

REGULAR MEETING
DECEMBER 2, 2019
TIME: 8:00 PM

IN CITY COUNCIL
ABSENT
LOCATION: CITY HALL, 140 MAIN STREET, 2ND FLOOR

CONVENED:
ADJOURNED:
RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2019 NOV 26 P 5:00

1. Minutes, City Council Meeting, November 18, 2019.
2. JOINT TAX CLASSIFICATION PUBLIC HEARING with Board of Assessors to determine the percentage of the local tax levy to be borne by each class of property for Fiscal Year 2020, Order No. 19-1007857.
3. Communication from the Mayor, re: Tax Classification Hearing Information and Tax Levy Offset Transfer Requests totaling \$1,094,896.13.
4. Communication from the Mayor, re: Gift Acceptance in the amount of \$200.00 from the Marlborough Junior Woman's Club for the Police Department to be used to offset the costs of running their R.A.D. (Rape Aggression Defense) program.
5. Communication from the Mayor, re: Union Common Lease.
6. Communication from City Clerk, Steven Kerrigan, re: Proposed Change in Polling Location (Ward 5).
7. Communication from City Solicitor, Jason Grossfield, re: Application for Special Permit from Attorney Brian Falk on behalf of One Energy, Inc., to authorize the alteration of a preexisting nonconforming gas station use, to a gas station, convenience store and restaurant/café use at 121 Bolton Street, in proper legal form, Order No. 19-1007780A.
8. Communication from City Solicitor, Jason Grossfield, re: Application for Site Plan Approval from Post Road Realty, LLC for the Green District project to be built in the Executive Residential Overlay District (EROD) at 107 Simarano Drive, in proper legal form, Order No. 19-1007763A.
9. Communication from City Solicitor, Jason Grossfield, re: Application for Special Permit from Post Road Realty, LLC to construct a multi-family residential project known as the Green District in the Executive Residential Overlay District (EROD) which will consist of 475 units in two buildings at 107 Simarano Drive, Map 116, Parcels 5, 11 & 12, in proper legal form, Order No. 19-1007762B.
10. Petition from Massachusetts Electric, to install new underground equipment to feed street lights 52 through 57 from existing street light #24.
11. Petition from Massachusetts Electric, to install push brace #7-89 on Front Street which will enable National Grid to remove the pole to tree guy wire.
12. Communication from various residents of Mechanic Street re: Tunnera & Sons Roofing & Snow Removal Services, 260 Mechanic Street.
13. Minutes, Board of Assessors, July 10, 2019.

Electronic devices, including laptops, cell phones, pagers, and PDAs must be turned off or put in silent mode upon entering the City Council Chamber, and any person violating this rule shall be asked to leave the chamber. Express authorization to utilize such devices may be granted by the President for recordkeeping purposes.

14. Minutes, Parks & Recreation Commission, October 9, 2019.
15. CLAIMS:
 - a) Jessica Carley, 181 Boston Post Road East, #76, pothole or other road defect.

REPORTS OF COMMITTEES:

UNFINISHED BUSINESS:

From Finance Committee

16. **Order No. 19-1007818: Transfer Request in the amount of \$150,000.00 from Undesignated Funds to Capital Outlay-DPW Projects, to fund mitigation payment pursuant to the Special Permit for the project at 421 Bolton Street.**

The Finance Committee reviewed the Mayor's letter dated October 17, 2019 requesting a transfer of \$150,000.00 from the Undesignated Funds account to the Capital Outlay DPW Projects account. This transfer is part of the special permit for BSL Development (The Branches) requiring a mitigation payment to purchase a sewer easement parcel and subsidize the City's construction of a concession stand and bathrooms for the athletic fields at the 1LT Charles W. Whitcomb school.

Recommendation of the Finance Committee is to approve the Transfer (The Finance Committee voted 4-0).

17. **Order No. 19-1007838: Communication from the Mayor, re: Update on Library Renovation Project.**

The Finance Committee Chairman discussed the Mayor's letter offering the Library Building Committee to update the City Council on the progress of the new Library. The Finance Committee Chairman met with the Library Director earlier in the week. The Library Director indicated the final design drawings will be available shortly, the renovation costs are still under budget, the Walker Building will be used as the temporary location with a planned summer 2020 move and the Library renovation construction is planned to start in the fall of 2020. The Finance Committee acknowledged that a formal presentation to the City Council would be better served in the next legislative session when the new City Council is seated and the and drawings are available.

Recommendation of the Finance Committee is that this matter be carried over to the next legislative session.

From Urban Affairs Committee

18. **Order No. 19-1007738D: Communication from Attorney Michael Norris on behalf of Renato Fontes, regarding Amendment to the Proposed Rezoning of land off 269 Mechanic Street identified as Map 56, Parcel 125.**

The Urban Affairs Committee met with attorney Michael Norris regarding the proposed rezoning of land off 269 Mechanic Street identified as Map 56, Parcel 125. Mr. Norris previously appeared before the Urban Affairs Committee on September 18, 2019 for an initial request to rezone this property. The committee approved the request however it was later discovered there was a very small portion of land contiguous to the Rail Trail on which the building is located that was not included in the original request. Per the recommendation of the City Solicitor, Mr. Norris was advised to return to the City Council to rezone the additional portion of land from Limited Industrial to Residence B zone.

Recommendation of the Urban Affairs Committee is to approve (Motion made by Councilor Juaire, seconded by the Chair, to approve. The motion carried 5-0).

19. **Order No. 19-1007780A: Application for Special Permit from Attorney Brian Falk, on behalf of One Energy, Inc., to authorize the alteration of a preexisting nonconforming gas station use, to a gas station, convenience store and restaurant/cafe use at 121 Bolton Street.**

The Urban Affairs Committee met with attorney Brian Falk of Mirick O'Connell, Mark Diarbakerly, owner of One Energy, Inc., Diane Nelligan, project manager at One Energy, Inc., and Richard DeFusco, RLA of Ayoub Engineering on the application for a special permit to authorize the alteration of a preexisting nonconforming gas station use to a gas station/convenience store at 121 Bolton Street. They discussed the driveway openings and whether it was best to have three as proposed versus two favored by members of the Site Plan Review Committee. As the project presented to the City Council and Site Plan Review Committee, and as shown in the submitted traffic study, included three openings (two on Bolton and one on State) Councilors agreed all three openings could remain subject to further condition in the Special Permit.

Recommendation of the Urban Affairs Committee is to approve as amended (Motion made by Councilor Juaire, seconded by the Chair, to approve as amended. The motion carried 5-0).

20. **Order No. 19-1007763A: Application for Site Plan Approval from Post Road Realty, LLC for The Green District project to be built in the Executive Residential Overlay District (EROD), at 107 Simarano Drive.**

The Urban Affairs Committee met with attorney Brian Falk of Mirick O'Connell, Andre Montelli of Post Road Realty, LLC, and Joe Peznola of Hancock Associates for a discussion of their application for Site Plan Approval of The Green District project to be built in the Executive Overlay District (EROD) at 107 Simarano Drive.

Recommendation of the Urban Affairs Committee is to approve as amended (Motion made by Councilor Doucette, seconded by the Chair, to approve as amended. The motion carried 5-0).

21. **Order No. 19-1007762B (X 19-1007763): Application for Special Permit from Post Road Realty, LLC to construct a multi-family residential project known as the Green District in the Executive Residential Overlay District (EROD) which will consist of 475 units in two buildings at 107 Simarano Drive, Map 116, Parcels 5, 11 & 12.**

The Urban Affairs Committee met with attorney Brian Falk of Mirick O'Connell, Andrew Montelli of Post Road Realty, LLC, and Joe Peznola of Hancock Associates for a discussion of their special permit application to construct a multi-family residential project at 107 Simarano Drive. Mr. Montelli reviewed the "Multifamily Development Review Criteria and Design Review Guidelines" for their project, reminding the committee this assessment was self-scoring and explaining how he arrived at the score of 120 out of a possible 195 points. The committee reviewed the special permit conditions and requested the applicant add a condition (#9) that they will comply with all Conservation Commission restrictions.

Recommendation of the Urban Affairs Committee is to approve as amended (Motion made by Councilor Doucette, seconded by the Chair, to approve as amended. The motion carried 5-0).



RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2019 NOV 22 A 7:55

CITY OF MARLBOROUGH
OFFICE OF CITY CLERK
Steven W. Kerrigan
140 Main St.
Marlborough, MA 01752
(508) 460-3775 FAX (508) 460-3723

NOVEMBER 18, 2019

Regular meeting of the City Council held on Monday, November 18, 2019 at 8:00 PM in City Council Chambers, City Hall. City Councilors Present: Clancy, Juaire, Oram, Ossing, Robey, Delano, Doucette, Dumais, Tunnera, Irish and Landers. Meeting adjourned at 9:07 PM.

ORDERED: That the Minutes of the City Council meeting, OCTOBER 28, 2019, **FILE**; adopted.

ORDERED: That the PUBLIC HEARING On Application for LED Sign Special Permit from Poyant Signs on behalf of McDonalds, 155 Boston Post Road West, Order No. 19-1007808, all were heard who wish to be heard, hearing closed at 8:03 PM; adopted.

Councilors Present: Delano, Doucette, Dumais, Tunnera, Irish, Clancy, Landers, Juaire, Oram, Ossing & Robey.

ORDERED: That the PUBLIC HEARING On the Application for Fuel Storage License, One Energy, Inc., for Underground storage of 24,000 gallons of Gasoline and 4,000 gallons of Diesel fuel, 121 Bolton Street, identified as Map 57, Parcel 289, Order No. 19-1007823, all were heard who wish to be heard, hearing closed at 8:05 PM; adopted.

Councilors Present: Delano, Doucette, Dumais, Tunnera, Irish, Clancy, Landers, Juaire, Oram, Ossing & Robey.

ORDERED: That the PUBLIC HEARING On the Application for Pool Table License, Adam Krasinski of Tackle Box Brewing Company LLC, 416 Boston Post Road East, Order No. 19-1007839, all were heard who wish to be heard, hearing closed at 8:08 PM; adopted.

Councilors Present: Delano, Doucette, Dumais, Tunnera, Irish, Clancy, Landers, Juaire, Oram, Ossing & Robey.

ORDERED: That the PUBLIC HEARING On the Application for Special Permit from Attorney Brian Falk, on behalf of David Skarin, to construct a new residential community to be known as Trailside Terrace at 19 Ash Street, Order No. 19-1007809, all were heard who wish to be heard, hearing closed at 8:26 PM; adopted.

Councilors Present: Delano, Doucette, Dumais, Tunnera, Irish, Clancy, Landers, Juaire, Oram, Ossing & Robey.

ORDERED: That the PUBLIC HEARING On the Application for Special Permit from Attorney Brian Falk, on behalf of Marlborough Hospital & UMASS Memorial Realty, Inc., to add a new Women’s Imaging Center, and seeking a finding to alter a preexisting nonconforming use and alter the preexisting nonconforming lot coverage from 48.2% to 49.2% at 157 & 209 Union Street, Order No. 19-1007824, all were heard who wish to be heard, hearing closed at 8:44 PM; adopted.

Councilor Robey recused.

Councilors Present: Delano, Doucette, Dumais, Tunnera, Irish, Clancy, Landers, Juairé, Oram & Ossing.

ORDERED: That the Transfer Request in the amount of \$13,226.30 from Receipts Reserved TNC Surcharge to Capital Outlay-Police Equipment, to fund the purchase of additional traffic enforcement equipment, **APPROVED**; adopted.

CITY OF MARLBOROUGH
BUDGET TRANSFERS --

		DEPT:	Police			FISCAL YEAR:	2020			
		FROM ACCOUNT:				TO ACCOUNT:				
Available									Available	
Balance	Amount	Org Code	Object	Account Description:	Amount	Org Code	Object	Account Description:	Balance	
	<u>\$13,226.30</u>	<u>27000</u>	<u>33088</u>	<u>Receipts Reserved-TNC Surchar</u>	<u>\$13,226.30</u>	<u>19300006</u>	<u>58593</u>	<u>Capital Outlay-Police Equip</u>	<u>\$13,354.25</u>	
	Reason:	<u>Traffic enforcement equipment purchase</u>								
	<u>\$13,226.30</u>	Total			<u>\$13,226.30</u>	Total				

ORDERED: That the Communication from the Mayor, re: OPEB (Other Post Employment Benefits) Trust Liability Update, **FILE**; adopted.

ORDERED: That the Communication from City Solicitor, Jason Grossfield, re: Application for LED Sign Special Permit from Attorney Elizabeth McDonough Noonan on behalf of Colbea Enterprises, LLC, 342 Boston Post Road East, in proper legal form, Order No. 19-1007670A, **MOVED TO ITEM 20**; adopted.

ORDERED: That the Communication from the MA State Lottery Commission re: Installation of Keno monitor at an existing Keno to Go agent, Pete’s on The Main, 121 Main Street, **FILE**; adopted.

- ORDERED: That the Communication from various retirees of the City of Marlborough re: Support for increase in COLA pursuant to MGL Chapter 32 §103(j), Order No. 19-1007689, **FILE**; adopted.
- ORDERED: That the Special Permit issued to Tigercat Properties LLC, on November 13, 2017 to construct a multifamily dwelling at 487 Lincoln Street, Order No. 16/17-1006735H, shall lapse within a 3-year period, in accordance with Chapter 650 §59(A)(1) of the City of Marlborough Zoning Ordinance, **APPROVED**; adopted.
- ORDERED: That the Minutes, School Committee, September 24, 2019, **FILE**; adopted.
- ORDERED: That the Minutes, Commission on Disabilities, September 3, 2019 & October 1, 2019, **FILE**; adopted.
- ORDERED: That the Minutes, High School Council, October 24, 2019, **FILE**; adopted.
- ORDERED: That the Minutes, Retirement Board, August 27, 2019 & September 24, 2019, **FILE**; adopted.
- ORDERED: That the Minutes, Traffic Commission, September 25, 2019, **FILE**; adopted.
- ORDERED: That the Minutes, Zoning Board of Appeals, October 22, 2019, **FILE**; adopted.
- ORDERED: That the following CLAIMS, refer to the **LEGAL DEPARTMENT**; adopted.
- a) Alexandra Francois-Saint Cyr, 196 Blanchette Drive, pothole or other road defect.
 - b) Rodger Weismann, 14 Todd Pond Road, Lincoln, pothole or other road defect.

Reports of Committees:

Councilor Ossing reported the following out of the Finance Committee:

**Marlboro City Council Finance Committee
Thursday November 14, 2019
In Council Chambers**

Finance Committee Members Present: Chairman Ossing; Councilors Oram, Irish and Dumais.

Finance Committee Members Absent: Robey

Other Councilors in Attendance: Councilors Clancy and Landers.

The meeting convened at 7:00 PM.

1. **Order No. 19-1007844 – Transfer \$322,873.25 from Reserve for Salaries Account to Fund the Firefighters Contract:** The Finance Committee reviewed the Mayor's letter dated October 28, 2019 requesting the transfer of \$322,873.25 from the Reserve for Salaries account to fund the Firefighters Contract. The new contract covers FY19, 20 and 21. The Finance Committee voted 4 - 0 to approve the transfer request to fund the Firefighters contract for fiscal years 2019 and 2020.
 - The Finance Committee agreed to support suspending the rules at the November 18, 2019 City Council meeting to approve the transfer for the Firefighters contract.

Reports of Committee Continued:

2. **Order No. 19-1007818 – Transfer \$150,000.00 from Undesignated Funds to DPW Projects:** The Finance Committee reviewed the Mayor’s letter dated October 17, 2019 requesting a transfer of \$150,000.00 from the Undesignated Funds account to the Capital Outlay DPW Projects account. This transfer is part of the special permit for BSL Development (The Branches) requiring a mitigation payment to purchase a sewer easement parcel and subsidize the City’s construction of a concession stand and bathrooms for the athletic fields at the 1LT Charles W. Whitcomb school. The Finance Committee Voted 4 - 0 To Approve the Transfer.
3. **Order No. 19-1007838 – New Library Update:** The Finance Committee Chairman discussed the Mayor’s letter offering the Library Building Committee to update the City Council on the progress of the new Library. The Finance Committee Chairman met with the Library Director earlier in the week. The Library Director indicated the final design drawings will be available shortly, the renovation costs are still under budget, the Walker Building will be used as the temporary location with a planned summer 2020 move and the Library renovation construction is planned to start in the fall of 2020. The Finance Committee acknowledged that a formal presentation to the City Council would be better served in the next legislative session when the new City Council is seated and the and drawings are available. The Finance Committee Chair will ask the City Council to carry this order over to the next legislative session at the November 18, 2019 City Council meeting.

The Finance Committee adjourned at 7:16 PM.

Councilor Delano reported the following out of the Urban Affairs Committee:

Meeting Name: City Council Urban Affairs Committee

Date: October 29, 2019

Location: City Council Chamber, 2nd Floor, City Hall, 140 Main Street

Convened: 5:31 PM – Adjourned: 6:54 PM

Present: Chairman Delano; Urban Affairs Committee Members Councilors Juare, Landers, Doucette, and Tunnera; Councilors Clancy, Oram and Robey; Jeffrey Cooke (Building Commissioner, City of Marlborough); Thomas DiPersio (City Engineer, City of Marlborough)

Order No. 19-1007763: Application for Site Plan Approval from Post Road Realty, LLC for The Green District project to be built in the Executive Residential Overlay District (EROD), at 107 Simarano Drive.

The Urban Affairs Committee met with attorney Brian Falk of Mirick O’Connell, Andre Montelli of Post Road Realty, LLC, and Joe Peznola of Hancock Associates for a discussion of their application for Site Plan Approval of The Green District project to be built in the Executive Overlay District (EROD) at 107 Simarano Drive.

Reports of Committee Continued:

One of the main concerns of the Site Plan Review Committee was the access road leading out to Cedar Hill Road. The applicant had proposed leaving it in a gravel state and gated as a true emergency access road however they have come to agreement with the members of the Site Plan Committee that the road will be in a gravel condition, but it will not be gated so it will be open to residents only and they will sign it accordingly. The section "H. Emergency Access Drive" will be amended so the road is more accurately described as a secondary entrance rather than emergency access road since it is a graveled access drive for the residents. Mr. Falk will work with the City Engineer and City Solicitor to ensure the language describes it properly. Mr. Falk will also clarify the language in section H. so it is clear what portion of the driveways shall be paved versus unpaved or graveled.

Mr. Falk stated there were two other items in the draft decision that were changed. The first is the City Engineer wanted more traditional sidewalks rather than the planned pedestrian pathways throughout the site. They changed the pedestrian pathways to the more traditional adjacent to the roadway sidewalks which will be stone dust so they will be pervious and adjacent to the driveway from Simarano Drive in and onto the site. According to the MassDOT Complete Streets policy, sidewalks are paved, and paths are not, and it was requested they adjust their terminology to reflect the requirements. The second item is "K. Simarano Drive Improvements" and the request was to make the lane widening of the left turn lane be done as part of the site one development and they have agreed to that change. It was noted in "K. Simarano Drive Improvements, 2. Simarano Drive Widening" that the TIAS describes the lane widening as happening in phase two. It was requested the language in this section be amended to accurately reference the updated plans and timeline.

Mr. Peznola reviewed a few of the other changes that will be made to the plans. These changes include the stone dust walkways and changes to the parking. Site one will have 354 paved spaces, site two will have 323 paved spaces, totaling 677 spaces on both site which is lower than what was initially submitted to the Council but still fully compliant with the zoning regulations.

The Urban Affairs Committee reviewed the following sections of the Site Plan Approval with Conditions and changes are noted in *italics*.

- A. Site Conformance
- B. Construction Staging and Safety Plan
- C. Green Buildings and Site Design
 - d. Secure bike storage and repair room *within the buildings*;
 - e. *Free* bike share program;
 - f. Dedicated ride shares drop-off locations;
- D. Construction
- E. Storm Water and Erosion Control
 3. NPDES: Since the project involves the disturbance of more than one acre of land area, the Applicant *shall* submit a Notice of Intent to the EPA for coverage under the NPDES Construction General Permit per EPA's requirements. Proof of submittal shall be provided at the preconstruction meeting noted above.
- F. Landscaping
- G. Setbacks
- H. *Secondary Access Road (changes as noted above)*

Reports of Committee Continued:

- I. Internal Site *Paths* (*changes as noted above*)
- J. School Bus Access
- K. Simarano Drive Improvements
- L. Lighting
- M. General Provisions
 - 5. Time for Completion: *Language shall be added to state the work on Site 2 shall be completed within five (5) years unless the applicant has received an extension from the City Council*

Motion made by Councilor Doucette, seconded by the Chair, to approve as amended. The motion carried 5-0.

Motion made by Councilor Juaira, seconded by the Chair, to adjourn. The motion carried 5-0. The meeting adjourned at 6:54 PM.

Meeting Name: City Council Urban Affairs Committee

Date: November 07, 2019

Location: City Council Chamber, 2nd Floor, City Hall, 140 Main Street

Convened: 5:32 PM – Adjourned: 6:51 PM

Present: Chairman Delano; Urban Affairs Committee Members Councilors Juaira, Landers, Doucette, and Tunnera; Councilors Clancy, Irish, Ossing and Robey

Order No. 19-1007738C: Communication from Attorney Michael Norris on behalf of Renato Fontes, regarding Amendment to the Proposed Rezoning of land off 269 Mechanic Street identified as Map 56, Parcel 125.

The Urban Affairs Committee met with attorney Michael Norris regarding the proposed rezoning of land off 269 Mechanic Street identified as Map 56, Parcel 125. Mr. Norris previously appeared before the Urban Affairs Committee on September 18, 2019 for an initial request to rezone this property. The committee approved the request however it was later discovered there was a very small portion of land contiguous to the Rail Trail on which the building is located that was not included in the original request. Per the recommendation of the City Solicitor, Mr. Norris was advised to return to the City Council to rezone the additional portion of land from Limited Industrial to Residence B zone. The committee agreed to approve the following:

THAT, PURSUANT TO § 5 OF CHAPTER 40A OF THE GENERAL LAWS, THE CITY COUNCIL OF THE CITY OF MARLBOROUGH HEREBY ORDAINS THAT THE ZONING ORDINANCE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED BY AMENDING THE ZONING MAP, SECTION 650-8, AS FOLLOWS:

Reports of Committee Continued:

That rear land at 269 Mechanic Street currently owned by Carmi Greb, LLC on Assessors Map 56, Parcel 125 presently zoned Limited Industrial be rezoned as Residential Bas it is contiguous to the Assessors Map 56, Parcels 131, 130, 129, 128, 127, and 123, that are all currently zoned Residential B and a parcel containing 432 s.f. to the rear of the building on land known as the Assabet River Rail Trail currently owned by the City of Marlborough be rezoned to Residential B. The area to the rear of Map 56, Parcel 125, being a rectangle parcel 4.40' on the northerly side to and 1.86' on the southerly side a distance of 142.39'.

Motion made by Councilor Juaire, seconded by the Chair, to approve. The motion carried 5-0.

Motion made and seconded to adjourn. The motion carried. The meeting adjourned at 6:51 PM.

Meeting Name: City Council Urban Affairs Committee

Date: November 14, 2019

Location: City Council Chamber, 2nd Floor, City Hall, 140 Main Street

Convened: 5:30 PM – Adjourned: 6:47 PM

Present: Chairman Delano; Urban Affairs Committee Members Councilors Juaire, Landers, Doucette, and Tunnera; Councilors Clancy, Dumais, Irish, Oram (arrived 6:40 PM), and Ossing; Tom DiPersio (City Engineer, City of Marlborough); Priscilla Ryder (Conservation Officer, City of Marlborough)

Order No. 19-1007780: Application for Special Permit from Attorney Brian Falk, on behalf of One Energy, Inc., to authorize the alteration of a preexisting nonconforming gas station use, to a gas station, convenience store and restaurant/cafe use at 121 Bolton Street.

The Urban Affairs Committee met with attorney Brian Falk of Mirick O'Connell, Mark Diarbakerly, owner of One Energy, Inc., Diane Nelligan, project manager at One Energy, Inc., and Richard DeFusco, RLA of Ayoub Engineering on the application for a special permit to authorize the alteration of a preexisting nonconforming gas station use to a gas station/convenience store at 121 Bolton Street. They discussed the driveway openings and whether it was best to have three as proposed versus two favored by members of the Site Plan Review Committee. As the project presented to the City Council and Site Plan Review Committee, and as shown in the submitted traffic study, included three openings (two on Bolton and one on State) Councilors agreed all three openings could remain subject to further condition in the Special Permit as follows:

Petitioner shall work with the Site Plan Review Committee to minimize, if possible, the size of openings to increase green space/landscaping. The final design of the three entrances and landscaping shall require final approval by the Site Plan Review Committee.

Other changes as discussed:

- ✓ Condition ten, Signs, shall have an additional sentence that signs and exterior lighting, excluding emergency lights, shall not be illuminated outside of business hours.

Reports of Committee Continued:

- ✓ The synopsis of their liability insurance shall be made part of the special permit record and available to the proper City Officials upon request to ensure the policy is still in effect as long as the station is in operation.
- ✓ Fencing shall be a six-foot high vinyl fence around the perimeter of abutters' properties and shall include a three-foot lattice topper.
- ✓ There shall be no music or other audio at the pumps or otherwise outside other than what is necessary to make the use of the pumps or HP accessible as required by law.

Motion made by Councilor Juare, seconded by the Chair, to approve as amended. The motion carried 5-0.

The committee agreed to request a Suspension of the Rules at the November 18, 2019 City Council Meeting to forward to the Legal Department to place in proper form for the December 2, 2019 City Council Meeting.

Order No. 19-1007762 (X 19-1007763): Application for Special Permit from Post Road Realty, LLC to construct a multi-family residential project known as the Green District in the Executive Residential Overlay District (EROD) which will consist of 475 units in two buildings at 107 Simarano Drive, Map 116, Parcels 5, 11 & 12.

The Urban Affairs Committee met with attorney Brian Falk of Mirick O'Connell, Andrew Montelli of Post Road Realty, LLC, and Joe Peznola of Hancock Associates for a discussion of their special permit application to construct a multi-family residential project at 107 Simarano Drive. Mr. Montelli reviewed the "Multifamily Development Review Criteria and Design Review Guidelines" for their project, reminding the committee this assessment was self-scoring and explaining how he arrived at the score of 120 out of a possible 195 points. The committee reviewed the special permit conditions and requested the applicant add a condition (#9) that they will comply with all Conservation Commission restrictions.

Motion made by Councilor Doucette, seconded by the Chair, to approve as amended. The motion carried 5-0.

The committee agreed to request a Suspension of the Rules at the November 18, 2019 City Council Meeting to forward to the Legal Department to place in proper form for the December 2, 2019 City Council Meeting.

Motion made by Councilor Juare, seconded by the Chair, to adjourn. The motion carried 5-0. The meeting adjourned at 6:47 PM.

Suspension of the Rules requested – granted.

ORDERED: That the Transfer Request in the amount of \$322,873.25 which moves funds from Reserved for Salaries to various accounts within the Fire Department to fund the contract with the Firefighters Local 1714, for the period July 1, 2018 to June 30, 2021, be and is herewith **APPROVED**; adopted.

CITY OF MARLBOROUGH
BUDGET TRANSFERS -

DEPT:		Comptroller				FISCAL YEAR:		2020	
FROM ACCOUNT:						TO ACCOUNT:			
Available Balance	Amount	Org Code	Object	Account Description:	Amount	Org Code	Object	Account Description:	Available Balance
<u>\$990,000.00</u>	<u>\$322,873.25</u>	<u>11990006</u>	<u>57820</u>	<u>Reserve for Salaries</u>	<u>\$16,702.67</u>	<u>12200001</u>	<u>50334</u>	<u>Battalion Chief</u>	<u>\$239,387.84</u>
	Reason:	<u>Fund contractual obligations</u>				Reason:	<u>Contractual Obligation</u>		
					<u>\$156,922.75</u>	<u>12200001</u>	<u>50450</u>	<u>Firefighters</u>	<u>\$2,472,816.18</u>
	Reason:					Reason:	<u>Contractual Obligation</u>		
					<u>\$14,617.33</u>	<u>12200001</u>	<u>50800</u>	<u>Fire Captains</u>	<u>\$219,147.72</u>
	Reason:					Reason:	<u>Contractual Obligation</u>		
					<u>\$1,887.50</u>	<u>12200001</u>	<u>50805</u>	<u>Fire Inspector</u>	<u>\$75,500.00</u>
	Reason:					Reason:	<u>Contractual Obligation</u>		

					<u>\$27,532.88</u>	<u>12200001 50810</u>	<u>Fire Lieutenants</u>	<u>\$405,154.29</u>
Reason:							Contractual Obligation	
					<u>\$224.00</u>	<u>12200001 51210</u>	<u>Civil Defense Director</u>	<u>\$8,960.00</u>
Reason:							Contractual Obligation	
					<u>\$4,299.95</u>	<u>12200003 51226</u>	<u>Fire Depart/First Responder</u>	<u>\$39,236.81</u>
Reason:							Contractual Obligation	
					<u>\$20,359.09</u>	<u>12200003 51300</u>	<u>Additional Gross Overtime</u>	<u>\$303,861.59</u>
Reason:							Contractual Obligation	
					<u>\$1,924.32</u>	<u>12200003 51324</u>	<u>Overtime/Vehicle Maintenance</u>	<u>\$26,100.85</u>
Reason:							Contractual Obligation	
					<u>\$3,451.41</u>	<u>12200003 51328</u>	<u>Call Fire Overtime</u>	<u>\$70,810.60</u>
Reason:							Contractual Obligation	
					<u>\$4,747.50</u>	<u>12200003 51412</u>	<u>Hazmat Pay</u>	<u>\$7,500.00</u>
Reason:							Contractual Obligation	

				\$8,352.61	12200003	51430	Longevity	\$176,057.15
Reason:							Contractual Obligation	
				\$12,848.16	12200003	51440	Educational Incentive	\$253,762.58
Reason:							Contractual Obligation	
				\$6,279.49	12200003	51450	Night Shift Differential	\$58,325.20
Reason:							Contractual Obligation	
				\$9,227.66	12200003	51480	Emergency Medical Training	\$178,993.66
Reason:							Contractual Obligation	
				\$427.42	12200003	51481	Training Special Services	\$9,361.72
Reason:							Contractual Obligation	
				\$19,609.50	12200003	51490	Holiday	\$345,363.30
Reason:							Contractual Obligation	
				\$9,074.61	12200003	51920	Sick Leave Buy Back	\$184,000.00
Reason:							Contractual Obligation	
				\$4,384.40	12200003	51940	Clothing Allowance	\$74,262.86
Reason:							Contractual Obligation	
\$322,873.25	Total			\$322,873.25	Total			

ORDERED: That the City Clerk advertise **MONDAY, DECEMBER 2, 2019** as **DATE FOR THE JOINT PUBLIC HEARING** with the Board of Assessors to determine the percentage of the local tax levy to be borne by each class of property for Fiscal Year 2020. Massachusetts General Laws Chapter 40, Section 56 sets forth the procedures and responsibilities under the law, **APPROVED**; adopted.

Suspension of the Rules requested – granted.

ORDERED: That the Application for Site Plan Approval from Post Road Realty, LLC for The Green District project to be built in the Executive Residential Overlay District (EROD), at 107 Simarano Drive, refer to **CITY SOLICITOR TO BE PLACED IN PROPER LEGAL FORM FOR THE DECEMBER 2, 2019 COUNCIL MEETING**; adopted.

Suspension of the Rules requested – granted.

ORDERED: That the Application for Special Permit from Attorney Brian Falk, on behalf of One Energy, Inc., to authorize the alteration of a preexisting nonconforming gas station use, to a gas station, convenience store and restaurant/cafe use at 121 Bolton Street, refer to **CITY SOLICITOR TO BE PLACED IN PROPER LEGAL FORM FOR THE DECEMBER 2, 2019 COUNCIL MEETING**; adopted.

Suspension of the Rules requested – granted.

ORDERED: That the Application for Special Permit from Post Road Realty, LLC to construct a multi-family residential project known as the Green District in the Executive Residential Overlay District (EROD) which will consist of 475 units in two buildings at 107 Simarano Drive, Map 116, Parcels 5, 11 & 12, refer to **CITY SOLICITOR TO BE PLACED IN PROPER LEGAL FORM FOR THE DECEMBER 2, 2019 COUNCIL MEETING**; adopted.

ORDERED: That the Communication from City Solicitor, Jason Grossfield, re: Application for LED Sign Special Permit from Attorney Elizabeth McDonough Noonan on behalf of Colbea Enterprises, LLC, 342 Boston Post Road East, in proper legal form, Order No. 19-1007670A, **FILE**; adopted.

ORDERED:

**DECISION ON A LED SIGN SPECIAL PERMIT
IN CITY COUNCIL**

LED Sign Special Permit
Colbea Enterprises, LLC
342 Boston Post Road East
Order No. 19-1007670B

**DECISION ON A LED SIGN SPECIAL PERMIT
CITY COUNCIL ORDER NO. 19-1007670B**

The City Council of the City of Marlborough hereby **GRANTS** the application for an LED Sign Ordinance Special Permit to Colbea Enterprises, LLC, 7 Starline Drive, Cranston, Rhode Island (the “Applicant”), as provided in this Decision and subject to the following Procedural Findings and Findings of Facts and Conditions.

FINDINGS OF FACT AND RULING

1. The Applicant is the owner of the property located at 342 Boston Post Road East, Marlborough, Massachusetts, as shown on the Marlborough Assessors Maps as Map 59, Parcel 11 (the “Site”) and operates/will operate a gasoline station.
2. The Applicant seeks an LED Sign Special Permit, pursuant to Section 526-13 of the Code of the City of Marlborough entitled, “Electronic Message Center Signs and Digital Display Signs” (the “EMC and Digital Display Sign Ordinance”), to operate an electronic message center sign (the “Sign”) at the Site (the “Application”).

3. The Sign is one (1) internally illuminated LED EMC sign with a 6'1" by 16'5 ¼" (100 sq. ft.) electronic message board on an existing pole.
4. In connection with the Application, the Applicant has submitted schematic design of the Site and a sketch plan showing the location of the Sign on the Site (as shown in Exhibit A).
5. The Marlborough City Council held a public hearing on the Application on October 21, 2019.
6. The Applicant, through its representatives, presented testimony at the public hearing detailing the Sign. No individual in attendance at the public hearing spoke in opposition to the Sign.

BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING FINDINGS AND TAKES THE FOLLOWING ACTIONS

- A. The Applicant has complied with all rules and regulations promulgated by the Marlborough City Council as they pertain to application for a special permit under the EMC and Digital Display Sign Ordinance.
- B. The City Council finds that the Sign complies with the standards set forth in Section 526-13.B of the EMC and Digital Display Sign Ordinance.
- C. The City Council finds, pursuant to Section 526-13.B(16) of the EMC and Digital Display Sign Ordinance, that: all other signage on the Site is in compliance with zoning requirements; the Sign does not create unnecessary visual clutter or constitute signage overload for the lot or surrounding neighborhood or street; the Sign does not substantially block visibility of signs on abutting lots; the Sign does not substantially block solar access of, or the view from, windows of residential dwellings on abutting lots; the proposed illumination is appropriate to the Site and is appropriately located with respect to the character of the surrounding neighborhood; the scale and/or location of the Sign is appropriate; and the dimensions of the Sign comply with the area limitations of the EMC and Digital Display Sign Ordinance.
- D. The City Council, pursuant to its authority under the EMC and Digital Display Sign Ordinance, hereby **GRANTS** the Applicant a special permit for the Sign, **SUBJECT TO THE FOLLOWING CONDITIONS**, which conditions shall be binding on the Applicant, its successors and/or assigns:
 1. The Sign shall be operated in accordance with the EMC and Digital Display Sign Ordinance of the City of Marlborough and shall conform to the Sign Ordinance of the City of Marlborough.

Yea: 11 – Nay: 0

Yea: Delano, Doucette, Dumais, Tunnera, Irish, Clancy, Landers, Juaire, Oram, Ossing, & Robey.

ORDERED: There being no further business, the regular meeting of the City Council is herewith adjourned at 9:07 PM; adopted.



IN CITY COUNCIL

Marlborough, Mass., NOVEMBER 18, 2019

ORDERED:

That the City Clerk advertise **MONDAY, DECEMBER 2, 2019** as **DATE FOR THE JOINT PUBLIC HEARING** with the Board of Assessors to determine the percentage of the local tax levy to be borne by each class of property for Fiscal Year 2020. Massachusetts General Laws Chapter 40, Section 56 sets forth the procedures and responsibilities under the law, be and is herewith **APPROVED**.

ADOPTED

ORDER NO. 19-1007857



City of Marlborough

Office of the Mayor

140 Main Street
Marlborough, Massachusetts 01752
Tel. (508) 460-3770 Facsimile (508) 460-3698 TDD (508) 460-3610
www.marlborough-ma.gov

Arthur G. Vigeant
MAYOR

Nathan R. Boudreau
EXECUTIVE AIDE

Patricia Bernard
EXECUTIVE SECRETARY

November 26, 2019

City Council President Edward J. Clancy
Marlborough City Council
140 Main Street
Marlborough, MA 01752

Re: Tax Classification Hearing

Honorable President Clancy and Councilors:

Enclosed for your information is my recommendation and corresponding draft motion for the Fiscal Year 2020 Tax Classification Hearing. The enclosed documentation was prepared to assist the City Council in their review of key factors before voting to set the tax rate for this fiscal year. Below are a few highlights.

- **CIP Shift Factor: 1.43**
- **Residential Shift Factor: 0.8039**
- **Residential Property Valuation: 68.67%**
- **Commercial, Industrial, Personal Valuation: 31.33%**

In addition, to reduce the Fiscal Year 2020 tax levy, I am submitting for your approval the following transfer requests totaling \$1,094,896.13.

- 1) Transfer in the amount of \$53,850.00 from Sale of Graves to offset the FY2020 Tax Levy.
- 2) Transfer in the amount of \$1,041,046.13 from Overlay Reserve to offset the FY2020 Tax Levy.

Pending approval of the shift factor, the average single-family home in Marlborough will see a property tax adjustment of less than \$171.78 over Fiscal Year 2019.

Continued economic development in our city has resulted in \$2,634,488.00 in new growth in 2020. Smart and precise new growth is a key to keeping our community accessible, affordable and moving forward down a path of progress. Additionally, keeping our tax adjustments predictable has led to our ability to grow without becoming burdensome to the taxpayers.

Thank you in advance for your continued partnership.

Sincerely,

Arthur G. Vigeant
Mayor

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2019 NOV 26 P 2:12

ORDERED:

The Marlborough City Council votes in accordance with M.G.L. Ch. 40, Sec. 56, as amended, the percentage of local tax levy which will be borne by each class of real and personal property, relative to setting the Fiscal Year 2020 tax rates and set the Residential Factor at 0.8039 with a corresponding CIP shift of 1.43 pending approval of the City's annual tax recap by the Massachusetts Department of Revenue.

ADOPTED

In City Council

Order No. 19-

Adopted

Approved by the Mayor

Arthur G. Vigeant

Date:



City of Marlborough

Office of the Assessors
140 Main Street
Marlborough, Massachusetts 01752
TDD (508) 460-3610
Phone: (508) 460-3779

Voted by the Board of Assessors this 21st day of November 2019
a release of overlay funds for the Fiscal Year as follows:

2016 \$1,041,046.13

Anthony Amato *Mark Schaller* *Bob W. Ho*

CITY OF MARLBOROUGH
BUDGET TRANSFERS --

DEPT: Mayor's Office

FISCAL YEAR: 2020

FROM ACCOUNT:

TO ACCOUNT:

Available
Balance

Amount

Org Code Object

Account Description:

Amount

Org Code Object

Account Description:

Available
Balance

\$53,850.00

\$53,850.00

27000 33020

Sale of Graves

\$53,850.00

To reduce FY20 Tax Levy

\$0.00

Reason:

Sale of Graves revenue from FY19 to reduce FY20 tax levy

\$53,850.00

Total

\$53,850.00

Total

CITY OF MARLBOROUGH
BUDGET TRANSFERS --

DEPT: Mayor's Office

FISCAL YEAR: 2020

FROM ACCOUNT:

TO ACCOUNT:

Available
Balance

Amount

Org Code

Object

Account Description:

Amount

Org Code

Object

Account Description:

Available
Balance

\$1,041,046.13

\$1,041,046.13

10000

32200

Overlay Reserve

\$1,041,046.13

To reduce FY20 Tax Levy

\$0.00

Reason:

Excess overlay from FY16 to reduce FY20 tax levy

\$1,041,046.13

Total

\$1,041,046.13

Total



MARLBOROUGH

MASSACHUSETTS

Fiscal Year 2020

Tax Classification Hearing

December 2, 2019



City of Marlborough

FISCAL YEAR 2019

ANNUAL TAX CLASSIFICATION REPORT

City Council

Edward J. Clancy, President
Peter J. Juairé
Mark A. Oram
Michael H. Ossing
Kathleen D. Robey
Joseph F. Delano, Jr.
David Doucette
J. Christian Dumais
Robert J. Tunnera
John J. Irish
Donald R. Landers, Sr.

Board of Assessors

Anthony Arruda, Chair
Ellen Silverstein
David Manzello, Principal Assessor, Regional Resource
Group, Inc.

Assessing Services

Regional Resource Group, Inc.

Mayor

Arthur G. Vigeant

Comptroller/Treasurer

Brian Doheny

City Auditor

Diane Smith

Classification Hearing

December 2, 2019

Terminology

The following are definitions of terms frequently used in the discussion of tax rates.

Levy: The tax levy (or levy) is the amount of property taxes to be raised. The total amount of the approved budget less revenues from other sources like motor vehicle excise, municipal fees, and state aid is the amount to be raised from property taxation. In Marlborough, the levy to be raised is reported to the Assessors by the City Comptroller. The fiscal year 2020 levy is \$109,050,542.

Levy Ceiling: The levy ceiling is 2.5 percent of the full value of the city. Based on the Marlborough aggregate valuation of \$6,182,003,519, the City cannot levy taxes in excess of \$154,550,088.

New Growth Revenue: Property taxes derived from newly taxable properties like new construction, additions, renovations, subdivisions, and personal property.

Levy Limit: Also referred to as the “maximum allowable levy”, the levy limit is calculated by adding 2.5 percent of the previous year’s levy limit plus new growth revenue, and Proposition 2 ½ voted overrides and debt exclusions. The fiscal year 2020 levy limit is \$144,113,359.

Excess Levy Capacity: Excess levy capacity is the difference between the actual property tax levy and the levy limit. Marlborough’s tax levy is well below the limit permitted under Proposition 2 ½.

The Fiscal Year 2020 Levy Limit and amount to be raised

The following is a calculation of Marlborough’s levy limit for fiscal year 2020.

Fiscal year 2019 levy limit	\$138,028,167
Levy increase allowed under Prop. 2 ½	3,450,704
New growth revenue	2,634,488
Proposition 2 ½ overrides	-0-
Fiscal year 2020 levy limit	144,113,359
Levy ceiling	154,550,088
Levy to be raised	\$109,050,542
Excess levy capacity	\$35,062,817

Valuations by Class before Tax Shift

<u>Major Property Class</u>	<u>Valuation</u>	<u>Percent</u>	<u>Res vs CIP%</u>
Residential	4,245,464,143	68.6746	68.6746
Commercial	1,104,461,592	17.8658	
Industrial	555,452,644	8.9850	31.3254
Personal Property	276,625,140	4.4747	
TOTAL	6,182,003,519	100.0000	

Mayor's Recommendation

After considering the valuations of Marlborough's residential and commercial property, and after examining the current fiscal strength of the city, the Mayor recommends the adoption of a Commercial/Industrial/Personal Property (CIP) shift factor of 1.43 resulting in a residential tax rate of \$14.18, and a CIP tax rate of \$25.23.

Tax Rates

Based on the above shift factor, the Board of Assessors has calculated the following tax rates needed to raise the tax levy:

<u>Property Class</u>	<u>FY2019</u>	<u>FY2020</u>
Residential	14.07	14.18
Commercial	24.95	25.23
Industrial	24.95	25.23
Personal Property	24.95	25.23

*Note that these rates are estimates only and may change upon Department of Revenue review. Were Marlborough not to shift taxes, the uniform tax rate for all properties would be \$17.64 per \$1,000 valuation.

Tax Impacts

Marlborough's single-family homeowners are benefitting from increased property values. Price appreciation in the year leading up to fiscal year 2020 (calendar year 2018) ran about 2.5 percent. Other residential property classes, including condominiums and multi-family apartment buildings, have experienced market appreciation. This increase in property values has been captured in revised assessed valuations that will appear in January's tax bills.

Commercial and industrial valuations have also been increased, with industrial properties showing the greater appreciation. It is recommended that the CIP shift factor remain at 1.43 to equalize tax increases born respectively by the residential, and CIP classes.

Examples of Average Tax Changes

<u>Property Type</u>	<u>FY20 Value</u>	<u>Avg. Tax</u>	<u>FY19 Value</u>	<u>Avg. Tax</u>	<u>Change</u>	<u>% Change</u>
Single Family Homes	383,913	5,444	374,748	5,273	\$171	3.24%
Condominiums	225,214	3,194	209,630	2,949	\$245	8.31%
2 Family Homes	326,661	4,632	312,394	4,395	\$237	5.39%
3 Family Homes	382,523	5,424	365,680	5,145	\$279	5.42%
Commercial	2,022,672	51,032	1,931,636	48,194	\$2,838	5.89%
Industrial	2,256,909	56,942	2,047,949	51,096	\$5,846	11.44%

Recommendations

The Board of Assessors recommends that the City Council adopt a Fiscal Year 2020 residential shift factor of 0.8039 with a corresponding CIP shift of 1.43, producing a residential tax rate of \$14.18 and CIP tax rate of \$25.23. Final tax rates are subject to Department of Revenue approval.

Voting a Tax Shift Factor

The Marlborough City Council votes in accordance with M.G.L., Ch. 40, Sec. 56, as amended, the percentage of local tax levy which will be borne by each class of real and personal property, relative to setting the Fiscal Year 2020 tax rates and set the Residential Factor at 0.8039 with a corresponding CIP shift of 1.43, pending approval of the City’s annual tax recap by the Massachusetts Department of Revenue.

Tax Classification – 5 Year Review

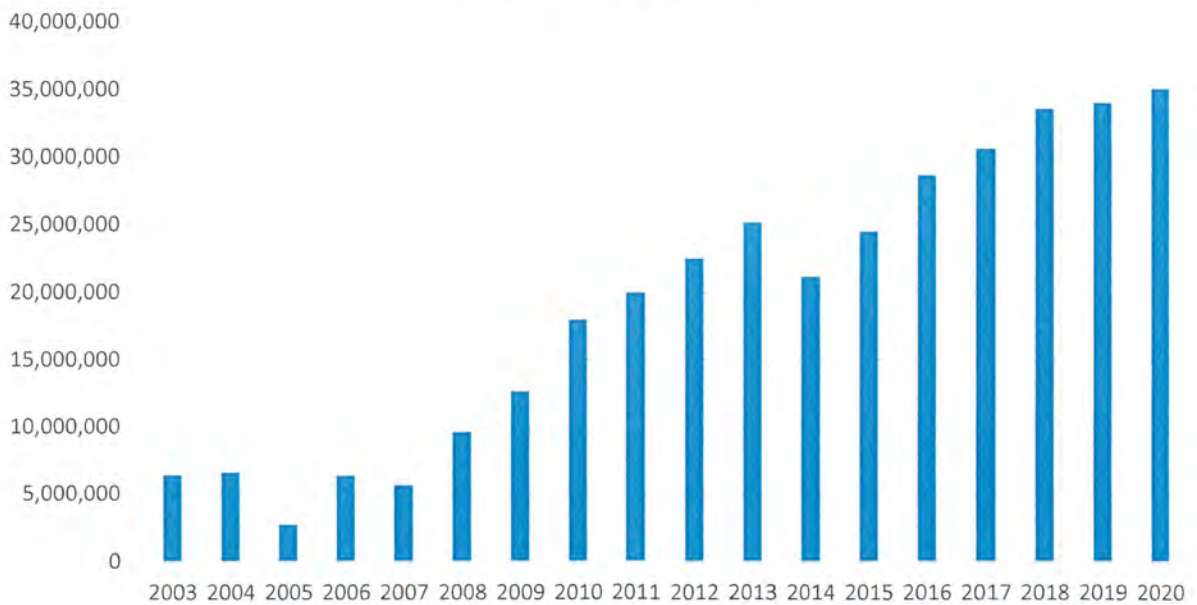
	FY2016	FY2017	FY2018	FY2019	FY2020
Total New Growth	\$3,981,634.00	\$2,801,390.00	\$3,431,743.00	\$3,486,714.00	\$2,634,488.00
Total Tax Levy	\$91,331,454	\$94,119,595	\$97,680,293	\$104,012,867	\$109,050,542
Levy Limit	\$119,963,736	\$124,710,450	\$131,259,954	\$138,028,167	\$144,113,359
Excess Capacity	\$28,632,282	\$30,590,855	\$33,579,661	\$34,015,300	\$35,062,817
Levy Ceiling	\$121,763,573	\$124,710,450	\$134,766,478	\$149,027,078	\$154,550,088
Total Residential Value	\$3,265,004,235	\$3,392,653,288	\$3,695,618,523	\$4,109,940,820	\$4,245,464,143
Commercial Value	\$934,731,139	\$925,791,174	\$977,732,325	\$1,066,120,892	\$1,104,461,592
Industrial Value	\$429,626,915	\$418,667,009	\$452,841,409	\$508,233,757	\$555,452,644
Personal Property Value	\$241,180,640	\$251,306,540	\$264,466,850	\$276,787,640	\$276,625,140
Total Net Taxable Value	\$4,870,542,929	\$4,988,418,011	\$5,390,659,107	\$5,961,083,109	6,182,003,519.00
Residential Value Share	67.04%	68.01%	68.56%	68.95%	68.67%
CIP Value Share	32.96%	31.99%	31.44%	31.05%	32.32%
Selected Shift	1.37	1.4	1.42	1.43	1.43
Residential Levy Percent	54.84%	55.22%	55.35%	55.53%	55.21%
CIP Levy Percent	45.16%	44.78%	44.65%	44.47%	44.79%
Residential Levy	\$50,085,165	\$51,975,448	\$54,066,899	\$57,826,867	60,200,978
CIP Levy	\$41,246,289	\$42,144,147	\$43,613,394	\$46,186,000	\$48,849,541
Residential Tax Rate	15.34	15.32	14.63	14.07	14.25
Commercial Tax Rate	25.69	26.41	25.73	24.95	25.34
Total Single-Family Value	\$2,204,702,300	\$2,267,198,200	\$2,443,219,500	\$2,643,845,400	\$2,710,805,300
Single Family Parcels	7,016	7,030	7,043	7,055	7,061
Average Single-Family Value	\$314,239	\$322,503	\$346,900	\$374,748	\$383,913
Average Single-Family Tax Bill	\$4,820	\$4,941	\$5,075	\$5,273	\$5,444

Historical Tax Rates for the City of Marlborough

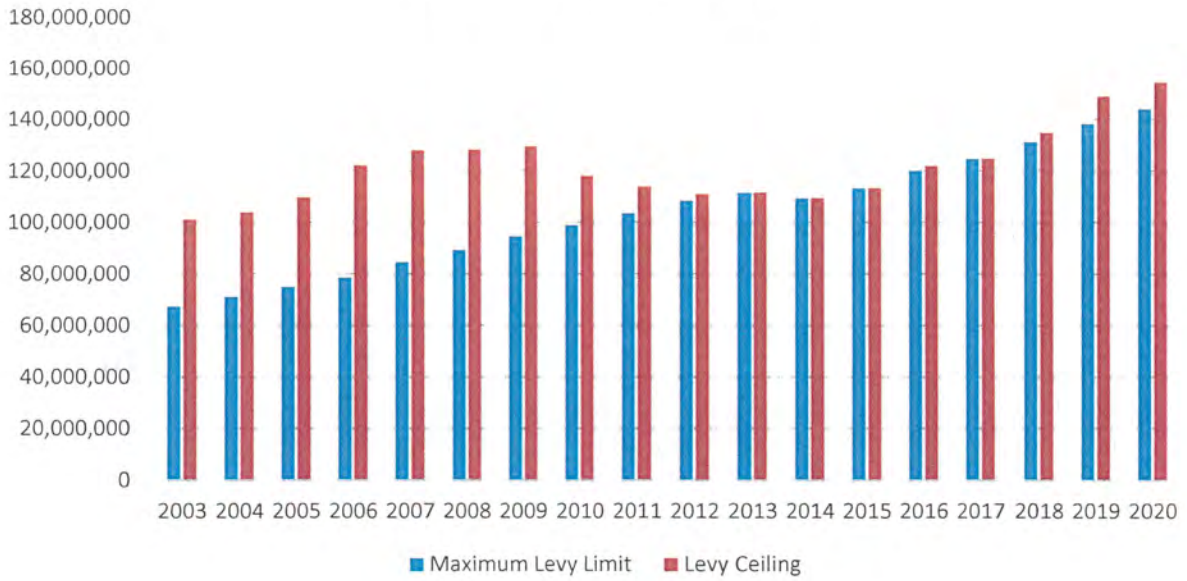
Fiscal Year	Residential	Commercial - Industrial - Personal Property
2020	\$14.18	\$25.23
2019	\$14.07	\$24.95
2018	\$14.63	\$25.73
2017	\$15.32	\$26.41
2016	\$15.34	\$25.69
2015	\$15.76	\$27.43
2014	\$16.11	\$28.22
2013	\$15.00	\$28.46
2012	\$14.80	\$29.04

City of Marlborough Levy Limit Implications					
Fiscal Year	Total Tax Levy	Maximum Levy Limit	Levy Ceiling	Excess Levy Capacity	Excess as a % of Maximum Levy
2003	60,956,295	67,335,085	100,966,720	6,378,790	9.47%
2004	64,465,084	71,046,332	103,809,076	6,581,248	9.26%
2005	72,153,233	74,876,393	109,515,192	2,723,160	3.64%
2006	72,181,560	78,548,734	122,053,673	6,367,174	8.11%
2007	79,018,938	84,655,918	127,934,312	5,636,980	6.66%
2008	79,753,097	89,384,611	128,148,285	9,631,514	10.78%
2009	81,935,337	94,575,164	129,533,857	12,639,827	13.36%
2010	80,996,050	98,943,862	117,902,971	17,947,812	18.14%
2011	83,511,878	103,447,705	113,672,828	19,935,827	19.27%
2012	85,845,867	108,330,504	110,863,797	22,484,637	20.76%
2013	86,361,360	111,500,706	111,500,706	25,139,346	22.55%
2014	88,052,213	109,200,278	109,200,278	21,148,065	19.37%
2015	88,678,940	113,153,270	113,153,270	24,474,330	21.63%
2016	91,331,454	119,963,736	121,763,573	28,632,282	23.87%
2017	94,119,595	124,710,450	124,710,450	30,590,855	24.53%
2018	97,680,293	131,259,954	134,766,478	33,579,661	25.58%
2019	104,012,867	138,028,167	149,027,078	34,015,300	24.64%
2020	109,050,088	144,113,359	154,550,088	35,062,817	24.33%

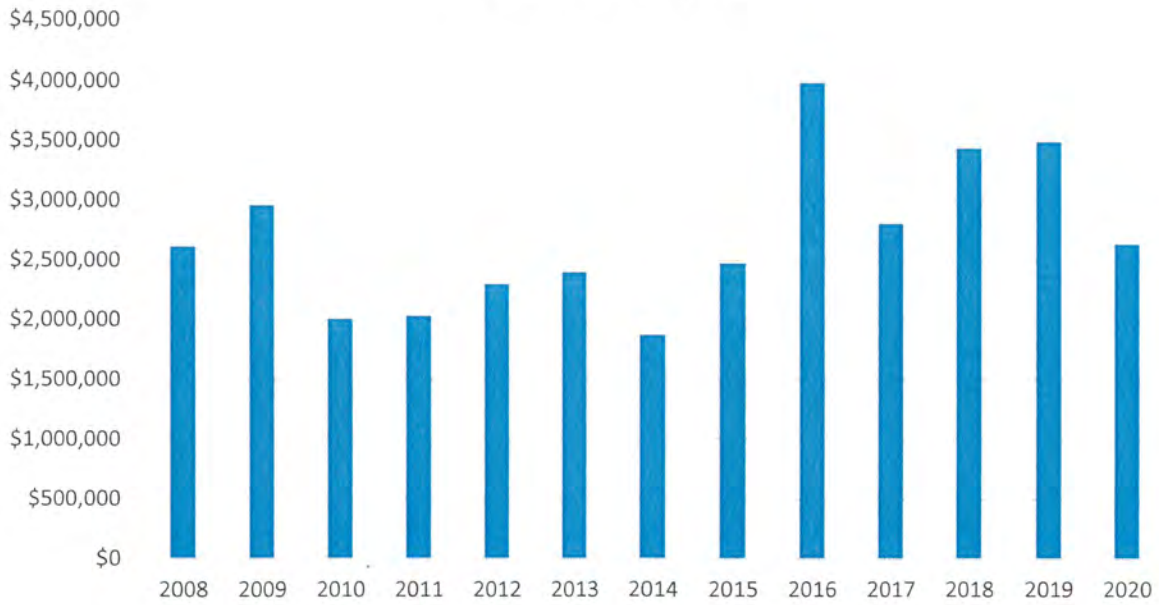
Excess Levy Capacity



Levy Limit v. Levy Ceiling



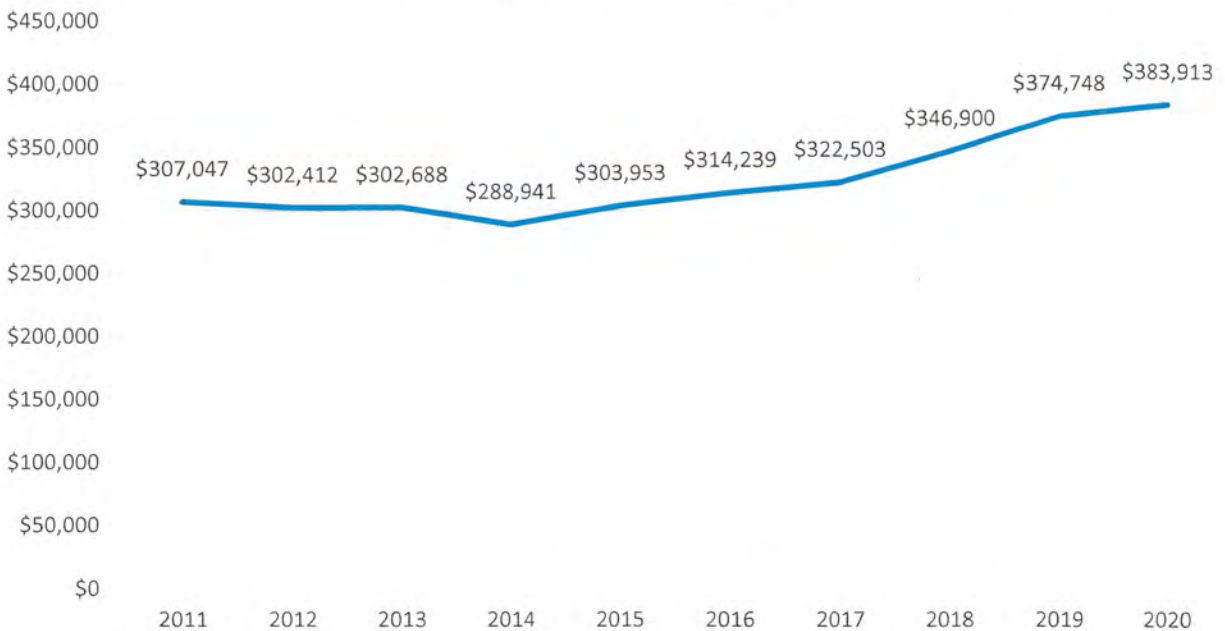
Total New Growth



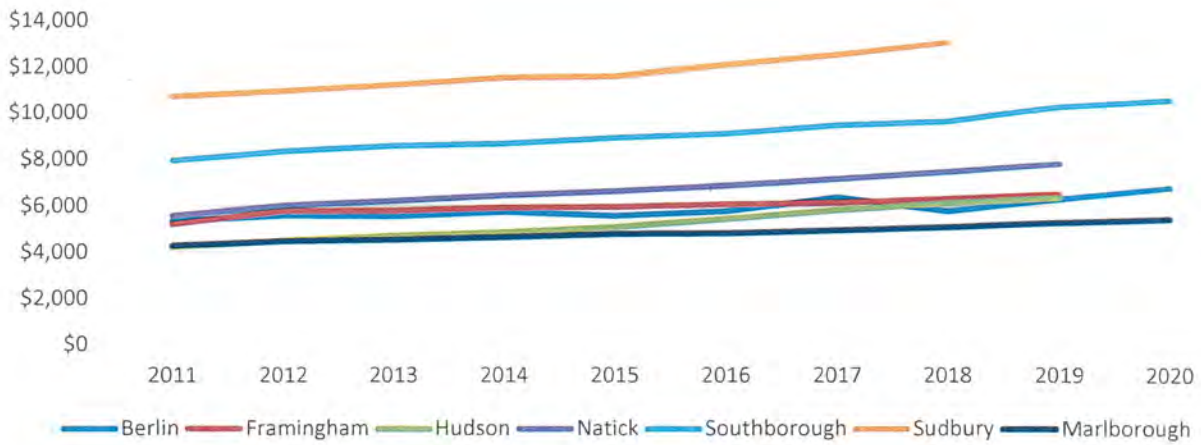
City of Marlborough Historical Single-Family Home Values and Bills

Year	Single Family Value	Single Family Parcels	Average Single-Family Value	Average Single-Family Tax Bill
2011	\$2,135,204,600	6,954	\$307,047	\$4,280
2012	\$2,105,395,800	6,962	\$302,412	\$4,476
2013	\$2,110,641,800	6,973	\$302,688	\$4,540
2014	\$2,017,964,400	6,984	\$288,941	\$4,655
2015	\$2,127,060,300	6,998	\$303,953	\$4,790
2016	\$2,204,702,300	7,016	\$314,239	\$4,820
2017	\$2,267,198,200	7,030	\$322,503	\$4,941
2018	\$2,443,219,500	7,043	\$346,900	\$5,075
2019	\$2,643,845,400	7,055	\$374,748	\$5,273
2020	\$2,710,805,300	7,061	\$383,913	\$5,444

Average Single Family Value



Average Single Family Tax Bill Comparison to Neighboring Communities



Top 10 Real Estate Taxpayers for Fiscal Year 2019

	Owner	Nature of Business	FY19 Real Estate Tax Bill	FY2019 Value	% of Total Tax Levy
1	TJX Companies, Inc.	Retail-Offices	\$1,781,181.65	\$71,390,046	1.71%
2	Hines Global REIT Marlborough Campus	Office Campus	\$1,768,116.68	\$70,866,400	1.70%
3	Boston Scientific Corporation	Medical	\$1,488,733.65	\$60,650,683	1.43%
4	MTP Equity Partners LLC	Office Campus	\$1,259,827.80	\$50,494,100	1.21%
5	Avalon Marlborough LLC	Apartment Complex	\$910,720.43	\$80,906,700	1.09%
6	Mall At Solomon Pond LLC	Retail	\$984,152.75	\$39,445,000	0.95%
7	GS Stonegate Project	Apartment Complex	\$973,074.17	\$69,159,500	94.00%
8	Walker Reality (APEX)	Retail / Office	\$926,727.83	\$37,143,400	0.89%
9	Sunovion Pharmaceuticals Inc	Office / Lab	\$920,140.53	\$36,879,380	0.88%
10	Raytheon Company	Computer Management	\$872,751.00	\$34,980,000	0.84%

Top 10 Personal Property Taxpayers for Fiscal Year 2019

	Taxpayer	Address	FY19 Property Tax Bill	FY20 Value
1	Oracle America Inc	250 Locke Dr	\$325,631.18	17,200,870
2	Boston Scientific	100 Boston Scientific Way	\$314,772.00	9,789,500
3	Wellington Mgmt Co LLP	100 Campus Dr	\$263,840.01	8,767,500
4	Western Digital Tech	200 Donald J Lynch Blvd	\$191,517.70	7,992,180
5	Comcast of Mass Inc	Various	\$149,044.31	6,377,860
6	Quest Diagnostics LLC	200 Forest St	\$135,500.00	4,075,680
7	Sunovion Research & Dev	84 Waterford Dr	\$78,990.45	3,287,950
8	Athena Diagnostics	200 Forest St	\$49,900.00	2,600,000
9	Roche Molecular System	700 Nickerson Rd	\$57,385.00	2,323,550
10	Brookfield Renewable Power	200 Donald J Lynch Blvd	\$61,095.56	1,851,960

ASSESSMENT/CLASSIFICATION REPORT as of January 1, 2019
 Fiscal Year 2020

Property Type	Parcel Count	Class1 Residential	Class2 Open Space	Class3 Commercial	Class4 Industrial	Class5 Pers Prop
101	7,061	2,710,805,300				
102	2,463	554,701,378				
MISC 103,109	48	40,202,300				
104	795	259,695,661				
105	163	62,351,200				
111-125	158	576,244,091				
130-32,106	489	15,362,200				
200-231	0		0			
300-393	533			1,078,083,962		
400-442	245				552,942,654	
450-452	0				0	
CH 61 LAND	0	1	0	782		
CH 61A LAND	1	16	0	152,541		
CH 61B LAND	0	8	0	910,550		
012-043	94	26,102,013	0	25,313,757	2,509,990	
501	276					53,800,680
502	450					112,900,890
503	0					0
504	3					71,017,650
505	7					34,736,200
506	1					1,035,800
508	4					3,133,920
550-552	0					0
TOTALS	12,816	4,245,464,143	0	1,104,461,592	555,452,644	276,625,140
Real and Personal Property Total Value						6,182,003,519
Exempt Parcel Count & Value					539	638,154,497

For CH 61, 61A and 61B Land: enter the mixed use parcel count in the left-hand box, and enter the 100% Chapter land parcel count in the right-hand box.

Signatures

Board of Assessors

David Manzello, Assessor , Marlborough , dmanzello@rrgsystems.com 508-460-3779 | 11/13/2019 2:08 PM

Comment: Signed under authorization of the Board of Assessors.

Comments

Marlborough's LA-4 505 class telecom figure does not fully agree with DOR's assessment in that 2 of the 9 entities have assessments falling below Marlborough's \$10,000 value threshold. These include: CTC Communications Corporation - AV = \$200 TC Systems, Inc - AV = \$3,800

Documents

Documents have been uploaded.

NOTE : The Information was Approved on 11/14/2019

CLASSIFICATION TAX ALLOCATION
Fiscal Year 2020

1. The selected Residential Factor is 1.000000

If you desire each class to maintain 100% of its full values tax share, indicate a residential factor of "1" and go to question 3.

2. In computing your residential factor, was a discount granted to Open Space?

Yes No

If Yes, what is the percentage discount? 0

3. Was a residential exemption adopted?

Yes No

If Yes, please complete the following:

<u>Class 1 Total Assessed Value</u>	=	<u>4,245,464,143</u>	X	<u>0</u>	=	<u>0</u>
Class 1 Total Parcel Count *		0		Selected Res. Exemption %		Residential Exemption

* Include all parcels with a Mixed-Use Residential designation

Applicable number of parcels to receive exemption 0

Net value to be exempted 0

4. Was a small commercial exemption adopted?

Yes No

% Selected 0

If Yes, please complete the following:

No. of parcels eligible	<u>0</u>
Total value of parcels	<u>0</u>
Total value to be exempted	<u>0</u>

5. The following information was derived from the LA-7. Please indicate in column D percentages (accurate to 4 digits to the right of the decimal point) which result from your selected residential factor. (If a residential factor of "1" has been selected, you may leave Column D blank.)

A Class	B Certified Full and Fair Cash Value Assessments	C Percentage Full Value Shares of Total Tax Levy	D New Percentage Shares of Total Tax Levy
Residential	4,245,464,143.00	68.6746%	68.6746%
Open Space	0.00	0.0000%	0.0000%
Commercial	1,104,461,592.00	17.8657%	17.8657%
Industrial	555,452,644.00	8.9850%	8.9850%
Personal Property	276,625,140.00	4.4747%	4.4747%
TOTALS	6,182,003,519.00	100.0000%	100.0000%

NOTE : The Information is preliminary and is subject to change.

CLASSIFICATION TAX ALLOCATION
Fiscal Year 2020

6. Notice was given to taxpayers on (date), (time), at (place), by (describe type of notice) that a public hearing on the issue of adopting the tax levy percentages for fiscal year 2020 would be held on (meeting date).

7. We hereby attest that on (date), (time), at (place) in a public hearing on the issue of adopting the percentages for fiscal year 2020, that the Board of Assessors presented information and data relevant to making such determination and the fiscal effect of the available alternatives, and that the percentages set forth above were duly adopted in public session on (date).

8. The LA-5 excess capacity for the current fiscal year is calculated as 35,062,816.93

The LA-5 excess capacity for the prior fiscal year is calculated as 34,015,299.54

For cities : City Councilors, Aldermen, Mayor

For towns : Board of Selectmen

For districts : Prudential Committee or Commissioners

Signatures

Board of Assessors

A majority of the Board of Assessors must sign the LA-5. All signing assessors must be qualified to classify property.

David Manzello, Assessor , Marlborough , dmanzello@rrgsystems.com 508-460-3779 | 11/14/2019 11:57 AM

Clerk

I hereby attest that notice was given to taxpayers that a public hearing on the issue of adopting the tax levy percentages would be held on the date and time stated above.

Required Executive Signatures

Required Signatures for LA-5 Certification

For cities: A majority of the City Councilors/Aldermen and the Mayor

For towns: A majority of the Board of Selectmen

For districts: A majority of the Prudential Committee or Commissioners

We hereby attest that on the hearing date above the Board of Assessors presented information and data relevant to making such determination and the fiscal effect of the available alternatives at the hearing, and that the percentages set forth above were duly adopted in public session on the date stated above.

Documents

No documents have been uploaded.

LA13 Tax Base Levy Growth

Retain documentation for 5 years in case of DOR audit - Fiscal Year 2020

Property Class	(A) All Prior Year Abatement No.	(B) All Prior Year Abatement Values	(C) New Growth Valuation	(D) PY Tax Rate	(E) Tax Levy Growth
RESIDENTIAL					
SINGLE FAMILY (101)	10	247,200	6,400,100		
CONDOMINIUM (102)	5	192,300	63,200		
TWO & THREE FAMILY (104 & 105)	5	163,300	405,700		
MULTI - FAMILY (111-125)	0	0	6,775,700		
VACANT LAND (130-132 & 106)	3	425,200	0		
ALL OTHERS (103, 109, 012-018)	0	0	0		
TOTAL RESIDENTIAL	23	1,028,000	13,644,700	14.07	191,981
OPEN SPACE	0	0	0		
OPEN SPACE - CHAPTER 61, 61A, 61B	0	0	0		
TOTAL OPEN SPACE	0	0	0	0.00	0
COMMERCIAL					
COMMERCIAL - CHAPTER 61, 61A, 61B	0	0	0		
TOTAL COMMERCIAL	21	5,689,800	9,598,616	24.95	239,485
INDUSTRIAL	2	690,200	13,907,143	24.95	346,983
PERSONAL PROPERTY			74,390,330	24.95	1,856,039
TOTAL REAL & PERSONAL			111,540,789		2,634,488

Community Comments:

Signatures
<p>Board of Assessors</p> <p>David Manzello, Assessor , Marlborough , dmanzello@rrgsystems.com 508-460-3779 11/1/2019 3:23 PM</p> <p>Comment: Signed under authorization of the Board of Assessors.</p>

Documents
<p>Documents have been uploaded.</p>

NOTE : The information was Approved on 11/15/2019

LA13 Tax Base Levy Growth - Fiscal Year 2020

Small PP Exemption	5000	Certification Year	2019
Billing Cycle	Quarterly	BLA / BOA Advisors	Rebecca Boucher / Andrew Nelson
Chapter 653	No	Growth Reviewer	Rebecca Boucher

Class	FY 2020 Growth	3 Year Avg. Growth	FY 2020 / Avg Growth Factor
Residential & Open Space	13,644,700	37,591,256	0.36
Commercial & Industrial	23,505,759	35,882,692	0.66
Personal Property	74,390,330	66,972,663	1.11
Totals	111,540,789	140,446,611	0.79

Total Growth as a % of Total Value = 1.80%

Residential

Average FY 2020 101 Value	383,912
Change in 101 Parcel Counts	6
Estimated Growth - New Homes	2,303,472

FY 2020 - FY 2019 Changes	Single Family (101)	Condominium (102)	Two & Three Family (104 & 105)	Multi-Family (111-125)	Vacant Land (130-132, 106)	All Others (103, 109, 012-018)	Commercial 300's Only	Industrial 400's Only	Personal Prop 500's
Parcel Change	6	0	1	0	-22	2	-6	-2	-25
Value Change	66,959,900	38,382,800	14,400,500	15,191,453	-1,016,900	1,605,570	36,932,116	47,099,297	-162,500
New Growth	6,400,100	63,200	405,700	6,775,700	0	0	9,598,616	13,907,143	74,390,330
DOR Utility Growth									921,800

LA13 Edits	Rev & Omit	Abatements
Res % of FY 2020 Base	0.00%	0.03%
Com % of FY 2020 Base	0.00%	0.53%
Ind % of FY 2020 Base	0.00%	0.14%

Approval Date	11/15/2019	LA-13A Levy Amount	\$0.00
		LA-13 Levy Amount	\$2,634,488.00

LA13 Tax Base Levy Growth - Fiscal Year 2020

Comments

No comments to display.

Documents

No documents have been uploaded.

**Levy Limit
 Fiscal Year 2020**

FOR BUDGET PLANNING PURPOSES

I. TO CALCULATE THE FY 2019 LEVY LIMIT

A. FY 2018 Levy Limit	131,259,954	
A1. ADD Amended FY 2018 Growth	0	
B. ADD (IA + IA1)*2.5%	3,281,499	
C. ADD FY 2019 New Growth	3,486,714	
C1. ADD FY 2019 New Growth Adjustment	0	
D. ADD FY 2019 Override	0	
E. FY 2019 Subtotal	<u>138,028,167</u>	
F. FY 2019 Levy Ceiling	149,027,078	I. <u>138,028,167</u>
		FY 2019 Levy Limit

II. TO CALCULATE THE FY 2020 LEVY LIMIT

A. FY 2019 Levy Limit from I	138,028,167	
A1. Amended FY 2019 Growth	0	
B. ADD (IIA + IIA1)*2.5%	3,450,704	
C. ADD FY 2020 New Growth	2,634,488	
C1. ADD FY 2020 New Growth Adjustment	0	
D. ADD FY 2020 Override	0	
E. ADD FY 2020 Subtotal	<u>144,113,359</u>	
F. FY 2020 Levy Ceiling	154,550,088	II. <u>144,113,359</u>
		FY 2020 Levy Limit

III. TO CALCULATE THE FY 2020 MAXIMUM ALLOWABLE LEVY

A. FY 2020 Levy Limit from II.	144,113,359
B. FY 2020 Debt Exclusion(s)	0
C. FY 2020 Capital Expenditure Exclusion(s)	0
D. FY 2020 Stabilization Fund Override	0
E. FY 2020 Other Adjustment :	0
F. FY 2020 Water/Sewer	0
G. FY 2020 Maximum Allowable Levy	<u>144,113,359</u>

Signatures

Board of Assessors

David Manzello, Assessor , Marlborough , dmanzello@rrgsystems.com 508-460-3779 | 11/1/2019 3:25 PM

Comment: Signed under authorization of the Board of Assessors.

Documents

No documents have been uploaded.

NOTE : The information is preliminary and is subject to change.

Projected Tax Implication of Proposed FY 20 Budget

		FY 19		FY 20	Difference	PCT
Tax Levy	\$	104,012,867.46	\$	109,050,542.07	\$ 5,037,674.61	4.84%
New Growth	\$	-	\$	2,634,488.00		
Effective Tax Levy	\$	104,012,867.46	\$	106,416,054.07	\$ 2,403,186.61	2.31%

New Growth for FY 20 will add \$2,634,488 in additional tax revenue without increasing the tax rate for FY 20.

For every Million dollar increase in the tax levy there is a corresponding .17 cent increase in the residential tax rate.
 For every Million dollar increase in the tax levy there is a corresponding .28 cent increase in the CIP tax rate.

		FY 19 with New Growth		FY 20 with New Growth	Difference	
Typical House Value	\$	374,748.00	\$	383,913.00	\$ 9,165.00	2.45%
Tax	\$	5,272.70	\$	5,443.89	\$ 171.18	3.25%
Tax Rate	\$	14.07	\$	14.18	\$ 0.11	0.78%
Typical Retail Value	\$	1,931,636.00	\$	2,022,672.00	\$ 91,036.00	4.71%
Tax	\$	48,194.32	\$	51,032.01	\$ 2,837.70	5.89%
Tax Rate	\$	24.95	\$	25.23	\$ 0.28	1.12%

FY20 REVENUE PROJECTIONS

	FY 16 Actual	FY 17 Actual	FY 18 Actual	FY 19 Actual	FY 20 Projection	
MOTOR VECH	\$ 5,160,782.66	\$ 5,606,019.34	\$ 5,605,522.00	\$ 5,639,561.83	\$ 5,600,000.00	Estimate
OTHER EXCISE - Meals	\$ -	\$ -	\$ 398,500.00	\$ 388,000.00	\$ 366,493.00	Estimate
OTHER EXCISE - Room	\$ 1,602,321.34	\$ 1,661,273.58	\$ 1,772,605.00	\$ 1,835,704.15	\$ 1,835,000.00	Estimate
OTHER EXCISE - Other	\$ 49,080.00	\$ 44,680.00	\$ 52,780.00	\$ 49,100.00	\$ 49,000.00	Estimate
PENALTIES & INTEREST	\$ 456,153.07	\$ 567,961.15	\$ 561,424.00	\$ 616,489.79	\$ 600,000.00	Estimate
LIEU OF TAXES	\$ 354,943.80	\$ 323,541.74	\$ 254,195.00	\$ 316,700.68	\$ 300,000.00	Estimate
CHARGES WATER	\$10,235,431.79	\$ 12,735,824.78	\$11,900,534.00	\$ 11,326,796.53	\$ 11,300,000.00	No Rate Change
CHARGES FOR SEWER	\$10,011,173.95	\$ 11,370,356.48	\$10,267,909.00	\$ 10,311,746.66	\$ 10,300,000.00	No Rate Change
FEES	\$ 333,269.69	\$ 357,321.78	\$ 357,729.00	\$ 347,162.79	\$ 340,000.00	Estimate
RENTAL	\$ 288,656.21	\$ 273,131.47	\$ 279,389.00	\$ 291,500.73	\$ 275,000.00	Estimate
DEPT REV. LIBRARIES	\$ 5,094.90	\$ 5,059.95	\$ 2,462.00	\$ 4,683.50	\$ 4,500.00	Estimate
DEPT REV. CEMETERIES	\$ 66,290.00	\$ 69,890.00	\$ 68,080.00	\$ 72,790.00	\$ 72,000.00	Estimate
OTHER DEPT REV	\$ 133,760.99	\$ 137,466.00	\$ 150,588.00	\$ 129,825.64	\$ 129,000.00	Estimate
LICENSES AND PERMITS	\$ 1,435,706.43	\$ 1,698,488.99	\$ 1,343,207.00	\$ 1,298,259.85	\$ 1,290,000.00	Estimate
FINE AND FORFEITS	\$ 190,939.34	\$ 255,508.35	\$ 148,482.00	\$ 135,724.65	\$ 135,000.00	Estimate
INVESTMENT INCOME	\$ 3,106,003.45	\$ 704,484.58	\$ 874,859.00	\$ 1,311,953.41	\$ 750,000.00	Estimate
MISC. REV.	\$ 19,959.32	\$ 91,640.69	\$ 62,095.00	\$ 43,329.25	\$ 40,000.00	Estimate
Medicaid Reimbursement	\$ 455,447.20	\$ 617,536.80	\$ 585,488.00	\$ 452,663.67	\$ 400,000.00	Estimate
MISC REV NON RECURRING	\$ 554,491.48	\$ 1,125,044.16	\$ 520,958.00	\$ 927,880.51	\$ 525,000.00	Estimate
SUB TOTAL Local Rcpt	\$34,459,505.62	\$ 37,645,229.84	\$35,206,806.00	\$ 35,499,873.64	\$ 34,310,993.00	
School Construction	\$ 170,309.00	\$ 170,309.00	\$ 170,309.00	\$ 170,309.00	\$ 170,309.00	
CHERRY SHEET	\$29,309,348.00	\$ 31,297,581.53	\$31,654,072.00	\$ 34,243,957.45	\$ 35,526,117.00	
TOTAL	\$63,939,162.62	\$ 69,113,120.37	\$67,031,187.00	\$ 69,914,140.09	\$ 70,007,419.00	

	PROJECTED RECAP FY20	
BUDGET		\$ 169,023,174.00
AMOUNT CERT FOR TAX TITLE	\$ -	
TOTAL CHERRY SHEET OFFSET	\$ 50,308.00	
SNOW & ICE DEFICIT	\$ -	
OTHER PR YR OVERLAY	\$ -	
OTHER DEFICITS	\$ -	
 TOTAL		 \$ 50,308.00
 CHERRY SHEET EST CHARGES		 \$ 9,590,692.00
OVERLAY		\$ 1,488,683.20
TOTAL APPROPRIATION		\$ 180,152,857.20
 CHERRY SHEET&SCH CONST	 \$ 35,696,426.00	
CHERRY SHEET SUPPLEMENTAL	\$ -	
CHERRY SHEET OVER EST		
TOTAL		\$ 35,696,426.00
 ESTIMATED RECPTS		
LOCAL	\$ 34,310,993.00	
OFFSET		
ENTERPRISE		
TOTAL		\$ 34,310,993.00
 REVENUE SOURCES FOR PURPOSE		
FREE CASH Snow and Ice	\$ -	
OTHER AVAILABLE FUNDS	\$ 53,850.00	
TOTAL		\$ 53,850.00
		Sale of Graves \$53,850
 OTHER REVENUE SOURCES TO REDUCE TAX RATE		
FREE CASH / Projected New Growth	\$ -	
OTHER - Excess Overlay	\$ 1,041,046.13	
 TOTAL		 \$ 1,041,046.13
TOTAL EST. RECPT & OTHER REVENUE		\$ 71,102,315.13

SUMMARY FY 20

SUMMARY OF TOTAL		
TOTAL TO BE RAISED	\$180,152,857.20	
TOTAL EST RCPT & OTHER	\$ 71,102,315.13	
TOTAL TAX LEVY	\$109,050,542.07	
TOTAL RECPT FROM ALL SOURCES		\$ 180,152,857.20

Current Levy

FY 20 TAX LEVY	\$109,050,542.07	
FY 19 TAX LEVY	<u>\$104,012,867.46</u>	
Increase in Tax Levy	<u>\$ 5,037,674.61</u>	4.84%

FY20 Levy Limit	\$144,113,359.29	\$138,028,167.11	FY 19 Levy Limit
FY20 Tax Levy	<u>\$109,050,542.07</u>	\$141,478,871.29	FY 20 Levy Limit @2.5%
Under/Over Limit	<u>\$ 35,062,817.22</u>	<u>\$ 2,634,488.00</u>	Projected New Growth
		\$144,113,359.29	FY20 Levy Limit

MassDOR - Massachusetts Department of Revenue
Division of Local Services
What If ... Scenario Worksheet for FY 2020

Marlborough - 170

CLASS	VALUE	%	R & O %
Residential	4,245,464,143	68.6746	R & O %
Open Space	0	0.0000	68.6746
Commercial	1,104,461,592	17.8557	
Industrial	555,452,644	8.9850	C I P %
Personal Property	276,625,140	4.4747	31.3254
Total	6,182,003,519	100.0000	

RESIDENTIAL EXEMPTION	
# of Eligible Parcels	0.000000
Res Parcel Count	0
Res Exemption %	0.0000
Total Res Value Net of Exemption	4,245,464,143

CLASSIFICATION OPTIONS

SMALL COMMERCIAL EXEMPTION	
# of Eligible Parcels	0
Total Value of Eligible Parcels	0
Comm Exemption %	0.0000
Total C & I Value Net of Exemption	1,659,914,236

ENTER A LEVY (ESTIMATED IF NECESSARY)

Levy	109,050,542
Single TaxRate	17.64

ENTER CIP SHIFT RANGE

Shift Range	1.00	1.50
Shift Increment %		1.00
Max Shift Allowed		1.50

Note: This table should be used for planning purposes only. Actual calculations may differ slightly due to rounding. For actual calculations, complete Recap.

CIP Shift	Res Factor	Res SP	OS SP	Comm SP	Ind SP	PP SP	Total SP	Levy Amounts					Estimated Tax Rates						
								Res LA	OS LA	Comm LA	Ind LA	PP LA	Total LA	Res ET	OS ET	Comm ET	Ind ET	PP ET	
								Share Percentages	Share Percentages	Share Percentages	Share Percentages	Share Percentages	Share Percentages	Share Percentages	Share Percentages	Share Percentages	Share Percentages	Share Percentages	
1.0000	1.0000	68.6746	0.0000	17.8657	8.9850	4.4747	100.0000	74,890,024	19,482,643	9,798,191	4,879,685	109,050,542	17.64	0.00	17.64	17.64	17.64	17.64	17.64
1.0100	0.9954	68.3513	0.0000	18.0444	9.0749	4.5184	100.0000	74,548,418	19,677,469	9,896,173	4,928,481	109,050,541	17.56	0.00	17.81	17.82	17.82	17.82	17.82
1.0200	0.9909	68.0481	0.0000	18.2230	9.1647	4.5642	100.0000	74,206,812	19,872,296	9,994,155	4,977,278	109,050,541	17.48	0.00	17.99	17.99	17.99	17.99	17.99
1.0300	0.9863	67.7348	0.0000	18.4017	9.2546	4.6089	100.0000	73,865,205	20,067,122	10,092,137	5,026,075	109,050,540	17.40	0.00	18.17	18.17	18.17	18.17	18.17
1.0400	0.9818	67.4216	0.0000	18.5803	9.3444	4.6537	100.0000	73,523,601	20,261,948	10,190,119	5,074,872	109,050,540	17.32	0.00	18.35	18.35	18.35	18.35	18.35
1.0500	0.9772	67.1083	0.0000	18.7590	9.4343	4.6984	100.0000	73,181,995	20,456,775	10,288,101	5,123,669	109,050,539	17.24	0.00	18.52	18.52	18.52	18.52	18.52
1.0600	0.9726	66.7951	0.0000	18.9376	9.5241	4.7432	100.0000	72,840,389	20,651,601	10,386,083	5,172,466	109,050,539	17.16	0.00	18.70	18.70	18.70	18.70	18.70
1.0700	0.9681	66.4818	0.0000	19.1163	9.6140	4.7879	100.0000	72,498,784	20,846,428	10,484,065	5,221,263	109,050,538	17.08	0.00	18.87	18.87	18.87	18.87	18.87
1.0800	0.9635	66.1686	0.0000	19.2950	9.7038	4.8327	100.0000	72,157,178	21,041,254	10,582,046	5,270,059	109,050,538	17.00	0.00	19.05	19.05	19.05	19.05	19.05
1.0900	0.9589	65.8553	0.0000	19.4736	9.7937	4.8774	100.0000	71,815,572	21,236,081	10,680,028	5,318,856	109,050,537	16.92	0.00	19.23	19.23	19.23	19.23	19.23
1.1000	0.9544	65.5421	0.0000	19.6523	9.8835	4.9222	100.0000	71,473,966	21,430,907	10,778,010	5,367,653	109,050,537	16.84	0.00	19.40	19.40	19.40	19.40	19.40
1.1100	0.9498	65.2288	0.0000	19.8309	9.9734	4.9669	100.0000	71,132,361	21,625,733	10,875,992	5,416,450	109,050,536	16.75	0.00	19.58	19.58	19.58	19.58	19.58
1.1200	0.9453	64.9155	0.0000	20.0096	10.0632	5.0117	100.0000	70,790,755	21,820,560	10,973,974	5,465,247	109,050,536	16.67	0.00	19.76	19.76	19.76	19.76	19.76
1.1300	0.9407	64.6023	0.0000	20.1882	10.1531	5.0564	100.0000	70,449,149	22,015,386	11,071,956	5,514,044	109,050,535	16.59	0.00	19.93	19.93	19.93	19.93	19.93
1.1400	0.9361	64.2890	0.0000	20.3669	10.2429	5.1012	100.0000	70,107,544	22,210,213	11,169,938	5,562,840	109,050,535	16.51	0.00	20.11	20.11	20.11	20.11	20.11
1.1500	0.9316	63.9758	0.0000	20.5456	10.3328	5.1459	100.0000	69,765,938	22,405,039	11,267,920	5,611,637	109,050,534	16.43	0.00	20.29	20.29	20.29	20.29	20.29
1.1600	0.9270	63.6625	0.0000	20.7242	10.4226	5.1907	100.0000	69,424,332	22,599,866	11,365,902	5,660,434	109,050,534	16.35	0.00	20.46	20.46	20.46	20.46	20.46
1.1700	0.9225	63.3493	0.0000	20.9029	10.5125	5.2354	100.0000	69,082,726	22,794,692	11,463,884	5,709,231	109,050,533	16.27	0.00	20.64	20.64	20.64	20.64	20.64
1.1800	0.9179	63.0360	0.0000	21.0815	10.6023	5.2801	100.0000	68,741,121	22,989,518	11,561,866	5,758,028	109,050,533	16.19	0.00	20.82	20.82	20.82	20.82	20.82
1.1900	0.9133	62.7228	0.0000	21.2602	10.6922	5.3249	100.0000	68,399,515	23,184,345	11,659,848	5,806,825	109,050,532	16.11	0.00	20.99	20.99	20.99	20.99	20.99
1.2000	0.9088	62.4095	0.0000	21.4388	10.7820	5.3696	100.0000	68,057,909	23,379,171	11,757,829	5,855,622	109,050,531	16.03	0.00	21.17	21.17	21.17	21.17	21.17
1.2100	0.9042	62.0963	0.0000	21.6175	10.8719	5.4144	100.0000	67,716,304	23,573,998	11,855,811	5,904,418	109,050,531	15.95	0.00	21.34	21.34	21.34	21.34	21.34
1.2200	0.8996	61.7830	0.0000	21.7962	10.9617	5.4591	100.0000	67,374,698	23,768,824	11,953,793	5,953,215	109,050,530	15.87	0.00	21.52	21.52	21.52	21.52	21.52
1.2300	0.8951	61.4697	0.0000	21.9748	11.0516	5.5039	100.0000	67,033,092	23,963,650	12,051,775	6,002,012	109,050,530	15.79	0.00	21.70	21.70	21.70	21.70	21.70
1.2400	0.8905	61.1565	0.0000	22.1535	11.1414	5.5486	100.0000	66,691,486	24,158,477	12,149,757	6,050,809	109,050,529	15.71	0.00	21.87	21.87	21.87	21.87	21.87
1.2500	0.8860	60.8432	0.0000	22.3321	11.2313	5.5934	100.0000	66,349,881	24,353,303	12,247,739	6,099,606	109,050,529	15.63	0.00	22.05	22.05	22.05	22.05	22.05
1.2600	0.8814	60.5300	0.0000	22.5108	11.3211	5.6381	100.0000	66,008,275	24,548,130	12,345,721	6,148,403	109,050,528	15.55	0.00	22.23	22.23	22.23	22.23	22.23
1.2700	0.8768	60.2167	0.0000	22.6894	11.4110	5.6829	100.0000	65,666,669	24,742,956	12,443,703	6,197,199	109,050,528	15.47	0.00	22.40	22.40	22.40	22.40	22.40
1.2800	0.8723	59.9035	0.0000	22.8681	11.5008	5.7276	100.0000	65,325,064	24,937,783	12,541,685	6,245,996	109,050,527	15.39	0.00	22.58	22.58	22.58	22.58	22.58
1.2900	0.8677	59.5902	0.0000	23.0468	11.5907	5.7724	100.0000	64,983,458	25,132,609	12,639,667	6,294,793	109,050,527	15.31	0.00	22.76	22.76	22.76	22.76	22.76
1.3000	0.8632	59.2770	0.0000	23.2254	11.6805	5.8171	100.0000	64,641,852	25,327,435	12,737,649	6,343,590	109,050,526	15.23	0.00	22.93	22.93	22.93	22.93	22.93
1.3100	0.8586	58.9637	0.0000	23.4041	11.7704	5.8619	100.0000	64,300,246	25,522,262	12,835,630	6,392,387	109,050,526	15.15	0.00	23.11	23.11	23.11	23.11	23.11
1.3200	0.8540	58.6505	0.0000	23.5827	11.8602	5.9066	100.0000	63,958,641	25,717,088	12,933,612	6,441,184	109,050,525	15.07	0.00	23.28	23.28	23.28	23.28	23.28
1.3300	0.8495	58.3372	0.0000	23.7614	11.9501	5.9514	100.0000	63,617,035	25,911,915	13,031,594	6,489,981	109,050,525	14.99	0.00	23.46	23.46	23.46	23.46	23.46
1.3400	0.8449	58.0239	0.0000	23.9400	12.0399	5.9961	100.0000	63,275,429	26,106,741	13,129,576	6,538,777	109,050,524	14.91	0.00	23.64	23.64	23.64	23.64	23.64
1.3500	0.8403	57.7107	0.0000	24.1187	12.1298	6.0408	100.0000	62,933,824	26,301,568	13,227,558	6,587,574	109,050,524	14.82	0.00	23.81	23.81	23.81	23.81	23.81
1.3600	0.8358	57.3974	0.0000	24.2974	12.2196	6.0856	100.0000	62,592,218	26,496,394	13,325,540	6,636,371	109,050,523	14.74	0.00	23.99	23.99	23.99	23.99	23.99
1.3700	0.8312	57.0842	0.0000	24.4760	12.3095	6.1303	100.0000	62,250,612	26,691,220	13,423,522	6,685,168	109,050,523	14.66	0.00	24.17	24.17	24.17	24.17	24.17
1.3800	0.8267	56.7709	0.0000	24.6547	12.3993	6.1751	100.0000	61,909,007	26,886,047	13,521,504	6,733,965	109,050,522	14.58	0.00	24.34	24.34	24.34	24.34	24.34
1.3900	0.8221	56.4577	0.0000	24.8333	12.4892	6.2198	100.0000	61,567,401	27,080,873	13,619,486	6,782,762	109,050,522	14.50	0.00	24.52	24.52	24.52	24.52	24.52
1.4000	0.8175	56.1444	0.0000	25.0120	12.5790	6.2646	100.0000	61,225,795	27,275,700	13,717,468	6,831,558	109,050,521	14.42	0.00	24.70	24.70	24.70	24.70	24.70
1.4100	0.8130	55.8312	0.0000	25.1906	12.6689	6.3093	100.0000	60,884,189	27,470,526	13,815,450	6,880,355	109,050,520	14.34	0.00	24.87	24.87	24.87	24.87	24.87
1.4200	0.8084	55.5179	0.0000	25.3693	12.7587	6.3541	100.0000	60,542,584	27,665,353	13,913,432	6,929,152	109,050,520	14.26	0.00	25.05	25.05	25.05	25.05	25.05
1.4300	0.8039	55.2047	0.0000	25.5480	12.8486	6.3988	100.0000	60,200,978	27,860,179	14,011,413	6,977,949	109,050,519	14.18	0.00	25.23	25.23	25.23	25.23	

Glossary of Key Terms for Tax Classification

Assessed Valuation: A value assigned to real estate or other property by a government as the basis for levying taxes. In Massachusetts, assessed valuation is based on the property's full and fair cash value as set by the Assessors. (See Full and Fair Cash Value)

Cherry Sheet: Named for the cherry colored paper on which they were originally printed, the Cherry Sheet is the official notification to cities, towns and regional school districts of the next fiscal year's state aid and assessments. The aid is in the form of distributions, which provide funds based on formulas and reimbursements that provide funds for costs incurred during a prior period for certain programs or services. Links to the Cherry Sheets are located on the DLS website at www.mass.gov/dls. (See Cherry Sheet Assessments, Estimated Receipts)

Cherry Sheet Assessments: Estimates of annual charges to cover the cost of certain state and county programs.

Cherry Sheet Offset Items: Local aid that may be spent without appropriation in the budget, but which must be spent for specific municipal and regional school district programs. Current offset items include racial equality grants, school lunch grants, and public libraries grants. (See Offset Receipts)

Classification of Real Property: Assessors are required to classify all real property according to use into one of four classes: residential, open space, commercial, and industrial. Having classified its real properties, local officials are permitted to determine locally, within limitations established by statute and the Commissioner of Revenue, what percentage of the tax burden is to be borne by each class of real

property and by personal property owners. (see Classification of the Tax Rate).

Classification of the Tax Rate: Each year, the selectmen or city council vote whether to exercise certain tax rate options. Those options include choosing a residential factor (MGL Ch. 40 §56), and determining whether to offer an open space discount, a residential exemption (Ch. 59, §5C), and/or a small commercial exemption (Ch. 59, §5I) to property owners.

Equalized Valuations (EQVs): The determination of the full and fair cash value of all property in the commonwealth that is subject to local taxation. EQVs have historically been used as variables in distributing certain state aid accounts and for determining county assessments and certain other costs. The Commissioner of Revenue, in accordance with M.G.L. Ch. 58 s 10C, is charged with the responsibility of bi-annually determining an equalized valuation for each town and city in the Commonwealth.

Estimated Receipts: A term that typically refers to anticipated local revenues listed on page three of the Tax Recapitulation Sheet. Projections of local revenues are often based on the previous year's receipts and represent funding sources necessary to support a community's annual budget. (See Local Receipts)

Excess Levy Capacity: The difference between the levy limit and the amount of real and personal property taxes actually levied in a given year. Annually, the board of selectmen or council must be informed of excess levying capacity and evidence of such acknowledgment must be submitted to DOR when setting the tax rate.

Glossary of Key Terms for Tax Classification

Exemptions: A discharge, established by statute, from the obligation to pay all or a portion of a property tax. The exemption is available to particular categories of property or persons upon the timely submission and approval of an application to the assessors. Properties exempt from taxation include hospitals, schools, houses of worship, and cultural institutions. Persons who may qualify for exemptions include disabled veterans, blind individuals, surviving spouses, and seniors.

Full and Fair Cash Value (FFCV): Fair cash value has been defined by the Massachusetts Supreme Judicial Court as "fair market value, which is the price an owner willing but not under compulsion to sell ought to receive from one willing but not under compulsion to buy. It means the highest price that a normal purchaser not under peculiar compulsion will pay at the time and cannot exceed the sum that the owner after reasonable effort could obtain for his property. A valuation limited to what the property is worth to the purchaser is not market value. The fair cash value is the value the property would have on January first of any taxable year in the hands of any owner, including the present owner." (Boston Gas Co. v. Assessors of Boston, 334 Mass. 549, 566 (1956))

Levy Ceiling: A levy ceiling is one of two types of levy (tax) restrictions imposed by MGL Ch. 59 §21C (Proposition 2½). It states that, in any year, the real and personal property taxes imposed may not exceed 2½ percent of the total full and fair cash value of all taxable property. Property taxes levied may exceed this limit only if the community passes a capital exclusion, a debt exclusion, or a special exclusion. (See Levy Limit)

Levy Limit: A levy limit is one of two types of levy (tax) restrictions imposed by MGL Ch. 59 §21C (Proposition 2½). It states that the real and personal property taxes imposed by a city or town may only grow each year by 2½ percent of the prior year's levy limit, plus new growth and any overrides or exclusions. The levy limit can exceed the levy ceiling only if the community passes a capital expenditure exclusion, debt exclusion, or special exclusion. (See Levy Ceiling)

Local Aid: Revenue allocated by the Commonwealth to cities, towns, and regional school districts. Estimates of local aid are transmitted to cities, towns, and districts annually by the "Cherry Sheets." Most Cherry Sheet aid programs are considered general fund revenues and may be spent for any purpose, subject to appropriation.

Local Receipts: Locally generated revenues, other than real and personal property taxes. Examples include motor vehicle excise, investment income, hotel/motel tax, fees, rentals, and charges. Annual estimates of local receipts are shown on the tax rate recapitulation sheet. (See Estimated Receipts)

Municipal Revenue Growth Factor (MRGF): An estimate of the percentage change in a municipality's revenue growth for a fiscal year. It represents the combined percentage increase in the following revenue components: automatic 2 1/2 percent increase in the levy limit, estimated new growth, the change in selected unrestricted state aid categories and the change in selected unrestricted local receipts.

New Growth: The additional tax revenue generated by new construction, renovations

Glossary of Key Terms for Tax Classification

and other increases in the property tax base during a calendar year. It does not include value increases caused by normal market forces or by revaluations. New growth is calculated by multiplying the assessed value associated with new construction, renovations and other increases by the prior year tax rate. The additional tax revenue is then incorporated into the calculation of the next year's levy limit.

Override: A vote by a community at an election to permanently increase the levy limit. An override vote may increase the levy limit no higher than the levy ceiling. The override question on the election ballot must state a purpose for the override and the dollar amount.

Overlay: (Overlay Reserve or Allowance for Abatements and Exemptions) An account established annually to fund anticipated property tax abatements, exemptions and uncollected taxes in that year. The overlay reserve need not be funded by the normal appropriation process, but rather is raised on the tax rate recapitulation sheet.

Overlay Deficit: A deficit that occurs when the amount of overlay raised in a given year is insufficient to cover abatements, statutory exemptions, and uncollected taxes for that year. Overlay deficits must be provided for in the next fiscal year.

Overlay Surplus: Any balance in the overlay account of a given year in excess of the amount remaining to be collected or abated can be transferred into this account. Within 10 days of a written request by the chief executive officer of a city or town, the assessors must provide a certification of the excess amount of overlay available to transfer. Overlay surplus may be

appropriated for any lawful purpose. At the end of each fiscal year, unused overlay surplus is "closed" to surplus revenue, i.e., it becomes a part of free cash.

Override Capacity: The difference between a community's levy ceiling and its levy limit. It is the maximum amount by which a community may override its levy limit.

Revaluation: The assessors of each community are responsible for developing a reasonable and realistic program to achieve the fair cash valuation of property in accordance with constitutional and statutory requirements. The nature and extent of that program will depend on the assessors' analysis and consideration of many factors, including, but not limited to, the status of the existing valuation system, the results of an in-depth sales ratio study, and the accuracy of existing property record information. Every five years, assessors must submit property values to the DOR for certification. Assessors must also maintain fair cash values in the years between certifications so that each taxpayer in the community pays his or her share of the cost of local government in proportion to the value of his property. Marlborough submitted its property values to DOR for certification in Fiscal Year 2019. The next revaluation will be in Fiscal Year 2024. (See Quinquennium Certification)

Tax Rate Recapitulation Sheet (Recap Sheet): A document submitted by a city or town to the DOR in order to set a property tax rate. The recap sheet shows all estimated revenues and actual appropriations that affect the property tax rate.

Quinquennium Certification: The Commissioner of Revenue, through the Bureau of Local Assessment, is required to

Glossary of Key Terms for Tax Classification

review local assessed values every three years and to certify that they represent full and fair cash value (FFCV). Refer to MGL Ch. 40 §56 and Ch. 59 §2A(c).

Valuation (100 Percent): The legal requirement that a community's assessed value on property must reflect its market, or full and fair cash value.



City of Marlborough
Office of the Mayor

140 Main Street
Marlborough, Massachusetts 01752
Tel. (508) 460-3770 Facsimile (508) 460-3698 TDD (508) 460-3610
www.marlborough-ma.gov

Arthur G. Vigeant
MAYOR

Nathan R. Boudreau
EXECUTIVE AIDE

Patricia Bernard
EXECUTIVE SECRETARY

November 26, 2019

City Council President Edward J. Clancy
Marlborough City Council
140 Main Street
Marlborough, MA 01752

Re: Grant Acceptance – Marlborough Police Department

Honorable President Clancy and Councilors:

I am pleased to submit for your acceptance a grant in the amount of \$200.00 for the Marlborough Police Department from the GFWC Marlborough Junior Woman's Club. These funds will be used by the Marlborough Police Department to offset the costs of running their R.A.D (Rape Aggression Defense) program. I would like to thank the GFWC Marlborough Junior Woman's Club, and their Treasurer, Councilor Katie Robey for their generosity.

Thank you for your consideration and please do not hesitate to contact me or Chief Giorgi with any questions.

Sincerely,

Arthur G. Vigeant
Mayor

Enclosures

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2019 NOV 26 P 2:12



City of Marlborough

Police Department

355 Bolton Street, Marlborough, Massachusetts 01752
Tel. (508)-485-1212 Fax (508)-624-6938

David A. Giorgi
Chief of Police

November 21, 2019

Mayor Arthur G. Vigeant
City Hall
140 Main Street
Marlborough, MA 01752

Dear Mayor Vigeant:

The Marlborough Police Department has received a \$200 gift donation from the GFWC Marlborough Junior Woman's Club. The department received a letter from the Club's Treasurer, Councilor Katie Robey, who reported that the Club had voted to donate \$200 to our department to offset the costs of running our R.A.D.(Rape Aggression Defense) program. Over the course of the last year, our officers have offered R.A.D. training to local high school-age women and will continue to broaden the outreach of this training to include as many community groups as possible.

I have attached a copy of the check mailed by the GFWC Marlborough Junior Woman's Club and well as the accompanying letter. I am requesting that the gift award be forwarded to the City Council for approval. Should you have any questions, please do not hesitate to call.

Sincerely,

David A. Giorgi
Chief of Police



Marlborough Junior Woman's Club
P.O. Box 934 Marlborough, MA 01752
Juniors United Towards a Better Community

Chief David Giorgi
Marlborough Police Department
355 Bolton Street
Marlborough, MA 01752

Dear Chief Giorgi,

At our November business meeting, GFWC Marlborough Junior Woman's Club voted to donate \$200 to the Police Department to be used to offset costs of running your upcoming R.A.D. (rape aggression defense system) Program.

Our clubmembers are happy to know this programing is being offered again and are proud to donate to its funding.

Sincerely,

Katie Robey
Treasurer
Check #4668

Living the Volunteer Spirit

**CITY OF MARLBOROUGH
NOTICE OF GRANT AWARD**

DEPARTMENT: Police DATE: November 21, 2019

PERSON RESPONSIBLE FOR GRANT EXPENDITURE: Chief David A. Giorgi

NAME OF GRANT: _____

GRANTOR: GFWC Marlborough Junior Woman's Club

GRANT AMOUNT: \$200.00

GRANT PERIOD: _____

SCOPE OF GRANT/
ITEMS FUNDED Donation to support department's Rape Agression Defense/R.A.D. program

IS A POSITION BEING
CREATED: N/A

IF YES: CAN FRINGE BENEFITS BE PAID FROM GRANT? _____

ARE MATCHING CITY
FUNDS REQUIRED? N/A

IF MATCHING IS NON-MONETARY (MAN HOURS, ETC.) PLEASE SPECIFY:
N/A

IF MATCHING IS MONETARY PLEASE GIVE ACCOUNT NUMBER AND DESCRIPTION OF CITY FUNDS
TO BE USED:
N/A

ANY OTHER EXPOSURE TO CITY?
N/A

IS THERE A DEADLINE FOR CITY COUNCIL APPROVAL: NO

**DEPARTMENT HEAD MUST SUBMIT THIS FORM, A COPY OF THE GRANT APPROVAL, AND A COVER
LETTER TO THE MAYOR'S OFFICE REQUESTING THAT THIS BE SUBMITTED TO CITY COUNCIL
FOR APPROVAL OF DEPARTMENT TO EXPEND THE FUNDS RECEIVED FOR THE PURPOSE OF THE GRANT**



City of Marlborough Office of the Mayor

140 Main Street
Marlborough, Massachusetts 01752
Tel. (508) 460-3770 TDD (508) 460-3610 email. Mayor@Marlborough-ma.gov
www.marlborough-ma.gov

Arthur G. Vigeant
MAYOR

Nathan R. Boudreau
EXECUTIVE AIDE

Patricia Bernard
EXECUTIVE SECRETARY

November 26, 2019

City Council President Edward J. Clancy
Marlborough City Council
140 Main Street
Marlborough, MA 01752

Re: Union Common Lease

Dear Council President Clancy and Councilors:

Enclosed please find a proposed authorization that will allow the City to enter into a three (3) year agreement with the First Church (Congregational) of Marlborough to lease a parcel of land situated in the City of Marlborough and known as the "Union Common". Said land is bounded by Main Street, Bolton Street and High Street, and the land of John P. Rowe and Mildred M. Rowe, now or formerly, and Herman Sanders and Amanda Sanders, now or formerly. This land will continue to be used as a public park.

This continues the traditional beneficial arrangement between the City and the First Church (Congregational) of Marlborough. As in prior agreements, there will be no cost to the City for the lease of the property.

Thank you and please let my office know if you have any questions or concerns.

Sincerely,

Arthur Vigeant
Mayor

Enclosures

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2019 NOV 26 P 2:12

ORDERED:

That pursuant to Section 14 of Chapter 40 of the General Laws, the Marlborough City Council hereby authorizes the Mayor to enter into a lease for a term of three (3) years for that parcel of land known as the "Union Common" shown as Assessors Map 70, Parcel 292, bounded by Main Street, Bolton Street, and High Street, and the land of John P. Rowe and Mildred M. Rowe, now or formerly, and Herman Sanders and Amanda Sanders, now or formerly, for the purposes of a public park.

ADOPTED

In City Council
Order No. 19-
Adopted

Approved by Mayor
Arthur G. Vigeant
Date:

A TRUE COPY
ATTEST:

LEASE

THIS LEASE, made as of this 1st day of January, 2020, by and between the CITY OF MARLBOROUGH, a municipal corporation with an address of 140 Main Street, Marlborough, MA 01752 ("LESSEE" or "City"), and the FIRST CHURCH IN MARLBOROUGH (CONGREGATIONAL), having a mailing address of 37 High Street, Marlborough, MA 01752 ("LESSOR") (collectively, the "parties").

WHEREAS, LESSOR is the owner of a certain parcel of real property identified as Map 70, Parcel 292 in the records of the Board of Assessors of the City of Marlborough with the parcel of land thereon known as the, "Union Common", bounded by Main Street, Bolton Street and High Street, and the land of John P. Rowe and Mildred M. Rowe, now or formerly, and Herman Sanders and Amanda Sanders, now or formerly, hereinafter referred to as the "Premises", said Premises shown on the map attached hereto as Exhibit "A", and,

WHEREAS, LESSEE seeks to continue to use the premises for the purposes of a public park; and

WHEREAS, LESSOR and LESSEE desire to enter into this Lease for the Premises;

NOW THEREFORE, in consideration of the mutual covenants contained herein and for other good and valuable consideration, the receipt whereof is hereby acknowledged, the parties hereto agree as follows:

1. TERM: The LESSEE shall have and to hold the Premises for a three (3) year term commencing on January 1, 2020 ("Commencement Date") and expiring at midnight on the December 31, 2022.
2. RENT: LESSEE agrees to pay as an annual rental a sum equal to the amount of taxes assessed on said land, which amount of taxes is zero and the amount of the LESSEE'S payment is therefore zero, in each year during the term of this lease.
3. LESSEE'S DUTIES.: LESSEE agrees to:
 - (a) Light the Premises;
 - (b) Take reasonable precautions to keep the Premises free from disorderly persons or conditions (including existing trees) which constitute a nuisance;
 - (c) Keep sidewalks abutting Premises clear of snow, and maintain fences in proper repair consistent with their existing condition as of the Commencement Date;
 - (d) Not to permit vehicles, except for maintenance and emergency vehicles, to be operated on the Premises;
 - (e) Not to permit maintenance, landscaping or other repair work to be performed on Sundays on the Premises, by LESSEE or its agents, employees, or independent contractors, unless express written consent of LESSOR is first obtained; and
 - (f) Not to permit smoking or use of any kind of tobacco products on the Premises.
4. USE: The Lessee shall use the Premises for public park purposes. If Lessee performs its

obligations herein, Lessee shall have the right to quiet enjoyment for use of the Premises.

(a) Lessor's Reserved Rights.

- (1) Lessor reserves to itself the right to maintain the existing sign located adjacent to the existing flagpole on the Premises. Notwithstanding anything to the contrary herein, Lessor shall be solely responsible for any use, maintenance, or liability arising from or relating to said sign.
- (2) Lessor may use a portion of the Premises from time to time upon notice to Lessee and consistent with Lessee's procedures for public use of the Premises.

5. ALTERATIONS AND IMPROVEMENTS: The LESSEE shall not make permanent changes or permanent additions to the Premises, without express written permission of LESSOR. At the conclusion of the term of this Lease, the Premises will be left by the Lessee in the same condition as at the beginning of the term, except for those permanent changes or additions consented to in writing by Lessor per this section.

6. ASSIGNMENT: The LESSEE or LESSOR shall not assign or sublet the whole or any part of the Premises without the other party's prior written consent.

7. INDEMNIFICATION AND LIABILITY: The LESSEE shall, to the extent permitted by law, indemnify and save harmless the LESSOR from any liability occasioned through Lessee's use of the Premises. Upon request, Lessee shall provide Lessor with evidence of any insurance.

8. TERMINATION FOR CONVENIENCE. Either party may terminate this lease by first giving ninety (90) days written notice to the other party.

9. DEFAULT: In the event that either party shall default in the observance or performance of any other of its covenants, agreements or obligations hereunder and such default shall not be corrected within ten (10) days after written notice thereof, then if either party shall default and fail to cure said default, the non-defaulting party, without being under any obligation to do so and without thereby waiving such default, may remedy such a default for the account at the expense of the defaulting party. If the non-defaulting party makes any expenditures or incurs any obligations for payment of money in connection therewith, including but not limited to, reasonable attorney's fees in instituting, prosecuting or defending any action or proceeding, such sums paid or obligations insured with interest at the rate of 12 % per annum and costs, shall be paid to the non-defaulting party by the defaulting party.

10. NOTICES: All notices required or permitted hereunder shall be in writing and shall be deemed duly served if (i) by hand with receipt of delivery; (ii) mailed by certified mail, return receipt requested, postage prepaid, or (iii) sent by reputable overnight courier which provides evidence of delivery, addressed, if to LESSOR, at 37 High Street, Marlborough, MA 01752, and if to LESSEE at the following addresses:

City of Marlborough
Attn: Mayor's Office
140 Main Street – Fourth Floor

Marlborough, MA. 01752

With a copy to: Legal Department at the same address.

11. AMENDMENTS: This Lease contains the entire agreement between the parties, and all negotiations, considerations, representations and understandings between the LESSOR and the LESSEE are incorporated herein and may be modified or altered only by agreement in writing between the LESSOR and the LESSEE.

12. PARAGRAPH HEADINGS: The paragraph headings throughout this Lease are for convenience only, and the words contained therein shall in no way be held to explain, modify, amplify or aid in the interpretation or construction of meaning of the provisions of this Lease.

13. INVALIDITY OF PARTICULAR PROVISIONS: If any term or provision of this Lease or the application thereof to any person or circumstance shall to any extent be invalid or unenforceable, the remainder of this Lease, or the application of such term or provision to persons or circumstances other than those as to which it is invalid or unenforceable, shall not be affected thereby, and each term and provision of this Lease shall be valid and shall be enforceable to the fullest extent permitted by law.

14. RIGHT OF FIRST REFUSAL: LESSOR may not sell or transfer the Premises, unless LESSOR has received a bona fide offer to purchase the Premises (whether solicited or not) and LESSOR provides LESSEE a right of first refusal to purchase the Premises as set forth in this section. LESSOR shall give LESSEE at least sixty (60) days' prior written notice of any proposed sale or transfer of the Premises. Such notice shall be accompanied by a copy of an executed, legally binding purchase agreement (the "Purchase Agreement") between LESSOR and the proposed purchaser setting forth the terms and conditions of such proposed sale. LESSEE shall have the right, but not the obligation, to purchase the Premises from LESSOR on the same terms as are described in the Purchase Agreement by notifying LESSOR, within sixty (60) days of the receipt of such notice, of its intention to purchase the Premises, and by executing and delivering to LESSOR a purchase contract for the purchase of the Premises on the same terms and conditions as the Purchase Agreement, except that the date for settlement of the purchase of the Premises shall be either the settlement date set forth in the Purchase Agreement or a date which is not less than one hundred and twenty (120) days from the date of LESSOR's notice to LESSEE of the Purchase Agreement, whichever is later. If LESSEE does not give timely notice of its intention to purchase the Premises or, having given such notice, does not purchase the Premises, LESSOR may then sell the Premises to the proposed purchaser named in the Purchase Agreement on the terms set forth in the Purchase Agreement. If LESSOR does not then sell and convey the Premises as provided for in the Purchase Agreement, any further transaction shall be deemed a new determination by LESSOR to sell and convey the Premises and the provisions of this section shall be applicable thereto. If LESSEE purchases the Premises pursuant to this section, this Lease shall terminate on the date title vests in Lessee. This right of first refusal shall remain in effect for the entire term of this Lease and shall be applicable to any sale of the Premises by the Lessor, its successors, or its assigns.

15. RECORDING: The parties agree that a Notice of Lease may be recorded with the Middlesex South Registry of Deeds, and each party shall execute any such notice upon request of the other party.

16. DCAM DISCLOSURE. LESSOR shall file a disclosure of beneficial interest in real property form as required by applicable laws of the Commonwealth, prior to execution of this Lease.

17. FORCE MAJEURE: Except with respect to the payment of monetary sums due from one party to the other, each party to this Lease shall be excused from performance of its other obligations hereunder for such period of time that such party is prevented from performing the same for causes beyond its reasonable control, such as acts of God, strikes, and the like (but financial inability shall never be deemed to be a cause beyond the reasonable control of such party), provided: (i) the party so delayed shall promptly notify the other of the reason for any such delay; and (ii) the party thus delayed shall complete performance of such obligations within a reasonable period of time after the cessation of the cause of such delay and with all due diligence.

18. GOVERNING LAWS: This Lease shall be governed exclusively by the provisions herein and by the laws of the Commonwealth of Massachusetts, as the same may from time to time exist.

IN WITNESS THEREOF, the said parties hereunto set their hands and seals on the date first written above.

FOR THE LESSOR:

FOR THE LESSEE:

By its Mayor:

Print:

Arthur G. Vigeant, Mayor, in his official capacity

Title: Chair of Trustees
Duly Authorized

CITY AUDITOR:

Diane Smith

COMPTROLLER:

Brian Doheny

CHIEF PROCUREMENT OFFICER:

Beverly J. Sleeper

APPROVED AS TO FORM:

 Jason D. Grossfield., City Solicitor OR
 Jason M. Piques, Asst. Solicitor

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss

On this ___ day of _____, 2019, before me, the undersigned notary public, personally appeared _____, _____ of the City of Marlborough, Massachusetts as aforesaid, known to me personally to be the person whose name is signed on the preceding document, and acknowledged to me that _____ signed it voluntarily on behalf of the City of Marlborough, Massachusetts, in his official capacity and not as an individual, for its stated purpose.

Notary Public:

My Commission Expires:

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss

On this ___ day of _____, 2019, before me, the undersigned notary public, personally appeared _____, _____ of the City of Marlborough, Massachusetts as aforesaid, known to me personally to be the person whose name is signed on the preceding document, and acknowledged to me that _____ signed it voluntarily on behalf of the City of Marlborough, Massachusetts, in his official capacity and not as an individual, for its stated purpose.

Notary Public:

My Commission Expires:

COMMONWEALTH OF MASSACHUSETTS

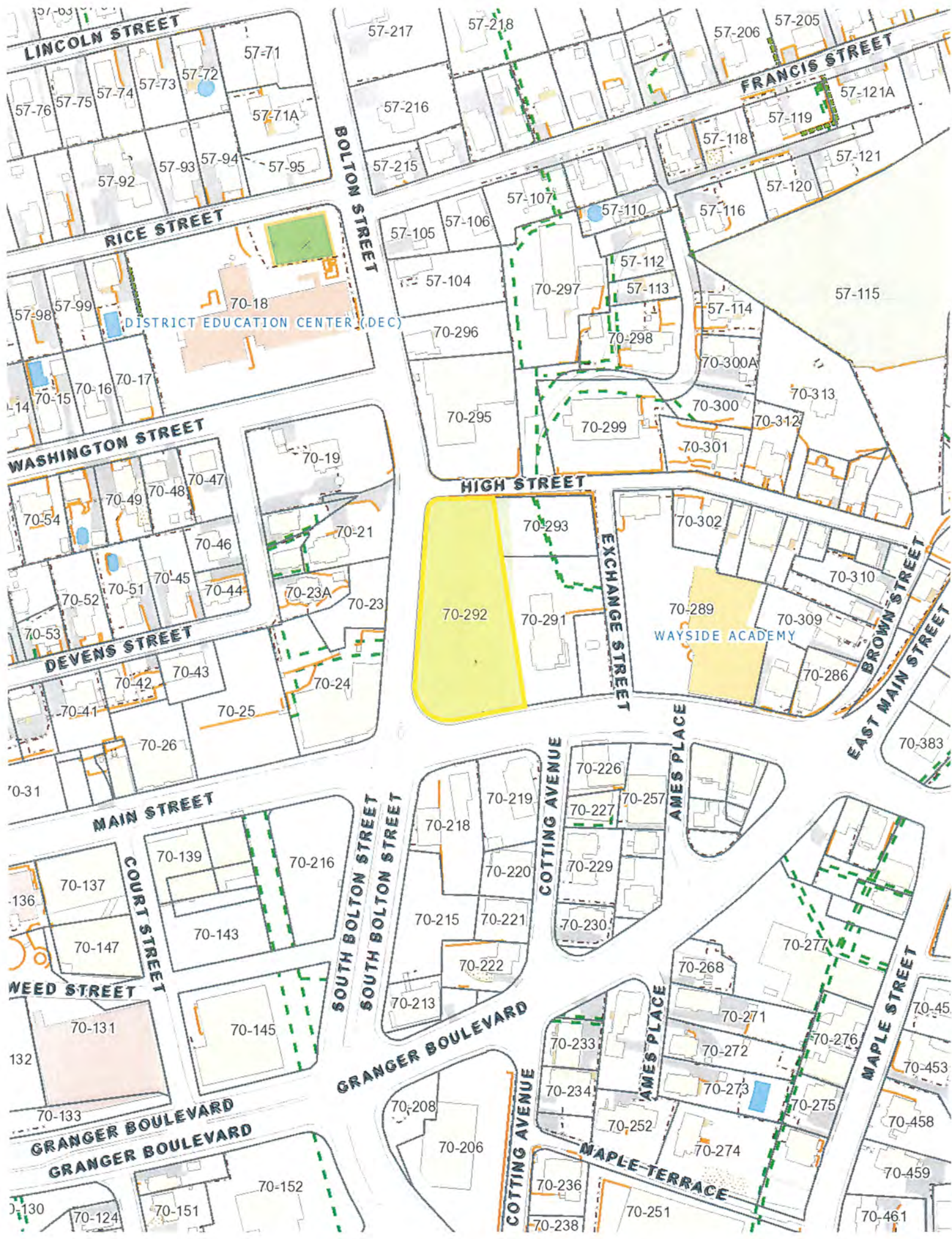
Middlesex, ss

On this ___ day of _____, 2019, before me, the undersigned notary public, personally appeared _____, _____ of the City of Marlborough, Massachusetts as aforesaid, known to me personally to be the person whose name is signed on the preceding document, and acknowledged to me that _____ signed it voluntarily on behalf of the City of Marlborough, Massachusetts, in his official capacity and not as an individual, for its stated purpose.

Notary Public:

My Commission Expires:

EXHIBIT "A"





City of Marlborough

Office of the City Clerk

140 Main Street
Marlborough, Massachusetts 01752
Telephone (508) 460-3775 Facsimile (508) 460-3723

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
Steven M. Kerrigan

2019 NOV 26 P 1:35
City Clerk

Wilson Chu
Assistant City Clerk

November 25, 2019

Marlborough City Council
Edward J. Clancy, President
140 Main Street
Marlborough, MA 01752

Re: Proposed Change in Polling Location (Ward 5)

Dear President Clancy and Councilors:

As we prepare for the 2020 elections, the City Clerk's Office have been evaluating the polling locations and trying to determine if any changes need to be made. We feel that due to the increase in voter participation the Senior Center has become too congested with the number of precincts that currently vote at this location. When the change was made in 2015 and the five (5) Precincts were moved to the Senior Center, we felt that keeping polling locations in municipal buildings and condensing them would be a viable solution for many years.

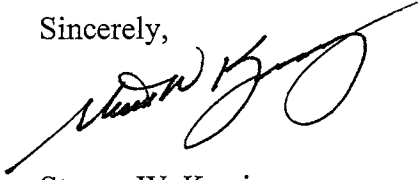
As we have seen a steady increase in the number of people coming out to vote, and after careful thought and deliberation I am recommending that both Precincts of Ward 5 be moved out of the Senior Center. I am requesting that the Council vote to move both Precincts of Ward 5 to the Masonic Lodge building located at 8 Newton Street. I have met with the Masonic Lodge, and as they are a community driven organization, they are very willing to allow us to utilize their building as the polling location for this Ward. This location is within the boundaries of Ward 5, is fully handicap accessible, and there is sufficient parking to handle the volume of voters.

MGL Chapter 54 §24 requires that we notify all registered voters that will be impacted by this change. If this change can be adopted by the Council prior to when the Municipal Census/Street Listing is sent, a letter will be inserted, altering the affected voters of the new voting location. It is also our intention to utilize the website as well as social media to get the word out regarding the change in location. It is our hope to begin using this location for the Presidential Primary which is scheduled to be held on March 3, 2020.

I am confident that this change will reduce the congestion at the Senior Center and still allow voters within Ward 5 a central and convenient location to cast their ballots.

I look forward to the opportunity to discuss this with the Council further, and do not hesitate to contact me with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Steven W. Kerrigan", written in a cursive style.

Steven W. Kerrigan
City Clerk

Enclosures

cc: Arthur G. Vigeant, Mayor
Jason D. Grossfield, City Solicitor

ORDERED:

That, due to the availability and suitability of a building located within the boundaries of Ward Five, namely the Masonic Lodge located at 8 Newton Street, to serve as an appropriate polling location for Ward Five, Precinct One and Precinct Two within the City of Marlborough, the City Council hereby determines, pursuant to MGL Chapter 54 §24, that the public convenience would be better served by relocating to the Masonic Lodge the polling places for the following precincts:

- Ward Five, Precinct One, the polling place for which is currently located in the Senior Center at 40 New Street.
- Ward Five, Precinct Two, the polling place for which is currently located in the Senior Center at 40 New Street.

ADOPTED
In City Council
Order No. 19-
Adopted

Approved by Mayor
Arthur G. Vigeant
Date:

A TRUE COPY
ATTEST:

Part I ADMINISTRATION OF THE GOVERNMENT**Title VIII** ELECTIONS**Chapter 54** ELECTIONS**Section 24** DESIGNATION OF POLLING PLACES

Section 24. The aldermen in cities, except where city charters provide otherwise, and the selectmen of towns divided into voting precincts, shall, twenty days at least before the biennial state or annual or biennial city election and ten days at least before any special election of a state or city officer therein, designate the polling place for each voting precinct and cause it to be suitably fitted up and prepared therefor. In a city or town which has provided voting booths such booths may be placed in the public ways of such city or town, provided said ways are left reasonably safe and convenient for public travel. It shall be in a public, orderly, and convenient portion of the precinct; provided, however that if the aldermen or selectmen determine that the public convenience would be better served, the aldermen may designate a polling place in an adjacent precinct of a city, and the selectmen may designate a polling place in another precinct of a town or may

house all polling places in a single building within the town. In any city or town, if the polling places for two or more precincts are located in the same building and the total number of registered voters in any such two or more precincts does not exceed three thousand, only one set of election officers need be appointed for such precincts, but separate ballot boxes and voting lists for each precinct shall be used. If, in a town of five precincts or less, all of which are located in one building, the selectmen so vote, only one warden need be appointed to supervise all such precincts, and the number of inspectors shall be determined by the selectmen, without disturbing the balance between the political parties. There shall, however, be one clerk appointed for each such precinct. Alcoholic beverages shall not be sold in any portion of a building which is designated as a polling place, during voting hours or while ballots are being counted therein. When the polling places have been designated in the city of Boston, the board of election commissioners of said city may post in such places as it may determine a printed description of the polling places designated and may give further notice thereof; and when the polling places have been designated in any other city or in any town, the aldermen of such city in at least five public places in each precinct thereof, and the selectmen of such town in at least three public places in each precinct thereof, shall forthwith post a printed description of the polling places designated and may give further notice thereof. When a polling place in a voting precinct is changed from one location to another, the board of election

commissioners in the city of Boston, the aldermen in any other city or the selectmen in any town shall cause printed descriptions of such polling place to be posted in such public places in such precinct as they determine and shall give notice by mail to each residence of one or more registered voters therein.



City of Marlborough Legal Department

140 MAIN STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610
LEGAL@MARLBOROUGH-MA.GOV

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2019 NOV 26 A 10:45
JASON D. GROSSFIELD
CITY SOLICITOR
JASON M. PIQUES
ASSISTANT CITY SOLICITOR
HEATHER H. GUTIERREZ
PARALEGAL

November 25, 2019

Edward J. Clancy, President
Marlborough City Council
City Hall
140 Main Street
Marlborough, MA 01752

Re: City Council Order No. 19-1007780: Special Permit Decision
121 Bolton Street, Marlborough

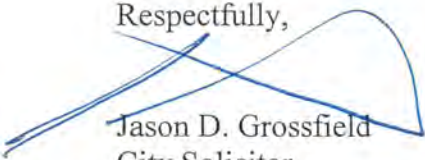
Dear Honorable President Clancy and Councilors:

In accordance with Chapter 650-59C (13) of the Marlborough Zoning Ordinance, I provide this letter as to the legal form of the City Council's proposed findings on the above-referenced special permit application submitted by One Energy, Inc. relating to 121 Bolton Street, Marlborough.

Enclosed is a copy of the proposed decision. I certify that it is in proper legal form.

Please contact me if you have any questions or concerns.

Respectfully,


Jason D. Grossfield
City Solicitor

Enclosures

cc: Arthur G. Vigeant, Mayor
Jeffrey Cooke, Building Commissioner
Brian Falk, Esq.

**NOTICE OF DECISION
GRANT OF SPECIAL PERMIT**

In City Council
Order No. # 19-1007780

Application of:
One Energy, Inc.

Locus:
121 Bolton Street, Marlborough, MA
Parcel 289 on Assessors Map 57

DECISION

The City Council of the City of Marlborough hereby **GRANTS** the Application of One Energy, Inc., with a mailing address of 420 Lakeside Drive, Marlborough, MA, as provided in the DECISION and subject to the Findings of Fact and Conditions contained therein.

Decision date: _____, 2019

The Decision of the City Council was filed in the Office of the City Clerk of the City of Marlborough on the [] day of [], 2019.

APPEALS

Appeals, if any shall be made pursuant to Massachusetts General Laws, Chapter 40A, Section 17 and shall be filed within twenty (20) days after the date of the filing of this Notice of Decision in the Office of the City Clerk of the City of Marlborough, MA.

A TRUE COPY
ATTEST:

City Clerk

ORDERED:

IN CITY COUNCIL

DECISION ON A SPECIAL PERMIT

Application of:
One Energy, Inc.

Locus:
121 Bolton Street, Marlborough, MA
Parcel 289 on Assessors Map 57

**DECISION ON A SPECIAL PERMIT
ORDER NO. 19-1007780**

The City Council of the City of Marlborough hereby GRANTS the Application for a Special Permit to One Energy, Inc. (the "Applicant") to alter a preexisting nonconforming gas station use at 121 Bolton Street to a gas station, convenience store, and restaurant/café use, as provided in this Decision and subject to the following Findings of Fact and Conditions.

FINDINGS OF FACT

1. The Applicant, One Energy, Inc., is a Massachusetts corporation with an address of 420 Lakeside Drive, Marlborough, MA 01752.
2. The Applicant is the prospective owner of the property located at 121 Bolton Street, Marlborough, Massachusetts, being shown as Parcel 289 on Assessors Map 57 (the "Site").
3. In accordance with Article V, Section 650-12.B, of the Zoning Ordinance of the City of Marlborough (the "Zoning Ordinance"), the Applicant proposes to alter a preexisting nonconforming gas station use at 121 Bolton Street to a gas station, convenience store, and restaurant/café (the "Use"). As shown on the Site Plan referenced in paragraph 5 below, the Use consists of five gas station pumps under a canopy, a building containing a convenience store and restaurant/café use, 24 parking spaces, and landscaped areas.
4. The Applicant, by and through its counsel, filed with City Clerk of the City of Marlborough an Application for a Special Permit ("Application") for the Use.
5. In connection with the Application, the Applicant submitted a certified list of abutters, filing fees, and a detailed site plan entitled "Zoom Mart Special Permit Site Plan" by

Ayoub Engineering, comprised of Sheets 0, 1, C-1, C-2, C-3, L-1, ER-1, TD-1, SG-1, SE-1, SD-1, SD-2, SD-2, SD-4, A1.0, A2.0, and A2.1, with the last revision date of November 8, 2019 (the "Site Plan"), attached hereto as "Attachment A."

6. The Application was certified by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, as having complied with Rule 4, items (a) through (m), of the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.

7. The Site is located in the Residence B Zoning District.

8. The Site has an area of 30,928 square feet +/- as shown on the Site Plan.

9. The Site's current gas station use is preexisting nonconforming, commencing prior to the adoption of the Marlborough Zoning Ordinance in 1956.

10. The Site is preexisting nonconforming with respect to lot coverage, having total impervious areas of 73.5% (the RB District has a maximum lot coverage of 30%). The Site Plan shows that the lot coverage associated with the Use would be 70.3%.

11. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.

12. The Marlborough City Council, pursuant to Massachusetts General Laws Chapter 40A, opened a public hearing on the Application on Monday, October 21, 2019. The hearing was closed on that date.

13. The Applicant, through its representatives, presented testimony at the public hearing detailing the Use, describing its impact upon municipal services, the neighborhood, and traffic.

14. At the public hearing, three members of the public spoke in favor of the Use, one member of the public submitted a letter in favor of the Use, and no members of the public spoke in opposition to the Use.

15. The Applicant provided a certificate of insurance demonstrating liability insurance to cover potential claims from neighboring property owners with respect to the underground fuel storage tanks at the Site.

**BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING
FINDINGS AND TAKES THE FOLLOWING ACTIONS**

A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.

B. The City Council finds that the alteration of the Site from a gas station to the proposed Use would not be substantially more detrimental to the neighborhood than the existing nonconforming use.

C. The City Council finds that the preexisting nonconforming gas station use has not been abandoned for a period of two years or more.

D. The City Council finds that the proposed Use is not enlarged to more than 25% of the floor and ground area of the preexisting nonconforming gas station use at the Site.

E. The City Council finds that the proposed Use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.

F. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby GRANTS the Applicant a Special Permit to alter the preexisting nonconforming gas station use at 121 Bolton Street to a gas station, convenience store, and restaurant/café as shown on the Site Plan filed, SUBJECT TO THE FOLLOWING CONDITIONS, which conditions shall be binding on the Applicant, its successors and/or assigns:

1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts, and shall be built according to the Site Plan as may be amended during Site Plan Review.

2. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review by the Site Plan Review Committee in accordance with the City of Marlborough Site Plan Review Ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications or amendments, as required during the process of Site Plan Review, shall be further conditions attached to the building permit, and no occupancy permit shall be issued until the Applicant has complied with all conditions. Subsequent Site Plan Review shall be consistent with the conditions of this Special Permit and the Site Plan submitted, reviewed and approved by the City Council as the Special Permit Granting Authority.

3. Modification of Plans. Notwithstanding conditions #1 and #2 above, the City Council or the Site Plan Review Committee may make engineering changes to the Plans, so long as said changes do not change the Use as approved herein, or materially increase the impervious area of the Use, reduce the green area, alter traffic flow, or increase the size of the building, all as shown on the Site Plan.

4. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.

5. Storm Water and Erosion Control Management. The Applicant, its successors and/or assigns, shall ensure that its site superintendent during construction of the project is competent in stormwater and erosion control management. This individual(s)' credentials shall be acceptable to the Engineering Division of the City's Department of Public Works and the City's Conservation Commission. This individual(s) shall be responsible for checking the Site before, during, and after storm events including weekends and evenings when storms are predicted. This individual(s) shall ensure that no untreated stormwater leaves the Site consistent with the State's and the City's stormwater regulations. This individual(s) shall ensure compliance with the approved sequence of construction plan and the approved erosion control plan. The Applicant, its successors and/or assigns, shall grant this individual(s) complete authority of the Site as it relates to stormwater and erosion controls.

6. Lighting. Exterior lighting at the Site shall be downward facing and shielded to minimize impacts on neighboring properties, with a lighting plan for the Site to be reviewed and further conditioned during the Site Plan Review process. Exterior lighting at the Site shall be shut off outside of business hours of operation of the Use, except for lighting necessary for security and emergency access.

7. Hours of Operation. The hours of operation of the Use shall not exceed 6:00 a.m. to 10:00 p.m.

8. Seating. The Use may not include any tables with seating for customers.

9. Trash Area. No trash pickup shall occur on Sundays. On Monday through Saturday, no trash pickup shall occur before 7:00 a.m. or after 6:00 p.m. The trash area shall be locked outside of business hours. The Applicant shall address the screening of the Site's trash area during the Site Plan Review process, provided that the trash area shall be concealed with concrete, cement, brick, or similar materials and landscaped to screen the trash area from neighboring properties.

10. Signs. The Site shall not contain more than one free-standing sign, substantially as shown on the Site Plan. This limitation shall not apply to on-premises directional and traffic safety signs. The Site's main free-standing sign and any other sign shall not be illuminated outside of business hours of operation of the Use.

11. Fencing. Prior to receiving a certificate of occupancy for the Use, the Applicant shall replace the perimeter fencing at the Site, substantially as shown on the Site Plan, and thereafter shall maintain the fencing in good repair. The perimeter fencing shall be six-foot white

vinyl with decorative lattice along the top and shall comply with the requirements of all applicable City Ordinances.

12. Food Sales. The Use may include the sale of prepackaged food items, fresh food, and food prepared on site, provided that any food preparation area used by employees shall not contain large ovens or occupy more than 10% of the building's floor area. The Use shall not include a food delivery service.

13. No Outdoor Sales. With the exception of fuel, no items for sale shall be located or displayed outside the building.

14. No Vehicle Sales or Service. There shall be no vehicle sales or vehicle repairs at the Site.

15. Diesel Fuel Sales. Diesel fuel sales at the Site shall be limited to cars, light-duty trucks, lawn care equipment, and portable fuel containers. There shall be no high-speed diesel fuel dispensers at the Site capable of fueling large trucks.

16. Exterior Audio. The Site shall not use exterior audio speakers except as may be required for security, emergencies, handicapped accessibility, or to comply with State or City legal requirements.

17. Liability Insurance for Fuel Storage Tanks. The Applicant shall at all times maintain liability insurance in an amount not less than \$5,000,000 to cover potential claims from neighboring property owners with respect to the underground fuel storage tanks located at the Site. Upon request of the City, the Applicant shall provide evidence of such insurance.

18. DEP Site Closure. Prior to receiving a certificate of occupancy for the Use, the Applicant shall provide the City with a copy of the Permanent Solution Statement submitted to the Department of Environmental Protection by the Site's licensed site professional. The Applicant shall comply with all orders of the Department of Environmental protection with respect to the Site.

19. Curb Cuts. The Site shall have three (3) curb cuts, with two (2) along Bolton Street and one (1) along State Street. The Applicant shall address the final design of the Site's curb cuts during the Site Plan Review process.

20. Recording of Decision. In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council's office, the Building Department, and the City Solicitor's office.

Yea: _____ - Nay: _____ - Absent: _____

ADOPTED
In City Council
Order No. 19-1007780

Adopted: _____ 2019

A TRUE COPY
ATTEST: _____ City Clerk

ZOOM MART

SITE IMPROVEMENT PLANS

121 BOLTON STREET
MARLBOROUGH, MA

PREPARED FOR:

ONE ENERGY, INC

420 LAKESIDE AVENUE
MARLBOROUGH, MA 01752

ASSESSORS MAP 57, PARCEL 289

PROSPECTIVE OWNER: ONE ENERGY, INC
420 LAKESIDE AVENUE, MARLBOROUGH, MA

PREPARED BY: AYOUB ENGINEERING, INC
414 BENEFIT ST. PAWTUCKET, RI

CIVIL ENGINEER: PAUL A. SYLVIA, PE

ARCHITECT: STEVE M. PEDRO, LEED AP

LANDSCAPE ARCHITECT: RICHARD DEFUSCO, RLA, LEED AP



LOCUS MAP

ZONING		
RESIDENCE B (RM)		
ASSESSOR'S MAP 57, PARCEL 289		
LAND USE: GASOLINE FILLING STATION METAL STORE		
REARACK:	REQUIRED:	PROPOSED:
FRONT	20'	25.4' (MART-STATE ST) 23.6' (GAMOFF-BOLTON ST)
SIDE	15'	15.1' (MART BUILDING)
MAX LOT AREA	8,000 S.F.	30,878 S.F.
MAX FRONTAGE	100'	349.6'
MAX LOT COVERAGE	30%	76.3%
BUILDING HEIGHT	2 1/2 STORIES	1 STORY
PARKING: 8' x 18'		
1,700 PUBLIC FLOOR SPACE: 2,400 S.F. OF PUBLIC FLOOR SPACE		
2,400 S.F./100 = 24		
TOTAL REQUIRED = 24 SPACES		
HANDICAP PARKING = 1 SPACE		
FRONT PARKING YARD SETBACK 15'		
SIDE PARKING YARD SETBACK 8'		
LANDSCAPING: SHRUBS/2 LINEAR FT OR 35% OF GRASSY AREA		
112	125	
TREE/40 LINEAR FT		
13	42	
*FORMALIZED OBTAINED FROM CITY OF MARLBOROUGH ZONING ORDINANCE		

ARCHITECTURAL & CIVIL PREPARED BY:

AYOUB

ENGINEERING

ENGINEERS & ARCHITECTS

414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

INDEX OF DRAWINGS

SHEET	TITLE	DATE	REVISED
0	COVER	06/27/19	08/14/19
CIVIL			
1	BOUNDARY & TOPOGRAPHIC SURVEY	12/05/18	12/05/18
C-1	SITE IMPROVEMENT PLAN	06/27/19	11/06/19
C-2	SITE GRADING PLAN	06/27/19	11/06/19
C-3	SITE UTILITY PLAN	06/27/19	11/06/19
L-1	SITE LANDSCAPE PLAN	06/27/19	11/06/19
ER-1	SOIL EROSION & SEDIMENT CONTROL PLAN	06/27/19	11/06/19
TD-1	TRUCK DELIVERY PATH	06/27/19	11/06/19
SG-1	PROPOSED SIGNAGE PLAN	06/27/19	11/06/19
SE-1	SITE ELEVATION	06/27/19	-
SD-1	SITE DETAIL SHEET	09/17/19	-
SD-2	SITE DETAIL SHEET	09/17/19	-
SD-3	SITE DETAIL SHEET	09/17/19	-
SD-4	SITE DETAIL SHEET	09/17/19	-
ARCHITECTURAL			
A1.0	FLOOR PLAN & WALL TYPES	11/08/19	-
A2.0	EXTERIOR ELEVATIONS	11/08/19	-
A2.1	EXTERIOR ELEVATIONS	11/08/19	-

SITE PLAN REVIEW COMMITTEE
REVIEW COMMITTEE SIGNATURE BLOCK

NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE

ZOOM MART

SITE IMPROVEMENT PLANS

121 BOLTON STREET
MARLBOROUGH, MA

PREPARED FOR:
ONE ENERGY, INC
420 LAKESIDE AVENUE
MARLBOROUGH, MA 01752

PREPARED BY:
AYOUB
ENGINEERING

ENGINEERS & ARCHITECTS

PROJECT NO. 0873.116
DATE: 06/27/19

REV.	DATE
1	09/16/19
2	10/17/19
3	11/06/19

LEGEND

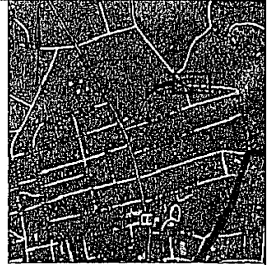
- 10' --- EXISTING CONTOUR
--- 5' --- EXISTING 5'00" ELEVATION
X 10' 10" EXISTING TOP OF CURB ELEVATION
X 10' 00" EXISTING OUTLET ELEVATION
X 10' 00" EXISTING TOP OF HULL ELEVATION
X 10' 00" EXISTING BOTTOM OF HULL ELEVATION
X 10' 00" EXISTING FINISHED FLOOR ELEVATION
WATER VALVE
GAS VALVE
ELECTRIC METER
OVERHEAD WIRE
APPROX. LOC. UNDERGROUND GAS LINE
APPROX. LOC. UNDERGROUND WATER LINE
APPROX. LOC. UNDERGROUND SEWER LINE
UTILITY POLE
UTILITY POLE/ELECTRIC POLE
DUTY WIRE
MONITORING WELL ON CONCRETE
AREA LIGHT
UN-BUILDING
DRAINAGE/STORM MANHOLE
WATER METER/STORM MANHOLE
MANHOLE TYPE UNKNOWN
CATCH BASIN ON LEVEL
DETECTABLE WALKWAY PAD
SOLID WHITE LINE
SOLID YELLOW LINE
DOUBLE YELLOW LINE
HEIGHT
BUILDING
BUILDING FOOTPRINT AREA
NO VISIBLE PIPE
NOT FIELD VERIFIED
TOP OF WATER
FALL OF WATER
ELEVATION
CAST IRON PIPE
DUCTILE IRON PIPE
CONCRETE DUCTILE IRON PIPE
VITRIFIED CLAY PIPE
REINFORCED CONCRETE PIPE
RAVINE ELEVATION
GRAVE ELEVATION
CHIMNEY FLOOR
REINFORCED CONCRETE
EDGE OF CONCRETE
EDGE OF PAVEMENT
EDGE OF GRAVEL
LANDSCAPED AREA
TYPICAL

STATE STREET

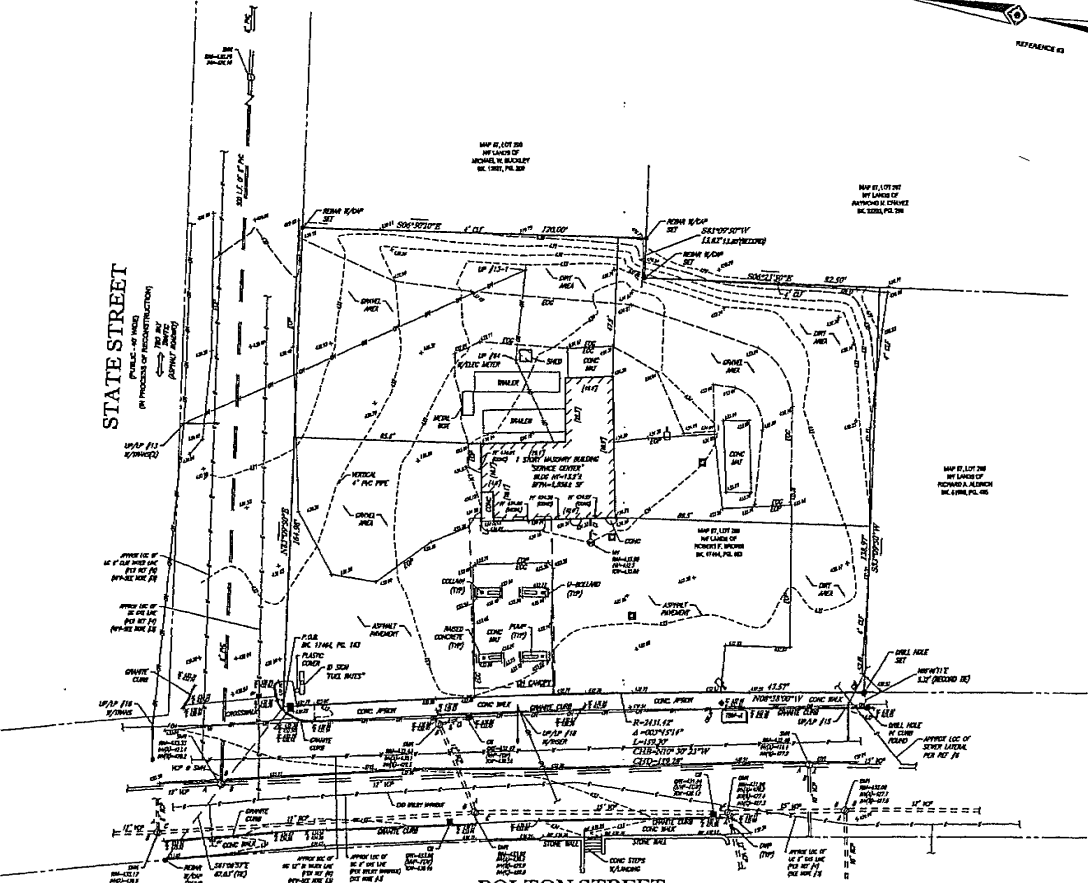
BOLTON STREET

(PUBLIC - 50' WIDE) (1860 COUNTY LAYOUT)

(PER REF #3) (SEE REF #2) (SEE REF #1)



LOCATION MAP OF THE WORLD STREET MAP



NOTES:

- 1. PROPERTY SHOWN AS LOT 29 AS SHOWN ON THE CITY OF MARLBOROUGH, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS TAL MAP NO. 87.
2. AREA - 30.00' SQUARE FEET OR 0.70 ACRES
3. LOCATION OF UNDERGROUND UTILITIES AND SEWER ARE BASED ON UTILITY LOCATIONS ABOVE GROUND STRUCTURES THAT WERE VISIBLY ACCESSIBLE BY THE FIELD AND THE MAPS AS LISTED IN THE REFERENCE AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE SUBJECT PLANS AND OTHER MANUSCRIPTS NOT BEING AVAILABLE OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE ANY EXCAVATION TO BE MADE. ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED TO THEIR LOCATION, SIZE AND TYPE BY THE PROPERTY UTILITY COMPANIES, CONTROL POINT ASSOCIATES, INC. DOES NOT WARRANT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED BY THE FIELD BY SERVICE POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREIN.
5. THIS SURVEY HAS BEEN PREPARED FOR THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE REVISIONS, CORRECTIONS AND EASEMENTS THAT MAY BE CONTAINED THEREIN.
6. IF GRADING IS PERMITTED ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE B (SHALLOW HARMS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN FOR 30' FEET).
7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VLS NETWORK DATUM POINTS.
TEMPORARY BENCH MARK SET:
BM 104 - 5'00" HIGHER SET IN CONCRETE APPROX ON EASTERN SIDE OF BOLTON STREET. ELEVATION = 42.48'
PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE DIMENSIONS ILLUSTRATED ON THIS SHEET HAVE NOT BEEN OBTAINED, AND THEIR EXISTENCE HAVE BEEN CONFIRMED. ANY CORRECTIONS MUST BE REPORTED PRIOR TO CONSTRUCTION.
8. THE UTILITIES SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, OR FURNISHMENT, ACCESS, ETC.
9. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, HAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
10. BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.
11. STATE STREET IS CURRENTLY IN THE PROCESS OF RECONSTRUCTION. FOR DETAILS CONTACT CITY OF MARLBOROUGH ENGINEERING OFFICE AT 504-444-0121 1208.

REFERENCES:

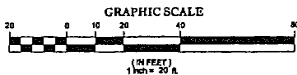
- 1. THE TAX ASSESSMENT MAP OF MARLBOROUGH, MIDDLESEX COUNTY, SHEET #11.
2. MAP ENTITLED 'NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS (ALL APPLICABLE) PANEL #41 OF MAP NUMBER 82034041F, MAP NUMBER 8-2-1-2011.
3. MAP ENTITLED 'PLAN OF LAND, BOLTON & STATE STREETS, MARLBOROUGH, MASS., PREPARED FOR ALLIANCE ENERGY CORPORATION, PREPARED BY COLBERT & MALONEY ENGINEERS & LAND SURVEYORS, DATED JANUARY 21, 2008. RECORDED WITH THE MIDDLESEX COUNTY REGISTER OF DEEDS AS PLAN # 114 OF 2008.
4. UNDERGROUND GAS FACILITY MAPPING PROVIDED BY RETNA.
5. MAP ENTITLED 'PLAN OF A PORTION OF BOLTON STREET, WARE, MASSACHUSETTS, AS ORDERED BY THE COUNTY COMMISSIONERS, PREPARED BY THE MIDDLESEX COUNTY ENGINEER, DATED APRIL 18, 1978, SHEETS 1 THROUGH 6 OF 8.
6. CITY OF MARLBOROUGH G.E.S. ONLINE RESOURCE.
7. MAP #158 SHOWING STATE STREET UNDERGROUND SANITARY SEWER INSTALLATION, DATED 1987, AVAILABLE AT THE CITY OF MARLBOROUGH ONLINE G.E.S. RESOURCE.
8. MAP #157 SHOWING BOLTON STREET UNDERGROUND SANITARY SEWER INSTALLATION, DATED 1987, AVAILABLE AT THE CITY OF MARLBOROUGH ONLINE G.E.S. RESOURCE.
9. MAP SHOWING UNDERGROUND STORM SEWER FACILITIES AVAILABLE AT THE CITY OF MARLBOROUGH G.E.S. ONLINE RESOURCE.
10. MAP ENTITLED 'RECONSTRUCTION OF VANDER STREET AND APPURTENANT WORK, STATE STREET CONSTRUCTION PLAN, SHEET #1, DATED MARCH 19, 2011. LAST REVISION APRIL 11, 2014. PROVIDED BY THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS.

UTILITY COMPANIES: THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-800-247-2728) AND REQUESTED TO MAKE UP UNDERGROUND FACILITIES AFFECTING AND BEING OPENED THIS SITE. THE INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. IT ISAL SOLELY RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE INFORMATION SHOWN HEREON.

UTILITY COMPANIES: VERION, NSTAR GAS, NATIONAL GRID ELECTRICAL SERVICES, CITY OF MARLBOROUGH ENGINEERING (CPW), FIDUCIAL ENERGY, 800-255-0001, 800-255-0002, 800-255-0003, 508-824-0118 123338.



THE COMMONWEALTH OF MASSACHUSETTS requires NOTIFICATION OF ANY CHANGES TO THIS PLAN THAT MAY AFFECT THE LOCATION, SIZE, OR DEPTH OF ANY UTILITY SHOWN HEREON. SUCH NOTIFICATION SHOULD BE MADE TO THE CITY OF MARLBOROUGH ENGINEERING OFFICE AT 504-444-0121 1208.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND OPINION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.
NOT A VALID ORIGINAL DOCUMENT UNLESS EMPLOYED WITH THESE DIMENSIONS OR STAMPED WITH A BLUE IMPRESSION.



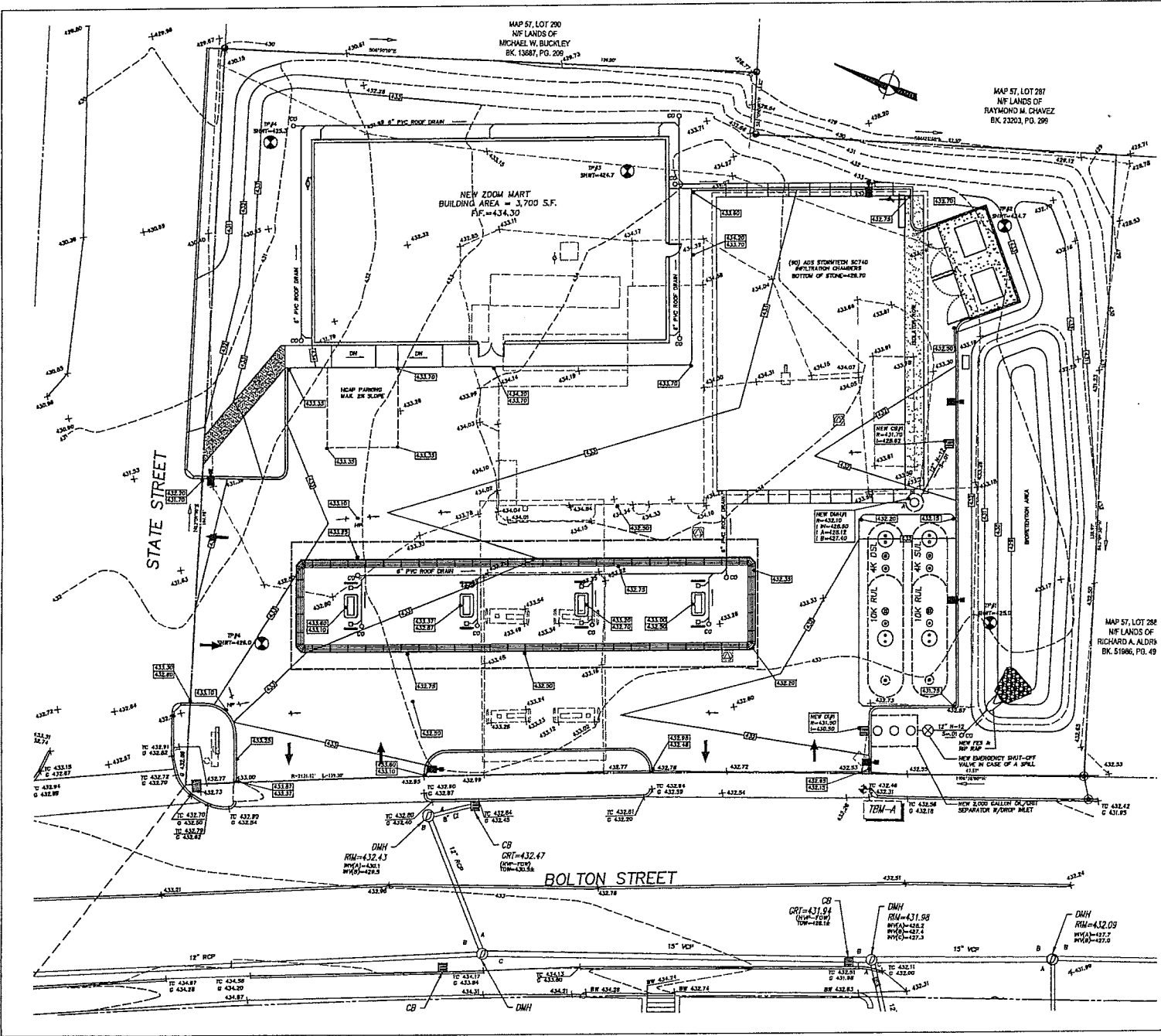
12-05-18 DATE

BOUNDARY & TOPOGRAPHIC SURVEY ONE ENERGY, INC.

121 BOLTON STREET MAP # 87, LOT 29W CITY OF MARLBOROUGH, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT ASSOCIATES, INC. 1217 DUNDAS ROAD SOUTH BRIMLEY, ONTARIO L6R 6K4

GERRY L. HOLDRIGHT, PLS MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #123456



REFERENCE:
 PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED: BOUNDARY & TOPOGRAPHIC SURVEY ONE ENERGY, INC. 121 BOLTON STREET MAP 57, LOT 288 CITY OF MARLBOROUGH, WORCESTER COUNTY COMMONWEALTH OF MASSACHUSETTS DATE: 12-05-18 SCALE: 1"=20' PREPARED BY: CONVIN, POHLL ASSOCIATES, INC. 351 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 PHONE: 508-454-0000



MAP 57, LOT 280
 N/F LANDS OF
 MICHAEL W. BUCKLEY
 BK. 13897, PG. 209

MAP 57, LOT 287
 N/F LANDS OF
 RAYMOND M. CHAVEZ
 BK. 23203, PG. 299

MAP 57, LOT 288
 N/F LANDS OF
 RICHARD A. ALDRIS
 BK. 51866, PG. 49



NO.	DATE	REVISIONS
1	10/01/19	AS NOTED
2	10/07/19	ADJUSTED SLOPE GRADIENTS AT ENTRANCE
3	10/08/19	UPDATED PER CITY REVIEW COMMENTS

AYOUB
 ENGINEERING

ENGINEER'S ADDRESS:
 616 BLACKBURN STREET
 FAYETTEVILLE, MISSISSIPPI 39201

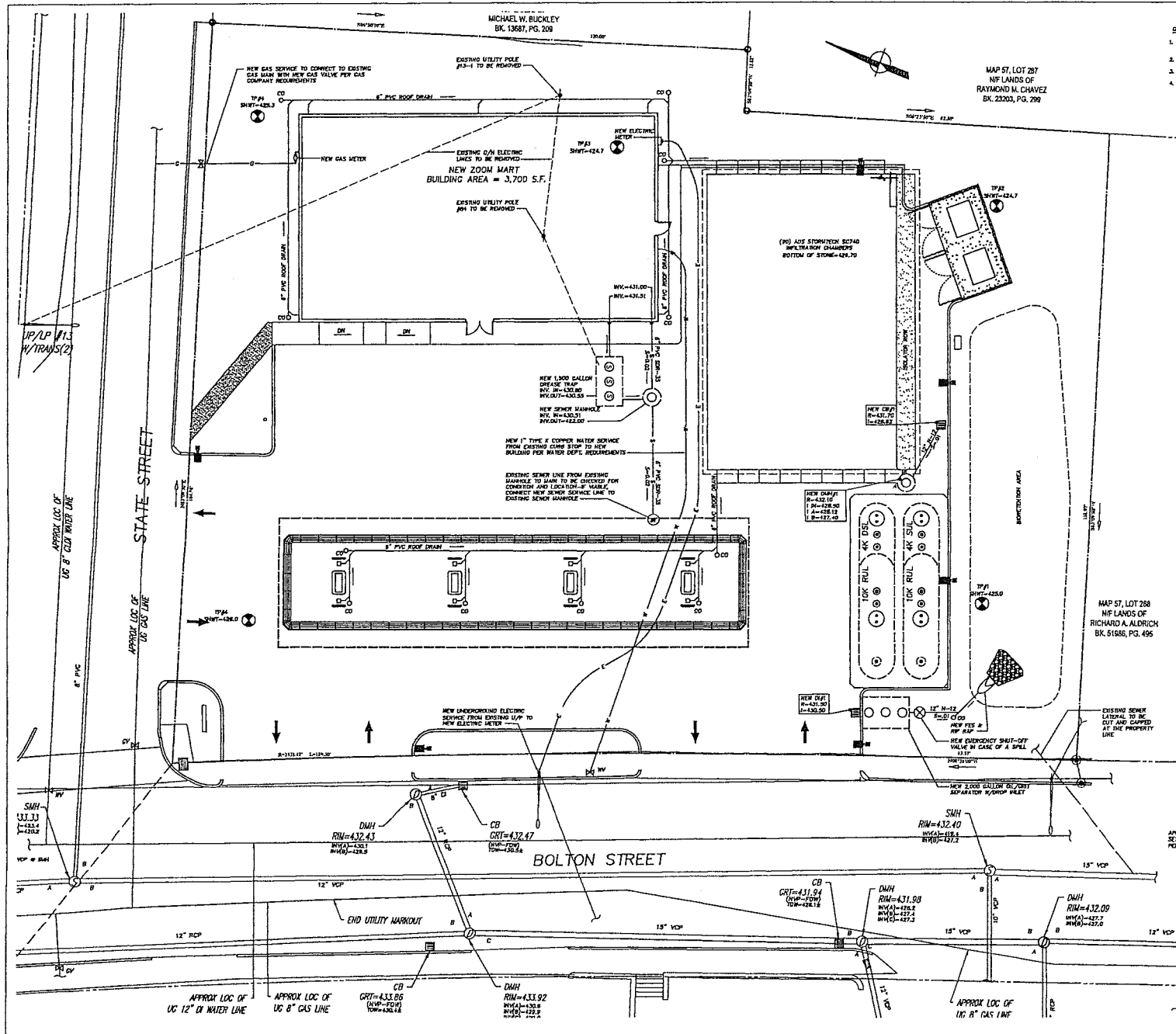
PREPARED FOR:
ONE ENERGY, INC
 420 LANESIDE AVENUE
 MARLBOROUGH, MA 01752

PROJECT ADDRESS:
 121 BOLTON STREET
 MARLBOROUGH, MA

SHEET DESCRIPTION:
 SITE GRADING PLAN

PROJECT NO. 0873.116
 SCALE 1"=10'
 DRAWN BY: RCD
 DATE: 06/27/19

SHEET NO.
C-2



- GENERAL NOTES**
1. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
 2. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
 3. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BEING BACKFILLED. THE CITY SHALL BE ADVISED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.
 4. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.

THIS DRAWING IS THE PROPERTY OF ONE ENERGY, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ONE ENERGY, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.



REV.	DATE	DESCRIPTION
1	11/15/23	ISSUED FOR PERMITTING
2	11/15/23	ISSUED FOR PERMITTING
3	11/15/23	ISSUED FOR PERMITTING
4	11/15/23	ISSUED FOR PERMITTING

AYOUB ENGINEERING
 ENGINEERING & ARCHITECTURE
 ADDRESS:
 616 BENNETT STREET
 PLYMOUTH, RHODE ISLAND 02861
 401-728-5533

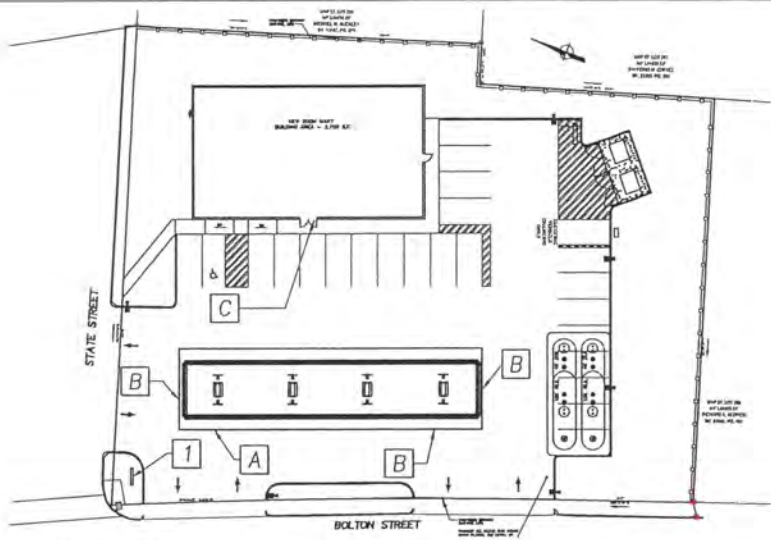
ONE ENERGY, INC.
 410 LAKEVIEW AVENUE
 MARLBOROUGH, MA 01752
 PROJECT ADDRESS:
 MARLBOROUGH, MA
 121 BOLTON STREET
 SHEET DESCRIPTION:
SITE UTILITY PLAN

REFERENCE:
 PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENROLLER BOUNDARY & TOPOGRAPHIC SURVEY ONE ENERGY, INC. 121 BOLTON STREET MAP 57, LOT 288 WEST OF MARLBOROUGH TOWNSHIPS EQUITY CLAMOR/HEALTH OF MASSACHUSETTS DATE 12-28-18 SCALE: 1"=40' PREPARED BY: CONTROL POINT ASSOCIATES, INC. ONE SHIMPSON ROAD SOUTHBOROUGH, MA 01772 PHONE: 508.648.3000



PROJECT NO. 062116
 SCALE: 1"=10'
 DRAWN BY: RCD
 DATE: 06/27/19

SHEET NO.
C-3



PROPOSED SITE PLAN

SCALE: 1"=20'

REFERENCE:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN DERIVED FROM AERIAL PHOTOGRAPHS AND SURVEY DATA.
BOUNDARY & TOPOGRAPHIC SURVEY ONE ENERGY, INC. 121 BOLTON STREET MAP 57, LOT 288 CITY OF MARLBOROUGH, WINDHAM COUNTY (DASHING) IN OF MASSACHUSETTS DATE 12-05-18 SCALE: 1"=20' PREPARED BY: CONTROL, PORT 8200010, INC. 303 SUMMIT ROAD SOUTHBOROUGH, MA 01772 PHONE: 508.848.3000



THE ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED FOR THIS PROJECT. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED FOR THIS PROJECT. THE ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED FOR THIS PROJECT. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED FOR THIS PROJECT.



NO.	DATE	REVISIONS
1	02/27/19	ISSUE FOR PERMIT
2	02/27/19	REVISIONS TO PERMIT COMMENTS



PROPOSED FRONT CANOPY ELEVATION

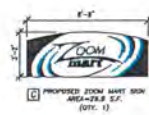
SCALE: 1/4"=1'-0"



PROPOSED SIDE CANOPY ELEVATION

SCALE: 1/4"=1'-0"

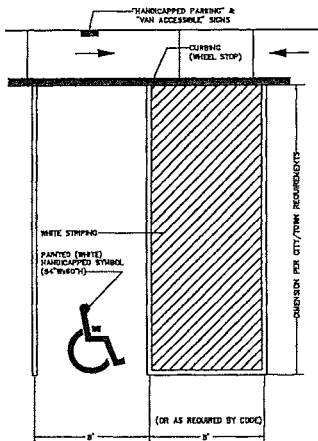
PROPOSED SIGN SCHEDULE								
MARK	DESCRIPTION	SIZE	AREA (SF)	QUAL.	SIZE (SF)	ILLUMINATION TYPE	REMARKS	TYPE
FREESTANDING SIGNS								
I	ID SIGN	4'-11" X 7'-0"	29.07	1	83.3	INT	NEW	FREESTANDING
			TOTAL PROPOSED FREESTANDING SIGNS: 83.3 S.F.					
WALL SIGNS								
A	OFFICIAL FUEL OF NASCAR	7'-10" X 0'-0"	8.1	1	8.1	INT	NEW	CANOPY
B	SUNOCO	11'-3" X 1'-8"	19.7	3	59.1	INT	NEW	CANOPY
C	ZOOM MART	3'-2" X 8'-8"	26.8	1	26.8	INT	NEW	WALL
			TOTAL PROPOSED WALL SIGNS: 92.1 S.F.					
			TOTAL PROPOSED SIGNAGE: 155.8 S.F.					



AYOUB ENGINEERING
ENGINEERS & ARCHITECTS
416 BRIMLEY STREET
PANTUCKETT, MASSACHUSETTS 02861
PHONE: 508.728.5533

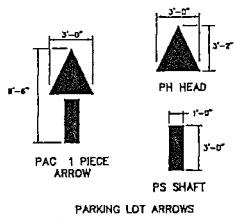
PREPARED FOR
ONE ENERGY, INC.
420 LANESIDE AVENUE SUITE 332
MARLBOROUGH, MA 01752
PROJECT ADDRESS
MARLBOROUGH, MA
121 BOLTON STREET
SHEET DESCRIPTION
SIGNAGE PLAN

PROJECT NO. 0873116
SCALE: AS NOTED
DRAWN BY: RCD
DATE: 02/27/19
SHEET NO. **SG-1**



TYPICAL HANDICAP PARKING STALL STRIPING
Not to Scale

NOTES:
 - REFER TO THE SITE PLAN (S-1) FOR SPECIFIC LOCATION AND CONFIGURATION. ADJUST FOR ANGLED PARKING.
 - CONTRACTOR IS TO FORM A MAXIMUM SLOPE OF 2% IN HANDICAPPED IN ALL PARKING AREAS.
 - THE MAXIMUM SLOPE ALLOWED FOR ANY PART OF A SIDEWALK OR ACCESSIBLE ROUTE IS 3%.
 - THE MAXIMUM CROSS SLOPE ALLOWED FOR ANY PART OF A SIDEWALK OR ACCESSIBLE ROUTE IS 2%.



PARKING LOT ARROWS
 NOTES:
 1. TYPES ALIGN CENTER
 2. SHEETS NOT STATE OR FEDERAL STANDARDS
 ALL PAYMENT PAINTING ARE TO BE WHITE.

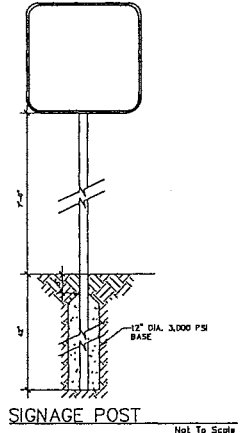
LISTED BELOW ARE THE RECOMMENDED PAINT MANUFACTURERS AND PRODUCTS:
 GILSON - "TRAFFIC ZONE PAINT"
 PITTSBURGH - "TRAFFIC ZONE MARKING PAINT"
 SHERWIN WILLIAMS - "PRO-SURF TRAFFIC MARKING PAINT"
 MAINTENANCE, INC. - "VIVA-STRIP"

THE PAVEMENT SURFACE SHOULD BE LAID OUT WITH CHALK MARKS FOR REQUIRED STRIPING SO THAT MARKINGS WILL BE ACCURATE AND IN KEEPING WITH POSITIONING AND DIMENSIONS SHOWN ON THE SITE PLAN. THE UNIFORM COAT OF PAINT SHOULD BE APPLIED BY BRUSH, ROLLER, OR SPRAY, AT A RATE OF NOT LESS THAN ONE GALLON PER 200 SQUARE FEET. ONE GALLON WILL YIELD FROM 300 TO 500 LINEAL FEET OF 4" WIDE STRIP.

PAINT SHOULD NOT BE APPLIED WHEN WEATHER IS RAINY, FOGGY, OR EXCESSIVELY WINDY (OVER 15 MPH RELATIVE HUMIDITY), AND NOT WHEN AMBIENT OR PAVEMENT TEMPERATURE IS BELOW 50 DEGREES FAHRENHEIT, AND NOT WHEN ABOVE CONDITIONS ARE ANTICIPATED FOR EIGHT HOURS AFTER APPLICATION.

PAVEMENT SHOULD NOT BE OPENED TO TRAFFIC UNTIL ALL PAINT IS ALLOWED TO CURE FOR AT LEAST 1 HOUR. (CONSULT MANUFACTURER FOR SPECIFIC DRYING TIMES)

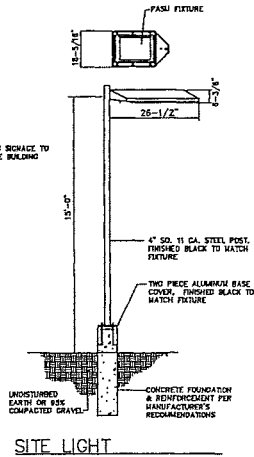
PAVEMENT PAINTING SPECIFICATION



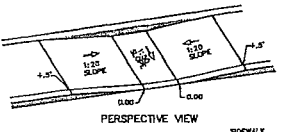
SIGNAGE POST
Not to Scale



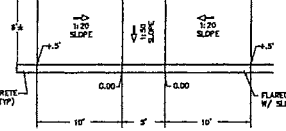
S2 HANDICAP SIGN
Not to Scale



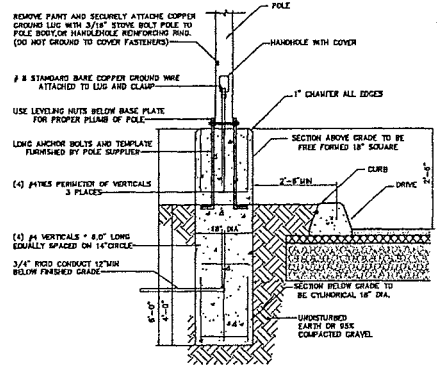
SITE LIGHT
Not to Scale



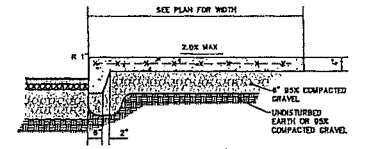
PERSPECTIVE VIEW



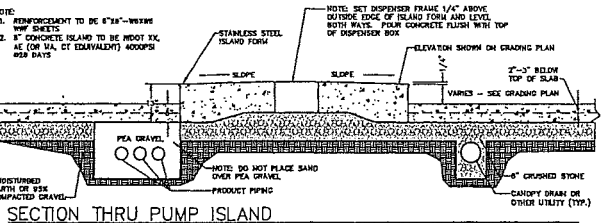
TYPICAL HANDICAP CURB RAMP
Not to Scale



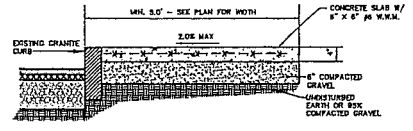
LIGHT POLE BASE
Not to Scale



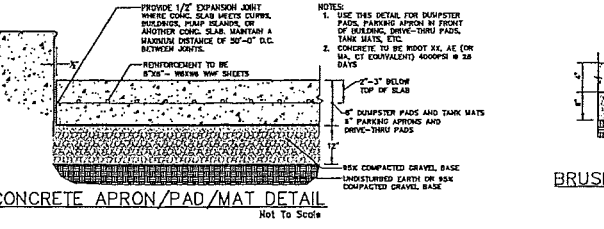
CONCRETE SIDEWALK W/ INTEGRAL CURB
Not to Scale



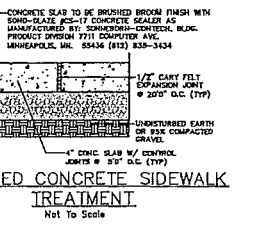
SECTION THRU PUMP ISLAND
Not to Scale



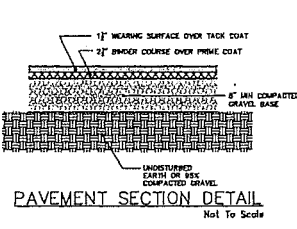
CONCRETE SIDEWALK REPLACEMENT DETAIL
Not to Scale



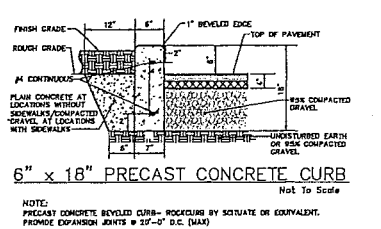
CONCRETE APRON/PAD/MAT DETAIL
Not to Scale



BRUSHED CONCRETE SIDEWALK TREATMENT
Not to Scale



PAVEMENT SECTION DETAIL
Not to Scale



6\"/>

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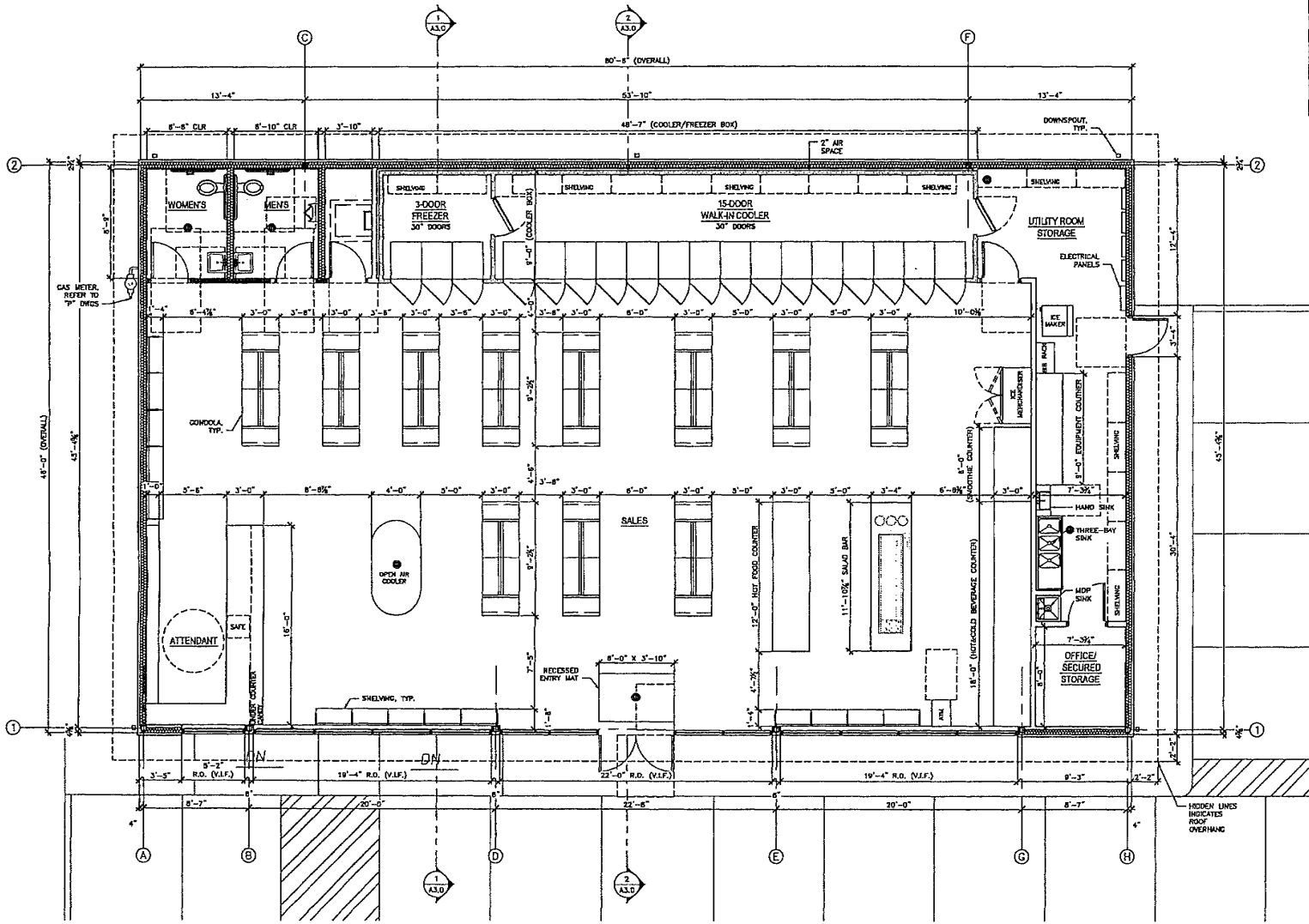
NO.	REVISIONS	DESCRIPTION	DATE

AYOUB
 ENGINEERING
 REGISTERED PROFESSIONAL ENGINEER
 ADDRESS:
 614 GLENN STREET
 PANTUCKET, RHODE ISLAND 02861
 401-728-5533

ONE ENERGY, INC.
 420 LAKEVIEW AVENUE
 HARBOROUGH, MA 01532
 PREPARED FOR:
SEASONS CORNER MARKET
 12 BELDON ST., HARBOUROUGH, MA
 SHEET DESCRIPTION
SITE DETAIL SHEET

PROJECT NO. 072116
 SCALE AS NOTED
 DRAWN BY JK
 DATE 01/10

SHEET NO.
SD-1



1. THIS FLOOR PLAN IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REPRODUCTION OR TRANSMISSION OF THIS FLOOR PLAN WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY, INCLUDING THE USER'S, ARISING FROM THE USE OF THIS FLOOR PLAN, WHETHER OR NOT SUCH DAMAGE OR INJURY IS CAUSED BY A DESIGN ERROR OR OMISSION OF THE ARCHITECT.

1 FLOOR PLAN
A1.0 SCALE: 1/4" = 1'-0"

- WALL ASSEMBLIES:**
- STUD WALL ASSEMBLY, SEE WALL TYPES
 - INSULATED STUD WALL ASSEMBLY, SEE WALL TYPES
 - COOLER/FREEZER WALL ASSEMBLY, BY OWNER

PROJECT LOCATION	MARLBOROUGH, MA 121 BOLTON STREET
SHEET DESCRIPTION	FLOOR PLAN
PROJECT NO.	08-2-119
SCALE	AS NOTED
DRAWN BY	LV
DATE	11/08/09
DRAWING NUMBER	A1.0
DESIGNED BY	AYOUB ENGINEERING
DATE	
REVISIONS	

PREPARED BY: **AYOUB ENGINEERING**
ENGINEERS & ARCHITECTS
100 NORTH ST., SUITE 200
MARLBOROUGH, MA 01752

MEMBER FOR: **ONE ENERGY, INC.**
424 LAKESIDE AVENUE, SUITE 302
MARLBOROUGH, MA 01752



City of Marlborough Legal Department

140 MAIN STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610
LEGAL@MARLBOROUGH-MA.GOV

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2019 NOV 26 A 10 45
JASON D. GROSSFIELD
CITY SOLICITOR
JASON M. PIQUES
ASSISTANT CITY SOLICITOR
HEATHER H. GUTIERREZ
PARALEGAL

November 25, 2019

Edward J. Clancy, President
Marlborough City Council
City Hall
140 Main Street
Marlborough, MA 01752

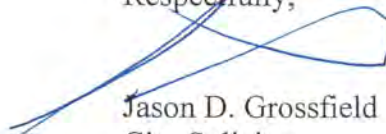
Re: City Council Order No. 19-1007763 – Site Plan Approval
“Green District”, 107 Simarano Drive, Marlborough

Dear Honorable President Clancy and Councilors:

Enclosed is a proposed order, in proper legal form, for approval of site plan with conditions in relation to the above-referenced project.

Please contact me if you have any questions or concerns.

Respectfully,



Jason D. Grossfield
City Solicitor

Enclosures

cc: Arthur G. Vigeant, Mayor
Jeffrey Cooke, Building Commissioner
Brian Falk, Esq.

ORDERED:

That the City Council of the City of Marlborough does hereby approve the Site Plan Permit (attached hereto), which sets forth an Approval with conditions of the site plans submitted by Post Road Realty LLC, to construct a two-phase 475-unit multifamily dwelling residential project at 107 Simarano Drive, Marlborough.

ADOPTED
In City Council
Order No. 19-

Approved by Mayor
Arthur G. Vigeant
Date:

A TRUE COPY
ATTEST:

City Clerk

Site Plan Permit # _____

Order No. # 19-1007763

Site Plan Approval with Conditions

Applicant: Post Road Realty LLC (including its successors and assigns)

Property Owner: BP Crane Meadow, LLC

Location: 107 Simarano Drive (the “Site”) being shown as Parcels 5, 11, and 12 on Assessors Map 116.

Zoning District: Executive Residential Overlay District / Industrial and Limited Industrial (underlying districts)

Plans and Reports: The following Site Plan Approval Final Conditions are based on:

1. A set of plans entitled “Green District Special Permit and Site Plan Approval” by Hancock Associates, comprised of Sheets 1 through 32, with the last revision date of November 12, 2019 (the “Site Plan”);
2. A set of architectural plans entitled “Green District” by Bargmann Hendrie + Archetype, Inc., comprised of Sheets A100, A101, A102, A200, A201, A202, and A300, with the last revision date of November 12, 2019 (the “Architectural Plans”);
3. A set of landscaping plans entitled “Green District” by Eric Rains Landscape Architecture, LLC, comprised of Sheets SPL-1.0, SPL-1.1, SPL-2.0, SPL-2.1, SPL-3.0, and SPL-3.1, with the last revision date of November 12, 2019 (the “Landscape Plans”); and
4. A report entitled “Traffic Impact and Access Study” by Ron Müller & Associates dated August 14, 2019 (the “TIAS”).

Project: Two ERO Phases in the Executive Residential Overlay District: “Site 1” shown on the Site Plan, consisting of a 235-unit multifamily dwelling, and “Site 2”, consisting of a 240-unit multifamily dwelling (phasing plan provided on Sheet 3 of the Site Plan).

Other Permits: Special Permit issued by the City Council dated _____, 2019, authorizing a two-phase 475-unit multifamily dwelling residential project at the Site.

SITE PLAN APPROVAL FINAL CONDITIONS:

A. Site Conformance:

1. Construction of the Site shall be in conformance with the approved Site Plan,

Architectural Plans, and Landscape Plans, the provisions of Chapter 270 of the Code of the City of Marlborough, and the conditions stated herein.

2. All construction on the Site shall conform to the appropriate National, State and City of Marlborough codes and regulations in force for each respective discipline and be in accordance with the approved plans and permits. Codes and regulations shall include but are not limited to State Building, Plumbing, Wiring, NFPA, Zoning, DPW utility and roads, Noise and Signs.

B. Construction Staging and Safety Plan:

1. The Applicant shall complete the project in accordance with a Construction Staging and Safety Plan (the “Construction Plan”) to be approved by the Building Commissioner, Fire Chief, Police Chief, and City Engineer.
2. The Construction Plan shall provide detailed information concerning: (i) any areas of the Site and adjacent property that will be marked off for the staging of construction vehicles, etc.; (ii) traffic management, detour routes if necessary, construction signage, pedestrian protection, blocked sidewalks, streets, etc.; (iii) construction fencing to enclose material and equipment; (iv) fencing and/or barricades to provide limits within the construction site for the separation of construction, pedestrian and vehicular traffic; and (v) a detailed plan to maintain emergency access to the Stonegate Residential Community through the Site at all times.

C. Green Building and Site Design:

The Applicant shall include the following green design elements at the Site:

- a. Electric vehicle charging stations;
- b. Nest (or similar) learning smart thermostats;
- c. Dedicated open space with nature trail and wetland habitat improvements;
- d. Secure bike storage and repair room within the buildings;
- e. Free bike share program;
- f. Dedicated ride share drop-off locations;
- g. Resident composting and recycling program;
- h. Smoke free community;
- i. Full LED lighting throughout the Site;
- j. Oversized unit windows for maximum natural light;
- k. Low flow plumbing fixtures;
- l. Dual flush toilets;
- m. Energy Star (or similar rating) appliances;
- n. Low VOC carpet and paints;
- o. Panelized framing construction to limit waste;
- p. Rooftop and carport solar panels;

- q. Building lighting on occupancy sensors; and
- r. Solar cell-controlled site lighting.

D. Construction:

1. Preconstruction Meeting: Prior to the commencement of construction, a preconstruction meeting shall be held on-site with the Building Commissioner, City Engineer, Conservation Officer, Fire Chief, Police Chief, and the general contractor responsible for the project. At this meeting said City officials will review the plans and conditions, exchange contact information including emergency contact numbers, and inspect erosion controls.
2. Use of Ways During Construction: Consistent with the Construction Plan, all areas for construction staging and offloading of building materials, as well as any excavations, long-term construction scaffolding, or other obstructions, shall be coordinated to maximize public safety and to minimize interference with the customary use of public ways by vehicles and pedestrians. Permits are required for any public street or sidewalk excavations or obstructions. The Police Chief shall have the discretion and authority to require additional protection and/or details as needed. The Applicant shall pay to the City the cost for every police detail which is provided by the Marlborough Police Department for the project.
3. OSHA: All Contractors shall abide by OSHA regulations as appropriate, including but not limited to OSHA-29 CFR, Section 1926.
4. Safety Official: The Applicant or its site contractor shall have on the Site at all times during construction a qualified Construction Safety Official. Prior to the commencement of construction, Applicant shall provide to the Building Commissioner the name and contact information of said Construction Safety Official.
5. Hours of Operation: In accordance with Section 431-3B. of the Code of the City of Marlborough, excavation machinery may be operated only during the normal workweek, from Monday through Saturday, except holidays, between the hours of 7:00 a.m. to 7:00 p.m., except Sunday when all use is prohibited except with variance by the Board of Health or as emergency work.

E. Storm Water and Erosion Control:

1. Erosion Control Expert: The Applicant shall hire an independent Erosion Control Expert to oversee work at the Site, with a proven record of controlling sites of equal size and equal material type. The erosion control expert shall be hired prior to construction and shall be an integral part of the preconstruction meeting.
2. Erosion and Sedimentation Control Plan: Construction shall proceed according to the Erosion and Sedimentation Control Plan set forth on Sheets 20 through 23 of

the Site Plan. Exposed areas on the site will be minimized and exposed areas stabilized as quickly as possible temporarily or permanently to ensure that the silt and sediment remain on site during and after construction.

3. NPDES: Since the project involves the disturbance of more than one acre of land area, the Applicant shall submit a Notice of Intent to the EPA for coverage under the NPDES Construction General Permit per EPA's requirements. Proof of submittal shall be provided at the preconstruction meeting noted above.
4. Catch Basins: All catch basins shall be equipped with gas/oil hoods and 4-foot sumps.
5. Protection of Roadways: Stone construction entrance pads and/or a truck washing station shall be in place at the exits onto the main roadways to prevent the tracking of mud and silt into the public roadway. Dust shall also be controlled on this site at all times. If dirt is tracked onto the roadway it shall be cleaned up immediately. A street sweeper shall be readily available.
6. The Erosion Control Expert shall be consulted when there is any discussion about or deviation to the overall plan and the erosion control plan to ensure that there is proper coordination with the site development and the erosion control and Stormwater management at all times.
7. The Erosion Control Expert shall be responsible for regular inspections of the erosion controls on at least a weekly basis and prior to and immediately after (within 12 hours) each storm event of 0.5 inches or more. Necessary repairs and maintenance of the erosion control devices shall be made expeditiously. These inspections shall be described in the reports required in the condition below.
8. The Erosion Control Expert shall report (by e-mail) to the Conservation Officer and City Engineer weekly, during construction, summarizing the work that has been completed, compliance of the project with the Site Plan and the status of the erosion controls. It will also include his/her recommendations on actions needed and report compliance with recommendations. Failure on the part of the Applicant to implement the recommendations made by the Erosion Control Expert will be a violation of the terms and conditions of this permit. The weekly reports shall begin as soon as the work begins on the Site. As construction progresses the reporting may be reduced at the discretion of the City Engineer and Conservation Officer.
9. The Applicant shall be responsible for notifying the Conservation Officer and City Engineer in an expeditious manner if any visible siltation enters the drainage system or leaves the site. Immediate measures shall be taken to control the siltation source and to restore any impacted areas.

10. All large stockpiles must be maintained in a stabilized condition with erosion control in place and approved by the Conservation Officer. Earth material stockpiles shall not be allowed immediately adjacent to perimeter siltation barriers or drain inlets. Long term stockpiles over 30 days will be shaped, stabilized and circled with erosion controls. The Erosion Control Expert shall be consulted to ensure that the stockpile locations are not interfering with drainage or erosion control during construction. The City Council understands that the site will shift and change during construction, but the erosion control expert must be on board with all such changes before they are made to ensure proper coordination.
11. The dewatering system to be used, if necessary, shall be approved by the Conservation Officer and once approved, properly installed. All silty water must be filtered through a dewatering/sedimentation trap system, until the water runs clean. At no point shall silty water be discharged into off-site drainage systems without first being filtered.
12. The issuance of this decision confirms compliance with Marlborough City Code Ch. 271 "Stormwater Management" and shall serve as the "stormwater management permit" as required in the ordinance.

F. Landscaping:

1. Modifications: All modifications to the approved Landscape Plans related to changes to the kind, size and placement of plant material shall receive the prior written approval of the Conservation Officer and shall be considered a minor change.
2. Boulders: Any large rocks or boulders encountered while excavating the site can be used as landscape features or crushed. Any excess boulders shall be disposed of properly off site.
3. Site Visit: Prior to the final signoff, the landscape architect shall provide an as-built planting plan and a letter of confirmation that the plan conforms to the approved plans. The Conservation Officer shall confirm by a site visit that the planting has been installed according to the approved Landscape Plans, or according to a revision thereto previously approved by the Conservation Officer.
4. Dog Park: The Conservation Officer and the City Engineer and shall work with the Applicant to ensure that dog park drainage and ongoing maintenance will not impact the drainage water quality. If changes or additional drainage are needed in this location based on this review, this shall be added.
5. Replacement of Plantings: Following 18 months of the date of the final signoff of the site work, any plant material that has died or is dying shall be replaced by the Applicant with a species of the same kind and size.

6. Mulch Placement: Installation of mulch at the time of planting and thereafter shall be placed so that the mulch is not in contact with the trunk of newly planted trees and shrubs as shown on the details on the Landscaping Plan.
7. Maintenance: Landscaping will be properly maintained, replaced if necessary, and kept in good condition and in compliance with the Landscape Plans at all times. This shall be an ongoing condition.

G. Setbacks:

Through this decision and in accordance with Section 650-36.C(2) of the Zoning Ordinance, the City Council elects to vary the 20 foot setback requirement applicable to a portion of the Site's parking area in the northwest corner of the Site along Simarano Drive as shown on the Site Plan, finding that such change results in an improved design and will not nullify or substantially derogate from the intent or purpose of Section 650-36 of the Zoning Ordinance.

H. Secondary Access Drive:

1. The Applicant shall provide a gravel secondary access driveway (the "Secondary Access Driveway") between Sites 1 and 2 and Cedar Hill Road, as shown on the Site Plan.
2. Prior to the issuance of a certificate of occupancy for Site 1, the Applicant shall complete upgrades to the Secondary Access Driveway between the second entrance to Site 1 from the access driveway and Cedar Hill Road, as shown on the Site Plan. The specification for the surface used for the Secondary Access Driveway shall be: gravel in accordance with the U.S. Department of Transportation Federal Highway Administration's Gravel Roads Maintenance and Design Manual (November 2000) Table 2 page 42, or recycled asphalt product; to be approved by the Site Plan Review Committee. Prior to the issuance of a certificate of occupancy for Site 2, the portion of the Secondary Access Driveway from Site 1 to just after the second entrance to Site 2 shall be paved and incorporated as part of the Site's main access driveway, as shown on the Site Plan. Sheet 3 of the Site Plan provides a phasing diagram of improvements to the Secondary Access Driveway.
3. Following the upgrades required under Condition H.2, the Applicant shall at all times maintain the Secondary Access Driveway in good condition, free from obstructions and vegetation, and free from snow, for purposes of accommodating emergency and resident access to Sites 1 and 2 from Cedar Hill Road.
4. If the City's Fire Chief, Police Chief, City Engineer, or Building Commissioner finds that the Applicant has failed to maintain the Secondary Access Driveway as required under Condition H.3, the City Council may order that the Applicant pave

the entire length of the Secondary Access Driveway.

5. Within one (1) year following the issuance of a certificate of occupancy for Site 2, the Applicant shall provide to the City Council and the City Engineer a report by a professional traffic engineer concerning the Site's vehicular traffic conditions. Following submission of the report, the City Council may, upon finding that a paved access driveway off of Cedar Hill Road is warranted to address unacceptable vehicular traffic conditions for the Site's residents, require that the Applicant pave the Secondary Access Driveway for use by the Site's residents as part of the Site's main access driveway.

I. Internal Site Pedestrian Paths:

Prior to the issuance of a certificate of occupancy for Site 1, the Applicant shall provide a pervious pedestrian path, constructed using stone dust or similar material, adjacent to the Site's access driveway from Simarano Drive to the second entrance to Site 1, as shown on the Site Plan. Prior to the issuance of a certificate of occupancy for Site 2, the Applicant shall provide a pervious pedestrian path, constructed using stone dust or similar material, adjacent to the Site's access driveway from the second entrance to Site 1 to the second entrance to Site 2, as shown on the Site Plan.

J. School Bus Access:

The Applicant shall make arrangements with the Marlborough Public School and its bus contractor to allow school buses to pick up and drop off students within the Site at main lobby entrances and not along Simarano Drive.

K. Simarano Drive Improvements:

1. Simarano Drive Crosswalk: Prior to the issuance of a certificate of occupancy for Site 1, the Applicant shall install striped crosswalks across the Site driveway and across Simarano Drive with handicap-accessible wheelchair ramps to connect the pedestrian path along the Site driveway with the existing sidewalk along the west side of Simarano Drive, with push-button activated, solar-powered, and double-sided Rectangular Rapid Flashing Beacons (RRFB) installed on both sides of the crosswalk, providing pedestrian warning signs and flashers on both sides of the road, in accordance with plans approved by the City Engineer.
2. Simarano Drive Widening: Prior to the issuance of a certificate of occupancy for Site 1, the Applicant shall install an exclusive left-turn lane on the Simarano Drive southbound approach to the Site driveway, in accordance with plans approved by the City Engineer.
3. Performance Security Bond: Prior to commencing any work within the Simarano Drive public way lay out (as described in Conditions K.1 and JK.2 above), the

Applicant shall provide to the Building Commissioner a performance security bond, issued by a surety licensed for surety business in the Commonwealth of Massachusetts, in an amount equal to 100% of the estimated cost of the work.

4. Insurance Certificate: Prior to commencing any work within the Simarano Drive public way lay out, the Applicant shall provide to the Chief Procurement Officer of the City of Marlborough a Certificate of Insurance, naming the City of Marlborough, c/o Department of Public Works, City Engineer, 135 Neil Street Marlborough, MA 01752, as an additional insured, in such amounts as are required by said Chief Procurement Officer, not to exceed \$2 million in the aggregate, for a liability policy concerning the Applicant's work on Simarano Drive, including but not limited to demolition, construction and/or reconstruction.

L. Lighting:

Exterior lighting at the Site shall be downward facing and shielded to minimize impacts on neighboring properties.

M. General Provisions:

1. Drainage Inspection: Prior to requesting the first certificate of occupancy for Site 1 or Site 2, the Applicant shall clean all detention basins, drainage pipes, and catch basins of accumulated sediment and debris. All infiltration systems and water quality structures shall also be inspected and cleaned as necessary. A site meeting with the Conservation Officer to inspect these structures is required before the Conservation Officer will provide a final signoff.
2. As-Built Plans: Interim utility as-built plans shall be submitted to the City Engineer prior to the request for the first certificate of occupancy for Site 1 and at the completion of each phase of the project showing the critical utility connections to ensure that in the interim the City Engineer has all the utility tie information available. When the project is complete an as-built plan must be submitted to the City Engineer for review prior to the final certificate of occupancy for Site 1 or Site 2. The as-built plan shall be prepared in accordance with the As-built plan standards established by the City Engineer which can be found on the city's web site.
3. Stormwater Management and Maintenance Plan: Prior to the issuance of the final certificate of occupancy for Site 1 or Site 2 the Applicant shall provide the City Engineer and the Conservation Officer with the final Stormwater Management and Maintenance Plan, as outlined in the project's drainage report. The Applicant shall also include a copy of the snow storage locations and snow removal protocol for the Site. The name, address and phone number of the contract person who will be in charge of authorizing the annual maintenance shall be provided to the Conservation Officer and City Engineer.

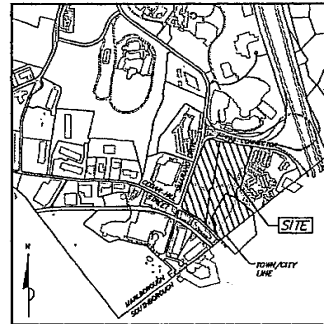
4. Annual Reports: An annual maintenance report shall be provided to the City Engineer and the Conservation Officer by June 1st of each year reporting on the maintenance and operation procedures, outlined in the Stormwater Management and Maintenance Plan, which have been met for that year. This reporting requirement will follow the issuance of the occupancy permit.
5. Time for Completion: Site 1 shall be completed within three (3) years following the date of issuance of this decision and Site 2 shall be completed within five (5) years following the date of issuance of this decision, unless the City Council has, in writing, granted an extension of time for completion of the work.
6. Signage: Signage at the Site shall be consistent with the sign designs shown on the Site Plan and shall conform to the provisions of Chapter 526 of the Marlborough City Code, as required by Section 650-36.G(5) of the Zoning Ordinance.
7. Changes to Approved Site Plan: In accordance with Section 650-36 of the Zoning Ordinance, the Building Commissioner may approve minor modifications to the Site Plan. Any changes to the approved Site Plan, including "Construction Drawings", must be distributed to the Site Plan Review Committee to ensure that City inspectors have current plans at all times.
8. Enforcement: The City Council designates the Building Commissioner as the enforcing authority to bring enforcement actions for violations of this permit.

GREEN DISTRICT SPECIAL PERMIT AND SITE PLAN APPROVAL

107 SIMARANO DRIVE
MARLBOROUGH, MASSACHUSETTS

ZONING TABULATION

CURRENT ZONING	DIMENSIONAL REQUIREMENTS	
	REQUIRED	PROPOSED
MINIMUM LOT AREA	NONE	1,873,840 SQUARE FEET (MARLBOROUGH)
MINIMUM FRONTAGE	NONE	3912.80 FEET (INCLUDING 1-495 CONNECTION ROAD)
MINIMUM FRONT YARD SETBACK	20 FEET	SITE 1: 68.37 FEET (MAIN BUILDING) SITE 2: 20.12 FEET (GARAGE) SITE 3: 20.12 FEET (GARAGE) SITE 4: 125.70 FEET (GARAGE)
MINIMUM SIDE/REAR YARD SETBACK	25 FEET	SITE 1: 324.42 FEET (MAIN BUILDING) SITE 2: 21.57 FEET (GARAGE) SITE 3: 85.40 FEET (MAIN BUILDING) SITE 4: 86.48 FEET (GARAGE)
MAXIMUM HEIGHT AND STORIES	MAXIMUM 80 FEET BUILDING HEIGHT AND NO LIMITATION ON STORIES	100 FEET BUILDING HEIGHT AND FIVE STORIES
MAXIMUM LOT COVERAGE	80% OVER THE ENTIRE LOT	18%
PARKING REQUIREMENTS		
MINIMUM PARKING SPACES	REQUIRED	PROPOSED
	(1 PARKING SPACE PER BEDROOM) + (800 BEDROOMS)-129 SPACES TOTAL FOR SITE 1 (1 PARKING SPACE PER BEDROOM) + (310 BEDROOMS)-310 SPACES TOTAL FOR SITE 2 (1 PARKING SPACE PER BEDROOM) + (319 BEDROOMS)-319 SPACES TOTAL	877 TOTAL SPACES (SITE 1: 334 SPACES AT 1.51 SPACES/UNIT, SITE 2: 323 SPACES INCLUDING 13-8'x16' COMPACT SPACES AT 1.54 SPACES PER UNIT)
MINIMUM PARKING SPACE SIZE (NOT PARKING)	8 FT x 18 FT WITH 24'-FOOT AISLE (TWO-WAY)	9 FT x 18 FT WITH 24'-FOOT AISLE (TWO-WAY)
COMPACT SPACES (NOT PARKING)	8'x6' ALLOWED AT 16'x8' AND 22'-FOOT AISLE	8'x6' (84 SPACES) AT 16'x8' AND 22'/24'-FOOT AISLES
MINIMUM PARKING SPACE SET (PARALLEL)	8 FT x 20 FT WITH 20'-FOOT AISLE (TWO-WAY)	9 FT x 22 FT WITH 24'-FOOT AISLE (TWO-WAY)
MIN. FRONT YARD PARKING SETBACK	20 FEET	18.3 FEET (SITE 1)
MINIMUM SIDE/REAR YARD PARKING SETBACK	7 FEET	23.24 FEET
MINIMUM PARKING SETBACK FROM BUILDING	3 FEET	5.5 FEET
MAXIMUM PARKING GRADE	5%	6%
MAXIMUM DISTANCE PARKING TO BUILDING	800 FEET	900 FEET
CURBING AT LANDSCAPED AREAS (SECT. 850.40.4.3)	DURABLE CURBING 8 INCHES HIGH	CAPE COD BEAM (12" WIDE x 16" HIGH) AT PERIMETER OF PARKING ONLY
LANDSCAPING REQUIREMENTS		
FRONT YARD PLANTING	20 FEET	18.3 FEET (SITE 1)
SIDE YARD PLANTING	7 FEET	23 FEET OR MORE
INTERIOR PARKING LOT LANDSCAPING (EXCLUDING DRIVEWAY ROWS)	3% (PERIMETER OF PARKING EXCLUDING DRIVEWAY ROWS)	MORE THAN 3%
INTERIOR PARKING LOT LANDSCAPING	SEE NOTE 2	CONFORMS
MINIMUM ISLAND DIMENSIONS	7 FEET WIDTH AND 100 SQUARE FEET	7 FEET WIDTH MINIMUM AND MORE THAN 100 SQUARE FEET
MINIMUM ISLAND DIMENSIONS	7 FEET WIDTH AND 100 SQUARE FEET	7 FEET WIDTH MINIMUM AND MORE THAN 100 SQUARE FEET
DRIVEWAY SIGHT TRIANGLE	23 FEET ON TWO SIDES AT INTERSECTIONS	25 FEET ON TWO SIDES AT INTERSECTIONS
DRIVEWAY REQUIREMENTS		
MAXIMUM NUMBER OF DRIVEWAYS	1 FOR EACH 200 FEET OF FRONTAGE	2 DRIVEWAYS FOR 3912.80 FEET
GRADES FOR THE DRIVEWAY	SEE NOTE 1	DRIVEWAYS CONFORM
MINIMUM SIGHT DISTANCE	200 FEET	2200 FEET
MINIMUM TRAVELED WIDTH	24 FEET	24 FEET TO 30 FEET
MINIMUM CURB HEIGHT AT PUBLIC STREET	30 FEET	30 FEET



VICINITY MAP
SCALE 1" = 100'

OWNER:
BP CRANE MEADOW LLC
C/O MARVIN F. POER & COMPANY
3520 PIEDMONT ROAD NE, SUITE 410
ATLANTA, GEORGIA 30305

APPLICANT:
POST ROAD REALTY LLC
11 UNQUOWA ROAD
FAIRFIELD, CONNECTICUT 06824

PROJECT TEAM

CIVIL ENGINEER

HANCOCK ASSOCIATES
315 ELM STREET
MARLBOROUGH, MASSACHUSETTS 01752

ARCHITECT

BURGARTH HENRIE & ARCHITECTS INC
8 CHAMBERLAIN STREET, SUITE 300
ROSTON, MASSACHUSETTS 01923

LANDSCAPE ARCHITECT

ERIC BAILEY LANDSCAPE ARCHITECTURE
17 NORTH MAIN STREET
DUNELM, CONNECTICUT 06828

LAND SURVEYOR

PROFFER LAND SURVEYING
37 RAMPAGE ROAD
JERUSALEM, MASSACHUSETTS 01757

WETLAND SCIENCE

DEEDMAN CONSULTING LLC
201 MAIN STREET #8
MIDDLEBOROUGH, MASSACHUSETTS 01948

TRANSPORTATION ENGINEER

RON MILLER & ASSOCIATES
89 WINDY ROAD
MIDDLEBOROUGH, MASSACHUSETTS 01746

SHEET INDEX

SHEET 1	TITLE SHEET
SHEET 2	NOTES, SIGNAGE, REFERENCES & LEGEND
SHEET 3	INDEX AND SEQUENCING PLAN
SHEET 4-7	LAYOUT & MATERIALS PLAN
SHEET 8-11	GRADING PLAN
SHEET 12-15	DRAINAGE PLAN
SHEET 16-19	UTILITIES PLAN
SHEET 20-23	STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
SHEET 24	PAVEMENT DETAILS
SHEET 25	SWPPP EROSION CONTROL DETAILS
SHEET 26	SEWER SERVICE AND WETLANDS CROSSING DETAILS
SHEET 27	WATER SERVICE DETAILS
SHEET 28	DRAINAGE DETAILS
SHEET 29-30	PHOTOMETRIC LIGHTING PLAN
SHEET 31-32	FIRE MANEUVERING PLAN
SURVEY	
SHEET 1-6	ALTA/HSPS LAND TITLE SURVEY

REVISION 1 UPDATES 2019-10-18

- GRAVEL SURFACE SUBSTITUTED FOR ROAD A PAVEMENT FROM SITE 3 -EXISTING AND PROPOSED WALKWAY/DRIVWAY STRUCTURE NUMBERS
- TO CELEM HILL STREET
- SLOPED DRAINAGE CLEAR SUBSTITUTED FOR VERTICAL DRAINAGE CLEAR
- ON ROAD A
- SHEET 3 NAME CHANGED
- SHOW STORAGE AREAS ADDED
- SITE 2 PARKING REDUCED TO 354 SPACES, AND 31 CONVERTED TO GRASS PAVED
- 23 SPACES REDUCED TO COMPACT SPACES ON SITE 2
- SITE 2 PARKING HAS 41 SPACES CONVERTED TO GRASS PAVED
- ADDITIONAL ADA GRADES ADDED FOR HANDRAIL RAMP AND PARKING
- GRAVEL LEVGE FACE ELEVATIONS ADDED
- ADDITIONAL WALL ELEVATIONS PROVIDED
- ADDITIONAL INVERTS AND BENT ADDED
- INTERSECTION OF SIMARANO DRIVE AND ROAD A UPDATED
- RELANDSCAPED PARKING LOT (PROPOSED) INTO 20' WETLANDS BUFFER
- ADDED GRADING ON SOUTH SIDE OF ROAD A
- REVISED THE HANDOVERING PLAN
- SWPPP PLAN UPDATED AND DETAILS ADDED
- ADDITIONAL DETAIL PROVIDED FOR BRIDGE CROSSINGS OF WETLANDS
- SEWER CLEANOUTS ADDED
- WATER SERVICE VALVES ADDED
- CLAMPED PIPES MADE FOR EXISTING WATER MAINS
- SOME LAMP ARREAR DETAIL REVISED
- LIGHTING UPDATED FOR PARKING CHANGES
- UPDATED THE WALKWAY/DRIVWAY BASED OUTLET INVERTS
- SITE 1 BURN RECOMMENDED
- WATER NOTE ADDED FOR SITE 1 NORTHWEST ASSE ENHANCEMENT WITH FRONT FENCE

REVISION 2 UPDATES 2019-11-12

- ROAD A AT SIMARANO DRIVE TRAFFIC/DRIVEWAY MARK ADDED TO PHASE 1
- PARKING RECONFIGURED AND REDUCED ON SITE 2
- GRASS PAVED ON PARKING DELETED AND REPLACED BY BUSINESS CONCERNS
- PARKING UPDATED ON SHEET 1 ZONING TABULATION
- FIRE LINES CONVERTED TO ALL GRASS PAVED
- PARKING AREA REDUCED TO A TOTAL 347 SPACES
- FENCE ADDED AT RETAINING WALL CORNERS
- GRAVEL ROAD A NOTE ADDED TO RESUME CONSTRUCTION AT THE END OF PHASE ONE FROM THE END PHASE 1 TO CELEM HILL STREET BENT ADDED
- TO REMOVE DATES FROM DESIGN
- FENCE (FULL PROTECTION) ADDED AT PEDESTRIAN WETLANDS CROSSING WALL
- STONE BEST PRACTICE ADDED FROM FIRST SITE 1 DRIVEWAY TO FIRST SITE 2 DRIVEWAY
- SWPPP ADDED TO SITE 2 WALKWAY/DRIVWAY MARKS
- GRAVEL ROAD A INVERTS ADDED TO INCLUDE WETLANDS ADDED-SITE DRAWING MODIFIED TO IMPROVE WETLANDS DETAIL
- ADJUSTMENT NOTE ADDED
- LIGHTING UPDATED FOR DRIVE CHANGES
- CORNER MARK ADDED ALONG DRIVEWAY ROAD A
- PRECAST CHANNEL ADDED AT SITE 1 WALKWAY INLET PIPES
- BRANDS FOR ASSE ENHANCEMENT AND PERIMETER CAPE COD AND TO REMOVE DATES FROM DESIGN
- SWEETS 2 AND 3 NAME REVISION
- WORKMAN AND OTHER SERVICE ADDED
- WETLANDS CROSSING DIMENSIONS EXTENDED TO OUTSIDE OF 10' WETLANDS SETBACK
- PEDESTRIAN CROSSING DIMENSIONS EXTENDED TO IMPROVE WETLANDS DETAIL



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MARLBOROUGH, MASSACHUSETTS

DATE: 1/16
SCALE: 5.11 & 1/2

PREPARED FOR:

POST ROAD REALTY LLC

11 Unquowa Road
Fairfield, Connecticut 06824

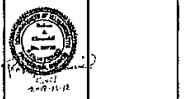
HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 Elm St. Marlborough, MA 01752
PHONE (508) 480-1111, FAX (508) 480-1112
WWW.HANCOCKASSOCIATES.COM



NO.	DATE	BY	DESCRIPTION
1	1/16/20	RS	REV. NOTES
2	1/16/20	RS	REV. NOTES
3	1/16/20	RS	REV. NOTES
4	1/16/20	RS	REV. NOTES
5	1/16/20	RS	REV. NOTES
6	1/16/20	RS	REV. NOTES
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8	1/16/20	RS	REV. NOTES
9	1/16/20	RS	REV. NOTES
10	1/16/20	RS	REV. NOTES
11	1/16/20	RS	REV. NOTES
12	1/16/20	RS	REV. NOTES
13	1/16/20	RS	REV. NOTES
14	1/16/20	RS	REV. NOTES
15	1/16/20	RS	REV. NOTES
16	1/16/20	RS	REV. NOTES
17	1/16/20	RS	REV. NOTES
18	1/16/20	RS	REV. NOTES
19	1/16/20	RS	REV. NOTES
20	1/16/20	RS	REV. NOTES

SITE PLAN APPROVAL # _____

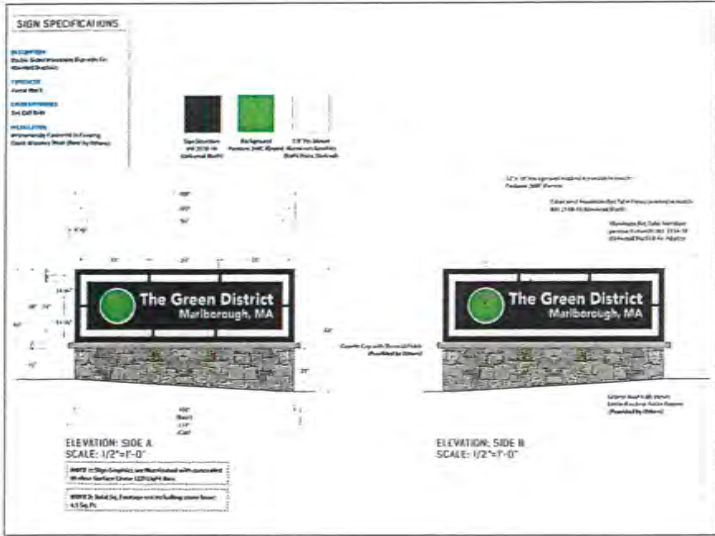
PLANS LISTED ON THIS SHEET WITH REVISION DATES AS SHOWN

ENGINEERING:	DATE:
BUILDING:	DATE:
CONSERVATION:	DATE:
FIRE DEPT:	DATE:
POLICE DEPT:	DATE:
BOARD OF HEALTH:	DATE:

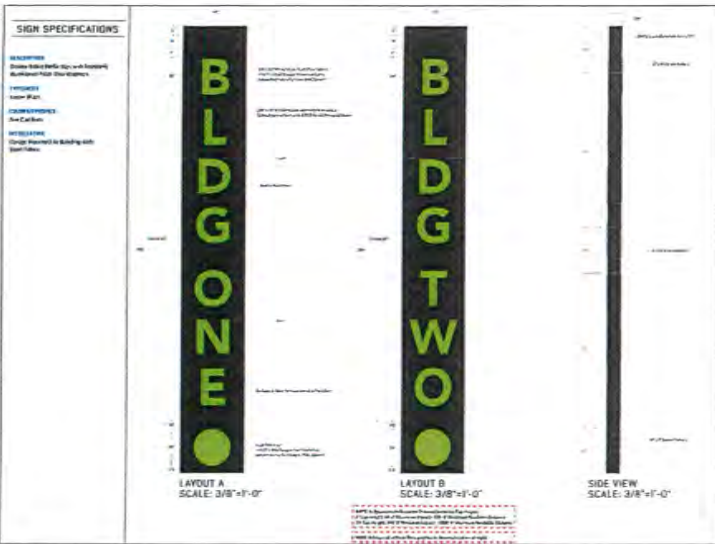
TITLE SHEET

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DWG: 22040-PP-0014
LAYOUT: 15
SHEET: 1 OF 32
PROJECT NO: 22680



MONUMENT SIGN
NOT TO SCALE



BUILDING MOUNTED BLADE SIGN
NOT TO SCALE

GENERAL NOTES

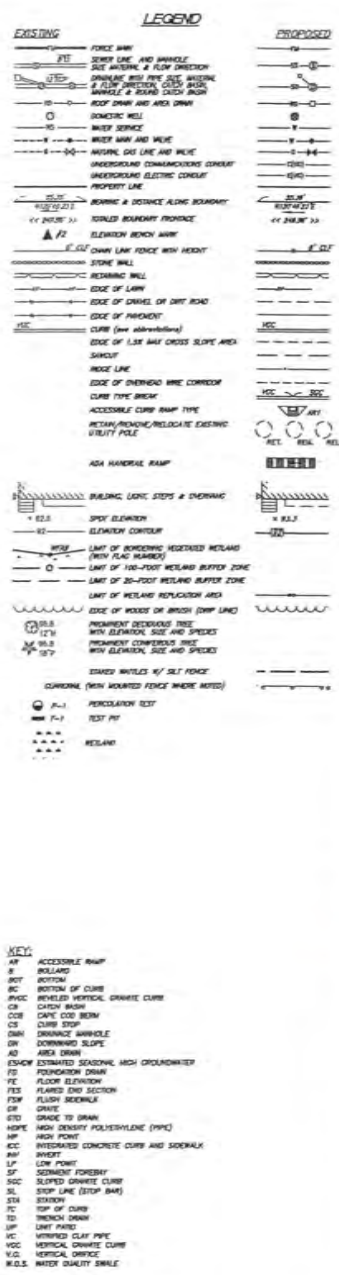
1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTACLES/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTACLES/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTACLES/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
2. UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
3. CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
4. SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT REDESIGNED FOR DESTRUCTION AND / OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THE RESPECTIVE OWNERS.
6. THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SURFACE DRAINAGE TO PREVENT INTERIOR FLOODING. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
7. ANY INTENDED REDUCTION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY OWNER PRIOR TO IMPLEMENTATION.
8. FIN ELEVATIONS SHOWN FOR NEW STRUCTURES ARE APPROXIMATE AND ARE PROVIDED TO ASSIST CONTRACTOR WITH AN INITIAL DESIGN. FINISH FIN ELEVATIONS SHOULD MATCH FINISH, GRADING OF LANDSCAPING, UNLESS SPECIFICALLY NOTED OTHERWISE.
9. WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN / ABANDONED LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH OWNER REQUIREMENTS.
10. THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
11. PROPOSED BUILDING FOUNDATION CONSTRUCTION AND LOCATION ON THE LOT AS SHOWN ARE CONCEPTUAL AND SHALL BE REVIEWED AS TO CONFORMANCE WITH FINAL ARCHITECTURAL PLANS AND ZONING ORDINANCES PRIOR TO CONSTRUCTION.
12. SELF FORCE SIGN HEREON SHALL BE RECALLED BEYOND EITHER DISTURBANCE OCCURS WITHIN BUFFER ZONE AND SHALL SERVE AS THE LIMIT OF WORK.

REGULATORY NOTES

1. CONTRACTOR SHALL CONTACT 90-SAVE FOR UNDERGROUND UTILITY WARNING AT 1-800-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
2. CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AGENCIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL CORRECT AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AGENCIES.
3. ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATIONS SHALL CONFORM WITH THE LATEST 2018 PLUMBING CODE OF MASSACHUSETTS, 246 CMR 2.00.

ADA NOTES

- CONTRACTOR SHALL INSTALL ALL PARKING AREAS AND WALKWAYS IN ACCORDANCE WITH APPLICABLE ADA AND BOARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
1. HANDICAPPED SPACES AND DRIVEWAYS SHALL NOT EXCEED 2% IN ANY DIRECTION.
 2. HANDICAPPED RAMPS SHALL NOT EXCEED 2% FOR A MAXIMUM VERTICAL DISTANCE OF 6 INCHES.
 3. SIDEWALKS SHALL HAVE A MAXIMUM SLOPE IN THE PATH OF TRAVEL OF 3% AND A MAXIMUM CROSS SLOPE OF 1.5%. CONTRACTOR SHALL NOT LAYOUT SLOPED SIDEWALKS AND LBS RESPECTIVELY TO ALLOW FOR CONSTRUCTION TOLERANCES IF THE CONTRACTOR DETERMINES THAT THE REQUIRED SLOPES CANNOT BE ACHIEVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING THE INFORMATION TO THE ENGINEER FOR RESOLUTION.



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

SCALE: 1"=100'

POST ROAD REALTY LLC

11 Unsworth Road
Fairfield, Connecticut 06424

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

350 NEW ST. WILMINGTON, MA 01897
PHONE: 978-261-1111 FAX: (978) 480-1020
WWW.HANCOCKASSOCIATES.COM



NO.	DATE	BY	DESCRIPTION
1	12/28/18	ML	PRELIMINARY DESIGN
2	12/28/18	ML	FINAL DESIGN
3	12/28/18	ML	CONSTRUCTION

NOTES, SIGNAGE, REFERENCES & LEGEND

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DATE: 12/28/18
LAYOUT: ML
SHEET: 2 OF 22
PROJECT NO.: 22680

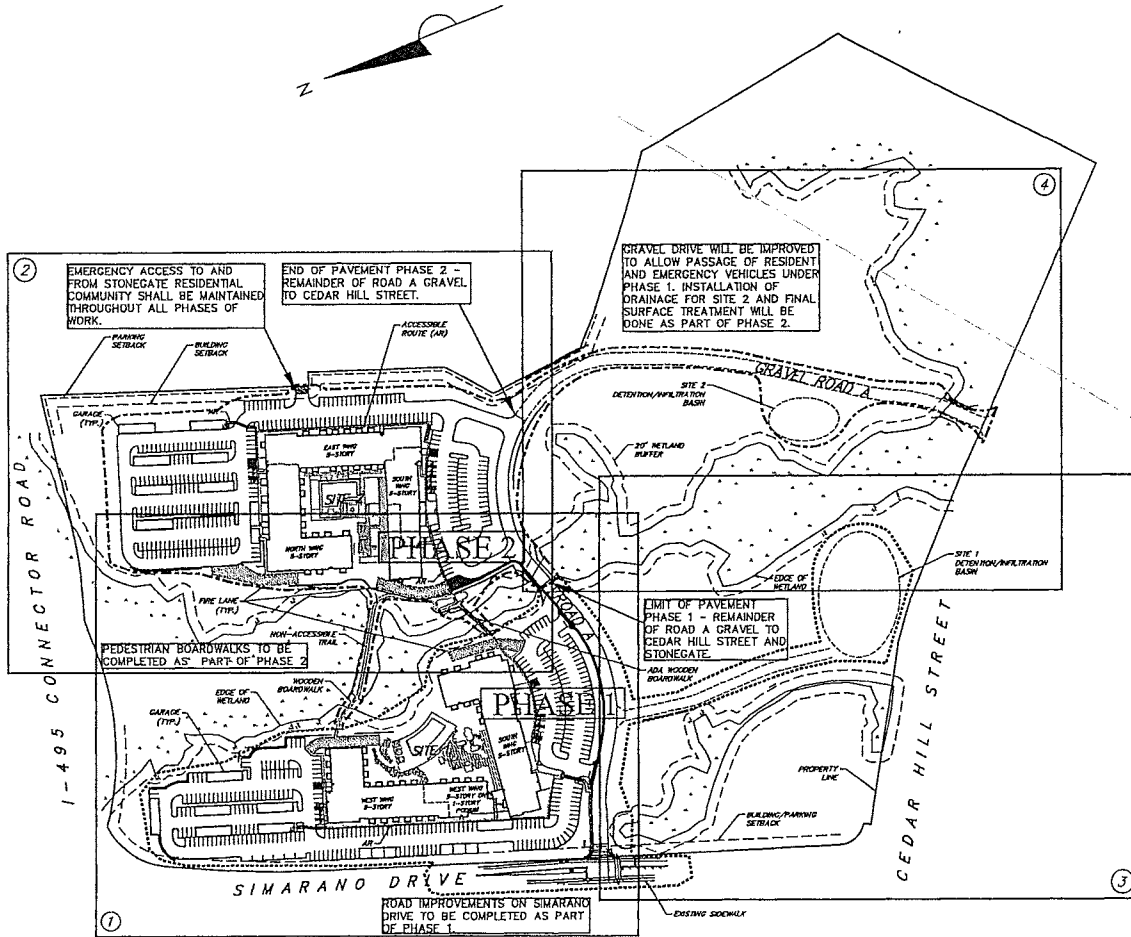
SEQUENCING PLAN

PHASE 1 CONSISTS OF THE CONSTRUCTION OF THE FIRST BUILDING ALONG SIMARANO DRIVE CONTAINING 235 UNITS.

1. EROSION CONTROLS WILL BE INSTALLED PER THE SWPP PLAN FOR PHASE 1 WORK.
2. VEGETATION WILL BE CLEARED ONLY AS NEEDED FOR PHASE PHASE 1 INCLUDING THE AREA FOR THE SITE 1 DETENTION BASIN.
3. THE ACCESS ROAD FROM THE END OF THE PHASE 1 WORK TO THE STONEGATE RESIDENTIAL COMMUNITY AND ON TO CEDAR HILL STREET WILL HAVE VEGETATION CUT BACK TO THE EDGES OF THE PROPOSED CONSTRUCTED GRAVEL ROAD. GRASS SHALL BE SEEDING, GRADED AND ROLLED TO THE SATISFACTION OF THE HANCOCK ASSOCIATES ENGINEERS.
4. WORK FOR PHASE 1 WILL COMMENCE IN ACCORDANCE WITH THE APPROVED PLANS. THIS WORK DOES INCLUDE BLASTING BUT ONLY BLASTING RELATED TO PHASE 1. ALL OTHER WORK AT THIS TIME.
5. ROADWAY IMPROVEMENTS TO SIMARANO DRIVE WILL BE COMPLETED AS PART OF PHASE 1.

PHASE 2 CONSISTS OF THE CONSTRUCTION OF THE SECOND BUILDING INSIDE THE SITE CONTAINING 240 UNITS.

1. EROSION CONTROLS WILL BE INSTALLED PER THE SWPP PLAN FOR PHASE 2 WORK.
2. VEGETATION WITHIN THE PHASE 2 WORK AREA WILL BE CUT.
3. WORK ON PHASE 2 WILL COMMENCE IN ACCORDANCE WITH THE APPROVED PLANS INCLUDING NECESSARY BLASTING.



LOG SHEET
SCALE 1" = 200'

GREEN DISTRICT

107
SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

HANCOCK ASSOCIATES	
MAP 116	LOT 5, 11 & 12

PREPARED FOR:
POST ROAD REALTY LLC

11 Linguwa Road
Fairfield, Connecticut 06824

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Land Surveyors
Wetland Scientists

310 DEW ST. METHUEN, MA 01752
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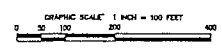


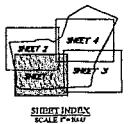
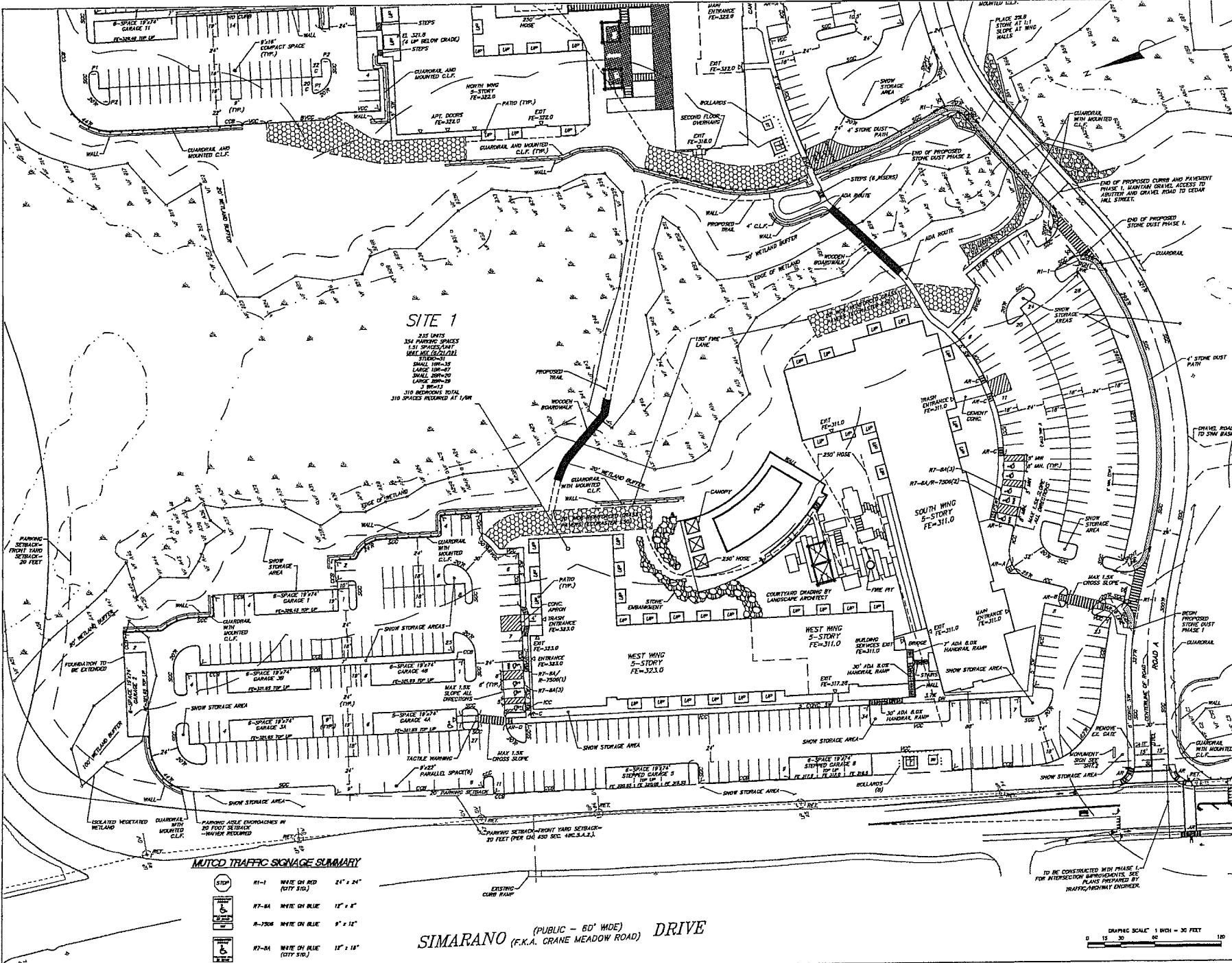
NO.	DATE	BY	DESCRIPTION

INDEX AND SEQUENCING PLAN

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DWG: 22680-PS-02.dwg
LAYOUT: IND
SHEET: 3 OF 32
PROJECT NO: 22680





GREEN DISTRICT
107 SIMARANO DRIVE

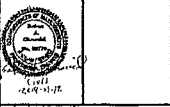
107 Simarano Drive
Methuen, Massachusetts 01752

MULTICATCH AGREEMENT
MAP 116 LGT 5.11 & 12

PREPARED FOR
POST ROAD REALTY LLC
11 Unquoo Road
Fairfield, Connecticut 06824

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Civil Engineers
Land Surveyors
Wetland Scientists

315 Elm St., Methuen, MA 01754
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1	DATE	DESCRIPTION
1	11/27/17	PRELIMINARY
2	02/16/17	REVISED
3	02/16/17	REVISED
4	02/16/17	REVISED
5	02/16/17	REVISED
6	02/16/17	REVISED
7	02/16/17	REVISED
8	02/16/17	REVISED
9	02/16/17	REVISED
10	02/16/17	REVISED

LAYOUT & MATERIALS PLAN SHEET 1

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION
DWG: 22460-PS-01-04
LAYOUT: LM-1
SHEET: 4 OF 32
PROJECT NO.: 22680

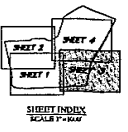
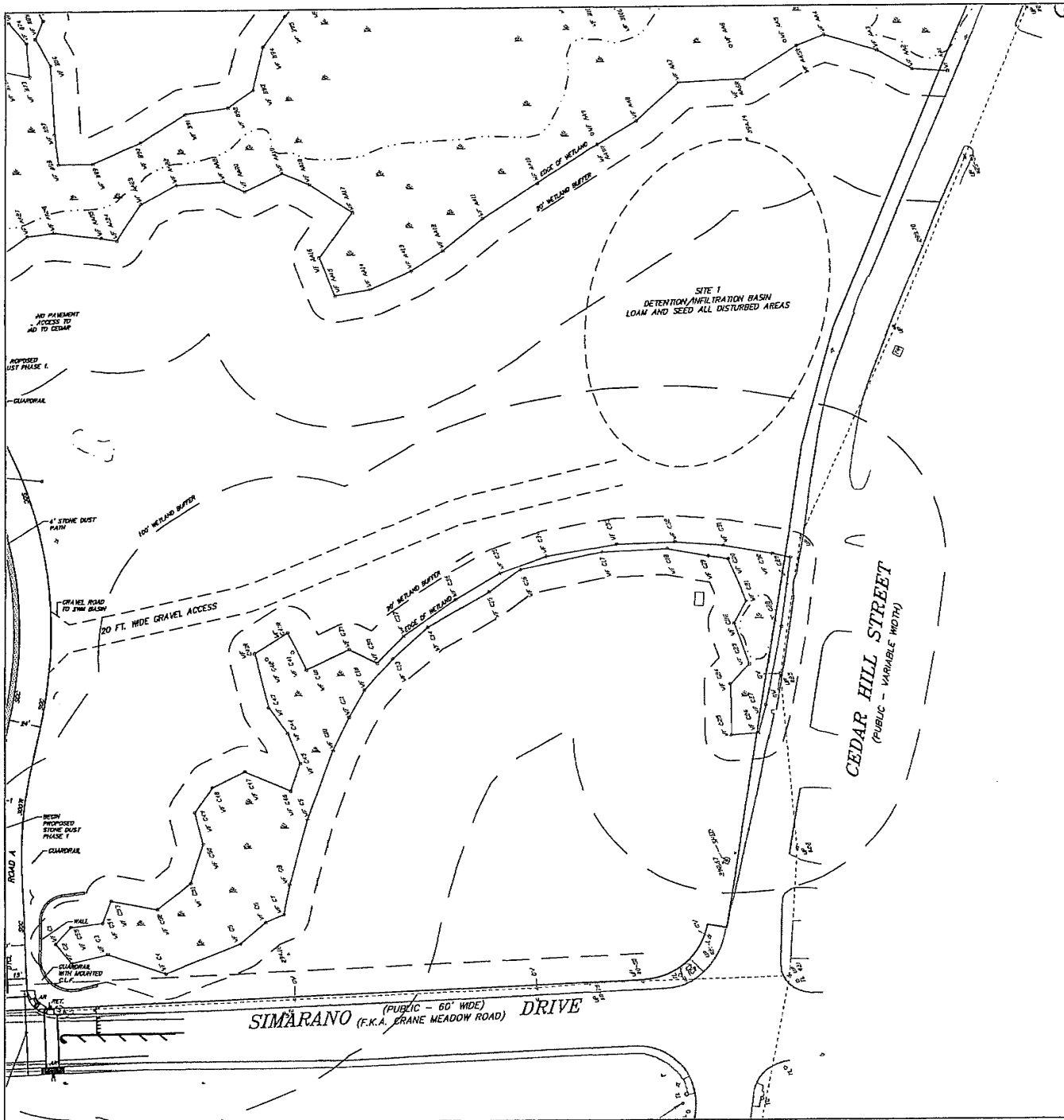
MUTCD TRAFFIC SIGNAGE SUMMARY

	R1-1	WHITE ON RED (CITY STR.)	24" x 24"
	R7-8A	WHITE ON BLUE	12" x 8"
	R-7006	WHITE ON BLUE	9" x 14"
	R7-8A	WHITE ON BLUE (CITY STR.)	12" x 18"

SIMARANO (PUBLIC - 60' WIDE) DRIVE
(F.K.A. CRANE MEADOW ROAD)

GRAPHIC SCALE 1 INCH = 30 FEET
0 15 30 45 60 75 90 105 120

TO BE CONSTRUCTED WITH PHASE I FOR INTERSECTION IMPROVEMENTS. SEE PLANS PREPARED BY TRAFFIC/ROADWAY ENGINEER.



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Northborough, Massachusetts 01752

MAP 116 LOT 5.11 & 12

PREPARED FOR:
POST ROAD REALTY LLC
11 Linquwa Road
Fairfield, Connecticut 06824

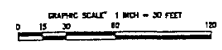
HANCOCK ASSOCIATES
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Wetland Scientists
315 Elm St., Northborough, MA 01561
PHONE: (508) 465-1111 FAX: (508) 465-1113
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NO.	DATE	BY	CHKD.	DESCRIPTION
1	PL MAC 11/22/19	SEE SHEET 1	REV. WORK	
2	PL JY 10/24/19	PER COMMENTS		
3	PL JY 10/24/19	DATE	ISSUE/REVISION	DESCRIPTION
4	PL JY 10/24/19	DATE	ISSUE/REVISION	DESCRIPTION
5	PL JY 10/24/19	DATE	ISSUE/REVISION	DESCRIPTION
6	PL JY 10/24/19	DATE	ISSUE/REVISION	DESCRIPTION
7	PL JY 10/24/19	DATE	ISSUE/REVISION	DESCRIPTION
8	PL JY 10/24/19	DATE	ISSUE/REVISION	DESCRIPTION

LAYOUT & MATERIALS PLAN SHEET 3

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION



OWN: 22680-PS-216-00
LAYOUT: LM-3
SHEET: 8 OF 32
PROJECT NO.: 22680

LM-3

THE APPLICANT SHALL PROVIDE A GRAVEL EMERGENCY ACCESS DRIVEWAY (ROAD A) BETWEEN SITES 1 AND 2 AND CEDAR HILL STREET AS SHOWN ON THE SITE PLAN.

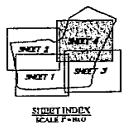
PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR SITE 1, THE APPLICANT SHALL COMPLETE UPDATES TO THE EMERGENCY ACCESS DRIVEWAY BETWEEN THE SECOND ENTRANCE TO SITE 1 FROM THE ACCESS DRIVEWAY AND CEDAR HILL STREET.

THE SPECIFICATION FOR THE SURFACE USED FOR THE EMERGENCY ACCESS DRIVEWAY SHALL BE GRAVEL IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION'S GRAVEL PAVEMENT MAINTENANCE AND RECONSTRUCTION (MANTENANCE ROAD) TABLE 42, OR RECYCLED ASPHALT PROVIDED TO BE APPROVED BY THE SITE PLAN REVIEW COMMITTEE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR SITE 1. THE PORTION OF THE EMERGENCY ACCESS DRIVEWAY FROM SITE 1 TO JUST AFTER THE SECOND ENTRANCE TO SITE 1 SHALL BE PAVED AND INCORPORATED AS PART OF THE SITE'S MAIN ACCESS DRIVEWAY (ROAD A) AS SHOWN ON THE SITE PLAN.

THE APPLICANT SHALL AT ALL TIMES MAINTAIN THE EMERGENCY ACCESS DRIVEWAY IN GOOD CONDITION, FREE FROM OBSTRUCTIONS AND VEGETATION, AND FREE FROM SLOTTED CURBS FOR PURPOSES OF ACCOMMODATING EMERGENCY ACCESS TO SITES 1 AND 2 FROM CEDAR HILL STREET.

IF THE CITY'S FIRE CHIEF, POLICE CHIEF, CITY ENGINEER, OR BUILDING COMMISSIONER FIND THAT THE APPLICANT HAS FAILED TO MAINTAIN THE EMERGENCY ACCESS DRIVEWAY AS PROVIDED BY CONDITIONS OF CITY SITE PLAN APPROVAL, THE CITY COUNCIL MAY ORDER THAT THE APPLICANT PAVE THE ENTIRE LENGTH OF THE EMERGENCY ACCESS DRIVEWAY.

WITHIN ONE (1) YEAR FOLLOWING THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR SITE 2 THE APPLICANT SHALL PROVIDE TO THE CITY ENGINEER A REPORT BY A PROFESSIONAL TRAFFIC ENGINEER CONCERNING THE SITE'S VEHICULAR TRAFFIC CONDITIONS FOLLOWING THE SUBMISSION OF THE REPORT. THE CITY COUNCIL MAY, UPON FINDING THAT A SECOND SITE ACCESS DRIVEWAY OFF OF CEDAR HILL STREET IS WARRANTED TO ADDRESS UNACCEPTABLE VEHICULAR TRAFFIC CONDITIONS FOR THE SITE RESIDENTS, REQUIRE THAT THE APPLICANT PAVE THE EMERGENCY ACCESS DRIVEWAY FOR USE BY THE SITE RESIDENTS AS PART OF THE SITE'S MAIN ACCESS DRIVEWAY (ROAD A).



GREEN DISTRICT

107 SIMARINO DRIVE

107 Simarino Drive
Marlborough, Massachusetts 01752

MARLBOROUGH APPROVED

MAP 116 LOT 5, 11 & 12

PREPARED FOR

POST ROAD REALTY LLC

11 Unquova Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

312 Elm St., Marlborough, MA 01752
VOICE: (508) 865-1111 FAX: (508) 865-1101
WWW.HANCOCKASSOCIATES.COM



NO.	DATE	BY	DESCRIPTION
1	10/14/20	LM	PRELIMINARY
2	10/14/20	LM	REVISED
3	10/14/20	LM	REVISED
4	10/14/20	LM	REVISED
5	10/14/20	LM	REVISED
6	10/14/20	LM	REVISED
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8	10/14/20	LM	REVISED
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10	10/14/20	LM	REVISED

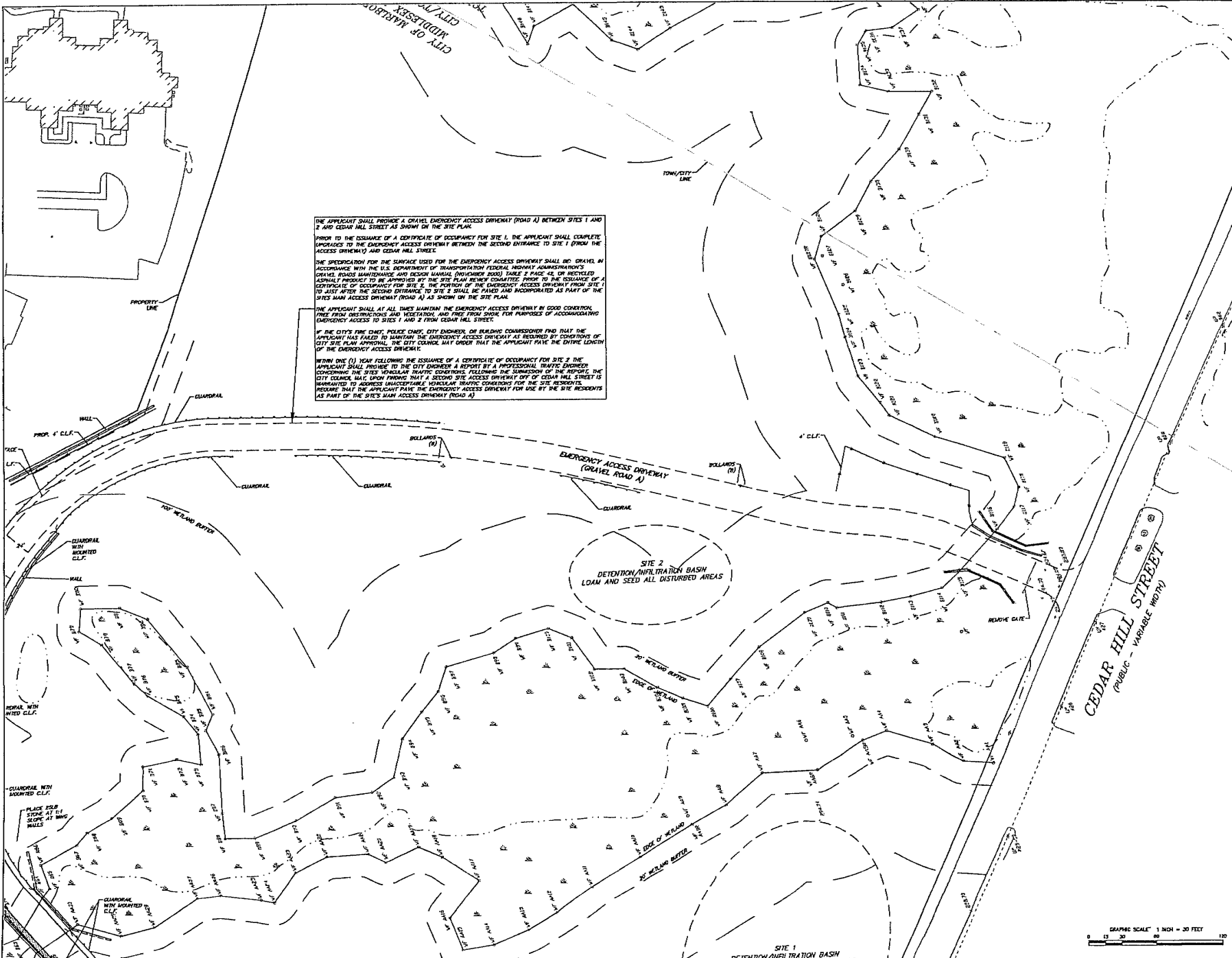
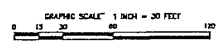
LAYOUT & MATERIALS PLAN SHEET 4

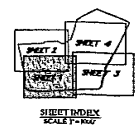
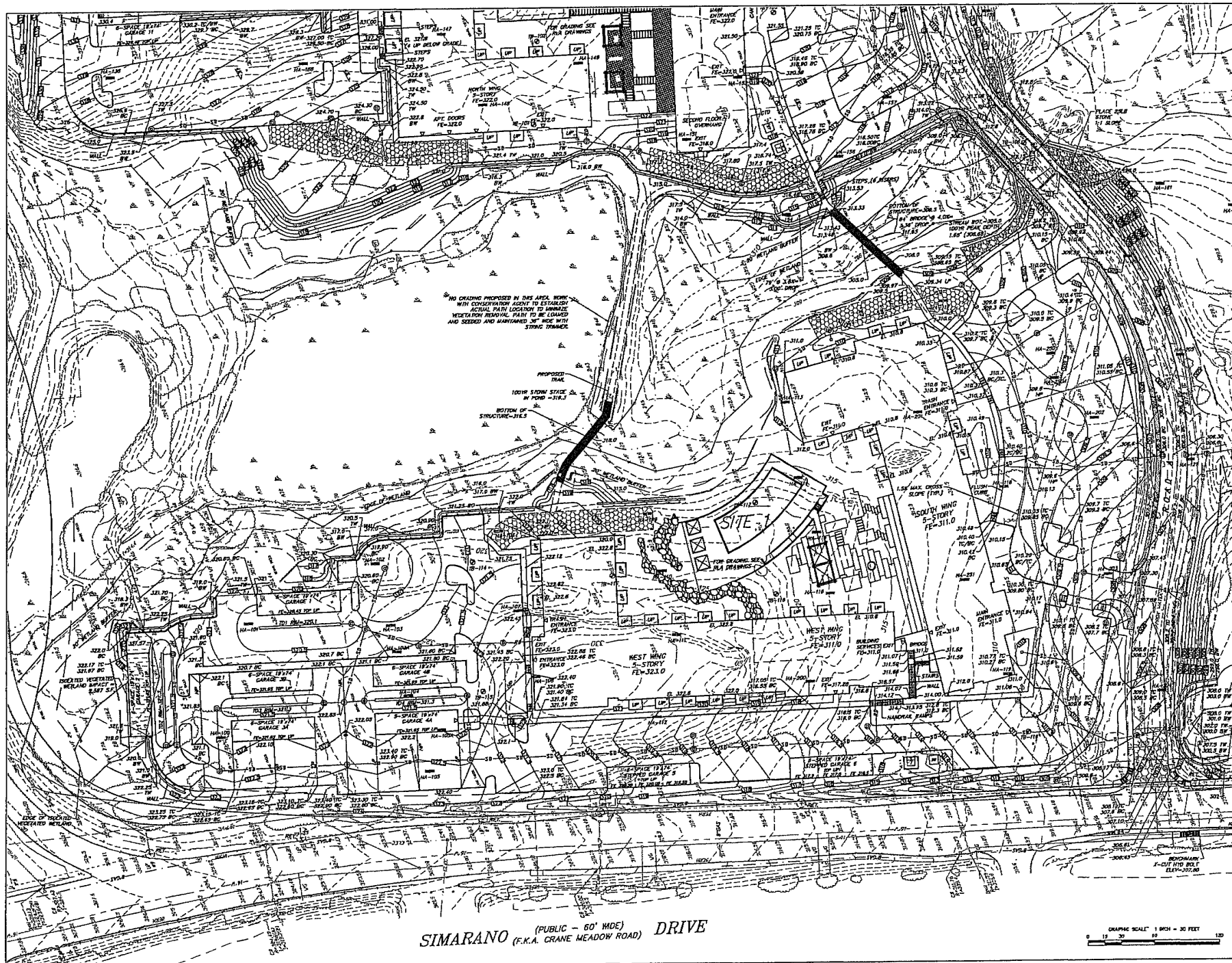
OFFICIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DWG: 22680-PS-03.dwg
LAYOUT: LM-6
SHEET: 7 OF 32

LM-4

PROJECT NO.: 22680





GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Arlborough, Massachusetts 01752

HANCOCK ASSOCIATES	
MAX	LOT
116	5.11 & 13

PREPARED FOR
POST ROAD REALTY LLC

11 Unquon Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

- Civil Engineers
- Land Surveyors
- Wetland Scientists

310 Elm St. Marlborough, MA 01752
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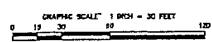
NO.	DATE	BY	REVISION DESCRIPTION
1	11/17/11	SEE SHEET 1 REV. NOTES	
2	11/17/11	REV. COMMENTS	
3	11/17/11	DATE	DRZ/AV/STON/DESCRIPTION
4	11/17/11	DATE	DRZ/AV/STON/DESCRIPTION
5	11/17/11	DATE	DRZ/AV/STON/DESCRIPTION
6	11/17/11	DATE	DRZ/AV/STON/DESCRIPTION

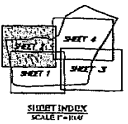
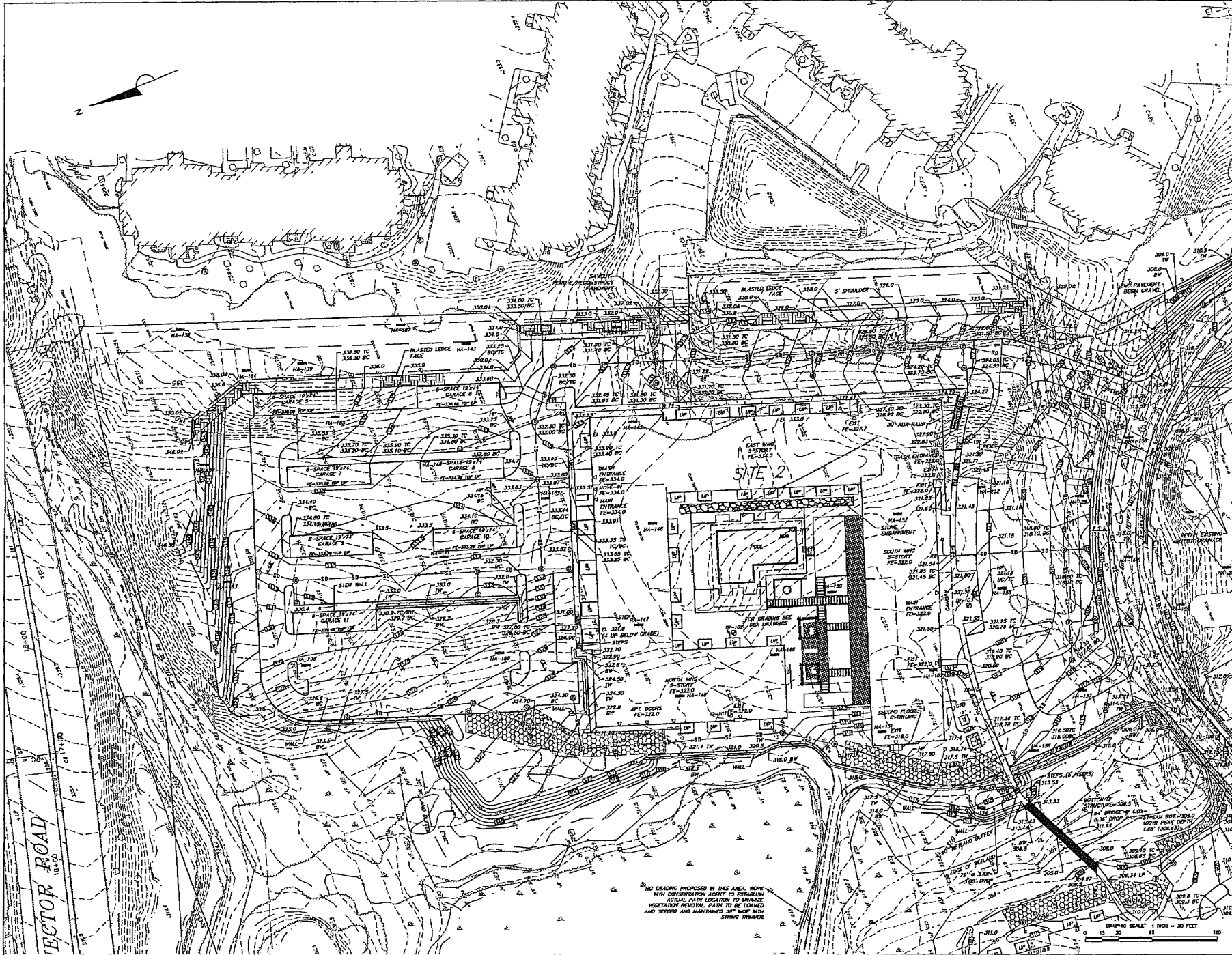
GRADING PLAN SHEET 1

SPECIAL PERMIT AND SET PLAN APPROVAL NOT FOR CONSTRUCTION

PROJECT NO.	22680
DATE	11/17/11
SCALE	AS SHOWN
SHEET	5 OF 22
PROJECT NAME	GR-1

SIMARANO DRIVE (PUBLIC - 60' WDE)
(F.K.A. CRANE MEADOW ROAD)





GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

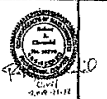
MAP SHEET ADDRESS
MAP 116 LEGE 5.11 & 12

PREPARED FOR
POST ROAD REALTY LLC
11 Uncovey Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

310 Elm St. MA 01752
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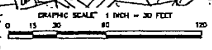
NO.	DATE	BY	DESCRIPTION
1	11/21/17	JK	REV SHEET 1 INCL. NOTES
2	11/21/17	JK	FOR COMMENTS
3	11/21/17	JK	FOR COMMENTS
4	11/21/17	JK	FOR COMMENTS
5	11/21/17	JK	FOR COMMENTS
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10	11/21/17	JK	FOR COMMENTS

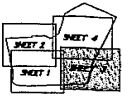
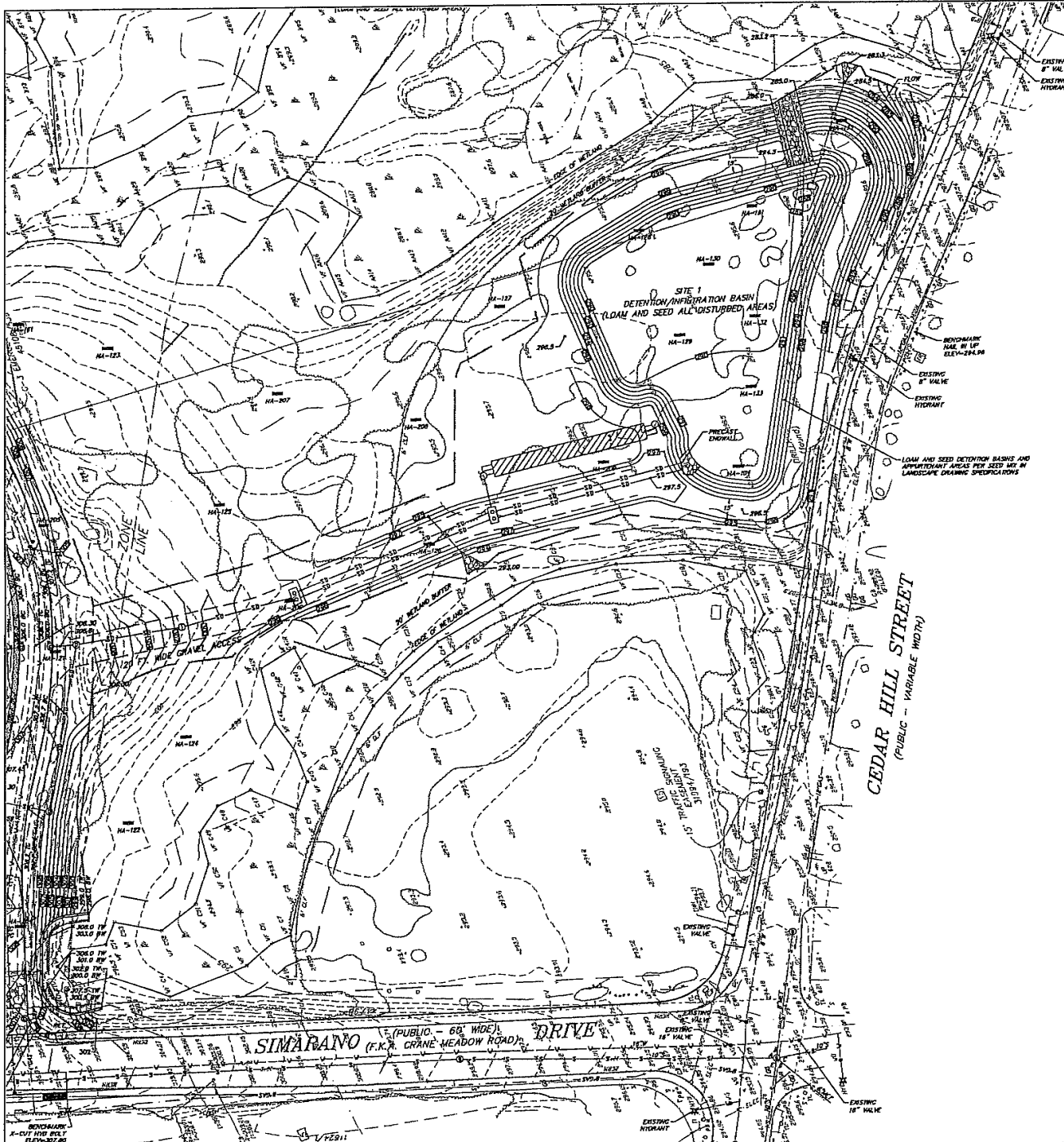
GRADING PLAN SHEET 2

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

LAYOUT: GR-2
SHEET: 9 OF 32
PRODUCT NO.: 22680

NO GRADING PROPOSED IN THIS AREA. WORK WITH CONSTRUCTION AGENT TO ESTABLISH ACTUAL PAIN LOCATION TO AVOID VEGETATION REMOVAL. PAIN TO BE LOCATED AND SEGGS AND MAINTAINED 4" WIDE WITH STONE TRIMMER.





SHEET INDEX
SCALE 1"=100'

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Madborough, Massachusetts 01752

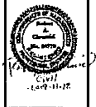
MAP DATE: 11/6
SCALE: 5.11 & 1:2

PREPARED FOR:
POST ROAD REALTY LLC
11 Unquow Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

- Civil Engineers
- Land Surveyors
- Wetland Scientists

319 Elm St. HANCOCK, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



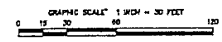
NO.	DATE	BY	REVISION
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2	11/11/11	JK	REV. COMMENTS
3	11/11/11	JK	REV. COMMENTS

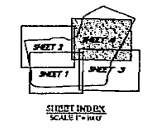
GRADING PLAN
SHEET 3

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DWG. NO.: 22680-PS-03-04
LAYOUT: GR-3
SHEET: 10 OF 32
PROJECT NO.: 22680

GR-3





GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

HANCOCK ASSOCIATES
MAP 116 LEG 5.11 R. 12

PREPARED FOR
POST ROAD REALTY LLC
11 Linguwa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES
Civil Engineers
Land Surveyors
Wetland Scientists
315 DA ST. MARLBOROUGH, MA 01752
PHONE (508) 461-1111 FAX (508) 461-1121
WWW.HANCOCKASSOCIATES.COM

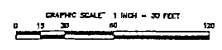


NO.	DATE	BY	CHKD.	DESCRIPTION
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2	08/12/11	DAVE	DAVE	REVISED DESIGN
3	08/12/11	DAVE	DAVE	FINAL DESIGN

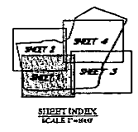
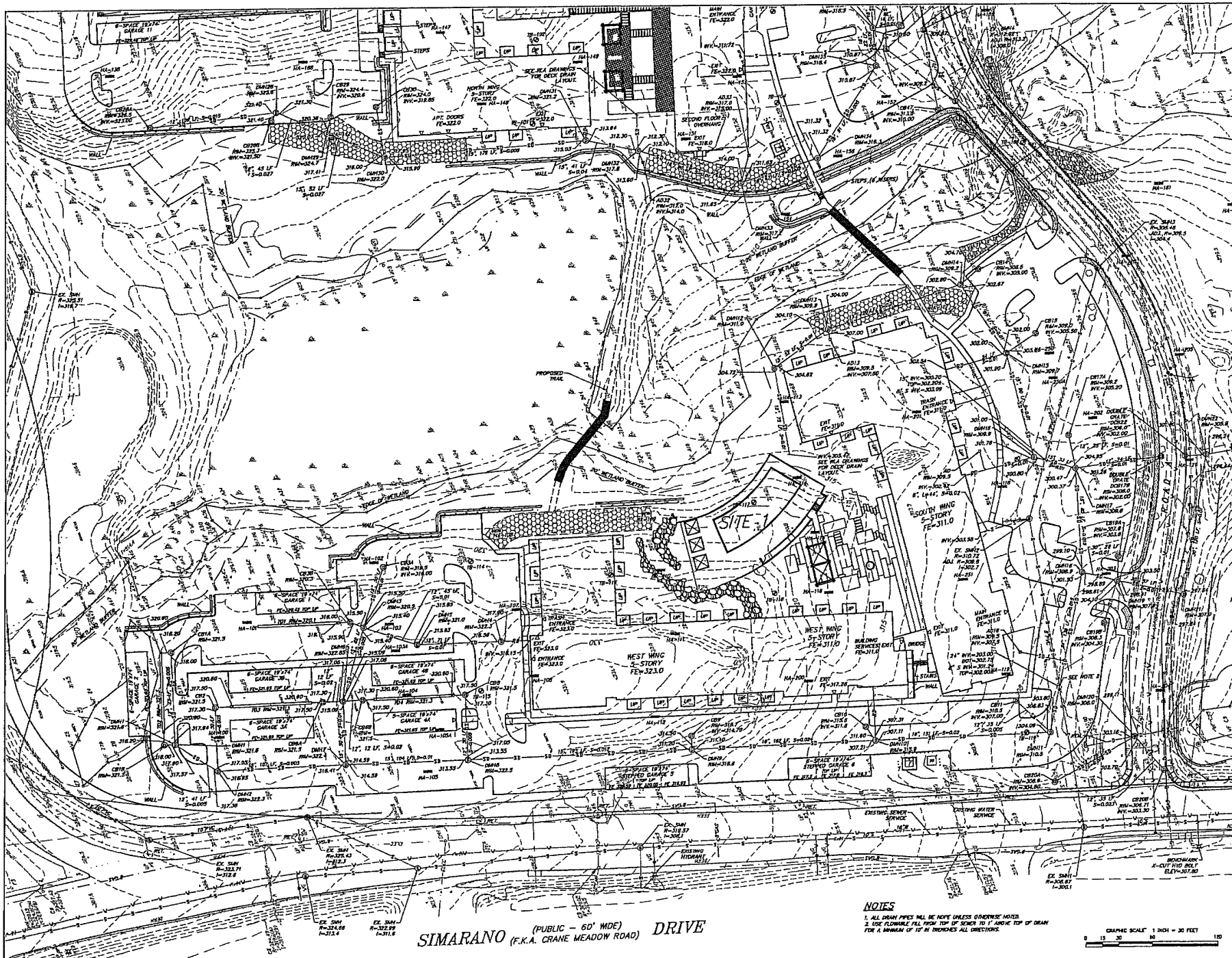
GRADING PLAN SHEET 4

OFFICIAL PERMITS AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DWG: 22880-PS-03.dwg
LAYOUT: GR-4
SHEET: 11 OF 22
PROJECT NO.: 22880



SIE 1 DETENTION/INFILTRATION BASIN



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
 Alhamborough, Massachusetts 01752

MAP 116 LOT 5, 11 & 13

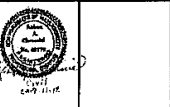
PREPARED FOR
POST ROAD REALTY LLC

11 Unghow Road
 Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
 Land Surveyors
 Wetland Scientists

319 Oak St., Alhamborough, MA 01752
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NO.	DATE	BY	CHK.	DESCRIPTION
1	11/17/19			REV. NOTES
2	11/18/19			PER COMMENTS
3	11/18/19			PER COMMENTS
4	11/18/19			PER COMMENTS
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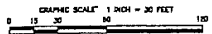
DRAINAGE PLAN SHEET 1

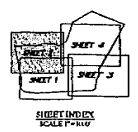
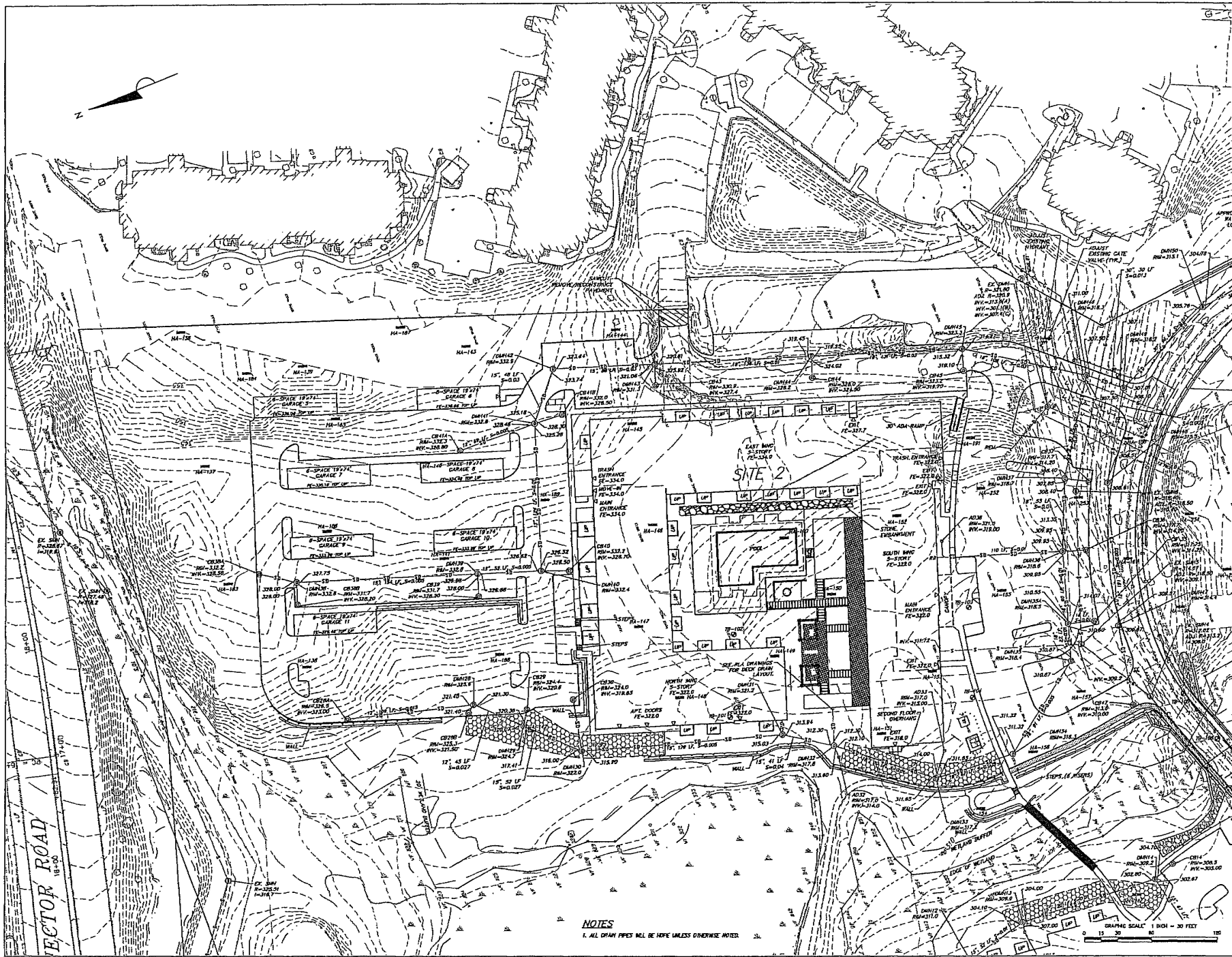
SPECIAL PERMIT AND SITE PLAN APPROVAL
 NOT FOR CONSTRUCTION

DRW 2260-PS-01-01
 LAYOUT: DR-1
 SHEET: 12 OF 22
 PROJECT NO: 2260

SIMARANO (PUBLIC - 60' WIDE) DRIVE
 (F.K.A. CRANE MEADOW ROAD)

- NOTES**
1. ALL DRAIN PIPES SHALL BE 18" UNLESS OTHERWISE NOTED.
 2. USE FLOWABLE FILL FROM TOP OF SENDER TO FLOWLINE TOP OF DRAIN FOR A MINIMUM OF 12" IN PROXIMITY ALL DIRECTIONS.





GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Maldenborough, Massachusetts 01752

MAP SHEET
116 5.11 & 12

PREPARED FOR:
POST ROAD REALTY LLC
11 Unquowa Road
Fairfield, Connecticut 06824

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Land Surveyors
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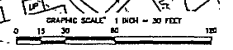
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6	02/23/19	DR	ISSUED FOR PERMIT
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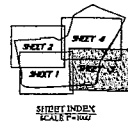
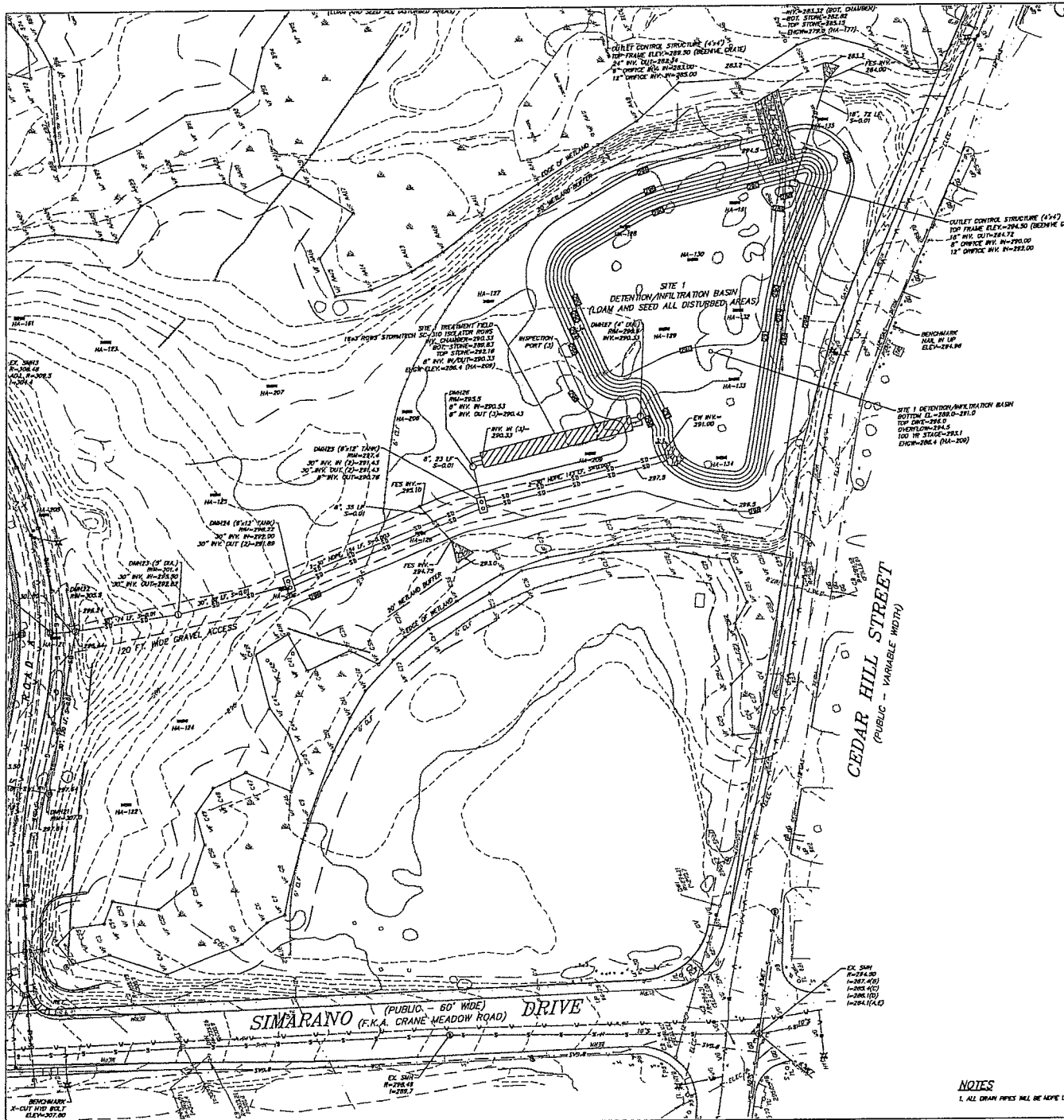
DRAINAGE PLAN SHEET 2

SPECIAL PERMIT AND SITE PLAN APPROVAL
NEED FOR CONSTRUCTION

DR-2
SHEET 13 OF 32
PROJECT NO.: 22660

NOTES
1. ALL DRAIN PIPES WILL BE HDPE UNLESS OTHERWISE NOTED.





GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Northborough, Massachusetts 01752

MAP SHEET

MAP 116 LOT 5.11 & 12

PREPARED FOR

POST ROAD REALTY LLC

11 Unquowa Road
Fairfield, Connecticut 06824

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Land Surveyors
Wetland Scientists

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NO.	DATE	BY	DESCRIPTION
1	11/22/11	SEE SHEET 1	REV. NOTES
2	10/18/11	FOR COMMENTS	
3	10/18/11	DATE	ISSUE/REVISION DESCRIPTION
4	10/18/11	DATE	ISSUE/REVISION DESCRIPTION
5	10/18/11	DATE	ISSUE/REVISION DESCRIPTION

DRAINAGE PLAN

SHEET 3

SPECIAL PERMIT AND DRAINAGE PLAN APPROVAL
NIT FOR CONSTRUCTION

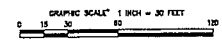
DR-3

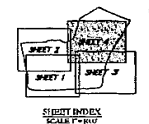
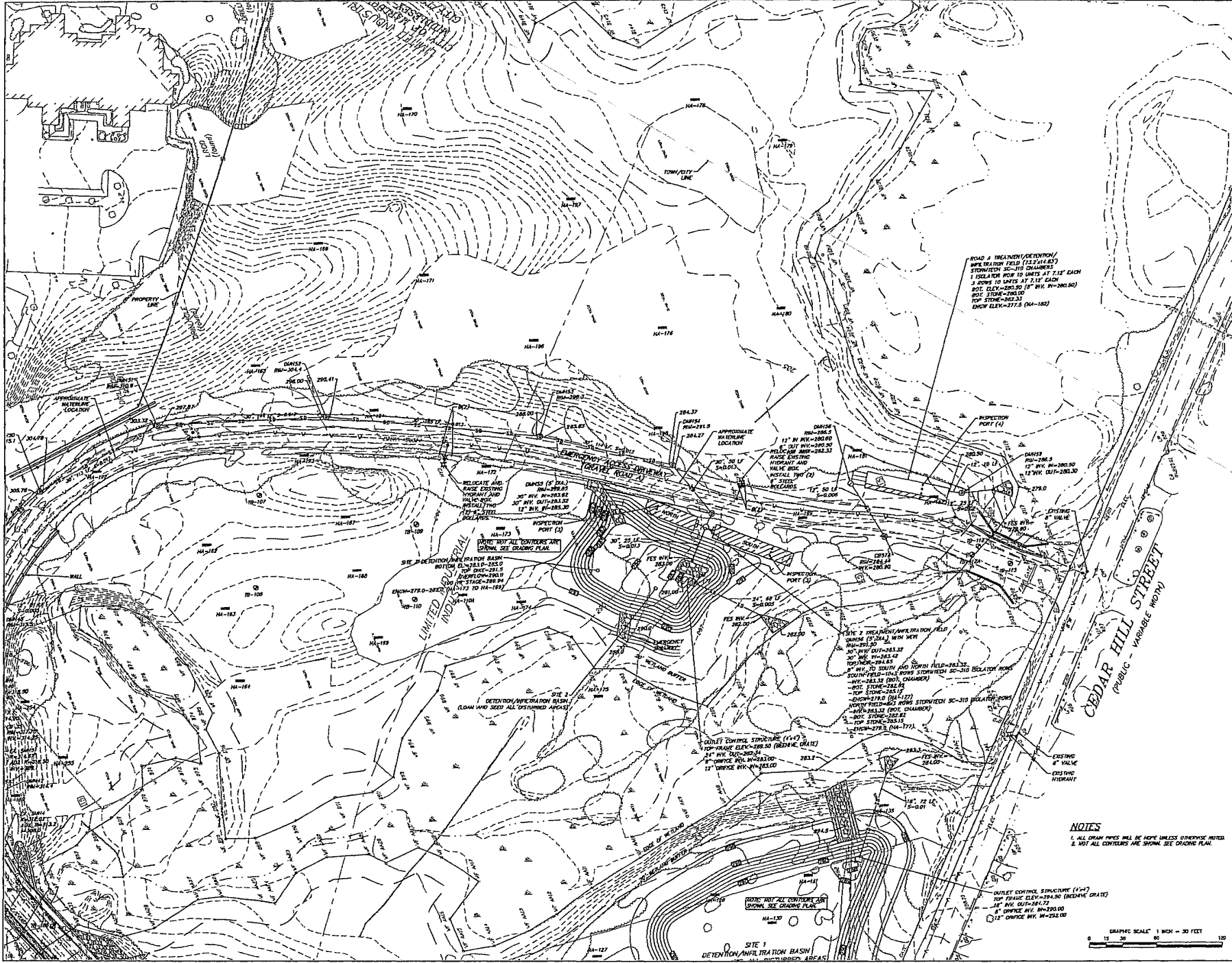
SHEET 14 OF 22

PROJECT NO.: 22680

NOTES

1. ALL DRAIN PIPES SHALL BE ACME UNLESS OTHERWISE NOTED





SHEET INDEX
SCALE: AS SHOWN

GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

MAP SHEET
116 1, 11 & 12

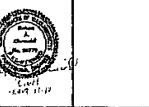
PREPARED FOR
POST ROAD REALTY LLC

11 Unquaga Road
Fairfield, Connecticut 06824

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Land Surveyors
Wetland Scientists

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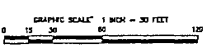
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1	REV	12/12/12	DATE SHEET/REVISION DESCRIPTION	
DATE	BY	DATE	BY	DATE
SCALE	AS SHOWN	DRAWN BY	DR	
APP'D BY		CHECKED BY	DR	

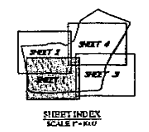
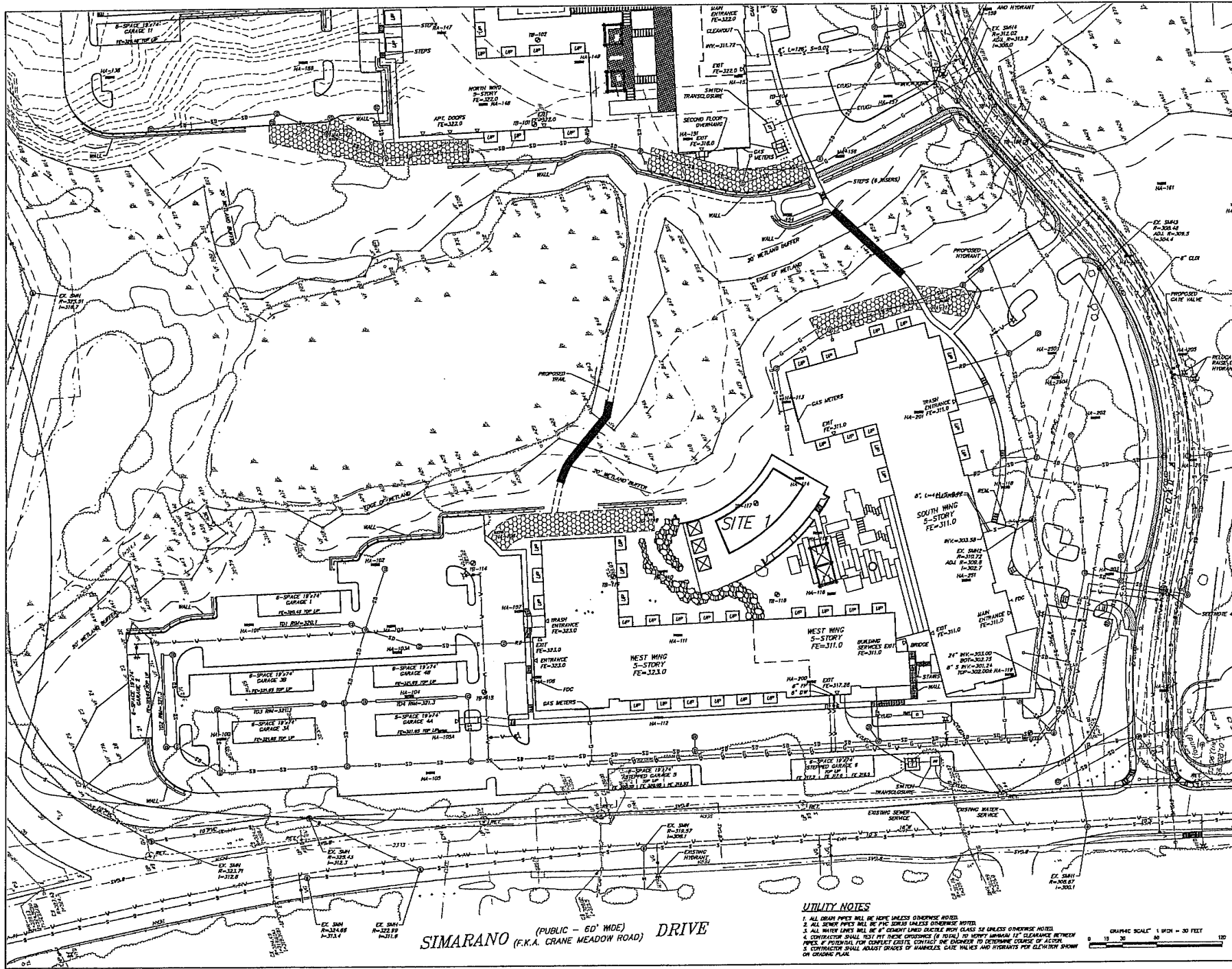
DRAINAGE PLAN SHEET 4

OFFICIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DWG: 22660-DR-4.dwg
LAYOUT: DR-4
SHEET: 13 OF 32
PROJECT NO.: 22660

NOTES
1. ALL OPEN PIPES SHALL BE HOPE UNLESS OTHERWISE NOTED
& NOT ALL CONTAINERS ARE SHOWN SEE DRAINING PLAN





GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

MAP SHEET
116 LEFT
5, 11 & 12

PREPARED FOR
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11 Ungava Road
Fairfield, Connecticut 06824

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Land Surveyors
Wetland Scientists

39 Elm St. Methuen, MA 01752
PH: (978) 486-1111, FAX: (978) 486-1112
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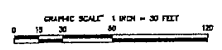
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5	11/14/11	FOR COMMENTS		
6	11/14/11	FOR COMMENTS		
7	11/14/11	FOR COMMENTS		
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10	11/14/11	FOR COMMENTS		

UTILITIES PLAN SHEET 1

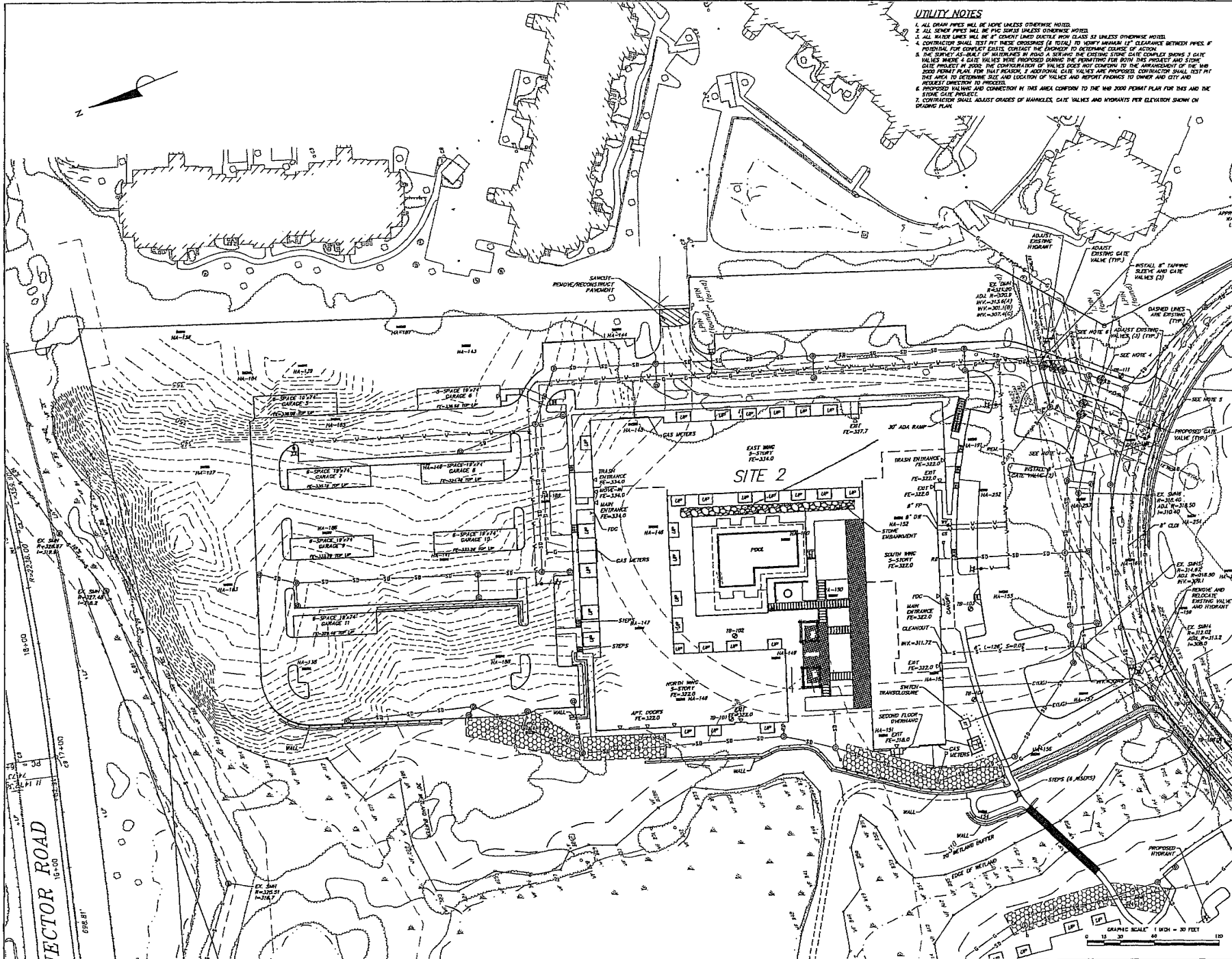
SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION
PROJECT NO. 22680

UTILITY NOTES

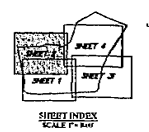
1. ALL DRAIN PIPES WILL BE MADE UNLESS OTHERWISE NOTED.
2. ALL SEWER PIPES WILL BE PVC UNLESS OTHERWISE NOTED.
3. ALL WATER PIPES WILL BE 4" CROWN LINE EXCEPT FOR GAS. SEE UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL TEST ALL THESE CONDITIONS (IF TOTAL) TO VERIFY MINIMUM 12" CLEARANCE BETWEEN PIPES. IF INSUFFICIENT FOR CONDUIT INSTALL, CONTACT THE ENGINEER TO DETERMINE CORRECT CLEARANCE.
5. CONTRACTOR SHALL ADJUST GRADES OF MANHOLES, GATE VALVES AND HYDRANTS PER ELEVATION SHOWN ON CHRONIC PLAN.



SIMARANO DRIVE (PUBLIC - 60' WIDE)
(F.K.A. CRANE MEADOW ROAD)



- UTILITY NOTES**
1. ALL DRAIN PIPES WILL BE HDPE UNLESS OTHERWISE NOTED.
 2. ALL SEWER PIPES WILL BE PVC SDR35 UNLESS OTHERWISE NOTED.
 3. ALL WATER LINES WILL BE 4" CONCRETE LINED DUCTILE IRON CLASS 51 UNLESS OTHERWISE NOTED.
 4. CONTRACTOR SHALL TEST ALL THESE CROSSINGS (IF TOTAL) TO VERIFY MINIMUM 18" CLEARANCE BETWEEN PIPES IF POSSIBLE. FOR CONFLICT EXIST, CONTACT THE OWNER TO DETERMINE COURSE OF ACTION.
 5. THE SURVEY AS-BUILT OF INTERFERENCES IN THIS AREA SHOWS 3 GATE VALVES UNDER 4 GATE VALVES WERE PROPOSED DURING THE PERMITTING FOR BOTH THIS PROJECT AND STING DATE PROJECT IN 2008. THE COMPARISON OF VALVES DOES NOT CONFORM TO THE ARRANGEMENT OF THE 2008 PERMIT PLAN. THE 2008 PERMIT PLAN, THE 2008 PERMIT PLAN, IF ADDITIONAL GATE VALVES ARE PROPOSED, CONTRACTOR SHALL TEST THE AREA TO DETERMINE SIZE AND LOCATION OF VALVES AND REPORT FINDINGS TO OWNER AND CITY AND REQUEST DIRECTION TO PROCEED.
 6. PROPOSED VALVES AND CONNECTION IN THIS AREA CONFORM TO THE 2008 PERMIT PLAN FOR THIS AND THE STING DATE PROJECT.
 7. CONTRACTOR SHALL ADJUST GRADES OF MANHOLES, GATE VALVES AND HYDRANTS PER ELEVATION SHOWN ON DRAINING PLAN.



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01753

MAP 116
DATE 5.11.12

PREPARED FOR

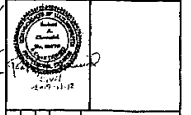
POST ROAD REALTY LLC

11 Unguena Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

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Land Surveyors
Wetland Scientists

315 Elm St., Methuen, MA 01752
PH: (978) 486-1111, FAX: (978) 486-1115
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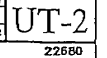


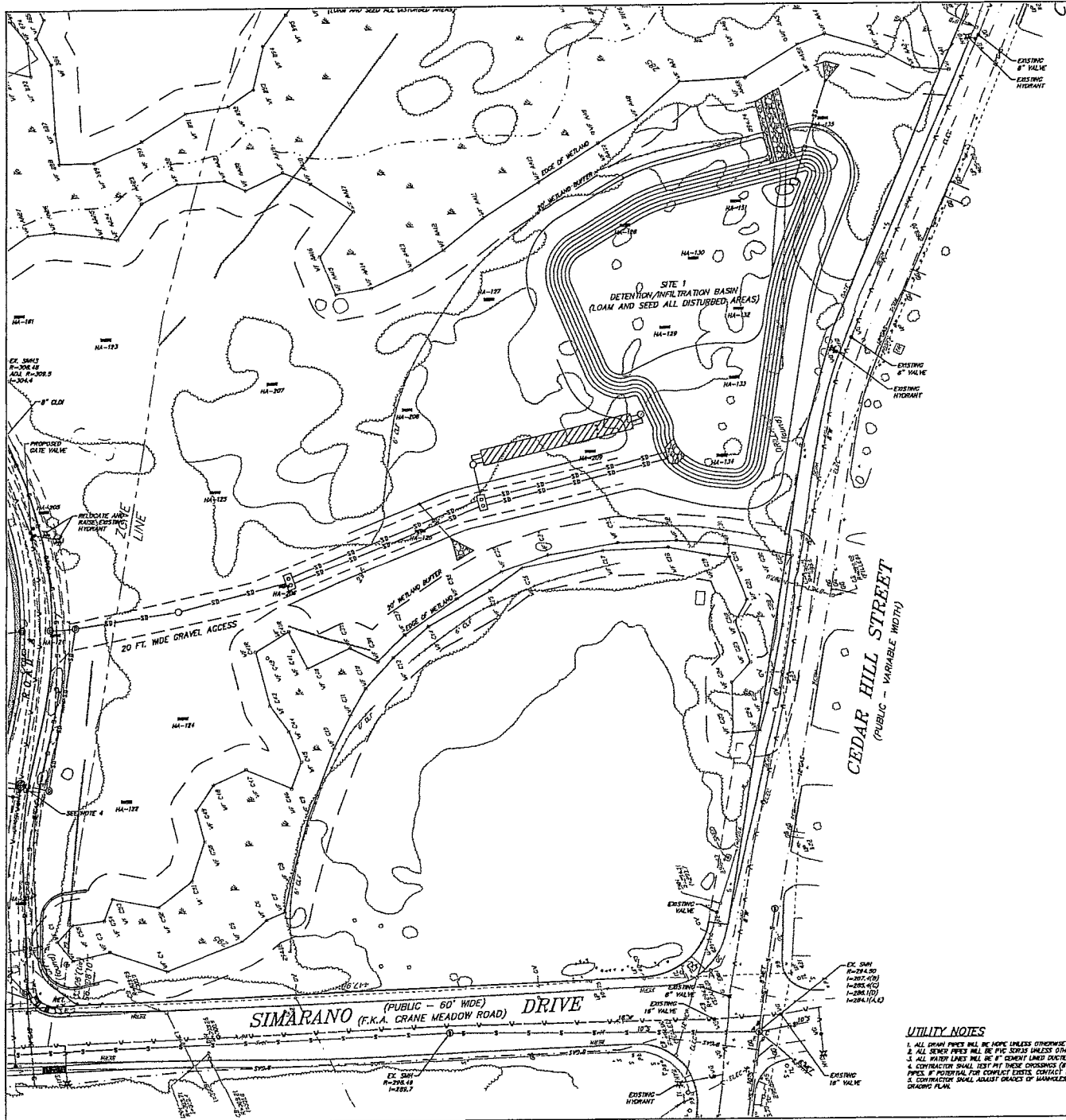
NO.	REV.	DATE	DESCRIPTION
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2	DATE OF SUBMITTAL PER COMMENTS		
3	DATE OF REVISED PER COMMENTS		
4	DATE OF REVISED PER COMMENTS		
5	DATE OF REVISED PER COMMENTS		

UTILITIES PLAN SHEET 2

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DATE: 5/11/12
LAYOUT: UT-2
SHEET: 17 OF 32
PROJECT NO.: 22680





SHEET INDEX
SCALE 1"=60'

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Northborough, Massachusetts 01752

HANCOCK ASSOCIATES
MAP 116 LOT 5.11 & 12

PREPARED FOR
POST ROAD REALTY LLC
11 Unquowa Road
Fairfield, Connecticut 06424

HANCOCK ASSOCIATES
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Land Surveyors
Wetland Scientists
218 Elm St. Northborough, MA 01562
PHONE (508) 480-1111 FAX (508) 480-1111
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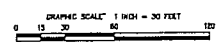
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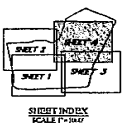
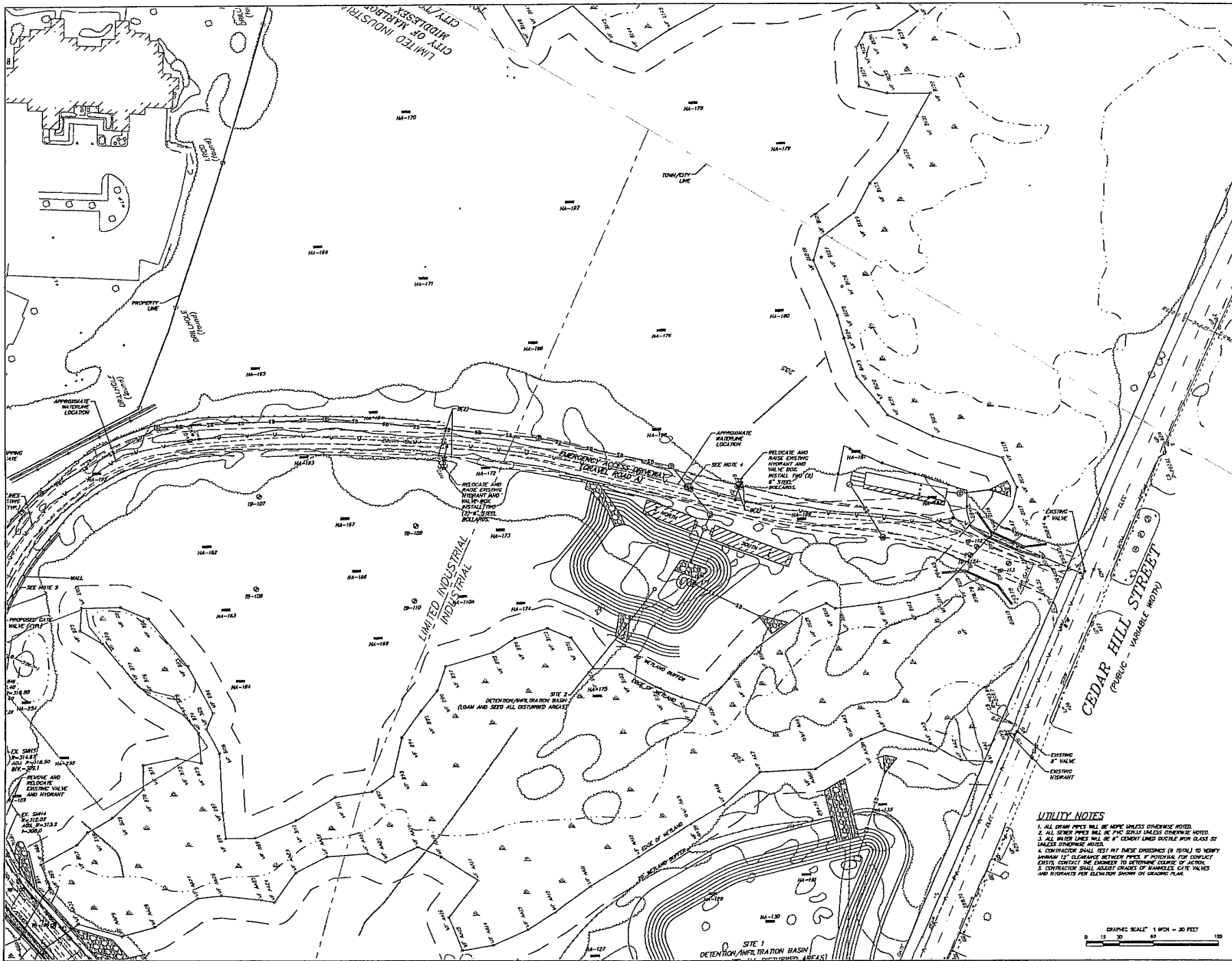
UTILITIES PLAN SHEET 3

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DWG: 22680-UT-3.dwg
LAYOUT: UT-3
SHEET: 18 OF 32
PROJECT NO.: 22680

- UTILITY NOTES**
1. ALL DRAWN PIPES SHALL BE HDPE UNLESS OTHERWISE NOTED.
 2. ALL SINKY PIPES SHALL BE PVC SDR35 UNLESS OTHERWISE NOTED.
 3. ALL WATER LINES SHALL BE 8" CEMENT LINED DUCTILE IRON CLASS 50 UNLESS OTHERWISE NOTED.
 4. CONTRACTOR SHALL VERIFY THESE COORDINATES (X, Y TOTAL) TO VERIFY HORIZONTAL CLEARANCE BETWEEN PIPES. IF POTENTIAL FOR CONFLICT EXISTS, CONTACT THE ENGINEER TO DETERMINE COURSE OF ACTION.
 5. CONTRACTOR SHALL ADJUST GRADES OF MANHOLES, GATE VALVES AND HYDRANTS PER ELEVATION SHOWN ON DRAWING PLAN.





GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Fairborough, Massachusetts 01752

MAP/BOROUGH ADDRESS	
MAP	LOT
116	5, 11 & 12

PREPARED FOR

POST ROAD REALTY LLC

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Wetland Scientists

315 Elm St. HANCOCK, MA 01930
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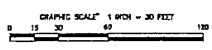
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2	11/17/11	REV. COMMENTS	
3	11/17/11	REV. COMMENTS	
4	11/17/11	REV. COMMENTS	
5	11/17/11	REV. COMMENTS	
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7	11/17/11	REV. COMMENTS	
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UTILITIES PLAN SHEET 4

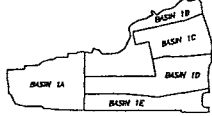
SPECIAL PERMIT AND CITY PLAN APPROVAL
NOT FOR CONSTRUCTION

DWG. 2280-19-01-04
LAYER: UT-4
SHEET: 19 OF 32
PROJECT NO.: 2280

- UTILITY NOTES**
1. ALL DRAIN PIPES SHALL BE HDPE UNLESS OTHERWISE NOTED.
 2. ALL STORM PIPES SHALL BE PVC UNLESS OTHERWISE NOTED.
 3. ALL WATER LINES SHALL BE 8" CEMENT LINED DUCTILE IRON CLASS 50 UNLESS OTHERWISE NOTED.
 4. CONSTRUCTION SHALL REST AT THESE CROSSINGS (8 FT DIA) TO VERIFY MINIMUM 12" CLEARANCE BETWEEN PIPES IF POTENTIAL FOR CONTACT EXISTS. CONTACT THE ENGINEER TO DETERMINE COURSE OF ACTION.
 5. CONSTRUCTION SHALL ADJUST GRADES OF MANHOLES, GATE VALVES AND HYDRANTS PER ELEVATION SHOWN ON GRADING PLAN.



SITE 1
DETENTION/INFILTRATION BASIN
(EXCLUDED AREAS)

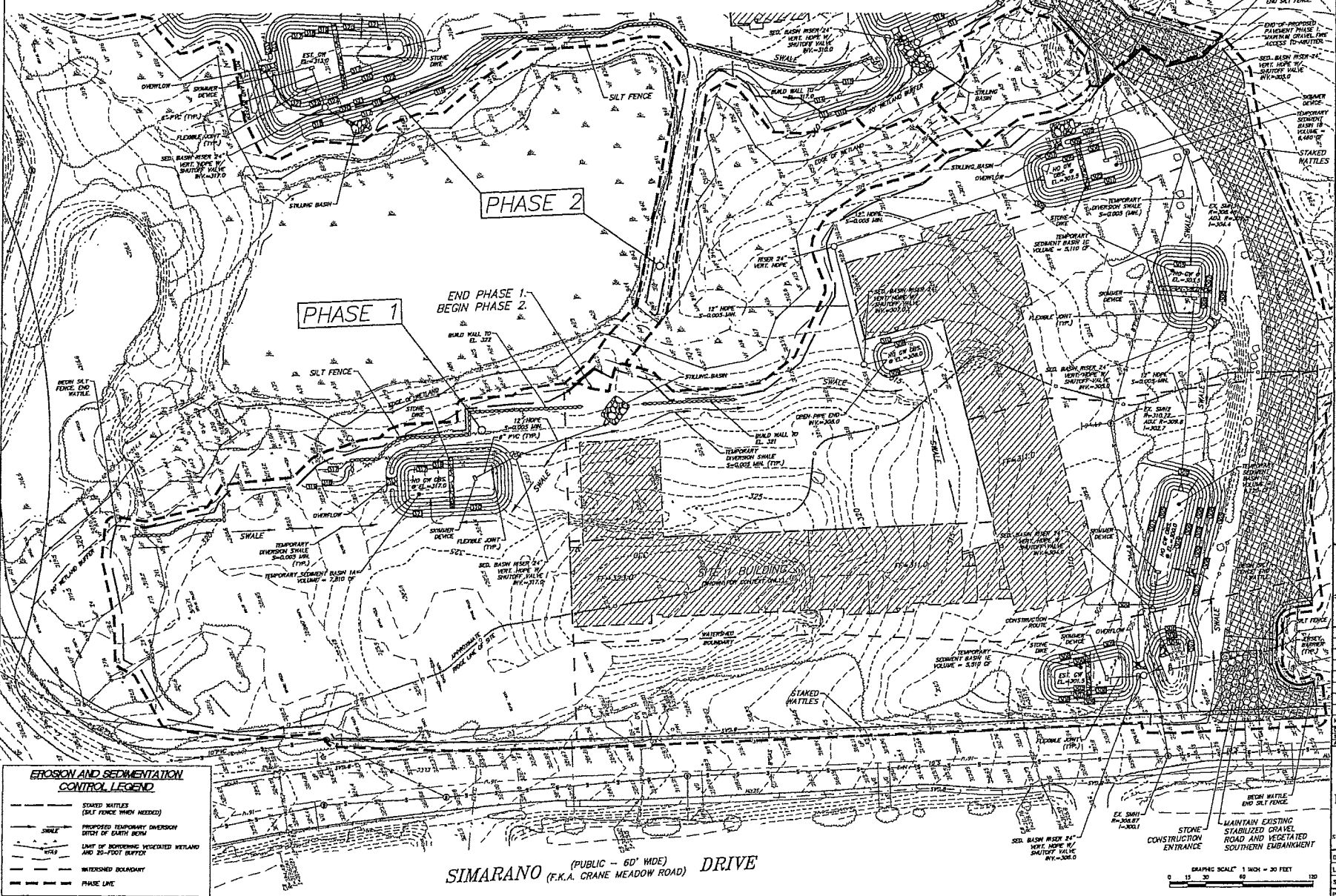


TEMPORARY SEDIMENT BASIN CALCULATIONS
 PEAK FLOW REQUIRED IS BASED ON 1 INCH DEPTH = (1 INCH) INCH/72 INCHES FOR FOOT) x UPSTREAM WATERSHED AREA

Basin ID	UPSTREAM WATERSHED AREA	PEAK FLOW REQUIRED	PEAK FLOW REQUIRED	DESIGN
1A	68,290 SF	6,840 CF	8,810 CF	931 CF
1B	76,870 SF	7,687 CF	9,910 CF	550 CF
1C	84,490 SF	8,449 CF	9,110 CF	370 CF
1D	78,890 SF	7,889 CF	8,520 CF	8,520 CF
1E	47,710 SF	4,771 CF	5,510 CF	1,500 CF

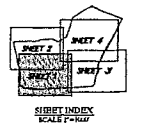
CONSTRUCTION SEQUENCING (PHASE 1)

1. INSTALL FENCE AS SHOWN AND EROSION CONTROL, INCLUDING SILT FENCE AND STRAW MATS.
2. CONSTRUCT SEDIMENT BASIN AND DIVERSION SWALES PER DETAIL.
3. BEGIN WALL INSTALLATION PER APPROVED WALL PLAN INITIALLY TO MAINTAIN SHARP CORNERS AT ALL OPERATIONS AND FILL OPERATIONS. BOUNDARY WALL TO MAINTAIN MINIMUM 2 FT HIGHER THAN FILL SIDE OF WALL. MAINTAIN AND/OR REPAIR SEDIMENT TRAP AND DIVERSION SWALES TO 2% C.
4. INSTALL FLOOD LOCKS ALONG DIVERSION SWALES AS DIRECTED BY SWMP COORDINATOR.
5. RETURN TO WORKING PHASE AS SOON AS POSSIBLE.
6. RETURN AREA BELOW WALL TO NATURAL WITH EROSION CONTROL, SEE DETAIL.
7. PROPOSED RETURNING WALL TO BE CONSTRUCTED UPON AND ADJACENT TO A BUILDING FOOTING SHALL BEGIN TO BE CONSTRUCTED TO MAINTAIN BUILDING, SEWERAGE AND DEPARTMENT OF PUBLIC WORKS, ENGINEERING DIVISION.
8. FENCES SHALL BE MAINTAINED WITH SIGNAGE THROUGHOUT FROM TO RELEASE ABOVE THE SEDIMENT CONTROL LINE.
9. STRAW MATS SHALL BE MAINTAINED WITH FLOOD LOCKS, OR IF ANY.
10. ALL EROSION POINTS MUST BE PRE-APPROVED BY CITY OF MAULBOROUGH APPROVED SWMP MONITOR AND STRICTLY CONFORM TO WALL LINE.
11. WHERE A SILT FENCE AND ORANGE CONSTRUCTION FENCE ARE PROPOSED, AN ORANGE SILT FENCE MAY BE SUBSTITUTED.



EROSION AND SEDIMENTATION CONTROL LEGEND

- STAKED MATTLIES (SILT FENCE WHEN NEEDED)
- SWALE
- PROPOSED TEMPORARY DIVERSION DITCH OF EARTH BORN
- LIMIT OF BROWNING VEGETATED WETLAND AND 50-FOOT BUFFER
- WATERSHED BOUNDARY
- PHASE LINE



GREEN DISTRICT
 107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

MAP 116
 LOT 5, 11 & 12

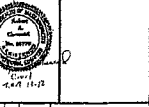
POST ROAD REALTY LLC

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 Land Surveyors
 Wetland Scientists

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NO.	DATE	BY	DESCRIPTION
1	11/17/11	SEE SHEET 1 REV. NOTES	
2	11/17/11	PER COMMENTS	
3	11/17/11	PER COMMENTS	
4	11/17/11	PER COMMENTS	
5	11/17/11	PER COMMENTS	
6	11/17/11	PER COMMENTS	
7	11/17/11	PER COMMENTS	
8	11/17/11	PER COMMENTS	
9	11/17/11	PER COMMENTS	
10	11/17/11	PER COMMENTS	

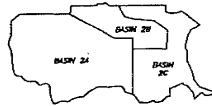
STORMWATER POLLUTION PREVENTION PLAN SHEET 1

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DATE: 11/17/11
 LAYOUT: ESC-1
 SHEET: 20 OF 32
 PROJECT NO.: 22680

SIMARANO DRIVE (PUBLIC - 60' WIDE)
 (F.K.A. CRANE MEADOW ROAD)

GRAPHIC SCALE 1" = 30 FEET
 0 15 30 45 60 75 90 105 120



KEY MAP
NOT TO SCALE

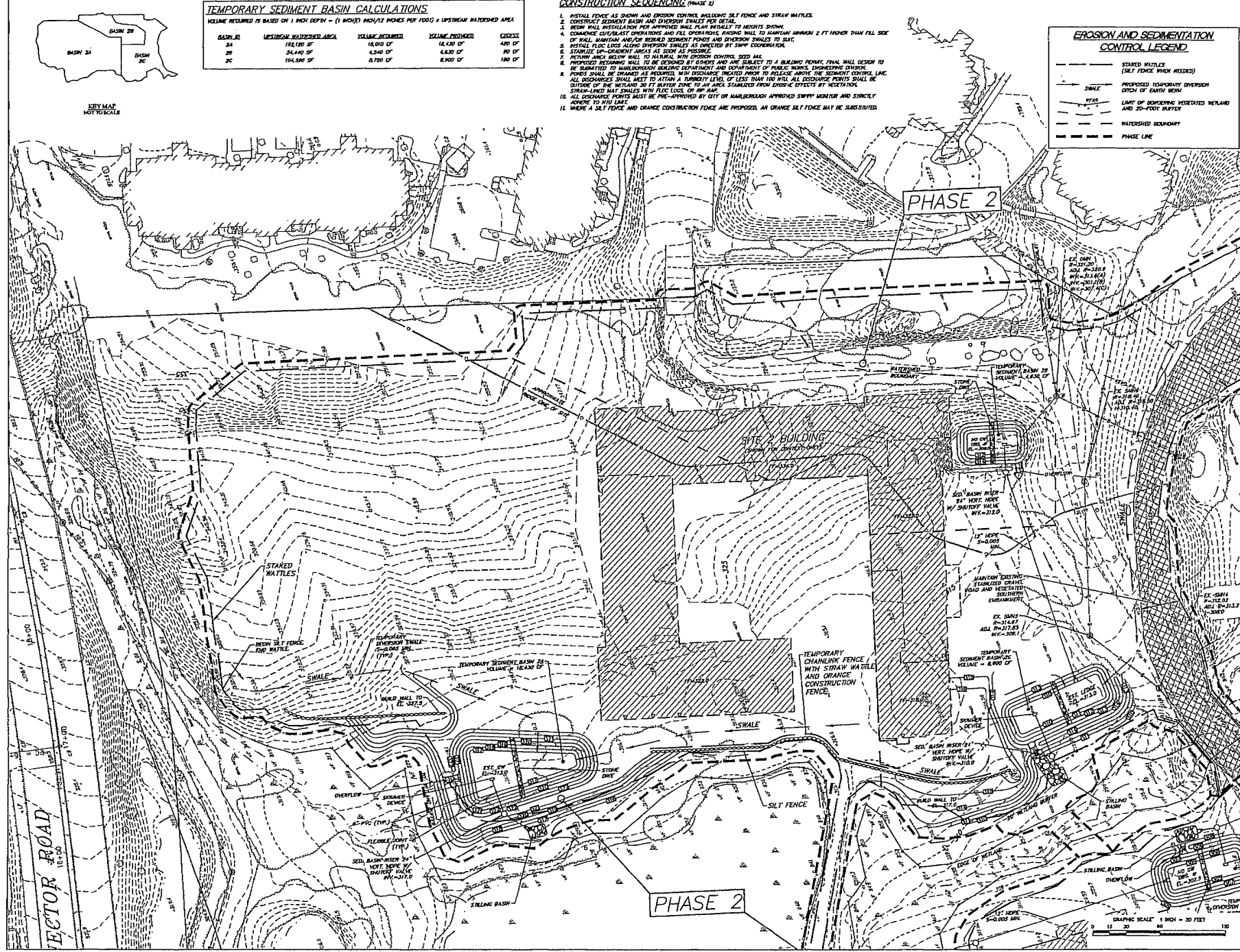
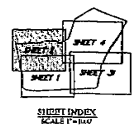
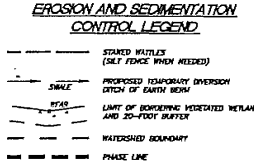
TEMPORARY SEDIMENT BASIN CALCULATIONS

VOLUME RETAINED IS BASED ON 1 INCH DEPTH - (1 HOUR) INFLUENT FLOW RATE FOR F001 & UPSTREAM WATERSHED AREA

Basin ID	UPSTREAM WATERSHED AREA	VOLUME REQUIRED	VOLUME PROVIDED	EXCESS
24	182,100 SF	18,900 CF	18,430 CF	470 CF
28	24,440 SF	4,540 CF	4,428 CF	112 CF
2C	104,590 SF	8,750 CF	8,800 CF	50 CF

CONSTRUCTION SEQUENCING (PHASE 2)

1. INSTALL FENCE AS SHOWN AND EROSION CONTROL INCLUDING SILT FENCE AND STRAW MATS.
2. CONSTRUCT SEDIMENT BASIN AND DIVERSION SHOULDER PER DETAIL.
3. COMMAND CUT/SLOPE OPERATIONS AND FILL OPERATIONS BEGINS WALL TO MAINTAIN MINIMUM 2 FT FINDER THAN FILL SOLE OF WALL. MAINTAIN AND/OR REBUILD SEDIMENT POND AND DIVERSION SHOULDER AS DETAIL.
4. MAINTAIN FLOOD LOSS ALONG DIVERSION SHOULDER AS DIRECTED BY SWMP COORDINATOR.
5. STABILIZED RETAINMENT WALL AT SCOP AS NECESSARY TO A BUILDING PERMIT. FINAL WALL DESIGN TO BE SUBMITTED TO MAJOR/REGIONAL BOARDING DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS, ENGINEERING DIVISION.
6. FENCES SHALL BE ORANGED AS PROVIDED WITH PROXIMITY INDICATED PRIOR TO PLACING ABOVE THE SEDIMENT CONTROL LINE. ALL ORCHARDERS SHALL MEET TO ATTAIN A THRESHOLD LEVEL OF LESS THAN 100 WITH ALL ORCHARDERS POINTS SHALL BE OUTSIDE OF THE WETLAND 30 FT BUFFER ZONE TO AN AREA DEMONSTRATED FROM PROXIMITY INDICATED BY METERS. STRAW-LINED MAT SHALLS WITH FLOOD LOSS ON SWAMP.
7. ALL ORCHARDERS POINTS MUST BE PRE-APPROVED BY CITY OF MAJOR/REGIONAL APPROVED SWMP MONITOR AND STRICTLY ADHERE TO HIS LAKE.
8. MAINTAIN A SILT FENCE AND ORANGE CONSTRUCTION FENCE ARE PROPOSED. AN ORANGE SILT FENCE MAY BE SUBSTITUTED.



GREEN DISTRICT

107
SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

MAP SHEET
116

DATE
5.11.12

PREPARED FOR

POST ROAD REALTY LLC

11 Unquowa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

210 ELM ST. METHUEN, MA 01755
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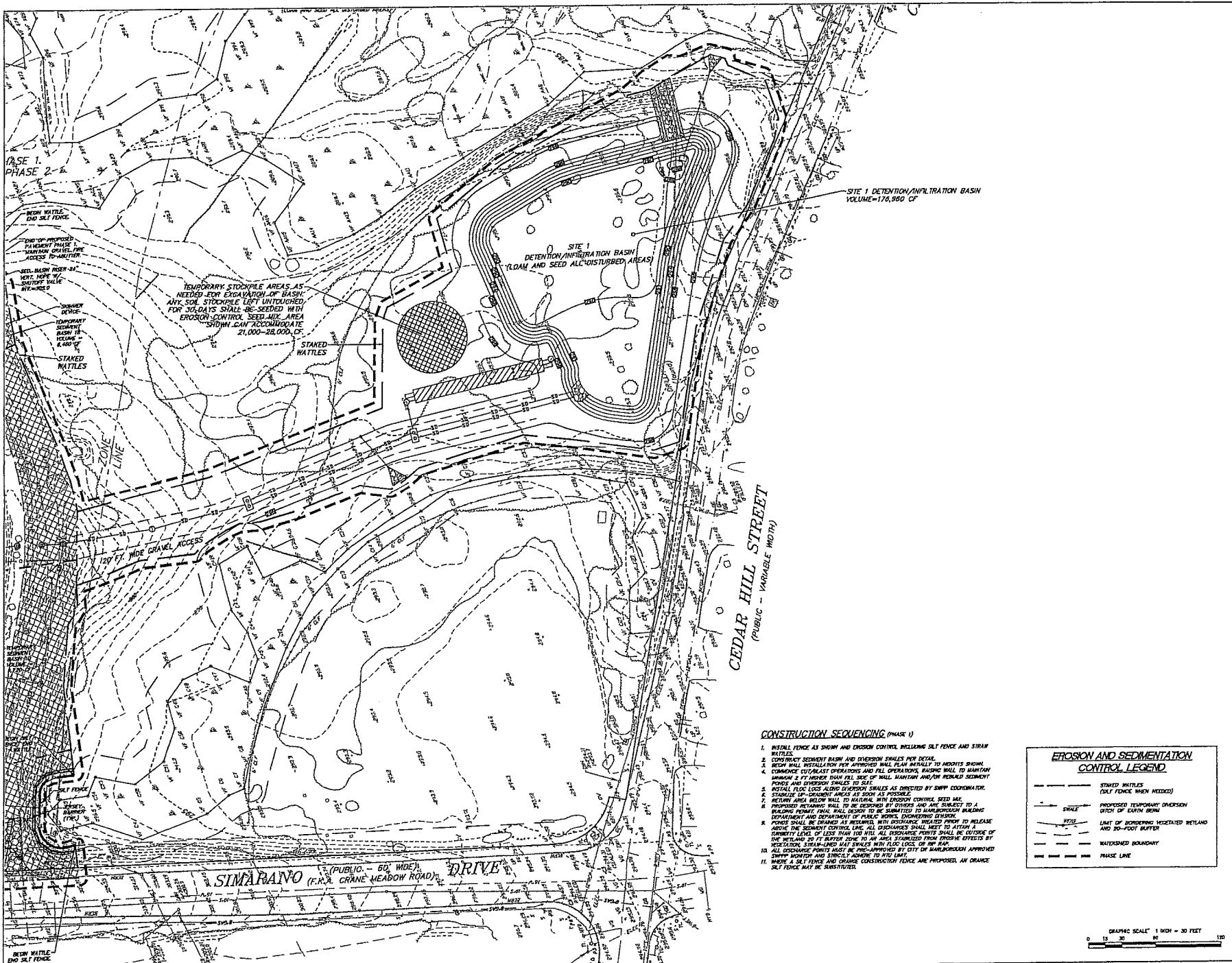
NO.	DATE	BY	DESCRIPTION
1	05/11/12	SA	REV. NOTES
2	05/11/12	SA	FOR COMMENTS
3	05/11/12	SA	FOR COMMENTS
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5	05/11/12	SA	FOR COMMENTS
6	05/11/12	SA	FOR COMMENTS
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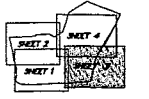
STORMWATER POLLUTION PREVENTION PLAN SHEET 2

SPECIAL PERMIT AND SETBACK APPROVAL
NOT FOR CONSTRUCTION

DATE: 05/11/12
LAYOUT: ESC-2
SHEET: 21 OF 32
PROJECT NO.: 22680

ESC-2





SHEET INDEX
SCALE 1"=100'

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Maldenborough, Massachusetts 01752

MAX. 116' L&T. 5.11 & 12

PREPARED FOR:


POST ROAD REALTY LLC

11 Unquowa Road
Fairfield, Connecticut 06824

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Land Surveyors
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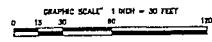
CONSTRUCTION SEQUENCING (PHASE 1)

1. INSTALL FENCE AS SHOWN AND EROSION CONTROL INCLUDING SILT FENCE AND STRAW WATTLES.
2. CONSTRUCT SEDIMENT BASIN AND EROSION SHOULDS PER DETAIL.
3. BEGIN WALL INSTALLATION PER APPROVED WALL PLAN INITIALLY TO PROVIDE DRAINAGE.
4. COMMENCE CUT/SLOPE OPERATIONS AND FILL OPERATIONS, RAISING WALL TO MINIMUM 3 FT ABOVE DRAIN FILL SIDE OF WALL. MAINTAIN AND/OR REBUILD SEDIMENT POND AS EROSION SHOULDS TO SOIL.
5. INSTALL FLOC LOGS ALONG EROSION SHOULDS AS DIRECTED BY SNIPP COORDINATOR.
6. STABILIZE UP-DRAIN SHOULDS AS SOON AS POSSIBLE.
7. VEGETATE AREA BELOW WALL TO NATURAL WITH EROSION CONTROL SEED MAT.
8. PROPOSED RETAINING WALL TO BE DESIGNED BY ENGINEER AND BE SUBJECT TO A BUILDING PERMIT FINAL WALL DESIGN TO BE SUBMITTED TO HANDBROOKSHAM BUILDING DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION.
9. PONDING SHALL BE DRAINED AS INCLUDING WITH DISCHARGE TREATED PONDING TO RELEASE ABOVE THE SEDIMENT CONTROL LINE. ALL DISCHARGES SHALL MEET TO AT LEAST A TURBIDITY LEVEL OF LESS THAN 100 UNTIL DISCHARGE POINTS SHALL BE OUTSIDE OF THE WETLAND 25 FT BEYOND TO BE IN WALL STABILIZED FROM EROSION EFFECTS BY VEGETATION. STRAIN-LINED MAT SHOULDS WITH FLOC LOGS ON RIP RAP.
10. ALL DISCHARGE POINTS MUST BE PRE-APPROVED BY CITY OF MALDENBOROUGH APPROVED SWPPP MONITOR AND STRICTLY ADHERE TO RTU LIMIT.
11. WHERE A SILT FENCE AND GRASS CONSTRUCTION FENCE ARE PROPOSED, AN ORANGE SILT FENCE MAY BE SUBSTITUTED.

EROSION AND SEDIMENTATION CONTROL LEGEND

- STRAW WATTLES (SILT FENCE WHEN NEEDED)
- SILT FENCE
- PROPOSED TEMPORARY OVERSIGHT DETOUR OF EARTH BORN
- LIMIT OF BOUNDING VEGETATED WETLAND AND 30-FOOT BUFFER
- WATERSHED BOUNDARY
- PHASE LINE

GRAPHIC SCALE 1 INCH = 30 FEET



STORMWATER POLLUTION PREVENTION PLAN SHEET 3

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DWG 2280-PP-83.dwg
LAYOUT: ESC-3
SHEET: 32 OF 32
PROJECT NO: 22680

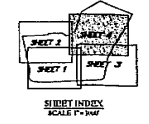
ESC-3

CONSTRUCTION SEQUENCING (PHASE 2)

1. INITIAL FENCE AS SHOWN AND EROSION CONTROL INCLUDING SILT FENCE AND STRAIN WATTLES.
2. TEMPORARY DETENTION BASIN AND OVERFLOW SHALES PER DETAIL.
3. BERM WALL INSTALLATION PER APPROVED PLAN WITH 10' HEIGHTS SHOWN.
4. CONDUIT INSTALLATION OPERATIONS AND FILL OPERATIONS. BASKING SHALL MAINTAIN MINIMUM 2 FT HIGHER THAN FILL SIDE OF WALL. MAINTAIN ANY/ON REMAINING SEDIMENT PILES AND OVERFLOW SHALES TO SILE.
5. INITIAL FILL LOADS ALONG OVERFLOW CHANNELS AS DIRECTED BY CIVIL ENGINEER.
6. STABILIZE UP-DRAINAGE AREAS AS SOON AS POSSIBLE.
7. RETURN AREA BELOW WALL TO AN AREA WITH EROSION CONTROL. SEE DETAIL.
8. PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS AND ARE SUBJECT TO A BUILDING PERMIT SHALL DESIGN TO BE SUBMITTED TO HANBOROUGH AND DEPARTMENT OF PUBLIC WORKS, ENGINEERING DIVISION.
9. FENCES SHALL BE DRAINED AS REQUIRED, WITH DISCHARGE TREATED PRIOR TO RELEASE ABOVE THE SEDIMENT CONTROL LINE. ALL DISCHARGES SHALL MEET TO AT LEAST A TURBIDITY LEVEL OF LESS THAN 100 HILL. ALL DISCHARGE POINTS SHALL BE OUTSIDE OF THE WETLAND 30 FT BUFFER ZONE TO AN AREA STABILIZED FROM EROSION EFFECTS BY VEGETATION.
10. STRIP-LINED BULK CHAINS WITH FILL LOADS ON ONE SIDE.
11. ALL DISCHARGE POINTS MUST BE PRE-APPROVED BY CITY OF HANBOROUGH APPROVED SWMP MONITOR AND STRICTLY ADHERE TO 100 LIMIT.
12. WHERE A SILT FENCE AND ORANGE CONSTRUCTION FENCE ARE PROPOSED, AN ORANGE SILT FENCE MAY BE SUBSTITUTED.

EROSION AND SEDIMENTATION CONTROL LEGEND

- STAKED WATTLES (SILT FENCE WHEN NEEDED)
- PROPOSED TEMPORARY OVERFLOW SECTION OF EARTH BERM
- SHALE
- STRAIN
- LIMIT OF BOUNDING VEGETATED WETLAND AND 20-FOOT BUFFER
- WATERSHED BOUNDARY
- PHASE LINE



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

MAP DATE: 11/16
JOB NO: 5.11.R.12

PREPARED FOR:
POST ROAD REALTY LLC

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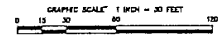
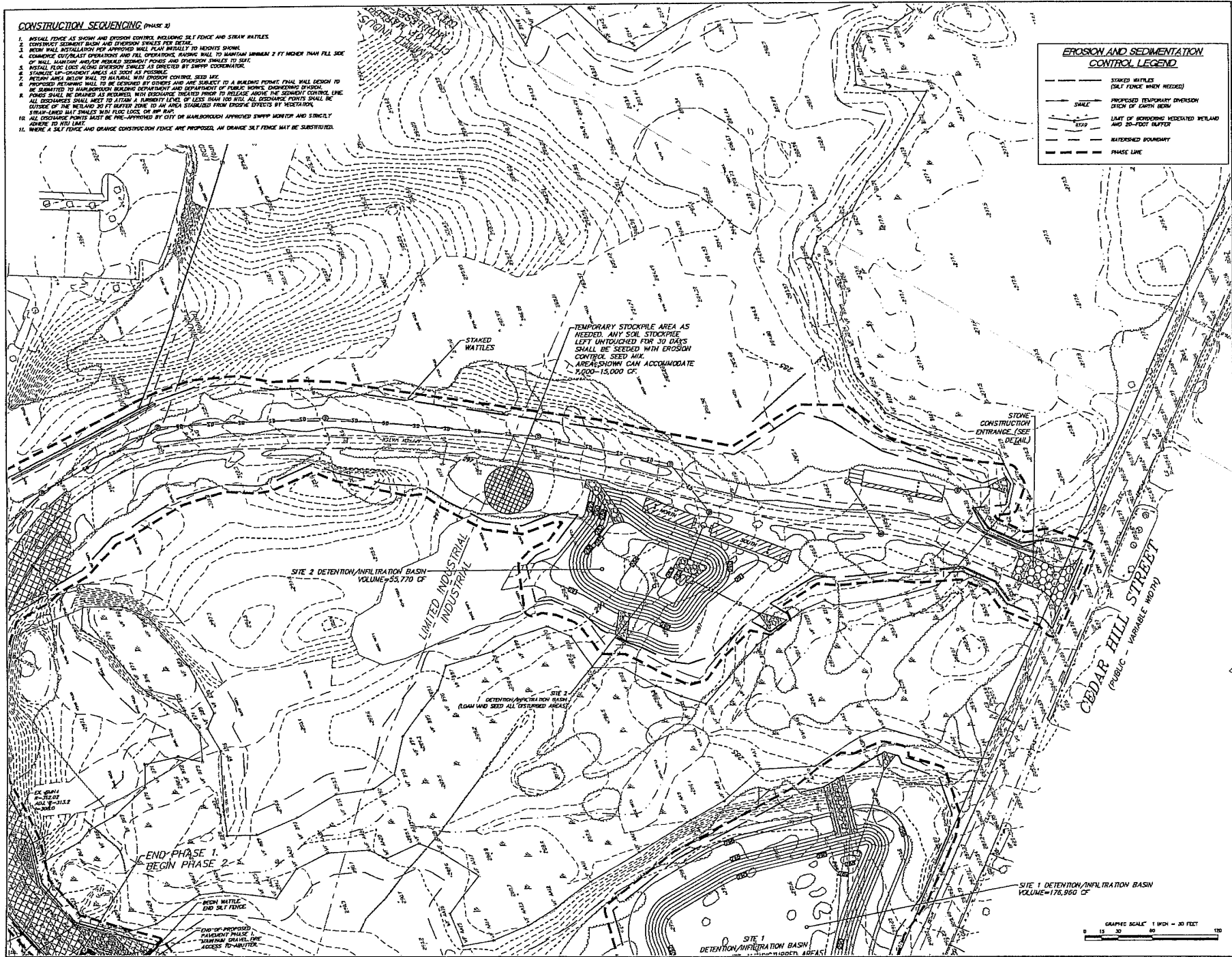


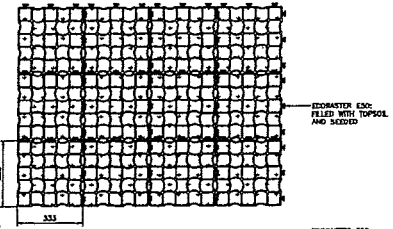
NO.	DATE	BY	REVISION
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10	11/16/12	ESC	REV. MOND

STORMWATER POLLUTION PREVENTION PLAN SHEET 4

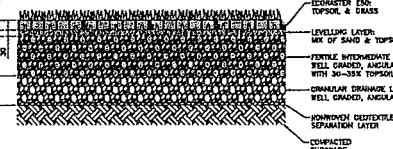
SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

ESC-4
SHEET: 23 OF 32
PROJECT NO.: 22680

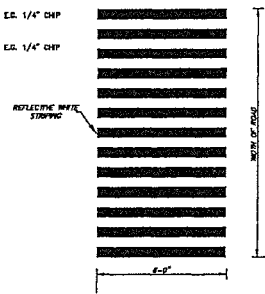




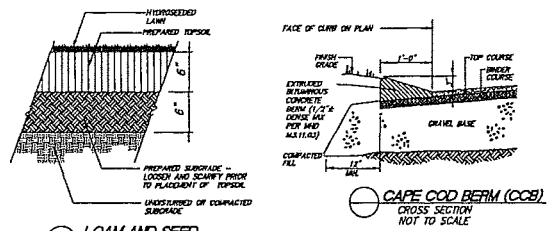
- Ecoraster E30 NOTES:**
- THICKNESS OF FERTILE INTERMEDIATE LAYER & DRAINAGE LAYER DEPENDENT UPON SPECIFIC SITE & LOADING CONDITIONS.
 - 2" CMP CLEAR OR OTHER SUITABLE CLEAR STONE CAN BE USED FOR DRAINAGE LAYER.
 - TYPICAL SEED MIX:
 - 45% CHIPPING, RED FESCUE,
 - 20% BALL FESCUE,
 - 15% PERENNIAL RYE GRASS, AND
 - 20% REDUCED BUILT GRASS, WITH
 - LONG TERM FERTILIZER.
 - SEED MIX SHOULD BE MODIFIED TO SUIT LOCAL CONDITIONS.
 - DRAINAGE SYSTEM OF THE PORTABLE PAVEMENT SYSTEM SHOULD BE DESIGNED TO ACCOMMODATE EXPECTED INFILTRATION RATES, STORAGE CAPACITIES, OUTLET FLOW RATES, AND OTHER SITE SPECIFIC CONDITIONS.
 - SUBGRADE SHOULD BE SLOPED TO AID IN DRAINAGE.
 - SEE ECORASTER GREEN INSTALLATION MANUAL FOR FURTHER INFORMATION ON LAYERS.
 - ALL DIMENSIONS IN MM UNLESS STATED OTHERWISE.
 - THIS DRAWING IS FOR CONCEPTUAL DESIGN PURPOSES ONLY, NOT FOR CONSTRUCTION.



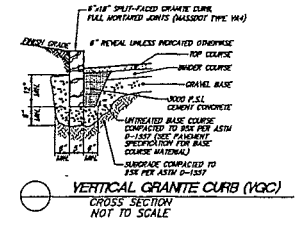
ECORASTER E30 GRASS PAVER FOR FIRE LANE
NOT TO SCALE



CROSSWALK
NOT TO SCALE



CAPE COD BERM (CCB)
CROSS SECTION NOT TO SCALE



VERTICAL GRANITE CURB (VGC)
CROSS SECTION NOT TO SCALE

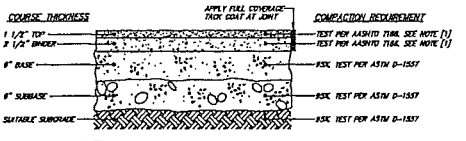
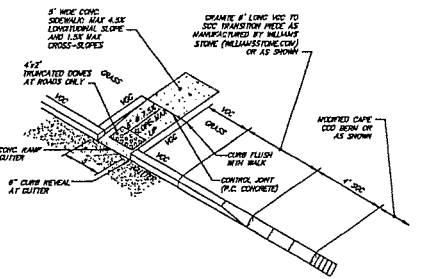


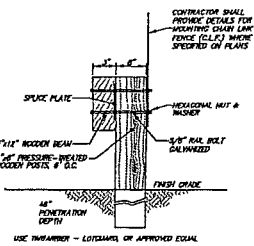
TABLE: SPECIFICATION AND MAXIMUM AGGREGATE OF PARTICLE SIZE (%)

LAYER	SPECIFICATION	MAXIMUM AGGREGATE OF PARTICLE SIZE (%)
TOP - BITUMINOUS CONCRETE	MSD ALLIED CLASS 1 TYPE A-1	1/2
BINDER - BITUMINOUS CONCRETE	MSD ALLIED CLASS 1 TYPE A-1	1
BASE - POROSE GRADED CRUSHED STONE	MSD ALLIED TYPE C	1 1/2
SUBGRADE - GRAVEL BORROW	MSD ALLIED TYPE C	2

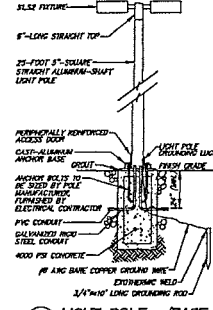
BITUMINOUS CONCRETE PAVEMENT
TYPICAL CROSS SECTION NOT TO SCALE



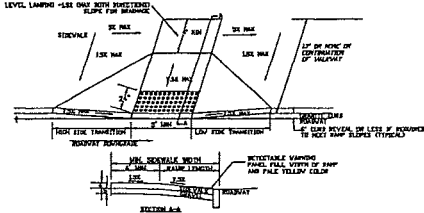
TYPE D ACCESSIBLE CURB RAMP (AR-D) - PEDESTRIAN RAMPS - ISOMETRIC VIEW
NOT TO SCALE



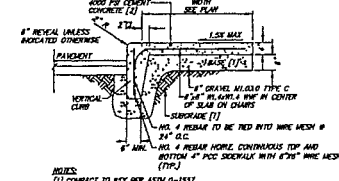
WOOD GUARDRAIL
TYPICAL CROSS SECTION NOT TO SCALE



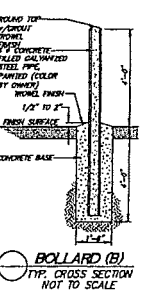
LIGHT POLE W/BASE
NOT TO SCALE



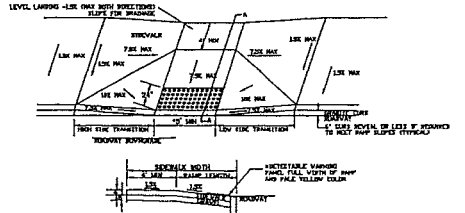
TYPE A ACCESSIBLE CURB RAMP (AR-A) - WHEELCHAIR RAMPS - GREATER THAN 13'-0" SIDEWALK
NOT TO SCALE



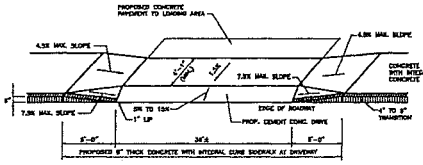
SIDEWALK WITH INTEGRATED CURB (ICC)
CROSS SECTION NOT TO SCALE



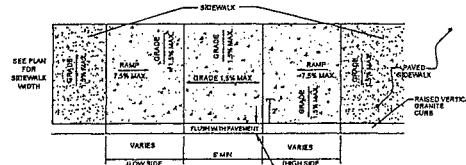
BOLLARD (B)
TYP. CROSS SECTION NOT TO SCALE



TYPE B ACCESSIBLE CURB RAMP (AR-B) - PEDESTRIAN RAMPS - SIDEWALK WIDTH 6.5' AND GREATER
NOT TO SCALE



LOADING AREA - REAR BUILDING ONE
CROSS SECTION NOT TO SCALE



TYPE AR-C ACCESSIBLE CURB RAMP (AR-C) - PEDESTRIAN RAMPS
NOT TO SCALE

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP 116
LIST 5, 11 & 12

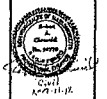
POST ROAD REALTY LLC

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HANCOCK ASSOCIATES

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Land Surveyors
Wetland Scientists

310 ELM ST. MARLBOROUGH, MA 01752
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NO.	DATE	BY	DESCRIPTION
1	11/12/18	SEE SHEET 1	REV. NOTES
2	11/12/18	SEE SHEET 1	REV. COMMENTS
3	11/12/18	SEE SHEET 1	REV. COMMENTS
4	11/12/18	SEE SHEET 1	REV. COMMENTS
5	11/12/18	SEE SHEET 1	REV. COMMENTS
6	11/12/18	SEE SHEET 1	REV. COMMENTS
7	11/12/18	SEE SHEET 1	REV. COMMENTS
8	11/12/18	SEE SHEET 1	REV. COMMENTS
9	11/12/18	SEE SHEET 1	REV. COMMENTS
10	11/12/18	SEE SHEET 1	REV. COMMENTS

PAVEMENT DETAILS

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

PROJECT NO. 22580

D-1

NOTES - GENERAL PERMIT PURPOSE

THIS PLAN HAS BEEN PREPARED TO PROVIDE THE CONTRACTOR WITH GUIDANCE DURING THE CONSTRUCTION PROCESS THAT WILL MAINTAIN THE OPERATION OF PRODUCTS OF EROSION AND THE NEED FOR SEDIMENT CONTROL. WHILE SEDIMENT CONTROL IS AN ESSENTIAL PART OF ANY EROSION CONTROL PLAN, THIS PLAN EMPHASIZES THE USE OF PROPER EROSION CONTROL TECHNIQUES THAT WILL LESSEN THE NEED FOR SEDIMENT TREATMENT DEVICES.

THIS PLAN IS INTENDED TO MEET THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS OF SECTION 402 OF THE FEDERAL CLEAN WATER ACT ADMINISTERED BY THE USE EPA, AND TO SERVE AS A COMPLIANCE TO THE ORDER OF CONDITIONS ISSUED UNDER THE MASSACHUSETTS WETLAND PROTECTION ACT AND APPLICABLE WETLAND BYLAWS.

NOTES - REQUIREMENTS

THIS PLAN IS TO SERVE AS THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (PMP) THAT PLAN WILL BE ACCEPTED AS REQUIRED BY UNANTICIPATED CHANGES IN SITE CONDITIONS CAUSED BY THE OPERATION OF CONTROLS OR UNUSUAL CONDITIONS SHALL BE POSTED ON SITE IN A VISIBLE LOCATION AND PROTECTED FROM THE ELEMENTS.

THE WRITER HEREBY WARRANTS THAT THE INFORMATION ON THIS PLAN WAS OBTAINED FROM REASONABLE INVESTIGATION AND THAT THE INFORMATION IS TRUE AND CORRECT TO THE BEST OF HIS KNOWLEDGE AND BELIEF.

A COPY OF THE NPDES SUBMITTAL, INCLUDING THIS PLAN, THE PERMIT NUMBER, THE ORDER OF CONDITIONS AND INSPECTION RECORDS ARE TO BE KEPT ON SITE OR AT A DESIGNATED LOCATION AND TO BE MADE AVAILABLE TO INTERESTED PARTIES.

THE EPA HAS DESIGNATED THE SITE OPERATOR AS THE PARTY THAT HAS DAY TO DAY OPERATIONAL CONTROL OVER THE EROSION CONTROL MEASURES AND NECESSARY TO OBTAIN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE SITE OR OTHER PERMIT CONDITIONS. HANDS ON ASSOCIATES SHALL NOT BE CONSIDERED THE SITE OPERATOR OR SWPPP COORDINATOR.

NOTES - INSPECTION REQUIREMENTS

THE SITE OPERATOR OR QUALIFIED CONSULTANT SHALL HAVE INSPECTION OF THE SITE OPERATOR WILL HAVE KNOWLEDGE OF PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL AND WILL PROVIDER SERVICES TO ASSIST CONFORMANCE AT THE CONSTRUCTION SITE THAT COULD IMPACT STORMWATER QUALITY. THE INSPECTOR WILL ASSESS THE EFFECTIVENESS OF ANY SEDIMENT CONTROL MEASURES SELECTED TO CONTROL THE QUALITY OF STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.

INSPECTIONS BY THE INSPECTOR SHALL INCLUDE ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION ACTIVITIES. INSPECTIONS SHALL TAKE PLACE AT LEAST ONCE EVERY 14 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5" OF RAIN OR GREATER.

- THE FOLLOWING MINIMUM CRITERIA WILL BE OBSERVED DURING AN INSPECTION:
1. THE DATE OF INSPECTION
 2. NAME, TITLE AND QUALIFICATIONS OF THE SITE OPERATOR MAKING THE INSPECTION
 3. WEATHER CONDITIONS INCLUDING PRECIPITATION EVENTS BETWEEN THE DATE OF THE LAST OBSERVATION AND WEATHER
 4. ANY DISCHARGE HAS OCCURRED
 5. LOCATION OF DISTURBANCES
 6. STATUS OF EROSION CONTROL DEVICES AND SEDIMENTATION MANAGEMENT STRATEGIES
 7. LOCATION OF ANY FAILED DEVICES OR SYSTEMS PROPOSED
 8. CONFORMANCE TO SWPPP OR A NEED FOR AMENDMENTS AND HOW TO CORRECT THEM
 9. DATES NEED TO BE REDISCOVERED WHEN MAJOR DRAWING CHANGES OCCUR, WITH CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED.

INSPECTIONS MAY BE REDUCED TO ONCE A MONTH IF:

1. ENTIRE SITE IS TEMPORARILY STABILIZED
2. WEATHER IS UNUSUALLY DRY TO WEATHER CONDITIONS

AFTER THE SITE IS STABILIZED, INSPECTIONS ARE REQUIRED AT MONTHLY INTERVALS FOR A PERIOD OF 3 YEARS STARTING FROM THE DATE THAT 75% TO 90% OF THE SITE HAS BECOME COVERED BY VEGETATED GROUND.

Site Operator/Inspector - To be determined

EROSION DISCHARGE - STANDARD 10

STORMWATER MANAGEMENT SYSTEMS AND EROSION CONTROL MEASURES ARE NOT DESIGNED TO MANAGE THE FOLLOWING EROSION DISCHARGES:

1. SANITARY WASTEWATER
2. EFFLUENT FROM SEPTIC TANKS
3. FLOOR DRAINS
4. CAR WASH WASTEWATER
5. DISPOSAL OF OIL, OTHER HYDROCARBONS, AND LIQUID SOLID WASTES
6. SPILLS FROM VEHICLE ACCIDENTS
7. SPILLS FROM FUELING OPERATIONS
8. AND PROPER DISPOSAL OF AUTO AND HOUSEHOLD TOXICS

WHILE NONE OF THESE DISCHARGES EXCEPT HARBOR AND SHOULD BE PRESENT AT THIS SITE, THE OPERATOR MUST BE AWARE OF EROSION DISCHARGES AT DISCHARGE LOCATIONS. THE OPERATOR MUST FIND THE SOURCE AND REMOVE OR CORRECT THE EROSION DISCHARGE AND DOCUMENT THE ACTIONS TAKEN.

GENERAL CONSTRUCTION REQUIREMENTS

1. PLANNING OF FILLINGS OF HEMBLES SHALL NOT TAKE PLACE WITHIN 100' OF RETAINAGE.
2. NO ON-SITE DISPOSAL OF SOLID WASTE INCLUDING STAMPS/COINAGES SHALL BE ALLOWED.
3. NO MATERIALS SHALL BE DEPOSITED ON THE WETLANDS OR INTO EXISTING OR PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE WASH-WATER WILL DRAIN DIRECTLY INTO WETLANDS OR EXISTING STORMWATER COLLECTION SYSTEMS.
4. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, WHICH SHALL INCLUDE STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS AS NEEDED.
5. THE CONTRACTOR SHALL ESTABLISH A WATER RESERVE TO SUPPLY A "WATER TROUGH" OR OTHER MEANS TO PROVIDE WASTEWATER FOR DUST CONTROL. WATER SHALL NOT BE WASTED FROM WETLAND AREAS.
6. EQUIPMENT AND MATERIALS SHALL BE STORED BEYOND THE 100' BUFFER ZONE.
7. FUELS, LUBRICANTS, ANTIFREEZE, AND OTHER SIMILAR MATERIALS SHALL NOT BE STORED ON SITE. ALL FLAMMABLE AND POTENTIALLY HAZARDOUS WASTE SUBSTANCES SHALL BE PUT IN LEAK PROOF CONTAINERS FOR DISPOSAL OFF-SITE ON THE DAY GENERATED. PROVISIONS FOR SPILL CONTROL AND CONTAINMENT SHALL BE PRESENT AND INCLUDE A FLAT OPEN CONTAINER TO BE PLACED UNDER EQUIPMENT, OIL-ABSORBENT MATERIALS, AND PROTECTIVE SHEETS TO SEAL OIL/DRAIN BASIN DRAINS.
8. SANITARY FACILITIES SHALL BE LOCATED IN THE EQUIPMENT STORAGE AREA. THEY SHALL BE BEHIND AN IMPERVIOUS BARRIER AND BE PROPERLY PROTECTED FROM OVERFLOWING.
9. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR BRUTE DISPOSAL.
10. GOOD HOUSEKEEPING & SPILL CONTROL PRACTICES WILL BE FOLLOWED DURING CONSTRUCTION TO MINIMIZE CONTAMINATION FROM ITEMS LOCATED IN TABLE 2.

TABLE 2

POTENTIAL CONSTRUCTION SITE CONTAMINANTS	THREAT NAME	CHEMICAL/PHYSICAL STATE	STORM WATER POLLUTANTS
PESTICIDES	VARIOUS COLORS TO GREEN/BLACK	SOLID/PELLETS/GRANULES	ORGANOPHOSPHORUS, ORGANOSULFIDES, ORGANOCARBON
FERTILIZERS	LIQUID OR SOLID GRANULES	NITROGEN, PHOSPHORUS	NITROGEN, PHOSPHORUS
CLEANING SOLUTIONS	COLORLESS/WHITE OR YELLOW-GREEN LIQUID	ORGANOPHOSPHORUS, ORGANOSULFIDES, ORGANOCARBON	ORGANOPHOSPHORUS, ORGANOSULFIDES, ORGANOCARBON
WASTEWATER FROM CONSTRUCTION EQUIPMENT MAINTENANCE	WATER	SOL, OIL, GREASE, SLUDGES	SOL, OIL, GREASE, SLUDGES
METALLIC OILS/FLUIDS	BROWN OIL	MINERAL OIL	MINERAL OIL
GASOLINE	CLEAR/COLORED LIQUID	PETROLEUM HYDROCARBON	PETROLEUM HYDROCARBON
DIESEL FUEL	CLEAR/BLACK-GREEN TO YELLOW LIQUID	PETROLEUM HYDROCARBON	PETROLEUM HYDROCARBON
ANTIFREEZE	GREEN/YELLOW LIQUID	ETHYLENE GLYCOL, PROPYLENE GLYCOL, HEAVY METALS, COPPER/SILICA, ETC.	ETHYLENE GLYCOL, PROPYLENE GLYCOL, HEAVY METALS, COPPER/SILICA, ETC.
EROSION	SOLID PARTICLES	SOIL, SEDIMENT	SOIL, SEDIMENT

COMPLETION OF PROJECT

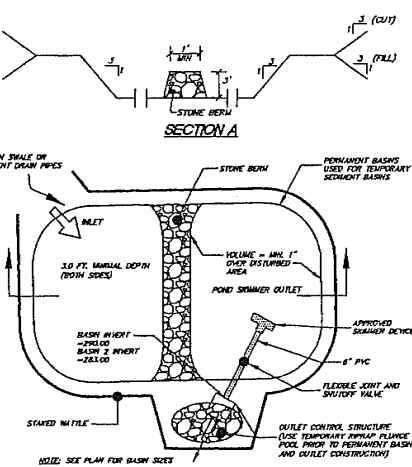
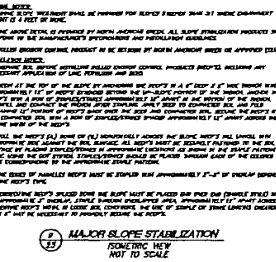
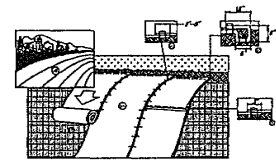
THE PROJECT WILL NOT BE COMPLETED UNTIL ALL SURFACES ARE EROSION RESISTIVE, GROWN GRASSES, AND MEASURED ARE IN WORKING/PLANTING CONDITIONS.

TERMINATION

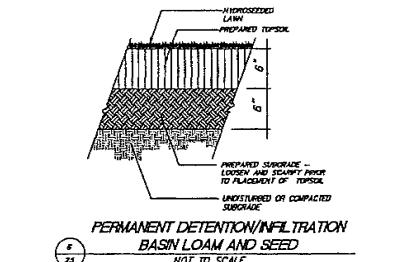
- A NOTICE OF TERMINATION (NOT) FORM SHALL BE SUBMITTED BY THE SITE OPERATOR WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
1. FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE OPERATOR IS RESPONSIBLE.
 2. ANOTHER OPERATOR HAS ASSUMED CONTROL, ACCORDING TO APPROVED SECTION 110 OF THE NPDES COP, OVER ALL AREAS OF THE SITE THAT HAVE BEEN STABILIZED.
 3. COVERAGE TAKEN BY AN INDIVIDUAL OR ALTERNATE GENERAL NPDES PERMIT HAS BEEN OBTAINED.
 4. TEMPORARY STABILIZATION HAS BEEN ESTABLISHED.

RECORDS

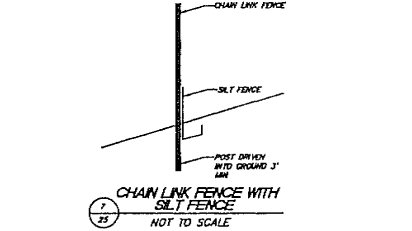
RECORDS SHALL BE KEPT OF ALL INSPECTIONS AND MAINTENANCE PERFORMED. A SAMPLE INSPECTION FORM IS SHOWN BELOW AND IT SHALL BE ADAPTED AS REQUIRED BY DIFFERENCE.



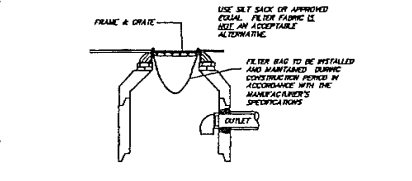
TEMPORARY SEDIMENT BASIN



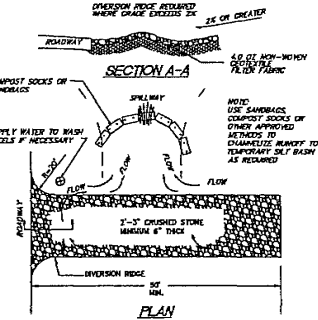
PERMANENT DETENTION/INFILTRATION BASIN LOAM AND SEED



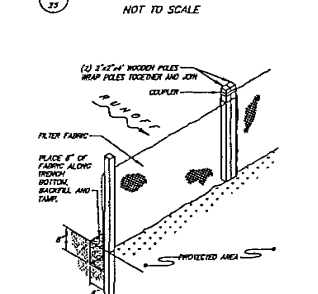
CHAIN LINK FENCE WITH SILT FENCE



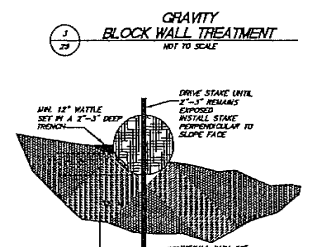
CATCH BASIN FILTER BAG



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT



SILT FENCE BARRIER



GRAVITY BLOCK WALL TREATMENT

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

MAIL ADDRESS:

MAIL NO. 116
LOTE 5, 11 & 13

PREPARED FOR:

POST ROAD REALTY LLC

11 Unsworth Road
Fairfield, Connecticut 06424

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 ELM ST. WAREHOUSES, MA 01775
TEL: (978) 488-1111, FAX: (978) 488-1111
WWW.HANCOCKASSOCIATES.COM

DATE: 10/17/17

NO.	DATE	DESCRIPTION
1	10/17/17	ISSUE FOR PERMIT

SWPPP EROSION CONTROL DETAILS

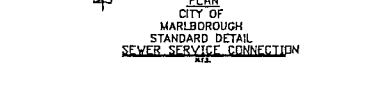
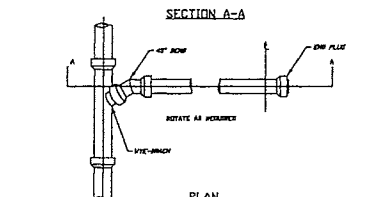
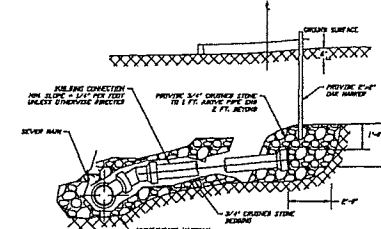
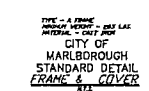
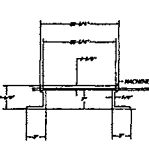
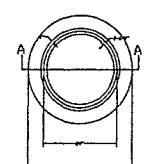
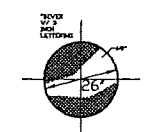
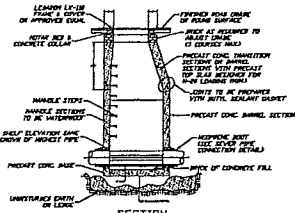
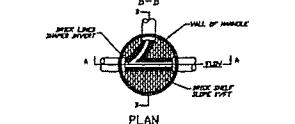
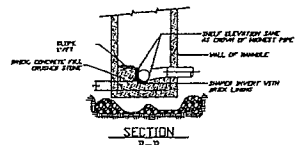
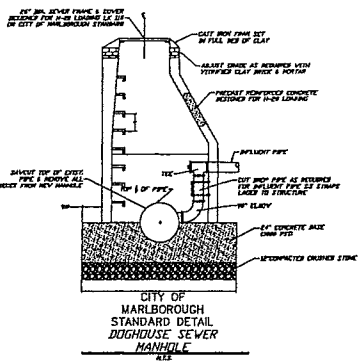
SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

SPNO 12440-09 REV 04/16

LAYOUT: 01-2

SHEET: 25 OF 32

PROJECT NO.: 22680



CITY OF MARLBOROUGH SEWER NOTES

THE FOLLOWING RECOMMENDATIONS AND METHODS OF INSTALLATION OF SEWER MAINS IN GENERAL, ALL WORK SHALL CONFORM TO THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT.

MAIN INSTALLATION:

ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS. ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS. ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS.

THREATS:

ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS. ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS. ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS.

CONNECTIONS:

ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS. ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS. ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS.

BUILT-UP BEAMS:

ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS. ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS. ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS.

TESTING:

ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS. ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS. ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS.

INSTALLATION:

ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS. ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS. ALL SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MARLBOROUGH SEWERAGE DEPARTMENT SPECIFICATIONS.

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GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MARLBOROUGH ADDRESS

MAP 116 LOT 5.11 & 12

PREPARED FOR

POST ROAD REALTY LLC

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Civil Engineers
Land Surveyors
Wetland Scientists

215 Elm St. MARLBOROUGH, MA 01752
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WWW.HANCOCKASSOCIATES.COM



3	PL. DRG. 1/12/19	SEE SHEET 1 REV. NOTES
1	DR. PL. 1/12/19	PER COMMENTS
NO. BY	APP. DATE	CHK./BY/CHK. DESCRIPTION
DATE		
SCALE		

SEWER SERVICE AND WETLANDS CROSSING DETAILS

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

PROJECT NO. 22680

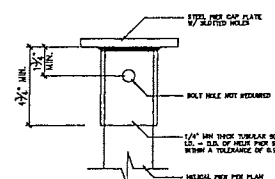
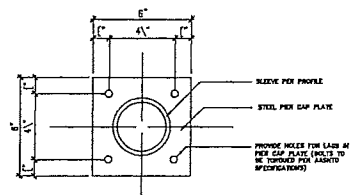
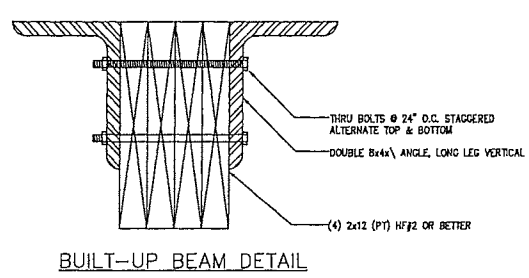
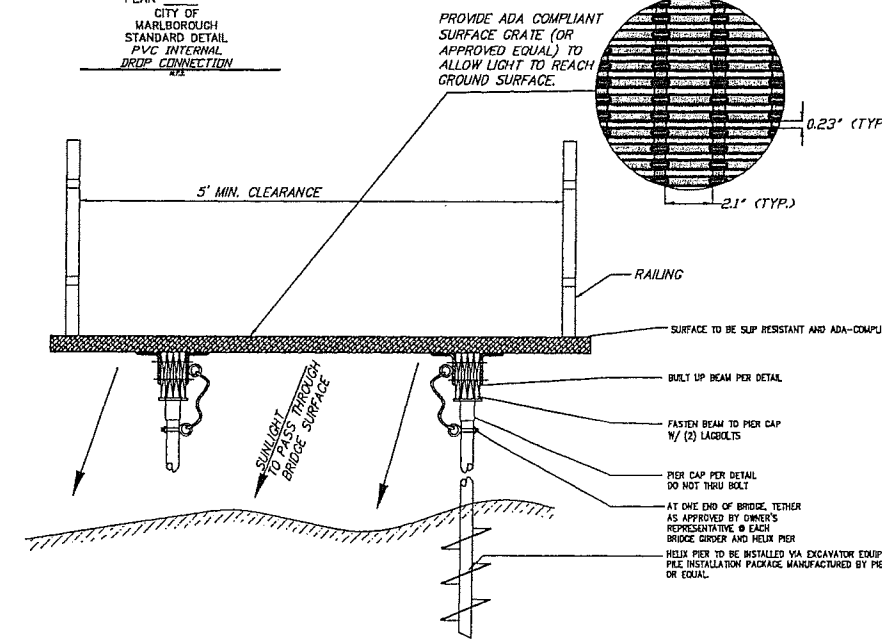
DATE: 2/26/19

LAYOUT: 01-3

SHEET: 18 OF 32

D-3

PROJECT NO. 22680



WETLANDS PEDESTRIAN CROSSING
CROSS SECTION
NOT TO SCALE

Symbol	Qty	Label	Arrangement	Low Lumen	LF	Description	Comments
13	1	A	SINGLE	11675	0.900	GM44U7141	GM44U7141ES
14	1	B	SINGLE	11675	0.900	GM44U7141	GM44U7141ES
15	2	BT	SINGLE	3391	0.900	SB23VLED-4-LED-3500K-40W	SB23VLED-4-LED-3500K-40W
16	2	BS	SINGLE	3391	0.900	SB23VLED-4-LED-3500K-40W	SB23VLED-4-LED-3500K-40W
17	2	BT	SINGLE	3391	0.900	SB23VLED-4-LED-3500K-40W	SB23VLED-4-LED-3500K-40W
18	2	BS	SINGLE	3391	0.900	SB23VLED-4-LED-3500K-40W	SB23VLED-4-LED-3500K-40W
19	2	BT	SINGLE	4150	0.900	SB23VLED-4-LED-3500K-40W	SB23VLED-4-LED-3500K-40W
20	2	BS	SINGLE	4150	0.900	SB23VLED-4-LED-3500K-40W	SB23VLED-4-LED-3500K-40W
21	2	BT	SINGLE	4197	0.900	ACLW304M-430	ACLW304M-430ES-1-1-1-1
22	2	BS	SINGLE	4197	0.900	ACLW304M-430	ACLW304M-430ES-1-1-1-1

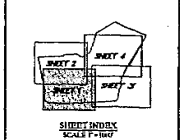
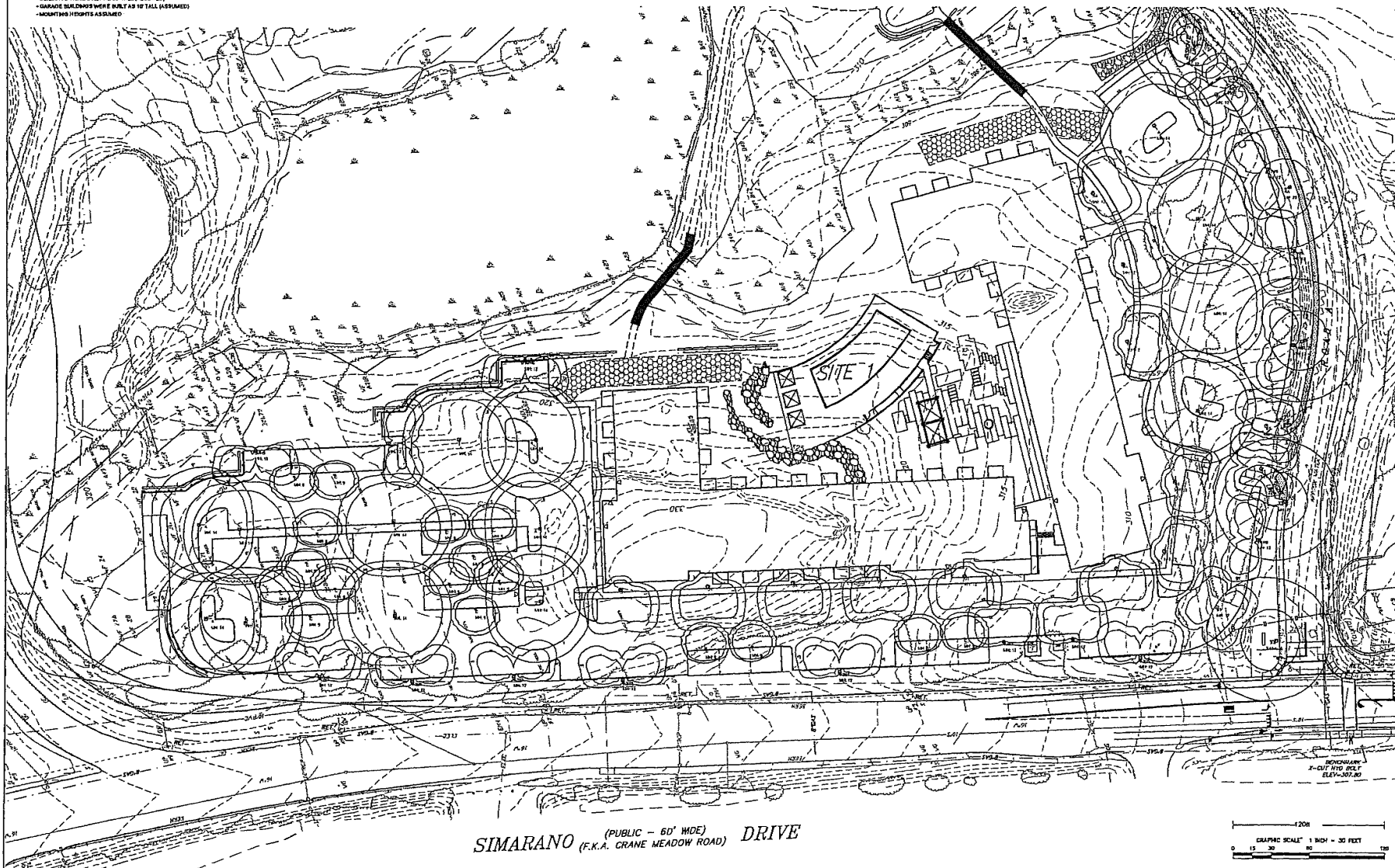
Calculation Summary	Category	Units	Qty	Avg	Min	Max	Max/Min	Comment
ROADWAY	Beamcandle	Fc	2.50	2.1	0.3	2.83	1.00	readings taken at grade
SITE ENTRANCE A	Beamcandle	Fc	2.70	1.9	1.3	2.35	1.00	readings taken at grade
SITE ENTRANCE B	Beamcandle	Fc	1.48	1.2	1.1	1.31	1.00	readings taken at grade
SITE PARKING A	Beamcandle	Fc	1.28	1.4	0.2	6.80	21.00	readings taken at grade
SITE PARKING B	Beamcandle	Fc	1.28	18.8	0.3	9.80	43.00	readings taken at grade
SITE ENTRANCE C	Beamcandle	Fc	1.55	3.8	0.9	7.15	18.00	readings taken at grade
SITE ENTRANCE D	Beamcandle	Fc	1.32	1.3	0.3	6.73	10.87	readings taken at grade
SITE ENTRANCE E	Beamcandle	Fc	1.84	4.9	0.5	8.07	16.33	readings taken at grade
SITE PARKING C	Beamcandle	Fc	0.58	3.7	0.3	6.90	13.52	readings taken at grade
SITE PARKING D	Beamcandle	Fc	2.17	20.3	0.3	10.83	101.00	readings taken at grade

*FPF CONVERTED INTO MORENO DIM FILE USING LUMINAIRE LOCATIONS AND VALUES TO BE CONSIDERED APPROXIMATE
 *BUILDINGS WERE BUILT AS 30 FT TALL (ASSUMED)
 *GARAGE BUILDINGS WERE BUILT AS 10 FT TALL (ASSUMED)
 *MOUNTING HEIGHTS ASSUMED

Symbol	Qty	Label	Arrangement	Low Lumen	LF	Description	Comments
13	1	A	SINGLE	11675	0.900	GM44U7141	GM44U7141ES
14	1	B	SINGLE	11675	0.900	GM44U7141	GM44U7141ES
15	2	BT	SINGLE	3391	0.900	SB23VLED-4-LED-3500K-40W	SB23VLED-4-LED-3500K-40W
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17	2	BT	SINGLE	4150	0.900	SB23VLED-4-LED-3500K-40W	SB23VLED-4-LED-3500K-40W
18	2	BS	SINGLE	4150	0.900	SB23VLED-4-LED-3500K-40W	SB23VLED-4-LED-3500K-40W
19	2	BT	SINGLE	4197	0.900	ACLW304M-430	ACLW304M-430ES-1-1-1-1
20	2	BS	SINGLE	4197	0.900	ACLW304M-430	ACLW304M-430ES-1-1-1-1

NOTES:
 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 2) CALCULATIONS DO NOT SHOW THE EFFECT OF SHADOWING CAUSED BY OBJECTS WITHIN THE AREA.
 3) HEADPOSE SHOWN ARE MAINTAINED HORIZONTAL FOOT CANDLE VALUES AS SHOWN IN DRAWING SUMMARY.
 4) FUTURE ORIENTATION IS SUCH THAT 0 IS TO THE RIGHT OF THE DRAWING AND 90 IS TO THE TOP OF THE DRAWING AS SHOWN.
 5) THE LIGHT FIXTURES MUST BE COORDINATED WITH THE FEATURE HEAD.
 6) THE LIGHT FIXTURES MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
 7) CHECK GRAPHIC SCALE. DIMENSIONS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIGN OR ASSIGNED GRAPHIC SCALE. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED SCALE DRAWING IS PRINTED TO SCALE.
 8) LUMINAIRE UNITS & LUMENS LEAVING LUMINAIRE WITH EFFECTIVE COLLIMATED.
 9) FPF CONVERTED INTO WORKING DIM FILE USING LUMINAIRE LOCATIONS AND VALUES TO BE CONSIDERED APPROXIMATE.

NOTES:
 1) DIMS AND TSL ARE MANUFACTURED BY OWING LIGHTING.
 2) DIM IS MANUFACTURED BY HANLITE.



GREEN DISTRICT
 107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

MADE FOR
 MAR 116 LGT 5, 11 & 12

PREPARED FOR
 POST ROAD REALTY LLC
 11 Urquona Road
 Fairfield, Connecticut 06424

HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Wetland Scientists
 315 TEM ST. MARLBOROUGH, MA 01752
 PHONE (508) 466-1111, FAX (508) 466-1112
 WWW.HANCOCKASSOCIATES.COM

NO.	DATE	BY	CHKD.	DESCRIPTION
1	11/20/20	JK	JK	REV. NO. 1
2	11/20/20	JK	JK	FOR COMMENTS
3	11/20/20	JK	JK	FOR COMMENTS
4	11/20/20	JK	JK	FOR COMMENTS
5	11/20/20	JK	JK	FOR COMMENTS
6	11/20/20	JK	JK	FOR COMMENTS
7	11/20/20	JK	JK	FOR COMMENTS
8	11/20/20	JK	JK	FOR COMMENTS
9	11/20/20	JK	JK	FOR COMMENTS
10	11/20/20	JK	JK	FOR COMMENTS

PHOTOMETRIC LIGHTING PLAN SHEET 1

SPECIAL PERMIT AND SITE PLAN APPROVAL MUST FOR CONSTRUCTION

DATE: 11/20/20
 SCALE: 1" = 30' GRAPHIC SEE PLAN
 PROJECT NO.: 22680

LAYOUT: PH-1
 SHEET: 28 OF 32
 PH-1
 PROJECT NO.: 22680

Quantity	Qty	Label	Acquisition	Lot/License	LFY	Description	Particulars
1	30	AN	SINGLE	11876	0.000	06000071911	06000071911
1	3	AN	SINGLE	11876	0.000	06000071911	06000071911
1	3	B3	SINGLE	3381	0.000	8023V1EDW-4E1E-ED-3506A-WPH812W	8023V1EDW-4E1E-ED-3506A-WPH812W
1	3	B3B	SINGLE	3381	0.000	8023V1EDW-4E1E-ED-3506A-WPH812W	8023V1EDW-4E1E-ED-3506A-WPH812W
1	11	B4	SINGLE	3414	0.000	8023V1EDW-4E1E-ED-3506A-WPH812W	8023V1EDW-4E1E-ED-3506A-WPH812W
1	11	B4B	SINGLE	3414	0.000	8023V1EDW-4E1E-ED-3506A-WPH812W	8023V1EDW-4E1E-ED-3506A-WPH812W
1	11	B5	SINGLE	3379	0.000	8023V1EDW-4E1E-ED-3506A-WPH812W	8023V1EDW-4E1E-ED-3506A-WPH812W
1	11	B5B	SINGLE	3379	0.000	8023V1EDW-4E1E-ED-3506A-WPH812W	8023V1EDW-4E1E-ED-3506A-WPH812W
1	28	C	SINGLE	4187	0.000	ACLUW-30-4V-430	ACLUW-30-4V-430

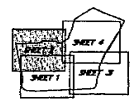
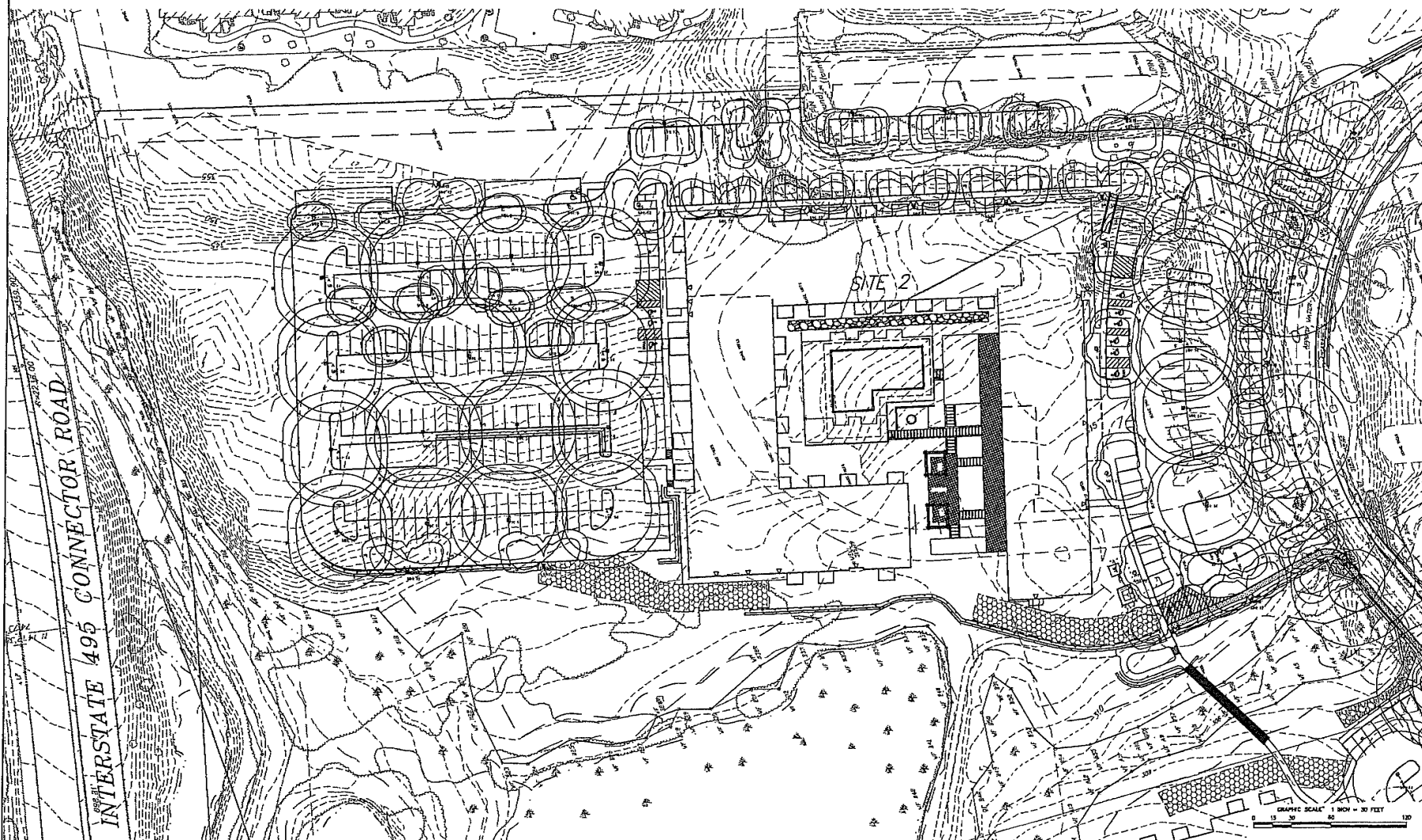
Calculation Summary	Category	Units	Area	Vol	Amph	Volume	Description
ROADWAY	Multibay	Ft	0.95	2.1	2.8	7.20	existing lot at grade
SITE ENTRANCE A	Multibay	Ft	2.10	3.8	1.3	3.30	existing lot at grade
SITE ENTRANCE B	Multibay	Ft	2.40	4.0	2.8	3.80	existing lot at grade
SITE PARKING A	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING B	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE ENTRANCE C	Multibay	Ft	1.75	3.2	0.3	0.30	existing lot at grade
SITE PARKING C	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING D	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING E	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING F	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING G	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING H	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING I	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING J	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING K	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING L	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING M	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING N	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING O	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING P	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING Q	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING R	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING S	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING T	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING U	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING V	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING W	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING X	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING Y	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade
SITE PARKING Z	Multibay	Ft	1.38	0.8	0.3	0.30	existing lot at grade

- PLOT CONVERTED INTO SHORTING DMS FILE MARKING LUMINAIRE LOCATIONS AND VALUES TO BE CONSIDERED APPROXIMATE
- BUILDINGS WERE BUILT AS BY TALL (ASSUMED)
- GARAGE BUILDINGS WERE BUILT AS 17 TALL (ASSUMED)
- MOUNTING HEIGHTS ASSUMED

Symbol	Qty	Label	Acquisition	Lot/License	LFY	Description	Particulars
1	18	A	SINGLE	11877	0.000	06000071911	06000071911
1	3	B3	SINGLE	3381	0.000	8023V1EDW-4E1E-ED-3506A-WPH812W	8023V1EDW-4E1E-ED-3506A-WPH812W
1	3	B3B	SINGLE	3381	0.000	8023V1EDW-4E1E-ED-3506A-WPH812W	8023V1EDW-4E1E-ED-3506A-WPH812W
1	11	B4	SINGLE	3414	0.000	8023V1EDW-4E1E-ED-3506A-WPH812W	8023V1EDW-4E1E-ED-3506A-WPH812W
1	11	B4B	SINGLE	3414	0.000	8023V1EDW-4E1E-ED-3506A-WPH812W	8023V1EDW-4E1E-ED-3506A-WPH812W
1	11	B5	SINGLE	3379	0.000	8023V1EDW-4E1E-ED-3506A-WPH812W	8023V1EDW-4E1E-ED-3506A-WPH812W
1	11	B5B	SINGLE	3379	0.000	8023V1EDW-4E1E-ED-3506A-WPH812W	8023V1EDW-4E1E-ED-3506A-WPH812W
1	12	C	SINGLE	4187	0.000	ACLUW-30-4V-430	ACLUW-30-4V-430

- NOTES:
- EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 - CALCULATIONS DO NOT SHOW THE EFFECT OF SHADING CAUSED BY OBJECTS WITHIN THE AREA.
 - RELANDS SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES TAKEN AS SHOWN BY MAHBERG BOUNDARY.
 - FEATURE OR OBJECTS SUCH THAT IS TO THE RIGHT OF THE DRAWING AND 80 M TO THE TOP OF THE DRAWING AS SHOWN.
 - THE ANGLE IS THE RADIUS AND LOWERING OF THE FEATURE HEAD.
 - THE LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FEATURE ORIENTATION.
 - CHECK GRAPHIC SCALE, DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSIGNED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.
 - LUMINAIRE LUMENS & LUMENS LEAVES LUMINAIRE WITH EFFICIENCY CONSIDERED.
 - FOR CONVERTED INTO SHORTING DMS FILE MARKING LUMINAIRE LOCATIONS AND VALUES TO BE CONSIDERED APPROXIMATE.

- NOTES:
- DEL AND TEL ARE MANUFACTURED BY CONVE LIGHT INC.
 - GM IS MANUFACTURED BY MAULTE.



GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

MAP 116 LOC. 5, 11 & 12

POST ROAD REALTY LLC

11 Ungava Road
Fairfield, Connecticut 06424

HANCOCK ASSOCIATES
Civil Engineers
Land Surveyors
Wetland Scientists

315 CH ST. HANCOCK, MA 01752
PHONE (508) 440-1111, FAX (508) 490-1101
WWW.HANCOCKASSOCIATES.COM

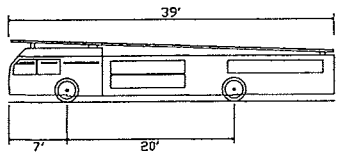


NO.	DATE	BY	DESCRIPTION
1	02/20/13	CSH	ISSUE FOR PERMIT
2	02/20/13	CSH	ISSUE FOR PERMIT
3	02/20/13	CSH	ISSUE FOR PERMIT
4	02/20/13	CSH	ISSUE FOR PERMIT
5	02/20/13	CSH	ISSUE FOR PERMIT
6	02/20/13	CSH	ISSUE FOR PERMIT
7	02/20/13	CSH	ISSUE FOR PERMIT
8	02/20/13	CSH	ISSUE FOR PERMIT
9	02/20/13	CSH	ISSUE FOR PERMIT
10	02/20/13	CSH	ISSUE FOR PERMIT
11	02/20/13	CSH	ISSUE FOR PERMIT
12	02/20/13	CSH	ISSUE FOR PERMIT
13	02/20/13	CSH	ISSUE FOR PERMIT
14	02/20/13	CSH	ISSUE FOR PERMIT
15	02/20/13	CSH	ISSUE FOR PERMIT
16	02/20/13	CSH	ISSUE FOR PERMIT
17	02/20/13	CSH	ISSUE FOR PERMIT
18	02/20/13	CSH	ISSUE FOR PERMIT
19	02/20/13	CSH	ISSUE FOR PERMIT
20	02/20/13	CSH	ISSUE FOR PERMIT

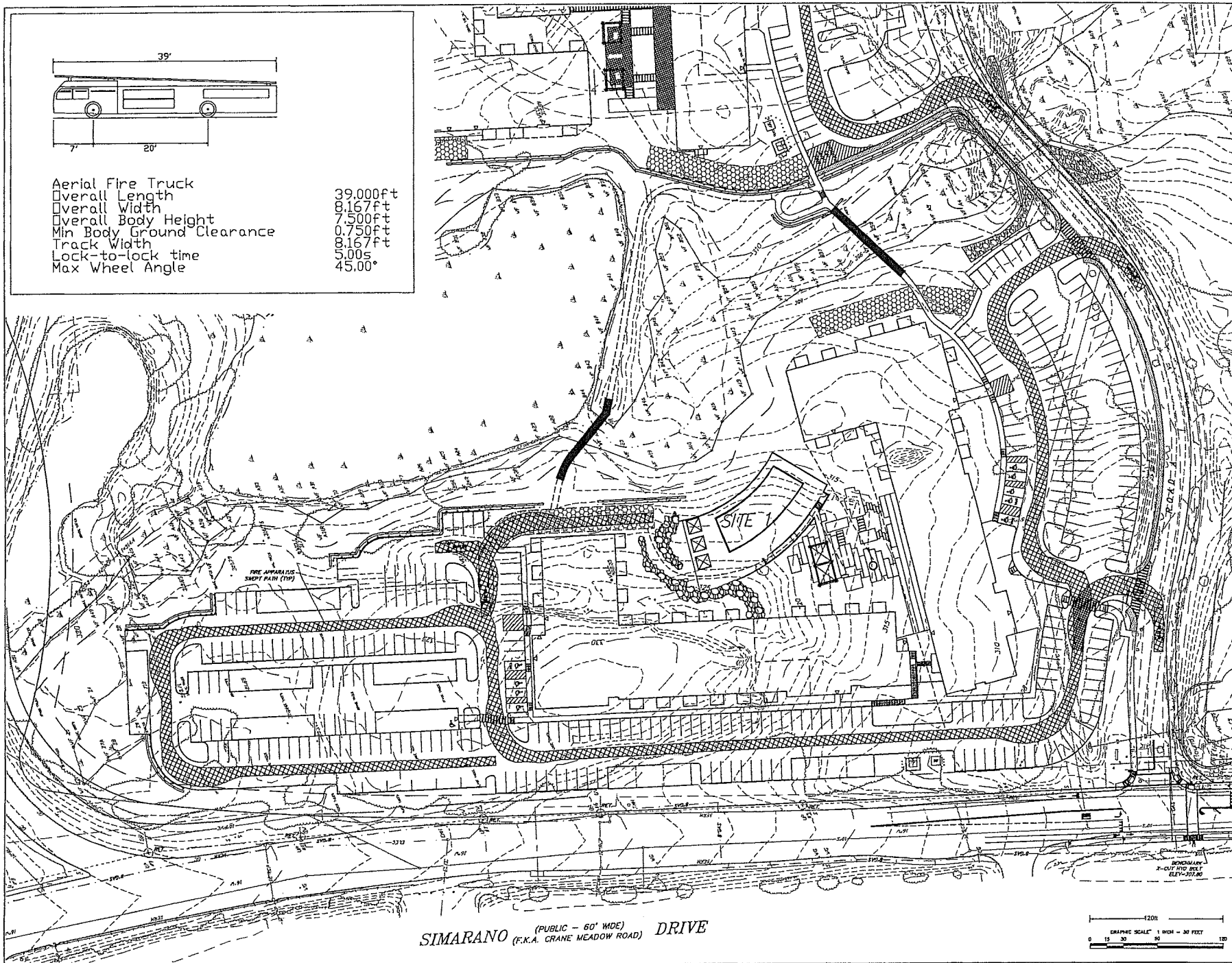
PHOTOMETRIC LIGHTING PLAN SHEET 2

OFFICIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DWG: 2013-03-03
LAYOUT: PH-2
SHEET: 30 OF 32
PROJECT NO.: 22680



Aerial Fire Truck
 Overall Length 39.000ft
 Overall Width 8.167ft
 Overall Body Height 7.500ft
 Min Body Ground Clearance 0.750ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



SHEET INDEX
SCALE: 1"=100'

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP 115
LEG 5, 11 & 12

PREPARED FOR
POST ROAD REALTY LLC
11 Unquowa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES
Civil Engineers
Land Surveyors
Wetland Scientists
319 DAN ST. MARLBOROUGH, MA 01752
PHONE (508) 460-1115 FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



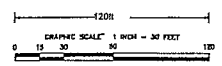
NO.	DATE	BY	CHKD.	APPROVED	DESCRIPTION
1	11/17/19	SP	SP	SP	FOR COMMENTS
2	11/17/19	SP	SP	SP	FOR APPROVAL

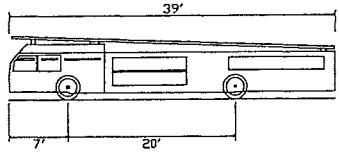
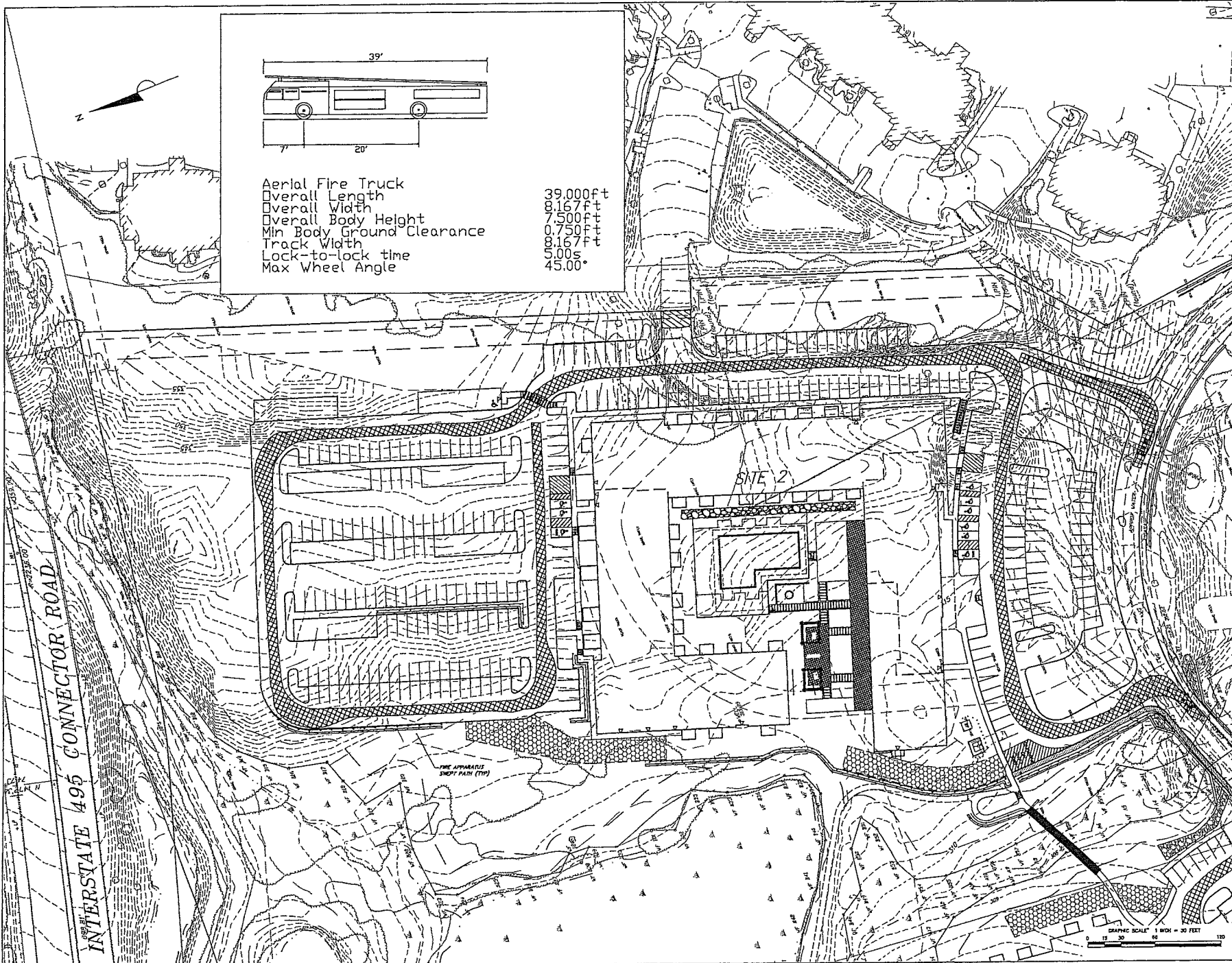
FIRE MANEUVERING PLAN - SHEET 1

OFFICIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

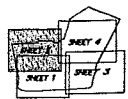
DWG: 22680-PS-20-A
 LAYOUT: SPA-1
 SHEET: 31 OF 32
 PROJECT NO.: 22680

SIMARANO (PUBLIC - 60' WIDE) DRIVE
(F.K.A. CRANE MEADOW ROAD)





Aerial Fire Truck
 Overall Length 39.00ft
 Overall Width 7.00ft
 Overall Body Height 20.50ft
 Min Body Ground Clearance 0.75ft
 Track Width 20.16ft
 Lock-to-lock time 3.00s
 Max Wheel Angle 45.00°



SHEET INDEX
 SCALE 1"=20'

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

HANCOCK ASSOCIATES
 MAP 116 LEFT 5, 11 & 12

PREPARED FOR
 POST ROAD REALTY LLC
 11 Unquova Road
 Fairfield, Connecticut 06424

HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Wetland Scientists
 311 ELM ST. MARLBOROUGH, MA 01752
 VOICE (508) 485-1111 FAX (508) 485-1112
 WWW.HANCOCKASSOCIATES.COM



NO.	DATE	BY	DESCRIPTION
1	11/12/11	SEE SHEET 1	REV. NOTES
2	10/16/11	SEE COMMENTS	
3	09/16/11	SEE COMMENTS	
4	08/16/11	ISSUE FOR PERMIT	
5	07/16/11	ISSUE FOR PERMIT	
6	06/16/11	ISSUE FOR PERMIT	
7	05/16/11	ISSUE FOR PERMIT	

FIRE MANEUVERING PLAN - SHEET 2

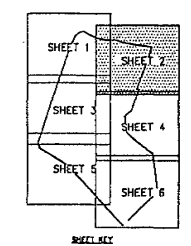
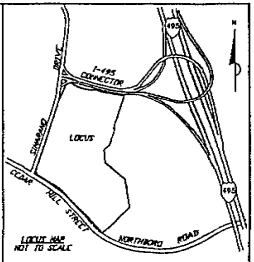
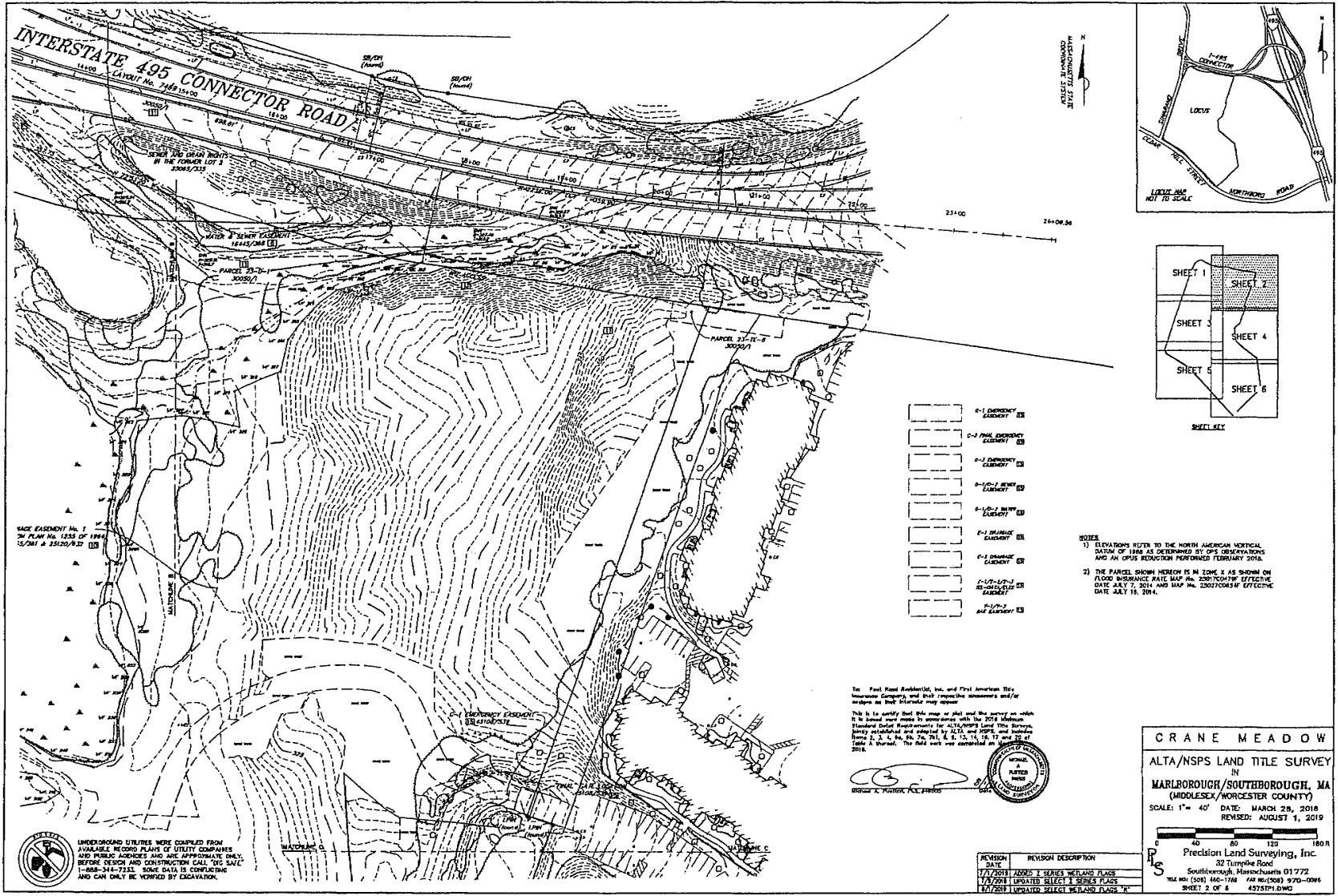
SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

CMD 2260-PS-23-14
 LAYOUT SPA-2
 SHEET 32 OF 32
 PROJECT NO. 22680

SPA-2

DRAWING SCALE: 1"=30 FEET

INTERSTATE 495 CONNECTOR ROAD



- D-1 EMERGENCY EASEMENT
- D-2 PAV. EMERGENCY EASEMENT
- D-3 EMERGENCY EASEMENT
- D-4 20' WEEP EASEMENT
- D-5 10' WEEP EASEMENT
- D-6 5' DRAINAGE EASEMENT
- D-7 10'-12'-3" UNDEVELOPED EASEMENT
- D-8 10'-2' 6" EASEMENT

NOTES

- ELEVATIONS REFER TO THE NORTH AMERICAN MEANAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN UPDS REDUCTION PERFORMED FEBRUARY 2016.
- THE PARCEL SHOWN HEREON IS AS SHOWN ON FLOOD INSURANCE RATE MAP No. 250770081W EFFECTIVE DATE JULY 11, 2014 AND MAP No. 250770081W EFFECTIVE DATE JULY 19, 2016.

The Paul Reed Residential, Inc. and First American Title Insurance Company and their respective successors and/or assigns as their interests may appear.

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2018 Uniform Land Use Review Procedure Act, Chapter 260B, Section 13, of the Acts of 2018, and that the same were prepared and submitted to the Board of Registration of Professional Engineers and Surveyors in accordance with the rules and regulations of the Board.

REGINA A. KIRKBY, P.L.S., 20180

UNDERGROUND UTILITIES WERE CORRELATED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL THE SALES 1-800-344-7333. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

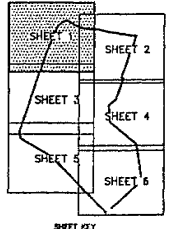
CRANE MEADOW

ALTA/NSPS LAND TITLE SURVEY
IN
MARLBOROUGH/SOUTHBOROUGH, MA
(MIDDLESEX/WORCESTER COUNTY)

SCALE: 1" = 40' DATE: MARCH 28, 2018
REVISED: AUGUST 1, 2019

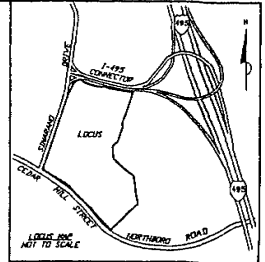
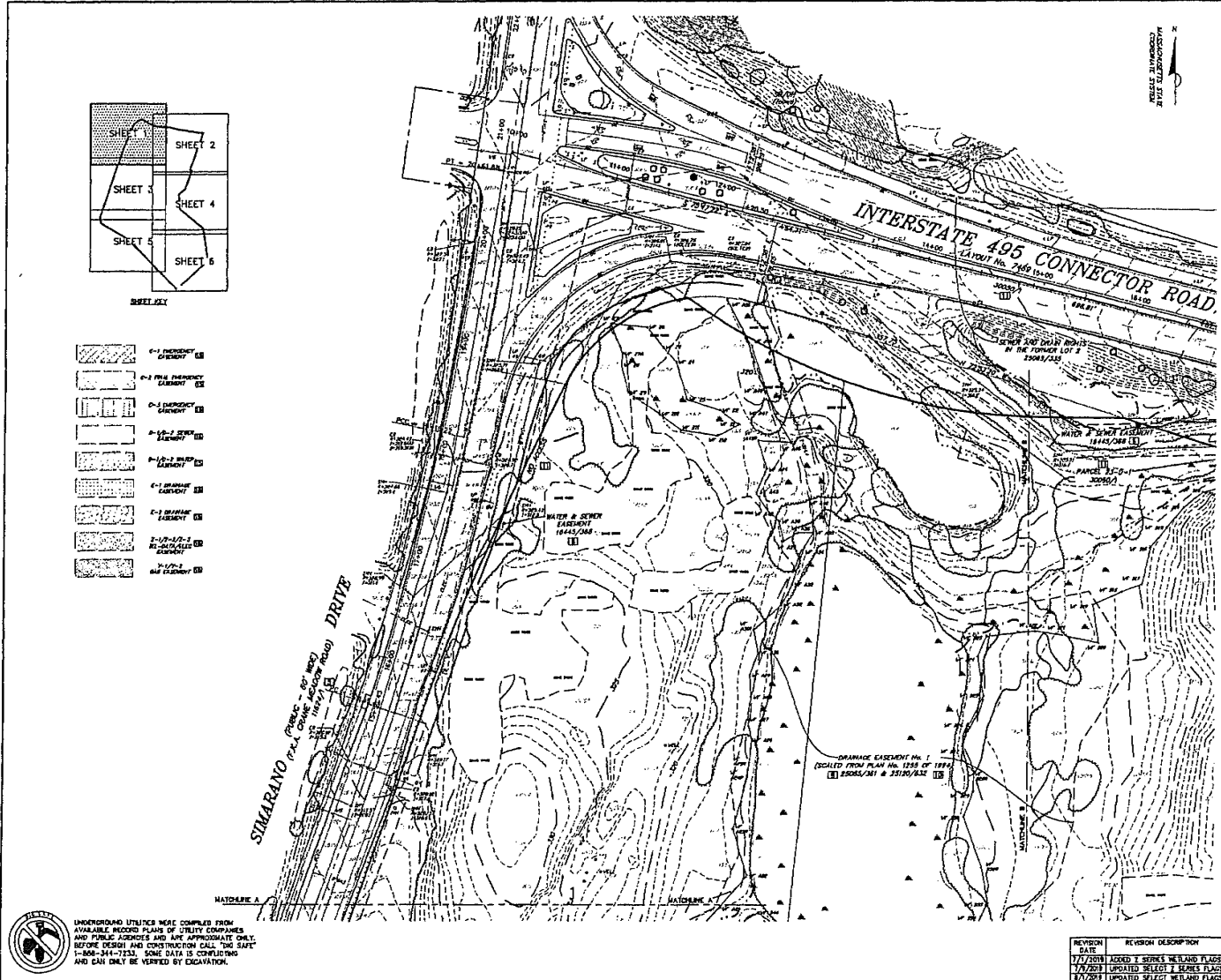
ALTA/NSPS
Precision Land Surveying, Inc.
32 Turnpike Road
Southborough, Massachusetts 01772
TEL: 508 (978) 466-1768 FAX: 508 (978) 970-0296
SHEET 2 OF 6 42731P.LDWG

REVISION	REVISION DESCRIPTION	DATE
1/7/2018	ADD 5' SEASONS WETLAND PLANS	
1/7/2018	UPDATED SHEET 1 SURVEY PLANS	
1/7/2018	UPDATED SHEET 1 SURVEY PLANS	



SHEET KEY

- C-1 EASEMENT
- A-1 PILE EASEMENT
- C-1 EASEMENT
- A-10-2 EASEMENT
- B-10-2 EASEMENT
- C-1 EASEMENT
- C-1 EASEMENT
- C-1 EASEMENT
- C-1 EASEMENT
- C-1 EASEMENT



- NOTES:
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1885 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED FEBRUARY 2018.
 - THE PARCEL SHOWN HEREIN IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 2507100404E EFFECTIVE DATE JULY 11, 2014 AND MAP NO. 2507100404E EFFECTIVE DATE JULY 11, 2014.

For: Paul Road Residential, Inc. and Paul Junction 193
 Insurance Company and their respective successors and/or
 heirs or their assigns or their assigns.

This is to certify that this map or plan and the survey on which
 it is based were made in accordance with the 2018 Uniform
 Standard Detail Requirements for ALTA/NSPS Land Title Surveys,
 jointly published and created by ALTA and NSPS, and conforms
 to the 2018 ALTA/NSPS Land Title Survey Standard and
 Guide A Thereof. The field work was completed on 10/10/2018.

ROBERT L. FORTIN, PLS, FLS, SLS
 10/10/2018

UNDERGROUND UTILITIES WERE COMPILED FROM
 AVAILABLE RECORD PLANS OF UTILITY COMPANIES
 AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY.
 BEFORE DESIGN AND CONSTRUCTION CALL "THE GUY"
 1-800-344-7233. SOME DATA IS CONTINUING
 AND CAN ONLY BE VERIFIED BY DIGITATION.

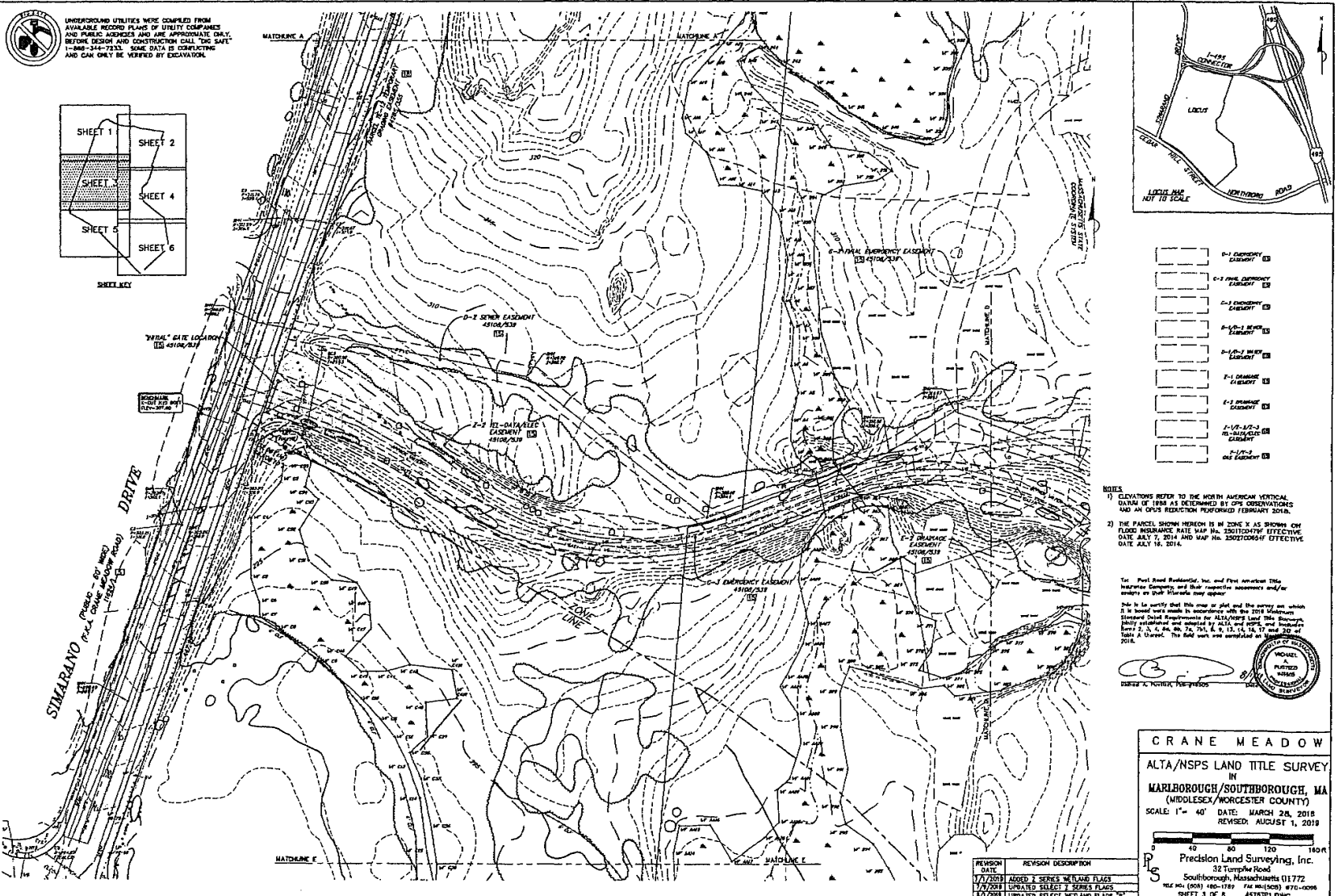
CRANE MEADOW
 ALTA/NSPS LAND TITLE SURVEY
 IN
 MARLBOROUGH/SOUTHBOROUGH, MA
 (MIDDLESEX/WORCESTER COUNTY)

SCALE: 1" = 40' DATE: MARCH 28, 2018
 REVISED: AUGUST 1, 2019

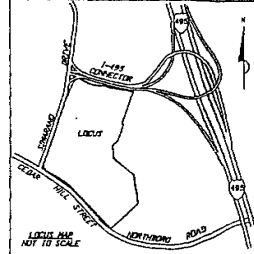
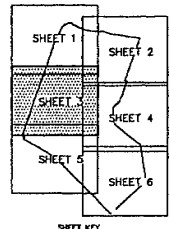
0 40 80 120 160 FT.

Paul Road Residential, Inc.
 32 Turnpike Road
 Southborough, Massachusetts 01772
 TEL: 508 (508) 460-1788 FAX: 508(508) 970-0094
 SHEET 1 OF 8 4375171.DWG

REVISION DATE	REVISION DESCRIPTION
1/17/2018	ACKED & SIGNED THE LAND PLANS
7/7/2017	UPDATED SELECT 7 SERIES FLAGS
1/7/2017	UPDATED SELECT 7 SERIES FLAGS



NOTICE
 UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL THE SAFE 1-800-344-7333. SOME DATA IS CORRECTIVE AND CAN ONLY BE VERIFIED BY EXCAVATION.

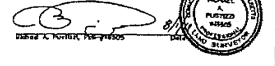


- 0-1 EASEMENT
- 0-2 EASEMENT
- 0-3 EASEMENT
- 0-4 EASEMENT
- 0-5 EASEMENT
- 0-6 EASEMENT
- 0-7 EASEMENT
- 0-8 EASEMENT
- 0-9 EASEMENT

- NOTES**
- 1) ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN GPS1 POSITION PERFORMED FEBRUARY 2016.
 - 2) THE PARCEL SHOWN HEREON IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 25011D047W EFFECTIVE DATE JULY 7, 2014 AND MAP No. 25021D064W EFFECTIVE DATE JULY 18, 2014.

The "Plot Book Foundation", Inc. and First American Title Insurance Company, and their respective successors and/or assigns as their interests may appear.

It is to be noted that this map or plan and the survey on which it is based were made in accordance with the 2011 Ordinance Chapter 21A of the Regulations of the City of Southborough, dated 7/24/11, and the 2012 Ordinance Chapter 21A of the Regulations of the City of Southborough, dated 7/24/12, and the 2013 Ordinance Chapter 21A of the Regulations of the City of Southborough, dated 7/24/13.

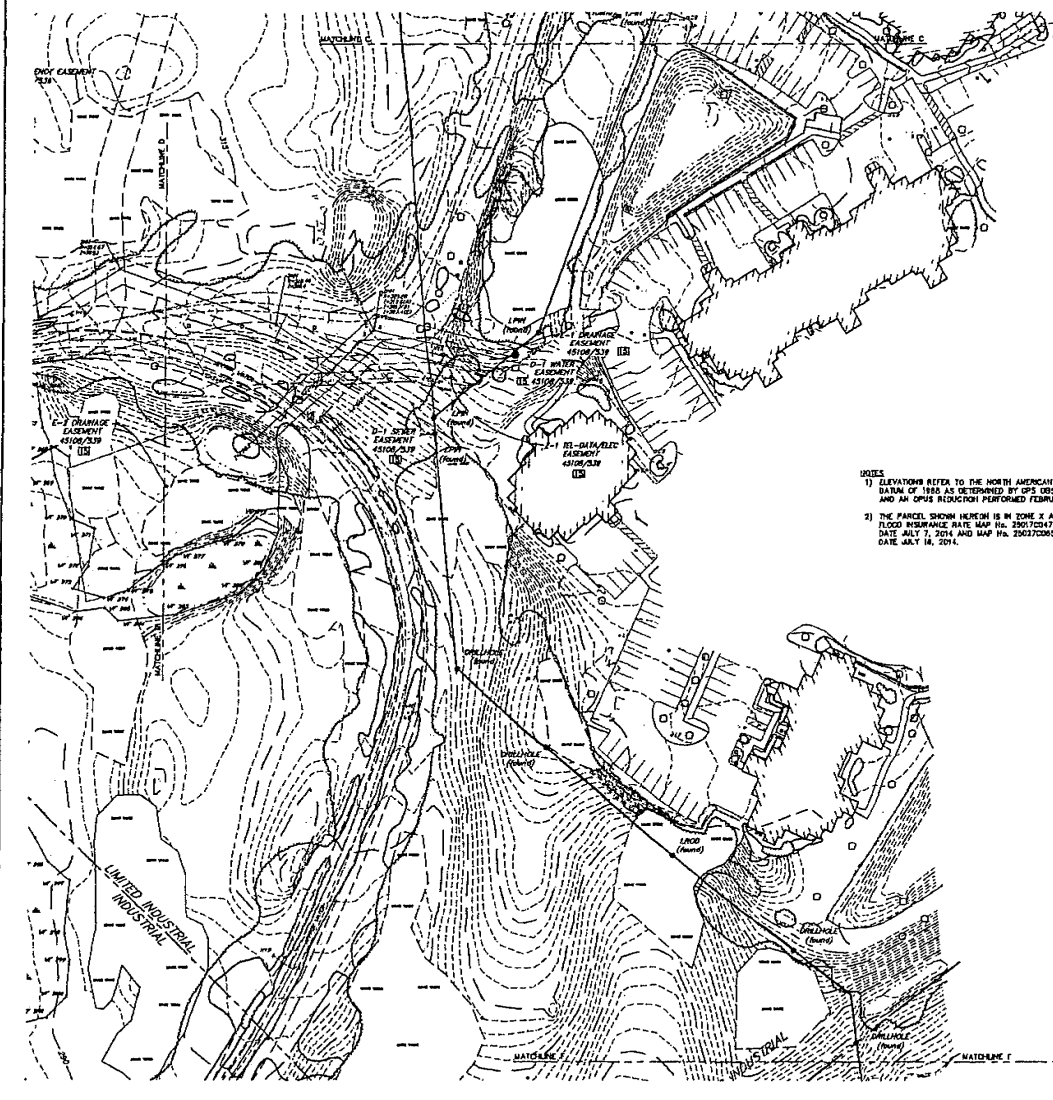


CRANE MEADOW

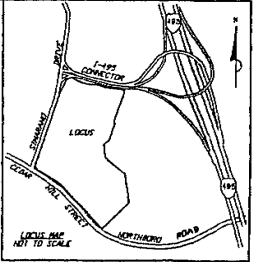
ALTA/NSPS LAND TITLE SURVEY
 IN
 MARLBOROUGH/SOUTHBOROUGH, MA
 (MIDDLESEX/WORCESTER COUNTY)
 SCALE: 1" = 40' DATE: MARCH 28, 2018
 REVISED: AUGUST 1, 2019

Precision Land Surveying, Inc.
 32 Turnpike Road
 Southborough, Massachusetts 01772
 TEL: (508) 860-1169 FAX: (508) 860-0000
 SHEET 3 OF 8 4878T1.DWG

REVISION DATE	REVISION DESCRIPTION
11/7/2018	ALTA 1 SERIES WITHLAND FLAG
11/7/2018	UPWARD FLAG SUBJECT SERIES FLAG
11/7/2018	UPWARD FLAG SUBJECT SERIES FLAG



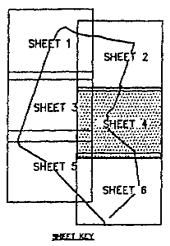
UNDERGROUND UTILITIES WERE CHECKED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL THE DATE: 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.



PLEASE INQUIRE AT THE SURVEYOR'S OFFICE

NOTES:
 1) ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1985 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED FEBRUARY 2018.
 2) THE PARCEL SHOWN HEREON IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 25072C04781 EFFECTIVE DATE JULY 7, 2014 AND MAP No. 2003720804F EFFECTIVE DATE JULY 18, 2014.

- 6'-1' DIAMETER EASEMENT
- 6'-2' DIA. EASEMENT
- 6'-3' DIAMETER EASEMENT
- 6'-4'-3' EASEMENT
- 6'-4'-6' EASEMENT
- 6'-5' DIAMETER EASEMENT
- 6'-6' DIAMETER EASEMENT
- 6'-7'-0' EASEMENT
- 6'-8'-0' EASEMENT



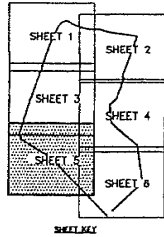
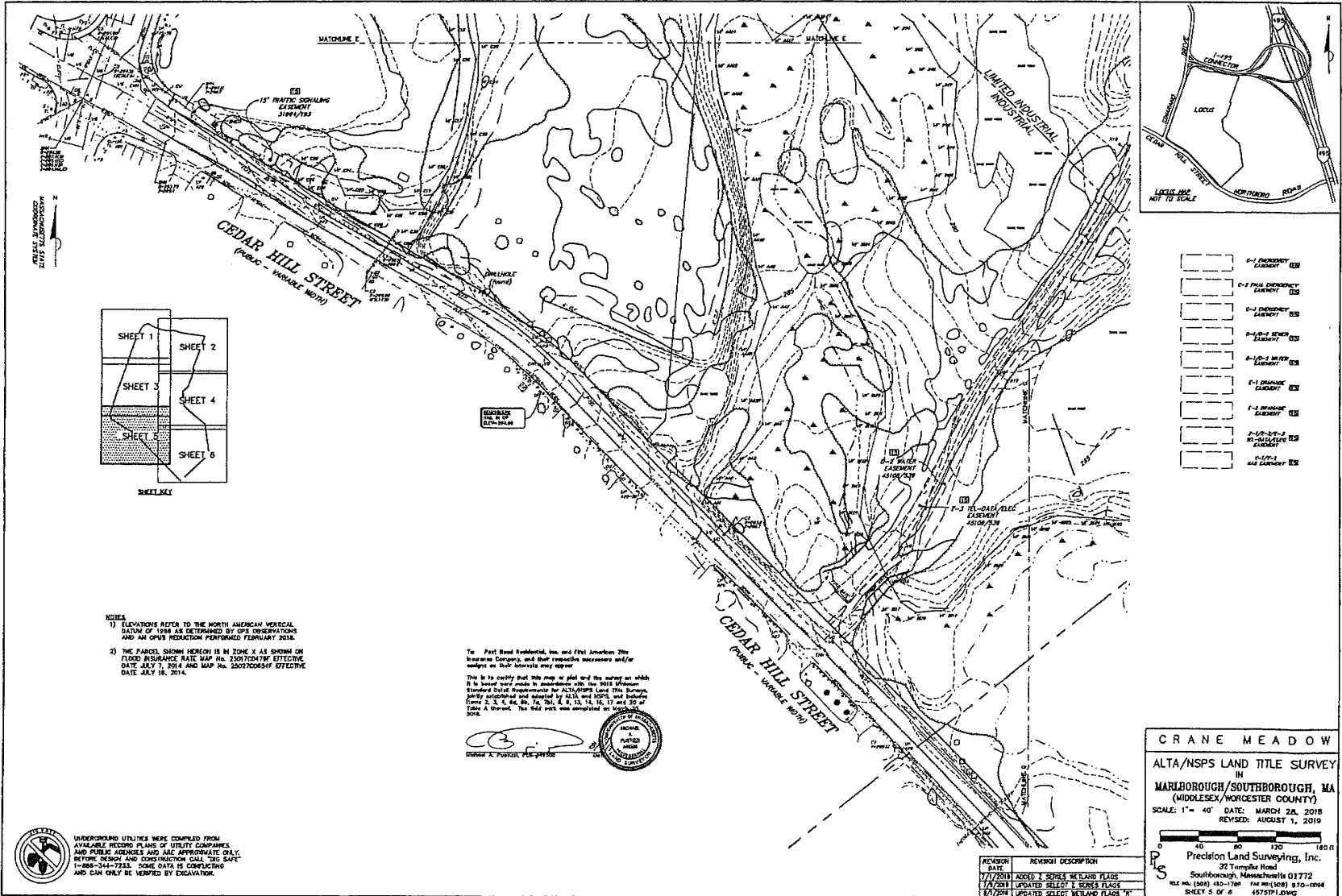
To: Paul Reed Residential, Inc. and First American Title Insurance Company and their respective successors and/or assigns at their respective last known addresses.
 This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2018 Minimum Standard Detail Requirements for ALTA/NSPS Land Surveying, Surveying and Mapping for ALTA and NSPS, and the National Map Accuracy Standards, 7th Edition, and that the survey was completed on or before August 1, 2018.



CRANE MEADOW
 ALTA/NSPS LAND TITLE SURVEY
 IN
 MARLBOROUGH/SOUTHBOROUGH, MA
 (MIDDLESEX/WORCESTER COUNTY)
 SCALE: 1" = 40' DATE: MARCH 28, 2018
 REVISION: AUGUST 1, 2019

Precision Land Surveying, Inc.
 32 Turnpike Road
 Southborough, Massachusetts 01772
 TEL: (508) 461-1700 FAX: (508) 461-1704
 SHEET 4 OF 8 4573P1.DWG

REVISION DATE	REVISION DESCRIPTION
11/27/2018	ISSUED 2 SURVEY WITH PLAN FLAGS
11/27/2018	ISSUED SELECT 1 SURVEY FLAGS
11/27/2018	ISSUED SELECT 2 SURVEY FLAGS



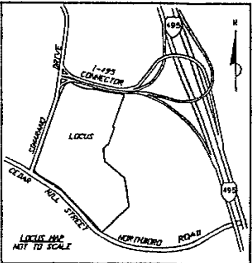
- NOTES**
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED FEBRUARY 2016.
 - THE PARCEL SHOWN HEREON IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 50070407M EFFECTIVE DATE JULY 7, 2014 AND MAP No. 50070407M EFFECTIVE DATE JULY 16, 2014.

We, Paul Reed Residential, Inc. and First American Title Insurance Company, and their respective successors and/or assigns on their interests say hereby:

This is to certify that this map, or plan and the survey on which it is based were made in accordance with the 2013 Minimum Standards of Practice for ALTA/ACSM Land Title Surveys, fully established and defined by ALTA and ACSP, and include Items 2, 3, 4, 6a, 6b, 7a, 7b, 8, 9, 12, 14, 16, 17 and 20 of Item A therein. This field work was completed on 07/27/2019.

[Signature]
 GEORGE A. PATRICK, PLS 23938

[Signature]
 MICHAEL A. PLYN, PLS 23938



- 6-1 EASEMENT E28
- 6-2 FULL EASEMENT E28
- 6-3 EASEMENT E28
- 6-4 EASEMENT E28
- 6-5 EASEMENT E28
- 6-6 EASEMENT E28
- 6-7 EASEMENT E28
- 6-8 EASEMENT E28
- 6-9 EASEMENT E28
- 6-10 EASEMENT E28
- 6-11 EASEMENT E28
- 6-12 EASEMENT E28
- 6-13 EASEMENT E28
- 6-14 EASEMENT E28

CRANE MEADOW

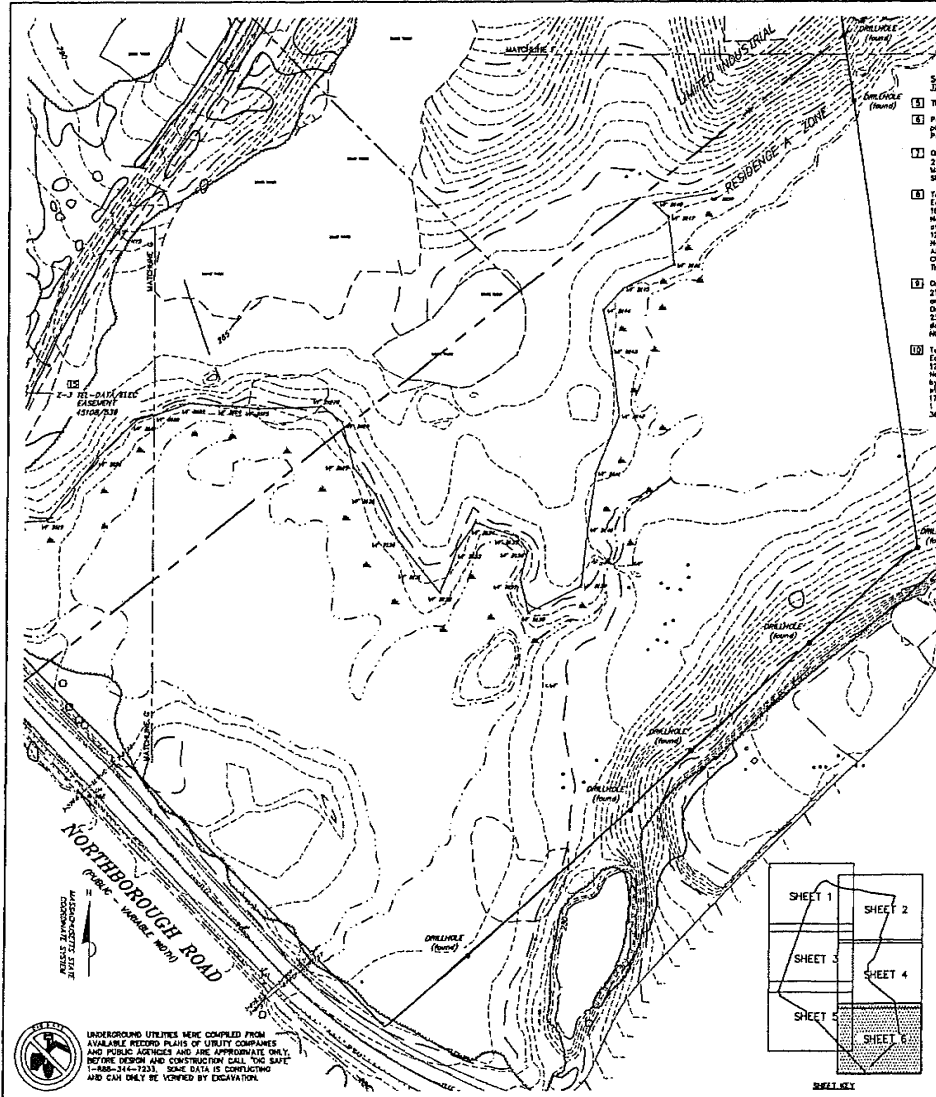
ALTA/NSPS LAND TITLE SURVEY
 IN
MARLBOROUGH/SOUTHBOROUGH, MA
 (WIDDLESEX/HORCESTER COUNTY)
 SCALE: 1" = 40' DATE: MARCH 29, 2018
 REVISED: AUGUST 1, 2019

Precision Land Surveying, Inc.
 37 Temple Road
 Southborough, Massachusetts 01772
 TEL No. (508) 480-1700 FAX No. (508) 370-4004
 SHEET 5 OF 6 4575751.DWG

REVISION

REVISION DATE	REVISION DESCRIPTION
07/27/2019	ADDED 7 SURVEY WELAND FLAGS
11/20/2019	UPDATED SELECT 1 SURVEY FLAGS
01/20/2020	UPDATED SELECT 1 SURVEY FLAGS "R"

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DIGGING AND CONSTRUCTION CALL THE SAFE! 1-888-344-7333. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.



Schedule B Section Two of First American Title Insurance Company's Commitment for Title Insurance
 Commitment No. MA-21112-2011, Effective Date January 10, 2011
 (Continued)

1. This item has been intentionally deleted.
2. Provisions of the Easement to the City of Marlborough for sewer and water line purposes, dated August 22, 1985, recorded with Middlesex South in Book 18445, Page 368, and shown on Plan No. 1719 of 1985. PLOTTED AND SHOWN HEREIN.
3. Order of Conditions by the Marlborough Conservation Commission (DEP File No. 212-823) on the application of Middlesex Street Limited Partnership submitted March 7, 1985 and recorded with Middlesex South in Book 18485, Page 350. NOT A SURVEY RELATED ITEM.
4. Terms and provisions of Cross-Easement Agreement by and between Digital Equipment Corporation and Family Marlborough Limited Partnership, dated December 18, 1991, recorded with Middlesex South in Book 23058, Page 381, as shown on Plan No. 1258 of 1991, and recorded with Worcester in Book 18232, Page 110, as affected by First Amendment to Cross-Easement Agreement dated as of January 12, 1995, recorded with Middlesex South in Book 23070, Page 550, as shown on Plan No. 13 of 1995, and recorded with Worcester in Book 18822, Page 102. PLOTTED AND SHOWN HEREIN. EXCEPT FOR DRAINAGE CASSEMENT NO. 1 NO OTHER CASSEMENT CREATED BY AGREEMENT RECORDED IN BOOK 23060/85 PAGE 381 ARE LOCATED ON THE PROPERTY.
5. Order of Conditions by the Marlborough Conservation Commission (DEP File No. 212-823) on the application of Digital Equipment Corporation, dated March 8, 1995, recorded with Middlesex South in Book 23033, Page 11, as affected by amended Order of Conditions dated April 13, 1995 and recorded with Middlesex South in Book 23212, Page 18, as affected by Certificate of Compliance with amended conditions dated October 2, 1995 and recorded with Middlesex South in Book 23181, Page 28. NOT A SURVEY RELATED ITEM.
6. Terms and provisions of Cross-Easement Agreement by and between Digital Equipment Corporation and Family Marlborough Limited Partnership, dated January 12, 1995, recorded with Middlesex South in Book 23105, Page 837, as shown on Plan No. 23 of 1995, and recorded with Worcester in Book 18822, Page 125, as affected by First Amendment to Cross-Easement Agreement dated July 14, 1995, recorded with Middlesex South in Book 23078, Page 572, and recorded with Worcester in Book 17903, Page 18. PLOTTED AND SHOWN HEREIN EXCEPT FOR DRAINAGE CASSEMENT NO. 1 NO OTHER CASSEMENT CREATED BY AGREEMENT RECORDED IN BOOK 23060/85 PAGE 381 ARE LOCATED ON THE PROPERTY.

7. May/Altered Access provisions of Legal Number 7488 and Order of Taking by the Commonwealth of Massachusetts Department of Public Works for Interstate Route 415, dated March 24, 1995 and recorded with Middlesex South in Book 20025, Page 1, as shown on Plan 402 of 1995, recorded in Book 30094, Pages 888-904.
8. Easement, reservations and easements as set forth in a deed from Johnson Contract Realty, Inc. to Paula A. Dahn, Twelve at 200 Tuck Realty Trust dated March 18, 1998 and recorded with Middlesex South in Book 30158, Page 221. DOES NOT PLOT ON THE PRIZES.
9. Order of Conditions by the Marlborough Conservation Commission (DEP File No. 212-823) on the application of Boston Properties, Inc. dated June 28, 2000, and recorded with Middlesex South in Book 24171, Page 602, as affected by Extension Permit dated October 18, 2003, recorded with Middlesex South in Book 21585, Page 32. NOT A SURVEY RELATED ITEM.
10. Order of Conditions by the Marlborough Conservation Commission (DEP File No. 212-823) on the application of Boston Properties Limited Partnership (General Title holder: BP Crane Meadow LLC) dated December 8, 2000 and recorded with Middlesex South in Book 24171, Page 602, as affected by Extension Permit dated October 18, 2003, recorded with Middlesex South in Book 21585, Page 32. NOT A SURVEY RELATED ITEM.
11. Terms and provisions of Easement Agreement between BP Crane Meadow, LLC, and Fairfield Green at Marlborough LP, dated April 29, 2005 and recorded with Middlesex South in Book 43108, Page 636, as shown on plans recorded therewith as Plan No. 508 of 2005. PLOTTED AND SHOWN HEREIN.
12. This item has been intentionally deleted.
13. Eminent Domain Order of Taking by the Marlborough City County for a permanent easement for a traffic signal, dated September 15, 2005, recorded November 2, 2005, in Book 31184, Page 702, and shown as Parcel 118-2-3 on plan recorded as Plan No. 153 of 2005. PLOTTED AND SHOWN HEREIN.
14. Eminent Domain Order of Taking by the Marlborough City County for a temporary grading easement, dated August 25, 2011, recorded in Book 44785, Page 325, and shown as Parcel 12-11 on Sheet 7 of plan recorded as Plan No. 796 of 2011. PLOTTED AND SHOWN HEREIN.

Schedule A of First American Title Insurance Company's Commitment for Title Insurance
 Commitment No. MA-21112-2011, Effective Date January 10, 2011
 The Land referred to in this Commitment is described as follows:

- PARCEL 1 - 152 PARCELS.**
 A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Marlborough, situated on the southerly side of the Interstate Route 495 Connector Road for Exit No. 23, and shown on Lot 5-1 on "Plan of Land in Marlborough, Massachusetts, Prepared for: BP Crane Meadow, LLC, by Versace Horgan Smith, Inc. dated March 18, 2001, recorded with the Middlesex South District Registry of Deeds as Plan No. 499 of 2001, in Book 33952, Page 224.
- PARCEL 2.**
 A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Marlborough, situated on the southerly side of the Interstate Route 495 Connector Road for Exit No. 23, and shown on Lot 5-1 on "Plan of Land in Marlborough, Massachusetts, Prepared for: BP Crane Meadow, LLC, by Versace Horgan Smith, Inc. dated March 18, 2001, recorded with the Middlesex South District Registry of Deeds as Plan No. 499 of 2001, in Book 33952, Page 224.
- PARCEL 3.**
 A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Marlborough, situated on the southerly side of the Interstate Route 495 Connector Road for Exit No. 23, and shown on Parcel 5-28 on "Plan of Land in Marlborough, MA, Prepared for: BP Crane Meadow, LLC, by Versace Horgan Smith, Inc. dated March 18, 2001, recorded with the Middlesex South District Registry of Deeds as Plan No. 504 of 2001, in Book 43108, Page 218.

Parcel 1 through 3 are a subdivision of Lot 5 on a plan entitled "Compulsory Plan of Land in Marlborough, Middlesex County, Massachusetts, (Marlborough County), Off Parcel Street, Showning Drive, Crane Meadow Road, Cedar Hill Street, Northboro Road, of Interstate Route 1-495" dated November 22, 1994, recorded with Middlesex South in Plan 2154 of 1994 in Book 25055, Page 336, enclosing Overlapp Parcel 5-2A on "Plan of Land in Marlborough, MA, Franklin Land Surveying, Inc. and Mirra Associates," dated December 23, 2004, recorded with the Middlesex South District Registry of Deeds as Plan No. 504 of 2004, in Book 43108, Page 218, corrected by deed dated April 29, 2005, recorded in Book 43108, Page 526.

PARCEL 10.
 A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Marlborough, situated on the southerly side of the Interstate Route 495 Connector Road for Exit No. 23, and shown on Parcel 5-28 on "Plan of Land in Marlborough, MA, Prepared for: BP Crane Meadow, LLC, by Versace Horgan Smith, Inc. dated March 18, 2001, recorded with the Middlesex South District Registry of Deeds as Plan No. 504 of 2001, in Book 43108, Page 218.

TRACED A - ADJACENT RIGHTS.
 Together with the amount of the following:

1. Easement to the City of Marlborough for sewer and water line purposes, dated August 22, 1985, recorded with Middlesex South in Book 18445, Page 368.
2. Easement to the City of Marlborough for sewer and water line purposes, dated August 22, 1984, recorded with Middlesex South in Book 25081, Page 381, and recorded with Worcester in Book 18232, Page 110, as affected by First Amendment to Cross-Easement Agreement dated January 12, 1995, recorded with Middlesex South in Book 23070, Page 550, and recorded with Worcester in Book 18822, Page 102.
3. Cross-Easement Agreement with Family Marlborough Limited Partnership dated January 12, 1995, recorded with Middlesex South in Book 23105, Page 837, and recorded with Worcester in Book 18232, Page 125, as affected by First Amendment to Cross-Easement Agreement dated July 14, 1995, recorded with Middlesex South in Book 23078, Page 572, and recorded with Worcester in Book 17903, Page 18.
4. Easement Agreement between BP Crane Meadow, LLC, and Fairfield Green at Marlborough LP, dated April 29, 2005 and recorded with Middlesex South in Book 43108, Page 636, as shown on plans recorded therewith as Plan No. 508 of 2005.

- C-1 EASEMENT
- C-2 EASEMENT
- C-3 EASEMENT
- C-4 EASEMENT
- C-5 EASEMENT
- C-6 EASEMENT
- C-7 EASEMENT
- C-8 EASEMENT
- C-9 EASEMENT
- C-10 EASEMENT
- C-11 EASEMENT
- C-12 EASEMENT
- C-13 EASEMENT
- C-14 EASEMENT
- C-15 EASEMENT
- C-16 EASEMENT
- C-17 EASEMENT
- C-18 EASEMENT
- C-19 EASEMENT
- C-20 EASEMENT

The First American Title Insurance Company and First American Title Insurance Company are not responsible for any errors or omissions on this survey and/or map.
 This is to certify that this map as filed and the survey on which it is based were made in accordance with the 2008 Massachusetts Standard Detail Requirements for ALTA/NSPS Land Title Surveys, duly established and adopted by ALTA and NSPS, and include Rules 2, 3, 4, 6, 6a, 6b, 7a, 7b, 8, 11, 14, 16, 17 and 20 of said Rules.
 The field work was completed on 08/01/2018.

CRANE MEADOW
ALTA/NSPS LAND TITLE SURVEY
 IN
MARLBOROUGH/SOUTHBOROUGH, MA
 (MIDDLESEX/WORCESTER COUNTY)
 SCALE: 1" = 40' DATE: MARCH 28, 2018
 REVISED: AUGUST 1, 2018

40 80 120 160 FT
 Precision Land Surveying, Inc.
 32 Tynahoe Road
 Southborough, Massachusetts 01772
 Tel: (508) 485-7100 Fax: (508) 485-7100
 SHEET 1 OF 6 45787100

REVISION REVISION DESCRIPTION
 1/7/2018 ADDED 2 SURVEY WELLS PLANS
 1/7/2018 OPERATE SELECT 1 SURVEY PLANS
 1/7/2018 UPDATED SELECT 1 SURVEY PLANS

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL TO CONFIRM. SOME DATA IS CONTINUING AND CAN NOT BE CHECKED BY LOCATOR.



City of Marlborough Legal Department

140 MAIN STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610
LEGAL@MARLBOROUGH-MA.GOV

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2019 NOV 28 A 10:45
JASON D. GROSSFIELD
CITY SOLICITOR
JASON M. PIQUES
ASSISTANT CITY SOLICITOR
HEATHER H. GUTIERREZ
PARALEGAL

November 25, 2019

Edward J. Clancy, President
Marlborough City Council
City Hall
140 Main Street
Marlborough, MA 01752

Re: City Council Order No. 19-1007762– Special Permit Decision
“Green District”, 107 Simarano Drive, Marlborough

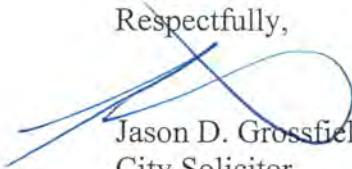
Dear Honorable President Clancy and Councilors:

In accordance with Chapter 650-59C (13) of the Marlborough Zoning Ordinance, I provide this letter as to the legal form of the City Council's proposed findings on the above-referenced special permit application submitted by Post Road Realty LLC relating to 107 Simarano Drive, Marlborough. In Condition #6, I incorporated specific reference to the affordable housing units complying with all requirements for inclusion in the Subsidized Housing Inventory of the Commonwealth of Mass. Dept. of Housing and Community Development.

Enclosed is a copy of the proposed decision. I certify that it is in proper legal form.

Please contact me if you have any questions or concerns.

Respectfully,


Jason D. Grossfield
City Solicitor

Enclosures

cc: Arthur G. Vigeant, Mayor
Jeffrey Cooke, Building Commissioner
Brian Falk, Esq.

**NOTICE OF DECISION
GRANT OF SPECIAL PERMIT**

In City Council
Order No. # 19-1007762

Application of:
Post Road Realty LLC

Locus:
107 Simarano Drive, Marlborough, MA
Parcels 5, 11, and 12 on Assessors Map 116

DECISION

The City Council of the City of Marlborough hereby **GRANTS** the Application of Post Road Realty LLC, with a mailing address of 11 Unquowa Road, Fairfield, CT, as provided in the DECISION and subject to the Findings of Fact and Conditions contained therein.

Decision date: _____, 2019

The Decision of the City Council was filed in the Office of the City Clerk of the City of Marlborough on the [] day of [], 2019.

APPEALS

Appeals, if any shall be made pursuant to Massachusetts General Laws, Chapter 40A, Section 17 and shall be filed within twenty (20) days after the date of the filing of this Notice of Decision in the Office of the City Clerk of the City of Marlborough, MA.

A TRUE COPY
ATTEST:

City Clerk

ORDERED:

IN CITY COUNCIL

DECISION ON A SPECIAL PERMIT

Application of:
Post Road Realty LLC

Locus:
107 Simarano Drive, Marlborough, MA
Parcels 5, 11, and 12 on Assessors Map 116

**DECISION ON A SPECIAL PERMIT
ORDER NO. 19-1007762**

The City Council of the City of Marlborough hereby GRANTS the Application for a Special Permit to Post Road Realty LLC (the “Applicant”) to build and operate a two-phase 475-unit multifamily dwelling residential project at 107 Simarano Drive, as provided in this Decision and subject to the following Findings of Fact and Conditions.

FINDINGS OF FACT

1. The Applicant, Post Road Realty LLC, is a Connecticut limited liability company with an address of 11 Unquowa Road, Fairfield, CT 06824.
2. The Applicant is the prospective owner of the property located at 107 Simarano Drive, Marlborough, Massachusetts, being shown as Parcels 5, 11, 78, and 12 on Assessors Map 116 (the “Site”).
3. In accordance with Article VI, Section 650-36.D(2), of the Zoning Ordinance of the City of Marlborough (the “Zoning Ordinance”), the Applicant proposes to build and operate a two-phase 475-unit multifamily dwelling residential project at the Site, in two buildings with 677 on-site parking spaces, open areas, walking trails, and residential amenities (the “Use”). As shown on the Site Plan referenced in paragraph 7 below, the Use consists of two development phases: “Site 1” with 235 units and 354 parking spaces and “Site 2” with 240 units and 323 parking spaces.
4. The Site is located in the Executive Residential Overlay District, and the underlying zoning districts are Industrial and Limited Industrial.

5. The Site has an area of 1,873,840 square feet +/- as shown on the Site Plan referenced in paragraph 7 below.

6. The Applicant, by and through its counsel, filed with City Clerk of the City of Marlborough an Application for a Special Permit (“Application”) for the Use.

7. In connection with the Application, the Applicant submitted a certified list of abutters, filing fees, and the following plans: (i) a detailed site plan entitled “Green District Special Permit and Site Plan Approval” by Hancock Associates, comprised of Sheets 1 through 32, with the last revision date of November 12, 2019 (the “Site Plan”); (ii) a set of architectural plans entitled “Green District” by Bargmann Hendrie + Archetype, Inc., comprised of Sheets A100, A101, A102, A200, A201, A202, and A300, with the last revision date of November 12, 2019; and (iii) a set of landscaping plans entitled “Green District” by Eric Rains Landscape Architecture, LLC, comprised of Sheets SPL-1.0, SPL-1.1, SPL-2.0, SPL-2.1, SPL-3.0, and SPL-3.1, with the last revision date of November 12, 2019 (collectively with the Site Plan, the “Plans”), attached hereto as **“Attachment A.”**

8. The Application was certified by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, as having complied with Rule 4, items (a) through (m), of the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.

9. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.

10. The Marlborough City Council, pursuant to Massachusetts General Laws Chapter 40A, opened a public hearing on the Application on Monday, October 7, 2019. The hearing was closed on that date.

11. The Applicant, through its representatives, presented testimony at the public hearing detailing the Use, describing its impact upon municipal services, the neighborhood, and traffic.

12. At the public hearing, no members of the public spoke in opposition to the Use.

**BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING
FINDINGS AND TAKES THE FOLLOWING ACTIONS**

A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.

B. The City Council finds that the proposed Use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of

Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.

C. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby GRANTS the Applicant a Special Permit to build and operate a two-phase 475-unit multifamily dwelling residential project as shown on the Plans filed, SUBJECT TO THE FOLLOWING CONDITIONS, which conditions shall be binding on the Applicant, its successors and/or assigns:

1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts, and shall be built according to the Plans as may be amended during Site Plan Review.

2. Compliance with Applicable Laws. The Applicant, its successors and/or assigns agrees to comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of the Use.

3. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review by the City Council in accordance with Section 650-36 of the Zoning Ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications or amendments, as required during the process of Site Plan Review, shall be further conditions of this Special Permit and conditions attached to the building permit, and no occupancy permit shall be issued until the Applicant has complied with all conditions. Site Plan Review shall be consistent with the conditions of this Special Permit and the Plans submitted, reviewed and approved by the City Council as the Special Permit Granting Authority. Conditions imposed through Site Plan Review, as approved by the City Council, shall also be conditions of this Special Permit, and any violations of those conditions shall be violations of this Special Permit. In accordance with Section 650-36.H of the Zoning Ordinance, the Building Commissioner may approve minor modifications to the Special Permit and Site Plan.

4. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council. The final architectural design of the Site shall be reasonably consistent with the Plans submitted by the Applicant. The final exterior features of the Site, including landscaping, shall be maintained in good condition and shall be reasonably consistent with the Plans submitted and representations made to the City Council.

5. Storm Water and Erosion Control Management. The Applicant, its successors and/or assigns, shall ensure that its site superintendent during construction of the project is competent in stormwater and erosion control management. This individual(s)' credentials shall be acceptable to the Engineering Division of the City's Department of Public Works and the

City's Conservation Commission. This individual(s) shall be responsible for checking the Site before, during, and after storm events including weekends and evenings when storms are predicted. This individual(s) shall ensure that no untreated stormwater leaves the Site consistent with the State's and the City's stormwater regulations. This individual(s) shall ensure compliance with the approved sequence of construction plan and the approved erosion control plan. The Applicant, its successors and/or assigns, shall grant this individual(s) complete authority of the Site as it relates to stormwater and erosion controls.

6. Affordable Units. (a) Ten percent (10%) of the dwelling units at the Site shall be made available as rental units at affordable prices to renters (whose annual income does not exceed eighty percent (80%) of the Area median income adjusted for family size as determined by the U.S. Department of Housing and Urban Development) in perpetuity or the longest period allowed by law (the "Affordable Housing Units"), in accordance with the provisions of Section 650-26 of the Zoning Ordinance and this condition. The Affordable Housing Units shall comply with all requirements for inclusion in the Subsidized Housing Inventory ("SHI") of the Commonwealth of Mass. Department of Housing and Community Development ("DHCD"). Prior to obtaining a certificate of occupancy for any unit within the Use, the Applicant, in coordination with the City and its Community Development Authority, shall file all required submissions to DHCD for inclusion of the Affordable Housing Units on the SHI and shall diligently take all actions necessary to include the Affordable Housing Units on the SHI, including without limitation, preparing and executing a regulatory agreement and declaration of restrictive covenants and/or any other restrictive instrument necessary to ensure compliance with said Zoning Ordinance and this condition, a marketing plan, and all other required documentation. All costs associated with complying with this condition, including but not limited to, the DHCD process, recording of all documents with the registry of deeds, and the marketing plan for the Affordable Units shall be borne by the Applicant.

(b) In lieu of requiring that fifteen percent (15%) of the dwelling units at the Site be made available at affordable prices to renters, the Applicant shall provide a payment to the City of \$50,000 per affordable dwelling unit that would have been otherwise required under Section 650-26 of the Zoning Ordinance. For Site 1 of the Use, the number of applicable units is 12, for a total payment of \$600,000. For Site 2 of the Use, the number of applicable units is 12, for a total payment of \$600,000. The payments required by this condition shall be made prior to the issuance of a building permit for Site 1 and Site 2, respectively, and shall be payable to a fund or funds designated by the City Council prior to submission of each payment.

7. Multifamily Unit Payments. To mitigate any impacts associated with the Use, the Applicant has agreed to provide a payment to the City of \$3,500 for each multifamily dwelling unit at the Site. For Site 1 of the Use, the total payment shall be \$822,500. For Site 2 of the Use, the total payment shall be \$840,000. The payments required by this condition shall be made prior to the issuance of a building permit for Site 1 and Site 2, respectively, and shall be payable to a fund or funds designated by the City Council prior to submission of each payment.

8. MetroWest/495 Transportation Management Association. To help promote alternative modes of transportation for residents of the Site, prior to the issuance of a building

permit for Site 1 the Applicant shall join the Metro West/495 Transportation Management Association.

9. Conservation Commission Approval. The Applicant shall obtain and comply with an Order of Conditions from the City's Conservation Commission.

10. Recording of Decision. In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council's office, the Building Department, and the City Solicitor's office.

Yea: _____ - Nay: _____ - Absent: _____

ADOPTED
In City Council
Order No. 19-1007762

Adopted: _____ 2019

A TRUE COPY
ATTEST: _____ City Clerk

GREEN DISTRICT SPECIAL PERMIT AND SITE PLAN APPROVAL

107 SIMARANO DRIVE
MARLBOROUGH, MASSACHUSETTS

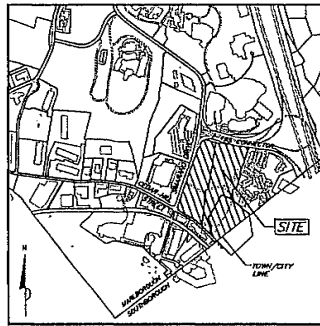
SHEET INDEX

SHEET 1 TITLE SHEET
 SHEET 2 NOTES, SIGNAGE, REFERENCES & LEGEND
 SHEET 3 INDEX AND SEQUENCING PLAN
 SHEET 4-7 LAYOUT & MATERIALS PLAN
 SHEET 8-11 GRADING PLAN
 SHEET 12-15 DRAINAGE PLAN
 SHEET 16-19 UTILITIES PLAN
 SHEET 20-23 STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
 SHEET 24 PAVEMENT DETAILS
 SHEET 25 SWPPP EROSION CONTROL DETAILS
 SHEET 26 SEWER SERVICE AND WETLANDS CROSSING DETAILS
 SHEET 27 WATER SERVICE DETAILS
 SHEET 28 DRAINAGE DETAILS
 SHEET 29-30 PHOTOMETRIC LIGHTING PLAN
 SHEET 31-32 FIRE MANEUVERING PLAN SURVEY
 SHEET 1-6 ALTA/NSPS LAND TITLE SURVEY

ZONING REGULATIONS

CURRENT (UNREPEALED) CHAPTER 400 OF THE CODE OF MARLBOROUGH, ORDER NUMBER 18-100233 DATED JANUARY 28, 2018 AS AMENDED BY CITY COUNCIL, ON JUNE 5, 2018, CREATING A NEW SECTION 400-26, EXECUTIVE RESIDENTIAL OVERLAY DISTRICT.
 TIME-SHARED INDUSTRIAL (I) AND LIGHT INDUSTRIAL (LI) PER ZONING MAP DATED JULY 1, 2018.
 OVERLAY DISTRICTS: EXECUTIVE RESIDENTIAL OVERLAY DISTRICT (EROD) DESCRIBED AS EXHIBIT A ON ORDER NUMBER 18-100233.
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL FOR TOTAL OF 475 UNITS PROVIDED THAT THE TOTAL NUMBER OF UNITS IN THE FIRST TWO PHASES SHALL NOT EXCEED 475 AS OF 6/29/19.
 * SITE 1: 235 TOTAL UNITS (51 STUDIO, 29 SMALL 1BR, 47 LARGE 1BR, 20 SMALL 2BR, 29 LARGE 2BR, 13 3BR) WITH 872,963 CSF
 * SITE 2: 140 TOTAL UNITS (52 STUDIO, 33 SMALL 1BR, 86 LARGE 1BR, 20 SMALL 2BR, 31, LARGE 2BR, 14 3BR) WITH 377,091 CSF
 LOT AREA: 1,875,840 SF (MARLBOROUGH)

DIMENSIONAL REQUIREMENTS		
ITEM	REQUIRED	PROPOSED
MINIMUM LOT AREA	NONE	1,875,840 SQUARE FEET (MARLBOROUGH)
MINIMUM FRONTAGE	NONE	393.80 FEET (W/OLYMPIC 1-483 CONNECTION ROAD)
MINIMUM FRONT YARD SETBACK	50 FEET	SITE 1: 50.37 FEET (MAIN BUILDING) 50.16 FEET (GARAGE) SITE 2: 204.42 FEET TO 483 CONNECTOR 125.70 FEET (GARAGE)
MINIMUM SIDE/REAR YARD SETBACK	25 FEET	SITE 1: 25.84 FEET (MAIN BUILDING) 19.57 FEET (GARAGE) SITE 2: 65.40 FEET (MAIN BUILDING) 18.48 FEET (GARAGE)
MAXIMUM HEIGHT AND STORIES	MAXIMUM 60 FEET BUILDING HEIGHT AND NO LIMITATION ON STORIES	60 FEET BUILDING HEIGHT AND FIVE STORIES
MAXIMUM LOT COVERAGE	80% OVER THE ENTIRE LOT	28%
PARKING REQUIREMENTS		
ITEM	REQUIRED	PROPOSED
MINIMUM PARKING SPACES	(1 PARKING SPACE PER BEDROOM) + (829 BEDROOMS=829 SPACES TOTAL FOR SITE 1; (1) PARKING SPACE PER BEDROOM) + (310 BEDROOMS=310 SPACES TOTAL FOR SITE 2; (1) PARKING SPACE PER BEDROOM) + (140 BEDROOMS=140 SPACES TOTAL)	877 TOTAL SPACES (SITE 1: 354 SPACES AT 1.01 SPACES/UNIT; SITE 2: 323 SPACES INCLUDING 829-FEET COMPACT SPACES AT 1.34 SPACES PER UNIT)
THROUGH PARKING SPACE SIZE (OFF PARKING)	9 FT x 19 FT WITH 24-FOOT AISLE (TWO-WAY)	9 FT x 18 FT WITH 24-FOOT AISLE (TWO-WAY)
COMPACT SPACES (OFF PARKING)	33% ALLOWED AT 16'6" AND 22-FOOT AISLE	9.3X (83 SPACES) AT 16'6" AND 22/24-FOOT AISLES
MINIMUM PARKING SPACE SIZE (PARALLEL)	9 FT x 20 FT WITH 20-FOOT AISLE (TWO-WAY)	9 FT x 22 FT WITH 24-FOOT AISLE (TWO-WAY)
MIN. FRONT YARD PARKING SETBACK (OFF PARKING)	20 FT	16.5 FEET (SITE 1)
MINIMUM SIDE/REAR YARD PARKING SETBACK (SECT. 47.1(3))	7 FT	15.24 FEET
MINIMUM PARKING SETBACK FROM BUILDING	5 FEET	5.9 FEET
MAXIMUM PARKING GRADE	5%	4%
TOLERANCE DISTANCE PARKING TO BUILDING	800 FEET	<800 FEET
CURBING AT LANDSCAPED AREAS (SECT. 85A(4)(b))	DURABLE CURBING, 8 INCHES HIGH	CURE C&G BERM (12" HIGH x 3" HIGH) AT PERIMETER OF PARKING LOT
LANDSCAPING REQUIREMENTS		
FRONT YARD PLANTING	20 FEET	16.5 FEET (SITE 1)
SIDE YARD PLANTING	7 FEET	25 FEET OR MORE
INTERIOR PARKING LOT LANDSCAPING	3X (PERIMETER OF PARKING EXCLUDING EXTERIOR PARKING BAYS)	MORE THAN 3X
INTERIOR PARKING LOT LANDSCAPING	SEE NOTE 2.	CONFORMS
MINIMUM ISLAND DIMENSIONS	7 FEET WIDTH AND 100 SQUARE FEET	7 FEET WIDTH MINIMUM AND MORE THAN 100 SQUARE FEET
MINIMUM ISLAND DIMENSIONS	7 FEET WIDTH AND 100 SQUARE FEET	7 FEET WIDTH MINIMUM AND MORE THAN 100 SQUARE FEET
DRIVEWAY SKIRT TRIANGLE	25 FEET ON TWO SIDES AT INTERSECTIONS	25 FEET ON TWO SIDES AT INTERSECTIONS
DRIVEWAY REQUIREMENTS		
MAXIMUM NUMBER OF DRIVEWAYS	1 FOR EACH 100 FEET OF FRONTAGE	2 DRIVEWAYS FOR 3812.80 FEET
GRADES FOR THE DRIVEWAY	SEE NOTE 1.	DRIVEWAYS CONFORM
MINIMUM SIGHT DISTANCE	200 FEET	2200 FEET
MINIMUM TRAVELED WIDTH	24 FEET	24 FEET TO 30 FEET
MINIMUM CURB RADIUS AT PUBLIC STREET	20 FEET	20 FEET



VICINITY MAP
SCALE 1" = 100'

OWNER:

BP CRANE MEADOW LLC
C/O MARVIN F. POER & COMPANY
3520 PIEDMONT ROAD NE, SUITE 410
ATLANTA, GEORGIA 30305

APPLICANT:

POST ROAD REALTY LLC
11 UNQUODUA ROAD
FAIRFIELD, CONNECTICUT 06824

PROJECT TEAM

CIVIL ENGINEER:

HANCOCK ASSOCIATES
375 ELM STREET
MARLBOROUGH, MASSACHUSETTS
01752

ARCHITECT:

BARCHANN HENRIK & ARCHITECTS INC.
9 CHAMBERLAIN STREET, SUITE 200
BOSTON, MASSACHUSETTS
02114

LANDSCAPE ARCHITECT:

ERIC BLAKE LANDSCAPE ARCHITECTURE
11 NORTH MAIN STREET
SOMER, CONNECTICUT
06083

LAND SURVEYOR:

WETLAND SURVEYING
375 MAIN STREET #2
METHUEN, MASSACHUSETTS
01754

WETLAND SCIENCE:

RODDING CONSULTING LLC
375 MAIN STREET #2
METHUEN, MASSACHUSETTS
01754

TRANSPORTATION ENGINEER:

JOY MULLER & ASSOCIATES
30 HENRI ROAD
METHUEN, MASSACHUSETTS
01754

REVISION 1 UPDATES 2019-10-18

- ORANGE SURFACE SUBSTITUTED FOR ROAD A PAVEMENT FROM SITE 2 -EXISTING AND PROPOSED WATER/SEWER/DRAIN STRUCTURE NUMBERS -INTERSECTION OF SIMARANO DRIVE AND ROAD A UPDATED.
- SLOPED CHANITE CURB SUBSTITUTED FOR VERTICAL CHANITE CURB AND PIPE MATERIALS ADDED -NOTES ADDED TO CLARIFY PIPE CROSSING CLEARANCE DURING CONSTRUCTION -ELIMINATED PARKING LOT ENCROACHMENTS INTO 20' WETLANDS BUFFER.
- SHEET J NAME CHANGED -PIPE INVERTS CONNECTED FROM DRAIN TO DRAIN -ADDED GRADING ON SOUTH SIDE OF ROAD A
- SLOW STORAGE AREA ADDED -SEWER CLEARANCE ADDED -WATER SERVICE VALUES ADDED -SWPPP PLAN UPDATED AND DETAILS ADDED
- 43 SPACES REDUCED TO 354 SPACES AND 31 CONVERTED TO GRASS PARKING -CLASSIFICATION MADE FOR EXISTING WATER MAINS -ADDITIONAL DETAILS PROVIDED FOR BRIDGE CROSSINGS OF WETLANDS
- SITE 2 PARKING HAS 43 SPACES CONVERTED TO GRASS PARKING -FIRE LANE PORTALS PAVEMENT DETAIL REVISED -STORMWATER INFILTRATION PORTS ADDED
- VERTICAL ASH CHUTES ADDED FOR RAMPAGE RAMP AND PARKING -ADDITIONAL WALL ELEVATIONS PROVIDED -CATCH BASINS ALONG ORANGE ROAD A REVISED
- RE-ASTED LEDE FACE ELEVATIONS ADDED -WATER MAIN ADDED FOR SITE 1 NORTHWEST ASHLE ENCROACHMENT AND STREET LIGHTS
- MISSING INVERTS AND BUIS ADDED -SITE 1 BASIN RECONSTRUCTED

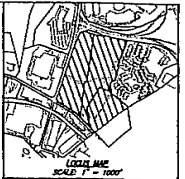
REVISION 2 UPDATES 2019-11-12

- ROAD A AT SIMARANO DRIVE TRAFFIC/MOVEMENT NOW ADDED TO PHASE 1.
- PARKING RECONFIGURED AND REDUCED ON SITE 2
- ORANGE PARKING ON PARKING DELETED AND REPLACED BY 86 BARBUS CONCRETE
- PARKING UPHELD ON SHEET J ZONING REGULATIONS
- PIPE LINES CONVERTED TO ALL GRASS PARKING
- ADJUSTMENT MORE ADDED
- ORANGE ROAD A NOW REWORKED TO INCLUDE CONSTRUCTION AT THE END OF PHASE ONE FROM THE END PHASE 1 TO CEDAR HILL STREET AND TO REWORK CHUTES FROM DESIGN
- PARKS (FALL PHOTOGRAPH) ADDED AT PEDESTRIAN WETLANDS
- NEW PEDESTRIAN WETLANDS CROSSING PERIOD
- PEDESTRIAN WETLANDS CROSSING DETAILS ADDED
- PEDESTRIAN CROSSING BOARDWALKS EXTENDED TO OUTSIDE OF 16' WETLANDS SETBACK
- SITE GRADING MODIFIED TO AVOID WETLANDS SETBACKS
- LEAVING UPDATED FOR CURB CHANGES
- ADJUSTMENT ADDED ALONG ORANGE ROAD A
- PRECEDENT ENHANCED ADDED AT SITE 1 BASIN INLET PIPES
- IMPROVEMENTS FOR ASHLE ENCROACHMENT AND PERMETER CAPE COD BROW ADDED
- SHEETS 2 AND 3 NAME REVISED
- IMPROVEMENT AND OTHER SOURCE ADDED

SITE PLAN APPROVAL # _____

PLANS LISTED ON THIS SHEET WITH REVISION DATES AS SHOWN

APPROVED:	DATE:
ENGINEERING:	DATE:
BUILDING:	DATE:
CONSERVATION:	DATE:
FIRE DEPT:	DATE:
POLICE DEPT:	DATE:
BOARD OF HEALTH:	DATE:



GREEN DISTRICT

107
SIMARANO
DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MARLBOROUGH ADDRESS:

MAP LOT
116 5.11 & 12

PREPARED FOR:

POST ROAD
REALTY LLC

11 Unquodua Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

300 Elm St. Marlborough, MA 01752
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2	DL	6/14/19	REV SHEET 1 REV. NOTES
1	DM	8/16/19	PER COMMENTS
NO	BY	DATE	DATE/VERSION DESCRIPTION
			DATE: 8/26/19 2:00 PM EJS
			DATE: 8/26/19 2:00 PM EJS
			DATE: 8/26/19 2:00 PM EJS

TITLE SHEET

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

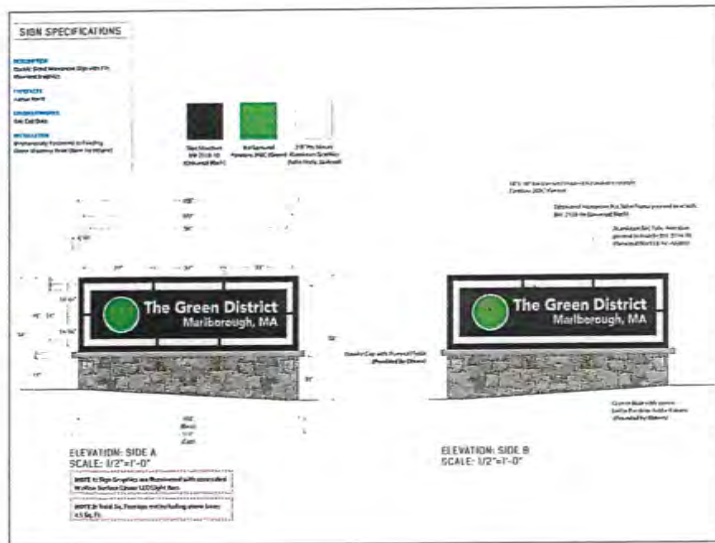
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LAYOUT: TS

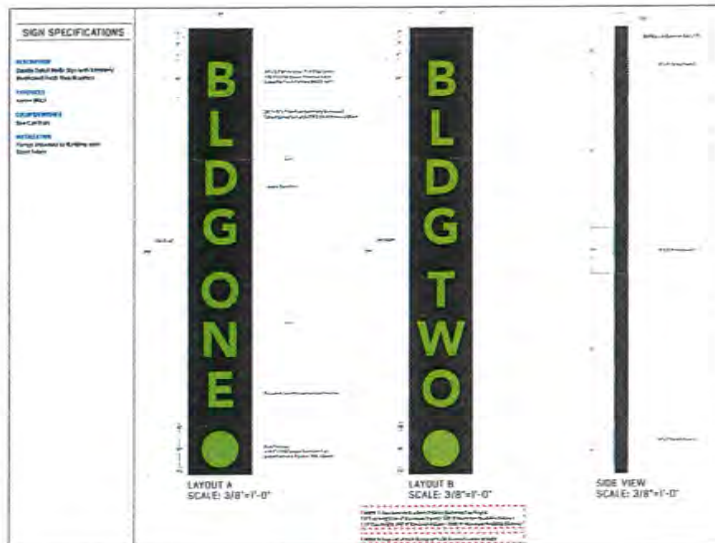
SHEET: 1 OF 32

PROJECT NO.: 22680





MONUMENT SIGN
NOT TO SCALE



BUILDING MOUNTED BLADE SIGN
NOT TO SCALE

GENERAL NOTES

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTACLES/SYSTEMS SHOWN HEREIN ARE APPROXIMATE UNLESS ALL UTILITIES/OBSTACLES/SYSTEMS ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTACLES/SYSTEMS WHETHER OR NOT SHOWN HEREIN.
2. UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE OVERGROUND.
3. CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
4. SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DESTRUCTION AND / OR REMOVAL. HIDDEN DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
6. THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SURFACE DRAINAGE TO PREVENT AROUND FLOODING. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
7. ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREIN SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
8. FIN ELEVATIONS SHOWN FOR NEW STRUCTURES ARE APPROXIMATE AND ARE INTENDED TO ASSIST CONTRACTOR WITH MATERIAL TAKEOFFS. FINISH FIN ELEVATIONS SHOULD MATCH FINISHED FINISHING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
9. WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ABANDONED, LINES/STRUCTURES SHALL BE PROTECTED/SHUT OFF/PLUGGED IN ACCORDANCE WITH OWNER REQUIREMENTS.
10. THE CONTRACTOR SHALL NOTIFY THE LOCATION AND RELATIVE ELEVATION OF WHICH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
11. PROPOSED BUILDING FOUNDATION CONFIGURATION AND LOCATION ON THE LOT AS SHOWN ARE CONCEPTUAL AND SHALL BE REVIEWED AS TO CONFORMANCE WITH FINAL ARCHITECTURAL PLANS AND ZONING ORDINANCES PRIOR TO CONSTRUCTION.
12. SILT FENCE SHOWN HEREIN SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS WITHIN BUFFER ZONE AND SHALL SERVE AS THE LIMIT OF WORK.

REGULATORY NOTES

1. CONTRACTOR SHALL CONTACT 010-SAVE FOR UNDERGROUND UTILITY MARKING AT 1-888-344-7332 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
2. CONTRACTOR SHALL MAKE IMMEDIATE AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AGENCIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AGENCIES.
3. ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE REAR FACE OF BUILDING FOUNDATIONS SHALL CONFORM WITH THE LANTOWN STATE PLUMBING CODE OF MASSACHUSETTS 248 CMR 2.00.

ADA NOTES

- CONTRACTOR SHALL INSTALL ALL PAVING AREAS AND WALKWAYS IN ACCORDANCE WITH APPLICABLE ADA AND WALKWAY REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
1. HANDICAPPED SPACES AND STRIPPED AREA SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION.
 2. STRIPPED SPACES SHALL NOT EXCEED 2% FOR A MAXIMUM VERTICAL DISTANCE OF 8 INCHES.
 3. STRIPPED SPACES SHALL HAVE A MAXIMUM SLOPE IN THE PATH OF TRAVEL OF 2% AND A MAXIMUM CROSS SLOPE OF 1.5%. CONTRACTOR SHOULD NOT LAYOUT SLOPES EXCEEDING 4.5% AND 1.5% RESPECTIVELY TO ALLOW FOR CONSTRUCTION TOLERANCES. IF THE CONTRACTOR DETERMINES THAT THE REQUIRED SLOPES CANNOT BE ACHIEVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE INFORMATION TO THE ENGINEER FOR RESOLUTION.



KEY

- AR ACCESSIBLE RAMP
- B BOLLARD
- BT BOTTOM
- BC BOTTOM OF CURB
- BPVC REVEALED VERTICAL DRAINAGE CURB
- CB CATCH BASIN
- CCB CAPS COB BROW
- CS CURB STOP
- DN DRAINAGE MANHOLE
- DS DOWNWARD SLOPE
- AD AREA DRAIN
- EGW ESTIMATED SEASONAL HIGH GROUNDWATER FOUNDATION DRAIN
- FE FLOOR ELEVATION
- FES PLANNED END SECTION
- FSM FLOOR SCHEDULE
- OR DRAIN
- GD GRADE TO DRAIN
- HP HIGH POINT
- HOPE HIGH DENSITY POLYETHYLENE (HDPE) FOUNDATION DRAIN
- LP LOW POINT
- SP SEMI-RIGID PORTLAND CEMENT CONCRETE CURB
- SL STOP LINE (STOP BAR)
- SL STOP LINE (STOP BAR)
- STN STATION
- TC TOP OF CURB
- TD TRENCH DRAIN
- LF LIMIT FENCE
- VC VERTICAL CLAY PIPE
- VCC VERTICAL CONCRETE CURB
- V.O. VERTICAL ORDNANCE
- W.Q.S. WATER QUALITY SHALE



GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP
1:11 & 1:2

PREPARED FOR:

POST ROAD REALTY LLC

11 Uniquus Road
Fairfield, Connecticut 06424

HANCOCK ASSOCIATES

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Wildland Scientists

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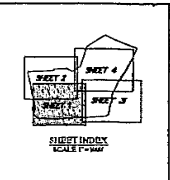
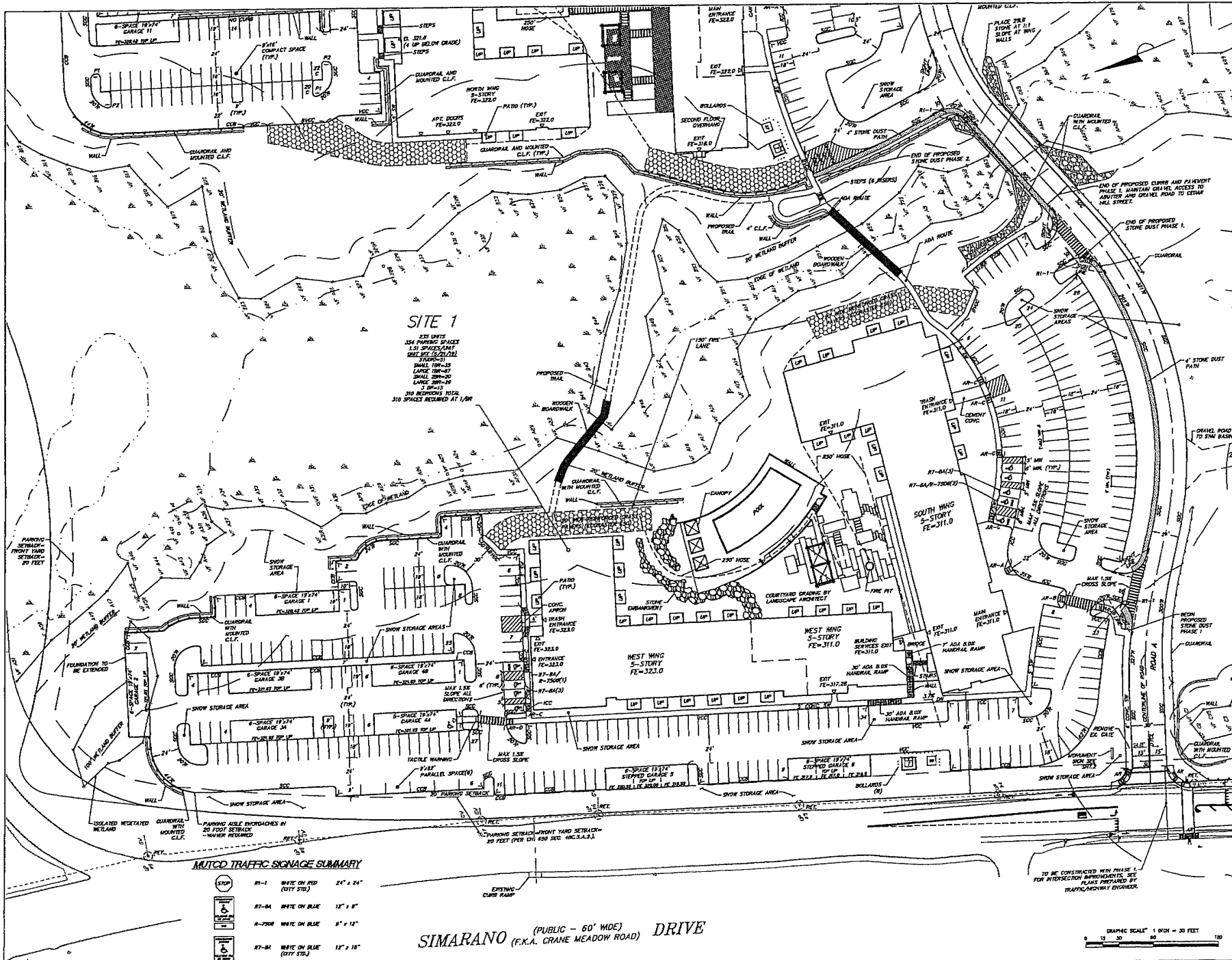
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2	10/13/19	REV COMMENTS
3	10/13/19	REV COMMENTS
4	10/13/19	REV COMMENTS
5	10/13/19	REV COMMENTS
6	10/13/19	REV COMMENTS
7	10/13/19	REV COMMENTS
8	10/13/19	REV COMMENTS
9	10/13/19	REV COMMENTS
10	10/13/19	REV COMMENTS

NOTES, SIGNAGE, REFERENCES & LEGEND

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

CHD: 22680-PS-03.dwg
LAYOUT: MFL
SHEET: 5 OF 22
PROJECT NO.: 22680

NRL



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Machborough, Massachusetts 01752

MAP 116 LOT 5, 11 & 12

PREPARED FOR
POST ROAD REALTY LLC
11 Unquowa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES
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Wetland Scientists

310 5th St. MAHARAJAH, MA 01906
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1	DATE	1/12/12	REV.	REV. NOTES
1	DATE	1/12/12	REV.	COMMENTS
1	DATE	1/12/12	REV.	PROVISIONS DELETED
1	DATE	1/12/12	REV.	30' WETLAND BUFFER
1	DATE	1/12/12	REV.	30' WETLAND BUFFER
1	DATE	1/12/12	REV.	30' WETLAND BUFFER

LAYOUT & MATERIALS PLAN SHEET 1

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DATE: 02/09/12
LAYER: LM-1
SHEET: 4 OF 32

LM-1

PROJECT NO.: 22680

MUTCD TRAFFIC SIGNAGE SUMMARY

	R1-1	WHITE ON RED (CITY STR.)	24" x 24"
	R7-8A	WHITE ON BLUE	12" x 8"
	A-700B	WHITE ON BLUE	8" x 12"
	R7-8	WHITE ON BLUE (CITY STR.)	12" x 18"

SIMARANO DRIVE (PUBLIC - 60' WIDE)
(F.K.A. CRANE MEADOW ROAD)

GRAPHIC SCALE: 1" = 30 FEET

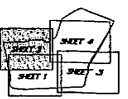
0 15 30 60 90 120

TO BE CONSTRUCTED WITH PAVEMENT FOR INTERSECTION APPROXIMATE SET PLANS PREPARED BY TRAFFIC ENGINEER



MUTCD TRAFFIC SIGNAGE SUMMARY

	R1-1	WHITE ON RED	24" x 24"
	R7-6A	WHITE ON BLUE (TOP SIDE)	12" x 8"
	R7-7026	WHITE ON BLUE	8" x 12"
	R7-6A	WHITE ON BLUE (TOP SIDE)	12" x 18"
	P1	RED ON WHITE	12" x 18"
	P2	RED ON WHITE	12" x 18"



SHEET INDEX
SCALE 1"=100'

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP SHEET
116 5, 11 & 12

PREPARED FOR
POST ROAD REALTY LLC
11 Unquova Road
Fairfield, Connecticut 06424

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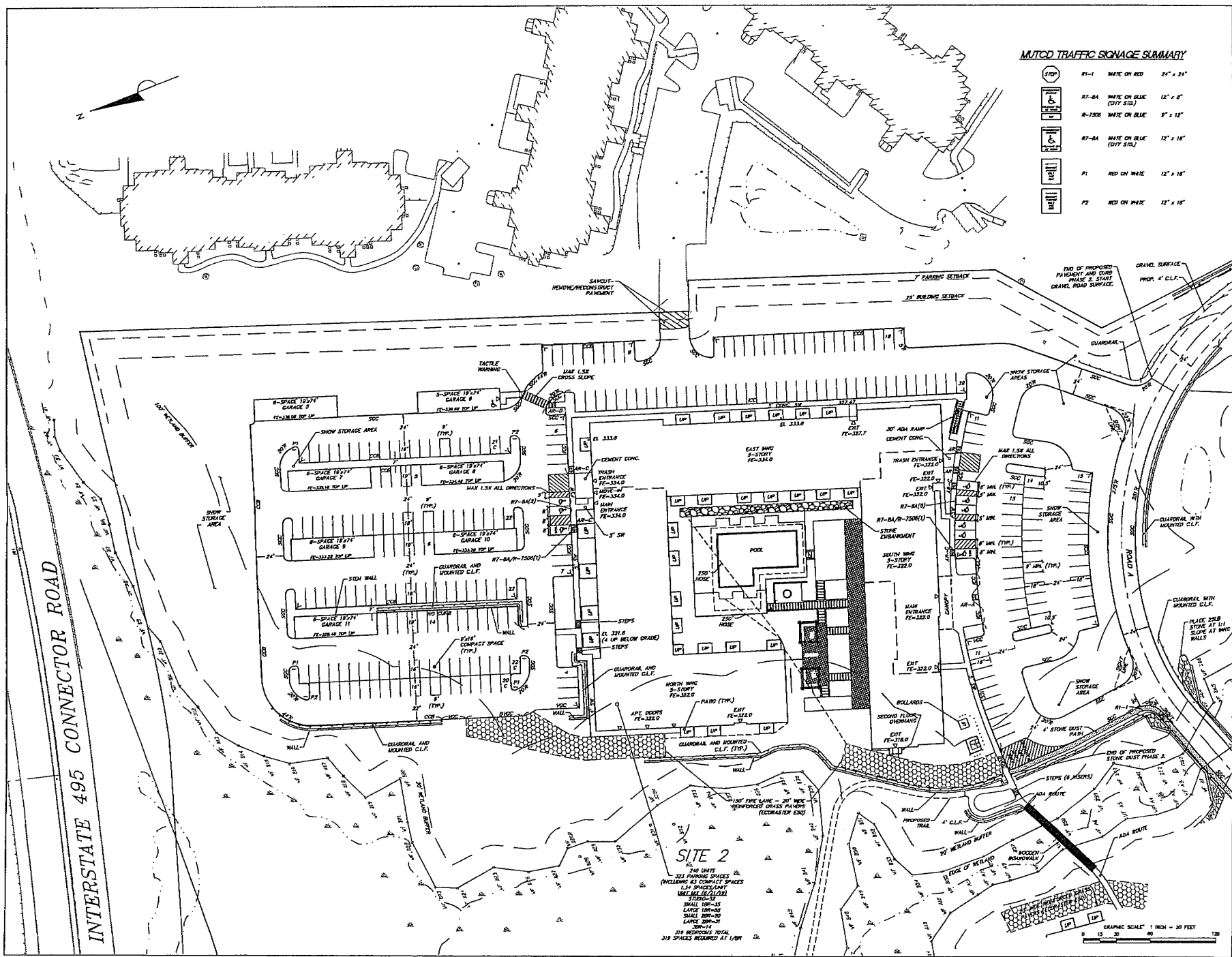
DATE	BY	DESCRIPTION

LAYOUT & MATERIALS PLAN SHEET 2

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DATE: 08/08/2014
LAYOUT: LM-2
SHEET: 5 OF 32
LM-2

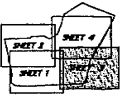
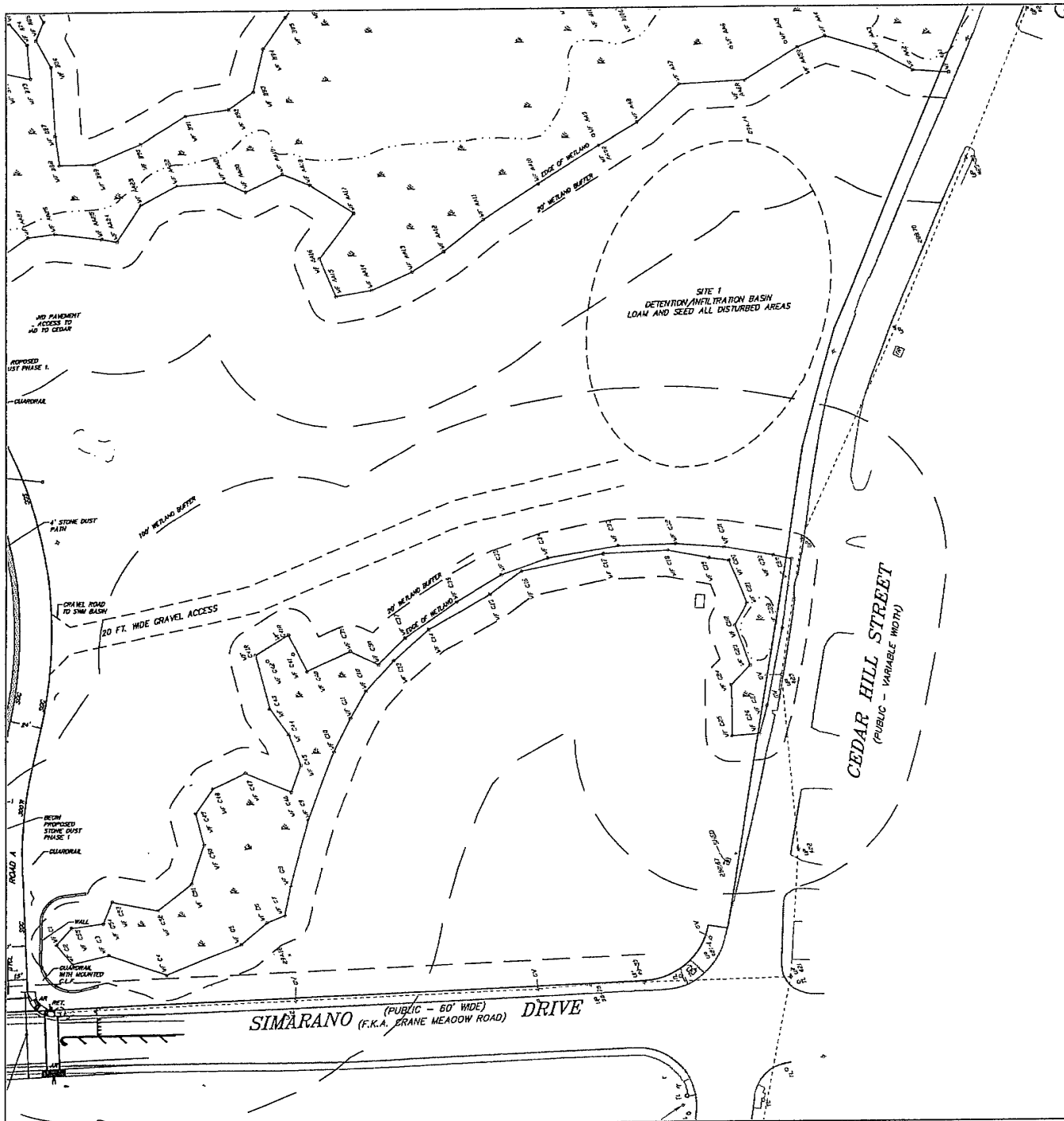
PROJECT NO.: 22680



INTERSTATE 495 CONNECTOR ROAD

SITE 2
240 UNITS
221 PARKING SPACES
(INCLUDING 81 COMPACT SPACES)
120 SPACES SHAD
SMALL WALL (21'x121')
SMALL 100'-x-25'
LARGE 100'-x-20'
SMALL 200'-x-20'
LARGE 200'-x-20'
SMALL 100'-x-14'
SMALL 100'-x-14'
218 UNITS TOTAL
318 SPACES REQUIRED AT 1/400'

GRAPHIC SCALE: 1" = 30 FEET
0 15 30 60 90 120



SHEET INDEX
SCALE 1"=100'

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

MAP 116
LOFT 5.11 & 1.2

PREPARED FOR
POST ROAD REALTY LLC
11 Unquoo Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

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Land Surveyors
Wetland Scientists

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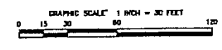
NO.	DATE	BY	REVISION/DESCRIPTION
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2	10/22/09	SEE SHEET 1 REV. 0002	
3	10/22/09	SEE SHEET 1 REV. 0003	
4	10/22/09	SEE SHEET 1 REV. 0004	
5	10/22/09	SEE SHEET 1 REV. 0005	
6	10/22/09	SEE SHEET 1 REV. 0006	
7	10/22/09	SEE SHEET 1 REV. 0007	
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9	10/22/09	SEE SHEET 1 REV. 0009	
10	10/22/09	SEE SHEET 1 REV. 0010	

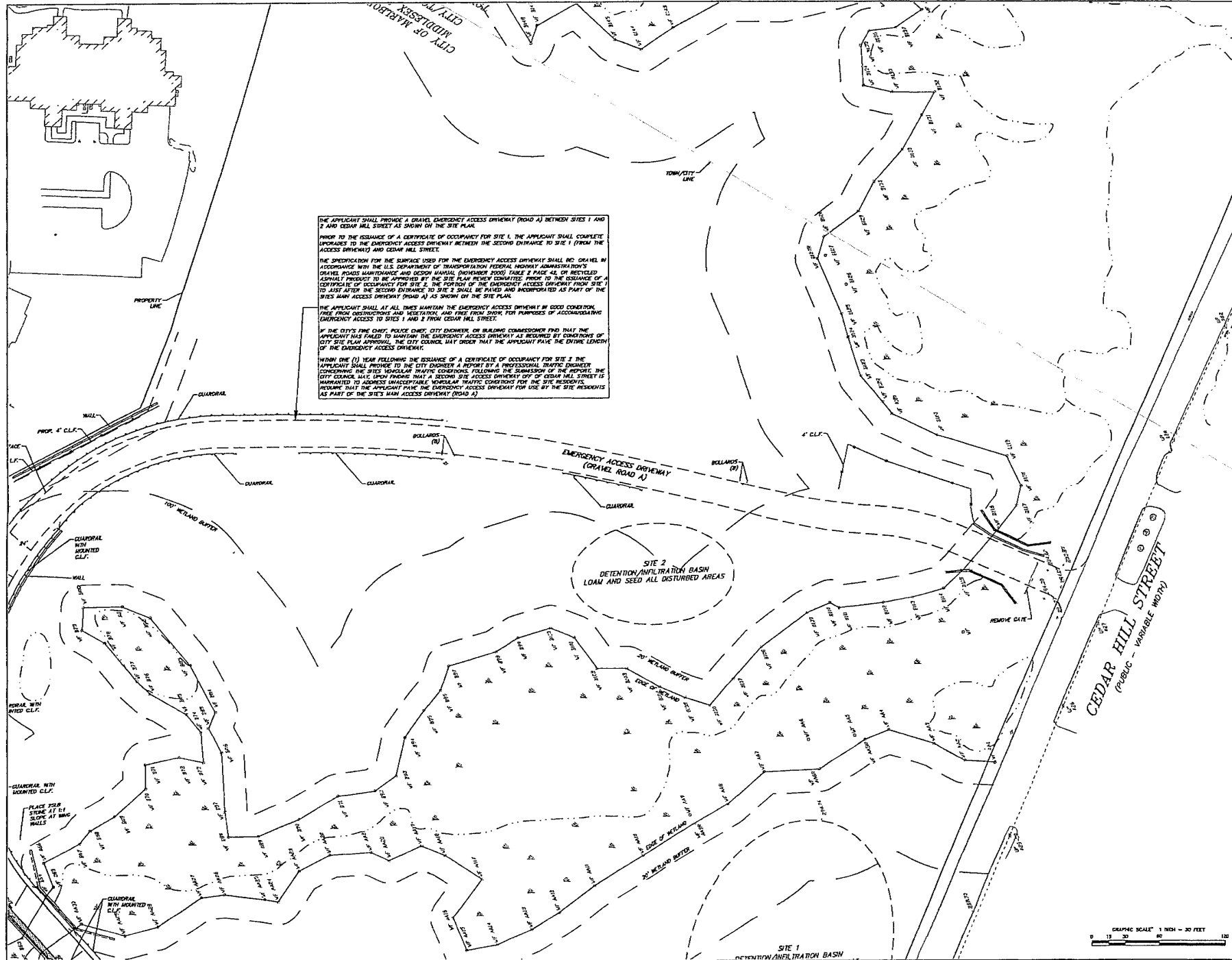
LAYOUT & MATERIALS PLAN
SHEET 3

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DATE: 10/22/09
LAYOUT: LM-3
SHEET: 8 OF 32
PROJECT NO.: 22680

LM-3





THE APPLICANT SHALL PROVIDE A GRAVEL EMERGENCY ACCESS DRIVEWAY (ROAD A) BETWEEN SITES 1 AND 2 AND CEDAR HILL STREET AS SHOWN ON THE SITE PLAN.

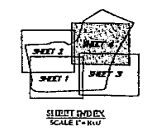
PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR SITE 1, THE APPLICANT SHALL COMPLETE UPGRADES TO THE EMERGENCY ACCESS DRIVEWAY BETWEEN THE SECOND ENTRANCE TO SITE 1 (FROM THE ACCESS DRIVEWAY AND CEDAR HILL STREET).

THE SPECIFICATION FOR THE SURFACE USED FOR THE EMERGENCY ACCESS DRIVEWAY SHALL BE GRAVEL IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION'S GRAVEL PAVEMENT MAINTENANCE AND DESIGN MANUAL (NUMBER 3000) TABLE 2 PAGE 42, OR RECYCLED ASPHALT PRODUCT TO BE APPROVED BY THE SITE PLAN REVIEW COMMITTEE. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR SITE 2, THE PORTION OF THE EMERGENCY ACCESS DRIVEWAY FROM SITE 1 TO JUST AFTER THE SECOND ENTRANCE TO SITE 2 SHALL BE PAVED AND INCORPORATED AS PART OF THE SITE'S MAIN ACCESS DRIVEWAY (ROAD A) AS SHOWN ON THE SITE PLAN.

THE APPLICANT SHALL AT ALL TIMES MAINTAIN THE EMERGENCY ACCESS DRIVEWAY IN GOOD CONDITION, FREE FROM OBSTRUCTION AND RESTRICTION, AND FREE FROM DROPS FOR PURPOSES OF ACCOMMODATING EMERGENCY ACCESS TO SITES 1 AND 2 FROM CEDAR HILL STREET.

IF THE CITY'S FIRE CHIEF, POLICE CHIEF, CITY ENGINEER, OR BUILDING COMMISSIONER FIND THAT THE APPLICANT HAS FAILED TO MAINTAIN THE EMERGENCY ACCESS DRIVEWAY AS REQUIRED BY CONDITIONS OF CITY SITE PLAN APPROVAL, THE CITY COUNCIL MAY ORDER THAT THE APPLICANT PAVE THE ENTIRE LENGTH OF THE EMERGENCY ACCESS DRIVEWAY.

WITHIN ONE (1) YEAR FOLLOWING THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR SITE 2, THE APPLICANT SHALL PROVIDE TO THE CITY ENGINEER A REPORT BY A PROFESSIONAL TRAFFIC ENGINEER CONCERNING THE SITE'S VEHICULAR TRAFFIC CONDITIONS. FOLLOWING THE SUBMISSION OF THE REPORT, THE CITY COUNCIL MAY, UPON FINDING THAT A SECOND SITE ACCESS DRIVEWAY OFF OF CEDAR HILL STREET IS WARRANTED TO ADDRESS UNACCEPTABLE VEHICULAR TRAFFIC CONDITIONS FOR THE SITE RESIDENTS, REQUIRE THAT THE APPLICANT PAVE THE EMERGENCY ACCESS DRIVEWAY FOR USE BY THE SITE RESIDENTS AS PART OF THE SITE'S MAIN ACCESS DRIVEWAY (ROAD A).



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP SHEET

MAP	LOT
116	5.11 & 12

PREPARED FOR:

POST ROAD REALTY LLC

11 Unquowa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 OH ST. MARLBOROUGH, MA 01752
PHONE (508) 466-1111 FAX (508) 466-1121
WWW.HANCOCKASSOCIATES.COM

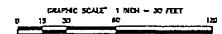


NO.	DATE	BY	DESCRIPTION
1	1/12/21	LM	REV. NOTES
2	1/12/21	LM	PER COMMENTS
3	2/22/21	LM	REVISION
4	3/22/21	LM	REVISION
5	4/22/21	LM	REVISION
6	5/22/21	LM	REVISION
7	6/22/21	LM	REVISION
8	7/22/21	LM	REVISION
9	8/22/21	LM	REVISION
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11	10/22/21	LM	REVISION
12	11/22/21	LM	REVISION
13	12/22/21	LM	REVISION

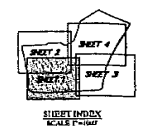
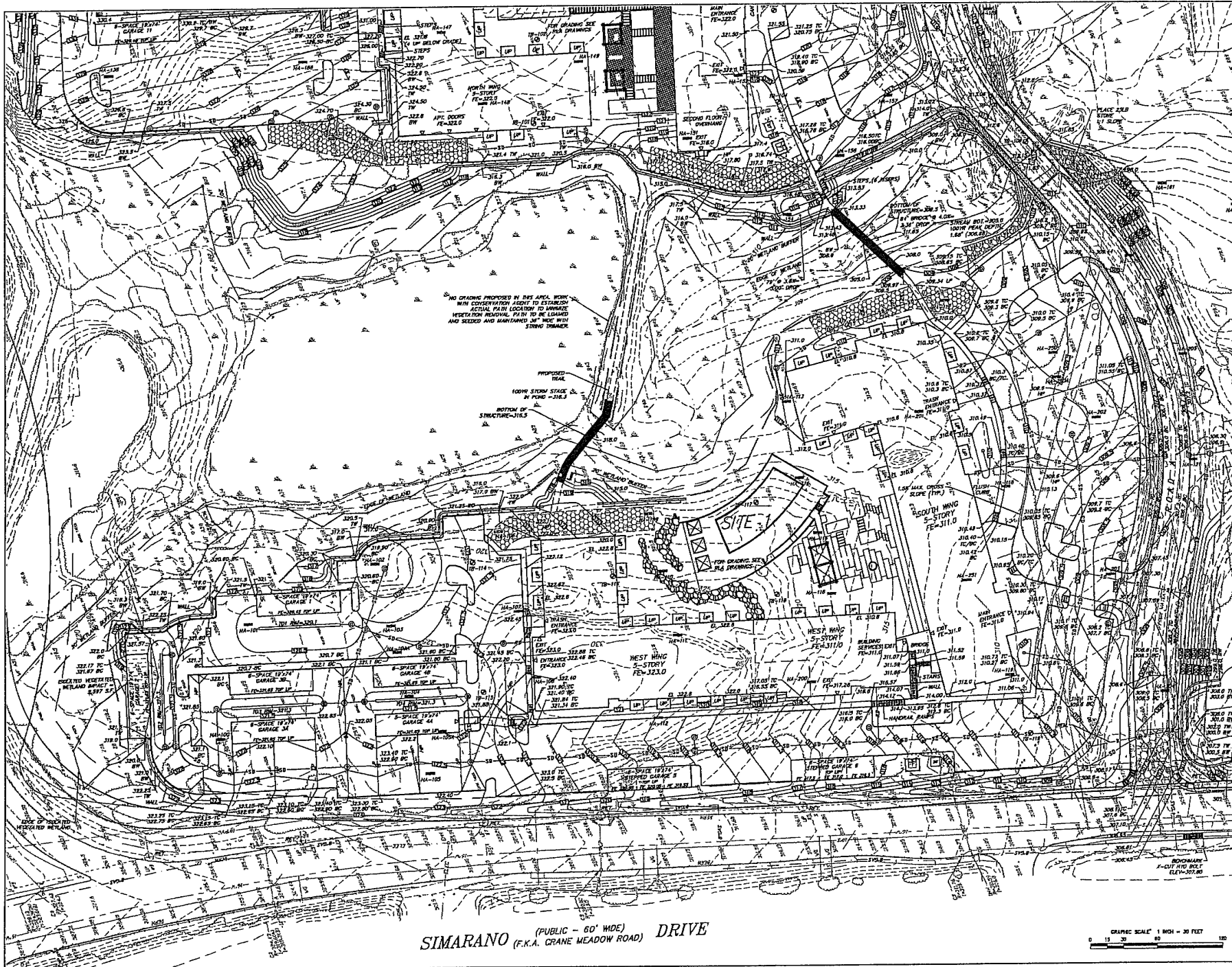
LAYOUT & MATERIALS PLAN SHEET 4

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DWG. NUMBER: LM-4
LAYER: LM-4
SHEET: 7 OF 32
PROJECT NO.: 22680



LM-4



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

MAHARAJASHI ADDRESS:
 MAP LOT
 116 5, 11 & 12

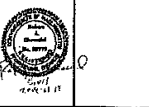
PREPARED FOR:
POST ROAD REALTY LLC

11 Ungowa Road
 Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
 Land Surveyors
 Wetland Scientists

375 Elm St. Marlborough, MA 01752
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 WWW.HANCOCKASSOCIATES.COM



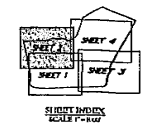
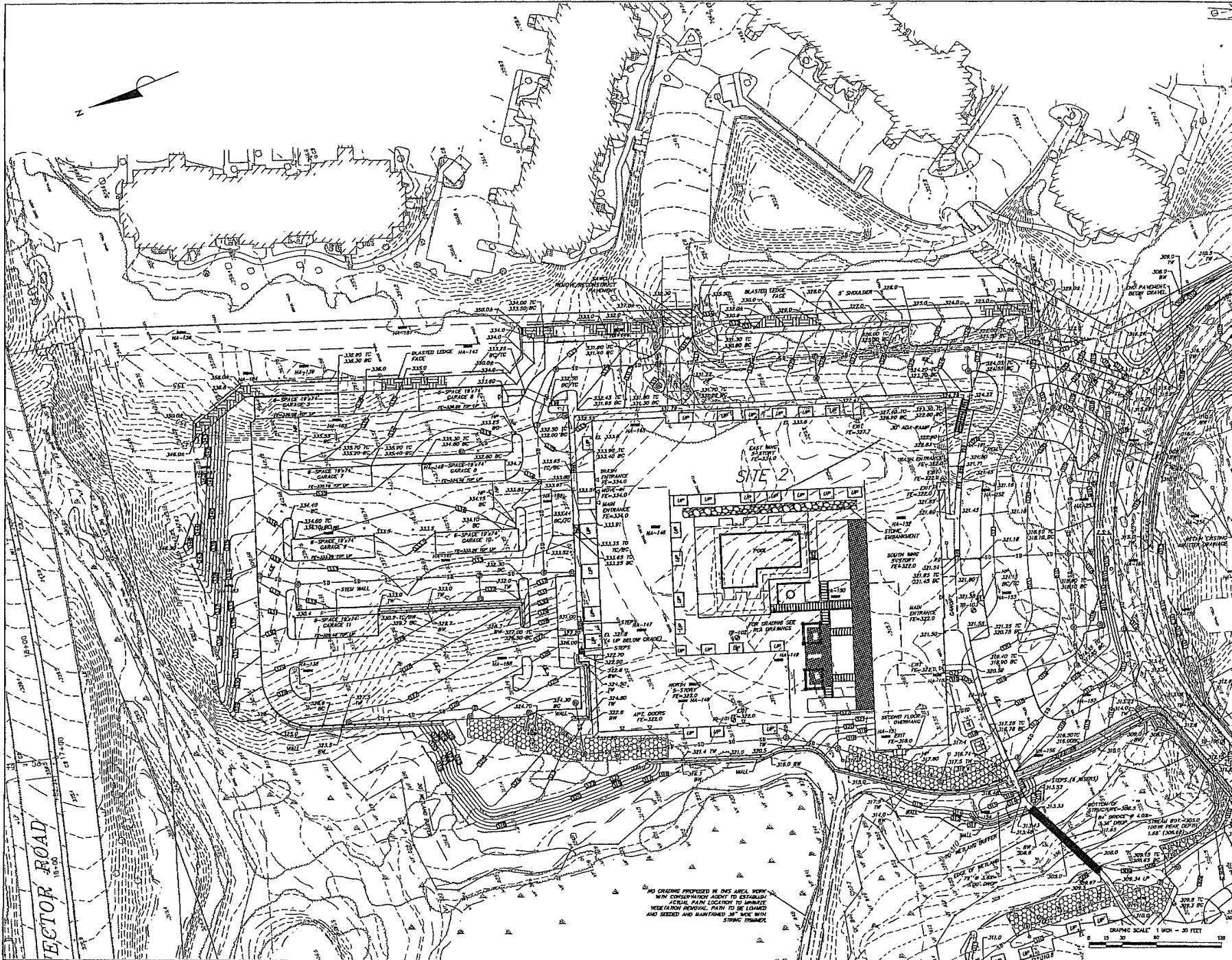
NO.	DATE	BY	REVISION
1	08/14/19	JK	ISSUE FOR PERMITS
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4	08/14/19	JK	ISSUE FOR CONSTRUCTION
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7	08/14/19	JK	ISSUE FOR CONSTRUCTION
8	08/14/19	JK	ISSUE FOR CONSTRUCTION
9	08/14/19	JK	ISSUE FOR CONSTRUCTION
10	08/14/19	JK	ISSUE FOR CONSTRUCTION

GRADING PLAN SHEET 1

SPECIAL PERMIT AND SET PLAN APPROVAL
 NOT FOR CONSTRUCTION

DWG: 22680-PS-02.dwg
 LAYOUT: GR-1
 SHEET: 8 OF 32
 PROJECT NO.: 22680

GR-1



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Milverton, Massachusetts 01752

HANCOCK ASSOCIATES
MAP 116 LOT 5, 11 & 12

PREPARED FOR:
POST ROAD REALTY LLC
11 Unquago Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES
Civil Engineers
Land Surveyors
Wetland Scientists

30 Elm St. Milverton, MA 01752
Voice: (508) 460-1115 Fax: (508) 460-1112
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NO.	DATE	BY	DESCRIPTION
1	11/17/19	SEE SHEET 1, P. 101, 102	
2	11/17/19	FOR COMMENTS	
3	11/17/19	FOR PRELIMINARY DISCUSSION	
4	11/17/19	FOR PRELIMINARY DISCUSSION	
5	11/17/19	FOR PRELIMINARY DISCUSSION	
6	11/17/19	FOR PRELIMINARY DISCUSSION	
7	11/17/19	FOR PRELIMINARY DISCUSSION	
8	11/17/19	FOR PRELIMINARY DISCUSSION	
9	11/17/19	FOR PRELIMINARY DISCUSSION	
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GRADING PLAN SHEET 2

SPECIAL PERMIT AND SITE PLAN APPROVAL
MAY BE REQUIRED FOR CONSTRUCTION

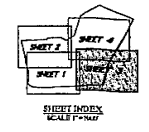
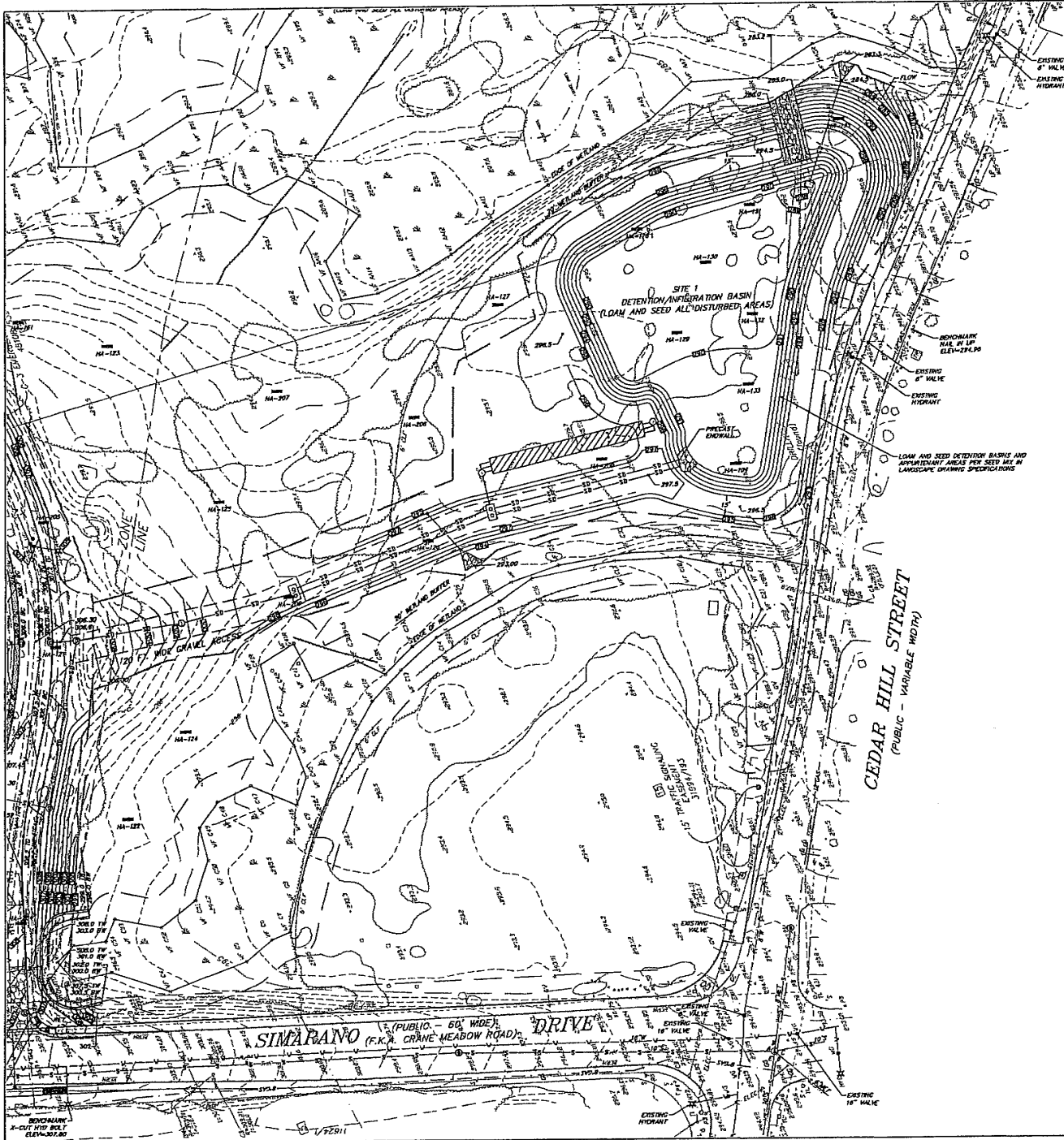
DATE: 11/17/19
LAYOUT: GR-2
SHEET: 9 OF 32
PROJECT NO.: 22680

GR-2

NO GRADING PROPOSED IN THIS AREA, NEAR
WITH CONSERVATION AGENT TO ESTABLISH
VEGETATION REMOVAL. PATH TO BE LEAVED
AND SEEDS AND MAINTAINED 30' WIDE WITH
STRONG FENCE.

GRAPHIC SCALE: 1" = 20 FEET

VECTOR ROAD
10-00



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP 116 LOTS 5, 11 & 12

PREPARED FOR:

POST ROAD REALTY LLC

11 Unquova Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

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Land Surveyors
Wetland Scientists

310 Oak St. Marlborough, MA. OFFICE
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NO.	DATE	BY	DESCRIPTION
1	10/21/11	DR	PER COMMENTS
2	11/15/11	DR	PER COMMENTS
3	12/15/11	DR	PER COMMENTS
4	01/10/12	DR	PER COMMENTS
5	02/01/12	DR	PER COMMENTS
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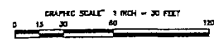
GRADING PLAN SHEET 3

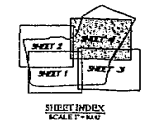
SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DRWG: 22480-PS-03.dwg
LAYOUT: CR-3
SHEET: 10 OF 32

GR-3

PROJECT NO.: 22580





GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAPSHEET ADDRESS
MAP 116 LOT 5.11 & 12

PREPARED FOR
POST ROAD REALTY LLC
11 Quigova Road
Fairfield, Connecticut 06424

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Civil Engineers
Land Surveyors
Wetland Scientists

315 Elm St. MARLBOROUGH, MA 01752
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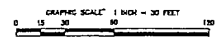


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3	11/12/19	REVISED
4	11/12/19	REVISED
5	11/12/19	REVISED
6	11/12/19	REVISED
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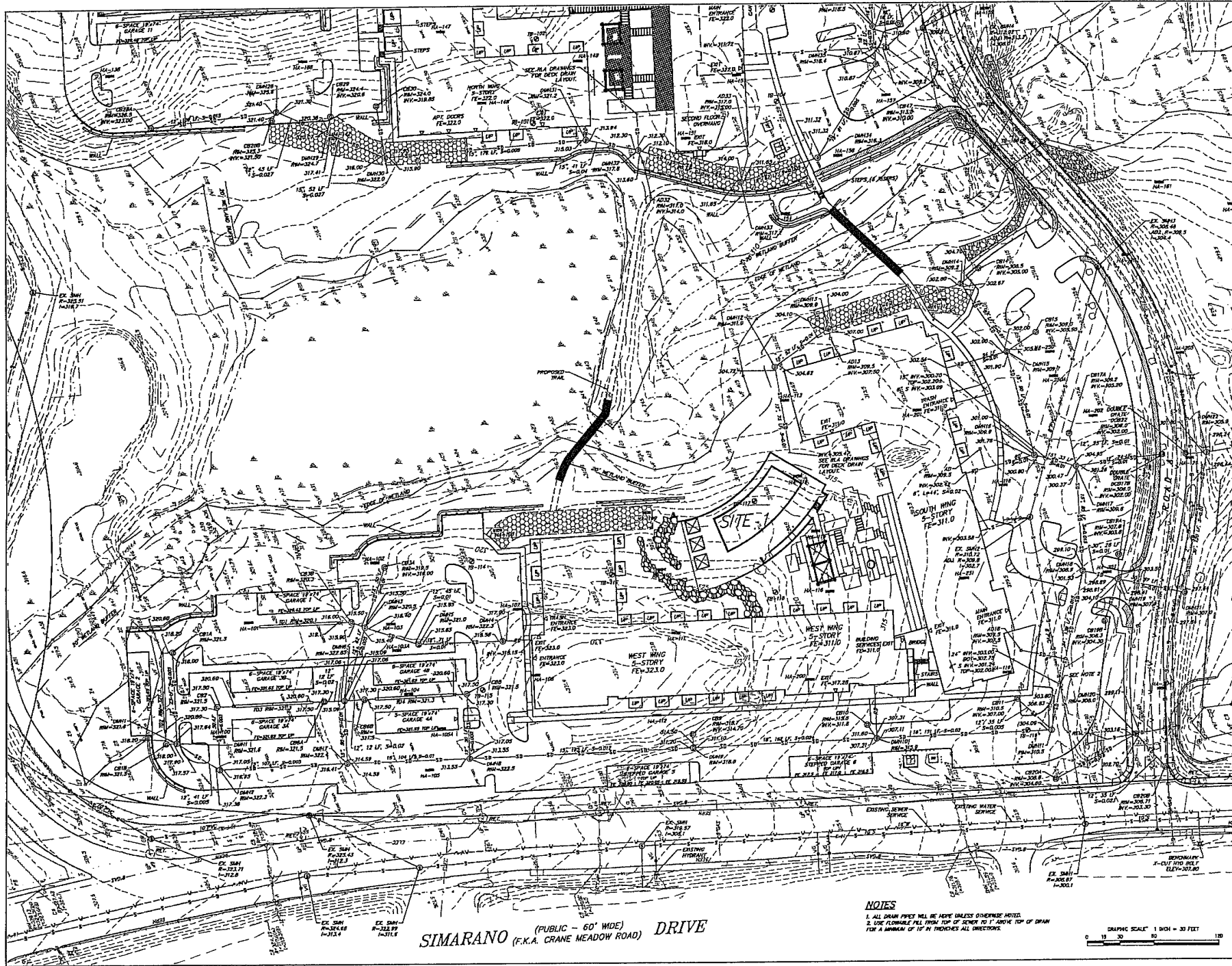
GRADING PLAN SHEET 4

OFFICIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DATE: 11/12/19
LAYOUT: CR-1
SHEET: 11 OF 32
PROJECT NO.: 22680



SITE 1
DETENTION/INFILTRATION BASIN
(100% DETENTION AREAS)



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Northborough, Massachusetts 01752

MAP SHEET
116 3.11 & 12

PREPARED FOR

POST ROAD REALTY LLC

11 Unquaga Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

215 Elm St. Northborough, MA 01752
PHONE: 508-375-1111 FAX: 508-375-1110
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NO.	DATE	BY	DESCRIPTION
1	02/14/11	SEE SHEET 1	REV. WORKS
2	02/14/11	PER COMMENTS	
3	02/14/11	DATE	REVISION DESCRIPTION
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5	02/14/11	DATE	REVISION DESCRIPTION
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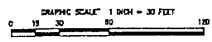
DRAINAGE PLAN SHEET 1

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

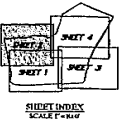
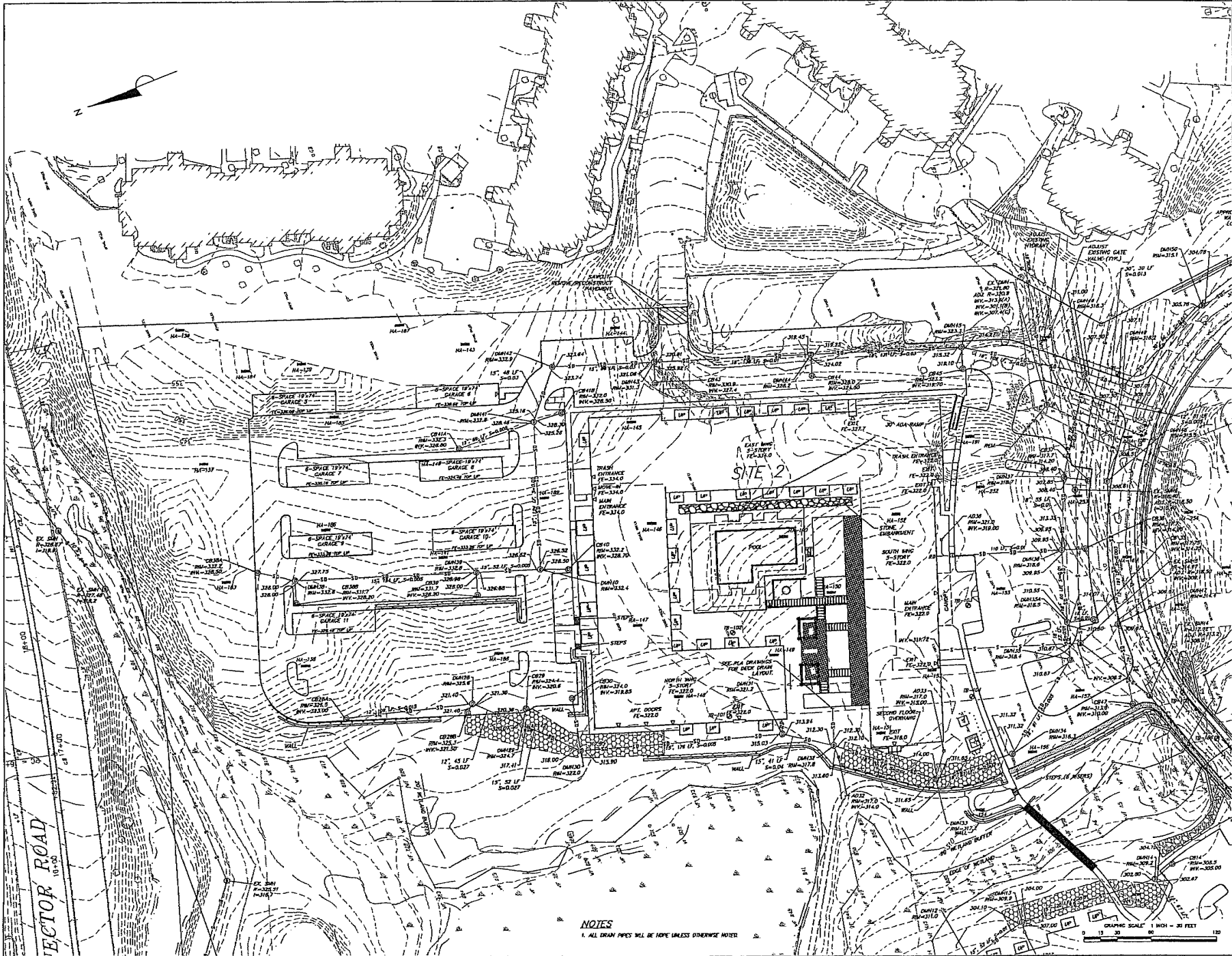
DATE: 02/14/11
LAYOUT: DR-1
SHEET: 12 OF 22
PROJECT NO.: 22680

SIMARANO (PUBLIC - 60' WIDE) DRIVE

- NOTES**
1. ALL DRAIN PIPES WILL BE ASPIE UNLESS OTHERWISE NOTED.
 2. USE FLOWABLE FILL FROM TOP OF SLOPE TO 1" ABOVE TOP OF DRAIN FOR A MINIMUM OF 10" IN ALL DIRECTIONS.



DR-1



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Amherst, Massachusetts 01752

MAP NO. 116
LOT NO. 5, 11 & 12

POST ROAD REALTY LLC

11 Unquowa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

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Land Surveyors
Method Scientists

315 DEW ST. WILMINGTON, MA 01897
PHONE: 508-711-1122 FAX: 508-711-4000
WWW.HANCOCKASSOCIATES.COM



NO.	DATE	BY	DESCRIPTION
1	11/12/11	SEE SHEET 1	REV. NOTES
2	11/12/11	SEE SHEET 1	REV. NOTES
3	11/12/11	SEE SHEET 1	REV. NOTES
4	11/12/11	SEE SHEET 1	REV. NOTES
5	11/12/11	SEE SHEET 1	REV. NOTES
6	11/12/11	SEE SHEET 1	REV. NOTES
7	11/12/11	SEE SHEET 1	REV. NOTES
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10	11/12/11	SEE SHEET 1	REV. NOTES

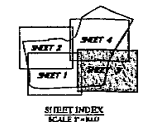
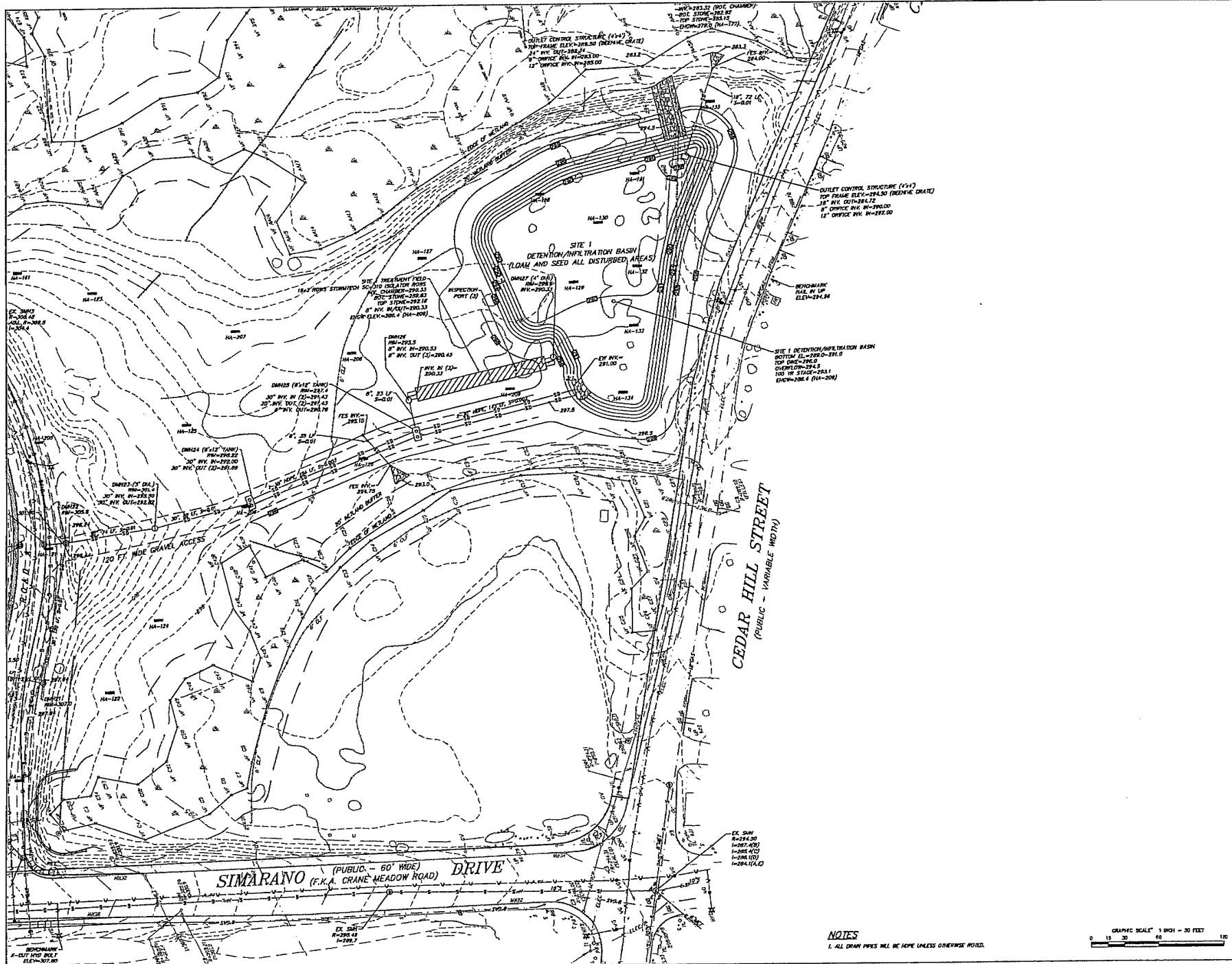
DRAINAGE PLAN SHEET 2

SPECIAL PERMIT AND STIP PLAN APPROVAL
NEED FOR CONSTRUCTION

DWG. NO. DR-2
LAYOUT: DR-2
SHEET: 13 OF 32
PROJECT NO.: 22680

NOTES
1. ALL DRAIN PIPES WILL BE 40% UNLESS OTHERWISE NOTED

GRAPHIC SCALE: 1" = 30 FEET
0 15 30 60 90 120



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Maldenborough, Massachusetts 01752

MAP LOT
116 5.11 & 12

PREPARED FOR
POST ROAD REALTY LLC
11 Unquowa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES
Civil Engineers
Land Surveyors
Wetland Scientists
33 Old St. Maldenborough, MA 01752
PHONE (508) 465-1114 FAX (508) 465-1121
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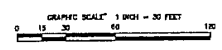
NO.	DATE	BY	REVISION

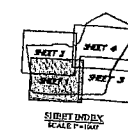
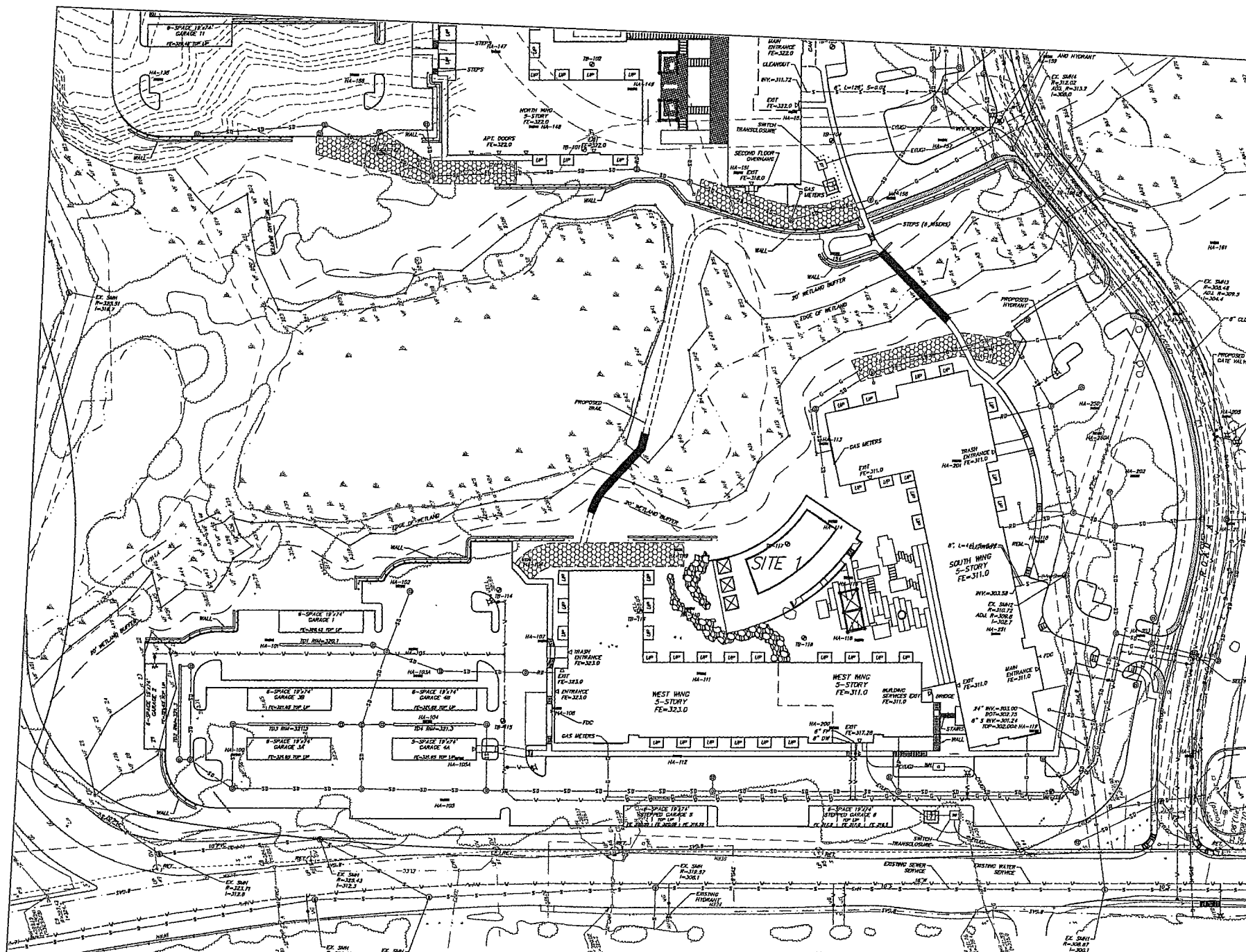
DRAINAGE PLAN SHEET 3

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DR-3
DR-3
14 OF 31
PROJECT NO. 22680

NOTES
1. ALL DRAIN PIPES SHALL BE HDPE UNLESS OTHERWISE NOTED.





GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

MARKED BY APPROVAL:
MAP 116 LOT 3, 11 & 12

PREPARED FOR:
POST ROAD REALTY LLC
11 Unquoe Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES
Civil Engineers
Land Surveyors
Wetland Scientists

315 Old St. Methuen, MA 01754
VOICE (978) 680-1111 FAX (978) 680-1115
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NO.	DATE	BY	REV.	DESCRIPTION
1	01/27/21	UT-1	1	REV. NOTES
2	01/27/21	UT-1	2	PER COMMENTS
3	01/27/21	UT-1	3	PER COMMENTS
4	01/27/21	UT-1	4	PER COMMENTS
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7	01/27/21	UT-1	7	PER COMMENTS
8	01/27/21	UT-1	8	PER COMMENTS
9	01/27/21	UT-1	9	PER COMMENTS
10	01/27/21	UT-1	10	PER COMMENTS

UTILITIES PLAN SHEET 1

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

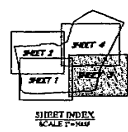
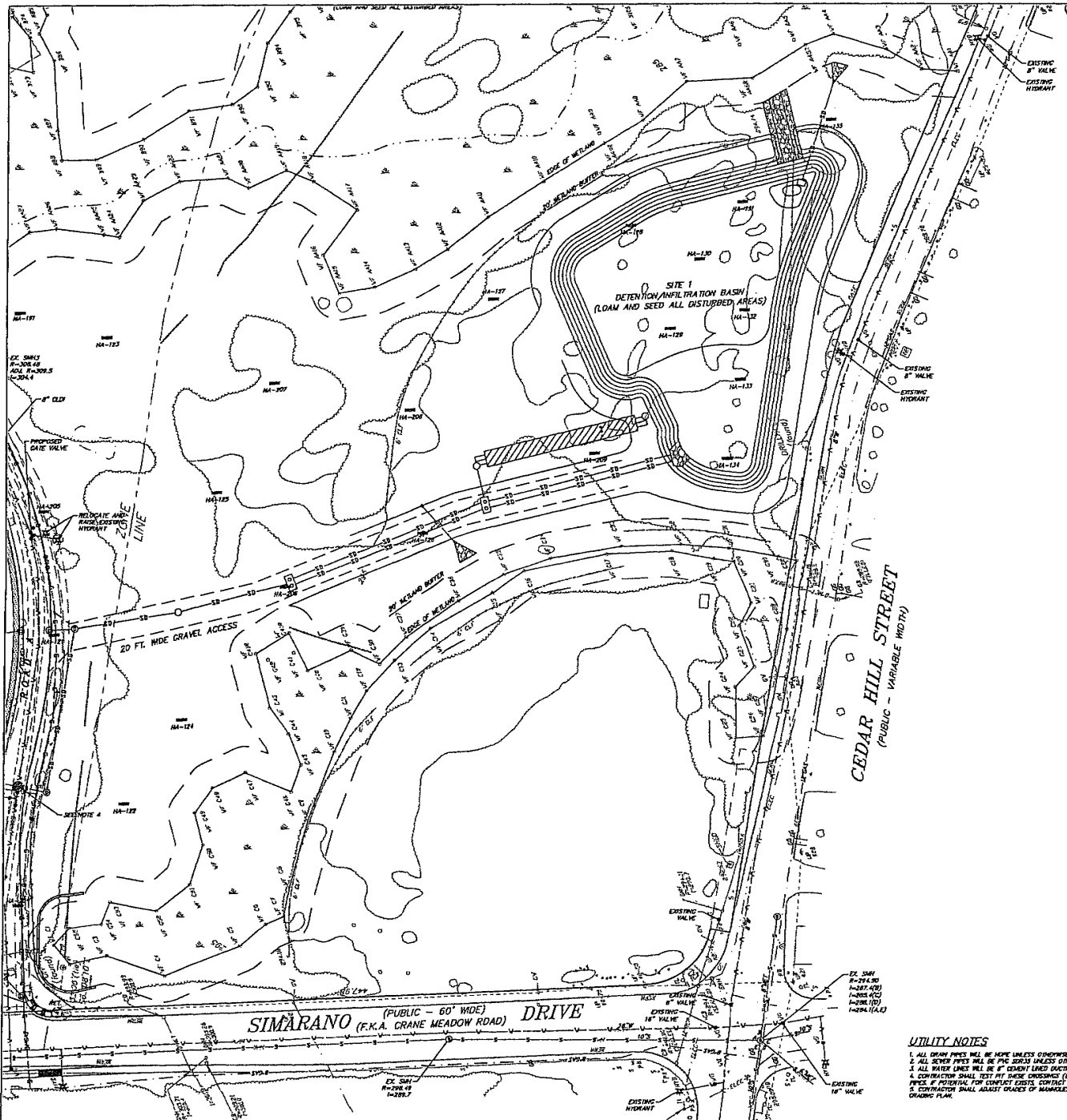
DWG. 2100-PS-03-04
LAYOUT: UT-1
SHEET: 18 OF 32
PROJECT NO.: 22680

SIMARANO (PUBLIC - 60' WIDE) DRIVE
(F.K.A. CRANE MEADOW ROAD)

UTILITY NOTES

1. ALL DRINK PIPES WILL BE HDPE UNLESS OTHERWISE NOTED.
2. ALL SEWER PIPES WILL BE PVC SCHEDULE UNLESS OTHERWISE NOTED.
3. ALL WATER LINES WILL BE 8" CEMENT LINED EXCEPT FOR GLASS AS UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL TEST AT THESE CROSSINGS (IF TOTAL) TO VERIFY ADEQUATE 12" CLEARANCE BETWEEN PIPES IF POTENTIAL FOR CONTACT EXISTS. CONTACT THE OWNER TO DETERMINE COURSE OF ACTION.
5. CONTRACTOR SHALL ADJUST GRADES OF MANHOLES, GATE VALVES AND HYDRANTS FOR ELEVATION SHOWN ON DRAWING PLAN.

GRAPHIC SCALE: 1" = 30 FEET
0 15 30 60 90 120



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP SHEET
MAP 116 LOT 5, 11 & 12

PREPARED FOR
POST ROAD REALTY LLC
11 Unquogue Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

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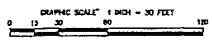
1	1/4" = 1'	11/12/14	SEE SHEET 1 REV. NOTES
1	1/4" = 1'	11/12/14	PER COMMENTS
NO.	BY	DATE	REVISION DESCRIPTION
001	EA	11/12/14	ISSUED FOR PERMITS
002	EA	11/12/14	ISSUED FOR PERMITS
003	EA	11/12/14	ISSUED FOR PERMITS

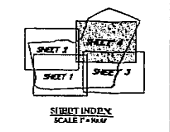
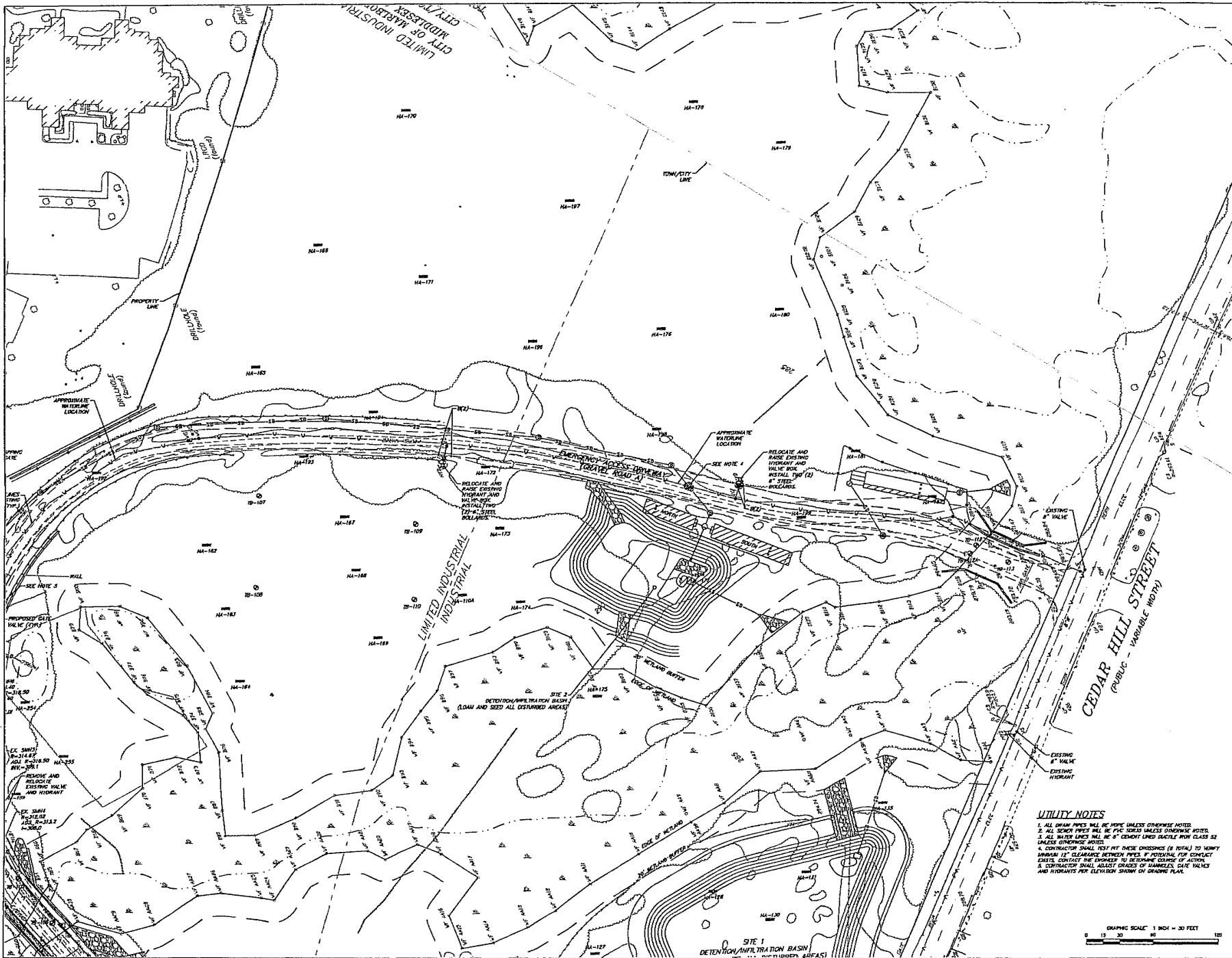
UTILITIES PLAN SHEET 3

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DATE: 11/12/14
DRAWN: UT-3
SHEET: 18 OF 22
PROJECT NO.: 22680

- UTILITY NOTES**
1. ALL DRAIN PIPES WILL BE HDPE UNLESS OTHERWISE NOTED.
 2. ALL SEWER PIPES WILL BE PVC 600'S UNLESS OTHERWISE NOTED.
 3. ALL WATER LINES WILL BE 8" CEMENT LINED DUCTILE IRON CLASS 52 UNLESS OTHERWISE NOTED.
 4. CONTRACTOR SHALL TEST PER THESE SPECIFICATIONS OF DISTANCE TO NEAREST MINIMUM 1' CLEARANCE BETWEEN PIPES. IF POTENTIAL FOR CONTACT EXISTS, CONTACT THE ENGINEER TO DETERMINE COURSE OF ACTION.
 5. CONTRACTOR SHALL ADJUST GRADES OF MANHOLES, GATE VALVES AND HYDRANTS PER ELEVATION SHOWN ON GRAPHIC PLAN.





GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Arlborough, Massachusetts 01752

MAP 116
LOT 5, 11 & 12

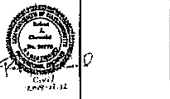
POST ROAD REALTY LLC

11 Unquova Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Welland Scientists

310 Elm St. MA 01752
PHONE: 978-241-1111 FAX: 978-241-1111
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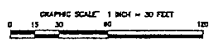
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1	11/17/19	SEE SHEET 1	REV. NOTES
2	11/17/19	SEE SHEET 1	REV. COMMENTS
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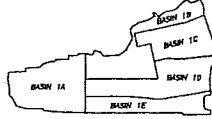
UTILITIES PLAN SHEET 4

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DATE: 11/17/19
LAYOUT: UT-4
SHEET: 19 OF 32
PROJECT NO.: 22660

UTILITY NOTES
1. ALL DRAWING NOTES SHALL BE MADE UNLESS OTHERWISE NOTED.
2. ALL SEWER PIPES SHALL BE PVC UNLESS OTHERWISE NOTED.
3. ALL WATER LINES SHALL BE 8" CEMENT LINED DUCTILE IRON CLASS 52 UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL VERIFY ALL THESE DIMENSIONS (IF TOTAL) TO VERIFY UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL VERIFY ALL THESE DIMENSIONS (IF TOTAL) TO VERIFY UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL VERIFY ALL THESE DIMENSIONS (IF TOTAL) TO VERIFY UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL VERIFY ALL THESE DIMENSIONS (IF TOTAL) TO VERIFY UNLESS OTHERWISE NOTED.



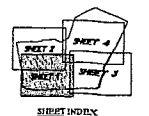
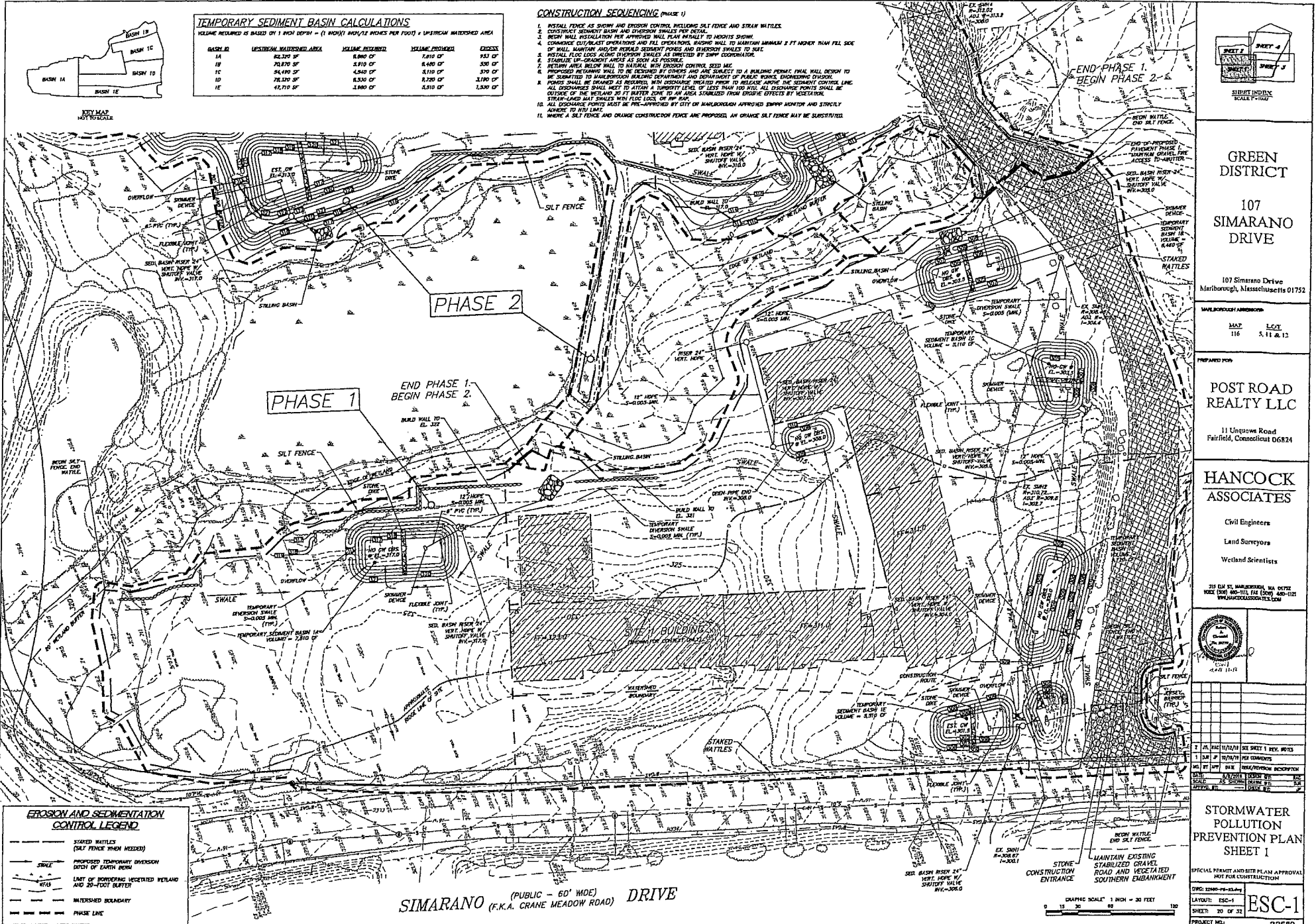


TEMPORARY SEDIMENT BASIN CALCULATIONS
 VOLUME REQUIRED IS BASED ON 1' HIGH DEPTH = (1' HIGH) 100% (100% INCHES PER FOOT) + UPSTREAM WATERSHED AREA

Basin No.	UPSTREAM WATERSHED AREA	VOLUME REQUIRED	SETBACK DISTANCE	EXISTING
1A	82,270 SF	8,880 CF	7,910 CF	933 CF
1B	78,728 SF	8,410 CF	7,500 CF	910 CF
1C	84,490 SF	9,040 CF	8,170 CF	370 CF
1D	78,120 SF	8,330 CF	7,780 CF	550 CF
1E	47,719 SF	5,100 CF	4,510 CF	590 CF

CONSTRUCTION SEQUENCING (PHASE 1)

1. INSTALL FENCE AS SHOWN AND EROSION CONTROL INCLUDING SILT FENCE AND STRAIN MATS.
2. CONSTRUCT SEDIMENT BASIN AND EROSION SHALES PER DETAIL.
3. RETAIN WALL INSTALLATION PER APPROVED WALL PLAN INITIALLY TO HEIGHTS SHOWN.
4. COMMENCE CUT/BLAST OPERATIONS AND FILL OPERATIONS. BUILDING WALL TO MAINTAIN MINIMUM 2 FT HIGHER THAN FILL SOLE OF WALL. MAINTAIN AND/OR REPAIR SEDIMENT POINTS AND OVERFLOW SPALES TO SAFE.
5. INSTALL BLOCK LOGS ALONG EROSION SHALES AS INDICATED BY SOFT COORDINATOR.
6. STABILIZE UP-DRAINAGE AREAS AS SOON AS POSSIBLE.
7. RETAIN WALLS BELOW WALL TO MAINTAIN MIN. EROSION CONTROL. SEE DETAIL.
8. PROPOSED RETAINING WALLS TO BE DESIGNED BY OTHERS AND ARE SUBJECT TO A BUILDING PERMITS FINAL WALL DESIGN TO BE SUBMITTED TO MAINTENANCE ENGINEER DEPARTMENT OF PUBLIC WORKS, ENGINEERING DIVISION.
9. POWERS SHALL BE DRAINED AS REQUIRED, WITH REPAIRS MADE PRIOR TO RELEASE. AFTER THE SEDIMENT CONTROL LINE. ALL DISCHARGE SHALL MEET TO ATTAIN A TURBIDITY LEVEL OF LESS THAN 100 NTU. ALL DISCHARGE POINTS SHALL BE LOCATED AT THE WETLAND AS AN AREA STABILIZED FROM UNDESIRABLE EFFECTS BY VEGETATION.
10. STRAIN-LINED MATS SHALL BE INSTALLED ON ALL FILL LOGS ON ALL FILL.
11. ALL DISCHARGE POINTS MUST BE PRE-APPROVED BY CITY OF HANCOCK APPROVED SWAMP MONITOR AND STRICTLY ADHERE TO WTL LIMIT.
12. WHERE A SILT FENCE AND ORANGE CONSTRUCTION FENCE ARE PROPOSED, AN ORANGE SILT FENCE MAY BE SUBSTITUTED.



GREEN DISTRICT
 107 SIMARANO DRIVE
 107 Simarano Drive
 Marlborough, Massachusetts 01752

MAP 116 **LOT** 5, 11 & 13

PREPARED FOR
POST ROAD REALTY LLC
 11 Unquowa Road
 Fairfield, Connecticut 06824

HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Wetland Scientists
 310 Elm St., Marlborough, MA 01752
 WWW.HANCOCKASSOCIATES.COM



EROSION AND SEDIMENTATION CONTROL LEGEND

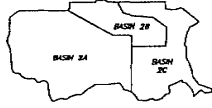
- STAKED MATS (SILT FENCE WHEN NEEDED)
- PROPOSED TEMPORARY DIVERSION DITCH OF SOUTH BERM
- LIMIT OF BOUNDING VEGETATED WETLAND AND 20-FOOT BUFFER
- WATERSHED BOUNDARY
- PHASE LINE

SIMARANO (PUBLIC - 60' WIDE) DRIVE
 (F.K.A. CRANE MEADOW ROAD)

GRAPHIC SCALE 1 INCH = 30 FEET
 0 15 30 45 60 75 90 105 120

STORMWATER POLLUTION PREVENTION PLAN SHEET 1
 SPECIAL PRINT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION
 DATE: 11/11/21
 LAYOUT: ESC-1
 SHEET 20 OF 22
 PROJECT NO.: 22680

ESC-1



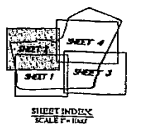
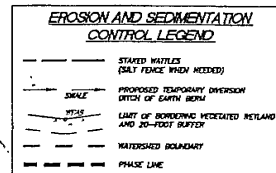
TEMPORARY SEDIMENT BASIN CALCULATIONS

VOLUME REQUIRED IS BASED ON 1 INCH DEPTH = (1 INCH) (60X12 INCHES PER FOOT) = UPSIDEAN WATERSHED AREA

Basin #	Watershed Area	Volume Required	Volume Provided	Excess
2A	18,620 SF	18,620 OF	18,620 OF	0 OF
2B	36,440 SF	36,440 OF	4,630 OF	31,810 OF
2C	104,590 SF	104,590 OF	8,720 OF	95,870 OF

CONSTRUCTION SEQUENCING (PHASE 2)

1. INSTALL FENCE AS SHOWN AND EROSION CONTROL INCLUDING SILT FENCE AND STRAW BATTLES.
2. CONSTRUCT SEDIMENT BASIN AND DIVERSION SWALES PER DETAIL.
3. BEGIN WALL INSTALLATION PER APPROVED WALL PLAN INITIALLY TO HEIGHTS SHOWN.
4. COMMENCE CUT-FILL OPERATIONS AND PER OPERATIONS ARISING WALL TO MAINTAIN MINIMUM 2 FT MOWER TRAIL SIDE OF WALL. MAINTAIN AND/OR REBUILD SEDIMENT POND AND DIVERSION SWALES TO SUIT.
5. INSTALL FENCE ALONG DIVERSION SWALES AS DIRECTED BY SWMP COORDINATOR.
6. STABILIZE UP-DRAINAGE AREA AS SOON AS POSSIBLE.
7. RETURN AREA BELOW WALL TO NATURAL WITH EROSION CONTROL SEED MAT.
8. PROPOSED RETURNING WALL TO BE DESIGNED BY CIVILS AND IS SUBJECT TO A BUILDING PERMIT. FINAL WALL DESIGN TO BE SUBMITTED TO MAJORBOROUGH BUILDING DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION.
9. PONDING SHALL BE MAINTAINED AS REQUIRED WITH DISCHARGE INCLINED UPWARD TO ALLOW ABOVE THE SEDIMENT CONTROL LINE. ALL DISCHARGES SHALL MEET TO ATTAIN A TURBIDITY LEVEL OF LESS THAN 100 MG/L. ALL DISCHARGE POINTS SHALL BE LOCATED IN THE MANDATED 5 FT BUFFER ZONE TO AN AREA STABILIZED FROM EROSION EFFECTS BY VEGETATION.
10. STRAW-BATTLED MAT SWALES WITH FENCE LOSS ON TOP MAT.
11. ALL DISCHARGE POINTS MUST BE PRE-APPROVED BY CITY OF MAJORBOROUGH APPROVED SWMP MONITOR AND STRICTLY ADHERE TO CITY LAWS.
12. WHERE A SILT FENCE AND ORANGE CONSTRUCTION FENCE ARE PROPOSED, AN ORANGE SILT FENCE MAY BE SUBSTITUTED.



GREEN DISTRICT
 107 SIMERANO DRIVE
 107 Simerano Drive
 Marlborough, Massachusetts 01752

MAJORBOROUGH ADDRESS

MAP	LOT
116	5, 11 & 12

PREPARED FOR
 POST ROAD REALTY LLC
 11 Unquova Road
 Fairfield, Connecticut 06824

HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Wetland Scientists
 315 Elm St. MAJORBOROUGH, MA 01752
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 WWW.HANCOCKASSOCIATES.COM



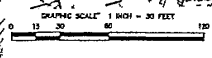
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3	11/17/17	REV. COMMENTS	
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5	11/17/17	REV. COMMENTS	
6	11/17/17	REV. COMMENTS	
7	11/17/17	REV. COMMENTS	
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10	11/17/17	REV. COMMENTS	

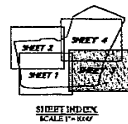
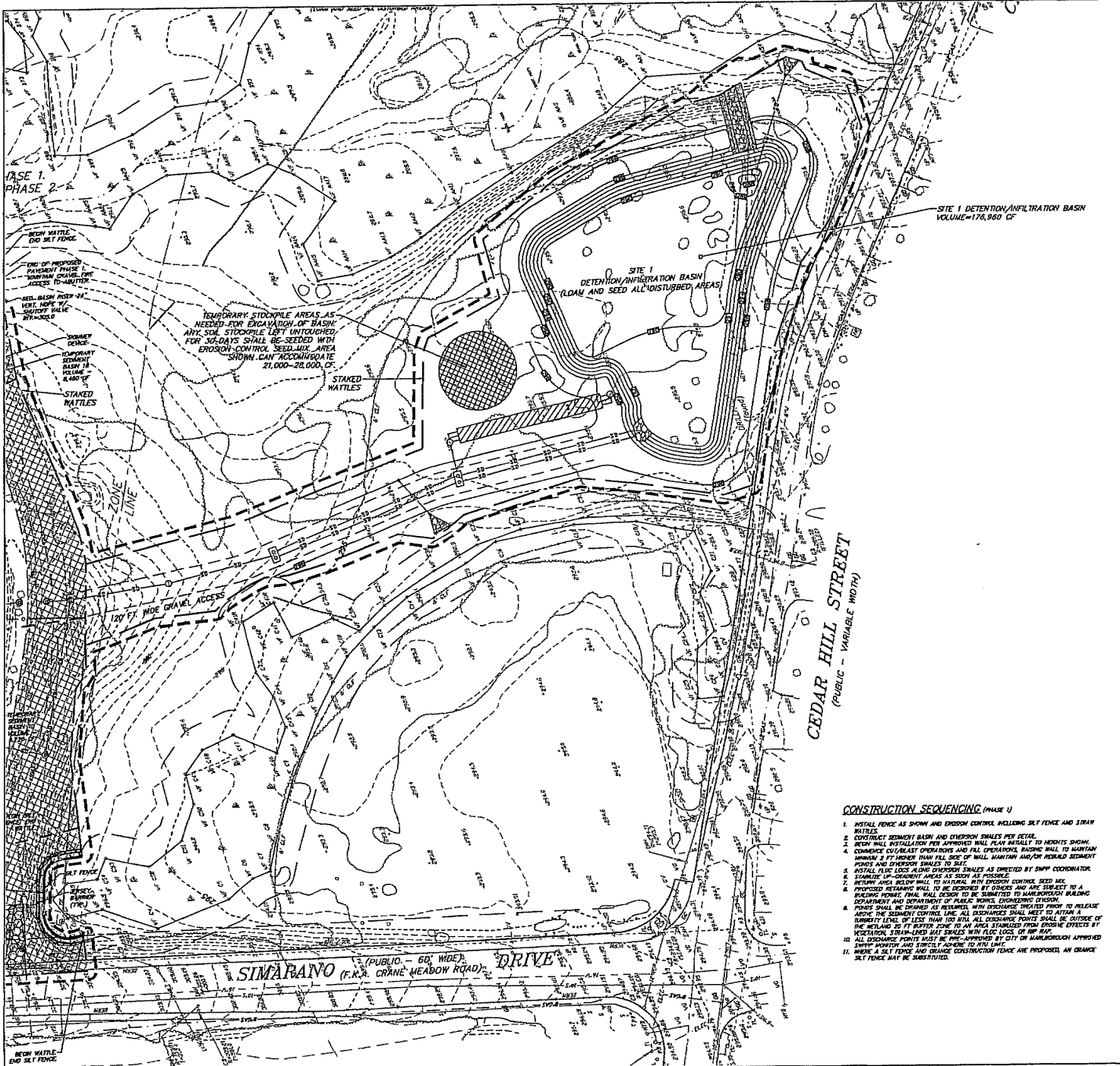
STORMWATER POLLUTION PREVENTION PLAN SHEET 2

OFFICIAL PERMITS AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DATE: 11/17/17
 SHEET: 21 OF 32
 PROJECT NO.: 22680

ESC-2





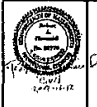
GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

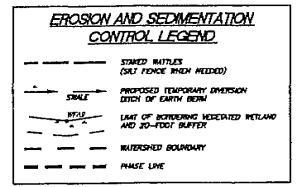
MAP 116 **LOT** 5, 11 & 12

POST ROAD REALTY LLC
 11 Unquowa Road
 Fairfield, Connecticut 06824

HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Wetland Scientists
 310 Elm St. Waterbury, MA 01702
 Voice (800) 465-1111 Fax (203) 440-1122
 WWW.HANCOCKASSOCIATES.COM



- CONSTRUCTION SEQUENCING (PHASE 1)**
1. INSTALL FENCE AS SHOWN AND EXPOSED CENTER INCLUDING SILT FENCE AND STRAW WATTLES.
 2. COMPLETE SEGMENT BASIN AND DIVERSION SWALES PER DETAIL.
 3. RETAIN WALL INSTALLATION PER APPROVED WALL PLAN INITIALLY TO PERMIT SLOPE.
 4. COMMENCE CUT/BLAST OPERATIONS AND FULL EXCAVATION. BASINS SHALL MAINTAIN ANY/ON RECORD SEGMENT POINTS AND DIVERSION SWALES TO SILE.
 5. MAINTAIN 2 FT BUFFER FROM FULL SIZE OF WALL MAINTAIN ANY/ON RECORD SEGMENT POINTS AND DIVERSION SWALES TO SILE.
 6. STABILIZE UP-DRAINAGE AREAS AS SOON AS POSSIBLE.
 7. RETURN FENCE BEHIND WALL TO ORIGINAL WITH EXPOSED CENTER, SEED MIX.
 8. PROPOSED RETURNING WALL TO BE DESIGNED BY CIVILS AND LPE SUBJECT TO A RECORDING ENGINEER. WALL DESIGN TO BE SUBMITTED TO MARLBOROUGH BUILDING DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS, ENGINEERING DIVISION.
 9. FENCES SHALL BE FRAMED AS REQUIRED WITH DISCHARGE POINTS PRIOR TO RELEASE ABOVE THE SEGMENT CONTROL LINE. ALL DISCHARGES SHALL MEET TO ATTAIN A MINIMUM LEVEL OF LESS THAN 100 MPH. ALL DISCHARGE POINTS SHALL BE OUTSIDE OF THE WETLAND 50 FT BUFFER ZONE TO AN AREA STABILIZED FROM EROSION EFFECTS BY VEGETATION. STRIP-LINED WALL STAKES NEW (LOGS, OR RAY PIP).
 10. ALL DISCHARGE POINTS MUST BE PRE-APPROVED BY CITY OF MARLBOROUGH APPROVED SWAMP MONITOR AND CHECKS ADHERE TO 10% LIMIT.
 11. WHERE A SILT FENCE AND ORANGE CONSTRUCTION FENCE ARE PROPOSED AN ORANGE SILT FENCE MAY BE SUBSTITUTED.



GRAPHIC SCALE 1" = 30 FEET
 0 15 30 60 90 120

STORMWATER POLLUTION PREVENTION PLAN SHEET 3

SPECIAL PERMIT AND OTHER PLAN APPROVAL NOT FOR CONSTRUCTION

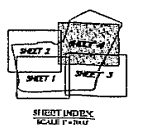
ESC-3
 SHEET 22 OF 22
 PROJECT NO.: 22680

CONSTRUCTION SEQUENCING (PHASE 2)

1. INSTALL FENCE AS SHOWN AND EROSION CONTROL INCLUDING SILT FENCE AND STAKE MATLES.
2. CONSTRUCT SEDIMENT BASIN AND DIVERSION CHANNELS PER DETAIL.
3. BEGIN WALL INSTALLATION PER APPROVED WALL PLAN INITIALLY TO REMOVE SLOPE.
4. CONDUCT OPERATE OPERATIONS AND TAKE OPERATIONS RAINING WALL TO MAINTAIN MINIMUM 2 FT HIGHER THAN FILL SIDE OF WALL MAINTAIN AND/OR PERFORM SEDIMENT POND AND DIVERSION CHANNELS TO SLOPE.
5. INSTALL TIE-ROCK ALONG DIVERSION CHANNELS AS DIRECTED BY SWMP COORDINATOR.
6. STABILIZE UP-SLOPE AREAS AS SOON AS POSSIBLE.
7. REMOVE AREA BEHIND WALL TO MAINTAIN WITH EROSION CONTROL SEED MIX.
8. PROPOSED RETAINING WALL TO BE DESIGNED BY GEOTECH AND ONE SUBJECT TO A BUILDING PERMIT. FINAL WALL DESIGN TO BE SUBMITTED TO HANCOCK ASSOCIATES, INC. AND DEPARTMENT OF PUBLIC WORKS, ENGINEERING DIVISION.
9. POND SHALL BE GRADED AS REQUIRED WITH DRAINAGE TIE-ROCK PRIOR TO RELEASE ABOVE THE SEDIMENT CONTROL LINE.
10. ALL DRAINAGE SHALL BE TO A TREATMENT AREA OR LESS THAN 100 YDS. ALL DRAINAGE POINTS SHALL BE OUTSIDE OF THE WETLAND BY 10 FEET BUFFER ZONE TO AN AREA STABILIZED FROM EROSION EFFECTS BY VEGETATION, STABILIZED MAT SHALL BE WITH SLICE LOSS OF 50% MAX.
11. ALL DRAINAGE POINTS MUST BE PRE-APPROVED BY CITY OR HANCOCK APPROVED SWMP MONITOR AND STRICTLY ADHERED TO WITH ALL PERMITS.
12. WHERE A SILT FENCE AND ORANGE CONSTRUCTION FENCE ARE PROPOSED, AN ORANGE SILT FENCE MAY BE SUBSTITUTED.

EROSION AND SEDIMENTATION CONTROL LEGEND

- STAKED MATLES (SILT FENCE WHEN NEEDED)
- PROPOSED TEMPORARY DIVERSION (UPON OF SOUTH SIDE)
- LIMIT OF BOUNDING VEGETATED WETLAND AND 20-FOOT BUFFER
- INTERLOCKED BOUNDARY
- PHASE LINE



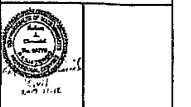
GREEN DISTRICT
107 SIRIARANO DRIVE

107 Siriariano Drive
Marlborough, Massachusetts 01752

HANCOCK ASSOCIATES
MAP 116 LOT 5, 11 & 12

PREPARED FOR
POST ROAD REALTY LLC
11 Unquowa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES
Civil Engineers
Land Surveyors
Wetland Scientists
315 Elm St. Marlborough, MA 01752
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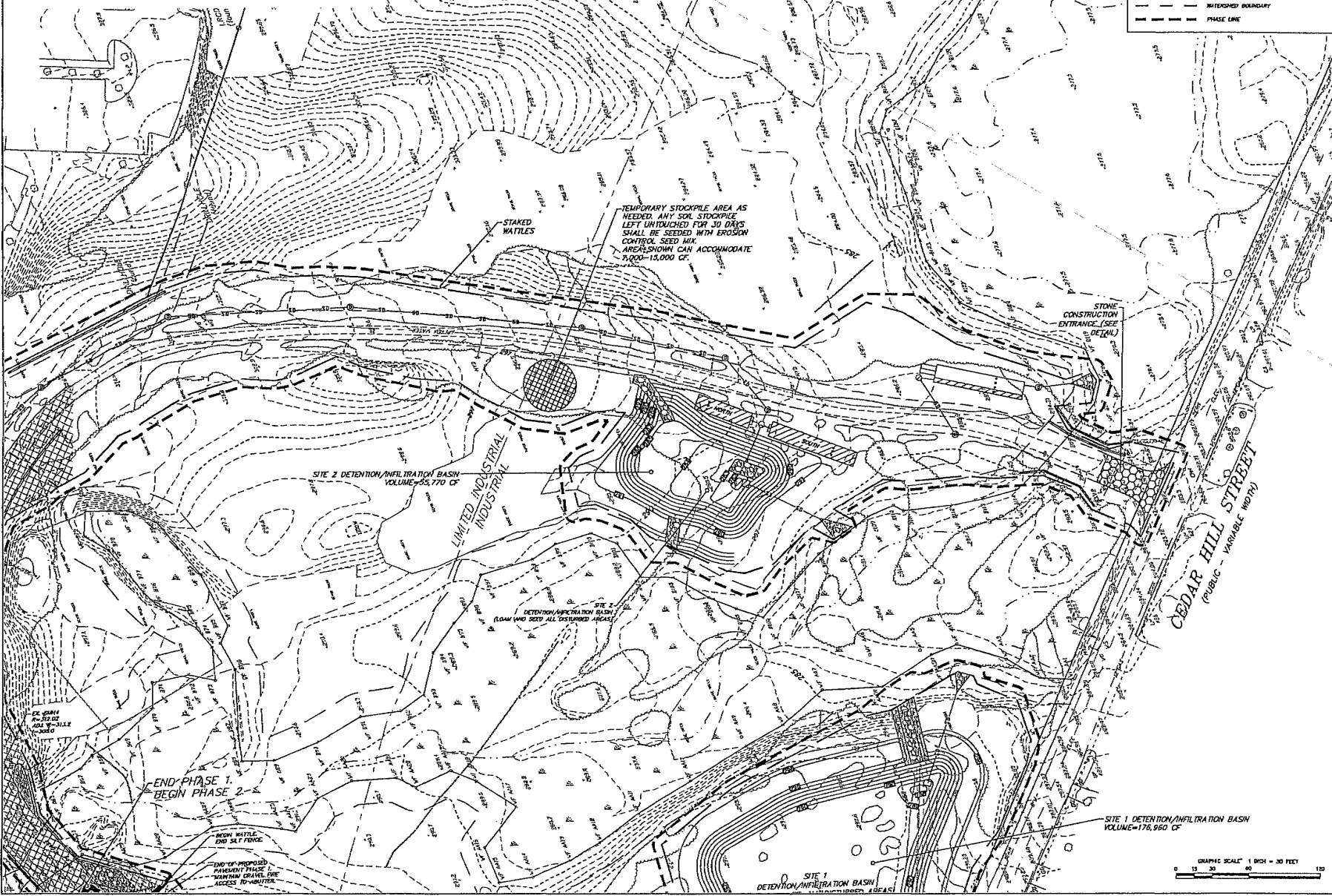


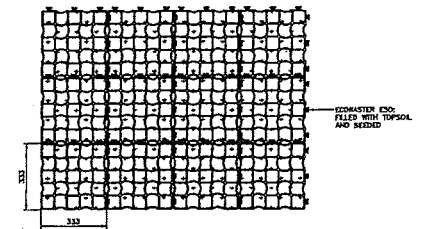
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6	PL	11/14/17	REV SHEET 1 REV WORK
7	PL	11/14/17	REV SHEET 1 REV WORK
8	PL	11/14/17	REV SHEET 1 REV WORK
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10	PL	11/14/17	REV SHEET 1 REV WORK

STORMWATER POLLUTION PREVENTION PLAN SHEET 4

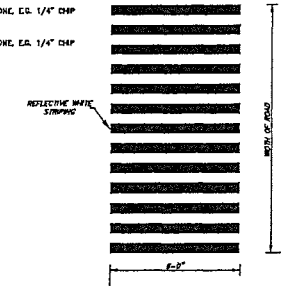
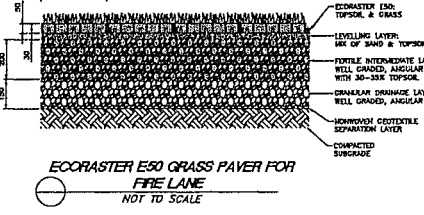
SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

PROJECT NO. **E5C-4**
22580

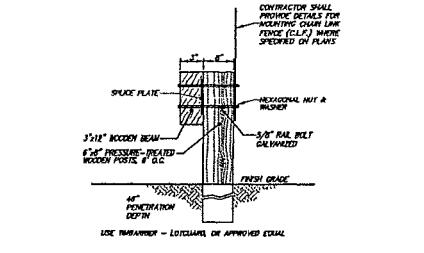




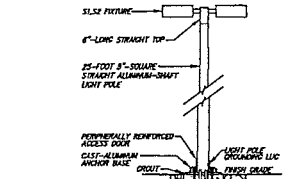
- ECORASTER E50 NOTES:**
1. THICKNESS OF FERTILE INTERMEDIATE LAYER & DRAINAGE LAYER DEPENDENT UPON SPECIFIC SITE & LOADING CONDITIONS.
 2. 2" CMP CLEAR OR OTHER SUITABLE CLEAR STONE CAN BE USED FOR DRAINAGE LAYER.
 3. TYPICAL SEED MIX:
 - 45% CREEPING RED FESCUE,
 - 20% TALL FESCUE,
 - 15% PERENNIAL RYE GRASS, AND
 - 20% PERENNIAL BLUE GRASS, WITH
 - LONG TERM FERTILIZER.
 - SEED MIX SHOULD BE MODIFIED TO SUIT LOCAL CONDITIONS.
 4. DRAINAGE SYSTEM OF THE PERMEABLE PAVEMENT SYSTEM SHOULD BE DESIGNED TO ACCOMMODATE EXPECTED INFILTRATION RATES, STORAGE CAPACITIES, OUTLET FLOW RATES, AND OTHER SITE SPECIFIC CONDITIONS.
 5. SUBGRADE SHOULD BE SLOPED TO AID IN DRAINAGE.
 6. SEE ECORASTER GREEN INSTALLATION MANUAL FOR FURTHER INFORMATION ON LAYERS.
 7. ALL DIMENSIONS IN MM UNLESS STATED OTHERWISE.
 8. THIS DRAWING IS FOR CONCEPTUAL DESIGN PURPOSES ONLY, NOT FOR CONSTRUCTION.



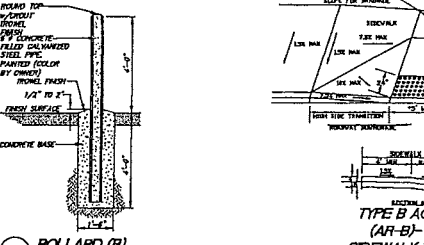
ECORASTER E50 GRASS PAVES FOR FIRE LANE
NOT TO SCALE



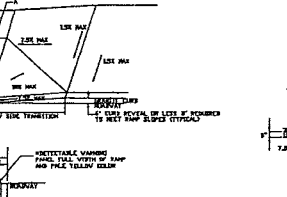
WOOD GUARDRAIL
TYPICAL CROSS SECTION
NOT TO SCALE



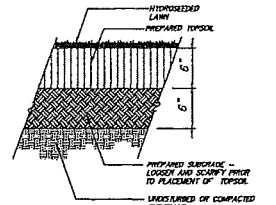
LIGHT POLE W/ BASE
NOT TO SCALE



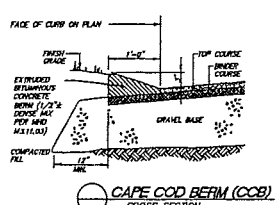
BOLLARD (B)
TYP. CROSS SECTION
NOT TO SCALE



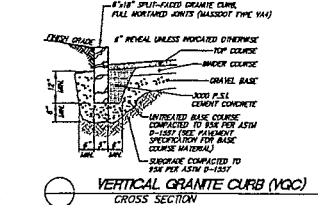
TYPE B ACCESSIBLE CURB RAMP (AR-B) - PEDESTRIAN RAMPS - SIDEWALK WIDTH 6.5' AND GREATER
NOT TO SCALE



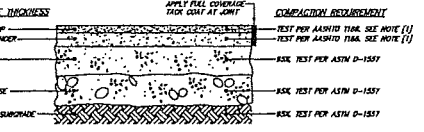
LOAM AND SEED
NOT TO SCALE



CAPE COD BEAM (CCB)
CROSS SECTION
NOT TO SCALE

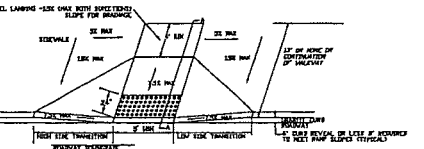


VERTICAL GRANITE CURB (VGC)
CROSS SECTION
NOT TO SCALE

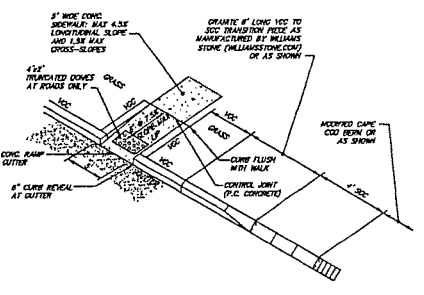


COURSE THICKNESS	APPLY FULL COVERAGE	COMPACTION REQUIREMENT
1 1/2" TOP	TEST PER ASTM D-1557	TEST PER ASTM D-1557
1 1/2" BINDER	TEST PER ASTM D-1557	TEST PER ASTM D-1557
6" SUBGRADE	TEST PER ASTM D-1557	TEST PER ASTM D-1557
SUITABLE SUBGRADE	TEST PER ASTM D-1557	TEST PER ASTM D-1557

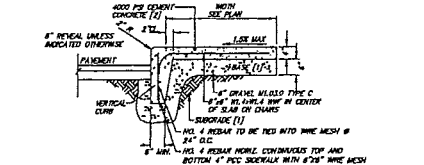
BITUMINOUS CONCRETE PAVEMENT
TYPICAL CROSS SECTION
NOT TO SCALE



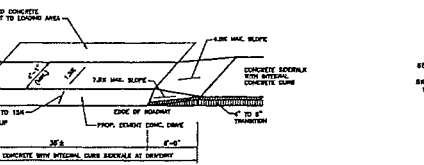
TYPE A ACCESSIBLE CURB RAMP (AR-A) - WHEELCHAIR RAMPS - GREATER THAN 13'-0" SIDEWALK
NOT TO SCALE



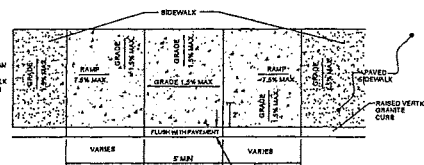
TYPE D ACCESSIBLE CURB RAMP (AR-D) - PEDESTRIAN RAMPS - ISOMETRIC VIEW
NOT TO SCALE



SIDEWALK WITH INTEGRATED CURB (ICC)
CROSS SECTION
NOT TO SCALE



LOADING AREA - REAR BUILDING ONE
CROSS SECTION
NOT TO SCALE



TYPE AR-C ACCESSIBLE CURB RAMP (AR-C) - PEDESTRIAN RAMPS
NOT TO SCALE

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

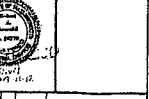
MAP	LOT
116	5, 11 & 13

POST ROAD REALTY LLC
11 Unsworth Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 Elm St. MARLBOROUGH, MA 01752
PHONE: 508-880-1111 FAX: 508-880-1110
WWW.HANCOCKASSOCIATES.COM



DATE	BY	DESCRIPTION
11/11/11	RB	REV. SHEET 1
10/14/11	RB	PER COMMENTS
08/14/11	RB	DRG./REVISION DESCRIPTION
07/20/11	RB	ISSUED FOR PERMITS
07/20/11	RB	ISSUED FOR PERMITS
07/20/11	RB	ISSUED FOR PERMITS

PAVEMENT DETAILS

SPECIAL PERMITS AND SET PLAN APPROVAL NEEDED FOR CONSTRUCTION
DRG. 22880-PS SET PLAN
LAYOUT: 07-1
SHEET: 24 OF 32
PROJECT NO.: 22680

D-1

NEEDS GENERAL PERMIT PURPOSE

THIS PLAN HAS BEEN PREPARED TO PROVIDE THE CONTRACTORS WITH GUIDANCE REGARDING THE CONSTRUCTION PROCESS THAT WILL LIMIT THE GENERATION OF PRODUCTS OF EROSION AND THE NEED FOR EROSION CONTROL MEASURES. SLOPE STABILIZATION ARE DESCRIBED AND PROVIDED FOR. THIS PLAN EMPHASIZES THE USE OF BEST MANAGEMENT PRACTICES (BMP) TO LESSEN THE NEED FOR SEVERE EROSION CONTROL MEASURES.

THIS PLAN IS INTENDED TO MEET THE REQUIREMENTS OF THE FEDERAL POLLUTION PREVENTION ACT (PPA) AND THE FEDERAL CLEAN WATER ACT (CWA). THE DESIGNER HAS CONSIDERED THE FEDERAL REQUIREMENTS OF SECTION 402 OF THE FEDERAL CLEAN WATER ACT AND THE FEDERAL POLLUTION PREVENTION ACT AND TO SOME EXTENT A COMPLIANCE WITH THE FEDERAL REQUIREMENTS UNDER THE CLEAN WATER ACT AND THE FEDERAL POLLUTION PREVENTION ACT.

THE NEEDS NOTICE OF INTENT, NO SITE DISTURBANCE MAY OCCUR UNTIL AFTER THE FOURTEEN (14) DAY EPA COP WAIVING PERIOD HAS EXPIRED.

A COPY OF THE ABOVE SUBMITTAL, INCLUDING THIS PLAN, THE PERMIT ALIQUOT, THE ORDER OF CONDITIONS, AND INSPECTION RECORDS ARE TO BE KEPT AT THE SITE OR AT A DESIGNATED LOCATION AND TO BE MADE AVAILABLE TO INTERESTED PARTIES.

THE EPA HAS DESIGNATED THE SITE OPERATION AS THE PARTY THAT HAS DAY TO DAY OPERATIONAL CONTROL OF THESE ACTIVITIES AT A PROJECT WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE SITE OR OTHER PERMIT CONDITIONS. HANCOCK ASSOCIATES SHALL NOT BE CONSIDERED THE SITE OPERATOR OR SWPPP COORDINATOR.

NEEDS INSPECTION REQUIREMENTS
THE SITE OPERATOR OF QUALIFIED CONSULTANT SHALL MAKE INSPECTIONS. THE SITE OPERATOR WILL HAVE KNOWLEDGE OF PRINCIPLES AND PROCEDURES OF EROSION AND SEDIMENT CONTROL AND WILL POSSESS SKILLS TO ASSESS CONDITIONS AT THE CONSTRUCTION SITE THAT COULD BECOME STORMWATER POLLUTION. THE INSPECTOR WILL ASSESS THE EFFECTIVENESS OF ANY SEDIMENT CONTROL MEASURES SELECTED TO CONTROL THE QUALITY OF STORMWATER DISCHARGES FROM CONSTRUCTION.

INSPECTIONS BY THE OPERATOR SHALL INCLUDE ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION ACTIVITIES. INSPECTIONS SHALL TAKE PLACE AT LEAST ONCE EVERY 14 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5" OF RAIN OR GREATER.

THE FOLLOWING MINIMUM OBSERVATION WILL BE OBSERVED DURING AN INSPECTION:
1. THE DATE OF OBSERVATION
2. NAME, TITLE AND QUALIFICATIONS OF THE SITE OPERATOR MAKING THE INSPECTION
3. WEATHER CONDITIONS, INCLUDING PRECIPITATION EVENTS BETWEEN THE DATE OF THE LAST OBSERVATION AND INSPECTION
4. ANY DISCHARGE HAS OCCURRED
5. LOCATION OF DISCHARGES
6. STATUS OF EROSION CONTROL DEVICES AND STORMWATER MANAGEMENT SYSTEMS
7. LOCATION OF ANY FAILED DEVICE OR SYSTEM PROPOSED
8. CONTINGENCY TO STOP OR A NEED FOR AMENDMENTS AND REVISION TO PLAN
9. DATES NEED TO BE RECHECKED WHEN MAJOR CHANGES OCCUR, SUCH AS WHEN CONSTRUCTION ACTIVITIES OR STABILIZATION CEASE ON A PORTION OF THE SITE AND WHEN STABILIZATION MEASURES ARE INSTALLED.

INSPECTIONS MAY BE RETAINED TO ONCE A MONTH BY:
1. DIVING THE SITE IS TEMPORARILY STABILIZED
2. RAINFALL IS UNLIKELY DUE TO WEATHER CONDITIONS
AFTER THE SITE IS STABILIZED, INSPECTIONS ARE REQUIRED AT MONTHLY INTERVALS FOR A PERIOD OF 3 YEARS STARTING FROM THE DATE THAT 70 PERCENT OF THE SITE HAS BECOME COVERED BY VEGETATED GROWTH.

SWPPP Director - To be determined
EROSION DISCHARGE - STANDARD 10

STORMWATER MANAGEMENT SYSTEMS AND EROSION CONTROL MEASURES ARE NOT DESIGNED TO HANDLE THE FOLLOWING EROSION DISCHARGES:
1. SANITARY WASTEWATER
2. EFFLUENT FROM SEPTIC TANKS
3. FLOOD DRAINAGE
4. CUP WASH WASTEWATER
5. DISPOSAL OF OIL, OTHER HYDROCARBONS, AND LIQUID/SLURRY WASTE
6. WASTE
7. SPILLS FROM FUELING OPERATIONS
8. APPROPRIATE DISPOSAL OF AUTO AND HOUSEHOLD TOXICS

WHILE NONE OF THESE DISCHARGES EXCEPT NUMBER 4 SHOULD BE PRESENT AT THIS SITE, THE OPERATOR MUST BE AWARE OF EROSION DISCHARGES. IF DISCHARGE IS OBSERVED, THE OPERATOR MUST FIRST STOP THE DISCHARGE OR CORRECT THE EROSION DISCHARGE AND DOCUMENT THE ACTIONS TAKEN.

GENERAL CONSTRUCTION REQUIREMENTS

1. PARKING OR FUELING OF VEHICLES SHALL NOT TAKE PLACE WITHIN 100' OF METALWAYS.
2. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING STRIPS/DRUMS, SHALL BE ALLOWED.
3. NO MATERIALS SHALL BE DISPOSED OF INTO THE METALWAYS OR INTO EXISTING OR PROPOSED DRAINAGE SYSTEMS. ALL CONTAINERS SHALL BE KEPT OPEN UNTIL THE CLEANING OF EQUIPMENT IS COMPLETED IN AREAS WHERE WASH-WATER WILL DRAIN DIRECTLY INTO METALWAYS OF EXISTING STORMWATER COLLECTION SYSTEMS.
4. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, WHICH SHALL INCLUDE STREET CLOSING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS AS NECESSARY.
5. THE CONTRACTOR SHALL ESTABLISH A WATER RESOURCE TO SUPPLY A "WASH-WATER" OR OTHER MEANS TO PROVIDE WATER FOR DUST CONTROL. WATER SHALL NOT BE WITHDRAWN FROM METALWAYS AREAS.
6. EQUIPMENT AND MATERIALS SHALL BE STORED BEYOND THE 100' BUFFER ZONE.

7. FUELS, LUBRICANTS, ANTIFREEZE, AND OTHER SIMILAR MATERIALS SHALL NOT BE STORED ON-SITE. ALL FLAMMABLE AND POTENTIALLY HAZARDOUS WASTE SUBSTANCES SHALL BE PUT IN LEAK PROOF CONTAINERS FOR DISPOSAL OFF-SITE ON THE DAY GENERATED. PROVISIONS FOR SPILL CONTROL AND COUNTERMEASURES SHALL BE PRESENT AND INCLUDE A LEAK OPEN CONTAINER TO BE PLACED UNDER EQUIPMENT OR HAZARDOUS MATERIALS, AND POLYETHYLENE SHEETS TO SEAL DRAIN BASIN GRATES.
8. SANITARY FACILITIES SHALL BE LOCATED IN THE EQUIPMENT STORAGE AREA. THEY SHALL BE PLACED ON AN IMPERVIOUS BARRIER, AND BE PROPERLY PROTECTED FROM OVERFLOWING.
9. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL.
10. SOOTY, OILY, AND GREASY SPILL CONTROL PRACTICE WILL BE FOLLOWED DURING CONSTRUCTION TO MINIMIZE CONTAMINATION FROM TRENCH LOCATED IN TABLE 2.

TABLE 2. POTENTIAL CONSTRUCTION SITE STORMWATER POLLUTANTS

TRADE NAME	CHEMICAL/PHYSICAL DESC.	STORM WATER POLLUTANTS IF MATERIAL
PESTICIDES	VARIOUS COLORED TO COLORLESS LIQUID, POWDER/PELLETS/SOLIDS	CHLORINATED HYDROCARBONS, ORGANOPHOSPHORUS, CARBAMATES, AND OTHERS
FERTILIZERS	LIQUID OR SOLID GRAINS	NITROGEN, PHOSPHORUS
CLEANING SOLUTIONS	COLORLESS/PALE OR YELLOW-GREEN LIQUID	PERCHLOROPHENYLENE, METHYLENE CHLORIDE, ETHYLENE GLYCOL
WASTEWATER FROM CONSTRUCTION EQUIPMENT WASHING	WATER	SOIL, OIL, GREASE, SLURRIES
MINERAL OILS/FUELS	BROWN OILY LIQUID	MINERAL OIL
CABLES	COLORLESS/PALER BROWN OR PALE PINK/RED LIQUID	HYDROXYETHYL BENZOATE, POLYURETHANE, POLYURETHANE, POLYURETHANE
DIESEL FUEL	BLACK BROWN-GREEN TO YELLOW LIQUID	PETROLEUM DISTILLATES OR GREASE
KEROSENE	CLEAR YELLOW LIQUID	COAL OIL, PETROLEUM DISTILLATE
ANTIFREEZE	CLEAR GREEN/YELLOW LIQUID	ETHYLENE GLYCOL, PROPYLENE GLYCOL, HEAVY METALS-COPPER, LEAD, ZINC
EROSION	SOLID PARTICLES	SOIL, SEDIMENT

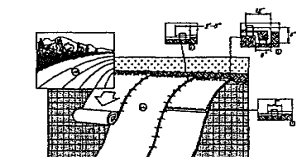
COMPLETION OF PROJECT
THE PROJECT WILL NOT BE COMPLETED UNTIL ALL SURFACES ARE EROSION RESISTANT, DRAIN BASINS ARE CLEAN, AND MEASURES ARE IN WORKING/FUNCTIONAL CONDITIONS.

STABILIZATION

1. A NOTICE OF TEMPORARY STABILIZATION SHALL BE SUBMITTED BY THE SITE OPERATOR WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
a. INITIAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE OPERATOR IS RESPONSIBLE.
b. ANOTHER OPERATOR HAS ASSUMED CONTROL, ACCORDING TO APPROPRIATE SECTION 110 OF THE NPDES COP, OVER ALL AREAS OF THE SITE THAT HAVE BEEN STABILIZED.
c. CONTRACT UNDER AN INDIVIDUAL OR ALTERNATIVE GENERAL AGENCY PERMIT HAS BEEN OBTAINED.
d. TEMPORARY STABILIZATION HAS BEEN ESTABLISHED.

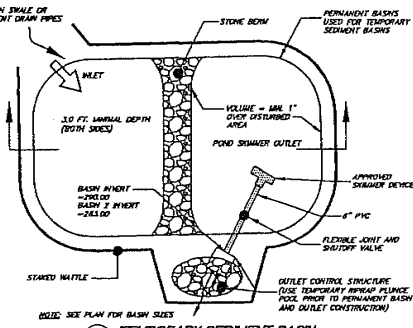
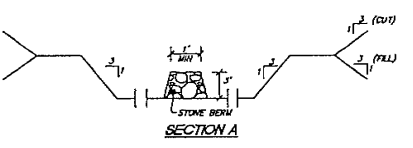
RECORDS

RECORDS SHALL BE KEPT OF ALL INSPECTIONS AND MAINTENANCE PERFORMED. A SAMPLE INSPECTION FORM IS SHOWN BELOW AND IT SHALL BE ADAPTED AS REQUIRED BY EXPERIENCE.

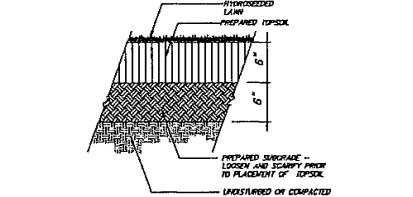


INSTALLATION:
1. LOCATE THE BAG PERMANENTLY TO BE PROVIDED FOR SLOPES GREATER THAN 3% IN EACH DIRECTION ABOUT 1' FROM THE EDGE.
2. THE BAG SHALL BE PROVIDED BY AN APPROVED MANUFACTURER. ALL BAGS SHALL BE PROVIDED WITH A 1/2" DIA. HOLES AT THE END OF THE BAG. THE BAG SHALL BE PROVIDED WITH A 1/2" DIA. HOLES AT THE END OF THE BAG. THE BAG SHALL BE PROVIDED WITH A 1/2" DIA. HOLES AT THE END OF THE BAG.
3. THE BAG SHALL BE PROVIDED WITH A 1/2" DIA. HOLES AT THE END OF THE BAG. THE BAG SHALL BE PROVIDED WITH A 1/2" DIA. HOLES AT THE END OF THE BAG. THE BAG SHALL BE PROVIDED WITH A 1/2" DIA. HOLES AT THE END OF THE BAG.
4. THE BAG SHALL BE PROVIDED WITH A 1/2" DIA. HOLES AT THE END OF THE BAG. THE BAG SHALL BE PROVIDED WITH A 1/2" DIA. HOLES AT THE END OF THE BAG. THE BAG SHALL BE PROVIDED WITH A 1/2" DIA. HOLES AT THE END OF THE BAG.

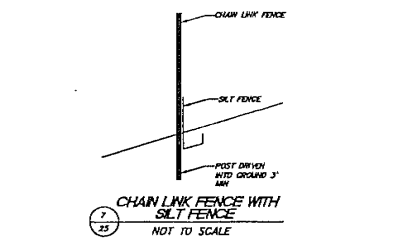
MAJOR SLOPE STABILIZATION NOT TO SCALE



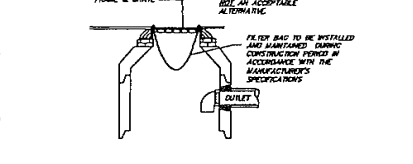
TEMPORARY SEDIMENT BASIN NOT TO SCALE



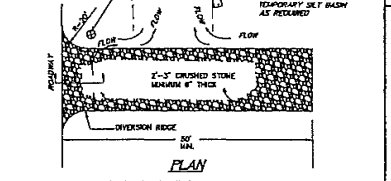
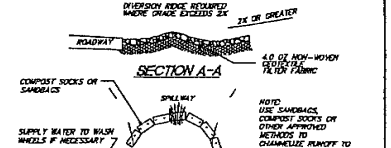
PERMANENT DETENTION/INFILTRATION BASIN LOAM AND SEED NOT TO SCALE



CHAIN LINK FENCE WITH SILT FENCE NOT TO SCALE



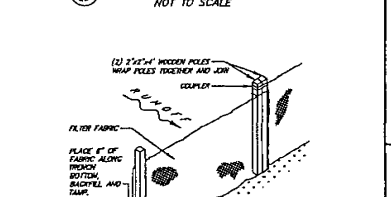
CATCH BASIN FILTER BAG TYPICAL CROSS SECTION - NOT TO SCALE



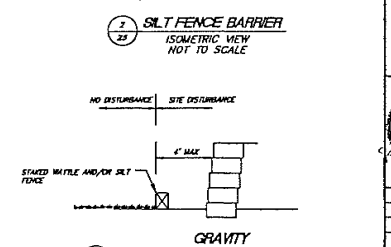
CONSTRUCTION ENTRANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF FLOES OF SEDIMENT INTO PUBLIC RIGHT-OF-WAYS.

1. WHEN NECESSARY WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY.
2. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

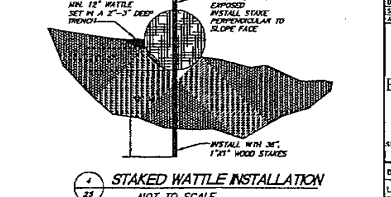
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT NOT TO SCALE



SILT FENCE BARRIER ISOMETRIC VIEW NOT TO SCALE



GRAVITY BLOCK WALL TREATMENT NOT TO SCALE



STAKED WATTLE INSTALLATION NOT TO SCALE

GREEN DISTRICT
107 SIMARANO DRIVE

107 Simarano Drive
Hartford, Massachusetts 01752

MAP	LOT
116	5, 11 & 12

PREPARED FOR

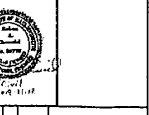
POST ROAD REALTY LLC

11 Unquowa Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

319 Elm St., Waltham, MA 02451
Voice: 617-891-1111, Fax: 617-891-1111
WWW.HANCOCKASSOCIATES.COM



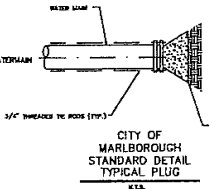
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5	01/21/21	PER COMMENTS
6	01/21/21	PER COMMENTS
7	01/21/21	PER COMMENTS
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9	01/21/21	PER COMMENTS
10	01/21/21	PER COMMENTS

SWPPP
EROSION CONTROL
DETAILS

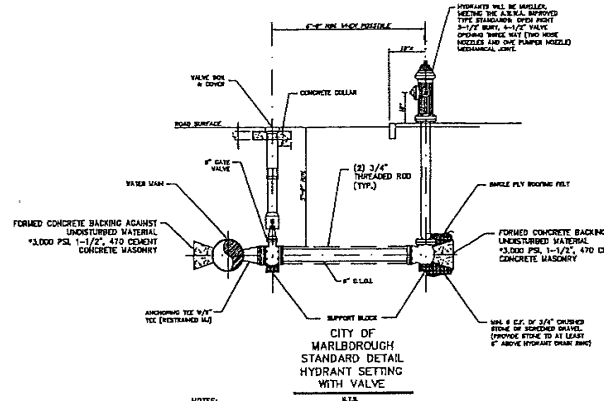
SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

DATE: 01/21/21
LAYER: 07-2
SHEET: 23 OF 32
PROJECT NO.: 22680

D-2

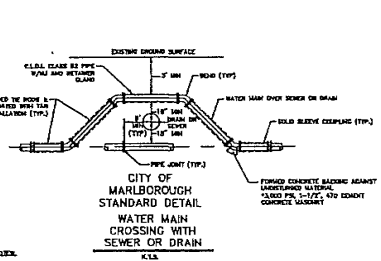


CITY OF MARLBOROUGH STANDARD DETAIL TYPICAL PLUG
K.L.A.



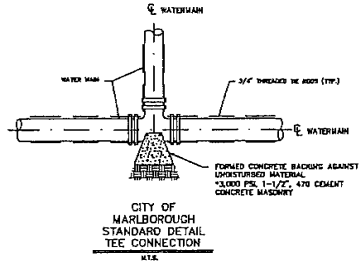
CITY OF MARLBOROUGH STANDARD DETAIL HYDRANT SETTING WITH VALVE
K.L.A.

- NOTES:
1. PROVIDE REINFORCING AND VIBRATE AGAINST UNDISTURBED MATERIAL, BEHIND APPROVED FORMS.
 2. SUPPORT SHALL BE PREPARED REINFORCING RODS OR CONCRETE BEDDING BLOCKS.
 3. ALL VALVES OPEN UP.

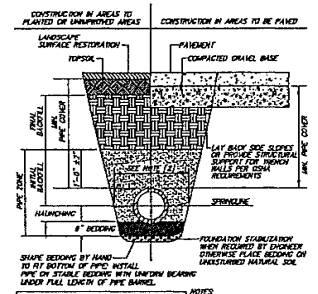


CITY OF MARLBOROUGH STANDARD DETAIL WATER MAIN CROSSING WITH SEWER OR DRAIN
K.L.A.

- NOTES:
1. BLOCKS TO BE UTILIZED ONLY WHEN DEFLECTION EXCEEDS APPROVED DEFLECTION.
 2. ALL HOSE CLIPS AND HOSES ARE TO BE HOUSED BY MEANS OF HOSE CLAMP AT WALL SOUTH.
 3. ALL HOSE CLIPS AND HOSES ARE TO BE HOUSED BY MEANS OF HOSE CLAMP AT WALL SOUTH.



CITY OF MARLBOROUGH STANDARD DETAIL TEE CONNECTION
K.L.A.



FOUNDATION BEDDING & BACKFILL MATERIALS

FOUNDATION BEDDING	NO. OF PIPES	NO. OF FEET
CONCRETE	[]	[]
BEDDING	[]	[]
HAZARDOUS	[]	[]
PIPE BACKFILL	[]	[]
PIPE COVER	[]	[]

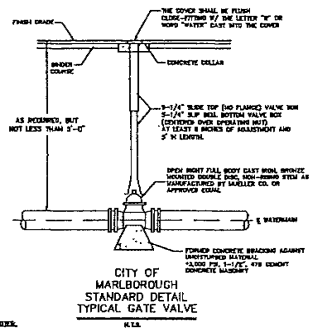
NOTES:

1. PLACE 3/4" DIA DRILLED CHANNEL BACKFILL AT TOP OF MAIN AND AT 1/2" FROM INTERFERENCE WITH OTHER MATERIALS.
2. LAY BODY OF PIPE SLOPED TO PROTECT STRUCTURAL INTEGRITY FOR CONCRETE BACKFILL.
3. SHAPE BEDDING BY HAND TO FIT BOTTOM OF PIPE. INSTALL PIPE ON STABLE BEDDING WITH SUFFICIENT BEARING UNDER FULL LENGTH OF PIPE BARREL.
4. INSTALL PIPE IN CENTER OF TRENCH.
5. IN PLACED OR UNIMPROVED AREAS USE ON-SITE EXCAVATED MATERIAL FOR FILL. BACKFILL COMPACT TO 95% PER ASTM D-1557. OBTAIN ENGINEER APPROVAL OF ON-SITE EXCAVATED MATERIALS FOR USE AS FILL MATERIAL.
6. UNIMPROVED COVER OVER TOP OF PIPE.

PIPE MATERIAL	NO. OF PIPES	NO. OF FEET
WATER	1"-2"	1"-2"
SEWER	1"-2"	1"-2"

FOUNDATION STABILIZATION USE 1/2" DRILLED STEEL PIPE

CITY OF MARLBOROUGH STANDARD DETAIL TYPICAL BEND
K.L.A.



CITY OF MARLBOROUGH STANDARD DETAIL TYPICAL GATE VALVE
K.L.A.

- NOTES:
1. PROVIDE REINFORCING AND VIBRATE AGAINST UNDISTURBED MATERIAL, BEHIND APPROVED FORMS.
 2. GATE VALVE MUST CONFORM TO THE LATEST REVISIONS OF ASME STANDARD B-80.

CITY OF MARLBOROUGH WATER SPECIFICATIONS

THE FOLLOWING DESCRIBE MATERIALS AND METHODS OF INSTALLATION OF WATER MAINS IN GENERAL. ALL WORK SHALL CONFORM TO THE LATEST STANDARD SPECIFICATIONS FOR CONTRACTS AND DETAILS. ALL SUPPLEMENTARY SPECIFICATIONS IN THE PARTICULAR CONTRACT AND IN ACCORDANCE WITH THE MOST RECENT A.S.M.A. STANDARDS.

MAIN INSTALLATION:

ALL MAINS SHALL BE A MINIMUM OF EIGHT INCH OUTSIDE PIPE. CLASS B, EXEMPT LINED MECHANICAL JOINT OR PUSH-ON JOINT IN ACCORDANCE WITH A.S.M.A. STANDARDS. ALL MAINS OVER EIGHT (8) INCHES IN DIAMETER SHALL BE CAST-IRON CLASS B. INCLUDING APPLICABLE PROVISIONS. ALL MAINS OVER EIGHT (8) INCHES IN DIAMETER SHALL BE CAST-IRON CLASS B. INCLUDING APPLICABLE PROVISIONS. ALL MAINS OVER EIGHT (8) INCHES IN DIAMETER SHALL BE CAST-IRON CLASS B. INCLUDING APPLICABLE PROVISIONS. ALL MAINS OVER EIGHT (8) INCHES IN DIAMETER SHALL BE CAST-IRON CLASS B. INCLUDING APPLICABLE PROVISIONS.

MAIN GATE VALVES AND BOXES:

MAIN GATE VALVES SHALL BE EXPOSED, IRON BODY, BRONZE WARE, DOUBLE DISC, NON-RISING STEM AS MANUFACTURED BY BULLOCK CO. OR APPROVED EQUAL. MAIN GATE BOXES SHALL BE CAST-IRON, MADE TYPE WITH AT LEAST SIX (6) HOLES OF ALIGNMENT AND AT LEAST FIVE (5) FEET LONG. THE COVERS SHALL BE FLASK, CLAMP-FITTING WITH THE LETTER "W" ON THE BOX "WATER" CAST INTO THE COVER.

THRUST BLOCKS:

ALL PIPES, CLIPS, HOSE, AND FITTINGS SHALL BE PROVIDED WITH A CONCRETE THRUST BLOCK TO PREVENT MOVEMENT. THE THRUST BLOCK SHALL CONSIST OF A FORMED CONCRETE BACKING AGAINST UNDISTURBED MATERIAL, PLACED IN PLACE WITH 3,000 PSI, 1-1/2", 470 CEMENT CONCRETE MASONRY.

INSPECTIONS:

INSPECTION WILL BE PROVIDED BY THE CITY OF MARLBOROUGH WATER AND SENIOR INSPECTOR. BEFORE ANY BACKFILLING IS DONE, THE DEPARTMENT OF PUBLIC WORKS SHALL CONDUCT A WATER TIGHTNESS TEST. A CITY OF MARLBOROUGH WATER AND SENIOR INSPECTOR WILL INSPECT THE COMPLETED WORK. THIS SERVICE OF INSPECTION WILL BE USED FOR RECORD INSTALLATION, MAIN DATA, SERVICE LOGS, TESTING, ETC. IF THE DEPARTMENT OF PUBLIC WORKS FEELS THAT INSPECTION AND GATE BOXES SHOULD BE TAKEN IN THE INSTALLATION, THE WORK SHALL BE SUSPENDED UNTIL FURTHER APPROVAL FROM THE CITY ENGINEER.

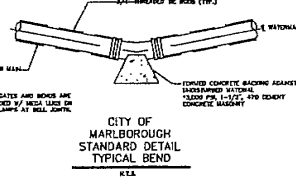
CONNECTIONS:

SERVICE CONNECTIONS SHALL HAVE A MINIMUM SIZE OF THREE-FOURTHS (3/4) INCH IN DIAMETER. ALL SERVICE PIPES SHALL BE TYPE K COPPER TUBING. ANY SERVICE PIPE LARGER THAN TWO (2) INCHES AND LESS THAN EIGHT (8) INCHES IN DIAMETER SHALL BE CAST-IRON CLASS B. EXEMPT LINED MECHANICAL JOINT OR PUSH-ON JOINT IN ACCORDANCE WITH A.S.M.A. STANDARDS. ALL MAIN CONNECTIONS WILL BE MADE BY MEANS OF BRASS FITTING. THE USE OF A TWO-STAMP CONNECTION SHALL ONLY BE USED WITH APPROVAL OF SENIOR ENGINEER. ALL CONNECTIONS SHALL BE MADE BY MEANS OF BRASS FITTING. THE USE OF A TWO-STAMP CONNECTION SHALL ONLY BE USED WITH APPROVAL OF SENIOR ENGINEER.

TESTING:

THE CONTRACTOR SHALL HIRE AN INDEPENDENT TESTING FIRM THAT SPECIALIZES IN WATER LEAK TESTING AND INSPECTIONS OF WATER DISTRIBUTION SYSTEMS APPROVED BY THE CITY ENGINEER. THE CONTRACTOR SHALL FURNISH A WATER TIGHTNESS TESTING EQUIPMENT. TESTING PIPES, PUMPS, PIPE CONNECTIONS AND OTHER RELATED APPARATUS IN THE SECTION OF PIPE TO BE TESTED WILL BE COMPLETELY FILLED WITH WATER AND AIR BLOWN OUT THROUGH A WATER TIGHTNESS TESTING EQUIPMENT. THE SECTION TO BE TESTED WILL BE MAINTAINED FULL AND UNDER PRESSURE AT 200 PSI FOR A PERIOD OF ONE (1) HOUR. THE LEAK SHALL BE FILLED AND TESTED WITHIN ONE (1) TO THREE (3) DAYS AFTER TESTING. ANY FAILURE OF THE TIGHTNESS TESTING EQUIPMENT, THE TESTING EQUIPMENT AND RELATED ACCESSORIES THAT OCCURS BEFORE THE TEST SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR. A SUCCESSFUL WATER PRESSURE TEST IS NOT TO BE INTERPRETED AS FINAL ACCEPTANCE. THE TESTING EQUIPMENT AND RELATED ACCESSORIES THAT OCCURS BEFORE THE TEST SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR. A SUCCESSFUL WATER PRESSURE TEST IS NOT TO BE INTERPRETED AS FINAL ACCEPTANCE.

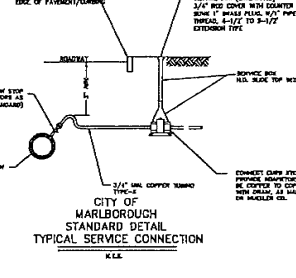
SIZE OF BEARING BLOCK IN SQUARE FEET AGAINST UNDISTURBED MATERIAL FOR WATER TIGHTNESS TESTING	NO. OF PIPES	NO. OF FEET
1' x 1'	1	1
2' x 2'	2	2
3' x 3'	3	3



CITY OF MARLBOROUGH STANDARD DETAIL TYPICAL SERVICE CONNECTION
K.L.A.

NOTES:

1. ALL NEW SERVICE LINES FROM TO BE ENCASED IN 12" MIN. SAND.
2. ALL SERVICE CONNECTIONS SHALL BE MADE BY MEANS OF BRASS FITTING. THE USE OF A TWO-STAMP CONNECTION SHALL ONLY BE USED WITH APPROVAL OF SENIOR ENGINEER.
3. ALL SERVICE CONNECTIONS SHALL BE MADE BY MEANS OF BRASS FITTING. THE USE OF A TWO-STAMP CONNECTION SHALL ONLY BE USED WITH APPROVAL OF SENIOR ENGINEER.
4. ALL SERVICE CONNECTIONS SHALL BE MADE BY MEANS OF BRASS FITTING. THE USE OF A TWO-STAMP CONNECTION SHALL ONLY BE USED WITH APPROVAL OF SENIOR ENGINEER.



CITY OF MARLBOROUGH STANDARD DETAIL TYPICAL TRENCH CONNECTION
K.L.A.

GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Marlborough, Massachusetts 01752

MAP LOT
116 5, 11 & 12

POST ROAD REALTY LLC

11 Unquoin Road
Fairfield, Connecticut 06424

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

301 CH. ST. MARLBOROUGH, MA 01752
PHONE (508) 460-1111 FAX (508) 460-1111
WWW.HANCOCKASSOCIATES.COM



NO.	DATE	REV.	DESCRIPTION
1	04/12/20	1	REV. SHEET 1
2	04/12/20	2	REV. SHEET 1

WATER SERVICE DETAILS

SPECIAL PERMIT AND SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

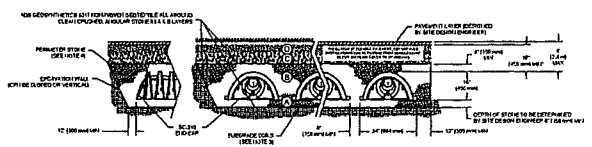
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LAYOUT: DT-4
SHEET: 27 OF 32
PROJECT NO.: 22680

D-4

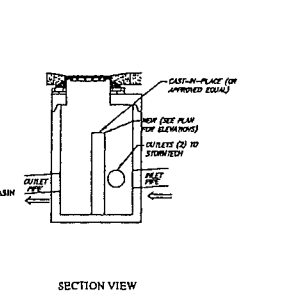
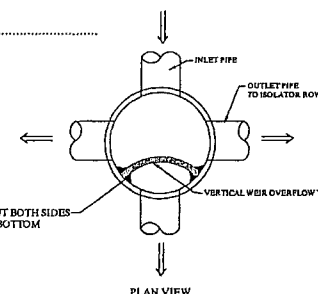
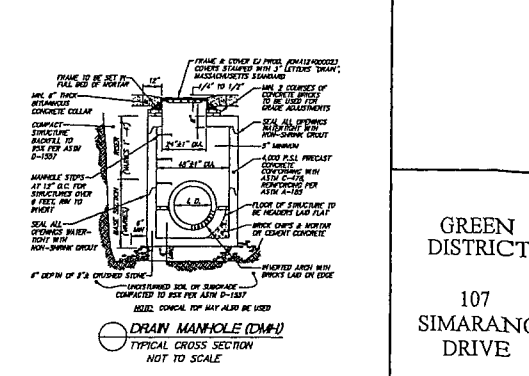
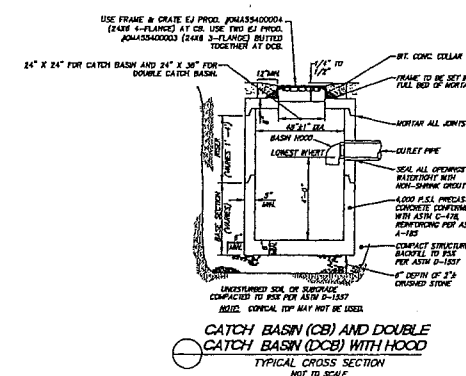
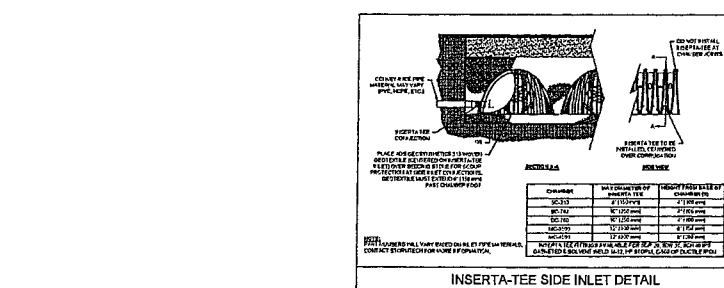
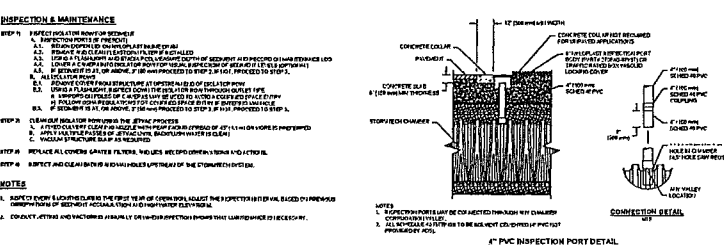
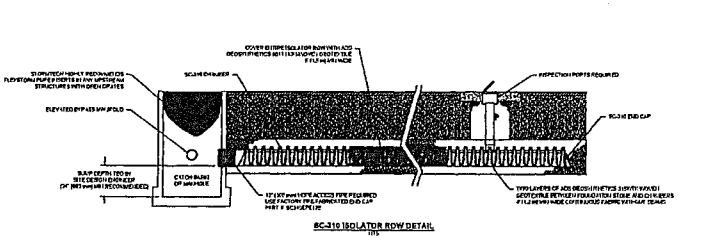
ACCEPTABLE FILL MATERIALS: STORMTECH SC-31D CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	ASTM MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	BASE MATERIALS TO BE PLACED ON TOP OF THE 12" DEPTH OF FILLABLE SPACE OF EACH CHAMBER FROM THE BOTTOM OF THE CHAMBER TO THE TOP OF THE CHAMBER.	NO. 2	95% PROPORTION COMPACTED TO 4% MOISTURE CONTENT
E	BASE MATERIALS TO BE PLACED ON TOP OF THE 12" DEPTH OF FILLABLE SPACE OF EACH CHAMBER FROM THE BOTTOM OF THE CHAMBER TO THE TOP OF THE CHAMBER.	NO. 2	95% PROPORTION COMPACTED TO 4% MOISTURE CONTENT
F	BASE MATERIALS TO BE PLACED ON TOP OF THE 12" DEPTH OF FILLABLE SPACE OF EACH CHAMBER FROM THE BOTTOM OF THE CHAMBER TO THE TOP OF THE CHAMBER.	NO. 2	95% PROPORTION COMPACTED TO 4% MOISTURE CONTENT
G	BASE MATERIALS TO BE PLACED ON TOP OF THE 12" DEPTH OF FILLABLE SPACE OF EACH CHAMBER FROM THE BOTTOM OF THE CHAMBER TO THE TOP OF THE CHAMBER.	NO. 2	95% PROPORTION COMPACTED TO 4% MOISTURE CONTENT
H	BASE MATERIALS TO BE PLACED ON TOP OF THE 12" DEPTH OF FILLABLE SPACE OF EACH CHAMBER FROM THE BOTTOM OF THE CHAMBER TO THE TOP OF THE CHAMBER.	NO. 2	95% PROPORTION COMPACTED TO 4% MOISTURE CONTENT
I	BASE MATERIALS TO BE PLACED ON TOP OF THE 12" DEPTH OF FILLABLE SPACE OF EACH CHAMBER FROM THE BOTTOM OF THE CHAMBER TO THE TOP OF THE CHAMBER.	NO. 2	95% PROPORTION COMPACTED TO 4% MOISTURE CONTENT

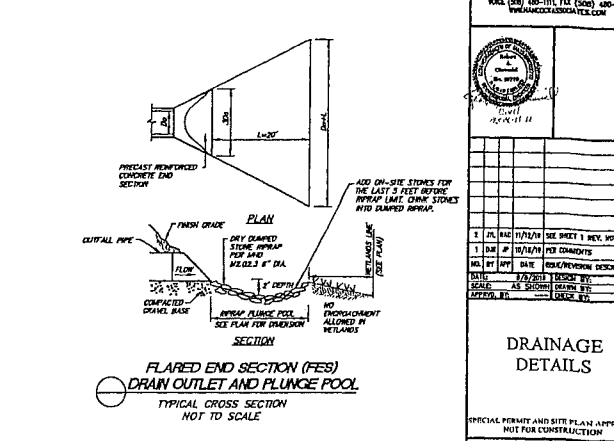
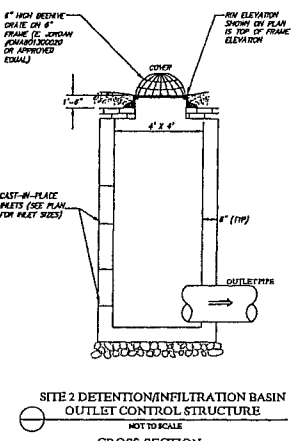
- NOTES:**
- THE BASE MATERIALS TO BE PLACED ON TOP OF THE 12" DEPTH OF FILLABLE SPACE OF EACH CHAMBER FROM THE BOTTOM OF THE CHAMBER TO THE TOP OF THE CHAMBER.
 - THE BASE MATERIALS TO BE PLACED ON TOP OF THE 12" DEPTH OF FILLABLE SPACE OF EACH CHAMBER FROM THE BOTTOM OF THE CHAMBER TO THE TOP OF THE CHAMBER.
 - THE BASE MATERIALS TO BE PLACED ON TOP OF THE 12" DEPTH OF FILLABLE SPACE OF EACH CHAMBER FROM THE BOTTOM OF THE CHAMBER TO THE TOP OF THE CHAMBER.
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 - THE BASE MATERIALS TO BE PLACED ON TOP OF THE 12" DEPTH OF FILLABLE SPACE OF EACH CHAMBER FROM THE BOTTOM OF THE CHAMBER TO THE TOP OF THE CHAMBER.
 - THE BASE MATERIALS TO BE PLACED ON TOP OF THE 12" DEPTH OF FILLABLE SPACE OF EACH CHAMBER FROM THE BOTTOM OF THE CHAMBER TO THE TOP OF THE CHAMBER.
 - THE BASE MATERIALS TO BE PLACED ON TOP OF THE 12" DEPTH OF FILLABLE SPACE OF EACH CHAMBER FROM THE BOTTOM OF THE CHAMBER TO THE TOP OF THE CHAMBER.



- NOTES:**
- CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% MOISTURE CONTENT.
 - CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% MOISTURE CONTENT.
 - CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% MOISTURE CONTENT.
 - CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% MOISTURE CONTENT.
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 - CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% MOISTURE CONTENT.
 - CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% MOISTURE CONTENT.



SITE 2 STORMTECH 5' DIA DMH 56 WEIR MANHOLE NOT TO SCALE



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

MAILING ADDRESS:

MAP 116 LOT 3, 11 & 12

PREPARED FOR:

POST ROAD REALTY LLC

11 Unquogue Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Weiland Scientists

315 ELM ST. HANDBOROUGH, MA 01834
VOICE (978) 680-1111 FAX (978) 680-1111
WWW.HANCOCKASSOCIATES.COM

DRAINAGE DETAILS

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DWG: 22680-PS DET 04-11
LAYOUT: DT-5
SHEET: 28 OF 32
PROJECT NO.: 22680

Luminaire Schedule - TOTAL						
Symbol	Qty	Label	Arrangement	Low. Lumens	LLF	Description
□	53	A	SINGLE	11875	0.800	024447P511
□	8	KA	SPD	12500	0.800	024447P511
○	1	NA	SINGLE	3397	0.800	883VLEED-4H-LED-350mA-WWHS
○	1	KA	SPD	3397	0.800	883VLEED-4H-LED-350mA-WWHS
○	11	BA	SINGLE	3411	0.800	883VLEED-4H-LED-350mA-WWHS
○	1	BA	SPD	3411	0.800	883VLEED-4H-LED-350mA-WWHS
○	11	BA	SINGLE	3411	0.800	883VLEED-4H-LED-350mA-WWHS
○	11	BA	SPD	3411	0.800	883VLEED-4H-LED-350mA-WWHS
○	20	C	SINGLE	1187	0.800	ACLVW-3044-450

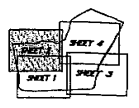
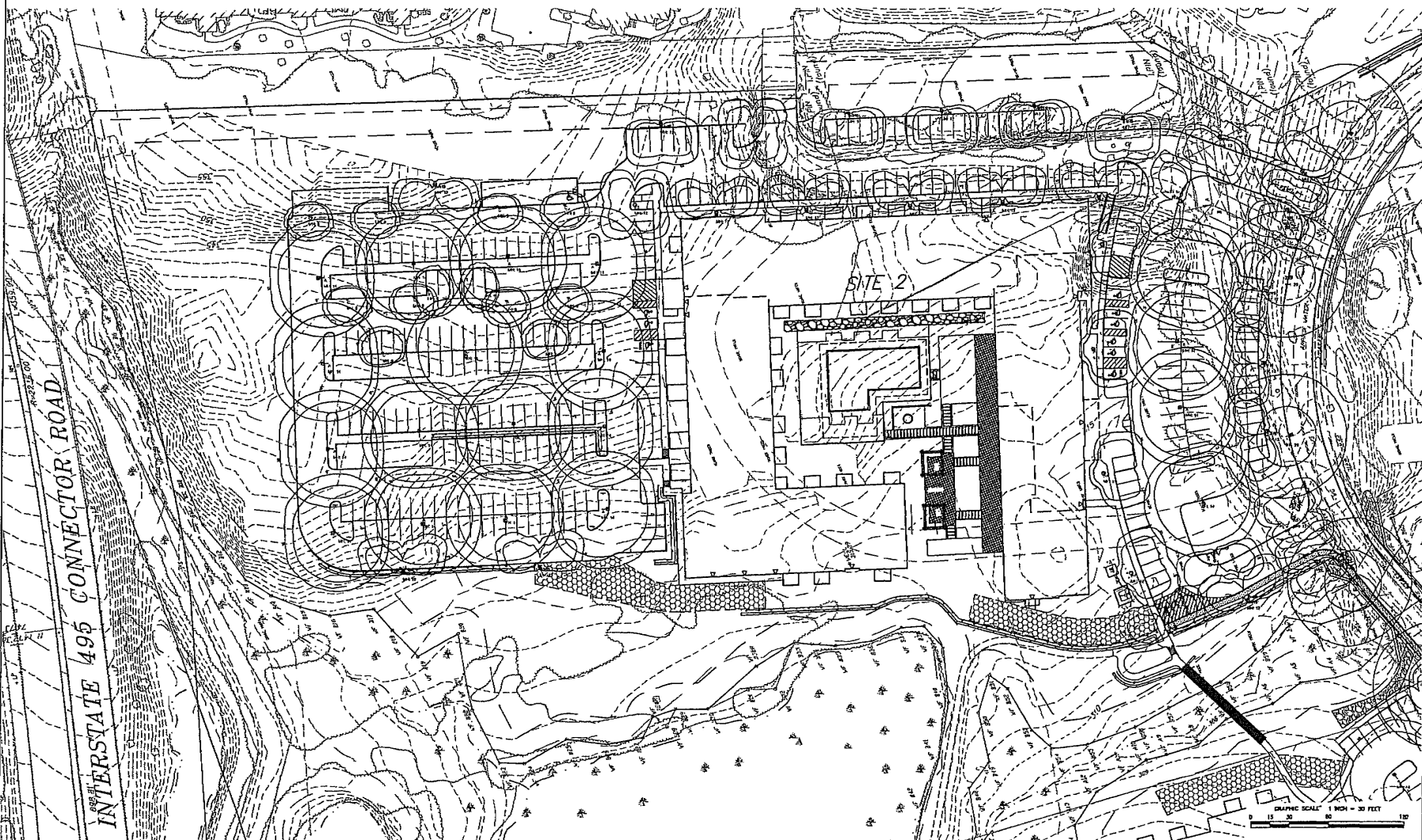
Calculation Summary						
Area	Calc Type	Units	Foot	Area	Area	Description
FOOTWAY	Buminate	Fc	0.55	3.1	0.3	2.25
DRIVE ENTRANCE A	Buminate	Fc	3.75	3.8	1.2	3.25
DRIVE ENTRANCE B	Buminate	Fc	2.48	4.0	2.2	3.44
DRIVE ENTRANCE C	Buminate	Fc	1.88	4.8	0.3	3.30
DRIVE ENTRANCE D	Buminate	Fc	1.98	16.8	0.3	8.80
DRIVE ENTRANCE E	Buminate	Fc	1.56	3.8	0.3	7.25
DRIVE ENTRANCE F	Buminate	Fc	1.72	2.3	0.3	8.73
DRIVE ENTRANCE G	Buminate	Fc	1.84	4.8	0.3	8.70
DRIVE ENTRANCE H	Buminate	Fc	0.54	2.7	0.3	4.80
DRIVE ENTRANCE I	Buminate	Fc	2.17	25.3	0.3	16.15

POP CONVERTED INTO WORKING DRAW FILE NAME, LUMINAIRE LOCATIONS AND VALUES TO BE CONSIDERED APPROXIMATE
 - BUILDINGS WERE BUILT AS 30' TALL (A-B-I-M)
 - GARAGE BUILDINGS WERE BUILT AS 10' TALL (K-N-O-P)
 - UNIDENTIFIED HEIGHTS ASSUMED

Luminaire Schedule - SITE 2						
Symbol	Qty	Label	Arrangement	Low. Lumens	LLF	Description
□	19	A	SINGLE	11875	0.800	024447P511
○	2	BA	4x	3391	0.800	883VLEED-4H-LED-350mA-WWHS
○	12	BA	4x	3391	0.800	883VLEED-4H-LED-350mA-WWHS
○	4	BA	4x	3391	0.800	883VLEED-4H-LED-350mA-WWHS
○	4	BA	4x	3391	0.800	883VLEED-4H-LED-350mA-WWHS
○	4	BA	4x	3391	0.800	883VLEED-4H-LED-350mA-WWHS
○	12	C	4x	4187	0.800	ACLVW-3044-450

NOTES:
 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 2) CALCULATIONS DO NOT SHOW THE EFFECT OF SHADOWING CAUSED BY OBJECTS WITHIN THE AREA.
 3) READINGS SHOWN ARE UNIFORMED HORIZONTAL FOOTCANDLES TAKEN AS SHOWN IN NUMERIC READINGS.
 4) FEATURE ORIENTATION IS SUCH THAT 0 IS TO THE RIGHT OF THE DRAWING AND 90 IS TO THE TOP OF THE DRAWING AS SHOWN.
 5) TILT ANGLE IS THE ALIGNING AND LOWER END OF THE FEATURE HEAD.
 6) THE LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FEATURE ORIENTATION.
 7) CHECK GRAPHIC SCALE & DOCUMENTS PRINTER OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE ORDERED OR ASSAID GRAPHIC SCALE. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED DRAWING IS PRINTED TO SCALE.
 8) LUMINAIRE LIGHTS - LUMENS LEAVING LUMINAIRE WITH EFFICIENCY CONSIDERED.
 9) POP CONVERTED INTO WORKING DRAW FILE NAME, LUMINAIRE LOCATIONS AND VALUES TO BE CONSIDERED APPROXIMATE.

NOTES:
 1) DEL AND TEL ARE MANUFACTURED BY OLVINE LIGHTING.
 2) DEL IS MANUFACTURED BY MARLITE.



SHEET INDEX
 SCALE 1"=30'

GREEN DISTRICT
 107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

MAP 110
 LEFT 5.11 IN. 12

PREPARED FOR:
 POST ROAD REALTY LLC
 11 Unquowa Road
 Fairfield, Connecticut 06824

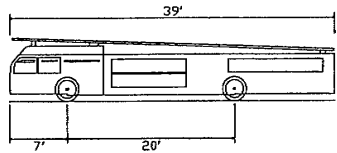
HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Wetland Scientists
 315 Elm St. MARLBOROUGH, MA 01752
 PHONE (508) 640-1111 FAX (508) 488-1151
 WWW.HANCOCKASSOCIATES.COM

NO.	DATE	BY	DESCRIPTION
1	02/14/2018	REV. SHEET 1	REV. NOTES
2	02/14/2018	REV. DRAWING	
NO. BY DATE	SCALE	DATE	DESCRIPTION
DATE: 02/14/2018	SCALE: 1"=30'	DATE: 02/14/2018	DESCRIPTION: PH-2
SCALE: AS SHOWN	DATE: 02/14/2018	SCALE: 1"=30'	DESCRIPTION: PH-2

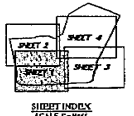
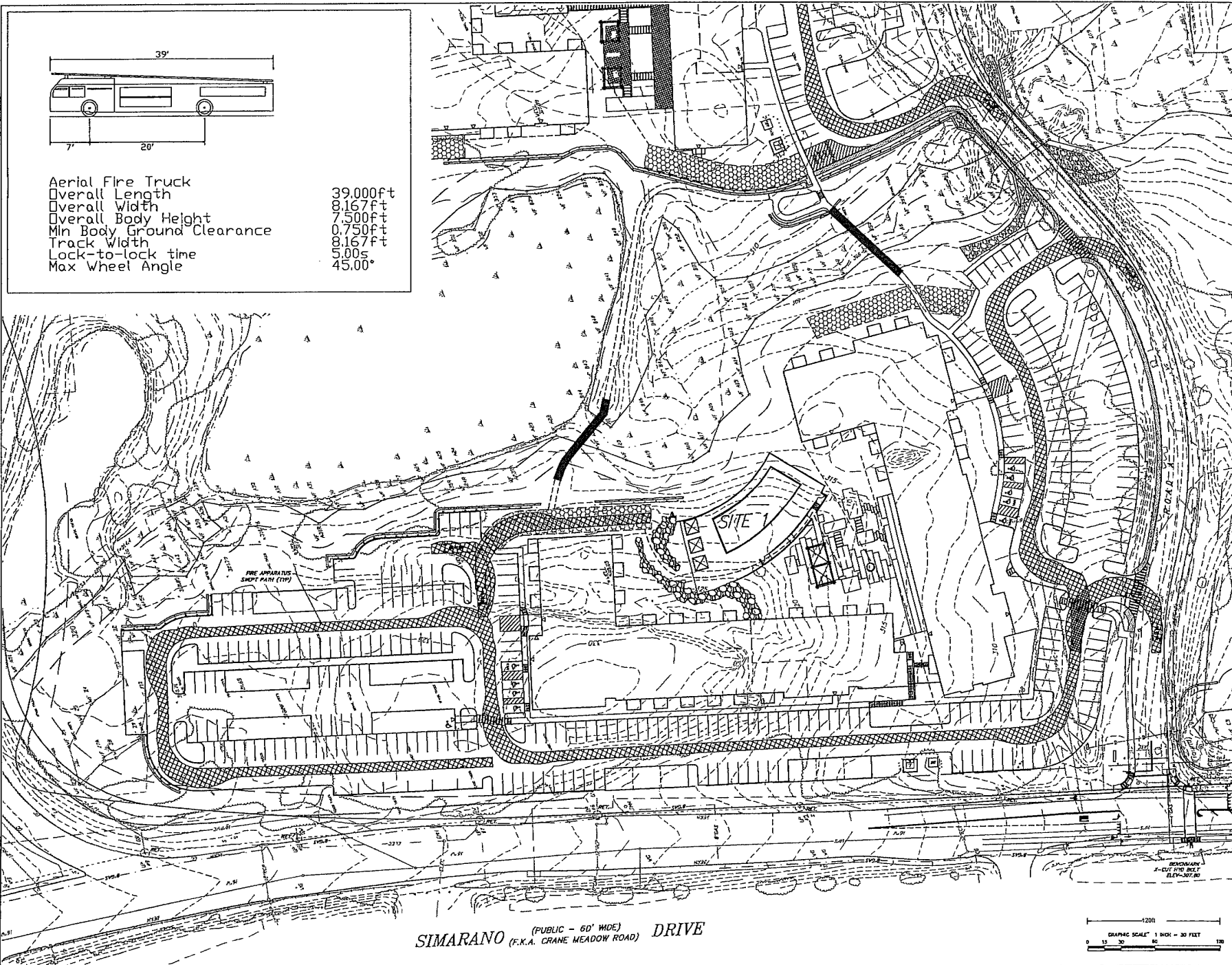
PHOTOMETRIC LIGHTING PLAN
 SHEET 2

SPECIAL PERMIT AND SITE PLAN APPROVAL
 NOT FOR CONSTRUCTION

GRAPHIC SCALE: 1"=30 FEET
 LAYOUT: PH-2
 SHEET: 30 OF 32
 PROJECT NO.: 22680



Aerial Fire Truck
 Overall Length 39.000ft
 Overall Width 8.167ft
 Overall Body Height 7.500ft
 Min Body Ground Clearance 0.750ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



GREEN DISTRICT

107 SIMARANO DRIVE

107 Simarano Drive
Methuen, Massachusetts 01752

MAP LOT
116 5.11 & 12

PREPARED FOR:
POST ROAD REALTY LLC

11 Unquova Road
Fairfield, Connecticut 06824

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 Elm St. Woburn, MA 01792
VOICE (603) 660-1111 FAX (603) 660-1121
WWW.HANCOCKASSOCIATES.COM



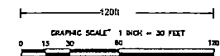
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1	AL	1/24/12	SP4-SHEET 1	REV. COMMENTS
1	AL	1/24/12	SP4-SHEET 1	REV. REVISIONS RECORDED
1	AL	1/24/12	SP4-SHEET 1	REV. DATE
1	AL	1/24/12	SP4-SHEET 1	REV. BY
1	AL	1/24/12	SP4-SHEET 1	REV. CHECKED BY

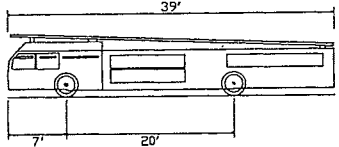
FIRE MANEUVERING PLAN - SHEET 1

SPECIAL PERMIT AND SITE PLAN APPROVAL
NUT FOR CONSTRUCTION

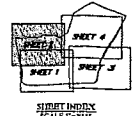
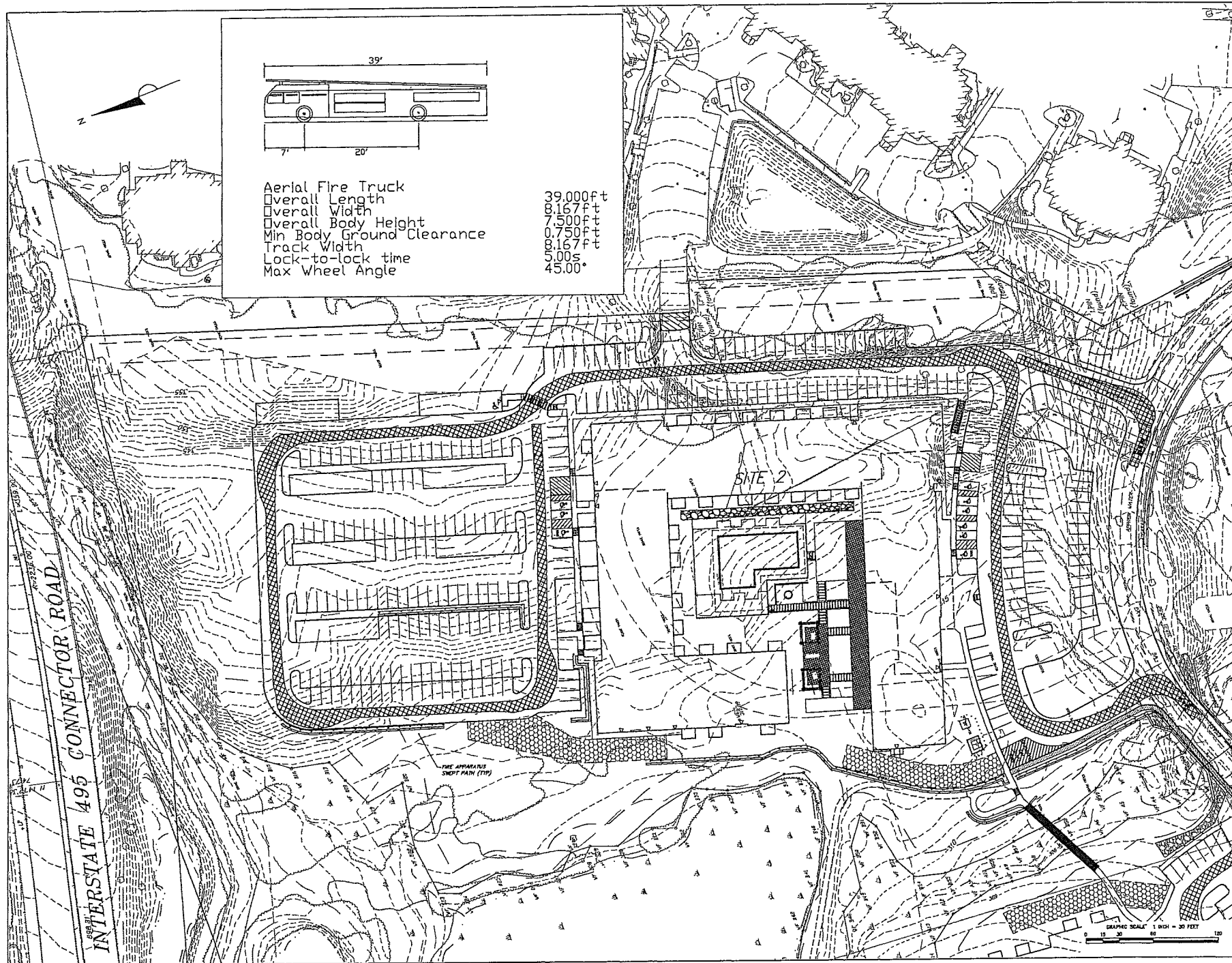
DINC 22680-PS-03-04
 LAYOUT: SPA-1
 SHEET: 31 OF 32
 PROJECT NO: 22680

SIMARANO (PUBLIC - 60' WIDE) DRIVE
(F.K.A. CRANE MEADOW ROAD)





Aerial Fire Truck
 Overall Length 39.000ft
 Overall Width 8.167ft
 Overall Body Height 7.500ft
 Min Body Ground Clearance 0.750ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



GREEN DISTRICT
 107 SIMARANO DRIVE

107 Simarano Drive
 Marlborough, Massachusetts 01752

MAP 116 LOT 5, 11 & 12

PREPARED FOR:
 POST ROAD REALTY LLC
 11 Unposwa Road
 Fairfield, Connecticut 06824

HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Wetland Scientists

315 Elm St. HANCOCKSHIRE, MA 01753
 VOICE (508) 460-3111, FAX (508) 460-3111
 WWW.HANCOCKASSOCIATES.COM



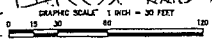
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1	08/11/2011	SP	REVISED PER COMMENTS
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4	08/11/2011	SP	REVISED PER COMMENTS
5	08/11/2011	SP	REVISED PER COMMENTS
6	08/11/2011	SP	REVISED PER COMMENTS
7	08/11/2011	SP	REVISED PER COMMENTS
8	08/11/2011	SP	REVISED PER COMMENTS
9	08/11/2011	SP	REVISED PER COMMENTS
10	08/11/2011	SP	REVISED PER COMMENTS

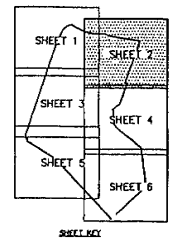
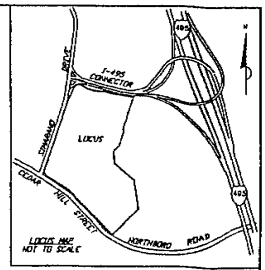
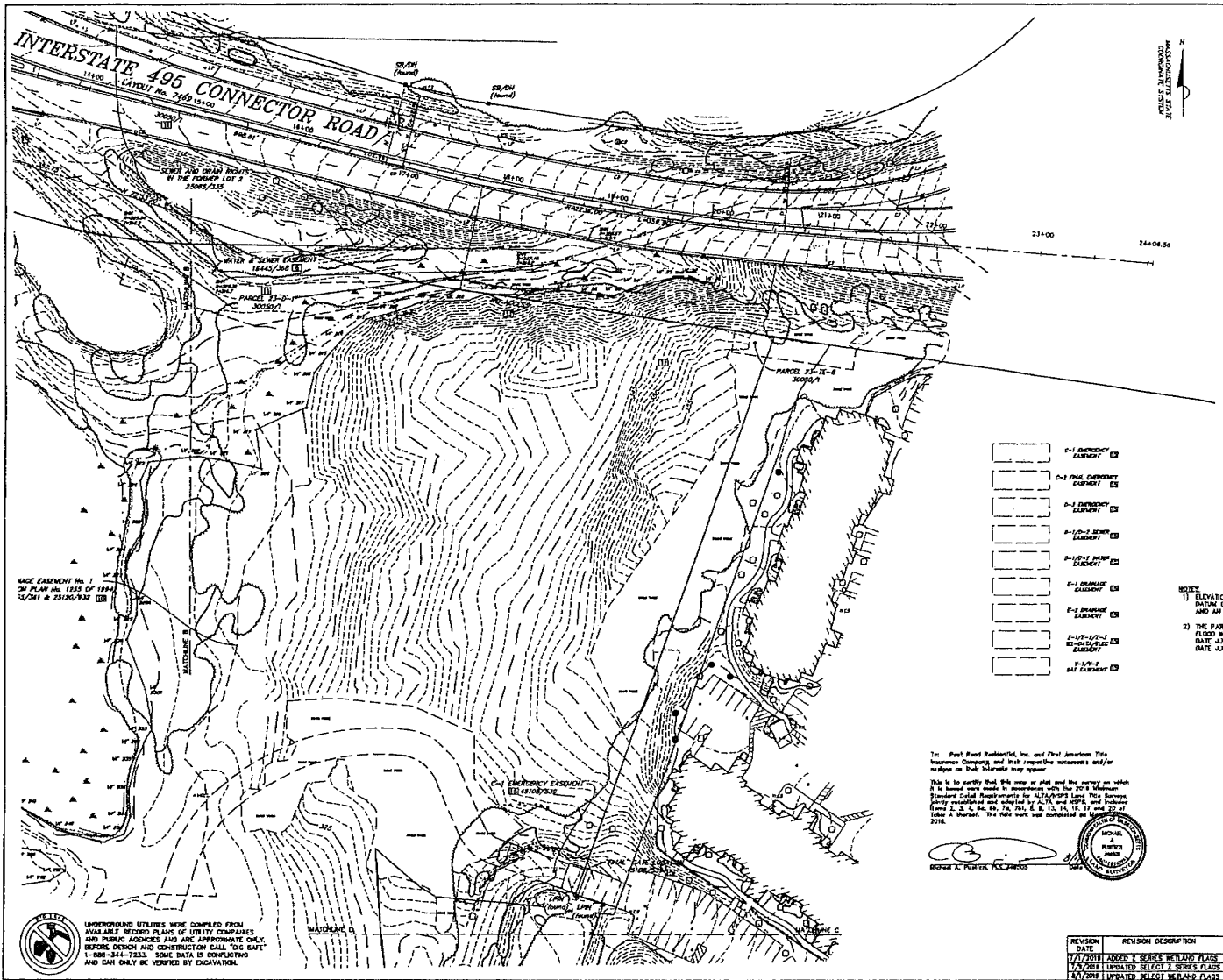
FIRE MANEUVERING PLAN - SHEET 2

SPECIAL PERMIT AND SITE PLAN APPROVAL NOT FOR CONSTRUCTION

DWG: 22680-FS-PLAN
 LAYOUT: SPA-2
 SHEET: 32 OF 32
 PRODUCT NO: 22680

SPA-2





- 0-1 ELEVATION SURVEY ES
- 0-2 FINAL ELEVATION SURVEY ES
- 0-3 ELEVATION SURVEY ES
- 1-1/2-1 SURVEY ELEVATION ES
- 1-1/2-2 POINT ELEVATION ES
- 1-1 BRANCHED ELEVATION ES
- 1-2 BRANCHED ELEVATION ES
- 1-1/2-1/2-1 BRANCHED ELEVATION ES
- 1-1/2-1 BRANCHED ELEVATION ES

NOTES:
 1) ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPDS REDUCTION PERFORMED FEBRUARY 2018.
 2) THE PARCEL SHOWN HEREIN IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 250170047R EFFECTIVE DATE JULY 7, 2014 AND MAP No. 250270047R EFFECTIVE DATE JULY 18, 2014.

To: First Round Residential, Inc. and First American Title Insurance Company, and to all interested successors and/or assigns on their interests hereon.
 This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2018 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, as published and amended by ALTA and ACSM, and further that it complies with the rules, regulations, and standards of the Board of Registration of Professional Engineers and Surveyors, State of Massachusetts. The field work was completed on 2018.

ROBERT A. PETER, P.L.S., P.E.
 MICHAEL J. PETER, P.L.S., P.E.

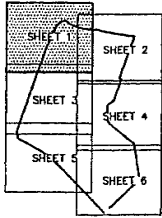
UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "GIC SAFT" 1-888-344-7232. MORE DATA IS BEING OBTAINED AND CAN ONLY BE VERIFIED BY EXCAVATION.

CRANE MEADOW
 ALTA/NSPS LAND TITLE SURVEY
 IN
 MARLBOROUGH/SOUTHBOROUGH, MA
 (MIDDLESEX/WORCESTER COUNTY)
 SCALE: 1" = 40' DATE: MARCH 28, 2018
 REVISED: AUGUST 1, 2019

0 40 80 120 160 FT

Precision Land Surveying, Inc.
 32 Turnpike Road
 Southborough, Massachusetts 01772
 TEL: 508 (253) 860-1700 FAX: 508 (253) 870-0054
 SHEET 2 OF 6 45731P1.DWG

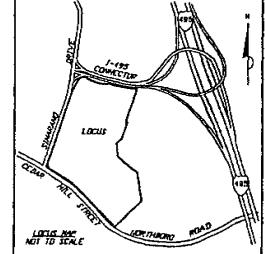
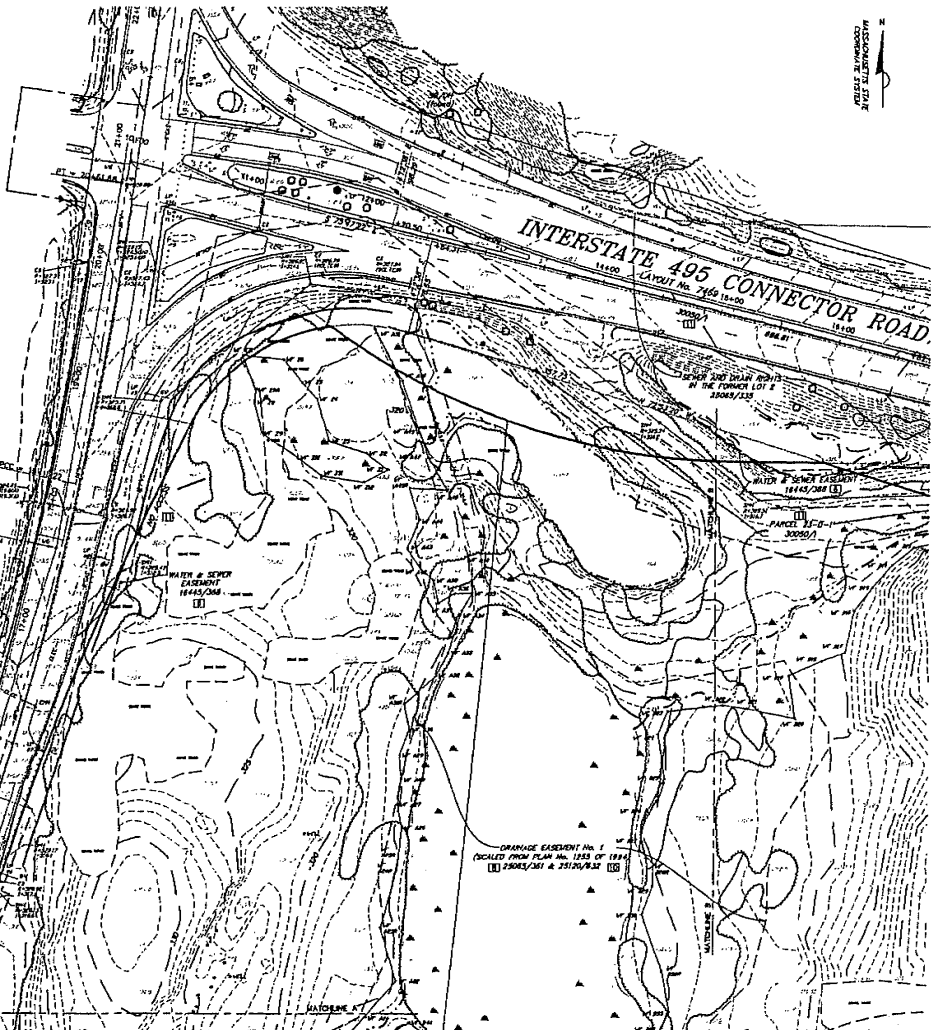
REVISION DATE	REVISION DESCRIPTION
7/7/2018	ADDED T SURVEY METAL FLAGS
7/7/2018	UPGRADED SELECT T SURVEY FLAGS
8/7/2018	UPGRADED SELECT BLANK FLAGS TO T



SHEET KEY

	F-1 PERMITS EASEMENT
	D-1 FIVE EASEMENT EASEMENT
	D-2 EASEMENT EASEMENT
	D-3 EASEMENT EASEMENT
	D-4 EASEMENT EASEMENT
	D-5 EASEMENT EASEMENT
	D-6 EASEMENT EASEMENT
	D-7 EASEMENT EASEMENT
	D-8 EASEMENT EASEMENT
	D-9 EASEMENT EASEMENT
	D-10 EASEMENT EASEMENT
	D-11 EASEMENT EASEMENT
	D-12 EASEMENT EASEMENT

SIMARANO (aka CRANE MEADOW ROAD) DRIVE



- NOTES
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN ORFS REDUCTION PERFORMED FEBRUARY 2014.
 - THE PARCEL SHOWN HEREON IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 330720004F EFFECTIVE DATE JULY 7, 2014 AND MAP No. 330720004F EFFECTIVE DATE JULY 18, 2014.

To: Paul Reed Real Estate, Inc. and Paul American Title Insurance Company, and their respective successors and/or assigns as their interests may appear.

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2014 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, partly established and amended by ALTA and NSPS, and including Items 2, 3, 4, 8a, 8b, 7a, 7b, 8, 9, 11, 14, 15, 17 and 20 of Item A thereof. The field work was completed in August 2018.

RODOLPH A. PIERCE, PLS 21850

CRANE MEADOW
 ALTA/NSPS LAND TITLE SURVEY
 IN
 MARLBOROUGH/SOUTHBOROUGH, MA
 (MIDDLESEX/WORCESTER COUNTY)
 SCALE: 1" = 40' DATE: MARCH 28, 2018
 REVISED: AUGUST 1, 2019

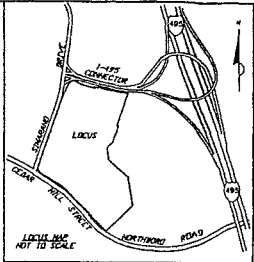
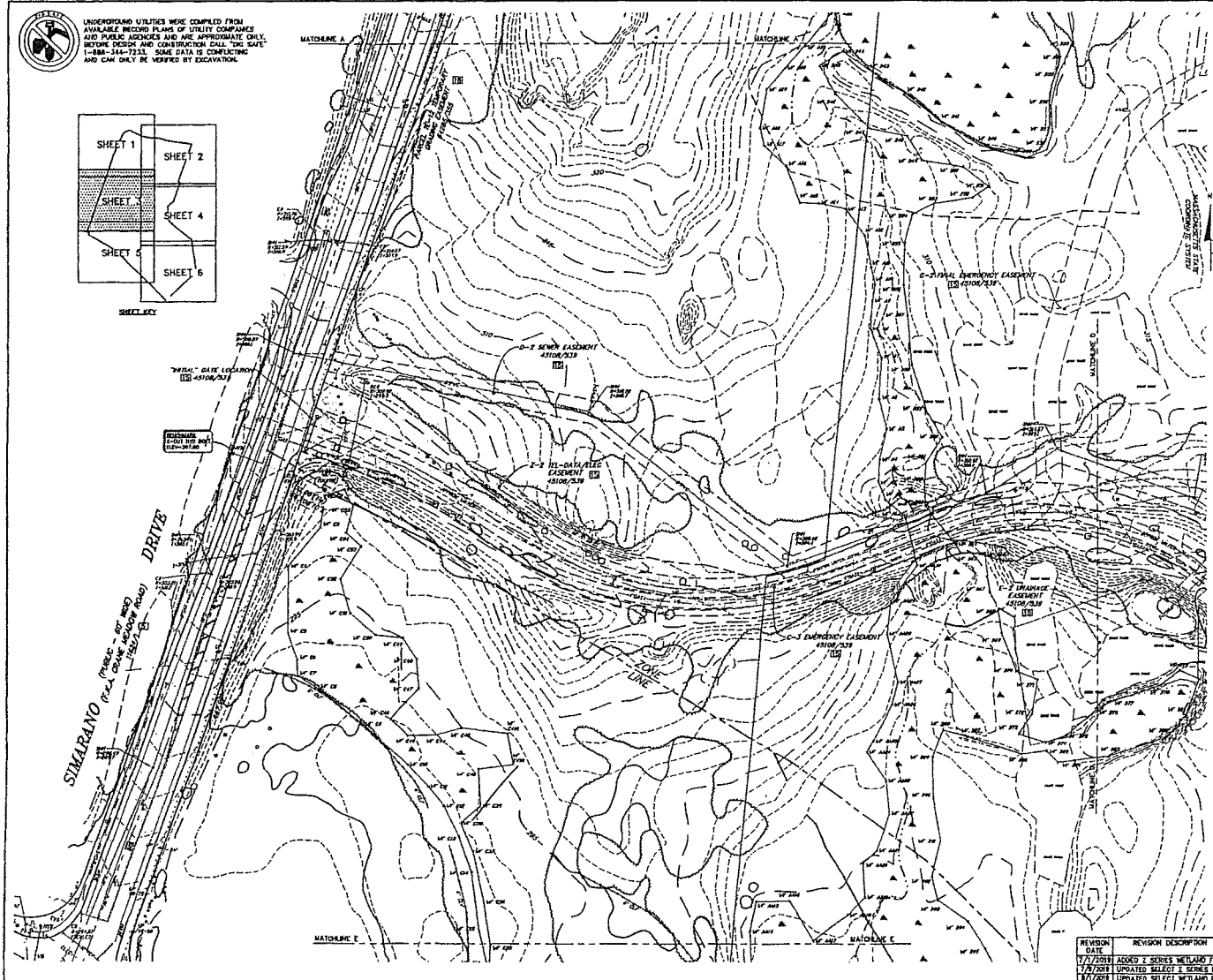
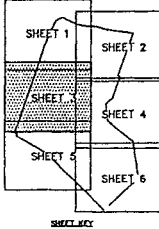
Precision Land Surveying, Inc.
 32 Turnpike Road
 Southborough, Massachusetts 01772
 TEL: 508 (508) 440-1700 FAX: 508 (508) 970-0064
 SHEET 1 OF 6 45737P1.DWG

REVISION DATE	REVISION DESCRIPTION
11/7/2018	ISSUED 1 SURVEY W/ LAND FLAGS
1/7/2019	ISSUED 1 SURVEY 1 SURVEY FLAGS
8/7/2018	ISSUED 2 SURVEY 1 SURVEY FLAGS

UNDERGROUND UTILITIES HERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "800 SAFE" 1-800-244-7232. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.



UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL THE SAFE: 1-888-344-7223. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.



- 0-1 EASEMENT (E)
- 0-2 EASEMENT (E)
- 0-3 EASEMENT (E)
- 0-4 EASEMENT (E)
- 0-5 EASEMENT (E)
- 0-6 EASEMENT (E)
- 0-7 EASEMENT (E)
- 0-8 EASEMENT (E)
- 0-9 EASEMENT (E)
- 0-10 EASEMENT (E)
- 0-11 EASEMENT (E)
- 0-12 EASEMENT (E)
- 0-13 EASEMENT (E)
- 0-14 EASEMENT (E)
- 0-15 EASEMENT (E)
- 0-16 EASEMENT (E)
- 0-17 EASEMENT (E)
- 0-18 EASEMENT (E)
- 0-19 EASEMENT (E)
- 0-20 EASEMENT (E)

- NOTES
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED FEBRUARY 2018.
 - THE PARCEL SHOWN HEREIN IS IN ZONE K AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 250270031F EFFECTIVE DATE JULY 7, 2014 AND MAP NO. 250270031F EFFECTIVE DATE JULY 16, 2014.

To: First Road Residential, Inc. and First American Title Insurance Company and their respective successors and/or assigns as their interests may appear.

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2018 Massachusetts Standard Detail Requirements for ALTA/ACSM Land Title Surveys (herein "S.D.", 4th Ed., No. 74, 750-0000) and that the survey was performed and completed by ALTA and ACSP, and that the survey was completed on the date shown on the title block of this sheet. This ALTA work was completed on the date of the survey.

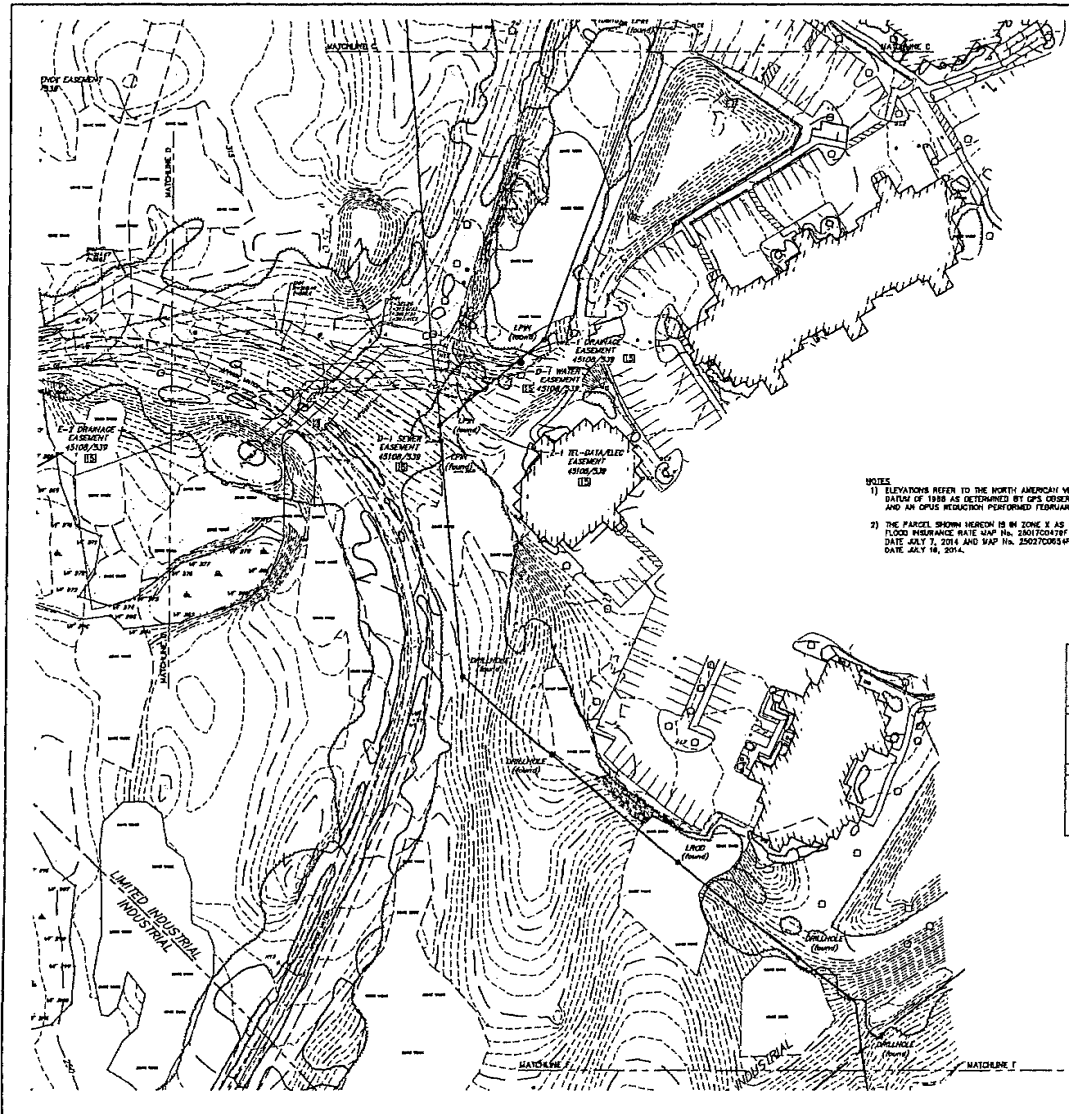
MOORE
PETERSON
AND
ASSOCIATES
INC.
REGISTERED PROFESSIONAL LAND SURVEYORS
STATE OF MASSACHUSETTS

CRANE MEADOW
ALTA/NSPS LAND TITLE SURVEY
MARLBOROUGH/SOUTHBOROUGH, MA
 (MIDDLESEX/WORCESTER COUNTY)
 SCALE: 1" = 40' DATE: MARCH 28, 2018
 REVISED: AUGUST 1, 2018

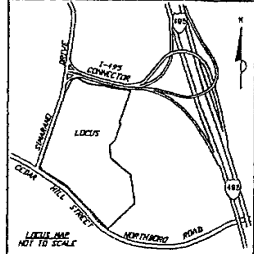
0 40 80 120 160 FT

Precision Land Surveying, Inc.
 32 Turnpike Road
 Southborough, Massachusetts 01772
 TEL: 508 (508) 460-1729 FAX: 508 (508) 970-5004
 SHEET 3 OF 6 45751P1.DWG

REVISION DATE	REVISION DESCRIPTION
1/27/2018	ADDED 2 SERIES WETLAND FLAGS
7/7/2018	UPDATED SELECT 3 SERIES FLAGS
8/1/2018	UPDATED SELECT WETLAND FLAGS "R"

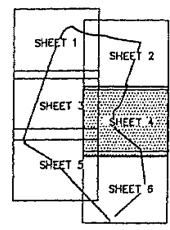


UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL THE SHUT-TO-REAR-TO-REAR. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

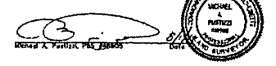


NOTES
 1) ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1985 AS DETERMINED BY GPS OBSERVATIONS AND AN CLOSE REDUCTION PERFORMED FEBRUARY 2016.
 2) THE PARCEL SHOWN HEREIN IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 260700478F EFFECTIVE DATE JULY 7, 2014 AND MAP NO. 260700481F EFFECTIVE DATE JULY 14, 2014.

- 0'-0" EASEMENT EASE
- 0'-0" EASEMENT EASE
- 0'-0" EASEMENT EASE
- 0'-0" EASEMENT EASE
- 0'-0" EASEMENT EASE
- 0'-0" EASEMENT EASE
- 0'-0" EASEMENT EASE
- 0'-0" EASEMENT EASE
- 0'-0" EASEMENT EASE
- 0'-0" EASEMENT EASE



To: Paul Reed Radwin, Inc. and First American Title Insurance Company and their respective successors and/or assigns as Lender, hereinafter referred to as "Lender".
 This is to certify that this map or plan and the survey on which it is based were made in accordance with the 1935 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Survey, jointly established and adopted by ALTA and NSPS, and includes Form 2, 3, 4, 6a, 6b, 7a, 7b, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17 and 20 of Table A hereon. The field work was completed on 08/01/2016.

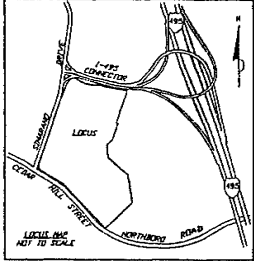
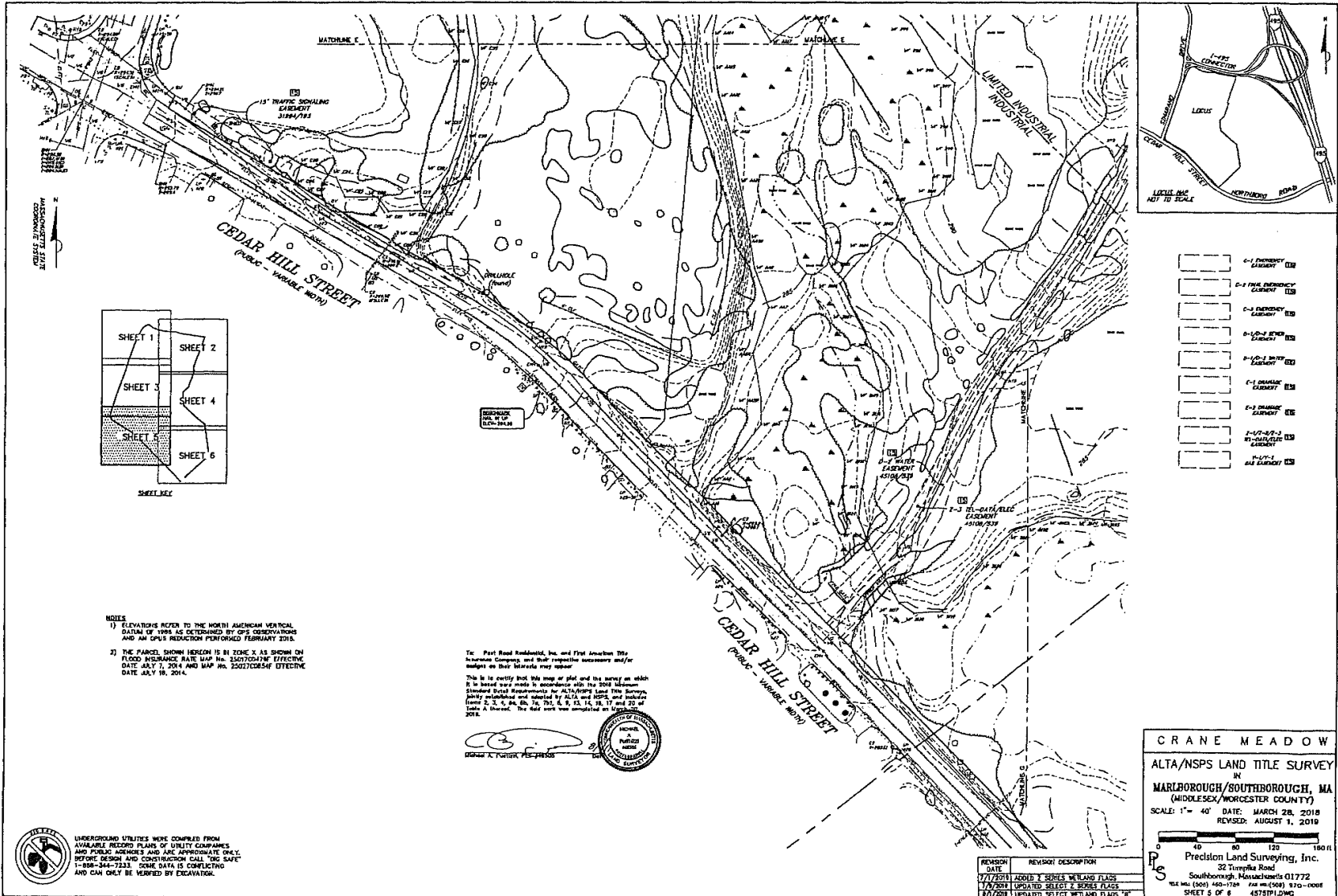


CRANE MEADOW
 ALTA/NSPS LAND TITLE SURVEY
 IN
 MARLBOROUGH/SOUTHBOROUGH, MA
 (MIDDLESEX/WORCESTER COUNTY)
 SCALE: 1" = 40' DATE: MARCH 28, 2016
 REVISION: AUGUST 1, 2016

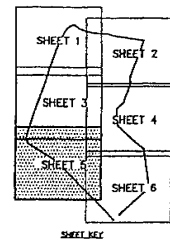
0 40 80 120 160 200
 Feet

Precision Land Surveying, Inc.
 32 Yamplye Road
 Southborough, Massachusetts 01772
 TEL: 508 (508) 840-9788 FAX: 508 (508) 970-0094
 SHEET 4 OF 6 4375P1.DWG

REVISION DATE	REVISION DESCRIPTION
1/7/2016	ADDED 7 SERIES WELAND FLAGS
1/7/2016	UPDATED SELECT 3 SERIES FLAGS
1/7/2016	UPDATED SELECT WELAND FLAGS "P"



- 1-1 EMERGENCY EASEMENT (12)
- 2-1 FINAL EMERGENCY EASEMENT (12)
- 3-1 EMERGENCY EASEMENT (12)
- 4-1-2 EWER EASEMENT (12)
- 5-1-2 EWER EASEMENT (12)
- 1-1 DRAINAGE EASEMENT (12)
- 2-1 DRAINAGE EASEMENT (12)
- 3-1-2-3-2 MULTIPLE EASEMENT (12)
- 1-1-1-1 ALL EASEMENT (12)



NOTES
 1) ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED FEBRUARY 2018.
 2) THE PARCEL SHOWN HEREON IS BE TAKEN AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 500700494F EFFECTIVE DATE JULY 7, 2014 AND MAP NO. 500700854F EFFECTIVE DATE JULY 19, 2014.

To: Post Road Residential, Inc. and First American Title Insurance Company and their respective successors and/or assigns on their behalfs they appear.
 This is to certify that the map or plan and the survey on which it is based were made in accordance with the 1993 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and updated by ALTA and NSPS, and include forms 2, 3, 4, 8A, 8B, 7c, 7d, 8, 9, 13, 14, 15, 17 and 20 of said A Standard. The field work was completed on 07/20/19.

Signature of Michael A. Purvis, PLS-249506
 Seal of the Professional Land Surveyor, State of Massachusetts, No. 11772, Michael A. Purvis.

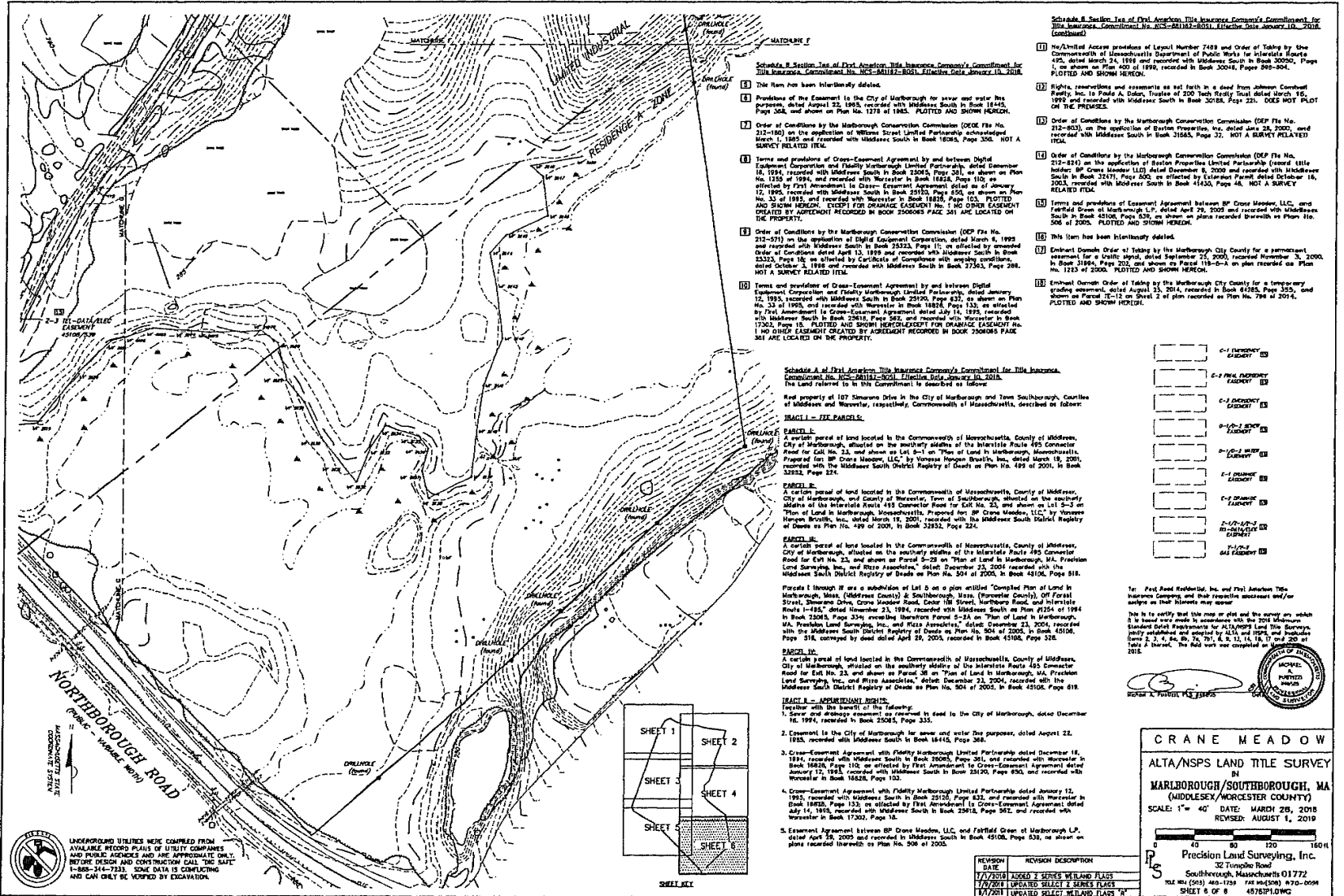
UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORDED PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "GIC SAFE" 1-888-844-7233. SOME DATA IS COLLECTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

CRANE MEADOW
ALTA/NSPS LAND TITLE SURVEY
 IN
MARLBOROUGH/SOUTHBOROUGH, MA
 (MIDDLESEX/WORCESTER COUNTY)
 SCALE: 1" = 40' DATE: MARCH 28, 2018
 REVISED: AUGUST 1, 2019

0 40 80 120 160 FT

Prediction Land Surveying, Inc.
 32 Timpika Road
 Southborough, Massachusetts 01772
 TEL: (508) 500-1700 FAX: (508) 910-0008
 SHEET 5 OF 6 45787PL.DWG

REVISION	DATE	REVISION DESCRIPTION
1/1/2019	ADDED 1 SERIES WELAND FLAGS	
1/7/2019	UPDATED SELECT 2 SERIES FLAGS	
8/7/2019	UPDATED SELECT 2 SERIES FLAGS "H"	



- Schedule A Section Two of First Amendment, Title Insurance Company's Commitment for Title Insurance, Commitment No. 003-241118-001, Effective Date January 10, 2018 (continued)**
- No/Unfiled Access provisions of Layout Number 748 and Order of Taking by the Commonwealth of Massachusetts Department of Public Works for Interstate Route 475, dated March 24, 1994 and recorded with Middlesex South in Book 32005, Page 598-604, as shown on Plan 602 of 1994, recorded with Middlesex South in Book 30014, Page 598-604.
 - Right, reservations and easements as set forth in a deed from Johnson Cornwell Realty, Inc. to Pade A. Dahan, Trustee of 200 North Realty Trust dated March 16, 1992 and recorded with Middlesex South in Book 30255, Page 23. DOES NOT PLOT ON THE PRELIMINARY.
 - Order of Conditions by the Marlborough Conservation Commission (OCC) File No. 212-803, on the application of Barton Properties, Inc. dated June 28, 2002, and recorded with Middlesex South in Book 31653, Page 37. NOT A SURVEY RELATED ITEM.
 - Order of Conditions by the Marlborough Conservation Commission (OCC) File No. 212-834 on the application of Station Properties Limited Partnership (second title holder SP Crane Meadow LLC) dated December 8, 2009 and recorded with Middlesex South in Book 32471, Page 602, as affected by Eminent Domain dated October 16, 2003, recorded with Middlesex South in Book 41500, Page 44. NOT A SURVEY RELATED ITEM.
 - Terms and provisions of Easement Agreement between SP Crane Meadow, LLC and Fairfield Green of Marlborough, L.P. dated April 29, 2009 and recorded with Middlesex South in Book 45106, Page 635, as shown on plan recorded therein as Plan No. 506 of 2009. PLOTTED AND SHOWN HEREON.
 - This item has been intentionally deleted.
 - Eminent Domain Order of Taking by the Marlborough City for a permanent easement for a bridge project, dated September 23, 2009, recorded November 3, 2009, in Book 31894, Page 202, and shown as Parcel 119-0-0 on plan recorded as Plan No. 123 of 2009. PLOTTED AND SHOWN HEREON.
 - Eminent Domain Order of Taking by the Marlborough City for a temporary trading easement, dated August 23, 2014, recorded in Book 42485, Page 355, and shown as Parcel 12-12 on Sheet 2 of plan recorded as Plan No. 794 of 2014. PLOTTED AND SHOWN HEREON.

Schedule A of First Amendment, Title Insurance Company's Commitment for Title Insurance, Commitment No. 003-241118-001, Effective Date January 10, 2018.
 The Land referred to in this Commitment is described as follows:
 Real property of 107 Simmons Drive in the City of Marlborough and Town Southborough, Counties of Middlesex and Worcester, respectively, Commonwealth of Massachusetts, described as follows:

TRACT 1 - 776 PARCELS.

PARCEL 1.
 A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Marlborough, situated on the southerly side of the Interstate Route 495 Connector Road for Lot No. 23 and shown as Lot 1-1 on "Plan of Land in Marlborough, Massachusetts, Proposed for SP Crane Meadow, LLC, by Vermont Homecare Health, Inc. dated March 18, 2001, recorded with the Middlesex South District Registry of Deeds on Plan No. 499 of 2001, in Book 32852, Page 224.

PARCEL 2.
 A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Marlborough, situated on the southerly side of the Interstate Route 495 Connector Road for Lot No. 23 and shown as Parcel 2-2 on "Plan of Land in Marlborough, MA, Precision Land Surveying, Inc. and Rizo Associates," dated December 23, 2004 recorded with the Middlesex South District Registry of Deeds on Plan No. 499 of 2001, in Book 32852, Page 224.

PARCEL 3.
 A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Marlborough, situated on the southerly side of the Interstate Route 495 Connector Road for Lot No. 23 and shown as Parcel 3-3 on "Plan of Land in Marlborough, MA, Precision Land Surveying, Inc. and Rizo Associates," dated December 23, 2004 recorded with the Middlesex South District Registry of Deeds on Plan No. 504 of 2001, in Book 45106, Page 618.

PARCEL 4.
 Parcel 4 through 6 are a subdivision of Lot 3 on a plan entitled "Compass Plan of Land in Marlborough, Mass (Middlesex County) & Southborough, Mass. (Worcester County), Off Forest Street, Simmons Drive, Crane Meadow Road, Cedar Hill Street, Northboro Road, and Interstate Route 1-495," dated November 23, 1984, recorded with Middlesex South in Book #1254 of 1984 in Book 23065, Page 334 enclosing Marlboro Form 5-2A on "Plan of Land in Marlborough, MA, Precision Land Surveying, Inc. and Rizo Associates," dated December 23, 2004 recorded with the Middlesex South District Registry of Deeds on Plan No. 501 of 2001, in Book 45106, Page 618, conveyed by deed dated April 29, 2009, recorded in Book 45106, Page 326.

TRACT 2 - ADJUTANT RIGHTS.
 Together with the benefit of the following:
 1. Easement (as described) as recorded in deed to the City of Marlborough, dated December 16, 1994, recorded in Book 25065, Page 335.
 2. Easement to the City of Marlborough for sewer and water purposes, dated August 22, 1985, recorded with Middlesex South in Book 18145, Page 368.
 3. Easement Agreement with Fidelity Marlborough Limited Partnership dated December 16, 1994, recorded with Middlesex South in Book 23065, Page 361, and recorded with Worcester in Book 18225, Page 110, as affected by First Amendment to Easement Agreement dated January 17, 1995, recorded with Middlesex South in Book 23100, Page 650, and recorded with Worcester in Book 18225, Page 110.
 4. Easement Agreement with Fidelity Marlborough Limited Partnership dated January 12, 1995, recorded with Middlesex South in Book 23126, Page 632, and recorded with Worcester in Book 18225, Page 110, as affected by First Amendment to Easement Agreement dated July 14, 1995, recorded with Middlesex South in Book 23818, Page 562, and recorded with Worcester in Book 17200, Page 18.
 5. Easement Agreement between SP Crane Meadow, LLC and Fairfield Green of Marlborough L.P. dated April 29, 2009 and recorded with Middlesex South in Book 45106, Page 635, as shown on plan recorded therein as Plan No. 506 of 2009.

- C-1 EASEMENT
- C-2 EASEMENT
- C-3 EASEMENT
- C-4 EASEMENT
- C-5 EASEMENT
- C-6 EASEMENT
- C-7 EASEMENT
- C-8 EASEMENT
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- C-96 EASEMENT
- C-97 EASEMENT
- C-98 EASEMENT
- C-99 EASEMENT
- C-100 EASEMENT

For First Amendment, Title Insurance Company's Commitment for Title Insurance, Commitment No. 003-241118-001, Effective Date January 10, 2018, and any amendments thereto, see the schedule of amendments on this sheet or on the sheets to which this survey is related.

This is to certify that this map or plan and the survey on which it is based were made in accordance with the minimum Standards of Practice for ALTA/NSPS Land Title Surveys, jointly published and adopted by the American Land Title Association, Inc., and the National Board of Public Accountants & Appraisers, Inc., dated July 1, 1992, and amended July 1, 2004, and the Surveying and Mapping Act of 1992, Chapter 26B, Section 26B:02, 26B:03, 26B:04, 26B:05, 26B:06, 26B:07, 26B:08, 26B:09, 26B:10, 26B:11, 26B:12, 26B:13, 26B:14, 26B:15, 26B:16, 26B:17, 26B:18, 26B:19, 26B:20, 26B:21, 26B:22, 26B:23, 26B:24, 26B:25, 26B:26, 26B:27, 26B:28, 26B:29, 26B:30, 26B:31, 26B:32, 26B:33, 26B:34, 26B:35, 26B:36, 26B:37, 26B:38, 26B:39, 26B:40, 26B:41, 26B:42, 26B:43, 26B:44, 26B:45, 26B:46, 26B:47, 26B:48, 26B:49, 26B:50, 26B:51, 26B:52, 26B:53, 26B:54, 26B:55, 26B:56, 26B:57, 26B:58, 26B:59, 26B:60, 26B:61, 26B:62, 26B:63, 26B:64, 26B:65, 26B:66, 26B:67, 26B:68, 26B:69, 26B:70, 26B:71, 26B:72, 26B:73, 26B:74, 26B:75, 26B:76, 26B:77, 26B:78, 26B:79, 26B:80, 26B:81, 26B:82, 26B:83, 26B:84, 26B:85, 26B:86, 26B:87, 26B:88, 26B:89, 26B:90, 26B:91, 26B:92, 26B:93, 26B:94, 26B:95, 26B:96, 26B:97, 26B:98, 26B:99, 26B:100.

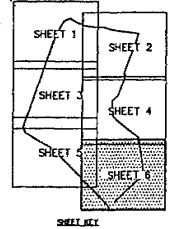
DATE: FEBRUARY 14, 2019

CRANE MEADOW
 ALTA/NSPS LAND TITLE SURVEY
 IN
 MARLBOROUGH/SOUTHBOROUGH, MA
 (MIDDLESEX/WORCESTER COUNTY)
 SCALE: 1" = 40' DATE: MARCH 28, 2018
 REVISION: AUGUST 1, 2019

Precision Land Surveying, Inc.
 32 Tunbridge Road
 Southborough, Massachusetts 01772
 TEL: 508-344-7210 FAX: 508-344-7209
 SHEET 6 OF 8 487671.DWG

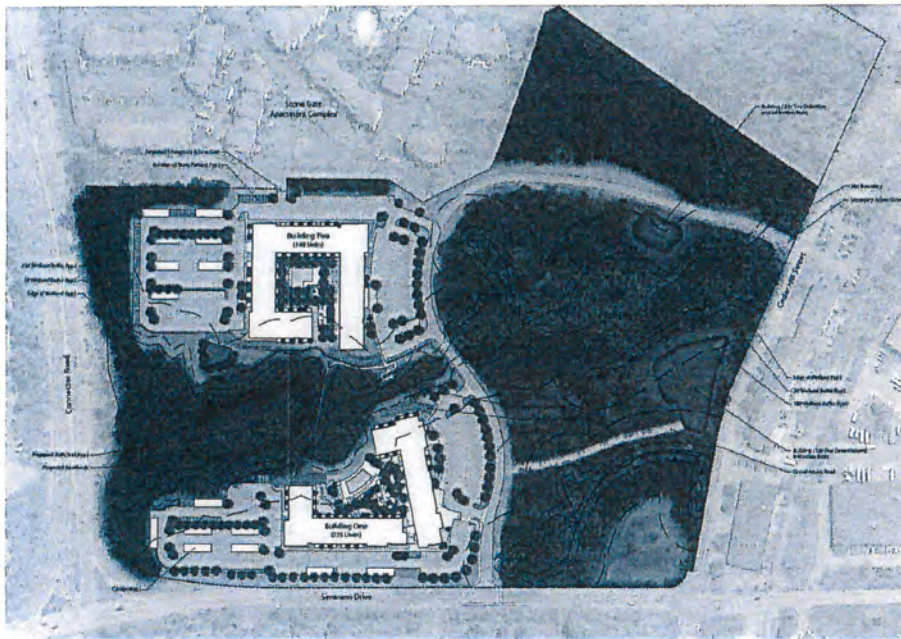
REVISION	REVISION DESCRIPTION
1/7/2018	ISSUED 2 SHEETS W/LAND TITLES
1/7/2018	ISSUED 2 SHEETS W/LAND TITLES
1/7/2018	ISSUED 2 SHEETS W/LAND TITLES

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL THE SAIT 1-800-244-7213. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.



GREEN DISTRICT SPECIAL PERMIT AND SITE PLAN APPROVAL

107 SIMARANO DRIVE
MARLBOROUGH, MASSACHUSETTS



SHEET INDEX

A001	Cover
Landscape	
SPL-1.0	Landscape Site Plan-1
SPL-1.1	Landscape Site Plan-2
SPL-2.0	Enlargement Plan: Site 1 Courtyard
SPL-2.1	Enlargement Plan: Site 2 Courtyard
SPL-3.0	Landscape Details
SPL-3.1	Landscape Details
Architecture	
A100	Site 1 Floor Plans
A101	Site 1 Elevations
A102	Site 1 Renderings
A200	Site 2 Floor Plans
A201	Site 2 Elevations
A202	Site 2 Renderings
Signage	
A300	Building and Landscape Signage

ARCHITECT
bh+a
Burgin Hovde + Architects, Inc.
8 Chapel Center Street
Boston, MA 02210
617-254-0450 Fax

PROJECT NAME
Green District
107 Simarano Drive
Marlborough, MA 01752

CLIENT
Post Road Residential, LLC
11 Diverse Road, Fitchburg, CT 06027

PROJECT TEAM

REVISIONS

DRAWING TITLE

Cover

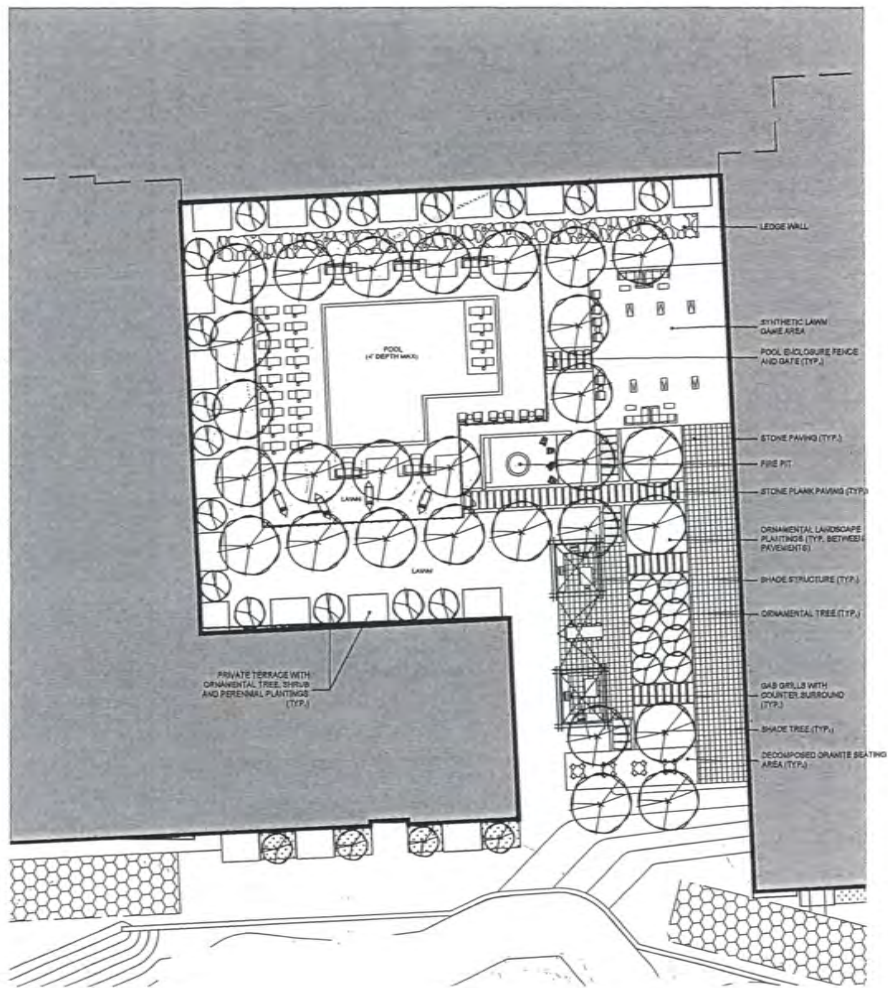
DRAWING INFORMATION

DATE: 11/13/2018
DRAWN BY: [Redacted]
CHECKED BY: [Redacted]
SCALE: AS SHOWN
PROJECT: 107 Simarano Drive
SHEET: 1 OF 1

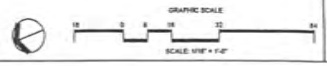
DRAWING NUMBER

A001

Copyright © BH+A, Inc.



NOTE:
 1. ALL LANDSCAPE AREAS SHOWN NOT SCHEDULED FOR PLANTINGS SHALL BE LAWN, UNLESS OTHERWISE NOTED. ALL PLANTING AREAS SHALL BE IRRIGATED.
 AS NOTED



erla
 eric rains
 landscape architecture, llc
 11 N Main Street
 Soua, CT 06344-0500
 www.erlains.com

PREPARED FOR:
POST ROAD REALTY, LLC
 11 Oldstone Road
 Fairfield, Connecticut 06424

DATE	REVISION	BY	CHKD	APP'D

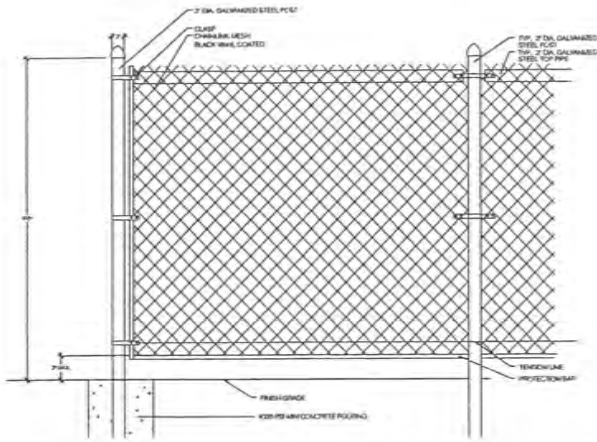
SPECIAL NOTES: SEE SITE SPECIFICATIONS - DECIDED
 SPECIAL NOTES: SEE SITE SPECIFICATIONS - UNDECIDED

GREEN DISTRICT
 107 SIMARANO DRIVE
 MARLBOROUGH, MA

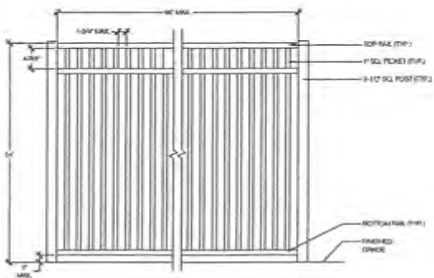
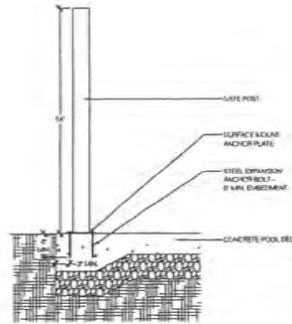
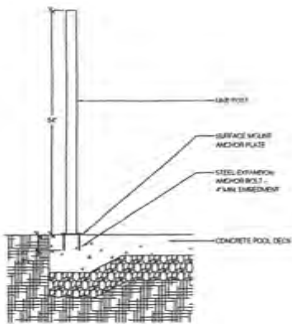
ENLARGEMENT PLAN:
SITE 2 COURTYARD

DATE: 2018.08.08
 AS NOTED

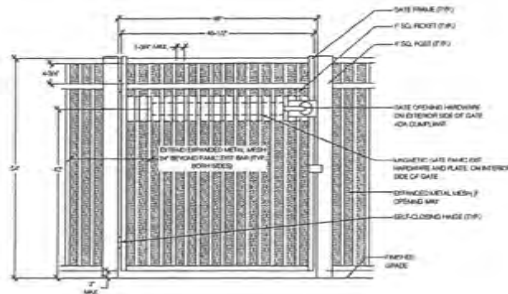
SPL-2.1



1 CHAINLINK FENCE AT DOG RUN SCALE: 1/8" = 1'-0"

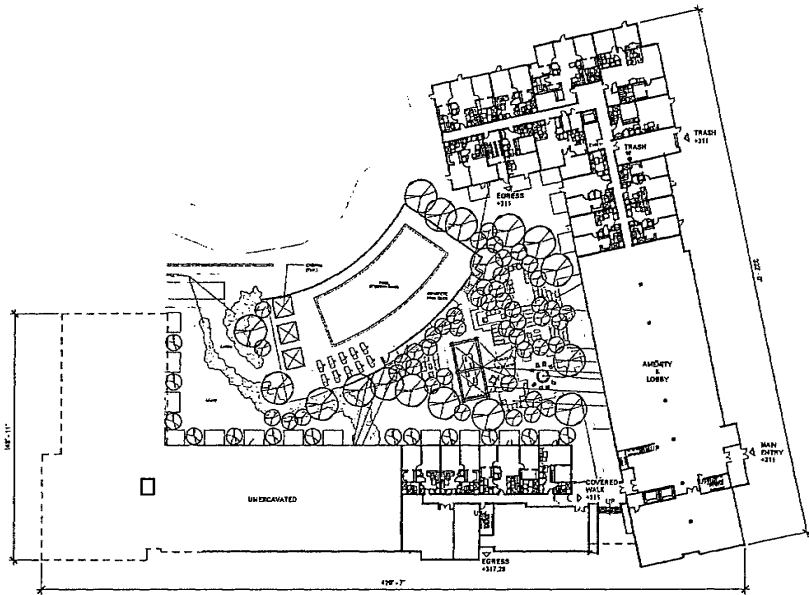


2 POOL ENCLOSURE FENCE SCALE: 1/8" = 1'-0"

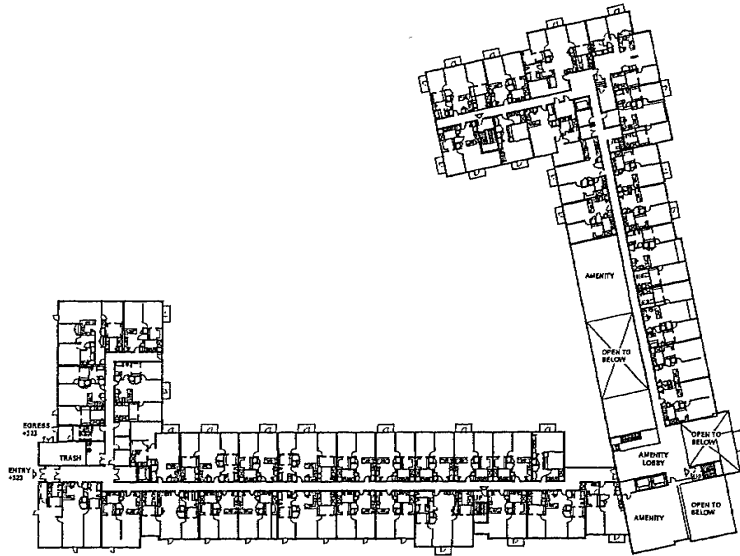


3 POOL ENCLOSURE GATE SCALE: 1/8" = 1'-0"

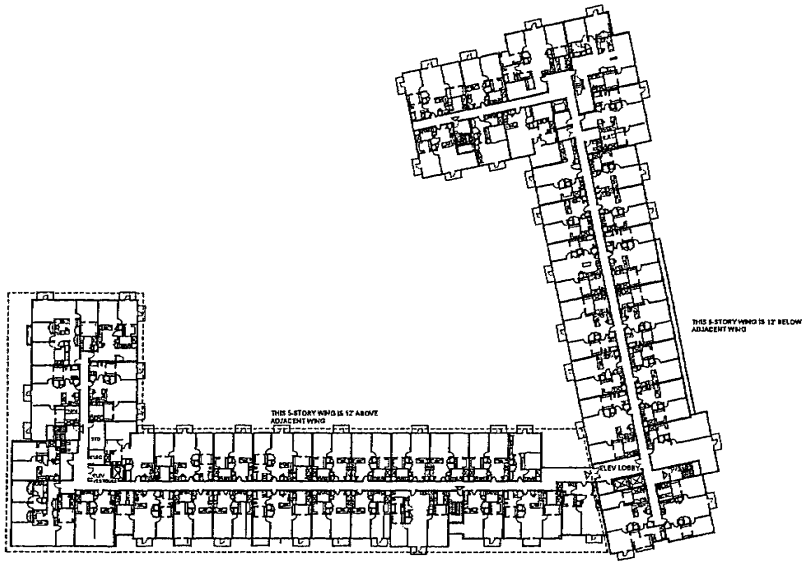
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2				
3				
4				
5				



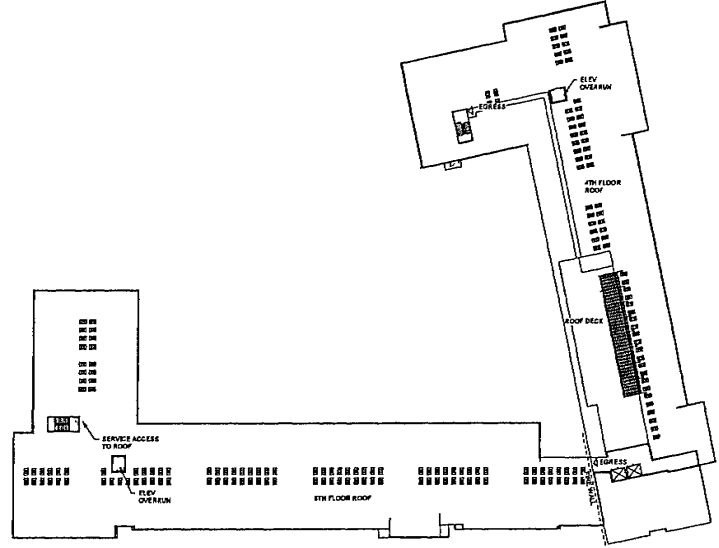
1 Ground Floor Plan



2 First Floor Plan



3 2nd, 3rd, 4th & 5th Floor Plans



4 Roof Plan



ARCHITECT
bhfa
 Benjamin Hornblow & Associates, Inc.
 43 Commercial Center Street
 Boston, MA 02210
 617-552-8400 Fax

PROJECT NAME
Green District
 110 Sherman Drive
 Waterbury, Vt. 05782

CLIENT
Post Road Residential, LLC
 11 Sherman Road, Waterbury, CT 06721

PROJECT TEAM

REVISIONS

NO.	DATE	DESCRIPTION
1	11/22/2018	Revision 1

DRAWING TITLE
Site 1 Floor Plans

DRAWING INFORMATION

Prepared By:	Checked By:
Drawn By:	Reviewed By:
Project No.:	Scale:
Date:	Sheet No.:
Project Name:	Project Location:

DRAWING NUMBER

A100

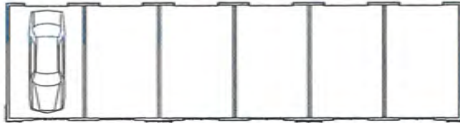
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C:\Users\p10331\Documents\Bldg_Site_1\110_Sherman\110_Sherman.dwg
 11/22/2018 10:25:24 AM
 bhfa



Street Elevation

Side Elevation



Floor Plan

SOLAR GARAGES
NOT TO SCALE



1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"

ARCHITECT
bh+a
Burgundy Associates in Architecture, Inc.
14 Grand Center Street
Boston, MA 02215
617-552-5438 Fax

PROJECT NAME
Green District
107 Greenway Station
Waterbury, Vt., 05701

CLIENT
Post Road Residential, LLC
11 Corporate Road, Ferris, CT
06024

PROJECT TEAM

PROGRESS PRINT

REVISIONS	
1	1/11/2019 Revision 1

DRAWING TITLE
**Site 1
Elevations**

DRAWING INFORMATION

DATE: 01/11/2019
TIME: 10:00 AM
PROJECT: Green District Site Plan Approval
DRAWING: 101
SCALE: 1/8" = 1'-0"
SHEET: 01/101
JOB NO.: 101010101
PROJECT: Green District

DRAWING NUMBER

A101

Copyright bh+a, Inc.



View From Parking Lot



View From Simarano Drive With Solar Garages



Southwest From Entry Road



Southeast From Entry Road

ARCHITECT
bh+a
 Benjamin Brantley + Associates, Inc.
 5 Colonial Center Street
 Boston, MA 02210
 617 251-0430 Fax

PROJECT NAME
Green District
 101 Simarano Drive
 Northborough, MA, 01562

CLIENT
Post Road Residential, LLC
 11 University Road, Farmington, CT
 06031

PROJECT TEAM

REVISIONS
 1 10/10/2019 Revision 1

DRAWING TITLE
**Site 1
 Renderings**

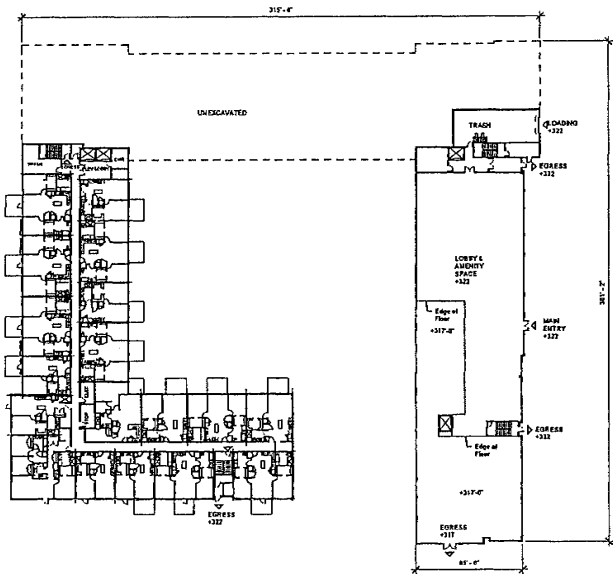
DRAWING INFORMATION

August 16, 2019
 10:15 AM
 101 Simarano Drive Site Plan Number
 2019-010
 Scale: 1/8" = 1'-0"
 Date: 10/10/19
 10:15 AM

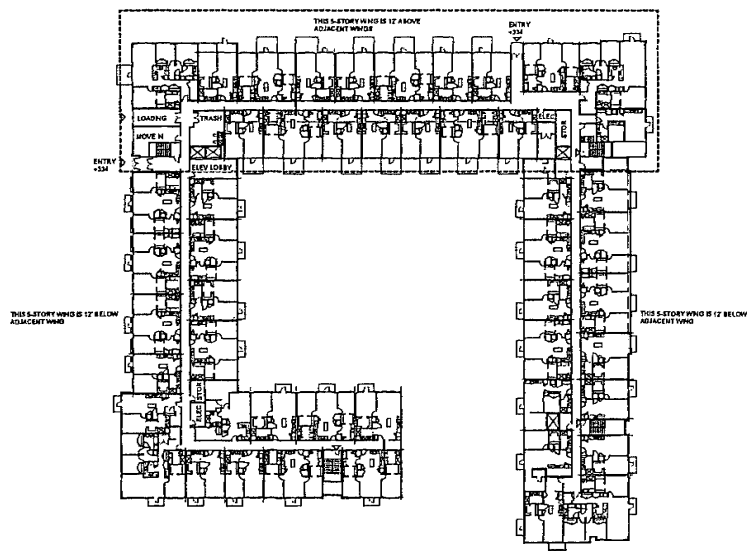
DRAWING NUMBER

A102

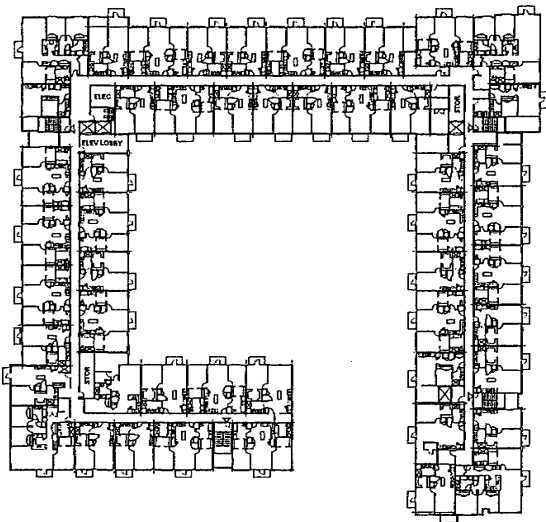
Copyright © 2019



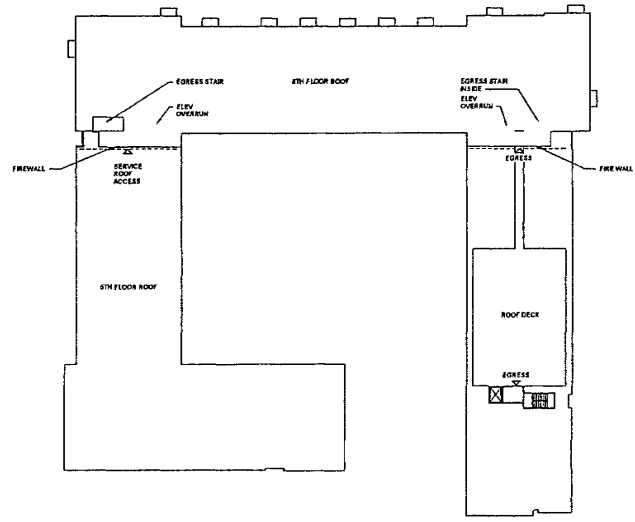
1 First Floor Plan



2 Second Floor Plan



3 3rd, 4th, 5th Floor Plans



4 Roof Plan

ARCHITECT
bh+a
 b+g Architects + Architects, Inc.
 15 Canal Center Blvd
 Suite 314 22219
 Arlington, VA 22201

PROJECT NAME
Green District
 111 Western Drive
 Waterbury, MA 01725

CLIENT
Post Road Residential, LLC
 111 Western Road, Waterbury, CT 06707

PROJECT TEAM

REVISIONS

1	
2	
3	
4	

DRAWING TITLE
Site 2 Floor Plans

DRAWING INFORMATION

DATE	BY	CHECKED
DATE	BY	CHECKED

DRAWING NUMBER
A200





1 NORTH ELEVATION



2 EAST ELEVATION



3 SOUTH ELEVATION



4 WEST ELEVATION

ARCHITECT
bh+a
 Raymond Handman + Architects, Inc.
 8 Colonial Corner Street
 Boston, MA 02215
 617 352-0350 Fax

PROJECT NAME
Green District
 107 Emerald Drive
 Marlborough, MA 01752

CLIENT
Post Road Residential, LLC
 11 Orange Street, Fairfield, CT
 06424

PROJECT TEAM

PROGRESS PRINT

REVISIONS

1	
2	
3	
4	
5	

DRAWING TITLE
 Site 2 Elevations

DRAWING INFORMATION

August 10, 2016
 10:10 AM
 Scale: Print And Site Plan Approval
 Submittal
 PDP - PDP
 RJA
 TSK
 MESTET

DRAWING NUMBER

A201

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ARCHITECT
bh+a
 800 Main Street • Shelton, CT
 200 Church Street
 Shelton, CT 06484
 800-354-6400 Fax

PROJECT NAME
Green District
 87 Shennock Drive
 Meriden, CT 06450

CLIENT
Post Road Residential, LLC
 11 Shennock Road, Fairfield, CT
 06424

PROJECT TEAM



Entry View From Southwest Corner



Southeast Corner From Access Road

REVISIONS
 1 11/22/18 Revise 1

DRAWING TITLE
**Site 2
 Renderings**

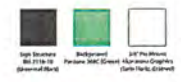
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 Date: 11/22/18
 DWG #: A202
 Scale: 1/8" = 1'-0" (Site Plan Approval)
 1/8" = 1'-0" (Site Plan Approval)
 1/8" = 1'-0" (Site Plan Approval)
 1/8" = 1'-0" (Site Plan Approval)
 1/8" = 1'-0" (Site Plan Approval)

DRAWING NUMBER
A202

Copyright © 2018, bh+a

SIGN SPECIFICATIONS

- DESIGN USE**
 Double-Sided Illuminated Sign with Full-Faced Backlight
- INSTALLATION**
 Above-Canopy Mounted on Existing Post
- FINISHES**
 Aluminum Sign Face
 LED Backlight
 LED Light Bar
 LED Light Bar
- NOTES**
 All Dimensions are in Feet and Inches
 Round Dimensions are in Inches



ELEVATION: SIDE A
 SCALE: 1/2"=1'-0"



ELEVATION: SIDE B
 SCALE: 1/2"=1'-0"

Monument Sign at Entrance Drive

SIGN SPECIFICATIONS

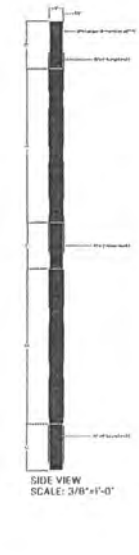
- DESIGN USE**
 Double-Sided Blade Sign with Internal Backlight
- INSTALLATION**
 Above-Canopy Mounted on Existing Post
- FINISHES**
 Aluminum Sign Face
 LED Backlight
 LED Light Bar
 LED Light Bar
- NOTES**
 All Dimensions are in Feet and Inches
 Round Dimensions are in Inches



LAYOUT A
 SCALE: 3/8"=1'-0"



LAYOUT B
 SCALE: 3/8"=1'-0"



SIDE VIEW
 SCALE: 3/8"=1'-0"

Building-Mounted 'Blade Sign'

REVISIONS

NO.	DESCRIPTION

DRAWING TITLE
Building and Site Signage

DRAWING INFORMATION

DATE	BY

DRAWING NUMBER

A300

PETITION FOR MANHOLE AND DUCT LOCATIONS

Hopedale, MA 01747

November 19, 2019

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2019 NOV 21 A 11:06

To the City Council
of the City of Marlborough, Massachusetts

MASSACHUSETTS ELECTRIC COMPANY requests permission to locate manholes, wires, and ducts, including the necessary sustaining and protecting fixtures, along and across the following public way:

Donald Lynch Blvd

Feed street lights 52 through 57 from existing street light #24.

Wherefore it prays that after due notice and hearing as provided by law, it be granted a location for and permission to install and maintain manholes, ducts and wires, together with such sustaining and protecting fixtures as it may find necessary, said manholes and ducts to be installed substantially in accordance with the plan filed herewith marked--

MASSACHUSETTS ELECTRIC COMPANY

Plan No. 28798862 Dated: 9/12/2019

MASSACHUSETTS ELECTRIC COMPANY

By: Robert Resnick
Manager of Distribution Design

ORDER FOR MANHOLE AND DUCT LOCATIONS

Hopedale, MA 01747

November 19, 2019

By the City Council
of the City of Marlborough, Massachusetts

Notice having been given and a public hearing held, as provided by law,
IT IS HEREBY ORDERED:

that **MASSACHUSETTS ELECTRIC COMPANY** be and it is hereby granted permission to excavate the public highways and to run and maintain underground electric conduits, together with such sustaining and protecting fixtures as said Company may deem necessary, in the public way or ways hereinafter referred to, as requested in petition of said Company dated the **19th day of November, 2019**

All construction under this order shall be in accordance with the following conditions:--

Manholes and ducts shall be set substantially at the points indicated upon the plan marked--

MASSACHUSETTS ELECTRIC COMPANY

Plan No. **28798862**

Dated: **9/12/2019**

The following are the public ways or parts of ways along which the manholes/ducts above referred to may be installed, and the number of manholes/ducts which may be installed thereon under this order:--

Donald Lynch Blvd

Feed street lights 52 through 57 from existing street light #24.

I hereby certify that the foregoing order was adopted at a meeting of the City Council of the City of Marlborough, Massachusetts held on the _____ day of _____ 2019

Clerk of Council

Received and entered in the records of location orders of the City of Marlborough, Massachusetts

Book: _____ Page: _____

City Clerk

We hereby certify that on _____, 20_____, at _____ o'clock, _____ M
at _____ a public hearing was held on the petition of

MASSACHUSETTS ELECTRIC COMPANY for permission to construct the underground electric conduits described in the order herewith recorded, and that I mailed at least seven days before said hearing a written notice of the time and place of said hearing to each of the owners of real estate (as determined by the last preceding assessment for taxation) along the ways or parts of ways upon which the Company is permitted to construct the underground electric conduits under said order. And that thereupon said order was duly adopted.

Council of the City of

Marlborough, Massachusetts

CERTIFICATE

I hereby certify that the foregoing is a true copy of a location order and certificate of hearing with notice adopted by the City Council of the City of Marlborough, Massachusetts, on the _____ day of _____ 2019 and recorded with the records of location orders of said City, Book _____, Page _____.

This certified copy is made under the provisions of Chapter 166 of General Laws and any additions thereto or amendments thereof.

Attest: _____
City Clerk

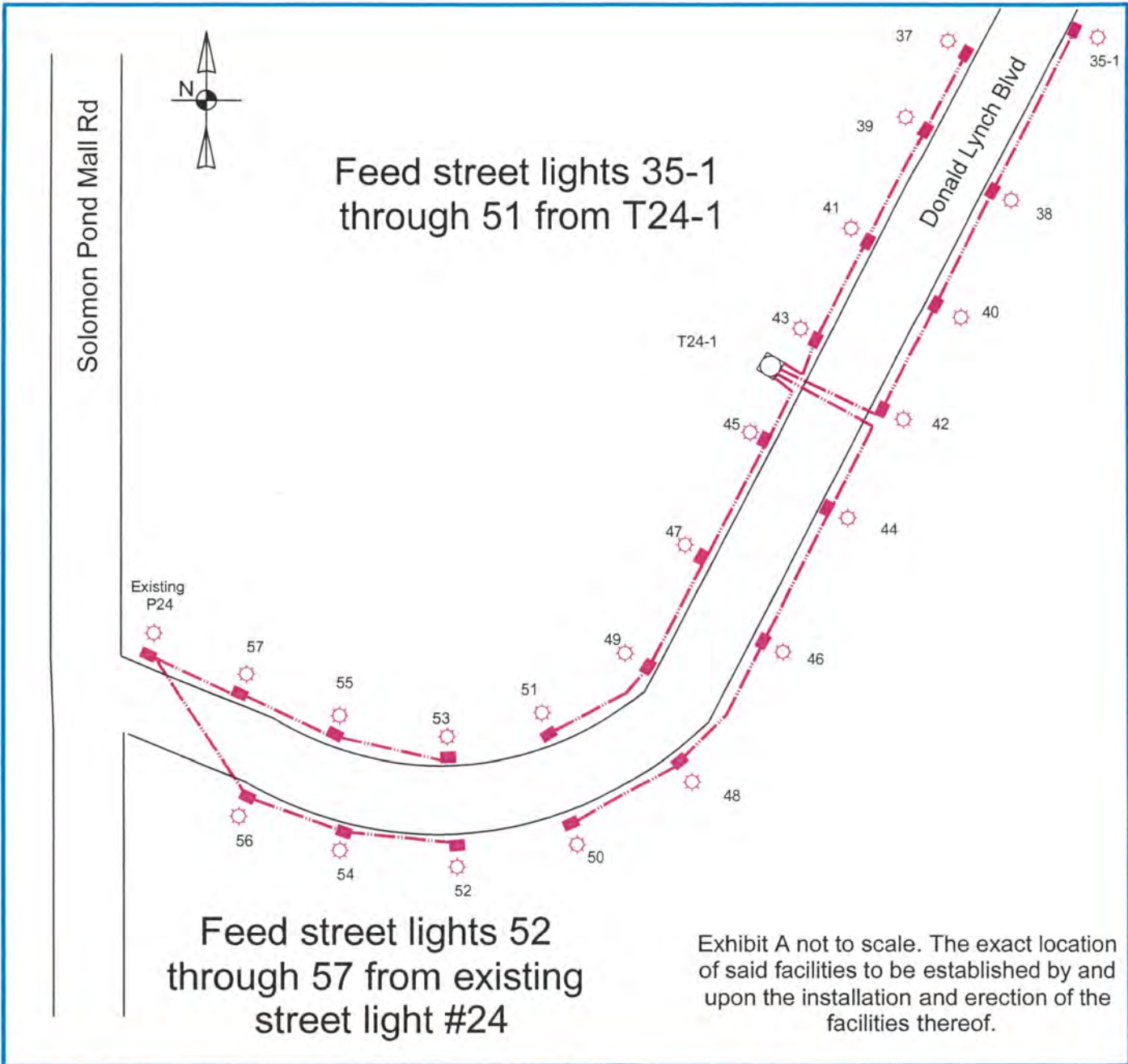


Exhibit A not to scale. The exact location of said facilities to be established by and upon the installation and erection of the facilities thereof.

UNDERGROUND PETITION		nationalgrid
Urd Pole	3-Phase Pad	
Manhole	Xfmr Foundation	
Pull Box	Primary Ug Wire	Plan Number: 28798862
Hand Hole	Secondary Ug Wire	To Accompany Petition Dated:
	Street Light Wire	To The: City Of Marlborough
Single Phase Pad	Service Arrow	For Proposed: Street Lights Location: Donald Lynch Blvd
DISTANCES ARE APPROXIMATE		Date Of Original Grant:

MARLBOROUGH ASSESSORS

Anthony C. Amadio
Allen J. Silverstein
Joan M. DeLo

**Abutters 728 thru 905 Donald J Lynch Blvd
 MARLBOROUGH, MA**

Map	Block	Lot	Unit	Owner's Name	Co_Owner's Name	Address	City	ST Zip	Parcel Location
50	7			T & T LEASING CORP		C/O AGGREGATE INDUSTRIES	DUNDEE	MI 48131	771 DONALD J LYNCH BLVD
50	8			RK MARLBORO POND LLC		C/O R K CENTERS	NEEDHAM	MA 02494	728 DONALD J LYNCH BLVD
50	9			DIGITAL FEDERAL CREDIT UNION	ATTN ACCOUNTING DEPT	228 DONALD J LYNCH BLVD	MARLBOROUGH	MA 01752	851-865 DONALD J LYNCH BLVD
50	3D			MARLBORO BUSINESS CENTER LIMITED PA	C/O NORDBLOM COMPANY	71 3RD AVE	BURLINGTON	MA 01803	DONALD J LYNCH BLVD
50	4A			BERLIN PROPERTIES LIMITED PRTR		C/O NEW ENGLAND DEVELOPME	BOSTON	MA 02116	876 DONALD J LYNCH BLVD
50	4B			DEVKI LLC		880 DONALD J LYNCH BLVD	MARLBOROUGH	MA 01752	880 DONALD J LYNCH BLVD
51	6			HALL AT SOLOMON POND LLC	C/O PROPERTY TAX DEPT	PO BOX 6120	INDIANAPOLIS	IN 46206-6120	DONALD J LYNCH BLVD

PETITION AND FORM OF ORDER FOR REMOVAL OF POLES

Hopedale, MA 01747

November 19, 2019

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2019 NOV 21 A 11: 05

To the City Council
of the City of Marlborough, Massachusetts

MASSACHUSETTS ELECTRIC COMPANY respectfully requests permission to abandon and remove poles and fixtures located along the following public ways:

Front St

National Grid to install push brace #7-89
on Front St. This will enable National
Grid to remove the pole to tree guy.

Said poles and fixtures to be removed and abandoned are now located substantially in accordance with the plan filed herewith marked:--

MASSACHUSETTS ELECTRIC COMPANY

Plan No. 28086467 Dated: 9/26/2019

MASSACHUSETTS ELECTRIC COMPANY

By: Robert Keonick
Manager of Distribution Design

ORDER FOR REMOVAL OF POLES

By the City Council
of the City of Marlborough, Massachusetts

It is hereby ordered that MASSACHUSETTS ELECTRIC COMPANY be and are hereby given permission to abandon and remove poles and fixtures as indicated above.

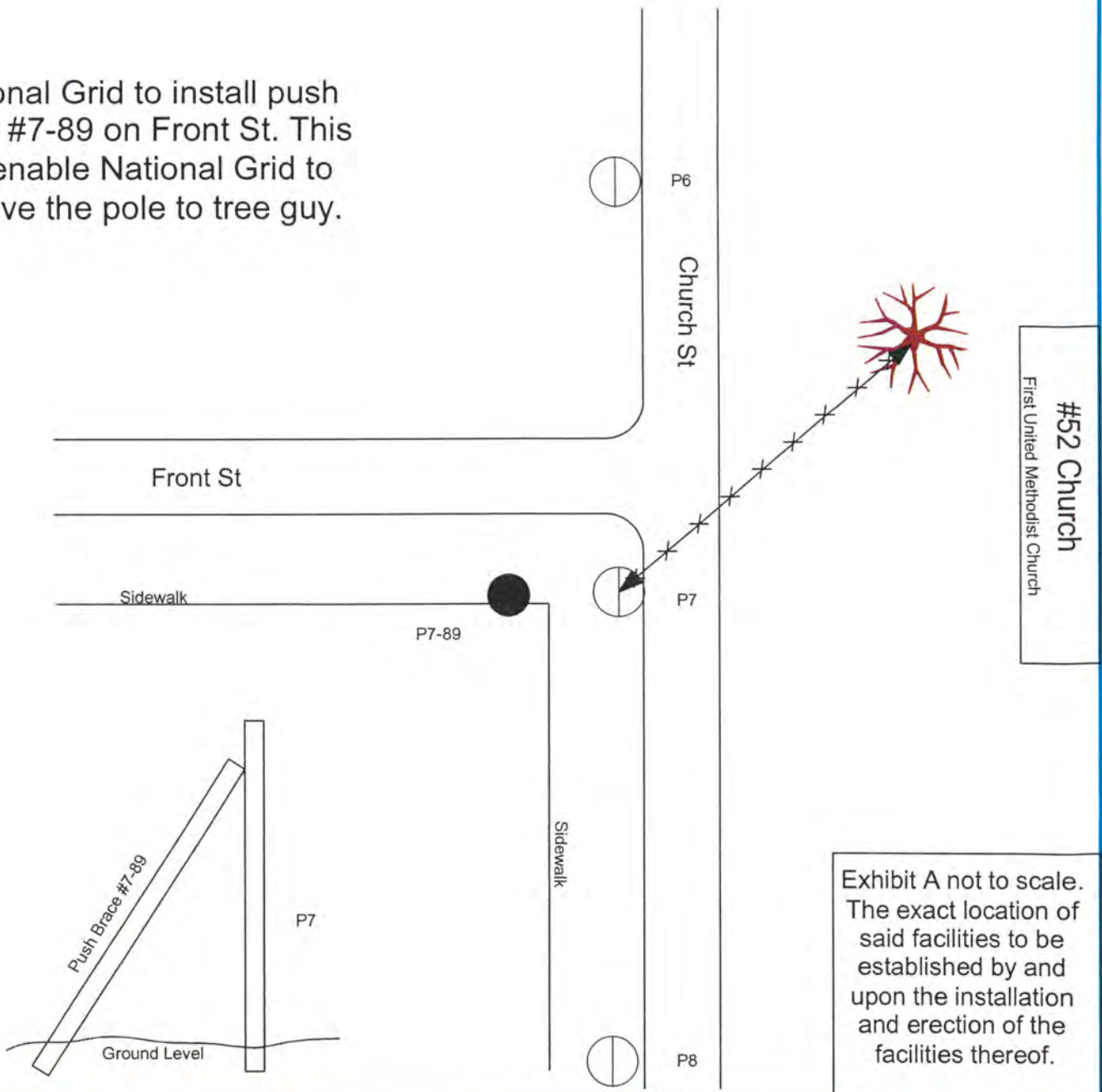
We hereby certify that the foregoing order was adopted at a meeting of the City Council
of the City of Marlborough, Massachusetts held on the _____ day of _____ 2019

I hereby certify that the foregoing is a true copy of the records
Book _____, Page _____.

of the City of Marlborough, Massachusetts

Attest: _____
City Clerk

National Grid to install push brace #7-89 on Front St. This will enable National Grid to remove the pole to tree guy.



POLE PETITION

●	Proposed NGRID Pole Locations
○	Existing NGRID Pole Locations
Ⓢ	Proposed J.O. Pole Locations
Ⓢ	Existing J.O. Pole Locations
Ⓢ	Existing Telephone Co. Pole Locations
Ⓢ	Existing NGRID Pole Location To Be Made J.O.
⊗	Existing Pole Locations To Be Removed
DISTANCES ARE APPROXIMATE	



Date: 9-26-19

Plan Number: 28086467

To Accompany Petition Dated:

To The: City Of Marlborough

For Proposed: SO Pole: 7-89 Location: Front St

Date Of Original Grant:

Abutters 29 Front St direct & across
MARLBOROUGH, MA

Map	Block	Lot	Unit	Owner's Name	Co Owner's Name	Address	City	ST Zip	Parcel Location
57	137			CARAPEZZA JOSEPH R	ROXANNE R CARAPEZZA	101 NOURSE ST	WESTBOROUGH	MA 01581-3740	25 FRONT ST
57	138			ESTES CHARLES L III TR	CONNIE M ESTES TR	250 STOW RD	MARLBOROUGH	MA 01752	29 FRONT ST
57	140			METHODIST CHURCH		52 CHURCH ST	MARLBOROUGH	MA 01752	52 CHURCH ST
57	179			SHARON PETER F JR LI EST	PAUL A SHARON JR	51 CHURCH ST	MARLBOROUGH	MA 01752	51 CHURCH ST
57	179A	28	A	ERCOLANI ANDREA M		28 FRONT ST #A	MARLBOROUGH	MA 01752	28 FRONT ST #A
57	179A	28	B	DEBOALT ROBERT A	YOLANDA F STAFFORD	28 FRONT ST #B	MARLBOROUGH	MA 01752	28 FRONT ST #B
57	179A	28	C	GARCIA ALIC	ENILEIKA ROSARIO	28 FRONT ST #C	MARLBOROUGH	MA 01752	28 FRONT ST #C
70	339			BRAGA ALDA L	ROBERTO C BRAGA	27 BLAISWOOD AVE	MARLBOROUGH	MA 01752	65 CHURCH ST
70	340			SANCHEZ EDUARDO	SAVINO SANCHEZ	191 BROAD ST	MARLBOROUGH	MA 01752	64 CHURCH ST

MARLBOROUGH ASSESSORS

Anthony C. Ciarra
William K. L. L. L.
John M. L.

Mechanic Street Collaborative
Marlborough, MA 01752

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

Contact Liaison:

Kathleen Robey
508-561-4898
City Council
140 Main St., 2nd Floor
Marlborough, MA 01752

2019 NOV 25 P 2: 22

City Clerk
140 Main Street
Marlborough, MA 01752

November 25, 2019

RE: Tunnera & Sons Roofing & Snow Removal Services, 260 Mechanic Street

To Whom It May Concern:

The undersigned are writing to apprise you of our serious, long-standing and still-increasing concern for the property located at 260 Mechanic St, Marlborough. The current owner of the property, Paul Tunnera, who owns the roofing company, Tunnera & Sons Roofing and Snow Removal Services, purchased the foreclosed property at 260 Mechanic Street last fall. He does not reside on the property, but has moved all of his roofing and plowing equipment onto the property, and fully operates his business out of this property, although his official business location is 23 Barnes Circle, Marlborough (also a residential area). He has turned this property into a commercial lot and treats it as such. Six days a week, 3-4 seasons a year, he has his 3-4 commercial pick-up trucks, as well as a big loud dump truck which emanates a strong stench going in and out of this property 8-12 times a day. The loud banging of the ladders and equipment being loaded and unloaded everyday is intolerable. The dump truck, the sanding truck, and several company pick-up trucks are parked in the backyard of the property, which is approximately *80ft* from the existing driveway. Employees cut metal siding right at the property line, loudly emerging and appearing over the fence, working in the backyard regularly. Construction debris is brought back to this property and burned in their large existing fire pit. This debris is toxic and it is illegal to burn. Despite many visits by the fire department, he continues to burn toxic trash. We have even witnessed an outside "Junk Removal" company pull into the backyard and empty their truck debris directly into the fire pit and the property owner burning the debris in a large fire on a weekday afternoon in the summer (See attached Fire Dept. incident report and pictures).

We are dealing with a serious Blight issue, as well as Percent Materials issue, and also a Right to Enjoy Our Property issue. Despite numerous and regular complaints to our Ward City Councilor and Code Enforcement Department, nothing has been done to protect the citizens of this quiet family neighborhood from this commercial business running its loud, foul-smelling and toxic business out of this neighborhood consistently, 6 days a week, *for the past year*.

The **Blight** issue is obvious; all the company trucks and ladders and plows and equipment have been moved into what was once a backyard in a family neighborhood. There is no longer a residential backyard there since it has been covered in gravel and turned into a parking lot. The **Percent Materials** issue not only includes all the junk and equipment that take up the whole yard, but also the huge scrap metal pile which has grown steadfastly into a 12ft high 12ft wide x 12ft long cube, which is loud and extremely unsightly. Living next to an ongoing jobsite, with all the noise and smells of a commercial roofing business has forced us to re-arrange our daily routines to avoid exposure to the invasive business practices next door. This is a frank infringement on our **right to peacefully enjoy our property**. We have extensive documentation for all of these grievances. Over the past year, we have accumulated many pictures and videos that document the horribly disruptive business practices next door at 260 Mechanic Street. Further documentation is available upon request.

When faced with numerous visits from the Code Enforcement and Fire Department, the property owner has responded aggressively and intimidating toward his neighbors. He has outwardly expressed his lack of caring and respect for his neighbors' concerns. Appeals to the property owner regarding loud foul language and loud music generated from this parcel are also greeted with indifference. Many of the company's employees live in the house on-site during the work week, and a full-time resident is living in the pool house in the backyard with no occupancy permit. The on-site warehouse is rented to an auto mechanic who operates an auto repair business. The previous owner fought with the city for many years to be able to operate a small auto repair business out of the large metal warehouse and was only given permission to use it for storage. The unsightly warehouse has two automotive bays with *hydraulic lifts* in each. Over the past year, vehicles have been brought to this property on flat bed tow trucks and construction materials have also been delivered on trailer trucks, off-loaded by a fork lift while parked on the street, impeding and halting traffic. This property also abuts Wetlands, which are located less than 10 feet from the warehouse. A lot of these infractions threaten the preservation of these Wetlands.

The neighboring residents are perplexed as to why and how this particular parcel has gone unchecked and allowed to continue to operate and thrive as a commercial business in this quiet family neighborhood. We are in serious and severe need of your help. This is an everyday harassing nuisance that affects our quality of life constantly and needs to be addressed and solved immediately. There is no more time to put this on the back burner while this *commercial business is running out of a family neighborhood*. We want to live peacefully in this residential neighborhood that some of us have lived in for over 30 years. All of this company's equipment and trucks and employee parking and scrap metal and trash and construction debris and employees cutting metal need to move onto a commercial lot where it all belongs. That is what commercial zoning is for, to protect the residents living in a family neighborhood. Heavy and consistent follow-up supervision is required, moving forward, due to the long-standing negligence of the property owner. There is a way that commercial lot and business owners in commercial zones can safely provide the needed space for contractors and landscapers in the City of Marlborough so that they may protect the residents by preventing the illicit operation of contractors' lots out of residential neighborhoods.

Sincerely,

Robert & Nancy Burbio

Property Owner

246 Mechanic Street, Marlborough, MA 01752

Street Address

247 MECHANIC ST

Property Owner

STEPHEN P. CRETE

Street Address

257 MECHANIC ST

Property Owner

STEPHEN P. CRETE

Street Address

Mark Childs

Property Owner

271 MECHANIC ST. MARLBOROUGH, MA 01752

Street Address

Erica Wettaton

Property Owner

259 Mechanic St. Marlborough, MA 01752

Street Address

Nancy J. J.

Property Owner

270 Mechanic St. Marlborough, MA 01752

Street Address

Property Owner

Street Address

cc: Jeffrey Cooke, Building
Commissioner
140 Main Street, 2nd Floor
Marlborough, MA 01752

Patrick Dahlgren
Assistant Building Commissioner
140 Main Street, 2nd Floor
Marlborough, MA 01752

William Paynton
Local Inspector
Inspectional Services
140 Main Street, 2nd Floor
Marlborough, MA 01752

Pamela A. Wilderman
Code Enforcement Officer
140 Main Street, 2nd Floor
Marlborough, MA 01752

Arthur G. Vigeant
Office of the Mayor
140 Main Street
Marlborough, MA 01752

Michael H. Ossing
Councilor-at Large
City Council
140 Main Street, 2nd Floor
Marlborough, MA 01752

Mark A. Oram
Councilor-at-Large
City Council
140 Main Street, 2nd Floor
Marlborough, MA 01752

Peter J. Juare
Councilor-at-Large
City Council
140 Main Street, 2nd Floor
Marlborough, MA 01752

Kathleen D. Robey
Councilor-at-Large
City Council
140 Main Street, 2nd Floor
Marlborough, MA 01752

John J. Irish
City of Marlborough
Ward 5 Councilor
City Council
140 Main Street, 2nd Floor
Marlborough, MA 01752

Samantha Perlman
Councilor-at-Large-Elect
91 Wellington Street
Marlborough, MA 01752

Joseph Delano, Chair
Urban Affairs Committee
140 Main Street
City Council Chamber, 2nd Floor
Marlborough, MA 01752

Edward Clancy, Chairman
Conservation Commission
140 Main St.
Marlborough, MA 01752

Pricilla Ryder
Conservation Officer
140 Main St.
Marlborough, MA 01752

Incident #	Date	Location	Incident Type	Report ID	Cal
18-5540-IN	09/18/2018	260 Mechanic St	Motor vehicle accident with injuries	MP51	18-2
19-2745-IN	05/18/2019	260 Mechanic St	Good intent call, other	EC75	19-1
19-4124-IN	07/18/2019	260 Mechanic St	Unauthorized burning	JK72	19-1
19-5847-IN	10/08/2019	260 Mechanic St	Unauthorized burning	DC15	19-2
19-829-IN	02/11/2019	260 Mechanic St	Outside rubbish fire, other	JA13	19-3
92-4190-IN	12/12/1992	260 Mechanic St	Hazardous condition, Other	ER70	
97-4514-IN	11/05/1997	260 Mechanic St	Unauthorized burning	JD28	
98-1412-IN	03/31/1998	260 Mechanic St	Undetermined incident type (Conversion only)	JF10	
98-1421-IN	03/31/1998	260 Mechanic St	Undetermined incident type (Conversion only)	KM21	
98-4679-IN	10/28/1998	260 Mechanic St	Assist police or other governmental agency	RR26	
98-5610-IN	12/30/1998	260 Mechanic St	Undetermined incident type (Conversion only)	JF10	
99-2921-IN	07/15/1999	260 Mechanic St	Fire, other	RA30	
99-4122-IN	10/07/1999	260 Mechanic St	Smoke scare, odor of smoke	PF35	

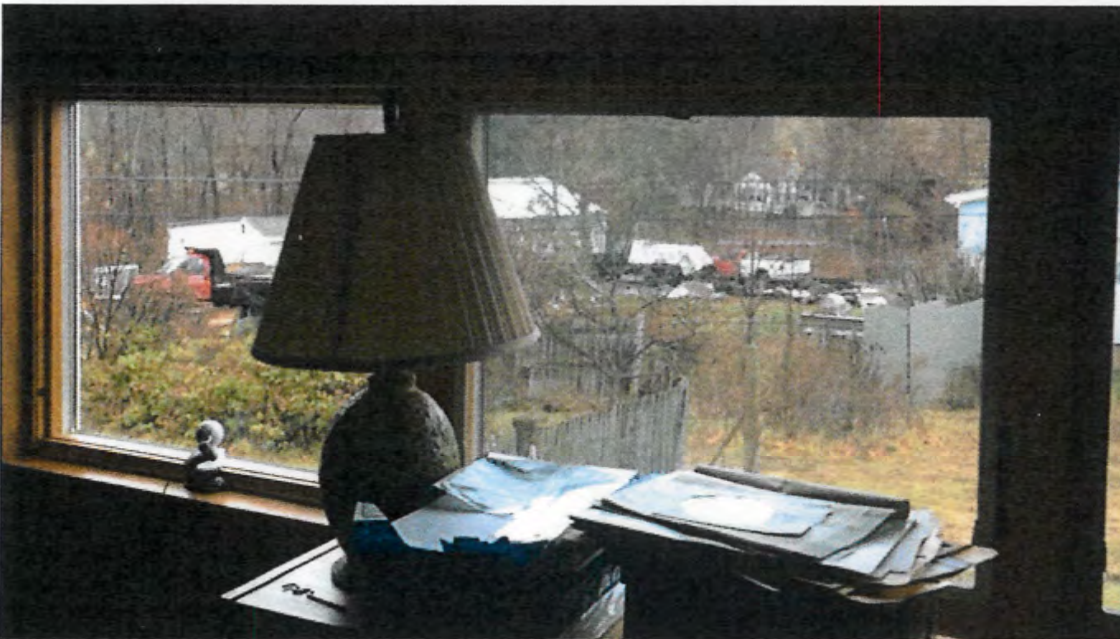
10/13/19



10/13/19



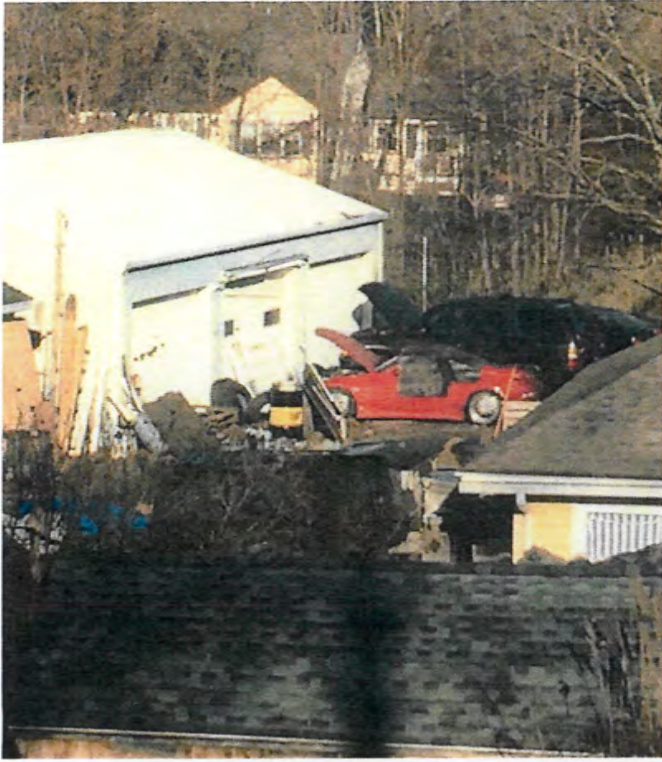
11/14/19

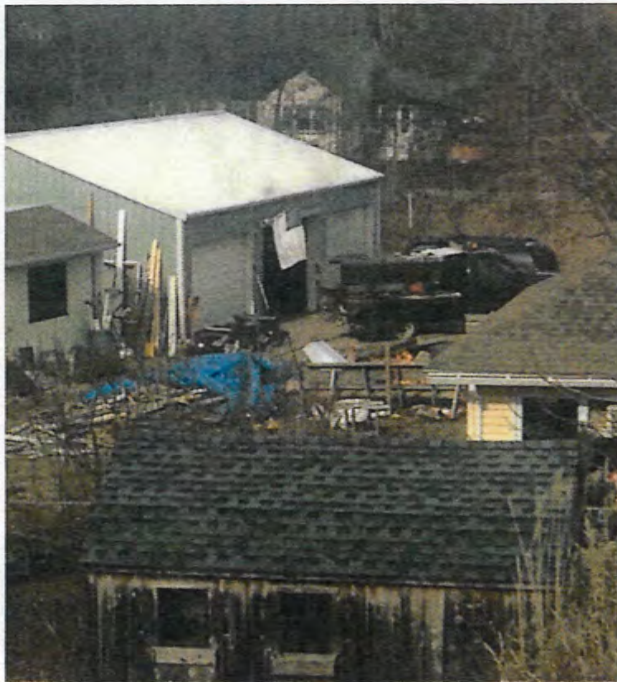
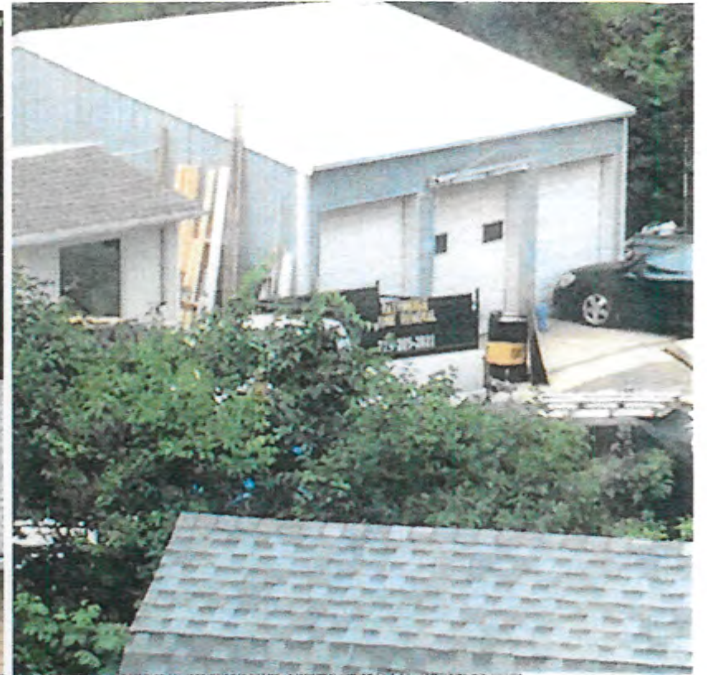
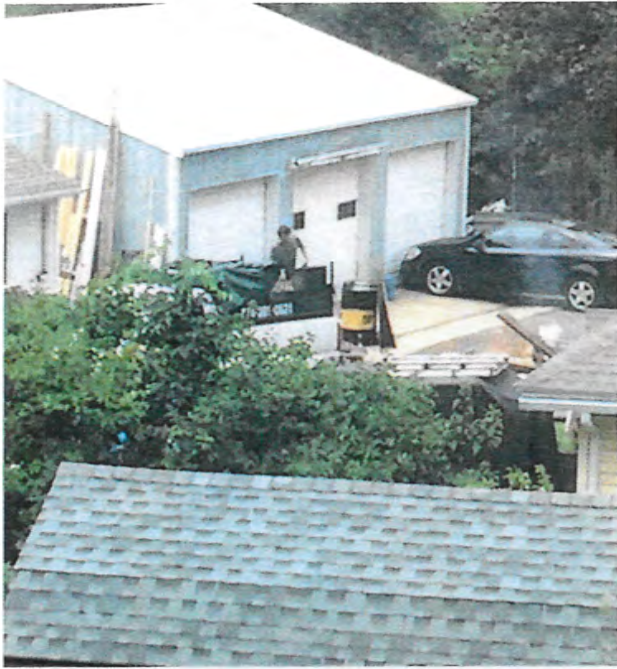


11/14/19









**CITY OF MARLBOROUGH
OFFICE OF THE CITY CLERK
MARLBOROUGH, MASSACHUSETTS 01752**

LEGAL NOTICE

Public Hearing –Proposed Zoning Amendment, Sections 650-5, 650-17 & 650-18 relative to Home Offices and Contractor/Landscape Contractor Yards as REVISED by the City Council Urban Affairs Committee.

Notice is hereby given that the City Council and Planning Board of the City of Marlborough will hold a **JOINT Public Hearing on Monday, June 3, 2019 at 8:00 PM.** in the City Council Chamber, 2nd floor, City Hall, 140 Main Street, Marlborough, Massachusetts to amend Sections 650-5, 650-17 & 650-18.

The materials are available for viewing in the Office of the City Clerk, City Hall, 140 Main Street, Marlborough, MA 01752, Telephone 508-460-3775.

THAT, PURSUANT TO § 5 OF CHAPTER 40A OF THE GENERAL LAWS, THE CITY COUNCIL OF THE CITY OF MARLBOROUGH, HAVING SUBMITTED FOR ITS OWN CONSIDERATION CHANGES IN THE ZONING ORDINANCE OF THE CITY OF MARLBOROUGH, AS AMENDED, TO FURTHER AMEND CHAPTER 650, NOW ORDAINS THAT THE ZONING ORDINANCE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED AS FOLLOWS:

I. Section 650-5, entitled “Definitions; word usage,” is hereby amended, as follows:

a. By amending the definition in subsection B of “HOME OCCUPATION,” by inserting at the end thereof the following sentence:

A home occupation shall not include a home office, as defined in Section 650-5.

b. By amending the definition in subsection B of “OUTDOOR STORAGE,” by inserting at the end thereof the following sentence:

Outdoor storage shall not include either a contractor’s storage yard or a landscape contractor’s storage yard, as defined in Section 650-5.

c. By inserting the following new definitions:

CONTRACTOR - Any person or firm engaged in construction, building trades, landscaping services or maintenance, on a contract basis, either licensed or unlicensed.

CONTRACTOR’S STORAGE YARD - An outdoor area used for the storage of equipment and/or materials used for providing contracting services, including but not limited to building construction, heating, plumbing, roofing, and excavation; but not including a landscape contractor’s storage yard. A contractor’s storage yard shall not include outdoor storage, as defined in Section 650-5.

HOME OFFICE - An office in a dwelling unit or accessory building within which ancillary activities are performed for a business whose primary services are conducted by the residents at offsite locations. Home offices are permitted if they conform to each of the conditions set forth in Section 650-18(47).

LANDSCAPE CONTRACTOR'S STORAGE YARD – An outdoor area used for the storage of equipment and/or materials used by a business principally engaged in the decorative and functional alteration, planting, and maintenance of grounds, including the installation of hardscape such as stonework, patios, decks, arbors, and other decorative elements of the landscape. Such a business may engage in the installation and construction of underground improvements, but only to the extent that such improvements (e.g., irrigation or drainage facilities) are accessory to the principal business and are necessary to support or sustain the landscaped surface of the grounds being otherwise landscaped. A landscape contractor's storage yard shall not include outdoor storage, as defined in Section 650-5.

II. Section 650-17, entitled "Table of Uses," is hereby amended by adding the following new uses:

	RR	A1	A2	A3	RB	RC	RCR	B	CA	LI	I	MV	NB
Contractor's Storage Yard (48)	N	N	N	N	N	N	N	N	Y	Y	N	N	N
Home Office (47)	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Landscape Contractor's Storage Yard (48)	N	N	N	N	N	N	N	N	Y	Y	N	N	N

III. Section 650-18, entitled "Conditions for uses," is hereby amended as follows:

a. By inserting in subsection A thereof a new paragraph (47), pertaining to home offices:

(47) Home offices.

Home offices are permitted if they conform to each of the following conditions:

- (a) The home office use must be secondary to the principal use of the property as a residence.
- (b) The proprietor of the home office, whether a contractor or otherwise, must reside in the dwelling unit comprising the principal building.
- (c) Anyone associated with the home office must reside in the dwelling unit comprising the principal building, except that not more than two (2) non-residents may be permitted when the home office is on a property principally used as a residence by the proprietor, whether a contractor or otherwise, unless it is located in the Commercial Automotive or Limited Industrial zoning districts, in which case three (3) non-residents may be permitted.
- (d) No more than 25% of the floor area of the residence or, if an accessory building is used, no more than 30% of the floor area of the accessory building and residence combined, is to be used for the purposes of the home office.
- (e) There shall be no external evidence of the home office except for a sign that conforms to the requirements for a home occupation sign set forth in City Code Section 526-8.A(2), and no major structural change shall be made to the exterior so as to alter the appearance and character of the residence or that of the accessory building if used for the home office.

No vote taken by City Council on contractor/ landscaper storage yard zoning changes

By **Community Advocate Staff** - June 24, 2019

Issue goes back to committee for more discussion

By Vicki Greene, Contributing Writer



*(l to r) Zoning change opponents
Michael Monteiro, Gina DiMatteo and
Charles Trombetta
photo/Vicki Greene*

Marlborough – After much discussion, the City Council, at its June 17 meeting, decided not to vote on changes to the contractor/landscaper zoning ordinance and sent the language back to the Urban Affairs Committee for further discussion.

More than a dozen business owners and concerned residents asked questions and voiced their opposition to the proposed zoning changes at a June 3 joint public hearing before the City Council and the Planning Board. Zoning changes would be made to ensure commercial vehicles were not parked in residential neighborhoods potentially causing noise and other issues for homeowners.

According to Mayor Arthur Vigeant, the council, building commissioner, former city solicitor, planning board members and the Council’s Urban Affairs Committee have all been working on zoning language for contractor storage yards and home offices for four months.

Councilor Joseph Delano, chair of the Urban Affairs Committee, told the Council at its June 17 meeting, “I’m not going to force anyone to do anything tonight. If people want to vote, we’ll vote.” He went on to say, “there’s anger about this but we have to make some tough choices. We need to establish long-term prosperity of our city or we allow current rules to stay in place.

“If we pass nothing there will be no contractor yards – they’ll be out of business,” Delano said.

A major sticking point has been language allowing for the storage of vehicles and materials on a home office or contractor/landscaper’s property. The proposed changes allow for either one commercial vehicle, one pickup truck or one commercial trailer in their driveway. If the proposed zoning changes were to pass as written, several home office owners say they will have to rent space or go out of business.

Melanie Lowery was among those sitting in Council chambers listening to the debate on whether to vote or not. Lowery’s parents operate ML Services, a landscaper, lawncare business that services many area residents.

“You need a truck and a trailer to start a business, regardless of how small you are and if not, you won’t make enough to stay in business,” she said.

“Something has to get done but my issue is with the number of vehicles,” said Councilor John Irish. “After hearing everything, if someone has their vehicles in a garage and there no blight is that an issue?”

Several other councilors weighed in before the vote to send the discussion back to the Urban Affairs Committee.

“This should go back to Committee. It’s a work in progress and there was good information at the hearing that was new so we should go back to discuss,” Councilor David Doucette said. Several business owners including Charles Trombetta and Gina DiMatteo both sat listening intently to the Council, wearing black t-shirts that were printed with the word “NO.” They both own business property on Farm Road and they both rent space to contractor or landscapers to park their vehicles. The language would negatively impact both of their businesses, they said. Trombetta said the new language would force him to pave his entire lot behind his existing business with asphalt which would force him to pass the cost on to his customers by increasing rents.

Following the Council’s decision to send the zoning ordinance back to Committee both Trombetta and DiMatteo said they were pleased that “the discussion was going to continue and no action had been taken yet.”

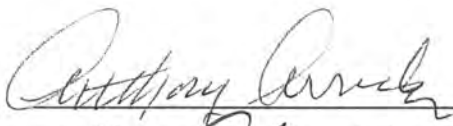
There was no date on the city’s website meeting schedule yet posted for the next Urban Affairs Committee meeting. The next City Council meeting is scheduled for July 22.

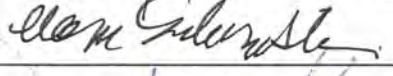
CITY OF MARLBOROUGH BOARD OF ASSESSORS

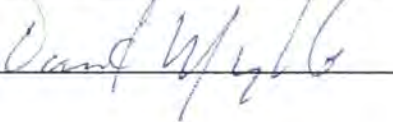
MEETING MINUTES: July 10, 2019

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1. CALL TO ORDER: 9:00 am
2. MEMBERS PRESENT: Anthony Arruda, Ellen Silverstein, David Manzello
Also in attendance: Harald Scheid, Jonathan Frank and Heather Cheney Regional Assessors
Paula Murphy, Head Clerk
3. MOTION TO ACCEPT: Minutes of the June 5, 2019 meeting: Mr. Arruda, second Ms. Silverstein
Vote 3-0
4. APPROVE AND SIGN: Excise Tax Abatements 5/29 thru 7/5/19
Motion to Approve: Mr. Arruda, second Ms. Silverstein
Vote 3-0
5. APPROVE AND SIGN: ATB Settlement on State Valued Personal Property for AT&T Corporation
and Teleport Communications Group, Inc. for FY14,15,16, 18 and 19.
Motion to Approve: Mr. Arruda, second Ms. Silverstein
Vote 3-0
6. DISCUSS AND VOTE: Real Estate Abatement Applications: 21 Broad St, Glen St (89-3D)
21 Howland St and 75 Winter St
Motion to Grant: Mr. Arruda, second Ms. Silverstein
Vote 3-0
7. Mr. Frank announced to the Board that all ATB cases prior to Fiscal 2019 have been either
settled or withdrawn.
8. MOTION TO CONCLUDE – Mr. Arruda, second Ms. Silverstein
MEETING Adjourned – 9:20









**CITY OF MARLBOROUGH
RECREATION DEPARTMENT**

239 Concord Road
Marlborough, Massachusetts 01752
Tel (508) 624-6925 FAX (508) 624-6940 TTY (508) 460-3610

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2019 NOV 14 P 3:36

COMMISSIONERS
Brenda Calder
William Doherty
Robert Kays: Chairman
Mark Vital

DIRECTOR
Charles Thebado

PROGRAM MANAGER
Zachary Lambert

October 9, 2019

Pursuant to notice duly filed with the City Clerk, a meeting of the Parks and Recreation Commission was held at 5:30p.m. at the Recreation Commission Office.

Present were Commission Members: Chairman Kays, Commissioner Calder, Commissioner Vital and Commissioner Doherty.

Also attending Recreation Director Charles Thebado and Recreation Program Manager Zachary Lambert.

Approval of minutes 06-05-19

On a motion duly made by Commissioner Vital and seconded by Commissioner Calder, it was unanimously:

VOTED: To accept the 06-05-19 minutes.

MHS Mazie Mentoring Program..... Mr. Sean Cooney:

Mr. Cooney introduced himself and his program to the Commission. He stated that he wanted the community to be aware of this brand-new program. He also stated the mission of the program is to enable youths at risk to become adults of promise.

The program was founded in honor of John Andrew Mazie in 1997, after he was tragically killed in a car accident. John's parents believed that a mentoring program would be the best way to fulfill his legacy because John was a mentor to many young people in his life.

The program recruits and train adult volunteers to mentor and act as role models for high school students at risk of not achieving their potential in school and beyond. Through the mentorship, young people are provided with the support they need to take control of their lives, set and achieve goals, prepare to apply to college, or other post-secondary training, and achieve success.

As of July 1st, 2017, the Mazie Mentoring Program became part of Big Brothers Big Sisters of Central Mass & MetroWest. The Mazie students, through working with their mentor, gain the confidence they need to try new things. We see astonishing rates of success.

The Commission thanked Mr. Cooney for his time and congratulate him for his amazing Mentoring Program.

Recreation Report..... Charles Thebado, Director:

Mr. Thebado gave the following updates:

- July 4th incident – very difficult day for everyone.
Will be meeting with Chief of Police for safety concerns moving forward.
- Four Movies in the Park – very successful.
- Project Summer Adventure Program – sold out.
- Summer Concert Series went very well.
- Pools – no issues or closing.
- Summer Basketball Camps 2 weeks – went very well.

- Splash Pad – continuing shut downs need to be address. (activator down all season)
- Skyhawks Sports Programs – went very well.
- Summer Staff was amazing- they did an excellent job.
- Simela and Zach did an amazing job as always.
- Labor Day Parade – went very well.
- Fall Programs – registrations started, and signups are going well.
- Borough's Loop Trail- Grand Opening
- Horrible Parade
- Scarecrow Contest
- Construction parking lot at Ghiloni
- New York Bus Trip
- Home for the Holidays – Mr. Thebado asked Commissioner Vital if AMSA students can volunteer to hand out popcorn.
- Mr. Thebado presented the Commission an Open Space and Recreation Plan Executive Summary.

The Commission thanked Mr. Thebado for his updates.

Old/New Business:

- MYBA communication to the Commission regarding their plan to construct a retaining wall on the backside of the batting cage area between Langelier and Martinangelo fields. This will help prevent runoff of material towards the wetland area near Lake Williams and will also keep the batting cage area even and level for the players in their program. This is critical step to keep the Williams Street facility as one of the top youth baseball facilities in the area.
- MYBA will handle the cost of the materials and installation of the retaining wall. The goal is to have the entire project completed this fall. As a supplement to this work, MYBA is also committed to purchasing new batting cage nets which will result in a complete upgrading of this area.

This information was communicated to Chris White of the Marlborough Department of Public Works.

On a motion made by Commissioner Vital and seconded by Commissioner Calder, it was unanimously:

VOTED: To accept MYBA proposal pending to Chris White's approval.

Motion to adjourn by Commissioner Vital and Second by Commissioner Calder.

All in favor. Motion carried.

Meeting adjourned at 6:10p.m.

Attest to:

Simela Perdikomatis
Senior Clerk/Commission Secretary