Response to Engineering Division review comments. There were no objections. Ms. Fenby lead the discussion by reviewing select Engineering comments on the 12-page plan. Page C2: Notes, Reference and Legend - Note 19. Mr. Fay favors that the approval be conditioned on the developer building only two-family structures on the lots. While the developer has repeatedly expressed this intention to build two-families, properties are routinely sold, and a new owner may request higher density dwellings. Mr. Fay would like to hear from Legal whether a note can be added to the plan as well.

Page DS: Definitive Subdivision Plan. Mr. DiBenedetto responded to the comment requesting a letter that record owners of involved properties have granted permission for the use of their property in the design/use of the Definitive Subdivision Plan. A record letter will be provided prior to Board endorsement. Mr. DiPersio addressed the following comments: *The proposed location of the crosswalk and curbing and utility pole modifications along the intersection roundings at Broad Street eliminate the access for both properties at #70-#72 Broad Street and #84 Broad Street. The Definitive Subdivision Plan will need to show a construction easement on both #70-#72 Broad Street and #84 Broad Street over the area that will be affected by the change in the driveway location and changes to the parking areas for each of these two lots.* The City Engineer also commented that the plan should show that the new driveways have the proper grade.

C6: Grading and Drainage Plan. The City Engineer said he preferred to have the drain line and sewer main swapped. Doing so would reduce the number of crossings. Mr. DiBenedetto said making that swap could lead to crossing issues elsewhere on the plan, since the swap would require the relocation of the water line and other utilities. On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to accept and file the correspondence and to refer the plan back to Engineering. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Motion carried.

Mr. LaVenture read the January 21, 2021 letter from Assistant City Engineer Collins into the record. In order to facilitate a proper and complete review of the plan set, Mr. Collins requests that the Board approve or deny the seven requested waivers. Mr. Fay prefers to vote on the waivers as part of the Board's findings. Mr. LaVenture asked if any of the requested waivers were not tied to the Board's requests. Mr. DiPersio confirmed that they were inter-related. The waiver related to roundings eliminated the need for some easements, and the waiver related to a right-of-way slightly less than 50' in one location is more related to the site topography. Chair Fenby asked for the Board's sense in voting on the waivers at this time. Mr. LaVenture supports continuing with past practice of waiting for a formal vote on the waivers. The Board gave a general sense on each of the 7 waivers. There were no specific objections to any of the 7 waivers.

Mr. LaVenture read the January 20, 2021 letter from Assistant City Solicitor Piques into the record. Mr. Piques certified that the attached Certificate of Vote is in proper legal form, subject to modification of dates. Mr. Fay requests that a condition relating to a limitation of two-family dwellings be added to the Certificate of Vote.

Attorney Austin requested to speak. She noted that Mr. Piques edited a point in the findings section of the COV. She had used the language from a past project previously reviewed by the former City Solicitor. Mr. DiPersio commented on the edited item 4 of the findings, which related to public safety to the City and surrounding properties. City Engineer DiPersio stated that the City's Engineering Division and public safety officials review the plan and comment on any safety concerns. Mr. Piques said he has no problem adapting the language. On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to accept and file the letter. Legal will work with Attorney Austin on any necessary changes to the Certificate of Vote. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Motion carried.

## 10. Unfinished Business

### B. Working group discussion – Planning Board Rules and Regulations

#### i) Cross-Sections Appendix F

Mr. LaVenture provided an update to the Board of the working group's most recent meeting on January 20. He thanked the Engineering Division and Legal Dept. for their work and participation. Mr. LaVenture summarized the meetings discussion points and progress to date. Five Cross-Sections are proposed:

#### **Typical Cross-Sections - Applications (10B i-3)**

#1 – Secondary Street (50' layout, 28' pavement width & grass strip between curbing and sidewalk) – defined as a street which in the opinion of the Planning Board "is used primarily to provide access to abutting lots", the cross-section allows for staggered tree placement on either side of the sidewalk, structural soil for tree planting/infiltration and decreased snow placement on the sidewalk from plowing. City Engineer DiPersio explained that the use of Structural Soil™ is recommended for plantings in confined spaces and is the Tree Warden's recommended standard for tree planting in this cross-section (as the amended soil encourages deeper root growth, reduces the chance of pavement heaving, and encourages healthier plantings that are less susceptible to heat or root rot.)

#2 – Major Residential Street (50' layout, 38' of pavement) – defined as a street which in the opinion of the Planning Board "is being used or will be used as a thoroughfare between different portions of the City of Marlborough or which will otherwise carry a heavy volume of traffic".

#3 – Secondary Residential Street (40' layout, 28' pavement width) – defined as a street which in the opinion of the Planning Board "is used primarily to provide access to abutting lots". This cross-section requires a waiver from the Planning Board for a reduced Right-of-Way width.

#4 – Industrial/Commercial Street (60' layout, 44' pavement width) – for roadways serving lots in an Industrial/Commercial zone, where truck traffic is considerably greater than a residential area – as determined by the Planning Board.

#5 – Lane Status (50' layout, 26' pavement width) – Lane Status is defined as, in the opinion of the Planning Board, "a secondary street which serves as access to no more than eight potential dwelling units, has lot frontages averaging 150 feet or more, and is incapable of extension".

Mr. LaVenture shared Assistant City Engineer's emailed summary of proposed changes (10B-i-1).

#### **Appendix F changes:**

Added language to Structural Soil, noting CU-Structural Soil™ is a proprietary product that can only be supplied by a qualified AMEREQ-licensed company

Defined INDUSTRIAL/Commercial Street as "roadways serving lots in an Industrial/Commercial zone, where truck traffic is considerably greater than a residential area".

**Cross-section changes:**

Commercial/Industrial cross-section (#4) – pavement thickness = 7 inches: 5" base course, 2-1/2" binder course and 1-1/2" top course. Pavement thickness language modified on all other cross-sections: 2-1/2" binder course and 1-1/2" top course. Structural Soil language modified: removed "OR EQUAL". added trademark symbol.

Added dimensional requirements, "Centered – 5' x 10' Area"

Added language to Electric-Telephone-Cable underground wires – requiring "(Placed in Conduit)" – added, after discussion with Tom regarding an older subdivision where electric outages may be due to broken underground electric services, having not been placed in conduit but were installed as "direct burial".

CU-Structural Soil™ - this document can be added to the Planning Board Rules and Regulations – Appendices, as a reference document.

**Typical Cross Sections (10B-i-2)**

Each of the five cross-sections were displayed, and City Engineer DiPersio walked the Board through each of the five cross-section diagrams.

There was an informal discussion of maintenance responsibilities within the City's right of way. Mr. Fay asked about enforcement of maintenance in these areas. The City Engineer commented that in practice, homeowners typically accept responsibility for upkeep at their properties and felt that imposing any unique enforcement regulations for a cross-section may be counterproductive.

Following the discussion, Mr. LaVenture reminded the Board of the working group's approach of incremental review for "general blessings", with a referral to Legal to ensure proper form. On a motion by Mr. Fay, seconded by Mr. Elder, the Board voted to accept and file the correspondence, provide its general blessing of the proposed changes and to refer the materials to Legal. Yea: Elder, Fay, Hodge, LaVenture, Russ and Fenby. Nay: 0. Motion carried.

ii. Assignment of Next Tasks

Mr. LaVenture proposed another working group meeting prior to the next Planning Board meeting to set the stage for the general language review of the Rules and Regulations.

Mr. LaVenture shared the following proposed timetable:

Wed, 3 Feb WG meeting –

- review and discuss "Evan's List", 2005 proposed changes, consultant use, and other items identified for change
- the goal here is to have an immediate list of known items requiring change that can be presented to the Board for review and blessing

Mon, 8 Feb PP meeting –

- present the known list of required changes to the Board for review, blessing, and referral to Legal
- request the Board continue reviewing the existing Rules & Regs and forward recommended changes to Krista by 12 Feb

Fri, 12 Feb

- Krista receives final Rules & Regs change recommendations and sends the consolidated list to the WG

Wed, 17 Feb WG meeting -

- review the collated list of Board generated Rules & Regs changes and discuss presentation to the Board
- depending upon the number of recommendations, divide them in segments for presentation to the Board in about 30 minutes starting on page 1 and working forward
- for planning, let's assume 3 segments of recommendations

Mon, 22 Feb PP meeting –

- present segment 1 of 3 of the proposed changes to the Board for review, blessing, and referral to Legal

Wed, 3 Mar WG meeting –

- meet as required to discuss

Mon, 8 Mar PP meeting –

- present segment 2 of 3 of the proposed changes to the Board for review, blessing, and referral to Legal

Wed, 17 Mar WG meeting –

- meet as required to discuss

Mon, 22 Mar PP meeting –

- present segment 2 of 3 of the proposed changes to the Board for review, blessing, and referral to Legal

Wed, 31 Mar WG meeting –

- meet as required to discuss

Mon, 5 Apr PP meeting –

- present segment 3 of 3 of the proposed changes to the Board for review, blessing, and referral to Legal
- schedule the public meeting to review, approve, and referral to Legal

TBD –

- meeting to discuss presentation at public meeting

#### 11. Calendar Updates

- A. 76 Broad St. Definitive Subdivision Application - Feb. 12, 2021. Decision is due by the February 8 meeting.

#### 12. Public Notices of other Cities & Towns (None)

On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to accept and all file any remaining items and to adjourn the meeting. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Motion carried.

Respectfully submitted,



George LaVenture/Clerk

/kih



ORDERED:

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH THAT THE CITY CODE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED AS FOLLOWS:

- I. By amending Chapter 270, Article V (Fences), Section 270-19, entitled "Permit required", by **inserting** a new Section 270-19(D) to read as follows:
  - D. No permit shall be required under this article for the following fences, provided that the fence is in full compliance with all other provisions of this article and all other City ordinances: 1) a fence not exceeding three (3) feet in height which is erected to enclose a garden and complies with Chapter 650, Zoning, Section 650-47N (site distances), or 2) a fence erected outside of the minimum front, side or rear yard areas as defined in Chapter 650, Zoning, Section 650-41, Attachment 2.
- II. Chapter 270, Article V (Fences), Section 270-24(A), entitled "Easements and rights-of-way" is hereby **amended** as follows: (new text shown as underlined, deleted text shown as ~~strikethrough~~):
  - A. On any lot subject to an easement where a fence will encroach upon or hinder the use of an easement area, the owner or applicant shall procure a release in writing from the holder of the easement, and said release shall be attached to the application for a fence filed with the Building Department.

ADOPTED  
In City Council  
Order No. 20-  
Adopted

Approved by Mayor  
Arthur G. Vigeant  
Date:

A TRUE COPY  
ATTEST: