

CITY OF MARLBOROUGH MEETING POSTING

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CITY OF MARLBOROUGH
2023 MAR 23 PM 12:17

Meeting: **Planning Board**
Date: March 27, 2023
Time: **7:00 PM**
Location: Memorial Hall, 3rd Floor, City Hall, 140 Main Street, Marlborough, MA 01752

This meeting of the Planning Board will be held in Memorial Hall on Monday, March 27, 2023, at 7:00 PM.

PUBLIC ATTENDANCE IS PERMITTED

Agenda Items to be Addressed:

1. Draft Meeting Minutes

- A. March 13, 2023

2. Chair's Business

- A. Street Acceptance - No updates

3. Approval Not Required (None)

4. Public Hearings

- A. 689 Pleasant Street, Marlborough, MA 01752
Open Space Development Definitive Subdivision Plan
Owner of Land: Joyce Beauchemin Realty Trust, Timothy L. Beauchemin, Trustee
(P.O. Box 1067, Townsend, MA 01469)
Name of Engineer: Daniel Korvos, P.E., (59 Granite Lane, Chester, NH 03036)
Name of Surveyor: Hugo Findeisen, (P.O. Box 612 Sandown, NH 03873)
Deed Reference: Book: 45210 Page: 560
 - i. Form C-1, Form D and Form L
 - ii. Certified Abutters List
 - iii. Arborist Letter – Tree Tech, Inc.
 - iv. Waiver Correspondences
 - v. Engineering Review
 - vi. Conservation Commission Review
 - vii. Board of Health Review
 - viii. Plan Set
- Dated: February 6, 2023

5. Subdivision Progress Reports

- A. Goodale Estates – Jenks Lane
 - i. Mylar plans for endorsement
- B. 76 Broad Street
 - i. Correspondence from City Engineer, Thomas DiPersio

6. Preliminary/Open Space/Limited Development Subdivision

- A. Stow Road, Open Space Development Special Permit Application
Map 20, Parcel 4A, Stow Road, Marlborough, MA 01752
Name of Applicant: Kendall Homes, Inc. (P.O. Box 766, Southborough, MA 01772)
Name of Owner: McCabe Family Irrevocable Trust and Judith McCabe (6 Erie Drive, Hudson, MA 01749)
Name of Engineer: Connorstone Engineering, Inc. (10 Southwest Cutoff, Northborough, MA 01532)
Deed Reference: Book: 66136 Page: 582, Book: 78814 Page: 590
 - i. Plan Set
- Dated: December 2, 2022, Revised: February 9, 2023

CITY OF MARLBOROUGH MEETING POSTING

7. Definitive Subdivision (None)

8. Signs

- A. 405 Maple Street (Fazza Group, Inc.)
 - i. Application
 - ii. Denial letter, Ethan Lippitt, Code Enforcement Officer
 - iii. Proposed Sign

9. Correspondence (None)

10. Unfinished Business

- A. Working Group
 - i. Draft Memo - Sign Ordinance Variance Procedures

11. Calendar Updates

- A. Stow Road, Open Space Development Special Permit Application – 90 days expires Sunday, March 19, 2023, extension granted to April 27, 2023 - Vote on or before **April 24, 2023**, meeting
- B. Beauchemin Estates, 689 Pleasant Street Definitive Subdivision – 90 days expires Sunday May 14, 2023 – Vote on or before **May 8, 2023**, meeting

12. Public Notices of other Cities & Towns (None)

MINUTES
MARLBOROUGH PLANNING BOARD
MARLBOROUGH, MA 01752

1A

Call to Order

March 13, 2023

The Meeting of the Marlborough Planning Board was called to order at 7:00 pm in Memorial Hall, 3rd Floor City Hall, 140 Main Street, Marlborough, MA. Members present: Sean Fay, Barbara Fenby, James Fortin, William Fowler, Dillon LaForce, and George LaVenture. Meeting support provided by City Engineer, Thomas DiPersio. Members absent: Chris Russ.

Mr. Fay welcomed the two new Planning Board members James Fortin and Dillon LaForce.

1. Draft Meeting Minutes

A. February 27, 2023

On a motion by Dr. Fenby, seconded by Mr. LaVenture, the Board voted to accept and file the February 27, 2023, meeting minutes. Yea: Fay, Fenby, Fowler, and LaVenture. Nay: 0. Motion carried. 4-0. Abstained: Fortin and LaForce.

2. Chair's Business

A. Street Acceptance - No updates

3. Approval Not Required (None)

4. Public Hearings (None)

5. Subdivision Progress Reports

A. Goodale Estates – Jenks Lane – Bond Update

i. Correspondence from Thomas DiPersio

On a motion by Dr. Fenby, seconded by Mr. LaVenture, the board voted to accept and file the March 7, 2023, recommendation letter from City Engineer, Thomas DiPersio and to release the bond securing the Goodale Estates Subdivision from \$84,000.00 to \$0.00. Yea: Fay, Fenby, Fortin, Fowler, LaForce, and LaVenture. Nay: 0. Motion carried. 6-0.

6. Preliminary/Open Space/Limited Development Subdivision

A. Stow Road, Open Space Development Special Permit Application

Map 20, Parcel 4A, Stow Road, Marlborough, MA 01752

Name of Applicant: Kendall Homes, Inc. (P.O. Box 766, Southborough, MA 01772)

Name of Owner: McCabe Family Irrevocable Trust and Judith McCabe (6 Erie Drive, Hudson, MA 01749)

Name of Engineer: Connorstone Engineering, Inc. (10 Southwest Cutoff, Northborough, MA 01532)

Deed Reference: Book: 66136 Page: 582, Book: 78814 Page: 590

i. Request for Extension

Mr. LaVenture read the March 8, 2023, correspondence into the record.

On a motion by Dr. Fenby, second by Mr. LaVenture, the Board voted to accept and file the correspondence. Yea: Fay, Fenby, Fortin, Fowler, LaForce, and LaVenture. Nay: 0. Motion carried. 6-0.

On a motion by Dr. Fenby, seconded by Mr. LaVenture, the Board voted to grant the extension for the decision on the Open Space Special Permit Application for the Preliminary Subdivision on Stow Road (547 Stow Road) to April 27, 2023. Yea: Fay, Fenby, Fortin, Fowler, LaForce, and LaVenture. Nay: 0. Motion carried. 6-0.

ii. Correspondence from Vito Colonna

**MINUTES
MARLBOROUGH PLANNING BOARD
MARLBOROUGH, MA 01752**

7. Definitive Subdivision

- A. 689 Pleasant Street, Marlborough, MA 01752 – No Discussion
Open Space Development Definitive Subdivision Plan

Owner of Land: Joyce Beauchemin Realty Trust, Timothy L. Beauchemin, Trustee
(P.O. Box 1067, Townsend, MA 01469)
Name of Engineer: Daniel Korvos, P.E., (59 Granite Lane, Chester, NH 03036)
Name of Surveyor: Hugo Findeisen, (P.O. Box 612 Sandown, NH 03873)
Deed Reference: Book: 45210 Page: 560

8. Signs (None)

The Board discussed the Harbor Freight sign application for 230 East Main Street, that was on the February 27, 2023, agenda. The Administrator informed the Board the application was withdrawn, and that a permit has been issued through the Building Department for a smaller sign that is in full compliance with the sign ordinance.

Mr. Fay asked for the Fazza sign application for 405 Maple Street to be included on the March 27, 2023, agenda.

9. Correspondence (None)

10. Unfinished Business

- A. Working Group

- i. Draft Memo - Sign Ordinance Variance Procedures

Mr. LaVenture went over the language within the draft memo:

Due to the highly specific requirements for sign ordinance variances under 526.12.C.(2), the Planning Board requires that the applicant for a sign ordinance variance be the business owner or the responsible executive of the business requesting the variance. The applicant and/or their legal counsel will appear before the Planning Board at the agreed date and time to present their case for the variance. At a minimum the applicant must address:

- how they believe their proposed sign was not contemplated by the ordinance, and
- how enforcement of the existing ordinance requirements would involve practical difficulties, and
- how desirable relief might be granted without substantially derogating from the intent and purposes of the ordinance

Applicant must be specific in their responses as 526.12.C.(2) allows variances under these three conditions and none other.

Mr. LaVenture explained a representative for the sign vendor or installer may attend to address any issues of construction or installation that the Board may have.

- ii. Draft Sign Variance Application Edits

Mr. LaVenture went over the change under #5 and explained originally it listed [] Other as an option, which has been removed.

**MINUTES
MARLBOROUGH PLANNING BOARD
MARLBOROUGH, MA 01752**

Mr. LaVenture explained the Legal Department is reviewing the draft memo. Mr. Fay requested this item remain on the agenda for the March 27, 2023, meeting.

The Administrator suggested once the memo is approved, to include the memo with the application documents on the City's website. The Board agreed.

11. Calendar Updates

- A. Stow Road, Open Space Development Special Permit Application – 90 days expires Sunday, March 19, 2023 – Vote on or before **March 13, 2023**, meeting

Mr. Fay reminded the Board the Stow Road date has changed from March 19,2023 to April 27, 2023.

- B. Beauchemin Estates, 689 Pleasant Street Definitive Subdivision – 90 days expires Sunday May 14, 2023 – Vote on or before **May 8, 2023**, meeting

12. Public Notices of other Cities & Towns (None)

On a motion by Mr. Fortin, seconded by Mr. LaVenture, the Board voted to adjourn the meeting. Yea: Fay, Fenby, Fortin, Fowler, LaForce, and LaVenture. Nay: 0. Motion carried. 6-0.

Respectfully submitted,

George LaVenture/Clerk

/kmm

FORM C-1

APPLICATION FOR APPROVAL OF OPEN SPACE DEVELOPMENT PLAN

File one completed form with the Planning Board and one copy with the City Clerk in accordance with the requirements of 5A676-10.

Marlborough, Massachusetts

Note: Use as many sheets as necessary to fully describe all of the properties affected in this plan submission.

Date: January 31, 2023

To the Marlborough Planning Board:

The undersigned, herewith submits the accompanying Definitive Plan of Property located in the City of Marlborough for approval as a subdivision as allowed under the Subdivision Control Law and the Rules and Regulations governing the Subdivision of Land of the Planning Board in the City of Marlborough.

1. Name of Applicant: Timothy L. Beauchemin, Trustee - Joyce Beauchemin Realty Trust
Address: P.O. Box 1067, Townsend, MA 01469
Email: tbeauch56@gmail.com Telephone: (978) 804-0169

2. Name of Owner (if different): Same
Address:
Email: Telephone:

3. Name of Surveyor: Hugo Findeisen - Findeisen Survey & Design LLC
Address: P.O. Box 612, Sandown, NH 03873
Email: hugofindeisen@gmail.com Telephone: (603) 898-8516

4. Property(ies) Information
Deed References (South Middlesex Registry of Deeds): Bk 45210 Pg 560

Assessors Reference(s): Map: 28 Parcel: 18B
Map: Parcel:

Property Address(es): 689 Pleasant Street, Marlborough, MA

Property Description: A certain parcel of land with the buildings thereon, situated on Pleasant Street in Marlborough, Middlesex County, MA, shown as Parcel C on a plan of land entitled "Plan of Land in Marlborough, MA.

Prepared for Joyce L. Beauchemin, July 30, 1992" recorded with MSDRD as Plan No. 755 of 1992 in Bk 22385, Pg 456.

5. Length of proposed roadway: 460 feet

6. Special permit approved on: July 25, 2022 by the Planning Board (attached special permit to application).

Signature of Owner:
Print: Timothy L. Beauchemin, Trustee
Address: P.O. Box 1067, Townsend, MA 01469
Signature of Owner: [Handwritten Signature]
Print:
Address:

PLANNING BOARD
DATE 2/7/23 KL CHECK #538
AGENDA 2/13/23
ACTION

FORM D

PETITION FOR APPROVAL OF FINAL PLAN

File one completed form with the Marlborough Planning Board and a copy with the City Clerk in accordance with the requirements of §A676-10.

Date: January 31, 2023

Subdivision Name: Beauchemin Estates

Applicant(s): Timothy L. Beauchemin, Trustee
Joyce L. Beauchemin Realty Trust

To the Planning Board:

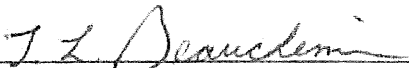
The undersigned petitioner desires to subdivide a parcel of land and to open in the City of Marlborough, as described on plot, ways or street for access to all lots of land within the parcel. Said parcel of land is described as follows:

All as more particularly described and bounded on a plot or plan filed herewith and made a part of this petition. The following are all of the mortgages and other liens or encumbrances on the whole or any part of the described property:

The undersigned hereby applies for the approval of said plan by the Planning Board. The undersigned hereby covenants and agrees with the City of Marlborough upon the approval of said plan:

- a. to complete the ways as finally approved by the Board within 2 years from the date hereof;
- b. to install utilities in accordance with the Rules and Regulations of the Planning Board, the Commissioner of Public Works, Board of Health, and all general as well as Zoning Ordinances of said City, as are applicable to the installation of utilities within the limits of ways or streets;
- c. to complete and construct the said streets or ways in accordance with Section II (General Requirements) and the approved plan, profile, and cross-sections of same. All to be in accordance with the specifications provided for in said Rules and Regulations of the Board. Said plans, profiles, cross-sections, and construction specifications are specifically, by reference, incorporated herein and made a part of this petition. This petition shall be binding upon all heirs, executors, administrators, successor, grantees of the whole or part, and assigns of the undersigned.

Signature of Applicant(s):



Print: Timothy L. Beauchemin

Print: _____

Print: _____

Print: _____

FORM D

PETITION FOR APPROVAL OF FINAL PLAN

Subdivision Name: Beauchemin Estates

Sheet No: 4 (Complete for each sheet of the subdivision plans as submitted)

- 1. Total area of original tract shown on this plan equals 5.44 acs. or 237,052 s.f.
 - a. Area in lots Nos. 1, 2, 3, etc. equals 97,479 s.f.
 - b. Area in streets A-B-C equals 23,835 s.f.
 - c. Area in easements equals 13,180 s.f.
 - d. Area reserved for parks, schools, etc., equals 115,738 s.f.
- Total area of Subdivision Lots equals 97,479 s.f. (Should equal (1a) above.)

- 2. Streets:
 - a. Street "A" : Station 0 + 00 to Station 4 + 60 Equals 23,835 square feet.
 - b. Street _____ : Station _____ + _____ to Station _____ + _____ Equals _____ square feet.
 - c. Street _____ : Station _____ + _____ to Station _____ + _____ Equals _____ square feet.
- Total Area of Streets equals 23,835 s.f. (Should equal (1b) above.)

- 3. Easements:
 - a. Easement Drainage Easement on Lot 6 Equals 8,089 s.f. square feet.
 - b. Easement Landscape Easement Equals 5,082 s.f. square feet.
 - c. Easement _____ Equals _____ square feet.
- Total Area of Easements equals 13,180 s.f. (Should equal (1c) above.)

- 4. Other Areas:
 - a. Park Area (locate) Parcel D - Open Space Equals 94,073 square feet.
 - b. School Area (locate) _____ Equals _____ square feet.
 - c. Other (define and locate) Parcels A, B & C Equals 21,665 square feet.
- Total remaining area equals 115,738 s.f. (Should equal (1d) above.)

(5) A grading plan with two-foot (2') contour intervals depicting existing and proposed topographic conditions for the entire subdivision including on and off-site easements. The City shall not accept any design or layouts unless based on an actual on-the-ground survey.

PLANNING BOARD
 DATE 2/7/23 KL
 AGENDA 2/13/23
 ACTION _____

FORM L

PLANNING BOARD APPLICATION – PRESENTATION PERMISSION FORM

File one completed form with the Planning Board and then file a copy with the City Clerk in accordance with the requirements of §A676-3.

Marlborough, Massachusetts

Date: January 31, 2023

To the Marlborough Planning Board:

I the undersigned, Applicant/Presenter have been given permission by the following property owners to present to the Marlborough Planning Board, the following submittal(s) for their consideration:

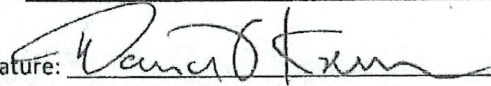
For a special permit:

- Preliminary Open Space Development Plan
- Preliminary Limited Development Subdivision Plan (LDS)

For endorsement/approval:

- Approval Not Required (ANR)
- (LDS)
- Preliminary Subdivision Plan
- Open Space Development Plan
- Definitive Subdivision Plan

1. Name of Applicant/Presenter: Daniel Koravos
 Address: 59 Granite Lane, Chester, NH 03036
 Email: dan@dke.llc Telephone: (603) 505-5226

Signature: 

2. Plan Description: Beauchemin Estates Definitive Subdivision Plan, located at 689 Pleasant Street. The project consists of a seven (7) lot residential open space development. Lot 7 is currently occupies by an existing dwelling and the remaining six (6) lots will be newly developed. Parcel D contains the open space which consists of approximately 2.2 acres.

3. Property Description:

Map: 28 Parcel: 18B
 Print: Timothy L. Beauchemin, Trustee

Deed Reference: Bk 45210 Pg 560
 Date: 01/31/2023

Signature of Owner: 

Map: _____ Parcel: _____
 Print: _____

Deed Reference: _____
 Date: _____

Signature of Owner: _____

Map: _____ Parcel: _____
 Print: _____

Deed Reference: _____
 Date: _____

Signature of Owner: _____

PLANNING BOARD
 DATE 2/7/23 KL
 AGENDA 2/13/23
 ACTION _____



City of Marlborough
Office of the Assessors
 140 Main Street
 Marlborough, Massachusetts 01752
 TDD (508) 460-3610
 Phone: (508) 460-3779
 Email: assessors_dept@marlborough-ma.gov

4A.ii
 FEB 1 2023 PM 4:23
 check # 130
 paid

COPY

Date of Application 01/30/2023

REQUEST FOR CERTIFIED LIST OF ABUTTERS

You are requesting a certified list of Abutters, please allow up to 10 business days for the preparation of this list. The fee schedule is \$30 per certified abutters list.
 *Please note that these fees apply to preparation of new list or verification or reverification of an existing list.

Parcel ID 28/18B///

Parcel ID _____

689 Pleasant Street

Location(s) of Property

Timothy L. Beauchemin

Joyce L. Beauchemin Realty Trust

Applicant Name (please print)

Property Owner Name

P.O. 1067

Townsend

01469

Mailing Address

City/Town

Zip

tbeauch56@gmail.com

(978) 804-0169

Email Address

Telephone

PLEASE NOTE: THIS ABUTTERS LIST IS VALID FOR THREE MONTHS
 Please indicate Radius with a check

- PLANNING
- ZONING
- LIQUOR LICENSE
- CONSERVATION COMMISSION
- HISTORICAL COMMISSION
- OTHER _____

- DIRECT & ACROSS ABUTTERS
- 100Ft.
- 300Ft.
- 400Ft.
- 500 Ft.
- OR _____ Ft.

T.L. Beauchemin
 Signature of Applicant

FOR ASSESSORS USE ONLY

PAID WITH THE APPLICATION

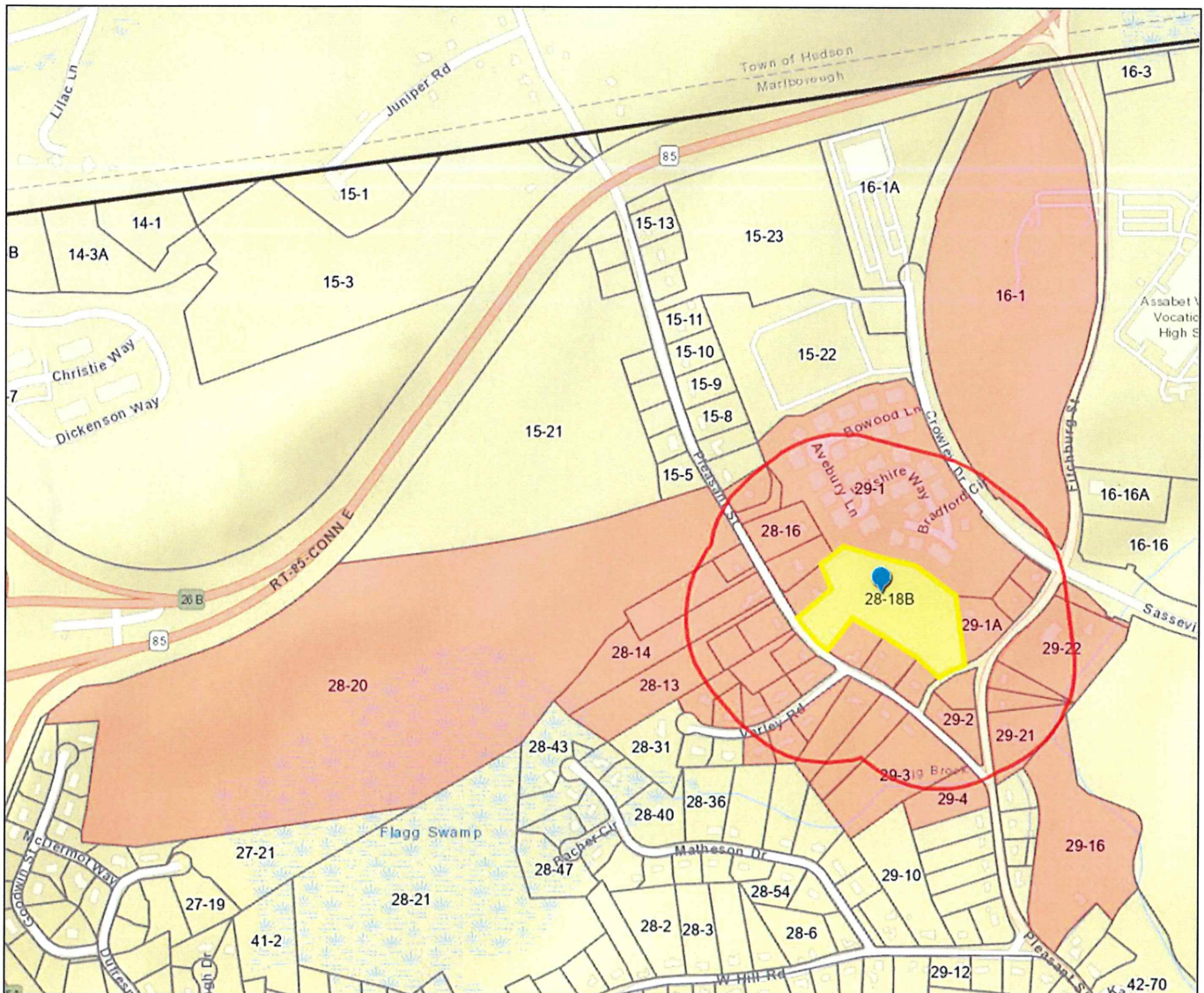
PICK UP AND OWES \$30

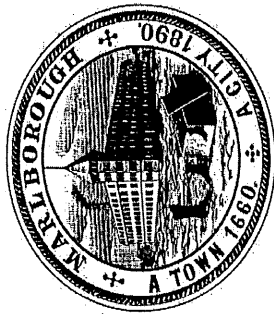


City of Marlborough
Office of the Assessors
140 Main Street
Marlborough, Massachusetts 01752
TDD (508) 460-3610
Phone: (508) 460-3779

ABUTTERS LIST MAP

(28-18B) 689 PLEASANT ST – PLANNING – 500 FT





City of Marlborough
 Office of the Assessors
 140 Main Street
 Marlborough, Massachusetts 01752
 TDD (508) 460-3610
 Phone: (508) 460-3779

CERTIFIED ABUTTERS LIST

(28-18B) 689 PLEASANT STREET: PLANNING 500 FT

PARCEL #	GIS NUMBER	CAMA #	PROPERTY ADDRESS	OWNER NAME	CO-OWNER	OWNER ADDRESS	O_CITY	O_STATE	O_ZIP	USE_CODE
15-12A	M_193914_901688	15-12A	745 PLEASANT ST	HIGGINS DONNA M		26 HEMLOCK DR	NORTHBOROUGH	MA	01532-1654	1010
15-12H	M_193907_901653	15-12H	PLEASANT ST	HIGGINS DONNA M		26 HEMLOCK DR	NORTHBOROUGH	MA	01532	1320
16-1	M_194275_901952	16-1	FITCHBURG ST	ASSABET VALLEY REGIONAL VOC HIGH SCHOOL		215 FITCHBURG ST	MARLBOROUGH	MA	01752	9460
28-10A	M_193997_901439	28-10A	9 VARLEY RD	SHANAHAN CATHERINE M	THOMAS J SHANAHAN	9 VARLEY RD	MARLBOROUGH	MA	01752	1010
28-12	M_193972_901465	28-12	684 PLEASANT ST	JOSEPH ZACHARIAH	JOSEPH JAYAMOL	684 PLEASANT ST	MARLBOROUGH	MA	01752	1010
28-12A	M_193914_901440	28-12A	0 PLEASANT ST	TYLER HOLDINGS LLC		710 PLEASANT ST	MARLBOROUGH	MA	01752	1320
28-13	M_193736_901390	28-13	PLEASANT ST	CLARK LEWIS F JR		710 PLEASANT ST	MARLBOROUGH	MA	01752	1320
28-13A	M_193888_901475	28-13A	PLEASANT ST	FERRO CHRISTINE TR	CLARK FAMILY REALTY TRUST	53 EDINBORO ST	MARLBOROUGH	MA	01752	1320
28-14	M_193795_901480	28-14	710 PLEASANT ST	CLARK LEWIS F JR		710 PLEASANT ST	MARLBOROUGH	MA	01752	1010
28-14A	M_193833_901551	28-14A	734 PLEASANT ST	PIPPIN KIMBERLY A	GEORGIANA M GOODMAN	734 PLEASANT ST	MARLBOROUGH	MA	01752	1010
28-14B	M_193892_901590	28-14B	0 PLEASANT ST	CLARKE LEWIS F JR		732 PLEASANT ST	MARLBOROUGH	MA	01752	1320
28-15	M_193934_901503	28-15	688 PLEASANT ST	CLARK LEWIS F JR		710 PLEASANT ST	MARLBOROUGH	MA	01752	1010
28-16	M_193958_901634	28-16	733 PLEASANT ST	LACHAPELLE ROBERT D	DIANE L LACHAPELLE	733 PLEASANT ST	MARLBOROUGH	MA	01752	1010
28-17	M_193958_901578	28-17	715 PLEASANT ST	LIACOPULOS PETER G	PATRICIA LIACOPULOS	715 PLEASANT ST	MARLBOROUGH	MA	01752	1010
28-18	M_194058_901480	28-18	669 PLEASANT ST	GUZ ERIC J	PAULA J TURGEON	669 PLEASANT ST	MARLBOROUGH	MA	01752	1010
28-18A	M_193993_901552	28-18A	705 PLEASANT ST	DEVONA CHRISTINE A	CHRISTOPHER S DEVONA	705 PLEASANT ST	MARLBOROUGH	MA	01752	1010
28-19	M_194104_901455	28-19	663 PLEASANT ST	FIELDS JANET	ADAM FILEDS	663 PLEASANT ST	MARLBOROUGH	MA	01752	1010
28-20	M_193408_901437	28-20	PLEASANT ST	COMMONWEALTH OF MASSACHUSETTS	DEPARTMENT OF FISH & GAME	251 CAUSEWAY ST STE 400	BOSTON	MA	02114	9210
28-22	M_193956_901411	28-22	25 VARLEY RD	LALONDE MICHAEL C	SHARON M LINK	25 VARLEY RD	MARLBOROUGH	MA	01752	1010
28-23	M_194007_901391	28-23	16 VARLEY RD	MCLAREN MICHAEL P	LIANA R MCLAREN	16 VARLEY RD	MARLBOROUGH	MA	01752	1010
28-24	M_193965_901346	28-24	32 VARLEY RD	CHERRY DONNA A TR	ROBERT W ZOMPA TR	32 VARLEY RD	MARLBOROUGH	MA	01752	1010
28-25	M_193926_901335	28-25	42 VARLEY RD	MIFARREG MARCELO		42 VARLEY RD	MARLBOROUGH	MA	01752	1010
28-27	M_193920_901392	28-27	39 VARLEY RD	MITRAKAS KATHLEEN L		39 VARLEY RD	MARLBOROUGH	MA	01752	1010

28-29	M_193886_901391	28-29	43 VARLEY RD	OSSING MICHAEL H	LINDA J OSSING	43 VARLEY RD	MARLBOROUGH	MA	01752	1010
28-30	M_193880_901429	28-30	61 VARLEY RD	DESAI CHIRAG		61 VARLEY RD	MARLBOROUGH	MA	01752	1010
28-9	M_194005_901333	28-9	664 PLEASANT ST	GASPARONI RICHARD P	LEE CHRISTINE GASPARONI	664 PLEASANT ST	MARLBOROUGH	MA	01752	1010
28-9A	M_194063_901344	28-9A	650 PLEASANT ST	KYLE MARCUS VIGEANT	KEARA LYNN VIGEANT	650 PLEASANT ST	MARLBOROUGH	MA	01752	1010
29-1	M_194103_901691	29-1-10-35	10 BOWOOD LN #35	DURELL MARK E & MAIN JOAN C TRUSTEES	JOAN CAROL MAIN TRUST	10 BOWOOD LN #35	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-10-58	10 WILSHIRE WAY #58	VARTERESIAN ROBERT E TR	ANNE M VARTERESIAN TR	10 WILSHIRE WAY #58	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-11-27	11 AVEBURY LN #27	GOMEZ LAWRENCE F & MEANY VIRGINIA M - TRUSTEES	11 AVEBURY LAINE REALTY TRUST	11 AVEBURY LN	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-11-51	11 BOWOOD LN #51	PETTENGILL GRAHAM F	JOANNA B PETTENGILL	11 BOWOOD LN #51	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-12-36	12 BOWOOD LN #36	ST JEAN ROGER J TR	PATRICIA E ST JEAN TR	12 BOWOOD LN #36	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-12-59	12 WILSHIRE WAY #59	FRALEIGH RUSSELL V TR	JILL K FRALEIGH TR	12 WILSHIRE WAY #59	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-1-31	1 AVEBURY LN #31	BRANGIFORTE JAMES A TR	JACQUELINE BRANGIFORTE TR	1 AVEBURY LN #31	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-13-13	13 WILSHIRE WAY #13	JEWETT GREGORY TR		13 WILSHIRE WAY #13	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-13-4	13 BRADFORD CIR #4	PYE JANE	WILLIAM PYE	13 BRADFORD CIR #4	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-13-50	13 BOWOOD LN #50	MASON JEFFREY E	DIANE E MASON	13 BOWOOD LN #50	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-14-37	14 BOWOOD LN #37	LEW GEORGE D	KATHERINE O LEW	14 BOWOOD LN #37	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-14-60	14 WILSHIRE WAY #60	NUTE RAY W TR	DEBORAH C NUTE TR	14 WILSHIRE WAY #60	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-15-12	15 WILSHIRE WAY #12	IRWIN JAMES	LAURA IRWIN	15 WILSHIRE WAY #12	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-15-26	15 AVEBURY LN #26	MORENO GONZALO JR	LAURA GUTIERREZ	15 AVEBURY LN #26	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-15-3	15 BRADFORD CIR #3	BORENSTEIN OSCAR	NATALIA BORENSTEIN	15 BRADFORD CIR #3	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-17-11	17 WILSHIRE WAY #11	PUGLIESE DOROTHY		17 WILSHIRE WAY #1	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-17-2	17 BRADFORD CIR #2	MARCINUK WAYNE S	JIN SOOK KIM	17 BRADFORD CIR #2	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-17-25	17 AVEBURY LN #25	BUCKLEY JOSEPH E JR	MAUREEN W BUCKLEY	17 AVEBURY LN #25	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-1-8	1 BRADFORD CIR #8	DANIEL DANA	ELIZABETH B	1 BRADFORD CIR #8	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-18-38	18 BOWOOD LN #38	GAUVIN RICHARD S	KAREN A GAUVIN	18 BOWOOD LN #38	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-18-61	18 WILSHIRE WAY #61	LI HONG	PING LIU	18 WILSHIRE WAY #61	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-19-1	19 BRADFORD CIR #1	BENSON-WINBUSH BARBARA JEAN	BRIAN A BENSON	19 BRADFORD CIR #1	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-19-24	19 AVEBURY LN #24	REISS PAUL D	CHRISTINE P CHAN	19 AVEBURY LN #24	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-19-49	19 BOWOOD LN #49	LANE WILLIAM H JR	ANNAMARIA LANE	19 BOWOOD LN #49	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-20-39	20 BOWOOD LN #39	ZICKUS SUSAN J TR	ZICKUS NOMINEE REALTY TRUST	20 BOWOOD LN #39	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-20-62	20 WILSHIRE WAY #62	ROCHE NANCY D LI EST		20 WILSHIRE WAY #62	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-21-48	21 BOWOOD LN #48	MYERS BETTY		21 BOWOOD LN #48	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-22-40	22 BOWOOD LN #40	SELIGMAN DIANE		22 BOWOOD LN #40	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-22-63	22 WILSHIRE WAY #63	EVANS MAUREEN A TR	MAUREEN A EVANS 2014 TRUST	22 WILSHIRE WAY #63	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-2-32	2 BOWOOD LN #32	CHU REN PAO	DAOHONG SHEN	2 BOWOOD LN #32	MARLBOROUGH	MA	01752	1020

29-1	M_194103_901691	29-1-23-23	23 AVEBURY LN #23	BENOIT CARRIE ANN TR	ROSEANNA M STORMES TR	23 AVEBURY LN #23	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-23-47	23 BOWOOD LN #47	EISENSTOCK MARC L TRUSTEE	DEBRA M EISENSTOCK TRUSTEE	23 BOWOOD LN #47	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-25-22	25 AVEBURY LN #22	BERESFORD DAVID	MARGARET BERESFORD	25 AVEBURY LN #22	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-2-55	2 WILSHIRE WAY #55	SALVO TINA M	LAWRENCE J SALVO	2 WILSHIRE WAY #55	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-26-41	26 BOWOOD LN #41	SAVAS IRENE E - TRUSTEE	IRENE E SAVAS REVOCABLE TRUST	26 BOWOOD LN #41	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-26-64	26 WILSHIRE WAY #64	BASMAJI JEAN	ROWAIDA BASMAJI	26 WILSHIRE WAY #64	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-27-46	27 BOWOOD LN #46	KOSMICKI ELLEN T		27 BOWOOD LN #46	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-28-42	28 BOWOOD LN #42	TARR BRYANT	KATHY L TARR	28 BOWOOD LN #42	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-28-65	28 WILSHIRE WAY #65	ATWOOD EUNICE		28 WILSHIRE WAY #65	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-29-21	29 AVEBURY LN #21	TURTON JANE AMANDA	JANICE FAY TURTON	29 AVEBURY LN #21	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-29-45	29 BOWOOD LN #45	WELWITIGODA LESLIE D	KUMARI T WELWITIGODA	29 BOWOOD LN #45	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-30-43	30 BOWOOD LN #43	KRAMER HOWARD TR	RENEE KRAMER TR	30 BOWOOD LN #43	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-30-66	30 WILSHIRE WAY #66	HILL WILLIAM M TR	LISA J HILL TR	30 WILSHIRE WAY #66	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-31-20	31 AVEBURY LN #20	HARRIS JANE A TR		31 AVEBURY LN #20	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-31-44	31 BOWOOD LN #44	HAMILTON HELEN E TR	HAMILTON REVOCABLE TRUST	31 BOWOOD LN #44	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-3-30	3 AVEBURY LN #30	MAILLET ALDERICE	ANNE MARIE MAILLET	3 AVEBURY LN #30	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-33-19	33 AVEBURY LN #19	DARSCH CHARLES	ELLEN DARSCH	33 AVEBURY LN #19	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-34-67	34 WILSHIRE WAY #67	ONEILL MICHAEL J TR	JACQUELINE L ONEIL TR	34 WILSHIRE WAY #67	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-3-54	3 BOWOOD LN #54	OSHEA CHRISTINE M TR	STEPHEN W OTOOLE TR	3 BOWOOD LN #54	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-36-68	36 WILSHIRE WAY #68	NUSSBAUM ALAN W		36 WILSHIRE WY #68	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-3-7	3 BRADFORD CIR #7	LODI RICHARD A	PAMELA LODI	3 BRADFORD CIR #7	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-37-10	37 WILSHIRE WAY #10	MCKENNA JAMES P TR	ELAINE R MCKENNA TR	37 WILSHIRE WAY #10	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-37-18	37 AVEBURY LN #18	SOLO LEONARD J TR	DEANNA L SOLO TR	37 AVEBURY LN #18	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-38-69	38 WILSHIRE WAY #69	BRADLEE FREDERICK A TR	DOROTHY E BRADLEE TR	38 WILSHIRE WAY #69	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-39-17	39 AVEBURY LN #17	NAIGLES DAVID HOWARD	GEULA NAIGLES	39 AVEBURY LN #17	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-39-9	39 WILSHIRE WAY #9	NELSON KAREN J TR	KAREN J NELSON FAMILY TRUST	39 WILSHIRE WAY #9	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-41-16	41 AVEBURY LN #16	MILKOWSKI GARY R	SHARRON K MILKOWSKI	41 AVEBURY LN #16	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-4-33	4 BOWOOD LN #33	CALDWELL BETTY		4 BOWOOD LN #33	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-4-56	4 WILSHIRE WAY #56	JAKUBASZEK SUSAN J		4 WILSHIRE WAY #56	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-5-53	5 BOWOOD LN #53	BOLAND WAYNE D	ROSE MARIE BOLAND	5 BOWOOD LN #53	MARLBOROUGH	MA	01752	1020
29-16	M_194561_901207	29-16	541 PLEASANT ST	SAMPAIO ALEXANDRE C		541 PLEASANT ST	MARLBOROUGH	MA	01752	1010
29-1	M_194103_901691	29-1-6-34	6 BOWOOD LN #34	NORRIS JOHN L	VIVIANNE J NORRIS NICOLE M NORRIS	6 BOWOOD LN #34	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-6-57	6 WILSHIRE WAY #57	HARE JAGIR KAUR		6 WILSHIRE WAY #57	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-7-15	7 WILSHIRE WAY #15	LACROIX DENNIS	MARY LACROIX	7 WILSHIRE WAY #15	MARLBOROUGH	MA	01752	1020

29-1	M_194103_901691	29-1-7-29	7 AVEBURY LN #29	JACKSON STEPHEN R	BARBARA J JACKSON	7 AVEBURY LN #29	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-7-6	7 BRADFORD CIR #6	FULLERTON GAIL AMES TR	GAIL AMES FULLERTON 2007 TRUST	7 BRADFORD CIR #6	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-9-14	9 WILSHIRE WAY #14	VERMA ATUL	VERMA NEENA	9 WILSHIRE WAY UNIT 14	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-9-28	9 AVEBURY LN #28	HENDERSON PETER	SUSAN HENDERSON	9 AVEBURY LN #28	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-9-5	9 BRADFORD CIR #5	ALLEN RICHARD L TR	SUSAN H SHERWIN-ALLEN TR	9 BRADFORD CIR #5	MARLBOROUGH	MA	01752	1020
29-1	M_194103_901691	29-1-9-52	9 BOWOOD LN #52	WANG LIYAN	WEI WENG	9 BOWOOD LN #52	MARLBOROUGH	MA	01752	1020
29-1A	M_194229_901506	29-1A	48 FITCHBURG ST	AZADZOI ARRASH	KATHERINE AZAD	48 FITCHBURG ST	MARLBOROUGH	MA	01752	1010
29-2	M_194172_901388	29-2	633 PLEASANT ST	KUETTNER JOHN	ANH TO KUETTNER	633 PLEASANT ST	MARLBOROUGH	MA	01752	1010
29-21	M_194285_901356	29-21	17 FITCHBURG ST	AMVETS POST 1980		17 FITCHBURG ST	MARLBOROUGH	MA	01752	9541
29-21A	M_194282_901427	29-21A	39 FITCHBURG ST	ANDERSON MARY T	RALPH W ANDERSON	39 FITCHBURG ST	MARLBOROUGH	MA	01752	1010
29-21B	M_194278_901403	29-21B	27 FITCHBURG ST	SILVA ANDERSON F		27 FITCHBURG ST	MARLBOROUGH	MA	01752	1010
29-22	M_194345_901475	29-22	67 FITCHBURG ST	MARLBOROUGH LODGE NO 1129	LOYAL ORDER OF MOOSE INC	P O BOX 657	MARLBOROUGH	MA	01752	9541
29-27	M_194372_901539	29-27	FITCHBURG ST	MARLBORO LODGE # 1129	LOYAL ORDER OF MOOSE INC	PO BOX 657	MARLBOROUGH	MA	01752	9510
29-2A	M_194200_901416	29-2A	36 FITCHBURG ST	FRIAS STEVEN		36 FITCHBURG ST	MARLBOROUGH	MA	01752	1010
29-3	M_194108_901302	29-3	638 PLEASANT ST	PAKUS CRUCIFINA F LI EST		638 PLEASANT ST	MARLBOROUGH	MA	01752	1010
29-30	M_194141_901428	29-30	647 PLEASANT ST	CAMPBELL LINDA A		647 PLEASANT ST	MARLBOROUGH	MA	01752	1010
29-31	M_194273_901541	29-31	64 FITCHBURG ST	CROFT ANDREW	N/O ANDREW & KATELYN CROFT	64 FITCHBURG ST	MARLBOROUGH	MA	01752	1010
29-32	M_194297_901571	29-32	76 FITCHBURG ST	GOMES DANILO		76 FITCHBURG ST	MARLBOROUGH	MA	01752	1010
29-4	M_194213_901283	29-4	PLEASANT ST	HANNA TIMOTHY K		153 PROSPECT ST	FRAMMINGHAM	MA	01701	1300

This is to certify that the owners listed above are as shown in the latest Assessors records.

John H. Valade

JOHN VALADE, PRINCIPAL ASSESSOR

2/3/2023

Date



January 31, 2023

Timothy L. Beauchemin, Trustee
JOYCE BEAUCHEMIN REALTY TRUST
P.O. Box 106
Townsend, MA 01469

Re: Tree Preservation and Protection Plan, 689 Pleasant St, Marlboro MA

Tim

As requested, I have inspected the trees at the proposed development at the above-mentioned location. Based on Marlboro's Planning Board, Subdivision Regulations regarding tree preservation and the site plan provided by DK Engineering, the following are my observations and recommendations resulting from our recent site visit.

All viable trees 12" DBH and over within the property boundaries and outside of the wetlands have been marked with green tape around the trunks. These trees possess the following qualities.

- Strong health and vigor
- Native trees resistant to insect and disease problems and are more tolerant of construction related stress.

Trees greater than 12" DBH that have not been marked with tape, have not been for the following reasons.

- The species is of poor quality, has short life span or is vulnerable to insect and disease issues.
- Trees possessing decay and other structural deficiencies (poor crotch development or limb attachment that would be considered high risk.
- Species that are not tolerant of construction stress, drought and other disturbances.
- Trees that have significant lean and poor crown development due to excessive competition.

NOTE: Some trees marked for preservation may be in areas unsuitable for preservation.

TREE PRESERVATION AND PROTECTION SPECIFICATIONS

This applies to 12" and greater DBH trees that are not within construction of roadways, homes, and other infrastructure that would be detrimental to tree health and more important the compromising of "anchoring" roots.

Pre-Construction

- Protect critical root zone outward from trunk as close to the dripline as possible.
- Protection should include the erection of a barrier preferably temporary fencing consisting of chain link. This barrier is to restrict equipment from entering the critical root zone which can damage roots, cause soil compaction or do both.
- Critical root zone (within barrier) should be covered with 3-4" of wood chips or mulch to help retain moisture, improve soil condition and prevent unnecessary soil compaction.
- No materials to be stored on protected areas.
- Deep root liquid fertilize trees with "bio-stimulant" to improve vigor.
- Irrigation (manual or automated) should have the root zones deep watered during extended periods of dry conditions. Amount of water equivalent to 1" per week.
- Protected trees to be monitored periodically for health by Certified Arborist to assess health and address potential problems.

Post Construction:

- Prune dead, broken or undesirable limbs to improve safety and health
- Deep root liquid fertilize protected trees to help alleviate construction stress and improve root regeneration with bio-stimulant.

Please let me know if you have any questions or need more information. A map identifying the trees to remain to follow.

Andy Felix
Massachusetts Certified Arborist, 1355

February 6, 2023
JN: 42103

Planning Board
City of Marlborough
135 Neil Street
Marlborough, MA 01752

RE: Beauchemin Estates – 689 Pleasant Street
Street Width Waiver Request

To The Board:

On behalf of our client, Joyce Beauchemin Realty Trust, we respectfully request a waiver from Article IV. Section §676-12.C.(1) Width of Streets as presented in the City of Marlborough, MA Ecode360. The required right-of-way width for a secondary street is fifty (50) feet. We respectfully request a reduction to forty (40) feet. The reason for the request is due to the limited area between the abutting property to the north and the wetland area to the south of the proposed road.

Please note that granting this waiver would not set a precedent. Other developments in the past, including Goodale Estates and Howe's Landing were approved with a forty (40) foot right-way. Also, the proposed roadway would only service six (6) lots and cannot be extended.

Thank you for your consideration.

Sincerely,



Daniel Koravos, P.E.
DK Engineering LLC

February 6, 2023
JN: 42103

Planning Board
City of Marlborough
135 Neil Street
Marlborough, MA 01752

RE: Beauchemin Estates – 689 Pleasant Street
Sidewalk Length Reduction Waiver Request

To The Board:

On behalf of our client, Joyce Beauchemin Realty Trust, we respectfully request a waiver from Chapter A676 Subdivision Regulations §676-26.A. Sidewalks. Which states, “Unless otherwise specified by the Planning Board, the sidewalks shall extend the full length of each side of the street”. We respectfully request a reduction in the length of the sidewalk by eliminating the sidewalk in Parcel C on the north side of the proposed roadway.

The reason for the request is due to the limited area between the abutting property to the north and the proposed roadway. Within that area, there will be landscaping for screening, a drainage swale, joint utility trench, a headwall and depression for the proposed culvert to mitigate the ponding on the abutting lot.

If granted, on the north side of the proposed roadway, the sidewalk would begin at the property line for Lot 1 and extend all around to the intersection with Pleasant Street. Also, a crosswalk would be provided across the new road.

Thank you for your consideration.

Sincerely,



Daniel Koravos, P.E.
DK Engineering LLC



City of Marlborough
Department of Public Works

135 NEIL STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL. 508-624-6910
*TDD 508-460-3610

4A.v

SEAN M. DIVOLL, P.E.
COMMISSIONER

March 23, 2023

Marlborough Planning Board

RE: Definitive Subdivision Plan
"Beauchemin Estates" definitive subdivision, Pleasant Street

Chair Fay and Board Members,

The Engineering Division has conducted a review of the Definitive Subdivision Plans entitled: "Open Space Development Definitive Plan, Beauchemin Estates, a Single Family Development in Marlborough, Massachusetts", Dated: February 6, 2023.

Our review comments are as follows:

General comments:

- The plan set should include a "Tree Preservation and Protection Plan" as required in section A676-22 of the Subdivision Regulations. The existing trees on the property have been located and are shown on the Existing Conditions Plan, but the other requirements of the Tree Preservation and Protection Plan are not provided.
- The proposed right of way is 40 feet wide. This width requires a waiver of the Subdivision Regulations. Note that this waiver was granted for the recent Open Space Subdivisions off Hudson Street and Goodale Street.
- The proposed roadway shall be named for a deceased Marlborough veteran. The next name on the City's list will be provided.

Cover Sheet:

- General Note 1 does not apply and should be removed.
- Construction Notes 7 & 8 are the same.
- Construction Note 9 should refer to the Rules & Regulations for Licensing & Street Opening.
- Construction Note 18 should reference the requirement for encasing the main in concrete in the DPW Regulations.

Sheet 3 Existing Conditions Plan:

- The legend or a note should indicate what the different tree symbols are.
- Show the limits of the various soil types noted.

Sheet 4 Definitive Subdivision Plan:

- The Plan should note the disposition of “Parcels A, B, C, and D”, and state that these parcels “Are not to be considered separate building lots”.
- Granite bounds should be set at the corners of the Open Space parcel.
- Note 1 should read “7 lots, 3 parcels and an open space”.
- The proposed stop sign and stop bar, and the note regarding proposed chain link fence, should be removed from this sheet.
- There are two buffers that should be shown along the property lines abutting the residential properties.
- The northern right-of-way rounding at Pleasant Street appears to be non-tangent. If so, this should be noted.

Sheet 5 Grading Plan:

- Show proposed pedestrian curb ramps at the intersection of Pleasant Street.
- Label sidewalk with proposed material and width.
- The proposed roadway profile is such that it will collect runoff from Pleasant Street – was this accounted for in the stormwater system design?

Sheet 6 Erosion Control Plan:

- This plan should depict road construction and initial lot preparation. The proposed houses should not be shown, as the individual lot construction will require future site plans to be submitted for approval.
- Show temporary sedimentation basin location(s) for construction-phase erosion control.
- A vehicle tracking pad should be shown at the site entrance.
- All proposed erosion control measures should be called out in bold as the Proposed Treeline/Limit of Clearing is.
- Show limit of proposed “Temporary Loam Stockpile” area and show erosion controls around it. Will this be the only proposed stockpile area?

Sheet 7 Drainage Plan:

- Label the swale from FES-2 to Low Flow Channel and indicate its slope.
- Construction details for the detention basin components should be provided (berm section, sediment forebay, outlet pipe, spillway, low flow channel, planting).
- The low flow channel should run from the end of the swale to the outlet pipe.

Sheet 8 Plan & Profile/Utility Sheet:

- The proposed sewer force main will remain private. Future maintenance and repairs will be the responsibility of the homeowners. A homeowner’s association or other legal agreement will have to be created for this purpose. A note should be added to the plan stating this.
- The proposed force main should be 2” for the whole main
- Per the Special Permit conditions, a (gravity) sewer service stub should be installed for the abutting property at 705 Pleasant Street. Its location should be coordinated with that property owner.

Sheet 10 Erosion Control Detail Sheet:

- Note 10.B refers to Babbit Road.
- Note 11. General construction sequence should reflect this project’s sequencing.

Sheet 11 Roadway Detail Sheet:

- The typical road cross section should include pavement width and right-of-way width.

I will be at your meeting on March 27 and can discuss these comments at that time. In the meantime if you have any questions regarding the above, please do not hesitate to contact me.

Sincerely,

Handwritten signature of Thomas DiPersio, Jr. in blue ink.

Thomas DiPersio, Jr., PE, PLS
City Engineer

Copy: DK Engineering LLC



City of Marlborough Conservation Commission

140 Main Street
Marlborough, Massachusetts 01752
Tel. (508) 460-3768 Facsimile (508) 460-3747

Edward Clancy – Chairman
Allan White
David Williams
Dennis Demers
John Skarin
Karin Paquin
William Dunbar
Priscilla Ryder Conservation Officer

March 7, 2023

Sean Fay, Chair
Planning Board
City Hall
Marlborough, MA 01752

RE: 689 Pleasant St. Open Space Development Definitive Subdivision Plan-
Beauchemin Estates

Dear Chair and Members:

At its meeting on March 2, 2023, the Conservation Commission reviewed the subdivision plans titled:

“Open Space Development Definitive Subdivision Plan - Beauchemin Estates, a Single-Family Development In Marlborough MA” Stamped by Daniel Koravos of D.K. Engineering, dated 2/6/23 – sheets 1-16.

and have the following comments:

Overall, the plans have addressed the comments provided to you last year on the preliminary plans including:

1. The 30’ wetland no disturb zone has been shown on the plans and the detention basin is shown outside the open space parcel as required.
2. The 2.2+ acres of open space are an important wetland that feeds Flagg Brook and then Ft. Meadow Reservoir. Providing ample protection to this wetland will in turn help to preserve Ft. Meadow. Therefore, this Open Space parcel would be acceptable for open space. The Commission notes that normally we don’t encourage these isolated pockets of open space as they become difficult to maintain etc. But in this situation, it can be protected for its wetland and habitat value and not necessarily for public use or trail access. With climate change and warmer temperatures our wetlands and woodlands will need to work harder to keep the air cooler and provide habitat and shade to wetland dependent critters.
3. As with other Open Space Development subdivisions, the Commission recommends that the proposed open space parcel be conveyed to the city of Marlborough for conservation and open space protection purposes. As has been done for all other open space developments \$5,000 should be requested to be deposited to the city’s

conservation maintenance fund for future maintenance of this site. The applicant also has the option to have the land held by a homeowner's association as outlined in the ordinance, if they so choose. However, the Commission prefers that the land be held by the city and managed by the Conservation Commission.

4. A new condition we recommend be considered, is that before conveyance and acceptance of the Open Space by the City Council, the parcel be inspected for trees along the boundaries to the new homes or roadway that may be hazardous and have them removed at the subdivision owners' expense. Over the years the city has been responsible for removal of trees along the open edges on newly acquired open spaces and have incurred the cost of removal to protect the new homes/ roadway. This would avoid that problem
5. Who will own Parcel A when the subdivision is completed? This is an isolated lot containing the detention basin. It will be important for future tax assessment for this parcel to be tied to a house lot so that it can have an owner once the subdivision developer has left the project.
6. In regard to the design guidelines, the Commission finds that the proposed project satisfies those criteria: Specifically, this open space development will:
 - a. Protects scenic views along the wetland by saving trees and woodland.
 - b. Provide protection to the Flagg Brook watershed and maintains this important wildlife corridor along the brook.
 - c. Consolidate the open space as one large, contiguous unit.
 - d. The elements of the site plan are arranged favorably with existing natural features so as to minimize soil removal, tree cutting and general disturbance of the site.
 - e. Provide protection to the wetland in the area by allowing for a much wider natural vegetated area along the stream corridor, eliminating a stream crossing and protecting the wooded area from future development.
7. Wetland Filing: The roadway and drainage work and three of the houses lots will fall within the 100' buffer zone, therefore wetland permits for these activities will need to be filed with the Conservation Commission. Several Commission members wanted it to be noted that as the lots get closer to the wetlands, keeping the wetlands protected becomes increasingly more difficult and the need for enforcement is greater. Subdivisions on the remaining marginal lots in the city will continue to be a challenge.

Thank you for providing the Commission an opportunity to comment. If you have any questions, please let us know.

Sincerely,
On Behalf of the Conservation Commission

Priscilla Ryder
Conservation Officer

e-mail: Tom DiPersio, City Engineer; Tin Htway, Building Commissioner; Conservation Commission

From: Katlyn LeBold
Sent: Tuesday, March 21, 2023 11:57 AM
To: Katlyn LeBold
Subject: 689 Pleasant Open Space

From: John Garside <jgarside@marlborough-ma.gov>
Sent: Wednesday, February 22, 2023 5:14 PM
Subject: RE: 689 Pleasant Open Space

Hi Katlyn,

The Board of Health has no objections to the approval of this Definitive Subdivision plan upon engineering review of the drainage and sewer designs (we did wonder however, why grinder pumps are being used when it appear that all the homes but lot 6 could reach the sewer in the pleasant street by way of gravity).

Thanks,

-John

BEAUCHEMIN ESTATES

A SINGLE FAMILY DEVELOPMENT
IN
MARLBOROUGH, MASSACHUSETTS

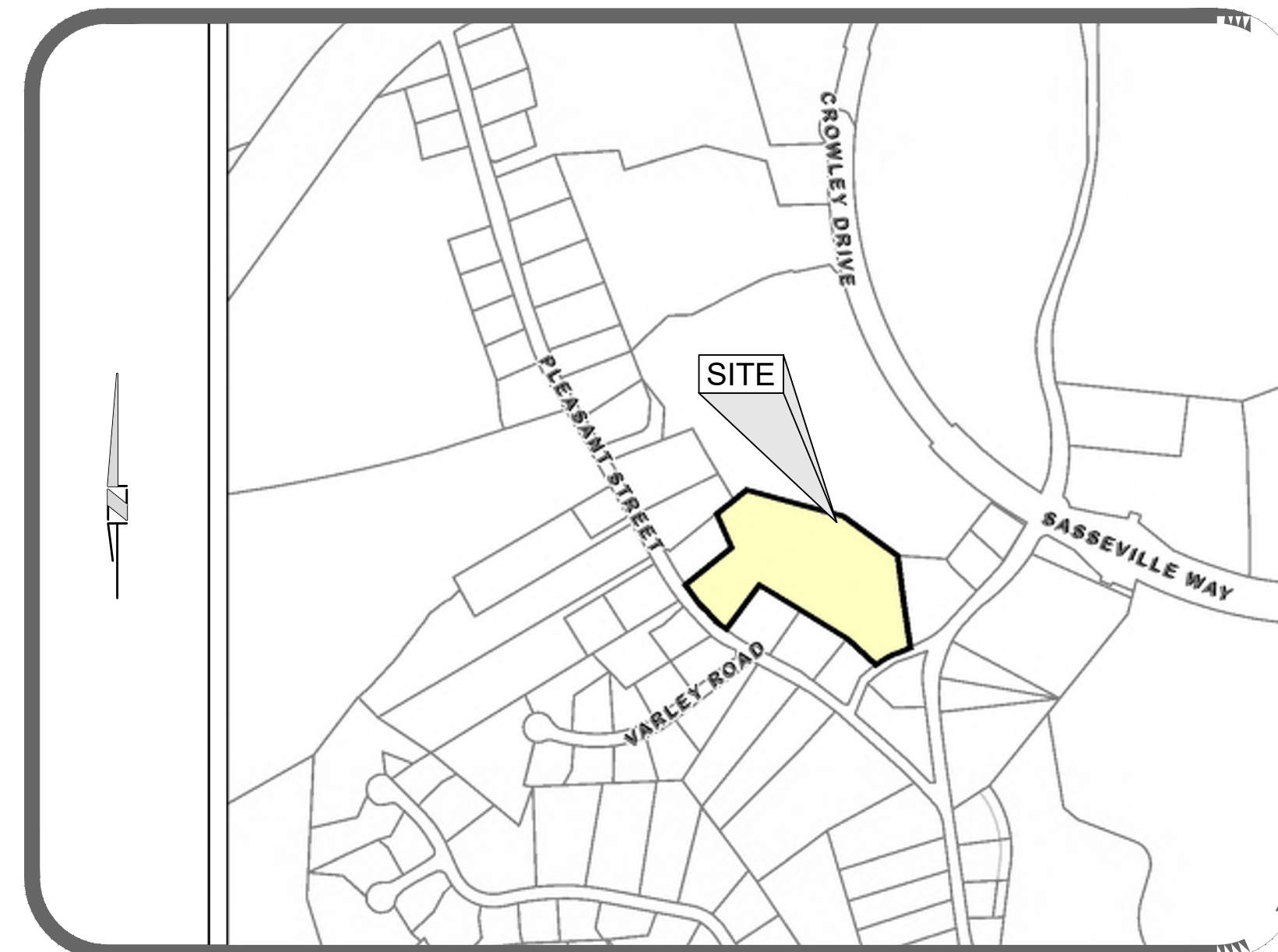
PREPARED FOR:

JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L. BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MASSACHUSETTS 01469

Preliminary
02/08/2023 11:19:22 AM

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL BE PROPERLY LICENSED AND BONDED WITH THE CITY PRIOR TO CONSTRUCTION.
- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- ANY WORK AND MATERIALS TO BE PLACED WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
- ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO MAAB & ADA REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS. (REFER TO EROSION CONTROL PLAN IF PART OF SUBMISSION)
- ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
- THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
- ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT)
- ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BEING BACKFILLED.
- THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO AND/OR DURING CONSTRUCTION. THE DESIGN ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES IN THE PLANS BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL PIPE LENGTHS ARE FOR BIDDING INFORMATION ONLY AND ACTUAL LENGTHS MAY VARY SLIGHTLY. PIPE LENGTHS ARE MEASURED FROM THE CENTER OF THE STRUCTURE.
- EROSION CONTROL MEASURES SUCH AS HAYBALES, SILT FENCES, DRAINAGE DIVERSIONS ETC. SHALL BE INSTALLED AND MAINTAINED ON A CONTINUOUS BASIS IN ORDER TO PROTECT WETLANDS AND OFFSITE AREAS DURING CONSTRUCTION. BENCHMARK: TEMPORARY BENCHMARK MAG HUB AT SOUTH SIDE OF EXISTING DRIVEWAY (ELEVATION = 206.94).
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN ALL SEWER AND WATER LINES SHALL BE 10'. WHERE THE MINIMUM HORIZONTAL SEPARATION CAN NOT BE OBTAINED, THE SEWER LINE SHALL BE LAID IN A SEPARATE TRENCH AND A MINIMUM OF 18" BELOW THE WATER LINE. WHENEVER SEWERS CROSS WATER MAINS, THE TOP OF THE SEWER SHALL BE A MINIMUM OF 18" BELOW THE BOTTOM OF THE WATERMAIN AND JOINTS SPACED EQUIDISTANT AND AS FAR AWAY AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE NEITHER THE HORIZONTAL NOR VERTICAL SEPARATION CAN BE OBTAINED, BOTH LINES SHALL BE CONSTRUCTED OF STRUCTURALLY SOUND, WATER-TIGHT PIPE (E.G. MECHANICAL JOINT DUCTILE IRON, OR EQUAL) AND BOTH PIPES PRESSURE TESTED TO 150 PSI TO ENSURE WATER-TIGHTNESS.
- THE CONTRACTOR SHALL ENSURE THAT ALL EXCAVATED AND CONSTRUCTED SLOPES ARE ADEQUATELY STABILIZED AGAINST EROSION AT ALL TIMES USING MULCH AND/OR OTHER EFFECTIVE METHODS (E.G. EROSION CONTROL BLANKETS) UNTIL A PERMANENT, WELL ESTABLISHED, EROSION RESISTANT GROUND COVER IS IN PLACE.
- DURING CONSTRUCTION OF THE DETENTION BASIN, THE CONTRACTOR MUST ENSURE THAT THE NATURAL DRAINAGE CORRIDOR IS NOT INTERRUPTED IF A RAIN EVENT SHOULD OCCUR BEFORE THE STABILIZATION OF THE BASIN IS COMPLETE.



LOCUS MAP
SCALE: 1" = 500'

GENERAL NOTES:

- THE PURPOSE OF THIS PLAN SET IS TO SHOW A CONVENTIONAL PRELIMINARY PLAN AND OPEN SPACE CONCEPT PLAN.
- THE SUBJECT PROPERTY IS SHOWN ON THE MARLBOROUGH ASSESSOR'S MAPS AS MAP 28 LOT 18B.
- TOTAL LOT AREA: 237,052± S.F. (5.44± ACRES).
- THE PROPERTY IS ZONED: RESIDENCE A-2.
- OWNER OF RECORD: JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L. BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469
- DEED REFERENCE: BOOK 45210, PAGE 560.
- TOPOGRAPHY IS FROM AN ACTUAL FIELD SURVEY BY FINDEISEN SURVEY & DESIGN, LLC ON 05/06/2021.
- THE PLAN SURVEY DATUM IS NAVD 1988.
- LOTS SHALL BE SERVICED BY MUNICIPAL WATER AND SEWER.

INDEX TO SHEETS

COVER SHEET	1
ABUTTERS LIST	2
EXISTING CONDITIONS PLAN	3
DEFINITIVE SUBDIVISION PLAN	4
GRADING PLAN	5
EROSION CONTROL PLAN	6
PROPOSED DRAINAGE PLAN	7
PLAN & PROFILE SHEET	8
LANDSCAPE PLAN	9
EROSION CONTROL DETAIL SHEET	10
ROADWAY DETAIL SHEET	11
TRENCH DETAIL SHEET	12
WATER DETAIL SHEET	13
SEWER NOTES SHEET	14
SEWER DETAIL SHEET	15
DRAINAGE DETAIL SHEET	16

REVISED

ZONING (R A-2) REQUIREMENTS:

- MINIMUM LOT AREA = 18,000 S.F.
- MINIMUM FRONTAGE = 120 FEET
- MAXIMUM LOT COVERAGE = 30%
- MINIMUM BUILDING SETBACKS:
FRONT - 30 FT
SIDE - 15 FEET
REAR - 40 FEET

OPEN SPACE ZONING REQUIREMENTS:

- MINIMUM LOT AREA = 12,000 S.F.
- MINIMUM FRONTAGE = 50 FEET
- WIDTH @ BLDG. LINE = 70 FEET
- MAXIMUM LOT COVERAGE = 30%
- MINIMUM BUILDING SETBACKS:
FRONT - 20 FEET
SIDE - 10 FEET
REAR - 20 FEET

	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7
LOT AREA							
FRONTAGE							
SIDE YARD	>10'	>10'	>10'	>10'	>10'	>10'	>10'
FRONT YARD	>20'	>20'	>20'	>20'	>20'	>20'	>20'
REAR YARD	>20'	>20'	>20'	>20'	>20'	>20'	>20'
BUILDING HEIGHT	2.5 STY	2.5 STY	2.5 STY	2.5 STY	2.5 STY	2.5 STY	2.5 STY
LOT COVERAGE	15%	20%	16%	16%	16%	23%	15%

APPROVED BY THE CITY OF
MARLBOROUGH PLANNING BOARD

DATE _____

"I, _____, CLERK OF THE CITY OF MARLBOROUGH, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK

I HEREBY CERTIFY THAT THIS PLAN REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND AND THAT THE FIELD WORK NECESSARY TO MAKE THESE DETERMINATIONS WAS PERFORMED WITH AN ERROR OF CLOSURE THAT DOES NOT EXCEED 1 PART IN 10,000.

[Signature] 02/06/2023
HUGO P. FINDEISEN, L.L.S. #870 (DATE)

FOR REGISTRY USE

I HEREBY CERTIFY:

THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE PREPARATION OF PLANS AS SET FORTH BY THE REGISTERS OF DEEDS.

[Signature] 02/06/2023
DATE

689 Pleasant Street

Engineer / Surveyor:
DK Engineering LLC
Office: 47 Enterprise Drive, #1 Windham, NH 03098
Tel: (603) 608-8228 E-mail: Dan.Koravos@gmail.com
FINDEISEN SURVEY & DESIGN, LLC
87 Indian Rock Road, Windham, New Hampshire
P.O. Box 612, Sandown, NH 03873
Tel: (603) 898-8516 / Fax: (603) 896-4497

Engineer:
DANIEL KORAVOS
CIVIL
N.: 37752
REGISTERED PROFESSIONAL ENGINEER

Surveyor:
HUGO P. FINDEISEN
N.: 45098
REGISTERED PROFESSIONAL SURVEYOR

Applicant:
JOYCE BEAUCHEMIN
REALTY TRUST
TIMOTHY L. BEAUCHEMIN,
TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469
(978) 804-0169

Owner(s):
JOYCE BEAUCHEMIN
REALTY TRUST
TIMOTHY L. BEAUCHEMIN,
TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469

NO.	DATE	BY	DESCRIPTION
9			
8			
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1			

Assessor's Map & Lot:
Map 28 / Lot 18B
Project No.: 42103 Drawing Scale: AS SHOWN
Plan Date: 02/06/2023 Revised Date:

Sheet Title:
COVER SHEET

Sheet No.: **1**
Total No. of Sheets: **16**

Parcel Number	Property Address	Owner Name	Co-Owner Name
15-12A	745 PLEASANT ST	HIGGINS DONNA M	
15-12H	PLEASANT ST	HIGGINS DONNA M	
16-1	FITCHBURG ST	ASSABET VALLEY REGIONAL VOC HIGH SCHOOL	
28-10A	9 VARLEY RD	SHANAHAN CATHERINE M	THOMAS J SHANAHAN
28-12	684 PLEASANT ST	JOSEPH ZACHARIAH	JOSEPH JAYAMOL
28-12A	0 PLEASANT ST	TYLER HOLDINGS LLC	
28-13	PLEASANT ST	CLARK LEWIS F JR	
28-13A	PLEASANT ST	FERRI CHRISTINE TR	CLARK FAMILY REALTY TRUST
28-14	710 PLEASANT ST	CLARK LEWIS F JR	
28-14A	734 PLEASANT ST	PIPPIN KIMBERLY A	GEORGINA M GOODMAN
28-14B	0 PLEASANT ST	CLARK LEWIS F JR	
28-15	698 PLEASANT ST	CLARK LEWIS F JR	
28-16	733 PLEASANT ST	LACHAPPELLE ROBERT D	DIANE L LACHAPPELLE
28-17	715 PLEASANT ST	LIACOPULOS PETER G	PATRICIA LIACOPULOS
28-18	669 PLEASANT ST	GUZ ERIC J	PAULA J TURGEON
28-18A	705 PLEASANT ST	DEVONA CHRISTINE A	CHRISTOPHER S DEVONA
28-19	663 PLEASANT ST	FIELDS JANET	ADAM FILEDS
28-20	PLEASANT ST	COMMONWEALTH OF MASSACHUSETTS	DEPARTMENT OF FISH & GAME
28-22	25 VARLEY RD	LALONDE MICHAEL C	SHARON M LINK
28-23	16 VARLEY RD	MCLAREN MICHAEL P	LIANA R MCLAREN
28-24	32 VARLEY RD	CHERRY DONNA A TR	ROBERT W ZOMPA TR
28-25	42 VARLEY RD	MIFARREG MARCELO	
28-27	39 VARLEY RD	MITRAKAS KATHLEEN L	
28-29	43 VARLEY RD	OSSING MICHAEL H	LINDA J OSSING
28-30	61 VARLEY RD	DESAI CHIRAG	
28-9	664 PLEASANT ST	GASPARONI RICHARD P	LEE CHRISTINE GASPARONI
28-9A	650 PLEASANT ST	VIGEANT ARTHUR G	SUSAN M VIGEANT
29-1	10 BOWOOD LN #35	DURELL MARK E & MAIN JOAN C TRUSTEES	JOAN CAROL MAIN TRUST
29-1	10 WILSHIRE WAY #58	VARTERESIAN ROBERT E TR	ANNE M VARTERESIAN TR
29-1	11 AVEBURY LN #27	GOMEZ LAWRENCE F & MEANY VIRGINIA M - TRUSTEES	11 AVEBURY LANE REALTY TRUST
29-1	11 BOWOOD LN #51	PETTENGILL GRAHAM F	JOANNA B PETTENGILL
29-1	12 BOWOOD LN #36	ST JEAN ROGER J TR	PATRICIA E ST JEAN TR
29-1	12 WILSHIRE WAY #59	FRALEIGH RUSSELL V TR	JILL K FRALEIGH TR
29-1	1 AVEBURY LN #31	BRANGIFORTE JAMES A TR	JACQUELINE BRANGIFORTE TR
29-1	13 WILSHIRE WAY #13	JEWETT GREGORY TR	
29-1	13 BRADFORD CIR #4	PYE JANE	WILLIAM PYE
29-1	13 BOWOOD LN #50	MASON JEFFREY E	DIANE E MASON
29-1	14 BOWOOD LN #37	LEW GEORGE D	KATHERINE O LEW
29-1	14 WILSHIRE WAY #60	NUTE RAY W TR	DEBORAH C NUTE TR
29-1	15 WILSHIRE WAY #12	IRWIN JAMES	LAURA IRWIN
29-1	15 AVEBURY LN #26	MORENO GONZALO JR	LAURA GUTIERREZ
29-1	15 BRADFORD CIR #3	BORENSTEIN OSCAR	NATALIA BORENSTEIN
29-1	17 WILSHIRE WAY #11	PUGLIESE DOROTHY	
29-1	17 BRADFORD CIR #2	MARCINUK WAYNE S	JIN SOOK KIM
29-1	17 AVEBURY LN #25	BUCKLEY JOSEPH E JR	MAUREEN W BUCKLEY
29-1	1 BRADFORD CIR #8	DANIELL DANA	ELIZABETH B
29-1	18 BOWOOD LN #38	GALVIN RICHARD S	KAREN A GALVIN
29-1	18 WILSHIRE WAY #61	LI HONG	PING LIU
29-1	19 BRADFORD CIR #1	BENSON-WINBUSH BARBARA JEAN	BRIAN A BENSON
29-1	19 AVEBURY LN #24	REISS PAUL D	CHRISTINE P CHAN
29-1	19 BOWOOD LN #49	LANE WILLIAM H JR	ANAMARIA LANE
29-1	20 BOWOOD LN #39	ZICKUS SUSAN J TR	ZICKUS NOMINEE REALTY TRUST
29-1	20 WILSHIRE WAY #62	ROCHE NANCY D LI EST	
29-1	21 BOWOOD LN #48	MYERS BETTY	
29-1	22 BOWOOD LN #40	SELIGMAN DIANE	
29-1	22 WILSHIRE WAY #63	EVANS MAUREEN A TR	MAUREEN A EVANS 2014 TRUST
29-1	2 BOWOOD LN #32	CHU REN PAO	DAOHONG SHEN
29-1	23 AVEBURY LN #23	BENICOT CARRIE ANN TR	ROSEANNA M STORMES TR
29-1	23 BOWOOD LN #47	EISENSTOCK MARC L TRUSTEE	DEBRA M EISENSTOCK TRUSTEE
29-1	25 AVEBURY LN #22	BERESFORD DAVID	MARGARET BERESFORD
29-1	2 WILSHIRE WAY #55	SALVO TINA M	LAWRENCE J SALVO
29-1	26 BOWOOD LN #41	FRANK CHARLES E	ROBIN E FRANK
29-1	26 WILSHIRE WAY #64	BASMAJI JEAN	ROWAIDA BASMAJI
29-1	27 BOWOOD LN #46	KOSMICKI ELLEN T	
29-1	28 BOWOOD LN #42	TARR BRYANT	KATHY L TARR
29-1	28 WILSHIRE WAY #65	ATWOOD EUNICE	
29-1	29 AVEBURY LN #21	TURTON JANE AMANDA	JANICE FAY TURTON
29-1	29 BOWOOD LN #45	WELJWITIGODA LESLIE D	KUMARI T WELJWITIGODA
29-1	30 BOWOOD LN #43	KRAMER HOWARD TR	RENEE KRAMER TR
29-1	30 WILSHIRE WAY #66	HILL WILLIAM M TR	LISA J HILL TR
29-1	31 AVEBURY LN #20	HARRIS JANE A TR	
29-1	31 BOWOOD LN #44	HAMILTON HELEN E TR	HAMILTON REVOCABLE TRUST
29-1	3 AVEBURY LN #30	MAILLET ALDERICE	ANNE MARIE MAILLET
29-1	33 AVEBURY LN #19	DARSCH CHARLES	ELLEN DARSCH
29-1	34 WILSHIRE WAY #67	ONEILL MICHAEL J TR	JACQUELINE L ONEIL TR
29-1	3 BOWOOD LN #54	OSHEA CHRISTINE M TR	STEPHEN W OTOOLE TR
29-1	36 WILSHIRE WAY #68	NUSSBAUM ALAN W	
29-1	3 BRADFORD CIR #7	LODI RICHARD A	PAMELA LODI
29-1	37 WILSHIRE WAY #10	MCKENNA JAMES P TR	ELAINE R MCKENNA TR
29-1	37 AVEBURY LN #18	SOLO LEONARD J TR	DEANNA L SOLO TR
29-1	38 WILSHIRE WAY #69	BRADLEE FREDERICK A TR	DOROTHY E BRADLEE TR
29-1	39 AVEBURY LN #17	NAIGLES DAVID HOWARD	GEULA NAIGLES
29-1	39 WILSHIRE WAY #9	NELSON KAREN J TR	KAREN J NELSON FAMILY TRUST
29-1	41 AVEBURY LN #16	MILKOWSKI GARY R	SHARRON K MILKOWSKI
29-1	4 BOWOOD LN #33	CALDWELL BETTY	
29-1	4 WILSHIRE WAY #56	JAKUBASZEK SUSAN J	
29-1	5 BOWOOD LN #53	BOLAND WAYNE D	ROSE MARIE BOLAND
29-16	541 PLEASANT ST	SAMPAIO ALEXANDRE C	
29-1	6 BOWOOD LN #34	NORRIS JOHN L	VIVIANNE J NORRIS NICOLE M NORRIS
29-1	6 WILSHIRE WAY #57	HARE JAGIR KAUR	
29-1	7 WILSHIRE WAY #15	LACROIX DENNIS	MARY LACROIX
29-1	7 AVEBURY LN #29	JACKSON STEPHEN R	BARBARA J JACKSON
29-1	7 BRADFORD CIR #6	FULLERTON GAIL AMES TR	GAIL AMES FULLERTON 2007 TRUST
29-1	9 WILSHIRE WAY #14	VERMA ATUL	VERMA NEENA
29-1	9 AVEBURY LN #28	HENDERSON PETER	SUSAN HENDERSON
29-1	9 BRADFORD CIR #5	ALLEN RICHARD L TR	SUSAN H SHERWIN-ALLEN TR
29-1	9 BOWOOD LN #52	WANG LI YAN	WEI WENG
29-1A	48 FITCHBURG ST	AZADZOI ARRASH	KATHERINE AZAD
29-1	0 BRADFORD CIR	REGENCY AT ASSABET RIDGE CONDOMINIUMS	
29-21	633 PLEASANT ST	KUETTNER JOHN	ANH TO KUETTNER
29-21	17 FITCHBURG ST	AMVETS POST 1980	
29-21A	39 FITCHBURG ST	ANDERSON MARY T	RALPH W ANDERSON
29-21B	27 FITCHBURG ST	SILVA ANDERSON F	
29-22	67 FITCHBURG ST	MARLBOROUGH LODGE NO 1129	LOYAL ORDER OF MOOSE INC
29-27	FITCHBURG ST	MARLBORO LODGE # 1129	LOYAL ORDER OF MOOSE INC
29-2A	36 FITCHBURG ST	BIG DADDY REALTY LLC	
29-3	638 PLEASANT ST	PAKUS CRUCIFINA F LI EST	
29-30	647 PLEASANT ST	CAMPBELL LINDA A	
29-31	64 FITCHBURG ST	CROFT ANDREW	NO ANDREW & KATELYN CROFT
29-32	76 FITCHBURG ST	GOMES DANILLO	
29-4	PLEASANT ST	HANNA TIMOTHY K	

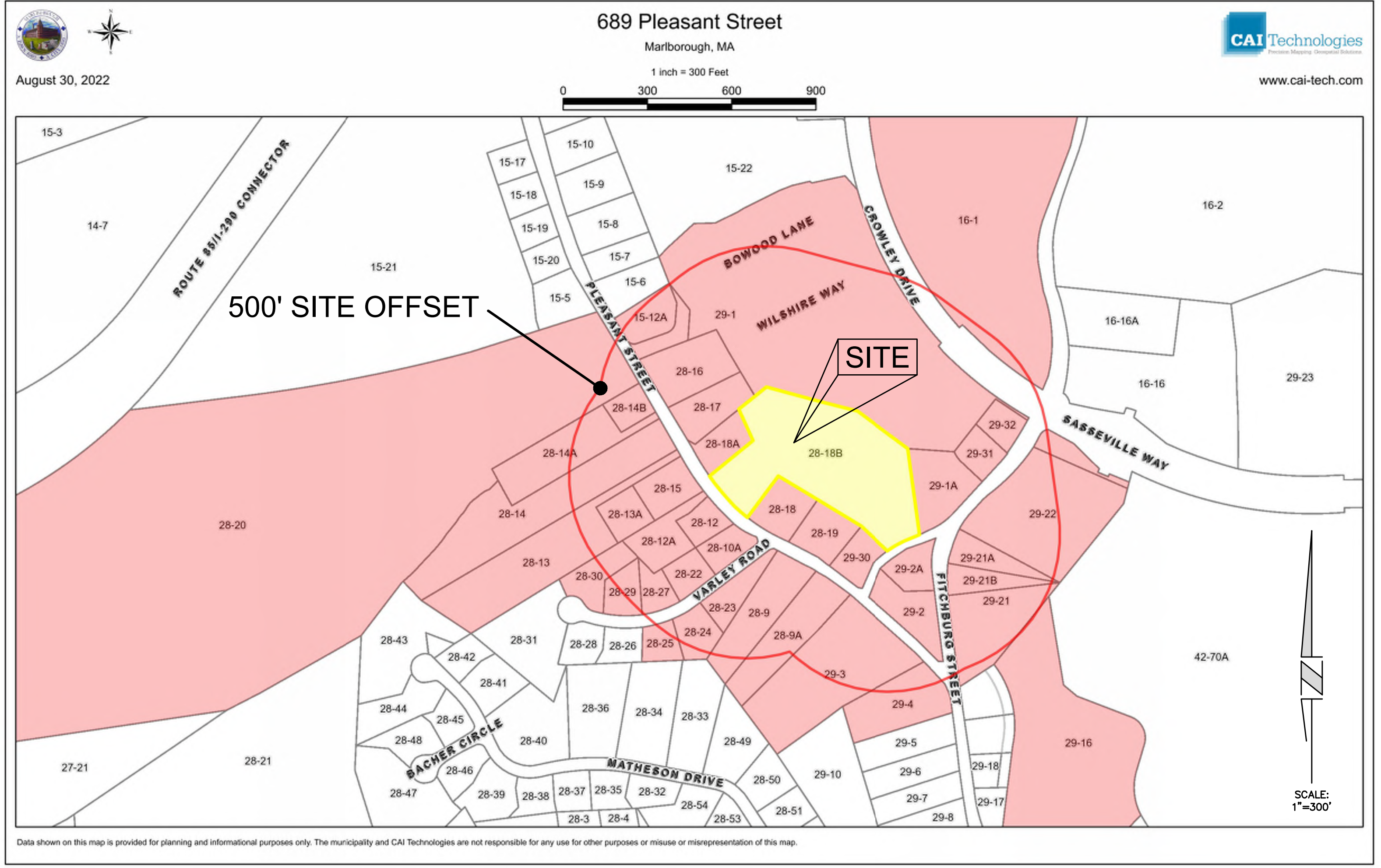
Preliminary
02/08/2023 11:20:01 AM

APPROVED BY THE CITY OF
MARLBOROUGH PLANNING BOARD

DATE _____

"I, _____, CLERK OF THE CITY OF MARLBOROUGH, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Engineer / Surveyor:
DK Engineering LLC
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Tel: (603) 609-8228 Fax: (603) 609-8228 Email: Dan.Koravos@gmail.com
FINDISEN SURVEY & DESIGN, LLC
87 Indian Rock Road, Windham, New Hampshire
P.O. Box 612, Sandown, NH 03873
Tel: (603) 898-8516 / Fax: (603) 898-4497

Engineer:
DANIEL KORAVOS
CIVIL
N.E. 37752
REGISTERED PROFESSIONAL ENGINEER

Surveyor:
DANIEL KORAVOS
REGISTERED PROFESSIONAL SURVEYOR

Applicant:
JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469
(978) 804-0169

Owner(s):
JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469

NO.	DATE	BY	DESCRIPTION
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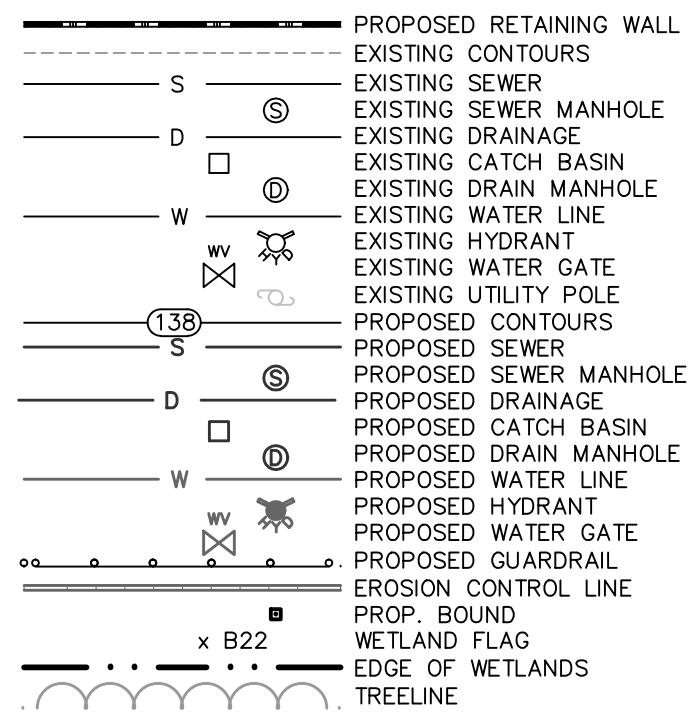
Assessor's Map & Lot:
Map 28 / Lot 18B
Project No.: 42103 Drawing Scale: AS SHOWN
Plan Date: 02/06/2023 Revised Date:

Sheet Title:
ABUTTER LIST

Sheet No.: **2**
Total No. of Sheets: **16**

Drawing name: D:_data\Acad_Support\Temp\MapPublishing\27329_V42103 - DSP_Rev_2023-02-06.dwg

LEGEND



LIST OF ABBREVIATIONS

- BIT BITUMINOUS
- CB CATCH BASIN
- DMH DRAINAGE MANHOLE
- EOP EDGE OF PAVEMENT
- P&R POST AND RAIL
- FFE FINISHED FLOOR ELEVATION
- COB CAPE COD BERM
- VGC VERTICAL GRANITE CURB
- SGC SLOPED GRANITE CURB
- RR SPIKE RAIL ROAD SPIKE
- I.P. IRON PIPE
- (F) FOUND
- NETT NEW ENGLAND TELEPHONE & TELEGRAPH
- SSLW SINGLE SOLID WHITE LINE
- SSBY SINGLE SOLID AND BROKEN YELLOW LINE
- SBLW SINGLE BROKEN WHITE LINE
- CONC CONCRETE
- WF WETLAND FLAG
- PIP PROTECT IN PLACE
- TBR TO BE REMOVED

SOILS LEGEND

Series	HSG
Paxton (305D)	C
Deerfield (256B)	A
Merrimac (254B)	A

APPROVED BY THE CITY OF MARLBOROUGH PLANNING BOARD

DATE _____

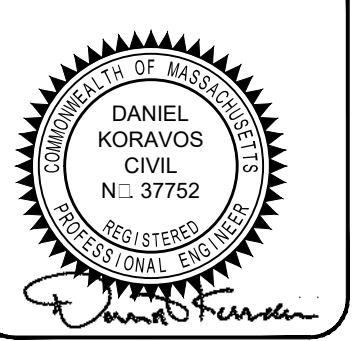
"I, _____, CLERK OF THE CITY OF MARLBOROUGH, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK

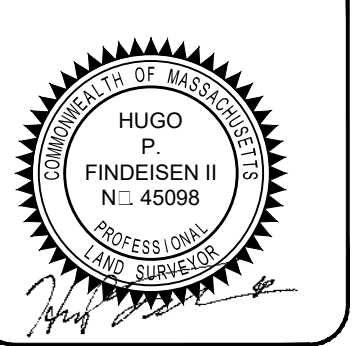
Engineer / Surveyor:

DK Engineering LLC
 Office: 47 Enterprise Drive, #1 Windham, NH 03098
 Tel: (603) 469-8228 E-mail: Dan.Koravos@dkeng.com
FINDISEN SURVEY & DESIGN, LLC
 87 Indian Rock Road, Windham, New Hampshire
 P.O. Box 612, Windham, NH 03093
 Tel: (603) 898-8516 / Fax: (603) 898-4497

Engineer:



Surveyor:



689 Pleasant Street

Applicant:
 JOYCE BEAUCHEMIN REALTY TRUST
 TIMOTHY L. BEAUCHEMIN, TRUSTEE
 P.O. BOX 1067
 TOWNSEND, MA 01469
 (978) 804-0169

Owner(s):
 JOYCE BEAUCHEMIN REALTY TRUST
 TIMOTHY L. BEAUCHEMIN, TRUSTEE
 P.O. BOX 1067
 TOWNSEND, MA 01469

NO.	DATE	BY	DESCRIPTION
9			
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Assessor's Map & Lot:
 Map 28 / Lot 18B
 Project No.: 42103 Drawing Scale: AS SHOWN
 Plan Date: 02/06/2023 Revised Date:

Sheet Title:
EXISTING CONDITIONS PLAN

Sheet No.: **3**
 Total No. of Sheets: 16



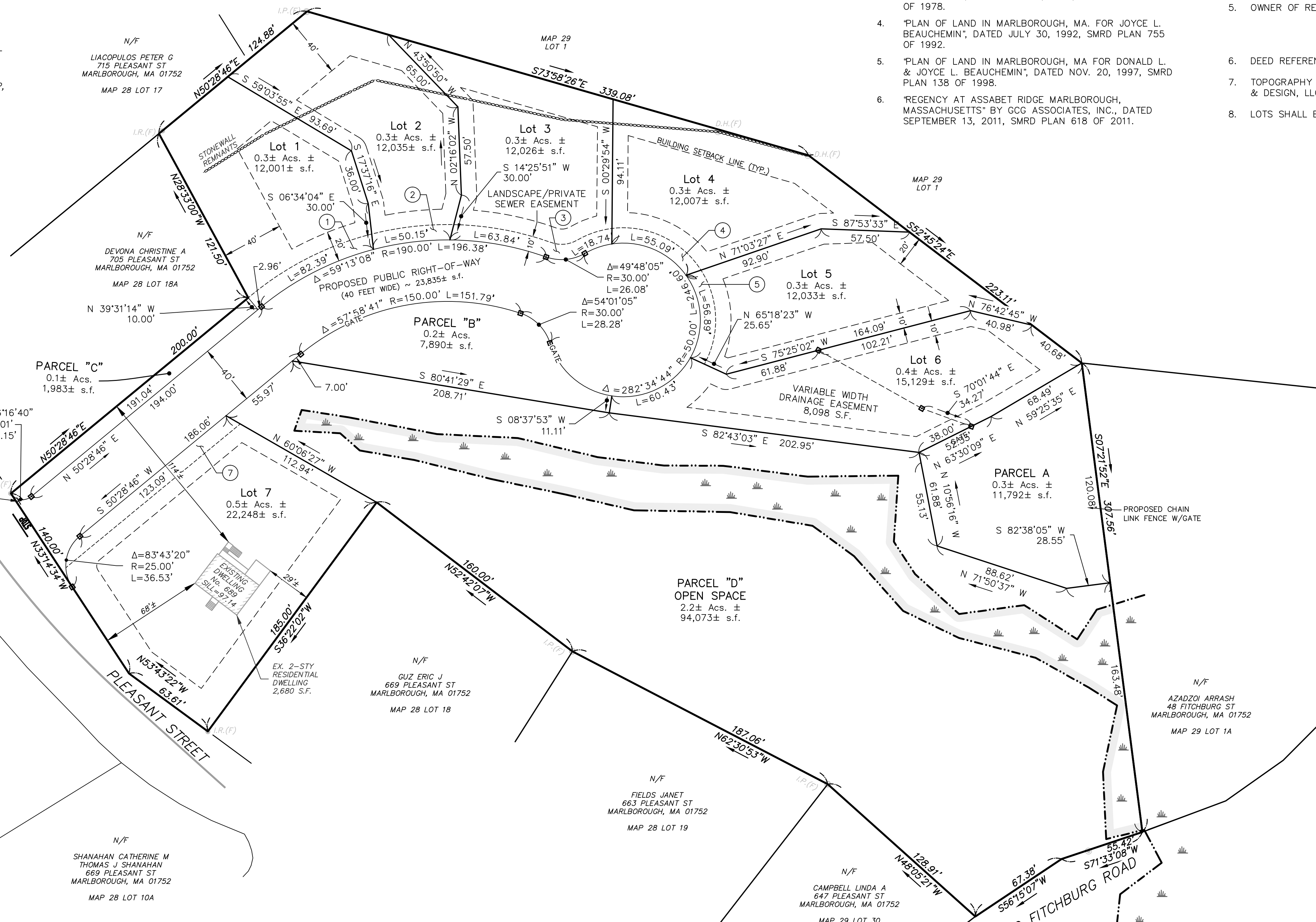
Preliminary
 02/08/2023 11:20:12 AM

NOT RELEASED FOR CONSTRUCTION

LEGEND

- STONE WALL
- BOUND FOUND
- IRON PIPE/ROD FOUND
- ⊙ DRILL HOLE FOUND
- GRANITE BOUND TO BE SET
- MONUMENT TO BE SET (DRILL HOLE, REBAR W/CAP, OR RAILROAD SPIKE)
- WF15 ▲ WETLANDS FLAG
- ▲ WETLANDS

SCALE: 1" = 40'



PLAN REFERENCES:

- PLAN OF LAND IN MARLBOROUGH, MASS* OWNED BY TIMOTHY J. & MARY N. O'CONNOR, DATED OCT. 7, 1959, SMRD PLAN 2009 OF 1359.
- PLAN OF LAND IN MARLBOROUGH, MASS FOR DONALD L. & JOYCE L. BEAUCHEMIN, DATED NOV. 1, 1971, SMRD PLAN 1358 OF 1971.
- PLAN OF LAND IN THE CITY OF MARLBOROUGH, MASSACHUSETTS PROPERTY OF DONALD L. & JOYCE L. BEAUCHEMIN, DATED NOV. 6, 1978, SMRD PLAN 1409 OF 1978.
- PLAN OF LAND IN MARLBOROUGH, MA. FOR JOYCE L. BEAUCHEMIN, DATED JULY 30, 1992, SMRD PLAN 755 OF 1992.
- PLAN OF LAND IN MARLBOROUGH, MA FOR DONALD L. & JOYCE L. BEAUCHEMIN, DATED NOV. 20, 1997, SMRD PLAN 138 OF 1998.
- REGENCY AT ASSABET RIDGE MARLBOROUGH, MASSACHUSETTS* BY GCG ASSOCIATES, INC., DATED SEPTEMBER 13, 2011, SMRD PLAN 618 OF 2011.

GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE ONE (1) LOT INTO SEVEN (7) LOTS, ONE (1) PARCEL AND AN OPEN SPACE.
- THE SUBJECT PROPERTY IS SHOWN ON THE MARLBOROUGH ASSESSOR'S MAPS AS MAP 28 LOT 18B.
- TOTAL LOT AREA: 237,052± S.F. (5.44± ACRES).
- THE PROPERTY IS ZONED: RESIDENCE A-2.
- OWNER OF RECORD: JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L. BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469
- DEED REFERENCE: BOOK 45210, PAGE 560.
- TOPOGRAPHY IS FROM AN ACTUAL FIELD SURVEY BY FINDEISEN SURVEY & DESIGN, LLC.
- LOTS SHALL BE SERVICED BY MUNICIPAL WATER AND SEWER.

OPEN SPACE REQUIREMENTS:

- MINIMUM LOT AREA = 12,000 S.F.
- MINIMUM FRONTAGE = 50 FEET
- WIDTH @ BLDG. LINE = 70 FEET
- MAXIMUM LOT COVERAGE = 30%
- MINIMUM BUILDING SETBACKS:
FRONT - 20 FEET
SIDE - 10 FEET
REAR - 20 FEET

ZONING REQUIREMENTS:

- MINIMUM LOT AREA = 18,000 S.F.
- MINIMUM FRONTAGE = 120 FEET
- MAXIMUM LOT COVERAGE = 30%
- MINIMUM BUILDING SETBACKS:
FRONT - 30 F
SIDE - 15 FEET
REAR - 40 FEET

SITE ANALYSIS

LOT NO.	CONVENTIONAL AREA REQUIRED (S.F.)
1	12,001±
2	12,035±
3	12,026±
4	12,007±
5	12,033±
6	15,129±
7	22,248±
PARCEL A	11,792±
B	7,890±
C	1,983±
D - OPEN SPACE	97,479±
ROW AREA	23,835±
TOTAL PARCEL AREA	= 237,052± S.F. OR 5.44 ACS.

Preliminary
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EASEMENT AREA		
LOT NUMBER	AREA (S.F.)	DESCRIPTION OF EASEMENT
①	882	LANDSCAPE/PRIVATE SEWER EASEMENT
②	520	LANDSCAPE/PRIVATE SEWER EASEMENT
③	1,074	LANDSCAPE/PRIVATE SEWER EASEMENT
④	612	LANDSCAPE/PRIVATE SEWER EASEMENT
⑤	605	LANDSCAPE/PRIVATE SEWER EASEMENT
⑦	1,389	LANDSCAPE EASEMENT

"I, _____, CLERK OF THE CITY OF MARLBOROUGH, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK

APPROVED BY THE CITY OF MARLBOROUGH PLANNING BOARD

DATE _____

I HEREBY CERTIFY THAT THIS PLAN REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND AND THAT THE FIELD WORK NECESSARY TO MAKE THESE DETERMINATIONS WAS PERFORMED WITH AN ERROR OF CLOSURE THAT DOES NOT EXCEED 1 PART IN 10,000.

[Signature]
HUGO P. FINDEISEN, L.L.S. #870 (DATE) 02/06/2023

I HEREBY CERTIFY:
THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE PREPARATION OF PLANS AS SET FORTH BY THE REGISTERS OF DEEDS.

[Signature]
02/06/2023
DATE

FOR REGISTRY USE

Engineer / Surveyor:
DK Engineering LLC
Office: 47 Enterprise Drive, #7, Windham, NH 03098
Tel: (603) 505-5828 E-mail: Dan.Korenstev@gmail.com
FINDEISEN SURVEY & DESIGN, LLC
67 Indian Rock Road, Windham, New Hampshire
P.O. Box 612, Sandown, NH 03873
Tel: (603) 899-8616 / Fax (603) 898-8497

Engineer:

Surveyor:

Applicant:
JOYCE BEAUCHEMIN
REALTY TRUST
TIMOTHY L. BEAUCHEMIN,
TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469
(978) 804-0169

Owner(s):
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REALTY TRUST
TIMOTHY L. BEAUCHEMIN,
TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469

NO.	DATE	BY	DESCRIPTION
9			
8			
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5			
4			
3			
2			
1			

Assessor's Map & Lot:
Map 28 / Lot 18B
Project No.: 42103 Drawing Scale: 1"=40'
Plan Date: 02/06/2023 Revised Date:

Sheet Title:
DEFINITIVE SUBDIVISION PLAN

Sheet No.: **4**

Total No. of Sheets: 16

NOT RELEASED FOR CONSTRUCTION

APPROVED BY THE CITY OF MARLBOROUGH PLANNING BOARD

DATE _____

LEGEND

- PROPOSED RETAINING WALL
- EXISTING CONTOURS
- S EXISTING SEWER
- D EXISTING SEWER MANHOLE
- EXISTING DRAINAGE
- W EXISTING CATCH BASIN
- EXISTING DRAIN MANHOLE
- EXISTING WATER LINE
- EXISTING HYDRANT
- EXISTING WATER GATE
- EXISTING UTILITY POLE
- (139) PROPOSED CONTOURS
- S PROPOSED SEWER
- D PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED WATER LINE
- PROPOSED HYDRANT
- PROPOSED WATER GATE
- PROPOSED GUARDRAIL
- EROSION CONTROL LINE
- PROP. BOUND
- WETLAND FLAG
- EDGE OF WETLANDS
- TREELINE

LIST OF ABBREVIATIONS

- BIT BITUMINOUS
- CB CATCH BASIN
- DMH DRAINAGE MANHOLE
- EOP EDGE OF PAVEMENT
- P&R POST AND RAIL
- FFE FINISHED FLOOR ELEVATION
- CCB CAPE COD BERM
- VGC VERTICAL GRANITE CURB
- SGC SLOPED GRANITE CURB
- RR SPIKE RAIL ROAD SPIKE
- I.P. IRON PIPE
- (F) FOUND
- NETT NEW ENGLAND TELEPHONE & TELEGRAPH
- OHW OVERHEAD WIRE
- SSLW SINGLE SOLID WHITE LINE
- SSBY SINGLE SOLID AND BROKEN YELLOW LINE
- SBLW SINGLE BROKEN WHITE LINE
- CONC CONCRETE
- WF WETLAND FLAG
- PIP PROTECT IN PLACE
- TBR TO BE REMOVED

SOILS LEGEND

- Series HSC
 Paxton (305D) C
 Deerfield (256B) A
 Merrimac (254B) A

INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE PER DETAIL ON SHEET 10

INSTALL MUTCD R1-1 STOP SIGN

CLARK LEWIS F JR
 698 PLEASANT ST
 MARLBOROUGH, MA 01752
 MAP 28 LOT 15

TYLER HOLDINGS LLC
 0 PLEASANT ST
 MARLBOROUGH, MA 01752
 MAP 28 LOT 12A

JOSEPH ZACHARIAH
 JOSEPH JAYAMOL
 684 PLEASANT ST
 MARLBOROUGH, MA 01752
 MAP 28 LOT 12

SHANAHAN CATHERINE M
 THOMAS J SHANAHAN
 869 PLEASANT ST
 MARLBOROUGH, MA 01752
 MAP 28 LOT 10A

LIACOPULOS PETER G
 715 PLEASANT ST
 MARLBOROUGH, MA 01752
 MAP 28 LOT 17

DEVONA CHRISTINE A
 705 PLEASANT ST
 MARLBOROUGH, MA 01752
 MAP 28 LOT 18A

GUZ ERIC J
 669 PLEASANT ST
 MARLBOROUGH, MA 01752
 MAP 28 LOT 18

FIELDS JANET
 863 PLEASANT ST
 MARLBOROUGH, MA 01752
 MAP 28 LOT 19

CAMPBELL LINDA A
 847 PLEASANT ST
 MARLBOROUGH, MA 01752
 MAP 29 LOT 30

AZADZOI ARRASH
 48 FITCHBURG ST
 MARLBOROUGH, MA 01752
 MAP 29 LOT 1A

SCALE: 1" = 40'



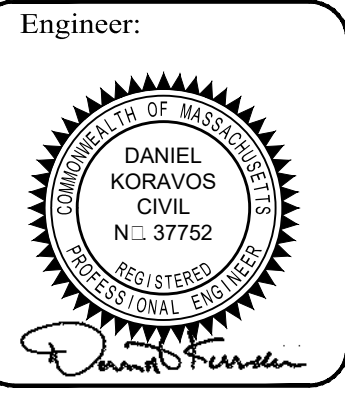
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 87 Indian Rock Road, Windham, New Hampshire
 P.O. Box 612, Windham, NH 03093
 Tel: (603) 898-8516 / Fax: (603) 898-4497



Surveyor:

Applicant:
 JOYCE BEAUCHEMIN
 REALTY TRUST
 TIMOTHY L BEAUCHEMIN,
 TRUSTEE
 P.O. BOX 1067
 TOWNSEND, MA 01469
 (978) 804-0169

Owner(s):
 JOYCE BEAUCHEMIN
 REALTY TRUST
 TIMOTHY L BEAUCHEMIN,
 TRUSTEE
 P.O. BOX 1067
 TOWNSEND, MA 01469

NO.	DATE	BY	DESCRIPTION
9			
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Assessor's Map & Lot:
 Map 28 / Lot 18B
 Project No.: 42103 Drawing Scale: 1"=80'
 Plan Date: 02/06/2023 Revised Date:

Sheet Title:
GRADING PLAN

Sheet No.: **5**
 Total No. of Sheets: 16

NOT RELEASED FOR CONSTRUCTION

LEGEND

- PROPOSED RETAINING WALL
- EXISTING CONTOURS
- EXISTING SEWER
- EXISTING SEWER MANHOLE
- EXISTING DRAINAGE
- EXISTING CATCH BASIN
- EXISTING DRAIN MANHOLE
- EXISTING WATER LINE
- EXISTING HYDRANT
- EXISTING WATER GATE
- EXISTING UTILITY POLE
- PROPOSED CONTOURS
- PROPOSED SEWER
- PROPOSED SEWER MANHOLE
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- PROPOSED HYDRANT
- PROPOSED WATER GATE
- PROPOSED GUARDRAIL
- EROSION CONTROL LINE
- PROP. BOUND
- WETLAND FLAG
- EDGE OF WETLANDS
- TREELINE

LIST OF ABBREVIATIONS

- BIT BITUMINOUS
- CB CATCH BASIN
- DMH DRAINAGE MANHOLE
- EOP EDGE OF PAVEMENT
- P&R POST AND RAIL
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- CCB CAPE COD BERM
- VGC VERTICAL GRANITE CURB
- SGC SLOPED GRANITE CURB
- RR SPIKE RAIL ROAD SPIKE
- I.P. IRON PIPE
- (F) FOUND
- NETT NEW ENGLAND TELEPHONE & TELEGRAPH
- SSLW SINGLE SOLID WHITE LINE
- SSBY SINGLE SOLID AND BROKEN YELLOW LINE
- SBLW SINGLE BROKEN WHITE LINE
- CONC CONCRETE
- WF WETLAND FLAG
- PIP PROTECT IN PLACE
- TBR TO BE REMOVED

SOILS LEGEND

- Series Foxton (305D)
- Deerfield (256B)
- Merrimac (254B)
- HSG C
- A
- A

- INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE PER DETAIL ON SHEET 10
- INSTALL MUTCD R1-1 STOP SIGN

- EX. SMH (11) RIM=303.60 INV IN=294.23 INV OUT=294.13
- MECO 79
- MECO 77
- EX. SMH (12) RIM=306.68 INV IN=295.75 INV OUT=295.65

CLARK LEWIS F JR
698 PLEASANT ST
MARLBOROUGH, MA 01752
MAP 28 LOT 15

TYLER HOLDINGS LLC
0 PLEASANT ST
MARLBOROUGH, MA 01752
MAP 28 LOT 12A

JOSEPH ZACHARIAH
JOSEPH JAYAMOL
664 PLEASANT ST
MARLBOROUGH, MA 01752
MAP 28 LOT 12

SHANAHAN CATHERINE M
THOMAS J SHANAHAN
669 PLEASANT ST
MARLBOROUGH, MA 01752
MAP 28 LOT 10A

LIACOPULOS PETER G
715 PLEASANT ST
MARLBOROUGH, MA 01752
MAP 28 LOT 17

DEVONA CHRISTINE A
705 PLEASANT ST
MARLBOROUGH, MA 01752
MAP 28 LOT 18A

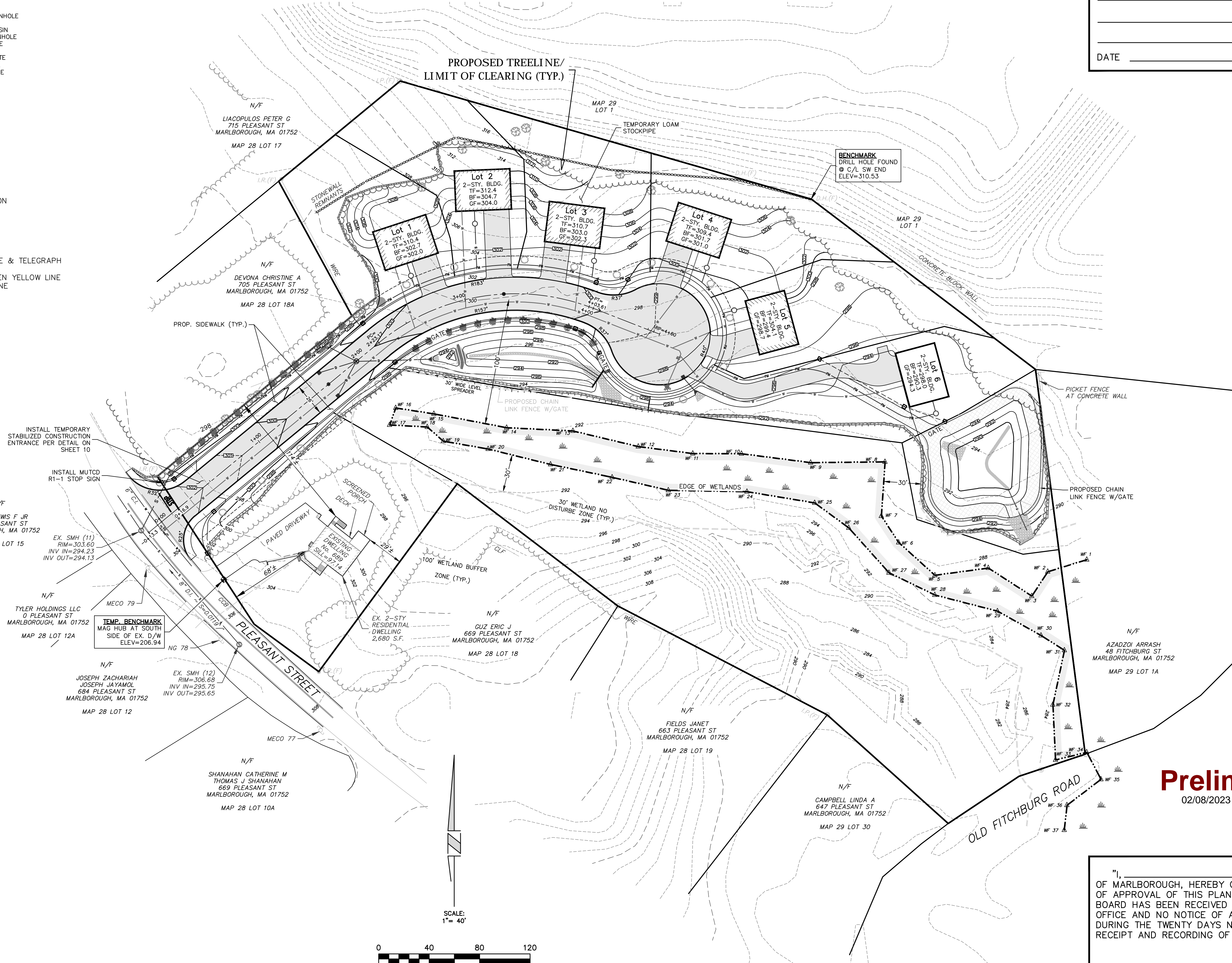
QUZ ERIC J
669 PLEASANT ST
MARLBOROUGH, MA 01752
MAP 28 LOT 18

FIELDS JANET
663 PLEASANT ST
MARLBOROUGH, MA 01752
MAP 28 LOT 19

CAMPBELL LINDA A
647 PLEASANT ST
MARLBOROUGH, MA 01752
MAP 29 LOT 30

APPROVED BY THE CITY OF
MARLBOROUGH PLANNING BOARD

DATE _____

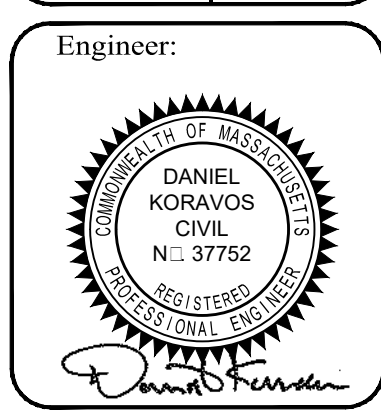


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"I, _____, CLERK OF THE CITY OF MARLBOROUGH, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK

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TOWNSEND, MA 01469

NO.	DATE	BY	DESCRIPTION
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Assessor's Map & Lot:
Map 28 / Lot 18B
Project No.: 42103 Drawing Scale: 1"=80'
Plan Date: 02/06/2023 Revised Date:

Sheet Title:
EROSION CONTROL PLAN

Sheet No.: **6**
Total No. of Sheets: 16

NOT RELEASED FOR CONSTRUCTION


APPROVED BY THE CITY OF MARLBOROUGH PLANNING BOARD


DATE _____

"I, _____, CLERK OF THE CITY OF MARLBOROUGH, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK

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FINDISEN SURVEY & DESIGN, LLC
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 P.O. Box 612, Sandown, NH 03873
 Tel: (603) 898-8516 / Fax: (603) 898-4497

Engineer:

 Daniel Koravos

Surveyor:


689 Pleasant Street

Applicant:
 JOYCE BEAUCHEMIN
 REALTY TRUST
 TIMOTHY L BEAUCHEMIN,
 TRUSTEE
 P.O. BOX 1067
 TOWNSEND, MA 01469
 (978) 804-0169

Owner(s):
 JOYCE BEAUCHEMIN
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 TIMOTHY L BEAUCHEMIN,
 TRUSTEE
 P.O. BOX 1067
 TOWNSEND, MA 01469

NO.	DATE	DESCRIPTION
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Assessor's Map & Lot:
 Map 28 / Lot 18B
 Project No.: 42103 Drawing Scale: 1"=40'
 Plan Date: 02/06/2023 Revised Date:

Sheet Title:
DRAINAGE PLAN

Sheet No.: **7**
 Total No. of Sheets: 16

LIST OF ABBREVIATIONS

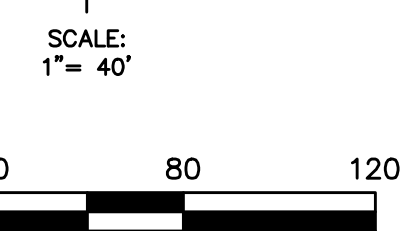
- | | |
|----------|-------------------------------------|
| BIT | BITUMINOUS |
| CB | CATCH BASIN |
| DMH | DRAINAGE MANHOLE |
| EOP | EDGE OF PAVEMENT |
| P&R | POST AND RAIL |
| FFE | FINISHED FLOOR ELEVATION |
| CCB | CAPE COD BERM |
| VCC | VERTICAL GRANITE CURB |
| SGC | SLOPED GRANITE CURB |
| RR SPIKE | RAIL ROAD SPIKE |
| I.P. | IRON PIPE |
| (F) | FOUND |
| NETT | NEW ENGLAND TELEPHONE & TELEGRAPH |
| SSLW | SINGLE SOLID WHITE LINE |
| SSBY | SINGLE SOLID AND BROKEN YELLOW LINE |
| SBLW | SINGLE BROKEN WHITE LINE |
| CONC | CONCRETE |
| WF | WETLAND FLAG |
| PIP | PROTECT IN PLACE |
| TBR | TO BE REMOVED |

LEGEND

- PROPOSED RETAINING WALL
- EXISTING CONTOURS
- EXISTING SEWER
- EXISTING SEWER MANHOLE
- EXISTING DRAINAGE
- EXISTING CATCH BASIN
- EXISTING DRAIN MANHOLE
- EXISTING WATER LINE
- EXISTING HYDRANT
- EXISTING WATER GATE
- EXISTING UTILITY POLE
- PROPOSED CONTOURS
- PROPOSED SEWER
- PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE
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- PROPOSED HYDRANT
- PROPOSED WATER GATE
- PROPOSED GUARDRAIL
- EROSION CONTROL LINE
- PROP. BOUND
- WETLAND FLAG
- EDGE OF WETLANDS
- TREELINE

SOILS LEGEND

- | | |
|------------------|-----|
| Series | HSG |
| Paxton (305D) | C |
| Deerfield (256B) | A |
| Merrimac (254B) | A |



DEEP HOLE TEST RESULTS

TEST DATE: 11/22/2022
 PERFORMED BY: TIM BEAUCHEMIN

NO.	DATE	DESCRIPTION
1		
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<p>EL = 296.0</p> <p>T-1</p> <table border="1"> <tr><td>FINE SANDY LOAM</td><td>10 YR 3/3</td><td>12" Ap</td></tr> <tr><td>FINE SANDY LOAM</td><td>10 YR 5/6</td><td>22" Bw</td></tr> <tr><td>MED-FINE SAND</td><td>2.5 Y 6/4</td><td>72" C1</td></tr> <tr><td>LOAMY FINE SAND</td><td>2.5 Y 7/4</td><td>90" C2</td></tr> </table> <p>O.W.T. - NONE E.S.W.T. @ 72" REFUSAL - NONE EL = 290.0</p>	FINE SANDY LOAM	10 YR 3/3	12" Ap	FINE SANDY LOAM	10 YR 5/6	22" Bw	MED-FINE SAND	2.5 Y 6/4	72" C1	LOAMY FINE SAND	2.5 Y 7/4	90" C2	<p>EL = 293.5</p> <p>T-2</p> <table border="1"> <tr><td>FINE SANDY LOAM</td><td>10 YR 3/3</td><td>11" Ap</td></tr> <tr><td>FINE SANDY LOAM</td><td>10 YR 5/6</td><td>24" Bw</td></tr> <tr><td>MED-FINE SAND</td><td>2.5 Y 6/4</td><td>78" C1</td></tr> <tr><td>SANDY LOAM</td><td>2.5 Y 5/3</td><td>90" C2</td></tr> </table> <p>O.W.T. - NONE E.S.W.T. @ 70" REFUSAL - NONE EL = 287.7</p>	FINE SANDY LOAM	10 YR 3/3	11" Ap	FINE SANDY LOAM	10 YR 5/6	24" Bw	MED-FINE SAND	2.5 Y 6/4	78" C1	SANDY LOAM	2.5 Y 5/3	90" C2	<p>EL = 293.2</p> <p>T-3</p> <table border="1"> <tr><td>FINE SANDY LOAM</td><td>10 YR 3/3</td><td>10" Ap</td></tr> <tr><td>FINE SANDY LOAM</td><td>10 YR 5/6</td><td>18" Bw</td></tr> <tr><td>LOAMY SAND WITH GRAVEL</td><td>5 Y 6/4</td><td>82" C1</td></tr> <tr><td>FINE SAND</td><td>5 Y 6/4</td><td>90" C2</td></tr> </table> <p>O.W.T. - NONE E.S.W.T. @ 62" REFUSAL - NONE EL = 288.0</p>	FINE SANDY LOAM	10 YR 3/3	10" Ap	FINE SANDY LOAM	10 YR 5/6	18" Bw	LOAMY SAND WITH GRAVEL	5 Y 6/4	82" C1	FINE SAND	5 Y 6/4	90" C2	<p>EL = 293.5</p> <p>T-4</p> <table border="1"> <tr><td>FINE SANDY LOAM</td><td>10 YR 3/3</td><td>10" Ap</td></tr> <tr><td>FINE SANDY LOAM</td><td>10 YR 5/6</td><td>18" Bw</td></tr> <tr><td>LOAMY SAND WITH GRAVEL</td><td>5 Y 6/4</td><td>84" C1</td></tr> <tr><td>FINE SAND</td><td>5 Y 6/4</td><td>90" C2</td></tr> </table> <p>O.W.T. - NONE E.S.W.T. @ 68" REFUSAL - NONE EL = 287.8</p>	FINE SANDY LOAM	10 YR 3/3	10" Ap	FINE SANDY LOAM	10 YR 5/6	18" Bw	LOAMY SAND WITH GRAVEL	5 Y 6/4	84" C1	FINE SAND	5 Y 6/4	90" C2
FINE SANDY LOAM	10 YR 3/3	12" Ap																																																	
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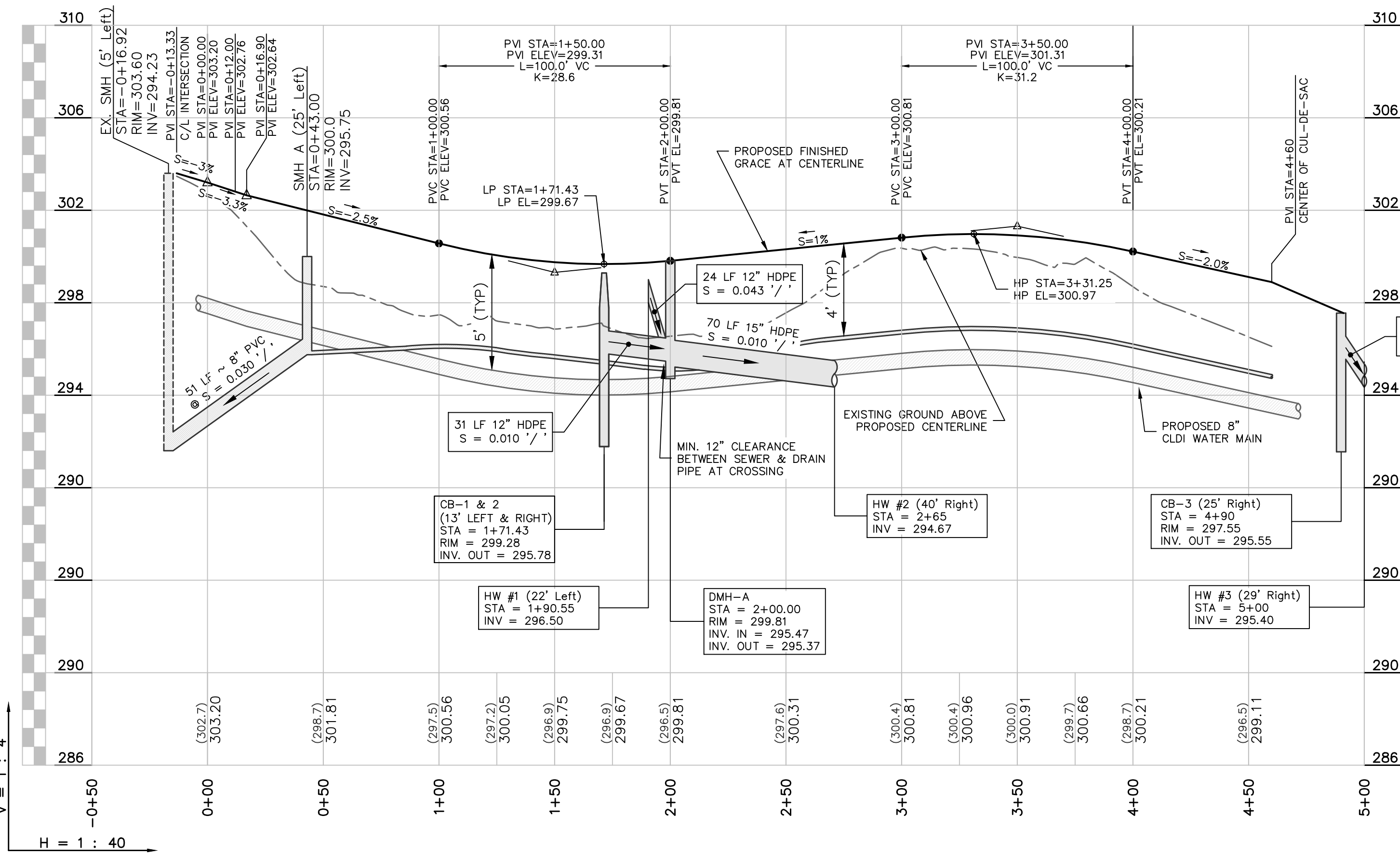
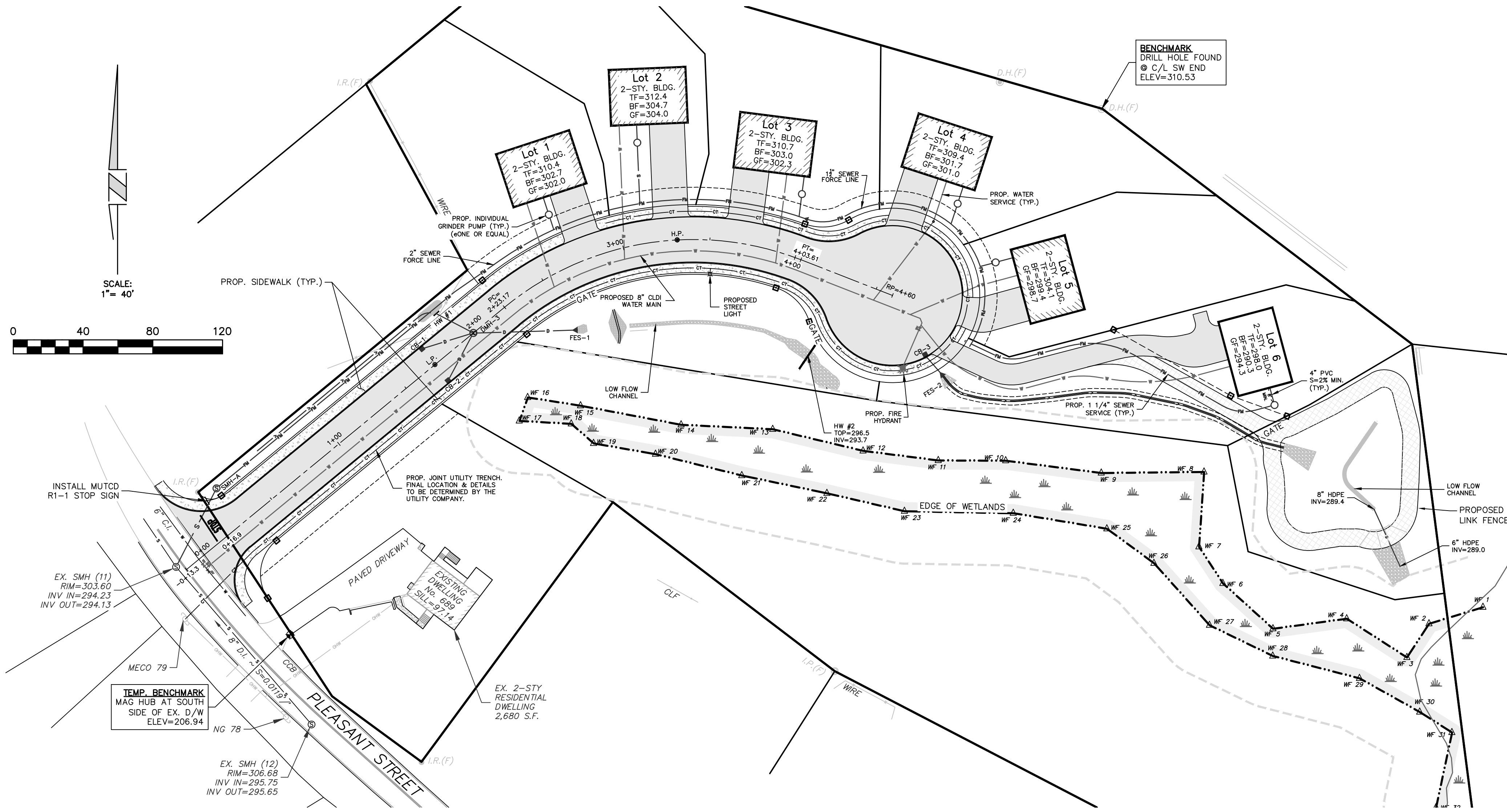
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 02/08/2023 11:20:29 AM

LEGEND

---	PROPOSED RETAINING WALL
---	EXISTING CONTOURS
S	EXISTING SEWER
D	EXISTING SEWER MANHOLE
W	EXISTING DRAINAGE
W	EXISTING CATCH BASIN
W	EXISTING DRAIN MANHOLE
W	EXISTING WATER LINE
W	EXISTING HYDRANT
W	EXISTING WATER GATE
W	EXISTING UTILITY POLE
---	PROPOSED CONTOURS
S	PROPOSED SEWER
D	PROPOSED SEWER MANHOLE
W	PROPOSED DRAINAGE
W	PROPOSED CATCH BASIN
W	PROPOSED DRAIN MANHOLE
W	PROPOSED WATER LINE
W	PROPOSED HYDRANT
W	PROPOSED WATER GATE
---	PROPOSED GUARDRAIL
---	EROSION CONTROL LINE
---	PROP. BOUND
---	WETLAND FLAG
---	EDGE OF WETLANDS
---	TREELINE

LIST OF ABBREVIATIONS

BIT	BITUMINOUS
CB	CATCH BASIN
CCB	CAPE COD BERM
CONC	CONCRETE
DMH	DRAINAGE MANHOLE
EOP	EDGE OF PAVEMENT
FFE	FINISHED FLOOR ELEVATION
HW	HEADWALL
IR	IRON PIPE
(F)	FOUND
NETT	NEW ENGLAND TELEPHONE & TELEGRAPH
PC	POINT OF CURVATURE
PIP	PROTECT IN PLACE
P&R	POST AND RAIL
PT	POINT OF TANGENCY
RP	RADIUS POINT
RR SPIKE	RAIL ROAD SPIKE
SBLW	SINGLE BROKEN WHITE LINE
SGC	SLOPED GRANITE CURB
SSBY	SINGLE SOLID AND BROKEN YELLOW LINE
SSLW	SINGLE SOLID WHITE LINE
SMH	SEWER MANHOLE
TBR	TO BE REMOVED
VGC	VERTICAL GRANITE CURB
WF	WETLAND FLAG



Preliminary
02/08/2023 11:20:35 AM

"I, _____, CLERK OF THE CITY OF MARLBOROUGH, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK

APPROVED BY THE CITY OF MARLBOROUGH PLANNING BOARD

DATE _____

Engineer / Surveyor:
DK Engineering LLC
Office: 47 Enterprise Drive, #1 Windham, NH 03098
Tel: (603) 608-8228 Fax: (603) 608-8228 Email: Dan.Koravos@gmail.com
FINDISEN SURVEY & DESIGN, LLC
87 Indian Rock Road, Windham, New Hampshire
P.O. Box 612, Windham, NH 03073
Tel: (603) 698-8516 / Fax: (603) 698-4497

Engineer:
DANIEL KORAVOS
CIVIL
N. 37752
REGISTERED PROFESSIONAL ENGINEER
CALL

Surveyor:

DATE _____

Applicant:
JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469
(978) 804-0169

Owner(s):
JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469

NO.	DATE	DESCRIPTION
9		
8		
7		
6		
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2		
1		

ASSESSOR'S MAP & LOT:
Map 28 / Lot 18B

Project No.: 42103
Drawing Scale: AS SHOWN

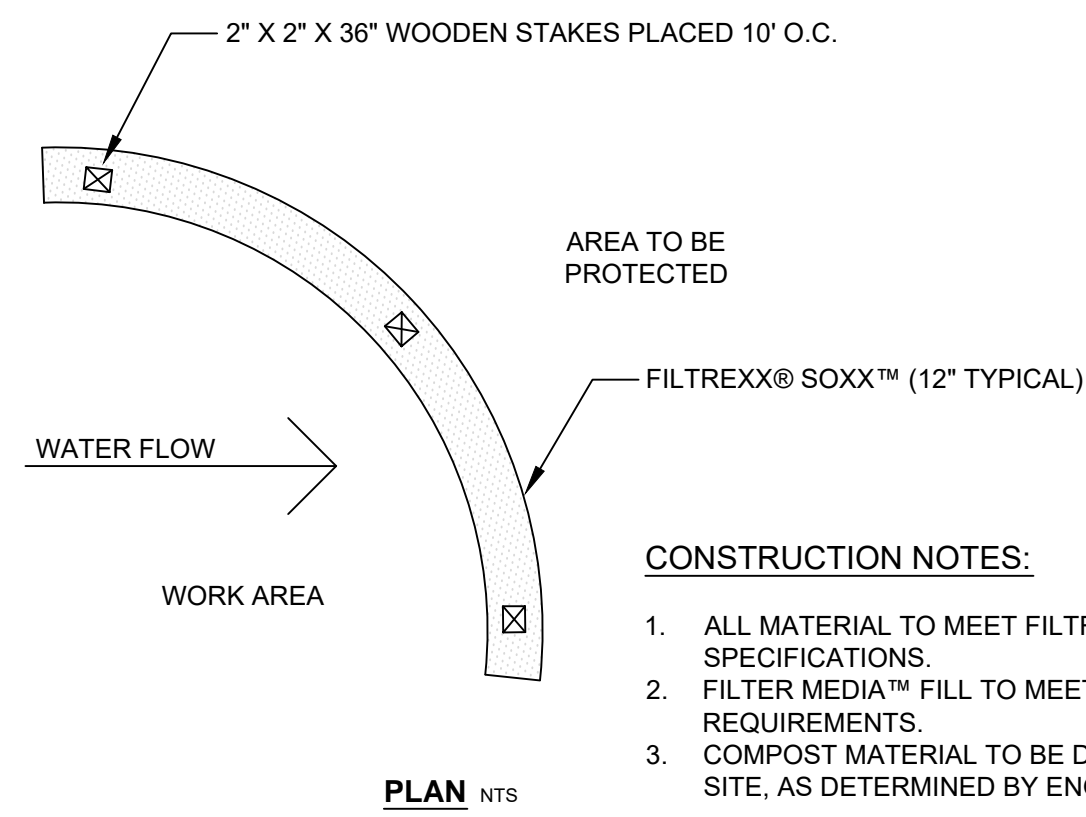
Plan Date: 02/06/2023
Revised Date:

Sheet Title:
PLAN & PROFILE / UTILITY SHEET

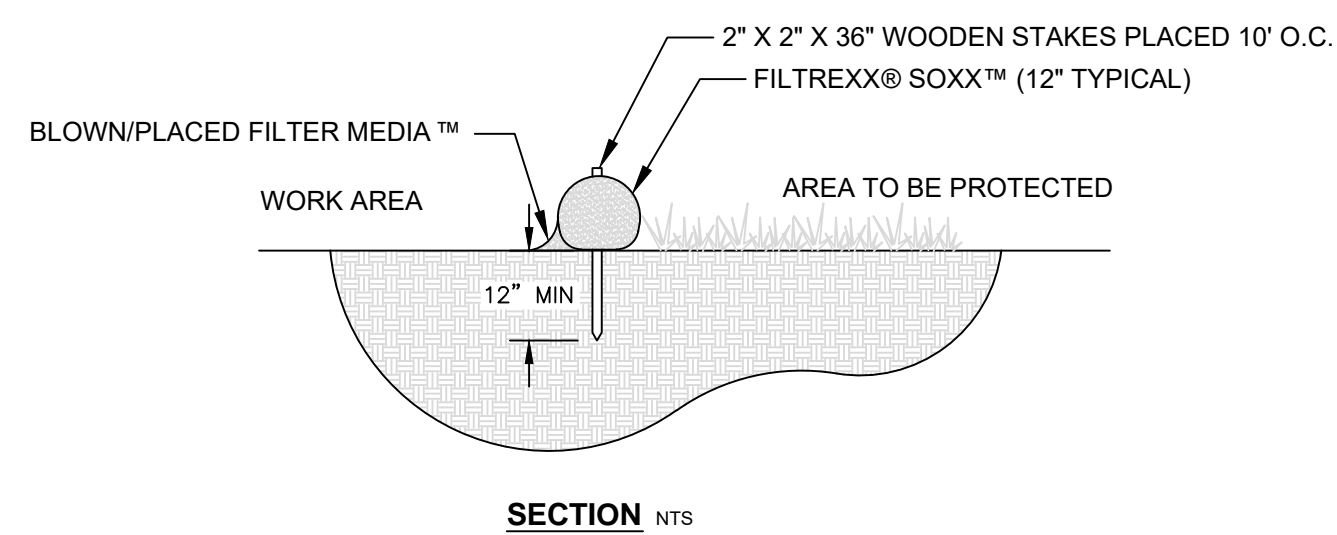
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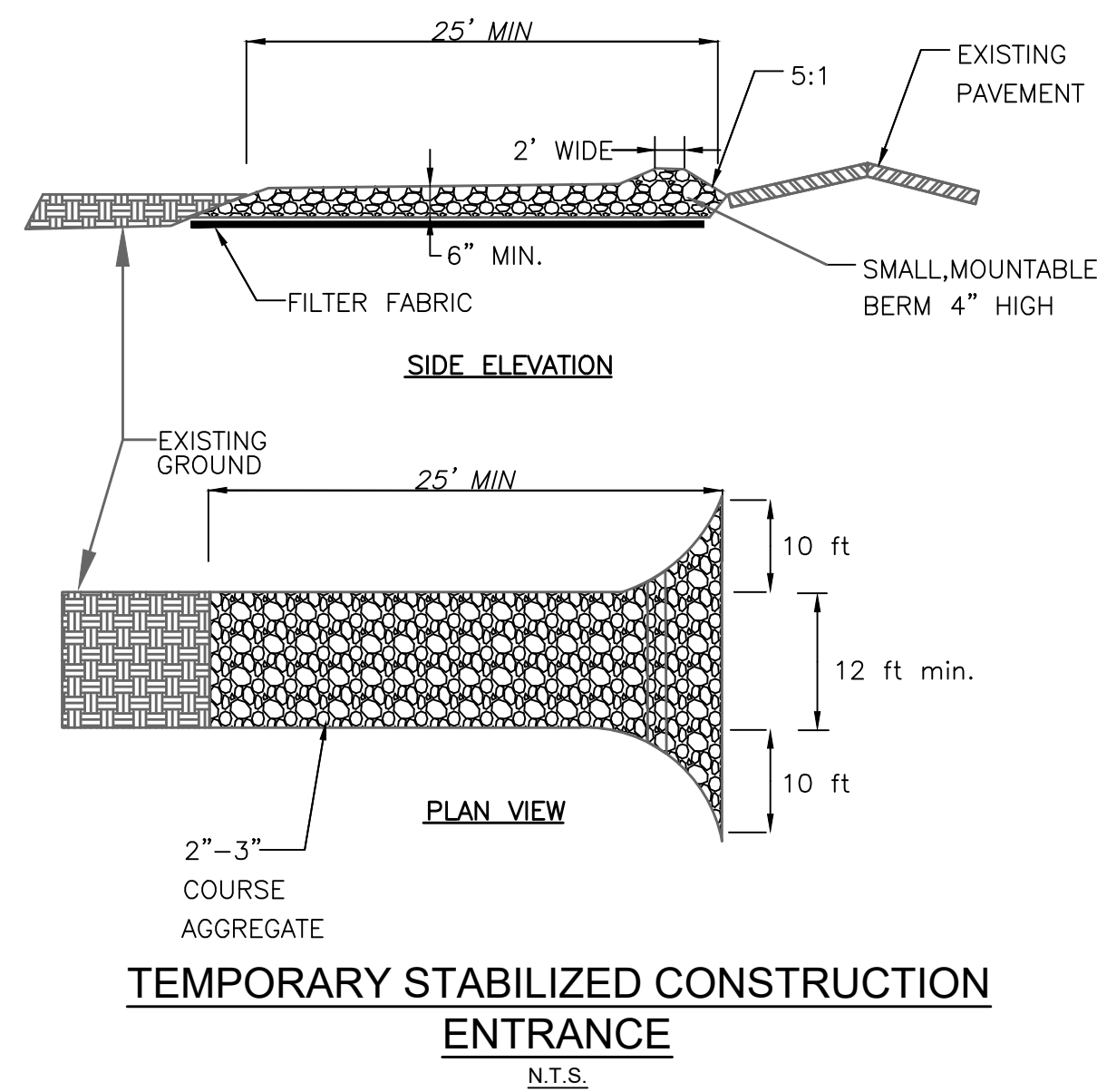
NOT RELEASED FOR CONSTRUCTION



FILTREXX® SEDIMENT CONTROL
N.T.S.



SECTION N.T.S.



TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

COMPOST FILTER SOCK

INSTALLATION

- PERIMETER CONTROL USED FOR CONTROL OF SEDIMENT IN STORM RUNOFF SHALL MEET FILTREXX SOXX MESH MATERIAL AND FILTREXX CERTIFIED FILTERMEDIA SPECIFICATIONS.
- PERIMETER CONTROL WILL BE PLACED AT LOCATIONS INDICATED ON PLANS AND IN A MANNER AS DIRECTED BY THE ENGINEER OR MANUFACTURER.
- PERIMETER CONTROL SHOULD BE INSTALLED PARALLEL TO THE BASE OF THE SLOPE OR OTHER DISTURBED AREA.
- EFFECTIVE SOXX HEIGHT IN THE FIELD FOR 12" DIAMETER SOXX SHOULD BE = 9.5" HIGH.
- STAKES SHOULD BE INSTALLED THROUGH THE MIDDLE OF THE PERIMETER CONTROL ON 10 FT CENTERS, USING NOMINAL 2 IN BY 2 IN BY 3 FT WOODEN STAKES.
- STAKING DEPTH FOR SAND AND SILT LOAM SOILS SHALL BE 12 IN.
- LOOSE COMPOST MAY BE BACKFILLED ALONG THE UPSLOPE SIDE OF THE PERIMETER CONTROL, FILLING THE SEAM BETWEEN THE SOIL SURFACE AND THE DEVICE, IMPROVING FILTRATION AND SEDIMENT RETENTION.

INSPECTION & MAINTENANCE

ROUTINE INSPECTION SHOULD BE CONDUCTED WITHIN 24 HRS OF A RUNOFF EVENT OR AS DESIGNATED BY THE REGULATING AUTHORITY. PERIMETER CONTROL SHOULD BE REGULARLY INSPECTED TO MAKE SURE THEY MAINTAIN THEIR SHAPE AND ARE PRODUCING ADEQUATE HYDRAULIC FLOW-THROUGH. IF PONDING BECOMES EXCESSIVE, ADDITIONAL PERIMETER CONTROL MAY BE REQUIRED TO REDUCE EFFECTIVE SLOPE LENGTH OR SEDIMENT REMOVAL MAY BE NECESSARY. PERIMETER CONTROL SHALL BE INSPECTED UNTIL AREA ABOVE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS CEASED.

- THE CONTRACTOR SHALL MAINTAIN THE PERIMETER CONTROL IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
- IF THE PERIMETER CONTROL HAS BEEN DAMAGED, IT SHALL BE REPAIRED, OR REPLACED IF BEYOND REPAIR.
- THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE PERIMETER CONTROL WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SOXX, OR AS DIRECTED BY THE ENGINEER. ALTERNATIVELY, A NEW PERIMETER CONTROL CAN BE PLACED ON TOP OF AND SLIGHTLY BEHIND THE ORIGINAL ONE CREATING MORE SEDIMENT STORAGE CAPACITY WITHOUT SOIL DISTURBANCE.
- PERIMETER CONTROL SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS CEASED.
- THE FILTERMEDIA WILL BE DISPERSED ON SITE ONCE DISTURBED AREA HAS BEEN PERMANENTLY STABILIZED, CONSTRUCTION ACTIVITY HAS CEASED, OR AS DETERMINED BY THE ENGINEER.
- FOR LONG-TERM SEDIMENT AND POLLUTION CONTROL APPLICATIONS, PERIMETER CONTROL CAN BE SEEDED AT THE TIME OF INSTALLATION TO CREATE A VEGETATIVE FILTERING SYSTEM FOR PROLONGED AND INCREASED FILTRATION OF SEDIMENT (CONTAINED VEGETATIVE FILTER STRIP). THE APPROPRIATE SEED MIX SHALL BE DETERMINED BY THE ENGINEER.

VEGETATIVE MEASURES:

- TOPSOIL STOCKPILING: TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR LATER USE ON CRITICAL AREAS AND ALL OTHER AREAS TO BE SEEDED. THE STOCKPILE SHALL NOT BE COMPACTED AND SHALL BE STABILIZED AGAINST EROSION WITH TEMPORARY SEEDING.
- ALL DIVERSIONS AND SWALES WILL BE CHECKED AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.
- ALL EROSION CONTROL LINES WILL BE CHECKED REGULARLY. NECESSARY REPAIRS WILL BE MADE TO CORRECT UNDERMINING OR DETERIORATION OF THE BARRIER.
- TEMPORARY SEEDING:
 - BEDDING - REMOVE STONES AND TRASH THAT WILL INTERFERE WITH SEEDING THE AREA. WHERE FEASIBLE, TILL THE SOILS TO A DEPTH OF ABOUT 3" TO PREPARE SEED BED AND MIX THE FERTILIZER INTO THE SOIL.
 - FERTILIZER - FERTILIZER SHOULD BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING TILLED INTO THE SOIL. A 10-10-10 MIX OF FERTILIZER SHOULD BE APPLIED AT A RATE OF 300 POUNDS PER ACRE (OR 7 POUNDS PER 1000 SF).
 - SEED MIXTURE: USE ANY OF THE FOLLOWING

- SEEDING RATE
- | SPECIES | PER ACRE | PER 1000 SF | DATES | DEPTH |
|-----------------|----------|-------------|-------------|------------------|
| WINTER RYE | 112 LBS | 2.5 LBS. | 8/15-9/5 | 1.0 IN. |
| DATS | 80 LBS. | 2.5 LBS. | SPRING-5/15 | 1.0 IN. |
| ANNUAL RYEGRASS | 40 LBS. | 1.0 LBS. | 4/15-9/15 | 0.25 IN. W/MULCH |
- MULCHING - WHERE IT IS IMPRACTICABLE TO INCORPORATE FERTILIZER AND SEED INTO MOIST SOIL, THE SEEDED AREA SHOULD BE MULCHED TO FACILITATE GERMINATION. MULCH IN THE FORM OF HAY OR STRAW SHOULD BE APPLIED AT A RATE OF 70 TO 90 LBS PER 1000 SF.
 - PERMANENT SEEDING:
 - BEDDING - STONES LARGER THAN 4", TRASH, ROOTS, AND OTHER DEBRIS THAT WILL INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA SHOULD BE REMOVED. WHERE FEASIBLE, THE SOILS SHOULD BE TILLED TO A DEPTH OF 4" TO PREPARE A SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION.
 - AGRICULTURAL LIMESTONE @ 50 LBS. PER 1000 S.F.
 - 10-20-20 FERTILIZER @ 12 LBS. PER 1000 S.F.
 - FERTILIZER - LIME AND FERTILIZER SHOULD BE APPLIED EVENLY OVER THE AREA PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE @ 50 LBS. PER 1000 S.F.
 - 10-20-20 FERTILIZER @ 12 LBS. PER 1000 S.F.
 - SEED MIXTURE - (RECOMMENDED) RATE

TYPE	LBS PER ACRE	LBS PER SF.	USE
WETLA TALL FESQUE	20	0.45	STEEP CUTS & FILLS,
CREeping RED FESQUE	2	0.50	DETENTION BASINS,
RED TOP	2	0.50	AND SWALES
TOTALS	42	1.40	
BE IN			
CREeping RED FESQUE	50	1.15	ALL OTHER
KENTUCKY BLUEGRASS	50	1.15	AREAS
TOTAL	100	2.30	

- MULCHING - MULCH SHOULD BE USED ON HIGHLY ERODIBLE SOILS, ON CRITICALLY ERODING AREAS, AND ON AREAS WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT.

TYPE	RATE PER 1000 S.F.	USE & COMMENTS
HAY OR STRAW	70 TO 90 LBS.	MUST BE DRY & FREE FROM MOLD. MAY BE USED WITH PLANTINGS.
WOOD CHIPS OR BARK MULCH	460 TO 920 LBS.	USED MOSTLY WITH TREES AND SHRUB PLANTING.
JUTE & FIBROUS MATTING	AS PER MANUFACTURER SPECIFICATIONS	USED IN SLOPE AREAS, WATER COURSES AND OTHER AREAS.
CRUSHED STONE	SPREAD MORE THAN 1/2 TO 1-1/2" DIA. 1/2" THICK	EFFECTIVE IN CONTROLLING WIND @ WATER EROSION

APPROVED BY THE CITY OF MARLBOROUGH PLANNING BOARD

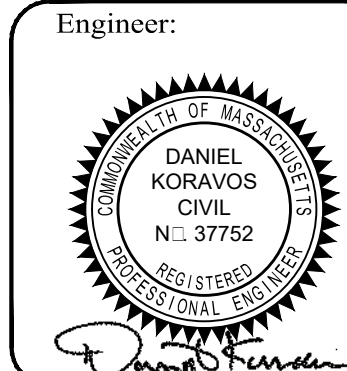
DATE _____

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CITY CLERK

689 Pleasant Street

Engineer / Surveyor:
DK Engineering LLC
Office: 47 Enterprise Drive, #1 Windham, NH 03098
Tel: (603) 608-8228 E-mail: Dan.Koravos@gmail.com
FINDISEN SURVEY & DESIGN, LLC
87 Indian Rock Road, Windham, New Hampshire
P.O. Box 612, Sandown, NH 03873
Tel: (603) 898-8516 / Fax: (603) 898-4497



Surveyor:

Applicant:
JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469
(978) 804-0169

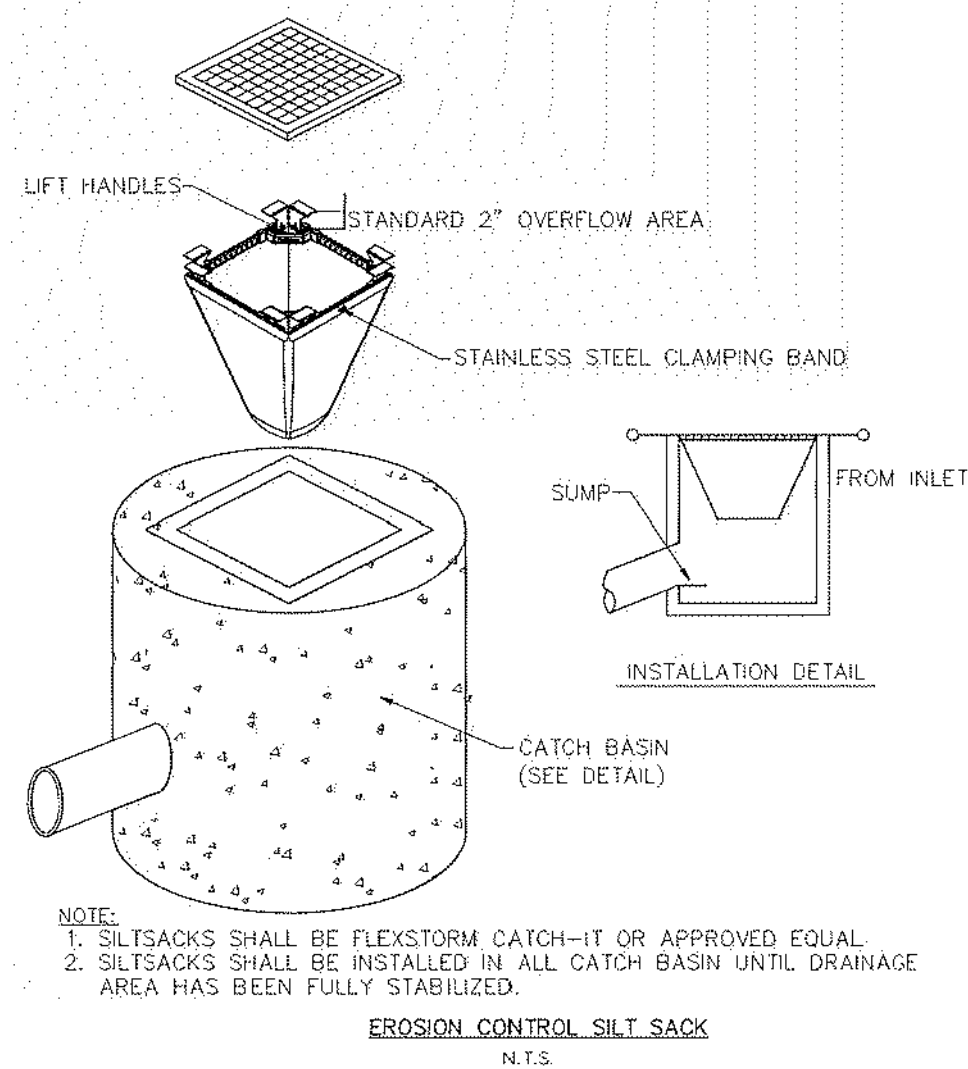
Owner(s):
JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469

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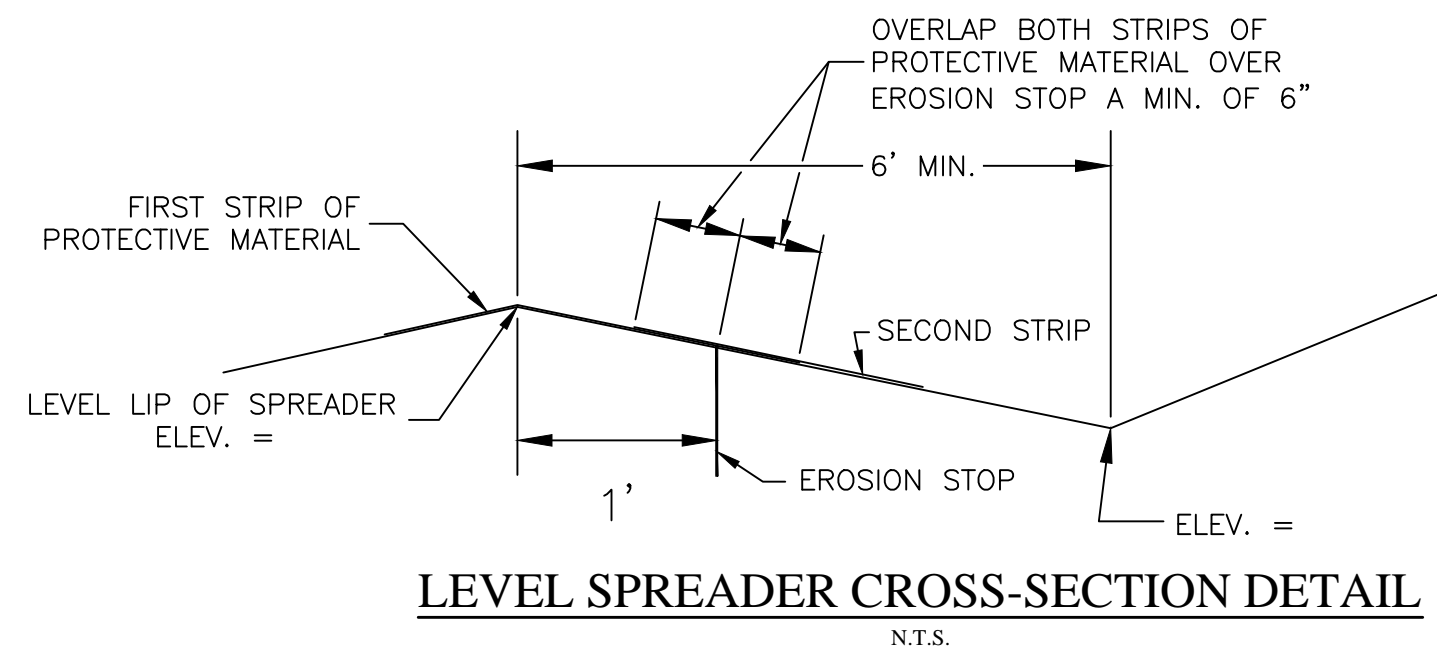
Assessor's Map & Lot:
Map 28 / Lot 18B
Project No.: 42103 Drawing Scale: AS SHOWN
Plan Date: 02/06/2023 Revised Date:

Sheet Title:
EROSION CONTROL DETAIL SHEET

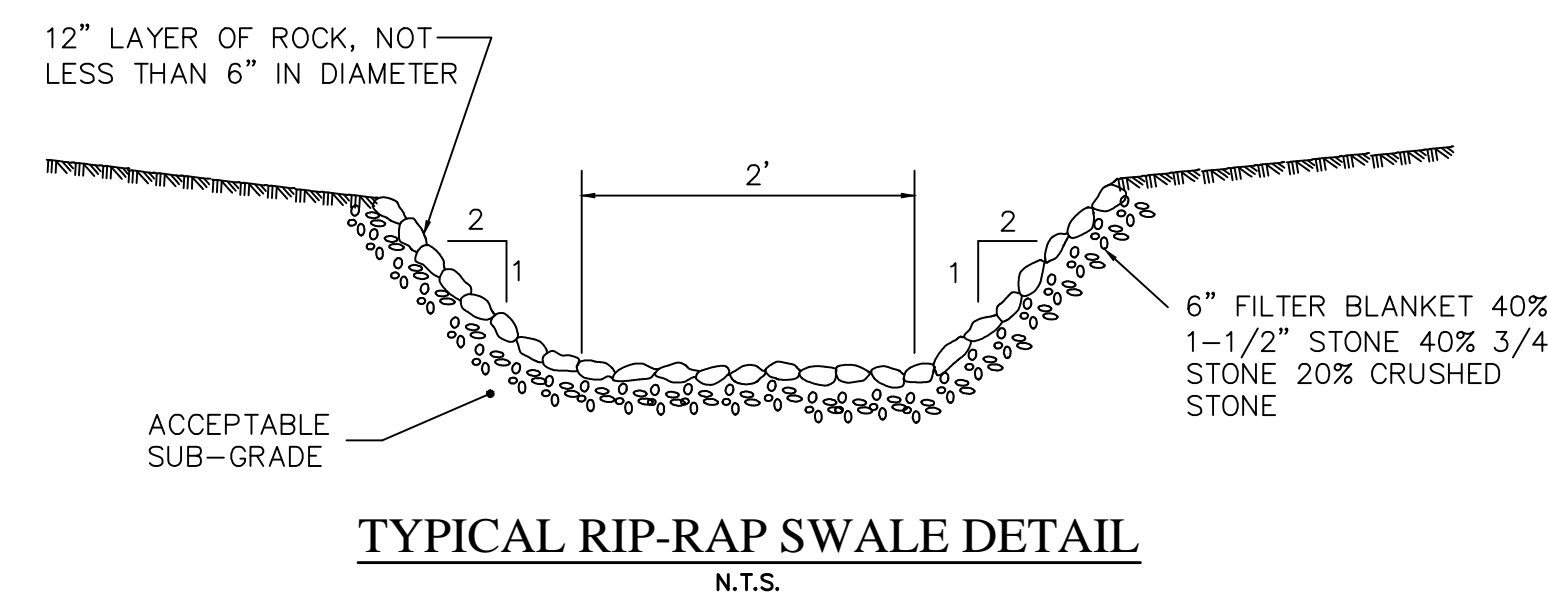
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Total No. of Sheets: 16



CATCH BASIN PROTECTION DETAIL
N.T.S.



LEVEL SPREADER CROSS-SECTION DETAIL
N.T.S.

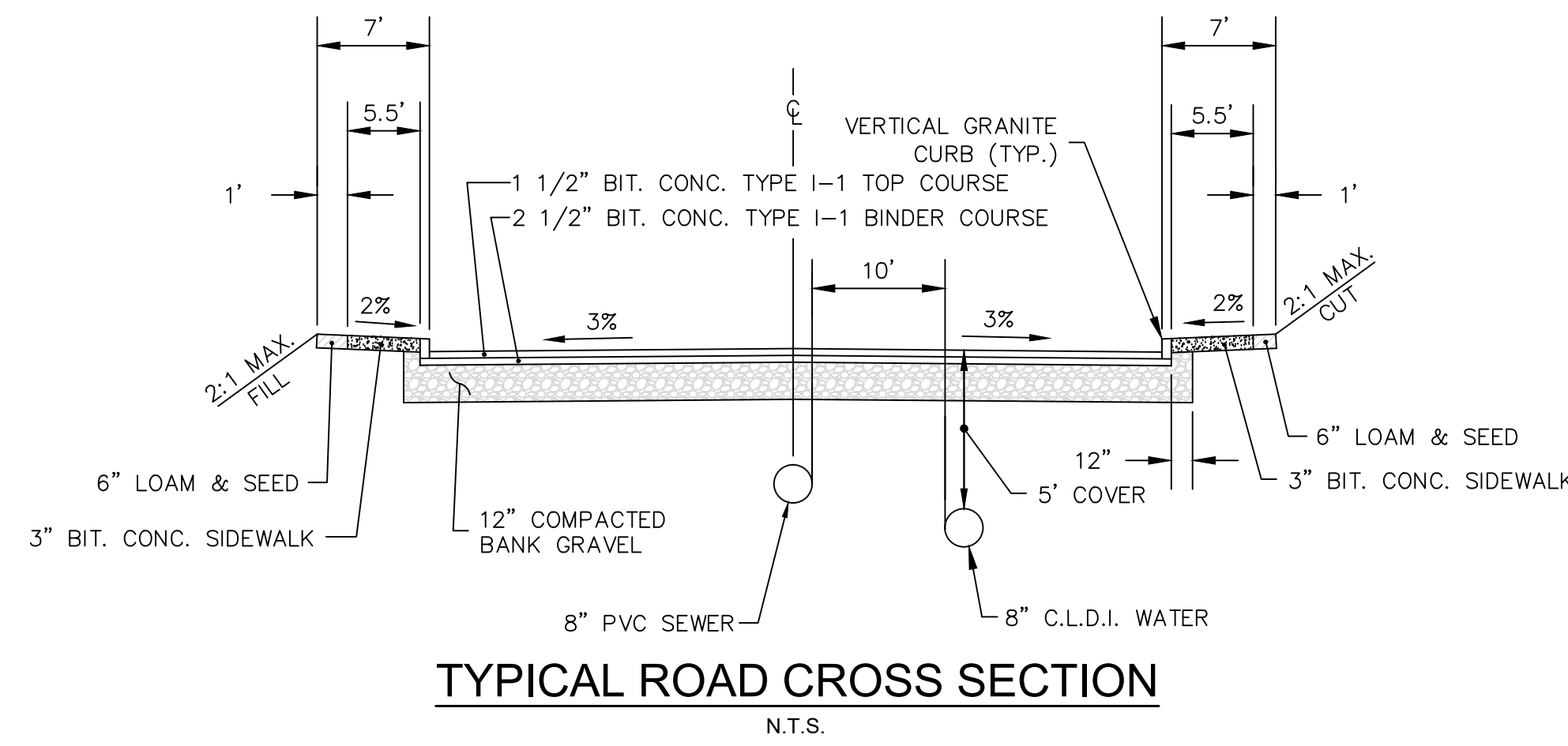


TYPICAL RIP-RAP SWALE DETAIL
N.T.S.

Preliminary
02/08/2023 11:22:51 AM

CONSTRUCTION SEQUENCE

1. CONTRACTOR TO NOTIFY DIG-SAFE 72-HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. PRIOR TO GRUBBING OF CLEARED AREAS, ALL SILTATION BARRIERS DESIGNED FOR USE AS TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS.
3. CUT AND CLEAR TREES AND BRUSH FROM CONSTRUCTION AREAS TO EXTENT NECESSARY. ALL BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF BY CONTRACTOR ACCORDING TO STATE AND LOCAL REGULATIONS.
4. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR DEBRIS SHALL BE PROPERLY DISPOSED OF BY CONTRACTOR ACCORDING TO STATE AND LOCAL REGULATIONS. ORGANIC MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLAND AREAS. ALL STOCKPILES SHALL BE SEEDDED WITH WINTER RYE AND SURROUNDED WITH SILT SOCKS.
5. ALL SWALES AND DITCHLINES SHALL BE PROTECTED FROM EROSION BY IMPLEMENTATION OF SILT SOCKS AS SHOW ON PROJECT PLANS.
6. APPLY TOPSOIL TO SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LIMED, SEEDDED AND MULCHED. CONSTRUCTION PERSONNEL SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS HAS BECOME ESTABLISHED.
7. MAINTAIN, REPAIR, AND REPLACE AS NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE CONSTRUCTION AREA HAS BEEN STABILIZED.
8. AFTER STABILIZATION, REMOVE AND SUITABLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES.

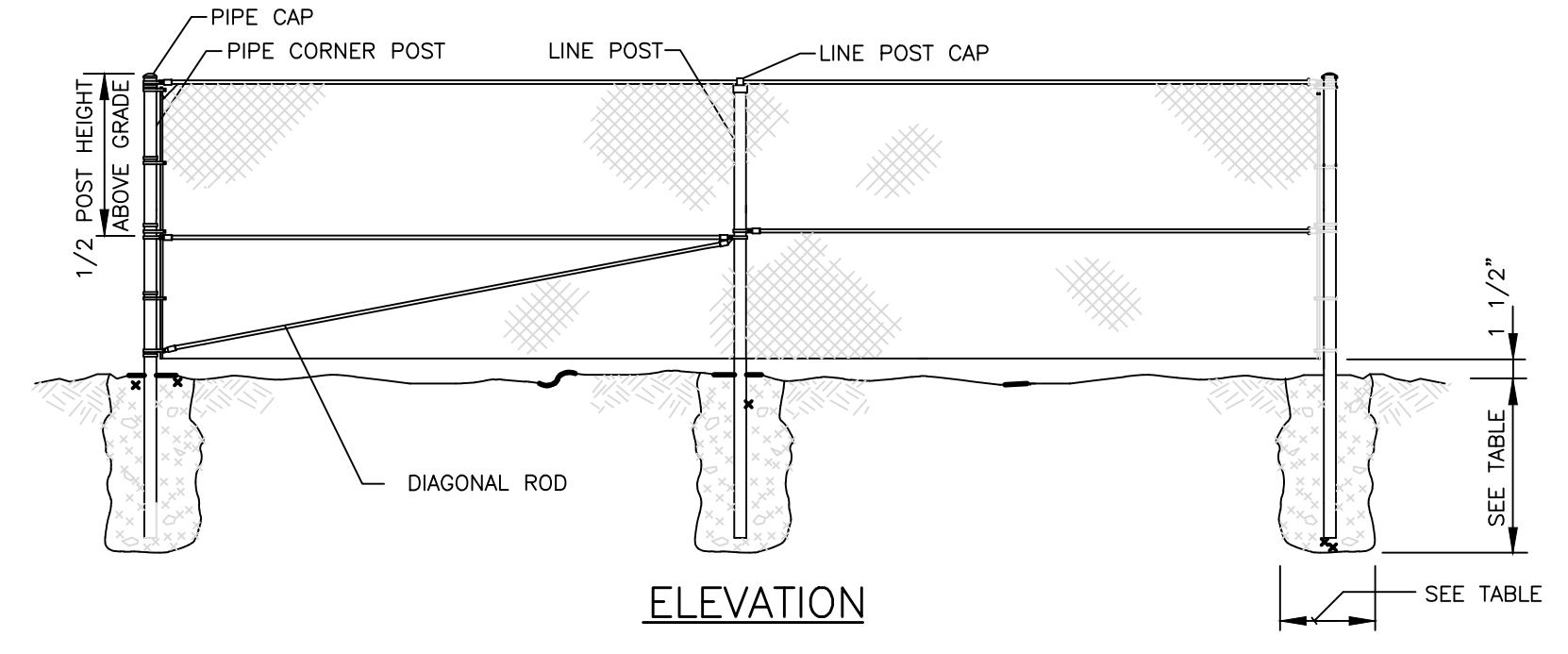
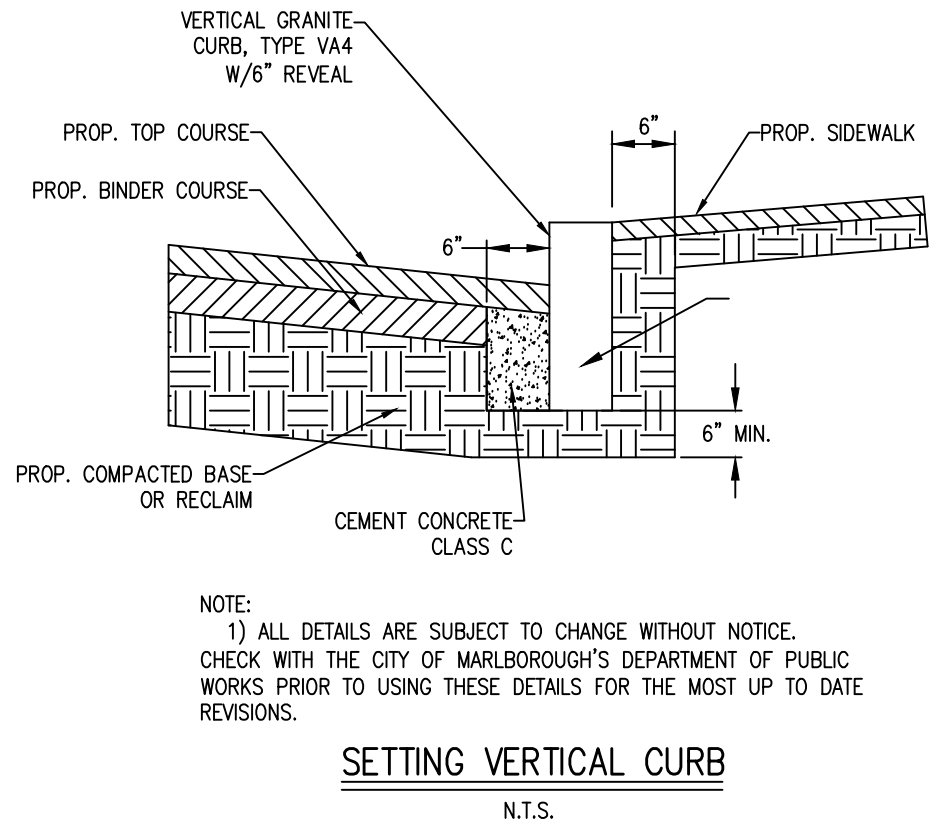
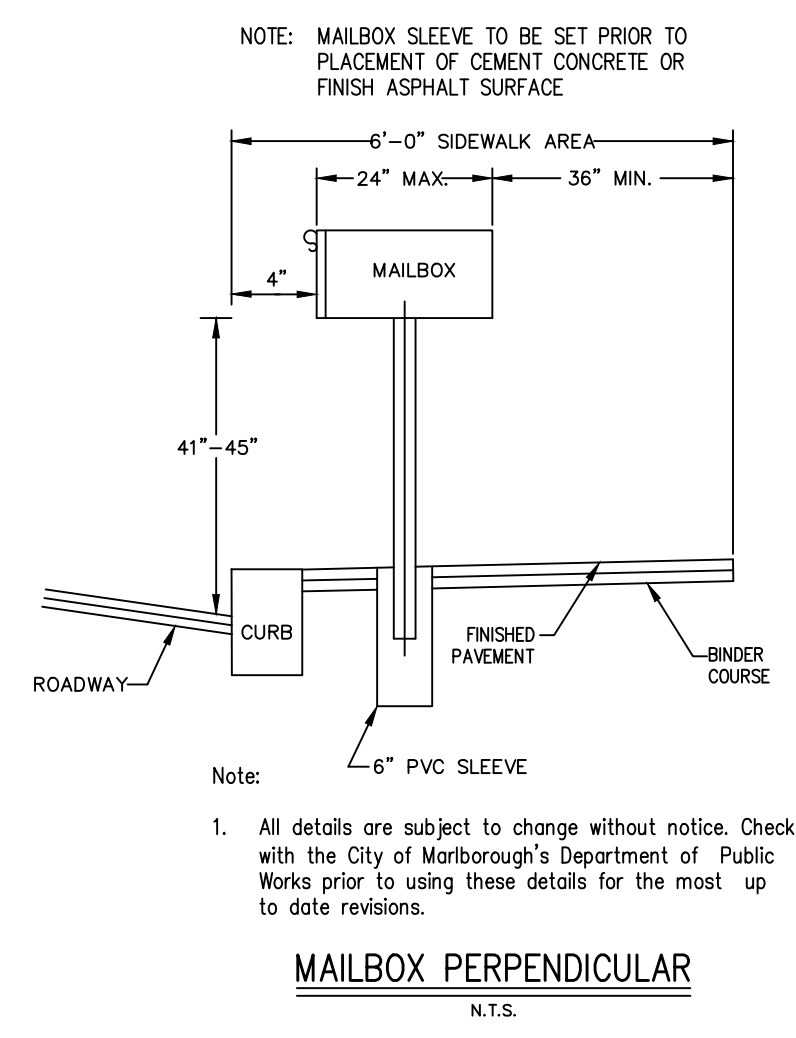


APPROVED BY THE CITY OF MARLBOROUGH PLANNING BOARD

DATE _____

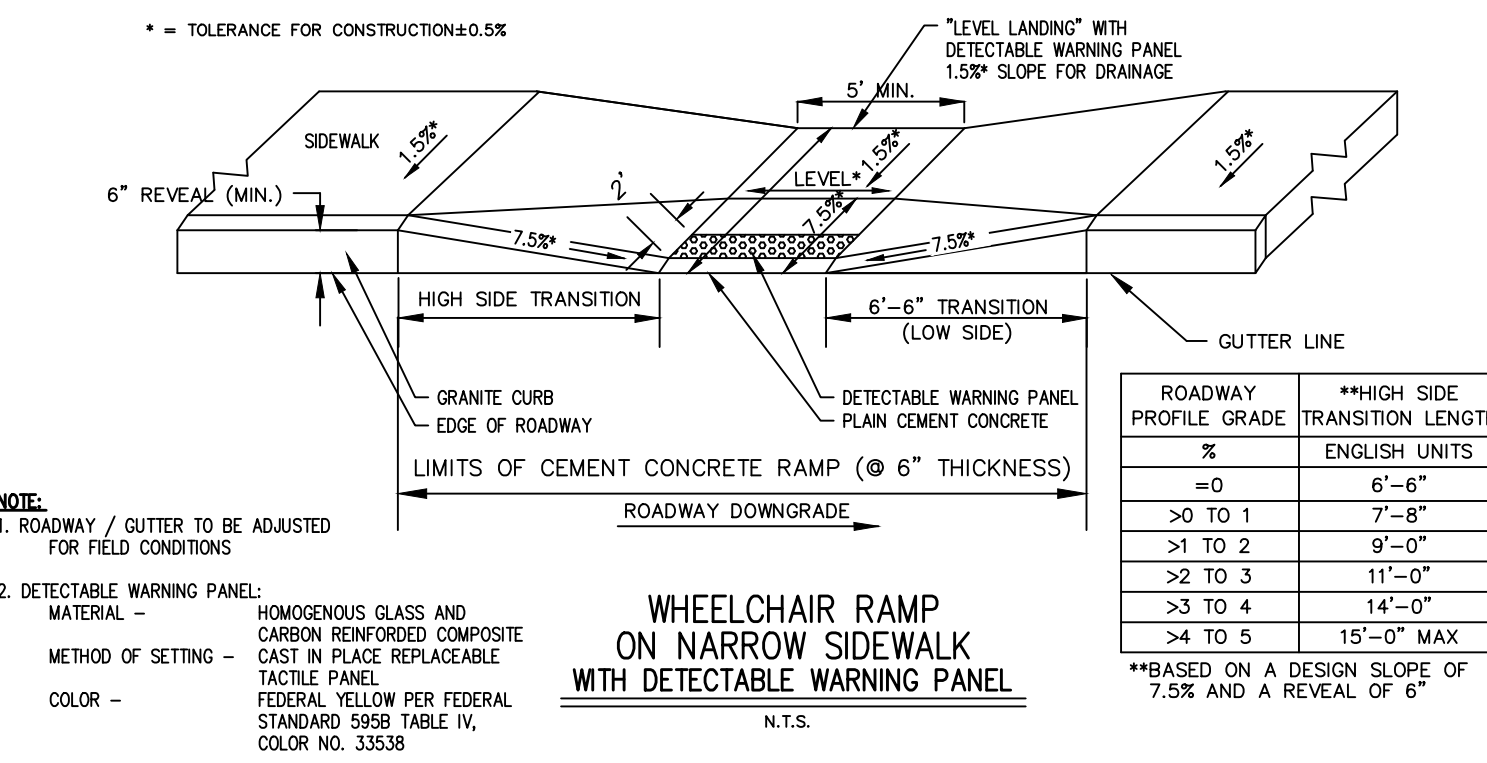
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CITY CLERK



POST SETTING REQUIREMENT			
TYPE OF POST	HOLE DIA. AT TOP*	HOLE DEPTH	POST EMBEDMENT
LINE	9"	38"	36"
TERMINAL	12"	38"	36"

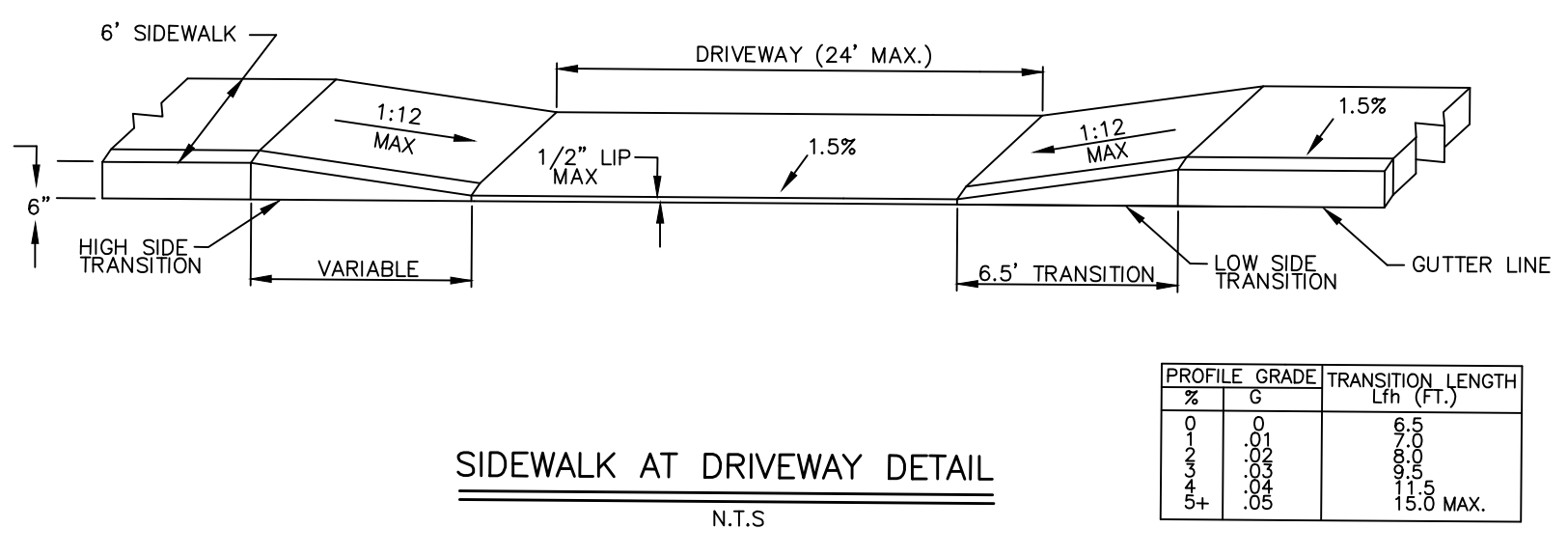
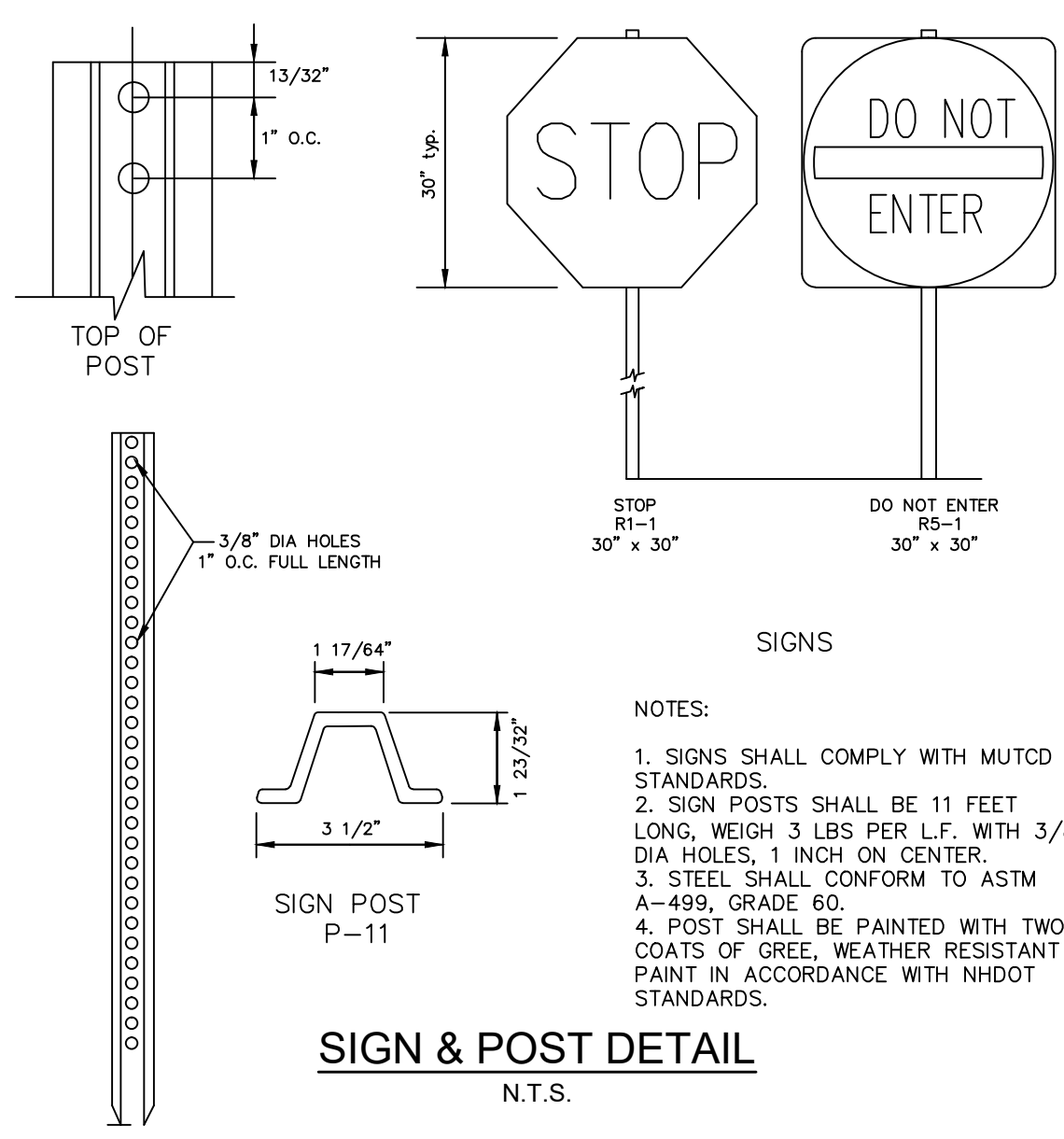
*MIN. HOLE DIAMETER IN SOFT OR LOOSE SOIL SHALL BE 18"



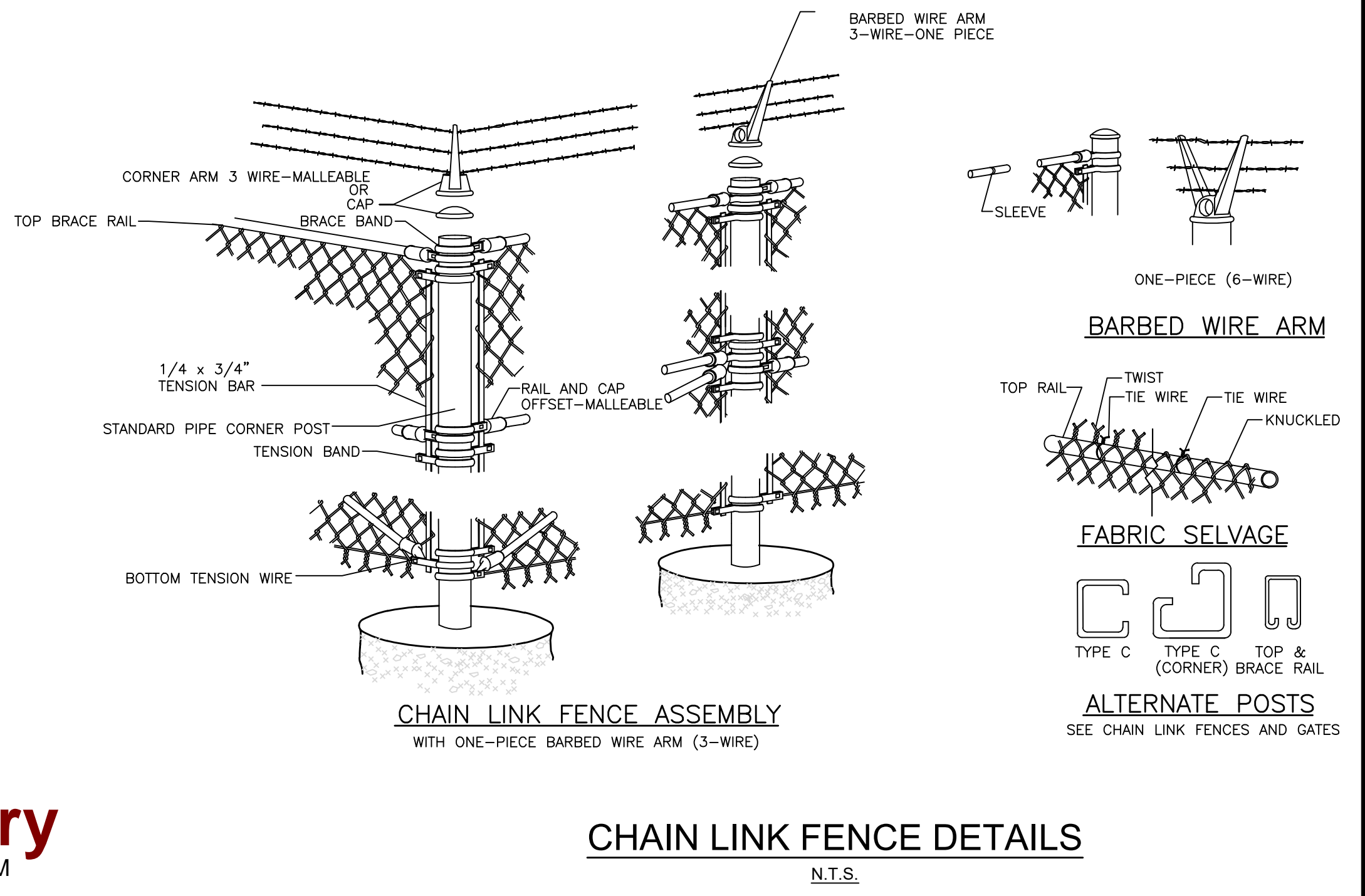
ROADWAY PROFILE GRADE %	**HIGH SIDE TRANSITION LENGTH ENGLISH UNITS
=0	6'-6"
>0 TO 1	7'-8"
>1 TO 2	9'-0"
>2 TO 3	11'-0"
>3 TO 4	14'-0"
>4 TO 5	15'-0" MAX

**BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 6"

- NOTES:
1. POST SPACING: LINE POSTS SHALL BE EVENLY SPACED, CENTER TO CENTER.
 2. BARBED WIRE ARM WHERE REQUIRED SHALL BE PER CHAIN LINK FENCES AND GATES, AND CHAIN LINK FENCE DETAIL 2.
 3. POST FOOTING SHALL HAVE A 1" CROWN FINISH.
 4. SEE CHAIN LINK FENCE DETAIL 2 FOR CHAIN LINK FENCE ASSEMBLY, ALTERNATE POSTS, AND FABRIC SELVAGE DETAILS.



PROFILE GRADE %	TRANSITION LENGTH (L) (FT.)
0	9.0
0.5	9.5
1.0	10.0
1.5	10.5
2.0	11.0
2.5	11.5
3.0	12.0
3.5	12.5
4.0	13.0
4.5	13.5
5.0	14.0
5.5	14.5
6.0	15.0 MAX.



Preliminary
02/08/2023 11:23:00 AM

CHAIN LINK FENCE DETAILS
N.T.S.

Engineer / Surveyor:
DK Engineering LLC
Office: 47 Enterprise Drive, #1 Windham, NH 03759
Tel: (603) 898-8228 E-mail: Dan.Koravos@gmail.com

FINDISEN SURVEY & DESIGN, LLC
87 Indian Rock Road, Windham, New Hampshire
P.O. Box 612, Sandown, NH 03773
Tel: (603) 898-8516 / Fax: (603) 898-4497

689 Pleasant Street

Applicant:
JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L. BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469
(978) 804-0169

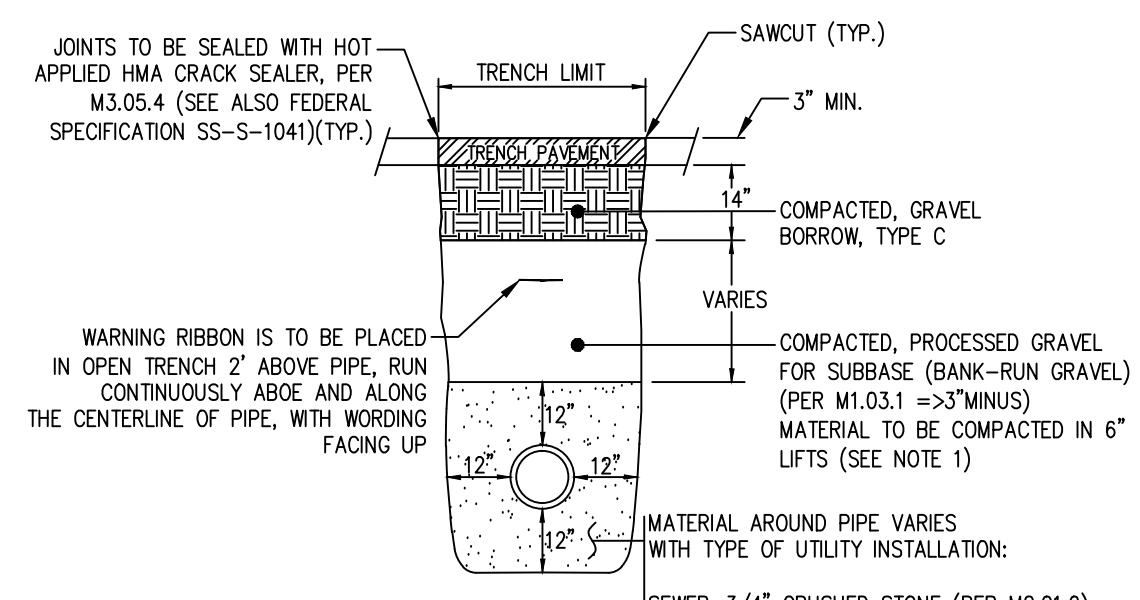
Owner(s):
JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L. BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469

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Assessor's Map & Lot: Map 28 / Lot 18B
Project No.: 42103 Drawing Scale: AS SHOWN
Plan Date: 02/06/2023 Revised Date:
Sheet Title: ROADWAY DETAIL SHEET

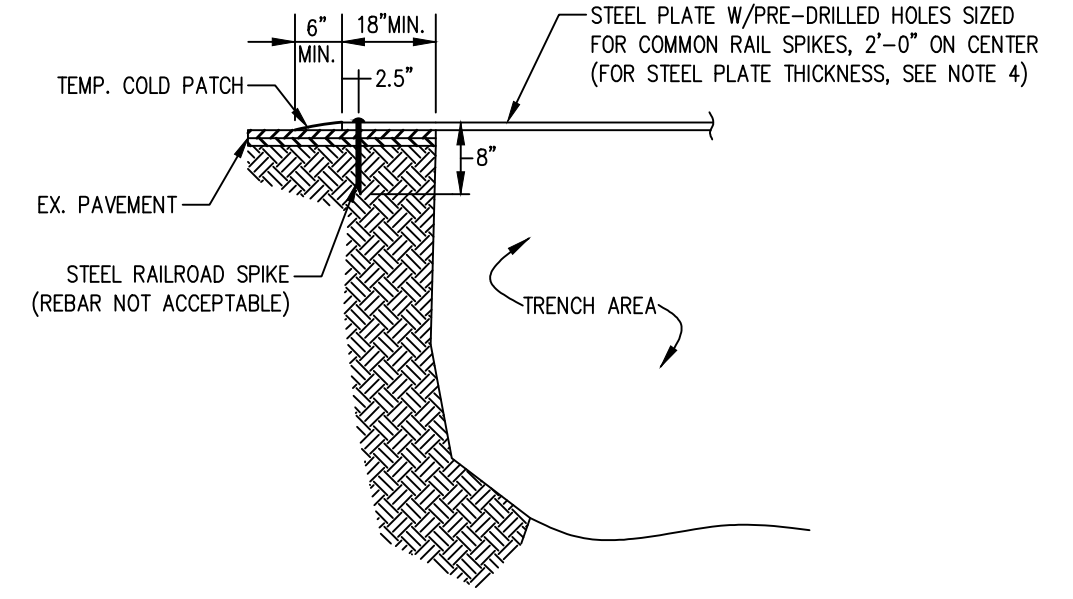
Sheet No.: **11**
Total No. of Sheets: 16

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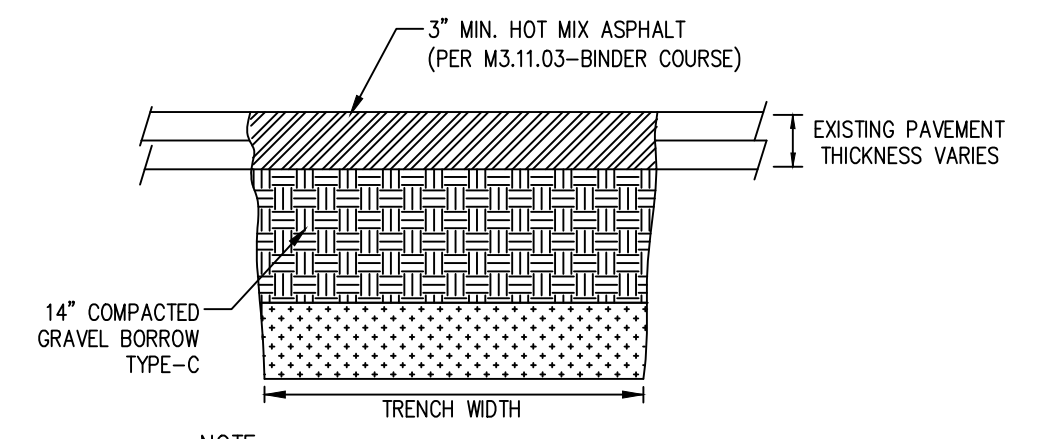
NOTE:
 1. COMPACTION EQUIPMENT AND LIFT THICKNESS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS TO OBTAIN THE COMPACTION STANDARDS DESCRIBED IN THE CONSTRUCTION NOTES, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. IN PROXIMITY TO STRUCTURES, A JUMPING JACK COMPACTOR SHALL BE REQUIRED.
 2. WATER MAIN PIPE IS TO HAVE MINIMUM COVER DEPTH OF 5 FEET FROM FINISHED SURFACE.

TYPICAL EXCAVATION TRENCH
N.T.S.



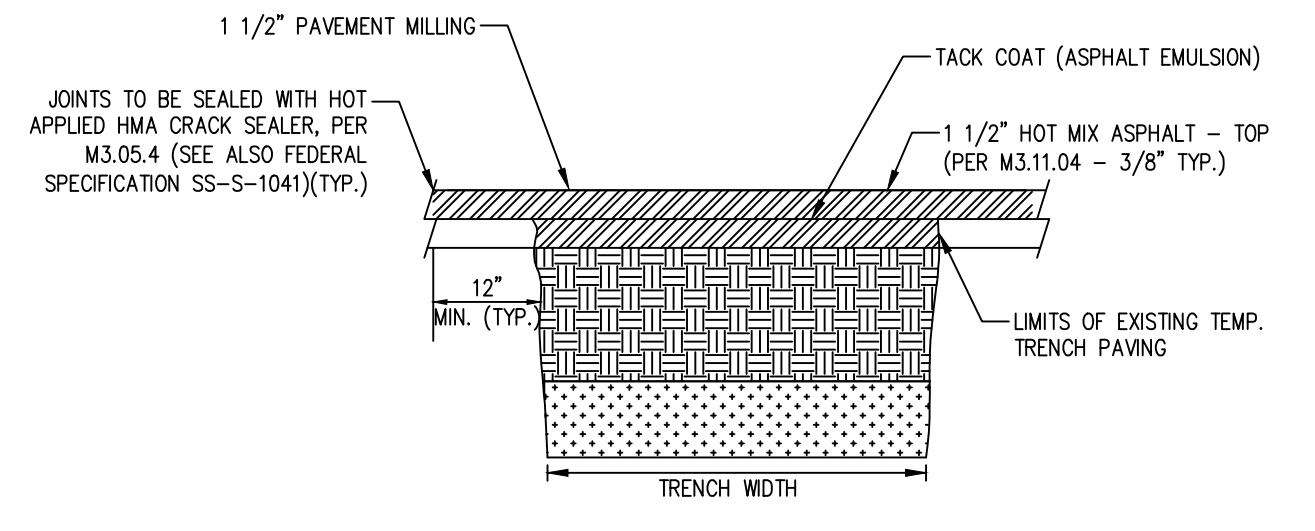
NOTE:
 1. THE CITY RESERVES THE RIGHT NOT TO ALLOW THE USE OF STEEL PLATES TO SECURE TRENCHES AT ANY TIME THROUGHOUT CONSTRUCTION.
 2. PLACE 48"x48" ORANGE AND BLACK CONSTRUCTION SIGN, STATING "STEEL PLATES 100 FT." TO PROVIDE DRIVERS WITH ADVANCED NOTICE. SEE TRAFFIC MANAGEMENT PLAN FOR PLACEMENT OF SIGNAGE.
 3. NOT MORE THAN ONE (1) STEEL PLATE SHALL BE USED AT ANY TIME AND CAN NOT BE USED ON EXCAVATIONS GREATER THAN 7 FEET WIDE.
 4. STEEL PLATE DIMENSIONS AND THICKNESS SHALL BE DESIGNED BY THE CONTRACTOR. STEEL PLATE THICKNESS SHALL BE DESIGNED TO ALLOW DEFLECTION OF NOT MORE THAN 0.25".
 5. PROVIDE WOOD WEDGES UNDER PLATE EDGES AT UNEVEN SURFACES TO MINIMIZE MOVEMENT.

STEEL PLATE DETAIL
N.T.S.

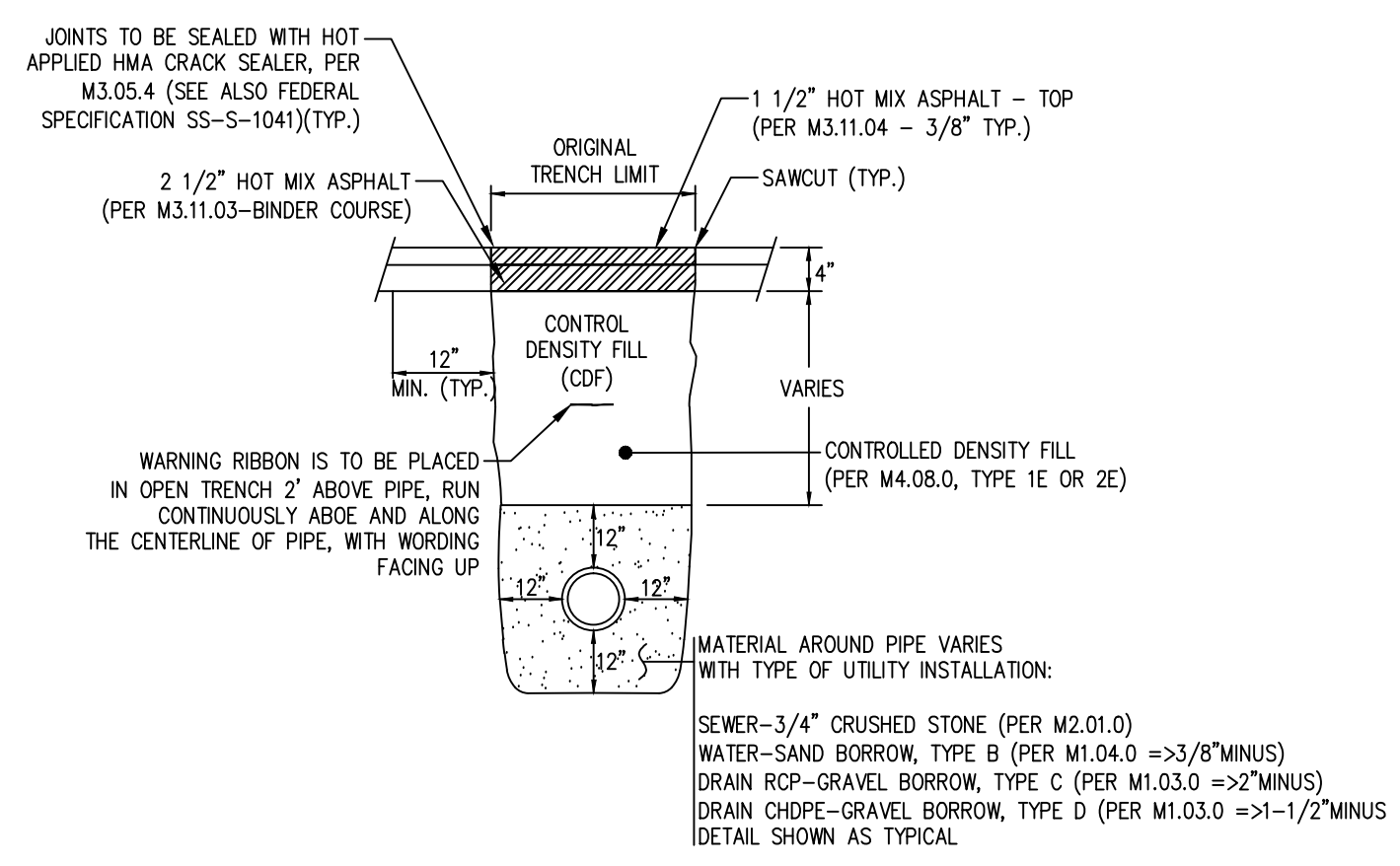


NOTE:
 1. COMPACTION EQUIPMENT AND LIFT THICKNESS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS TO OBTAIN THE COMPACTION STANDARDS DESCRIBED IN THE CONSTRUCTION NOTES, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. IN PROXIMITY TO STRUCTURES, A JUMPING JACK COMPACTOR SHALL BE REQUIRED.

TEMPORARY TRENCH PAVING TYPICAL SECTION
N.T.S.



FINAL TRENCH PAVING TYPICAL SECTION
N.T.S.



TYPICAL EXCAVATION TRENCH FLOWABLE FILL
N.T.S.

CONSTRUCTION NOTES

THE FOLLOWING DESCRIBES MATERIALS AND METHODS AS THEY PERTAIN TO ROAD OPENING WORK. ALL WORK SHALL CONFORM TO THE 1989 STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, AND ALL SUBSEQUENT SUPPLEMENTAL SPECIFICATIONS THERETO.

BACKFILL MATERIALS

EXCAVATIONS IN THE STREET PAVEMENT AREAS SHALL BE CAREFULLY BACKFILLED WITH LAYERS OF SUITABLE GRAVEL. THE TWELVE (12) INCHES OF BEDDING MATERIAL AROUND PIPES SHALL BE SAND (M1.04.0) FOR WATER, 2" CRUSHED STONE (M2.01.0) FOR SEWER, GRAVEL BORROW - TYPE C (M1.03.0) FOR RCP DRAIN & TYPE D (M1.03.0) FOR CHDPE DRAIN OR AS SPECIFIED BY THE OWNER OF THE UTILITY AND APPROVED BY THE CITY OF MARLBOROUGH.

SUITABLE BANK-RUN GRAVEL MATERIAL FOR BACKFILLING SHALL BE GRANULAR FILL CONSISTING OF MINERAL SOIL SUBSTANTIALLY FREE FROM CLAY, ORGANIC MATERIALS, LOAM, WOOD, TRASH OR OTHER OBJECTIONABLE MATERIAL WHICH MAY NOT BE COMPRESSIBLE OR WHICH CANNOT BE PROPERLY COMPACTED. IT SHALL NOT CONTAIN STONES, BROKEN CONCRETE, MASONRY RUBBLE OR OTHER SIMILAR MATERIALS. IT SHALL HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE READILY SPREAD AND COMPACTED. IT SHALL NOT CONTAIN ANY SNOW, ICE OR FROZEN SOIL.

BACKFILL MATERIAL SHALL CONSIST OF CONTROLLED DENSITY FILL (CDF) - TYPE 1E OR 2E (M4.08.0) FOR ALL MAJOR ROADWAYS OF THE CITY OR AS DIRECTED BY THE COMMISSIONER OF PUBLIC WORKS, WHERE REQUIRED, CDF SHALL BE PLACED TO WITHIN A MINIMUM OF 5" FROM THE TOP OF THE EXISTING PAVEMENT OR AS DIRECTED BY THE CITY'S INSPECTOR. CDF SHALL BY TYPE 1E VERY FLOWABLE (EXCAVATABLE) OR TYPE 2E FLOWABLE (EXCAVATABLE) WITH A MAXIMUM STRENGTH OF 200 PSI AND 25-30% AIR. CDF (TYPE 1E AND 2E) SHALL BE EXCAVATABLE USING SIMPLE HAND TOOLS WHERE REQUIRED.

IF CONTROL DENSITY FILL IS USED TO BACKFILL THE TRENCH, PERMANENT TRENCH PAVING CAN BE PERFORMED ONCE THE CONTROL DENSITY FILL HAS SET, ELIMINATING THE TEMPORARY TRENCH PAVING REQUIREMENT. PROOF OF CONTROL DENSITY FILL SHALL BE REQUIRED IN ORDER TO BE GRANTED RELIEF FROM PERMANENT TRENCH PAVING. PLEASE NOTE, SHOULD THE TRENCH SHOW ANY SIGNS OF FAILURE, THE CONTRACTOR SHALL EXCAVATE THE HOT MIX ASPHALT IN QUESTION AND PERFORM TRENCH PAVING MEETING THE CITY OF MARLBOROUGH'S SPECIFICATIONS.

COMPACTION OF BACKFILL

BACKFILL SHALL BE UNIFORMLY DISTRIBUTED IN SUCCESSIVE LAYERS, EACH LAYER BEING THOROUGHLY COMPACTED BEFORE THE SUCCEEDING LAYER IS PLACED. THE ENTIRE WIDTH OF THE TRENCH SHALL BACKFILLED AND MECHANICALLY TAMPED IN LIFT DEPTHS NOT GREATER THAN (6) INCHES. COMPACTION EQUIPMENT AND LIFT THICKNESS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS TO OBTAIN THE COMPACTION STANDARDS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. THE TOP LAYER OF BACKFILL SHALL BE FOURTEEN (14) INCHES OF GRAVEL COMPACTED TO 97% OF MAXIMUM DENSITY.

GRADING ROLLING AND FINISHING

PAVEMENT PLACED SHALL BE PLACED AND RAKED TO A UNIFORM SURFACE, ROLLED TO THE REQUIRED THICKNESS AND TO A GRADE THAT WILL MATCH THE EXISTING BITUMINOUS ROAD SURFACE. THE PERMITTEE SHALL MAINTAIN THE SURFACING AND SHALL PROMPTLY FILL WITH SIMILAR MATERIAL ANY DEPRESSION AND HOLES THAT MAY OCCUR SO AS TO KEEP THE SURFACING IN A SAFE AND SATISFACTORY CONDITION FOR TRAFFIC.

TEMPORARY PAVEMENT

A TEMPORARY PAVEMENT SHALL BE PLACED ON THE SURFACE OF THE FILL AND THOROUGHLY COMPACTED. A TEMPORARY PAVEMENT SHALL BE HOT MIX ASPHALT NO LESS THAN THE EXISTING BASE COURSE OR A MINIMUM THREE (3) INCHES THICK (SEE EXCAVATION TRENCH DETAIL). IF PLATES ARE USED PRIOR TO TEMPORARY PAVING, THEY SHALL BE RAMPED TO MATCH THE EXISTING PAVEMENT. TEMPORARY PAVING OR STEEL PLATING SHALL IMMEDIATELY FOLLOW THE BACKFILLING OPERATION OR AS DIRECTED BY ENGINEER.

PERMANENT PAVING

THE FINAL HOT MIX ASPHALT SURFACE SHALL NOT BE PLACED ANY EARLIER THAN 65 DAYS OR NO LATER THAN 90 DAYS FROM THE DATE OF COMPLETION OF THE TEMPORARY SURFACE WITHOUT APPROVAL FROM THE COMMISSIONER OF PUBLIC WORKS. THE TEMPORARY PAVEMENT SHALL BE MILLED TO A DEPTH OF ONE AND ONE-HALF (1 1/2) INCHES, TWELVE (12) INCHES OUTSIDE OF THE TEMPORARY PAVING LIMITS. PAVEMENT LIMITS JOINTS ARE TO BE SEALED WITH HOT APPLIED HMA CRACK SEALER, PER M3.05.4. IN SOME INSTANCES, FOR PROJECTS BEYOND A SIMPLE TRENCH EXCAVATION ADDITIONAL PAVEMENT DETAILS AND RESURFACING REQUIREMENTS MAY BE INCLUDED AS A SPECIAL CONDITION IN THE PERMIT.

PROTECTIVE SYSTEMS

ALL EXCAVATIONS MUST BE PROPERLY SLOPED, SHORED, OR SHIELDED UNLESS THEY ARE MADE ENTIRELY IN STABLE ROCK, OR LESS THAN (5) FEET DEEP AND DECLARED SAFE AFTER AN INSPECTION BY A COMPETENT PERSON.

Preliminary
02/08/2023 11:23:06 AM

"I, _____, CLERK OF THE CITY OF MARLBOROUGH, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK

APPROVED BY THE CITY OF MARLBOROUGH PLANNING BOARD

DATE _____

Engineer / Surveyor:
DK Engineering LLC
 Office: 47 Enterprise Drive, #1 Windham, NH 03098
 Tel: (603) 609-8228 E-mail: Dan.Koravos@gmail.com
FINDISEN SURVEY & DESIGN, LLC
 87 Indian Rock Road, Windham, New Hampshire
 P.O. Box 612, Sandown, NH 03873
 Tel: (603) 898-8516 / Fax: (603) 898-4497

Engineer:

 Daniel Koravos

Surveyor:

Applicant:
JOYCE BEAUCHEMIN REALTY TRUST
 TIMOTHY L BEAUCHEMIN, TRUSTEE
 P.O. BOX 1067
 TOWNSEND, MA 01469
 (978) 804-0169

Owner(s):
JOYCE BEAUCHEMIN REALTY TRUST
 TIMOTHY L BEAUCHEMIN, TRUSTEE
 P.O. BOX 1067
 TOWNSEND, MA 01469

NO.	DATE	BY	DESCRIPTION
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Assessor's Map & Lot:
 Map 28 / Lot 18B
 Project No.: 42103 Drawing Scale: AS SHOWN
 Plan Date: 02/06/2023 Revised Date:

Sheet Title:
TRENCH DETAIL SHEET

Sheet No.: **12**
 Total No. of Sheets: 16

NOT RELEASED FOR CONSTRUCTION

WATER NOTES

THE FOLLOWING DESCRIBES MATERIALS AND METHODS OF INSTALLATION OF WATER MAINS IN GENERAL. ALL WORK SHALL CONFORM TO THE 1988 STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, ALL SUBSEQUENT SUPPLEMENTAL SPECIFICATIONS IN THE PARTICULAR CONTRACT AND IN ACCORDANCE WITH THE MOST RECENT A.W.W.A. STANDARDS.

MAIN INSTALLATION

ALL MAINS WILL BE A MINIMUM OF EIGHT INCH DUCTILE IRON PIPE, CLASS 52, CEMENT LINED MECHANICAL JOINT OR PUSH-ON JOINT IN ACCORDANCE WITH A.W.W.A. STANDARDS. ALL MAINS OVER EIGHT (8) INCHES IN DIAMETER WILL BE DUCTILE IRON CLASS 52, INCLUDING NIPPLE PIECES. WHERE PRESSURES ARE \geq 150 PSI STUBS LESS THAN A FULL STICK OF PIPE SHALL BE FIELD LOCK GASKET. ALL HYDRANT BRANCHES SHALL BE SIX (6) INCH DUCTILE IRON CLASS 52. ALL INTERSECTIONS OF MAINS WILL BE GATED IN THEIR RESPECTIVE DIRECTIONS. NO MAIN GATE WILL EXTEND OVER ONE THOUSAND (1,000) FEET OF EACH OTHER OR SO SPACED AT THE DIRECTION OF THE DEPARTMENT OF PUBLIC WORKS OR FIRE CHIEF. ALL HYDRANTS WILL BE GATED. ALL TAPS TO THE EXISTING PUBLIC SYSTEM WILL SPECIFY A TAPPING SLEEVE AND GATE VALVE. EXCAVATION WILL BE TO A DEPTH THAT PROVIDES A MINIMUM OF FIVE (5) FEET OF COVER OVER THE PIPE. IF THE EXCAVATION IS IN LEDGE, A MINIMUM OF 12 FEET SPACING AROUND THE PIPE WILL BE REQUIRED TO ALLOW FOR SELECTED BACKFILL MATERIAL (SEE TRENCHING DETAILS). IT WILL BE AT THE DISCRETION OF THE DEPARTMENT OF PUBLIC WORKS AS TO THE TYPE OF BEDDING USED AND WILL DEPEND ON THE FIELD CONDITIONS. IN ANY EVENT, IT WILL BE SAND BORROW, NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER MAY BE USED WITHIN THE FIRST FOOT OF BACKFILL OVER THE PIPE. ONCE THE PIPE HAS SUFFICIENT COVER WITH THE SELECTED MATERIAL, NORMAL BACKFILLING MAY PROCEED WITH CARE. JOINTING OF PUSH-ON OR TYTON JOINT CAST IRON WILL BE WITH THE USE OF A COME-ALONG OR BAR. IF A BAR IS USED A BLOCK OF WOOD WILL BE USED BETWEEN IT AND THE PIPE. THE SAME APPLIES FOR HAVING A BACKHOE/EXCAVATOR SET LARGER DIAMETER PIPE, A BLOCK OF WOOD WILL BE INSERTED BETWEEN THE BUCKET AND THE PIPE; IN NO EVENT WILL THERE BE A METAL-TO-METAL DRIVING FORCE TO SET THE PIPE. IF THIS IS NOT STRICTLY COMPLIED WITH THE LENGTH OF THE PIPE WILL BE REMOVED AND A NEW ONE USED IN ITS PLACE.

MAIN GATE VALVES AND BOXES

MAIN GATE VALVES SHALL BE OPEN RIGHT, DUCTILE IRON BODY, STAINLESS STEEL STEM, RESILIENT WEDGE DESIGN AS MANUFACTURED BY MUELLER CO. OR APPROVED EQUAL. MAIN GATE BOXES SHALL BE CAST-IRON, SLIDE TYPE WITH AT LEAST SIX (6) INCHES OF ADJUSTMENT AND AT LEAST FIVE (5) FEET LONG. THE COVERS SHALL BE FLUSH, CLOSE-FITTING WITH THE LETTER "W" OR THE WORD "WATER" CAST INTO THE COVER.

MAIN LINE TAPS

MAIN LINE TAPS WILL ALWAYS BE DONE WITH THE USE OF TAPPING SLEEVE AND GATE VALVE. THE TAPPING SLEEVE TO BE MUELLER OR APPROVED EQUAL. IF THE CONTRACTOR IS TO MAKE THE TAP ON THEIR OWN, THEY MUST FURNISH EVIDENCE OF THEIR COMPETENCE THROUGH PREVIOUS WORK AND HAVE THE NECESSARY TOOLS TO PERFORM THE WORK SATISFACTORILY.

THRUST BLOCKS

ALL PLUGS, CAPS, TEES, BENDS AND HYDRANTS SHALL BE PROVIDED WITH A CONCRETE THRUST BLOCK, OR APPROVED OTHER, TO PREVENT MOVEMENT. THE THRUST BLOCK SHALL CONSIST OF A FORMED CONCRETE BACKING AGAINST UNDISTURBED MATERIAL, POURED IN PLACE WITH 3,000 PSI, 1-1/2", 470 CEMENT CONCRETE MASONRY OR PRE-FORMED CEMENT CONCRETE BLOCKS APPROVED BY THE ENGINEER. THE CONTRACTOR IS TO INSTALL A 6MIL POLYETHYLENE BARRIER BETWEEN THE THRUST BLOCK AND DUCTILE IRON AT ALL MECHANICAL JOINTS PRIOR TO POURING CONCRETE.

INSPECTIONS

INSPECTION WILL BE PROVIDED BY THE CITY OF MARLBOROUGH WATER AND SEWER INSPECTOR. BEFORE ANY BACKFILLING IS DONE, THE DEPARTMENT OF PUBLIC WORKS WATER DIVISION WILL BE NOTIFIED TWENTY-FOUR (24) HOURS IN ADVANCE, AND AN INSPECTOR WILL INSPECT THE COMPLETED WORK. THIS METHOD OF OPERATION WILL BE USED FOR HYDRANT INSTALLATION, MAIN TAPS, SERVICE TAPS, TESTING, ETC. IF THE DEPARTMENT OF PUBLIC WORKS FEELS THAT INSUFFICIENT WORKMANSHIP AND CARE IS BEING TAKEN IN THE INSTALLATION, THIS WORK MAY BE TERMINATED UNTIL FURTHER APPROVAL FROM THE CITY ENGINEER.

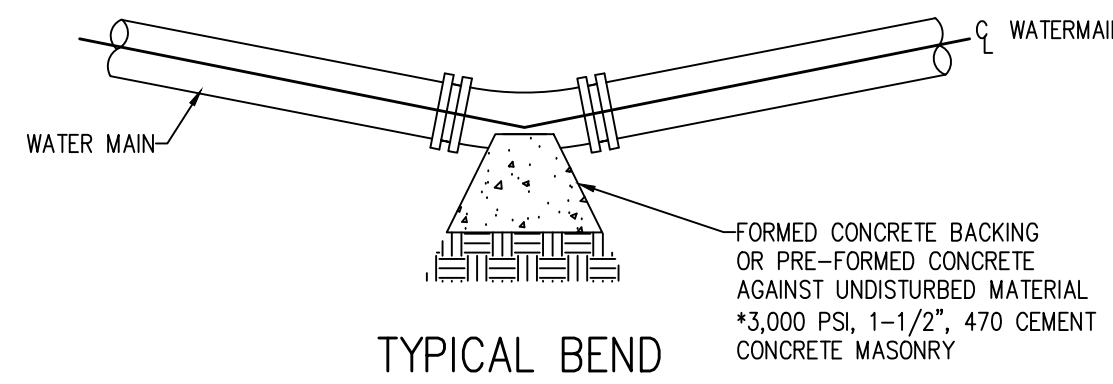
SERVICE CONNECTIONS

SERVICE CONNECTIONS SHALL HAVE A MINIMUM SIZE OF THREE-FOURTHS (3/4) INCH IN DIAMETER. ALL SERVICE PIPES SHALL BE TYPE K COPPER TUBING FOR REPAIRS. NEW SERVICES SHALL BE TYPE K COPPER TUBING OR HDPE SDR 9 TUBING SIZE PE WITH MINIMUM PRESSURE RATING OF 250 PSI. TRACER WIRE MUST BE USED WITH PLASTIC SERVICES. TRACER WIRE SHALL BE BROUGHT FROM THE MAIN TO SURFACE ALONG SIDE CURB BOX OR INSIDE BUILDING THROUGH THE FOUNDATION WALL. TRACER WIRE SHALL BE MIN. 12 AWG COPPER WIRE, SOLID, COATED WITH A BLUE COLORED 30 MIL. HIGH MOLECULAR WEIGHT POLYETHYLENE INSULATION. FOR TRENCHLESS WATER LINE: A MIN. OF TWO WIRES OF AS SHOWN ON THE PLANS AND SHALL BE A MIN. 12 AWG COPPER CLAD STEEL CORE WIRE, SOLID, WITH A BLUE 45 MIL. HDPE INSULATION. A CURB STOP SHALL BE (CTS) THREAD, OPEN RIGHT W/ STOP, AS MANUFACTURED BY FARNUM OR MUELLER, NON-DRAINING. ANY SERVICE ONE (1) INCH OR GREATER SHALL EMPLOY AN ORISEAL CURB WITH WITH STOP. THE SERVICE SHALL BE INSTALLED AT 90° FROM THE ROAD, UNLESS OTHERWISE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. UNDER NO CIRCUMSTANCES WILL ANY INVERTED KEY CURBS BE INSTALLED IN ANY WATER SYSTEM IN THE CITY OF MARLBOROUGH. ANY SERVICE PIPE LARGER THAN TWO (2) INCHES SHALL BE CEMENT LINED DUCTILE IRON CLASS 52, CEMENT LINED MECHANICAL JOINT OR PUSH-ON JOINT IN ACCORDANCE WITH A.W.W.A. STANDARDS. ALL NEW MAIN CONNECTIONS WILL BE MADE BY WAY OF DIRECT WET TAP. THE USE OF A TWO-STRAP CORPORATION SADDLE SHALL ONLY BE USED WITH APPROVAL OF ENGINEER (TYPE, SMITH-BLAIR OR MUELLER) AND IF A REPAIR SADDLE (TYPE, SMITH BLAIR). THE SERVICE BOX FOR SERVICES UP TO TWO (2) INCHES SHALL BE FOUR-AND-ONE-HALF (4 1/2) TO FIVE-AND-ONE-HALF (5 1/2) FEET. EXTENSION-TYPE, THREE-FOURTHS INCH STAINLESS STEEL ROD WITH STAINLESS STEEL PIN, AND COVER TO BE WITH COUNTER SUNK ONE INCH BRASS PLUG TAPPED FOR ONE INCH IRON PIPE. THE SERVICE BOX FOR TWO (2) INCH SERVICES SHALL BE TWO-AND-ONE-HALF (2 1/2) BUFFALO STYLE BOX SLIDE TYPE WITH SERVICE BOX FOOT PIECE AND CENTERING PIN EXTENSION. MINIMUM COVER FOR SERVICES SHALL BE FIVE (5) FEET ZERO (0) INCHES. A SAND BACKFILL MATERIAL WILL BE CAREFULLY PLACED AROUND THE SERVICE PIPE TO PROTECT IT FROM NORMAL BACKFILL AND COMPACTION.

TESTING

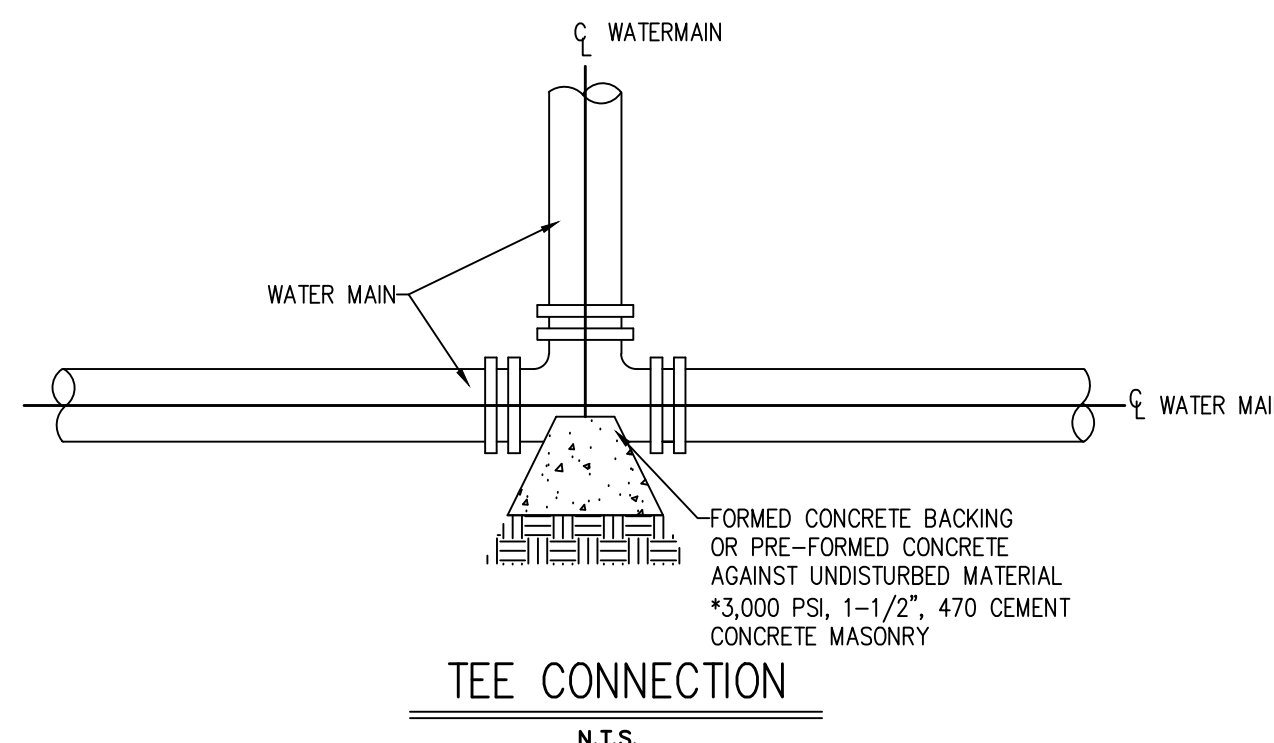
PRESSURE TESTING AND DISINFECTION OF WATER MAINS SHALL BE DONE IN ACCORDANCE WITH ANSI AWWA STANDARDS C651-14 DISINFECTING WATER MAINS.

SIZE OF MAIN (IN.)	45° BEND (S.F.)	TEES & PLUGS	22 1/2° BEND
8" & LESS	8	10	8
10" - 12"	22	16	13



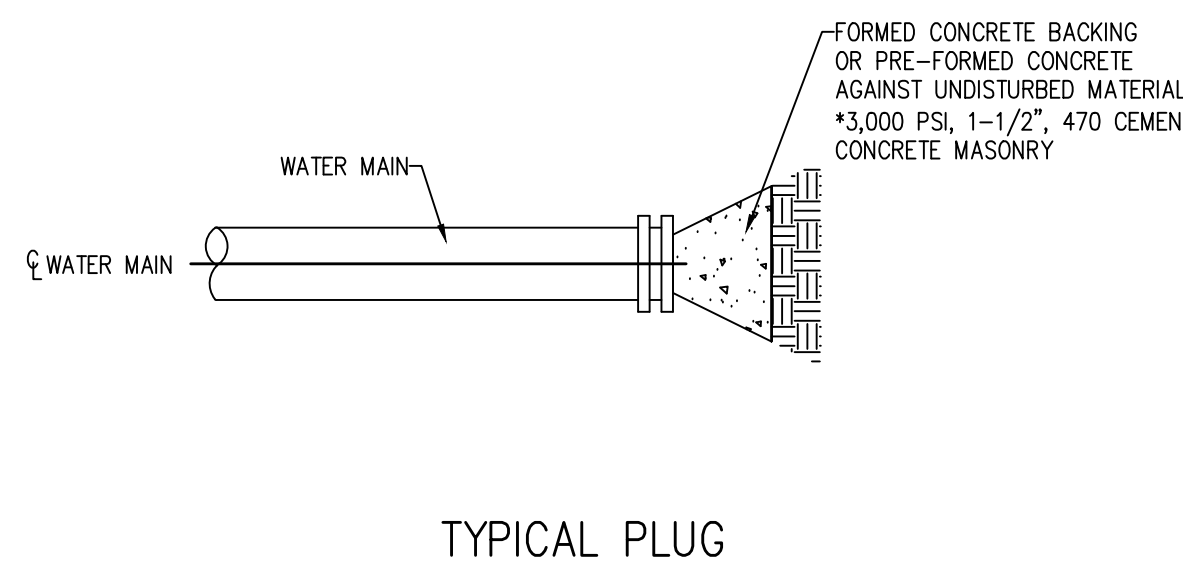
NOTES:

1. PROVIDE RESTRAINTS FOR MECHANICAL JOINTS (MEGALUGS OR FRICTION CLAMPS).
2. 6 MIL POLYETHYLENE SHALL BE PLACED BETWEEN THE THRUST BLOCK AND PIPE AT ALL MECHANICAL JOINTS PRIOR TO POURING CONCRETE.



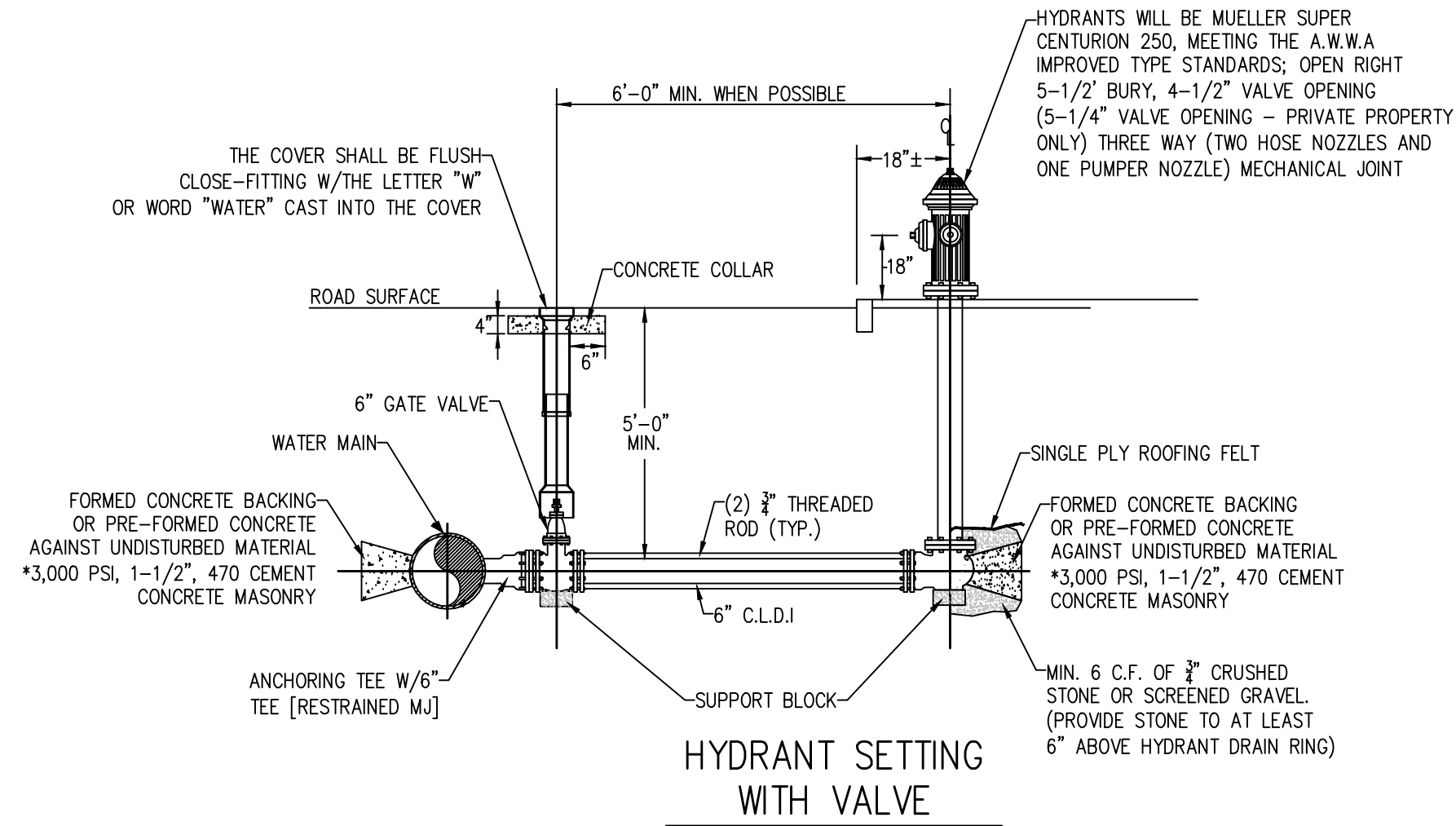
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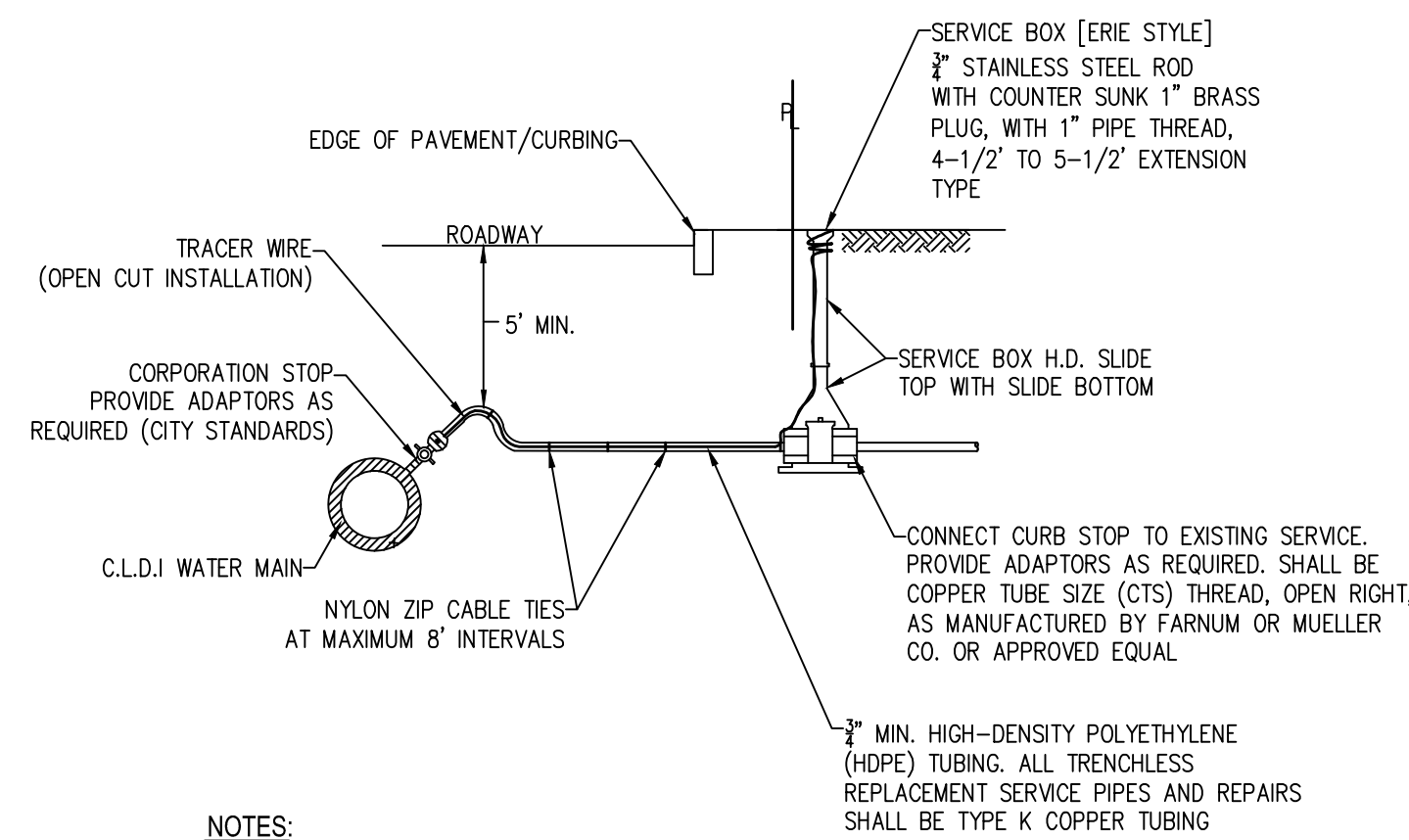
NOTES:

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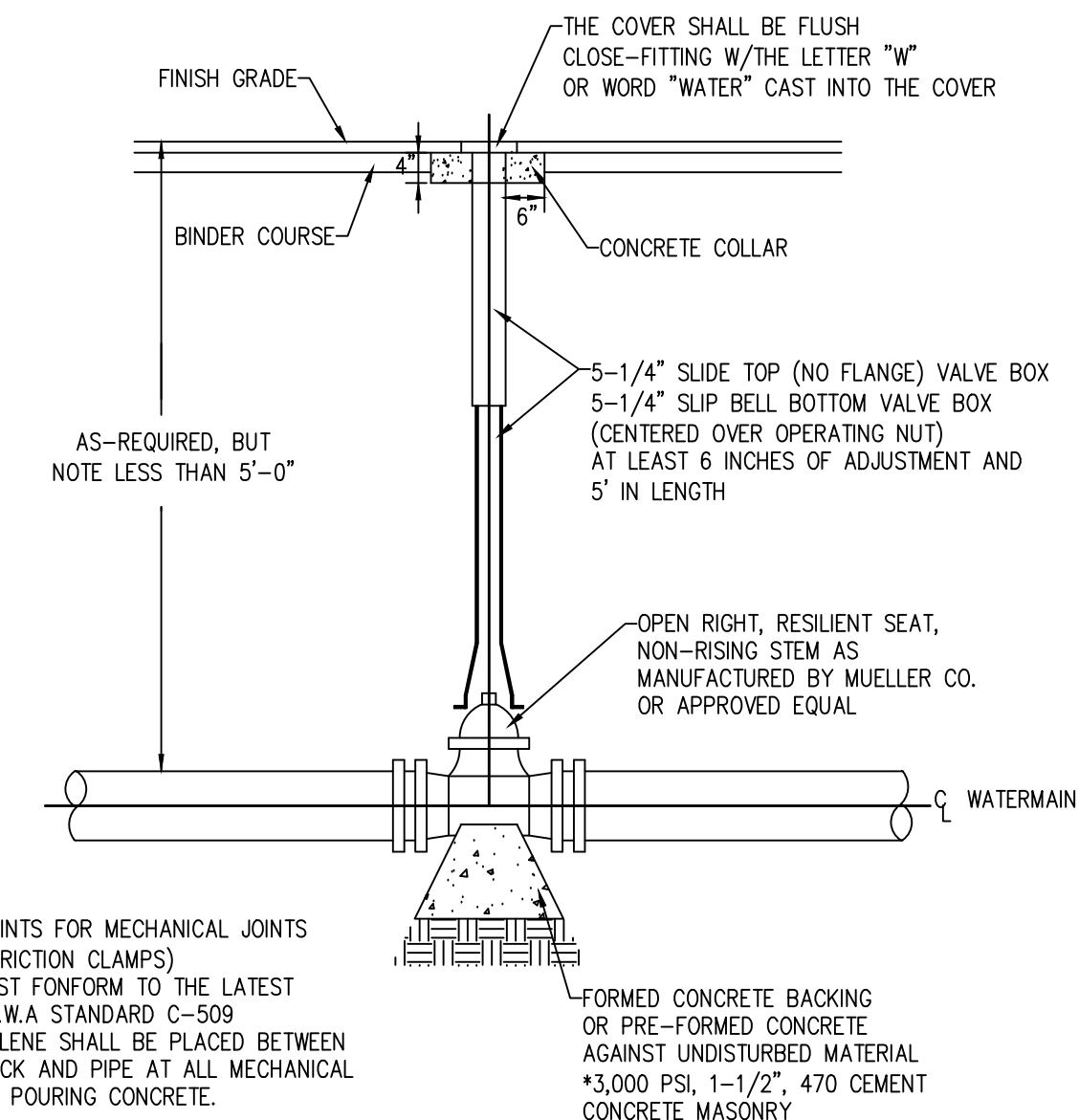
NOTES:

1. PROVIDE HYDRANT AND VALVE JOINTS WITH MECHANICAL JOINTS (MEGALUG OR APPROVED EQUAL).
2. SUPPORT BLOCKS TO BE PRESSURE TREATED WOOD OR CONCRETE MASONRY BLOCKS.
3. ALL VALVES OPEN RIGHT.
4. 6 MIL POLYETHYLENE SHALL BE PLACED BETWEEN THE THRUST BLOCK AND PIPE AT ALL MECHANICAL JOINTS PRIOR TO POURING CONCRETE.
5. THREADED ROD IS NOT REQUIRED IF MEGA LUGS ARE USED. IF NORMAL PIPE JOINT IS NEEDED IN HYDRANT BRANCH A LOCKING RUBBER SHALL BE REQUIRED.



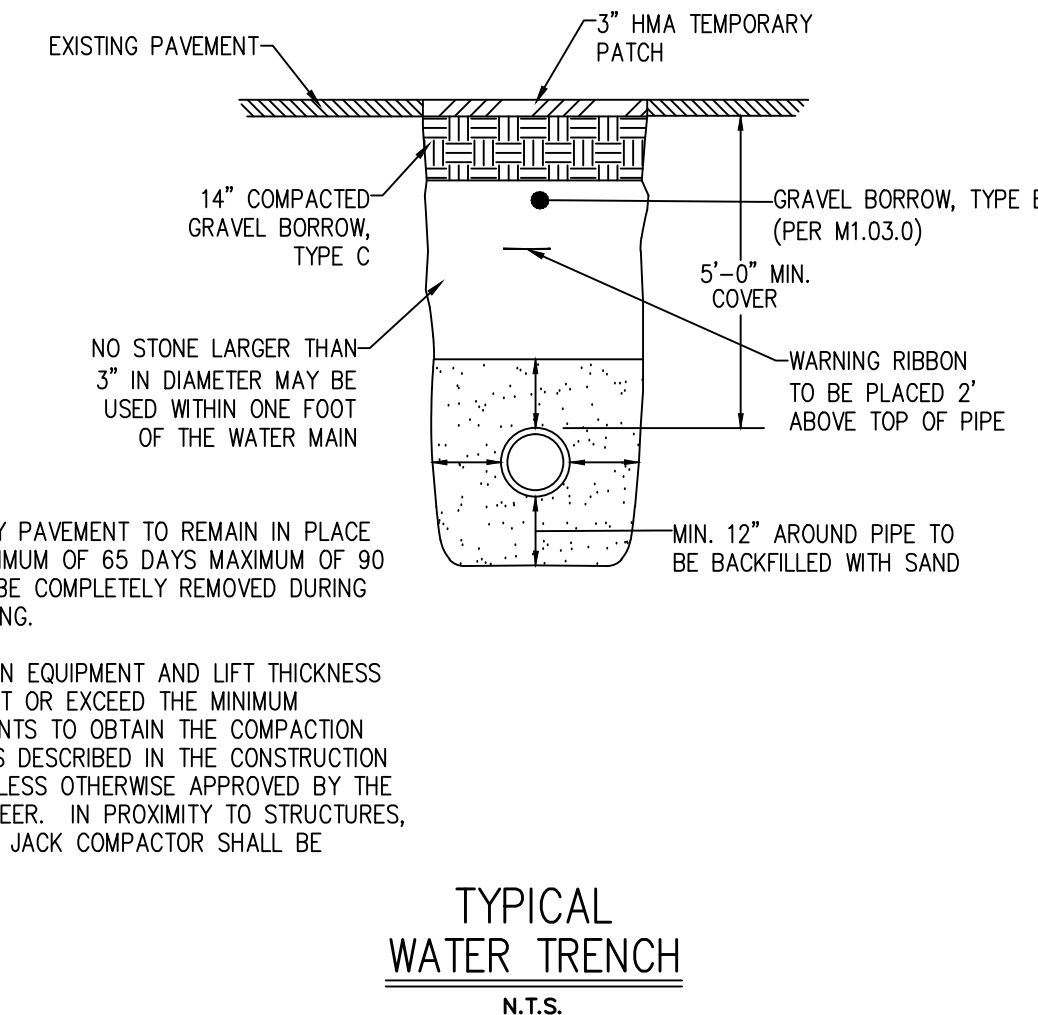
NOTES:

1. FLUSH ALL NEW SERVICE LINES PRIOR TO CONNECTION.
2. UPON CONNECTION, REMOVE AND DISPOSE OF OLD SERVICE LINE FROM CORPORATION VALVE TO CURB STOP, CURB STOP AND BOX.
3. COPPER TUBING TYPE-K AND CURB STOP TO BE ENCASED IN 12" MIN. SAND.
4. HDPE TUBING, TRACER WIRE, CORPORATION STOPS AND CURB STOP TO BE ENCASED IN 12" MIN. SAND.
5. ALL FITTINGS, CONNECTIONS, CORPORATION STOPS AND SERVICE APURTENANCES SHALL BE SERVICE BRASS AS FOLLOWS: SERVICE BRASS SHALL CONFORM TO A.W.W.A. STANDARD C-800 (LATEST REVISION) AND PACK JOINT END CONNECTIONS SHALL CONSIST OF BUNA-N BEVELED GASKET FOR WATER TIGHT SEAL. AN INDEPENDENT SPLIT-CLAMP LOCKING DEVICE OR STAINLESS STEEL BEVELED GRIPPER SHALL BE INCORPORATED IN THE DESIGN FOR ADDITIONAL RESTRAINT. FORD, MUELLER, OR RED HED SERVICE BRASS IS ACCEPTED WITHOUT SUBSTITUTE.
6. WATER SERVICES CONNECTED TO CAST/DUCTILE IRON WATER MAIN PIPE, WATER SERVICE TRACER WIRE IS TO BE CONNECTED TO THE CORPORATION STOP WITH BRASS THAW WIRE NUT COMPRESSION ASSEMBLY WITH SET SCREW.
7. FOR CURB BOXES IN LAWN AREAS, EXTEND WATER SERVICE TRACER WIRE UP OUTSIDE OF CURB BOX AND WINDING END 3 TIMES AROUND AND APPROXIMATELY 1 INCH BELOW TOP OF CURB BOX. FOR CURB BOXES IN PAVED/CONCRETE AREAS, EXTEND WATER SERVICE TRACER WIRE UP INSIDE OF CURB BOX LEAVING A MINIMUM OF 1 FOOT OF TRACER WIRE COILED UP INSIDE OF CURB BOX.
7. ALL SERVICE CONNECTIONS SHALL HAVE A MINIMUM SIZE OF THREE-FOURTHS (3/4) INCH IN DIAMETER. ALL OPEN CUT INSTALLATION SERVICE PIPES SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE) TUBING, BLUE IN COLOR, COPPER TUBE SIZE (CTS), SDR 9. ALL TRENCHLESS INSTALLATION SERVICE PIPES SHALL BE TYPE K COPPER TUBING. IF A WATER SERVICE IS TO BE REPLACED WITH HDPE THE CONTRACTOR SHALL CONTACT THE CITY OF MARLBOROUGH ELECTRICAL INSPECTOR FOR ANY NECESSARY PERMITS TO BE SURE THE HOUSE REMAINS GROUNDED.
8. ADDITIONAL GROUNDING WORK IS NEEDED AT THE HOUSE OR BUILDING IF PLASTIC TUBING IS USED.



NOTES:

1. PROVIDE RESTRAINTS FOR MECHANICAL JOINTS (MEGALUGS OR FRICTION CLAMPS).
2. GATE VALVE MUST CONFORM TO THE LATEST REVISION OF A.W.W.A. STANDARD C-509.
3. 6 MIL POLYETHYLENE SHALL BE PLACED BETWEEN THE THRUST BLOCK AND PIPE AT ALL MECHANICAL JOINTS PRIOR TO POURING CONCRETE.



NOTE:

1. TEMPORARY PAVEMENT TO REMAIN IN PLACE FOR A MINIMUM OF 65 DAYS MAXIMUM OF 90 DAYS, TO BE COMPLETELY REMOVED DURING FINAL PAVING.
2. COMPACTION EQUIPMENT AND LIFT THICKNESS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS TO OBTAIN THE COMPACTION STANDARDS DESCRIBED IN THE CONSTRUCTION NOTES, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. IN PROXIMITY TO STRUCTURES, A JUMPING JACK COMPACTOR SHALL BE REQUIRED.

Preliminary
02/08/2023 11:23:09 AM

APPROVED BY THE CITY OF
MARLBOROUGH PLANNING BOARD

"I, _____, CLERK OF THE CITY OF MARLBOROUGH, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK

DATE _____

689 Pleasant Street

Engineer / Surveyor:
DK Engineering LLC
Office: 47 Enterprise Drive, #1 Windham, NH 03098
Tel: (603) 898-8228 Fax: (603) 898-8228
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Owner(s):
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Assessor's Map & Lot:
Map 28 / Lot 18B
Project No.: 42103 Drawing Scale: AS SHOWN
Plan Date: 02/06/2023 Revised Date:

Sheet Title:
WATER DETAIL SHEET

Sheet No.: **13**

Total No. of Sheets: 16

NOT RELEASED FOR CONSTRUCTION

Drawing name: D:_Lib_data\Acad_Support\Temp\AcadPublin...127329_V42103 - DSP Rev 2023-02-06.dwg

SEWER NOTES

THE FOLLOWING DESCRIBES MATERIALS AND METHODS OF INSTALLATION OF SEWER MAINS IN GENERAL. ALL WORK SHALL CONFORM TO THE 1988 STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, ALL SUBSEQUENT SUPPLEMENTAL SPECIFICATIONS IN THE PARTICULAR CONTRACT.

MAIN INSTALLATION

ALL GRAVITY MAINS WILL BE A MINIMUM OF EIGHT INCHES IN DIAMETER; ALL LATERALS, INTERCEPTORS, TRUNKLINES, ETC., WILL BE EITHER PLASTIC OR CEMENT LINED DUCTILE IRON. THE CLASS OF PIPE WILL ACCOMMODATE THE FIELD CONDITIONS, I.E., PLASTIC PIPE SHALL MEET OR EXCEED THE ASTM D-3034, SDR 35 REQUIREMENTS. PLASTIC PIPE SHALL NOT BE USED FOR PIPES WITH DIAMETERS GREATER THAN 15 INCHES UNLESS EXPRESSLY APPROVED IN WRITING BY THE COMMISSIONER OF PUBLIC WORKS. PLASTIC PIPE SHALL NOT BE USED FOR PIPES WHEN THE DEPTH EXCEEDS 10 FEET. FOR DEPTHS OF SEWERS EXCEEDING 10 FEET CLASS 52 CEMENT LINED DUCTILE IRON SHALL BE USED. WHEN THE COVER IS FIVE FEET OR LESS UNDER A ROADWAY, THE CLASS AND TYPE OF PIPE WILL BE SPECIFIED BY THE DEPARTMENT OF PUBLIC WORKS. THE SLOPE OF THE SEWER SHALL NOT BE LESS THAN 1% OR EXCEED 9%. ALL SIZES OF ALL PIPE WILL BE INSTALLED WITH A MINIMUM SLOPE WHICH YIELDS THE SCOURING VELOCITY FOR THE PARTICULAR DIAMETER PIPE. WARNING RIBBON SHALL BE USED IN THE INSTALLATION OF ANY SEWER MAIN. SAID RIBBON SHALL BE GREEN IN COLOR AND IMPRINTED WITH THE WORDS "CAUTION SEWER LINE BELOW", OR WORDS SIMILAR INTENT, AND SHALL BE METALLIC TO PROVIDE FOR FUTURE LOCATING WITH INDUCTIVE TAPE LOCATORS. DEPTH OF BURIAL SHALL BE 2' ABOVE THE TOP OF SAID PIPE.

MANHOLES

DISTANCE BETWEEN ANY TWO MANHOLES SHALL NOT EXCEED 300 FEET. ANY TWO SEWER LINES ENTERING A MANHOLE OR A STRUCTURE WITH A DIFFERENCE IN ELEVATION OF 18 INCHES AN INSIDE DROP SHALL BE PROVIDED. THE INSIDE DROP IN A MANHOLE SHALL NOT EXCEED 5 FEET IN CHANGE OF ELEVATION. ANY MANHOLE THAT IS REQUIRED TO HAVE AN INSIDE DROP SHALL BE A 5 FOOT INSIDE DIAMETER MANHOLE. MANHOLES SHALL BE PRECAST CONCRETE AND PRECAST SECTIONS WILL BE MADE WATERTIGHT BY O-RING JOINTS OR APPROVED EQUAL CONNECTIONS TO MANHOLES SHALL BE CORED AND MADE WITH A FLEXIBLE MANHOLE BOOT. THE EXTERIOR OF ALL MANHOLES SHALL BE COMPLETELY COVERED WITH A BITUMINOUS WATERPROOFING. ALL SEWER MANHOLES WILL HAVE A BRICK TABLE CONSTRUCTED IN THEIR BASE TO MEET ALL INCOMING AND OUTGOING PIPES SO THAT THE FLOW IS CHANNELLED SMOOTHLY FROM ONE POINT TO ANOTHER. ALL BRICKS USED FOR MANHOLE INVERTS WILL BE A HARD-BURNED SEWER BRICK TO MEET ASTM C32-69 GRADE SS. BRICKWORK OR COMPOSITE ADJUSTMENT RISERS WILL BE USED BETWEEN THE MANHOLE STRUCTURE AND RING AND RING COVER TO GIVE THE DESIRED GRADE. HOWEVER, THE BRICKWORK IN THIS AREA WILL NEVER EXCEED EIGHT INCHES AND THE COMPOSITE ADJUSTMENT RISERS SHALL CONSIST OF NO LESS THAN 4 INCHES. THIS BRICKWORK CAN BE WITH A COMMON BRICK. LANDING PLATFORMS SHALL BE INSTALLED IN MANHOLES THAT ARE OVER TWENTY FEET (20') DEEP TO THE INVERT.

THRUST BLOCKS

THRUST BLOCKS WILL BE USED ON ANY FORCE MAIN SECTIONS WHERE CALLED FOR BY THE DEPARTMENT OF PUBLIC WORKS. THE THRUST BLOCK SHALL CONSIST OF A FORMED CONCRETE BACKING AGAINST UNDISTURBED MATERIAL, POURED IN PLACE WITH 3,000 PSI, 1-1/2", 470 CEMENT CONCRETE MASONRY. THE CONTRACTOR IS TO INSTALL A 6MIL POLYETHYLENE BARRIER BETWEEN THE THRUST BLOCK AND DUCTILE IRON AT ALL MECHANICAL JOINTS PRIOR TO POURING CONCRETE.

INSPECTIONS

INSPECTION WILL BE PROVIDED BY THE CITY OF MARLBOROUGH ONLY ON A LIMITED OR PART-TIME BASIS. BEFORE ANY BACKFILLING IS DONE, THE DEPARTMENT OF PUBLIC WORKS' WATER & SEWER DIVISION WILL BE NOTIFIED 24 HOURS IN ADVANCE. A CITY REPRESENTATIVE WILL INSPECT THE COMPLETED WORK. IF THE DEPARTMENT OF PUBLIC WORKS FEELS THAT INSUFFICIENT WORKMANSHIP AND CARE IS BEING TAKEN IN THE INSTALLATION, A PERSON WILL BE ASSIGNED FROM THE DEPARTMENT OF PUBLIC WORKS ON A FULL-TIME BASIS. THE CONTRACTOR OR OWNER WILL BEAR THE COST OF THIS INSPECTOR.

CONNECTIONS

MAIN-TO-MAIN CONNECTIONS WILL ONLY BE MADE BY USE IF A MANHOLE AS SPECIFIED IN THE MARLBOROUGH CITY CODE § 510-19B(2). IN THE CASE OF A TAP OF A SERVICE-TO-MAIN THE USE OF A TAPPING SADDLE AS APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. CHIMNEYS WILL BE EMPLOYED ON THE MAIN WHEREVER A SERVICE IS NEEDED WHEN THE DEPTH OF THE MAIN EXCEEDS EIGHT FEET. THIS SHALL BE EXPECTED WHEN THE ELEVATION OF THE CONNECTION AT THE BUILDING DOES NOT ALLOW THE USE OF A CHIMNEY. ALL CHIMNEYS WILL BE PRECAST STRUCTURES. ALL WYE-BRANCHES WILL BE PROVIDED WITH THE PROPER END CAPS UNTIL SUCH TIME THE COMPLETED TIE-IN IS MADE. THE CONNECTIONS OF BUILDING SEWERS INTO PUBLIC SEWER SHALL BE MADE AT THE WYE OR AT BENCH LEVEL IN A MANHOLE. IF A WYE-BRANCH OR MANHOLE IS UNAVAILABLE, A CONNECTION MAY BE MADE BY TAPPING THE EXISTING SEWER BY AN APPROVED METHOD. THIS MAY CONSIST OF CUTTING OUT A PORTION OF THE SEWER MAIN AND INSTALLING A "WYE" AT THE MAIN AND RECONNECTING THE EXISTING MAIN WITH NEW PIPE AND PROPER COUPLINGS AS APPROVED BY INSPECTOR. NO PERSON SHALL MAKE CONNECTION OF ROOF DRAINS, DOWNSPOUTS, FOUNDATION DRAINS, AREAWAY DRAINS, BASEMENT DRAINS, SUMP PUMPS OR OTHER SOURCES OF SURFACE RUNOFF OR GROUNDWATER TO A BUILDING SEWER OR BUILDING DRAIN WHICH IS DIRECTLY OR INDIRECTLY TO A PUBLIC SEWER. ALL SEWERS SHALL BE TESTED BEFORE ANY CONNECTIONS ARE MADE TO BUILDINGS.

BUILDING SEWERS

THE SIZE AND SLOPE OF THE BUILDING SEWER SHALL BE SUBJECT TO THE APPROVAL OF THE COMMISSIONER BUT IN NO EVENT SHALL THE DIAMETER BE LESS THAN SIX INCHES. THE SLOPE OF SUCH PIPE SHALL NOT BE LESS THAN 1% OR GREATER THAN 9%. THE BUILDING SEWER SHALL BE LAID AT THE UNIFORM GRADE AND IN A STRAIGHT LINE ALIGNMENT INsofar AS POSSIBLE. CHANGES IN DIRECTION SHALL BE MADE ONLY WITH BENDS, SWEEPS, MANHOLES OR PRECAST CLEANOUTS AS APPROVED BY THE COMMISSIONER. CLEANOUTS SHALL BE LOCATED ON THE EXTERIOR SIDE OF THE BUILDING SERVICE AND SHALL BE IN A PLACE THAT IS ACCESSIBLE FOR MAINTENANCE BY THE DEPARTMENT OF PUBLIC WORKS OR OTHERS. ALL CLEANOUTS SHALL BE CAST IRON HIGH HAT. WARNING RIBBON SHALL BE USED IN THE INSTALLATION OF ANY SERVICE PIPE. SAID RIBBON SHALL BE GREEN IN COLOR AND IMPRINTED WITH THE WORDS "CAUTION SEWER LINE BELOW", OR WORDS SIMILAR INTENT, AND SHALL BE METALLIC TO PROVIDE FOR FUTURE LOCATING WITH INDUCTIVE TAPE LOCATORS. DEPTH OF BURIAL SHALL BE 2' ABOVE THE TOP OF SAID PIPE. THE SEWERS SHALL BE TESTED BEFORE ANY CONNECTIONS ARE MADE TO BUILDINGS. WHERE APPLICABLE ENTRANCE FEES IN ACCORDANCE WITH THE MARLBOROUGH CITY CODE SECTION 510-4 "BUILDING SEWER CONNECTIONS" SHALL BE PAID PRIOR TO ANY WORK.

TESTING

THE CONTRACTOR SHALL FURNISH A PRESSURE GAUGE, TESTING PLUGS, PUMPS, MANDREL, PIPE CONNECTIONS AND OTHER REQUIRED APPARATUS APPROVED BY THE CITY. THE SEWER LINE AND MANHOLE TESTING SHALL BE ACCOMPLISHED THROUGH THE COMBINATION OF VISUAL INSPECTIONS, DEFLECTION TESTS, LOW-PRESSURE AIR TESTS AND LEAKAGE TESTS METHODS. ACCEPTANCE TESTS SHALL ONLY BE PERFORMED AFTER ALL WORK ADJACENT TO AND OVER THE PIPE HAS BEEN COMPLETED. ALL TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE CITY REPRESENTATIVE AND ANY TESTS PERFORMED IN THE ABSENCE OF THE CITY REPRESENTATIVE SHALL BE CONSIDERED INVALID AND SHALL BE REPEATED AT THE CONTRACTOR'S EXPENSE.

SEQUENCE OF TESTING

THE SEQUENCE OF TESTING SHALL BE AS FOLLOWS: CONSTRUCTION COMPLETED AND ALL BACKFILL AND SUPERIMPOSED LOADS IN PLACE, LANDSCAPING OVER AND AROUND SEWER APPURTENANCE IS COMPLETED, MANHOLES COMPLETED, LINES THOROUGHLY CLEANED, MANDREL TESTING (ALL APPROVED PIPE TYPES) OR INSPECTION BY CCTV, DETERMINATION OF GROUND WATER TABLE, AIR TESTING OR INFILTRATION TESTING (PIPE, MANHOLE).

SEWER LINE TESTING

DEFLECTION TEST: A DEFLECTION TEST SHALL BE REQUIRED FOR ALL SANITARY SEWER LINES (PLASTIC AND DUCTILE IRON). A GO-NO-GO MANDREL SHALL BE PULLED THROUGH THE PIPE A MINIMUM OF 60 DAYS AFTER THE FINAL PLACEMENT OF BACKFILL AND SUPERIMPOSED LOADS. THE DEFLECTION OF THE SEWER PIPE SHALL NOT EXCEED 5% WHEN TESTED WITH A MANDREL SPECIFICALLY DESIGNED FOR THE TYPE AND SIZE OF PIPE INSTALLED. PIPE SEGMENTS FAILING THE MANDREL TEST SHALL BE REMOVED AND REPLACED. IF MANDREL TEST CANNOT BE COMPLETED INSPECTION SHALL BE DONE BY CCTV.

LOW-PRESSURE AIR TEST: ON ALL SANITARY SEWER LINES (PLASTIC AND DUCTILE IRON), INCLUDING PRIVATE SEWER LINES, THE CONTRACTOR SHALL CONDUCT A LINE ACCEPTANCE TEST USING LOW-PRESSURE AIR TESTING. DUCTILE IRON PIPELINES SHALL BE TESTED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS. PLASTIC PIPELINES SHALL BE TESTED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF ASTM F1417-98 AND UBPPA UNI-8-6.

TABLE 1 (UNI-8-6)
MINIMUM SPECIFIED TIME REQUIRED FOR A 1.0 PSIG PRESSURE DROP
FOR SIZE AND LENGTH OF PIPE INDICATED FOR Q=0.015

1 PIPE DIAMETER (IN.)	2 MINIMUM TIME (MIN:SEC)	3 LENGTH FOR MINIMUM TIME (FT)	4 TIME FOR LONGER LENGTH (SEC)	SPECIFICATION TIME FOR LENGTH (L) SHOWN (MIN:SEC)								
				100 FT	150 FT	200 FT	250 FT	300 FT	350 FT	400 FT	450 FT	
4	3:46	597	.380 L	3:46	3:46	3:46	3:46	3:46	3:46	3:46	3:46	3:46
6	5:40	398	.854 L	5:40	5:40	5:40	5:40	5:40	5:40	5:42	6:24	
8	7:34	298	1.500 L	7:34	7:34	7:34	7:34	7:36	8:52	10:08	11:24	
10	9:26	239	2.374 L	9:26	9:26	9:26	9:53	11:52	13:51	15:49	17:48	
12	11:20	199	3.418 L	11:20	11:20	11:24	14:15	17:05	19:56	22:47	25:38	
15	14:10	159	5.342 L	14:10	14:10	17:48	22:15	26:42	31:09	35:36	40:04	
18	17:00	133	7.692 L	17:00	19:13	25:38	32:03	38:27	44:52	51:16	57:41	
21	19:50	94	10.470 L	19:50	26:10	34:54	43:37	52:21	61:00	69:48	78:31	
24	22:40	69	13.614 L	22:47	34:11	49:34	56:58	68:22	79:46	91:10	102:33	
27	25:30	88	17.306 L	28:51	43:16	57:41	72:07	86:32	100:57	115:22	129:48	
30	28:20	80	21.366 L	35:37	53:25	71:13	89:02	106:50	124:38	142:26	160:15	
33	31:10	72	25.852 L	43:05	64:38	86:10	107:43	129:16	150:43	172:21	193:53	
36	34:00	66	30.768 L	51:17	76:55	102:34	128:12	153:50	179:29	205:07	230:46	
42	39:48	57	41.883 L	69:48	104:42	139:37	174:30	209:24	244:19	279:13	314:07	
48	45:34	50	54.705 L	91:10	136:45	182:21	227:55	273:31	319:06	364:42	410:17	
54	51:02	44	69.236 L	115:24	173:05	230:47	288:29	346:11	403:53	461:34	519:16	
60	56:40	40	85.476 L	142:28	213:14	284:55	356:09	427:23	498:37	569:50	641:04	

SEWER MANHOLE TESTING

VACUUM TESTING OF MANHOLES: ALL SANITARY SEWER MANHOLES CONSTRUCTED BY THE CONTRACTOR SHALL BE VACUUM TESTED FOR LEAKAGE IN THE PRESENCE OF THE CITY REPRESENTATIVE. VACUUM TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ASTM C1244. THE VACUUM TEST REQUIREMENTS WILL NOT APPLY TO ANY EXISTING MANHOLE, OR ANY EXISTING MANHOLE THAT HAS BEEN CONVERTED TO A DROP MANHOLE BY THE CONTRACTOR.

VACUUM TESTING PROCEDURE: ALL LIFTING HOLES SHALL BE PLUGGED WITH AN APPROVED NON-SHRINKING GROUT INSIDE AND OUT. MANHOLE JOINTS SHALL BE GROUTED FROM THE OUTSIDE ONLY. ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED. THE CONTRACTOR SHALL SECURELY BRACE THE PLUGS IN ORDER TO KEEP THEM FROM BEING DRAWN INTO THE MANHOLE. THE TEST HEAD SHALL BE PLACED AT THE INSIDE OF THE TOP OF THE CONE SECTION OF THE MANHOLE AND THE SEAL INFLATED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN AND THE VACUUM PUMP SHUT OFF. WITH THE VALVES CLOSED, THE TIME FOR THE VACUUM TO DROP TO 9 INCHES SHALL NOT BE LESS THAN THAT SHOWN IN (TABLE 1) BELOW:

DEPTH (FT)	DIAMETER, IN.				
	48	54	60	66	72
TIME, IN SECONDS					
8	20	23	26	29	33
10	25	29	33	36	41
12	30	35	39	43	49
14	35	41	46	51	57
16	40	46	52	58	67
18	45	52	59	65	73
20	50	53	65	72	81
22	55	64	72	79	89
24	59	64	78	87	97
26	64	75	85	94	105
28	69	81	91	101	113
30	74	87	98	108	121

TEST FAILURE

SHOULD A LINE OR MANHOLE FAIL TO PASS ANY OF THE ACCEPTANCE TEST AS OUTLINED, THE CONTRACTOR SHALL AT HIS EXPENSE, DETERMINE THE SOURCE OF THE FAILURE, MAKE ANY REPAIRS AND RE-TEST THE SEGMENT OF PIPING OR MANHOLE IN QUESTION AT NO COST TO THE CITY.

MANDREL EQUIPMENT

EQUIPMENT SYSTEMS USE TO PERFORM MANDREL TESTS SHALL BE SPECIFICALLY DESIGNED FOR THE PIPE MATERIAL BEING TESTED. MANDRELS THAT DO NOT SPECIFICALLY STATE THE SIZE AND TYPE OF PIPING FOR WHICH IT IS APPLICABLE SHALL NOT BE ALLOWED.

AIR/VACUUM TEST EQUIPMENT

EQUIPMENT SYSTEMS USED TO PERFORM LOW-PRESSURE AIR TESTS SHALL BE SPECIFICALLY DESIGNED FOR THIS PURPOSE. SYSTEMS SHALL BE APPROVED BY THE CITY PRIOR TO THE TEST TAKING PLACE. ISOLATION OF PIPE SEGMENTS SHALL BE ACCOMPLISHED THROUGH THE USE OF PLUGS (MECHANICAL OR PNEUMATIC TYPE). PRESSURIZATION OF THE SEWER MAIN SHALL BE ACCOMPLISHED THROUGH THE USE OF AN AIR COMPRESSOR THAT HAS AN OIL FREE AIR SOURCE, SINGULAR CONTROL PANEL, MAIN SHUT-OFF VALVE, PRESSURE-REGULATING VALVE, 9 PSIG PRESSURE RELIEF VALVE, INPUT PRESSURE GAUGE AND A CONTINUOUS MONITORING PRESSURE GAUGE. THE CONTINUOUS MONITORING PRESSURE GAUGE SHALL HAVE A PRESSURE RANGE FROM 0 PSIG TO AT LEAST 10 PSIG WITH MINIMUM DIVISIONS OF .10 PSIG. THE GAUGE FACE SHALL HAVE A MINIMUM OF 4 INCHES IN DIAMETER AND HAVE AN ACCURACY OF ±0.4 PSIG.

SEWER FORCE MAINS

NO FORCEMAIN SHALL PUMP DIRECTLY INTO THE CITY SYSTEM. ALL FORCE MAINS SHALL DISCHARGE INTO A PRECAST SEWER MANHOLE TO BE LOCATED ON THE OWNER'S SIDE OF THE PROPERTY LINE. THE EFFLUENT SHALL THEN FLOW BY GRAVITY INTO A CITY SEWER MANHOLE

ALL RESIDENTIAL FORCE MAINS SHALL BE A MINIMUM OF TWO INCHES IN DIAMETER, SCHEDULE 40 PVC. ALL COMMERCIAL FORCE MAINS SHALL BE A MINIMUM OF 4 INCHES IN DIAMETER, DUCTILE IRON PIPE. THE MINIMUM COVER FOR SEWER FORCE MAINS SHALL BE FIVE FEET. WARNING RIBBON SHALL BE USED IN THE INSTALLATION OF ANY SEWER MAIN. SAID RIBBON SHALL BE GREEN IN COLOR AND IMPRINTED WITH THE WORDS "CAUTION SEWER LINE BELOW", OR WORDS SIMILAR INTENT, AND SHALL BE METALLIC TO PROVIDE FOR FUTURE LOCATING WITH INDUCTIVE TAPE LOCATORS. DEPTH OF BURIAL SHALL BE 2' ABOVE THE TOP OF SAID PIPE.

PUMPS AND VALVES

PUMP CHAMBER SHALL BE SIZED TO STORE 24 HOURS WORTH OF EFFLUENT (MINIMUM 1,000 GALLON CAPACITY) AND BE MADE OF PRECAST CONCRETE (OR APPROVED EQUAL) CAPABLE OF WITHSTANDING H2O LOADING. PUMPS SHALL BE SIZED TO ACCOMMODATE FLOWS. DUPLEX PUMPS ARE RECOMMENDED. AN IN-LINE UNION SHALL BE PLACED IN THE DISCHARGE PIPE NEAR THE PUMP TO ALLOW FOR THE PUMP TO BE REMOVED. AN IN-LINE BACKFLOW PREVENTER SHALL BE INSTALLED (WITH AN EXTERNAL COUNTERWEIGHT ON COMMERCIAL SITES) SHALL BE INSTALLED ON THE DISCHARGE PIPE TO PREVENT EFFLUENT FROM BACKING UP INTO CHAMBER. ALL PUMPS SHALL HAVE AN ANTI-SIPHON PRIME.

A GATE VALVE WITHOUT DRAIN SHALL BE INSTALLED ON THE DISCHARGE PIPE (AFTER THE BACKFLOW PREVENTER) TO ALLOW FOR THE REPAIR OF PUMP. THE GATE VALVE AND BACKFLOW PREVENTER SHALL BE INSTALLED WITHIN A SEPARATE VALVE CHAMBER WHERE POSSIBLE. IF SEPARATE VALVE CHAMBER CAN NOT BE PROVIDED, THE BACKFLOW PREVENTER SHALL BE INSTALLED WITHIN THE PUMP CHAMBER AND THE SHUT OFF OUTSIDE THE CHAMBER WITH A RISER BOX AND STEM.

ALL PRESSURIZED PIPE WITHIN THE CHAMBER SHALL BE RESTRAINED FROM MOVEMENT WITH STAINLESS STEEL STRAPS AFFIXED TO THE CHAMBER

ALL COMMERCIAL SYSTEMS SHALL HAVE RUN TIME METERS INSTALLED.

ALARM SYSTEM

ALARM SYSTEMS INDICATING PUMP FAILURE SHALL BE INSTALLED ON ALL PUMPS. RESIDENTIAL SYSTEMS SHALL REQUIRE AUDIBLE WARNING ON ALARM SYSTEMS AFFIXED TO THE HOUSE. COMMERCIAL SYSTEMS SHALL REQUIRE AUDIBLE AND VISUAL WARNINGS ON ALARM SYSTEMS AFFIXED TO THE BUILDING AT A LOCATION MONITORED 24 HOURS A DAY

SEWER FORCE MAIN TESTING

FORCE MAINS SHALL BE TESTED BY FILLING WITH WATER AND PRESSURIZING. RESIDENTIAL FORCE MAINS SHALL BE PRESSURIZED TO 100 PSI FOR ONE HOUR. COMMERCIAL FORCE MAINS SHALL BE PRESSURIZED TO 200 PSI FOR ONE HOUR. THE PRESSURE TEST SHALL BE PERFORMED BY AN INDEPENDENT TESTING COMPANY.

PIPELINE (GRAVITY AND FORCE MAIN) NOTES

- THE ALIGNMENT AND PROFILES SHOWN FOR THE PROPOSED PIPING MAY BE REVISED BASED UPON LAYING LENGTH OF PIPE AND FIELD CONDITIONS.
- ALL PIPES SHALL SLOPE UNIFORMLY BETWEEN ELEVATIONS SHOWN UNLESS OTHERWISE INDICATED ON THE DRAWING OR DIRECTED BY THE ENGINEER.
- PIPE DEFLECTION SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATION.
- MINIMUM PIPE COVER WILL BE 5'-0", UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS. COVER IS TO BE MEASURED FROM EXISTING TOP OF ROAD, OR GROUND SURFACE TO TOP OF PIPE.
- WHENEVER POSSIBLE, THE GRAVITY SEWER OR FORCE MAIN SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM AN EXISTING WATER MAIN. WHERE THE GRAVITY SEWER OR FORCE MAIN CROSSES UNDER EXISTING WATER MAINS, THE GRAVITY SEWER OR FORCE MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHEN THE ELEVATION OF THE GRAVITY SEWER OR FORCE MAIN CANNOT BE VARIED TO MEET THIS VERTICAL SEPARATION, THE WATER MAIN SHALL BE RELOCATED OR RECONSTRUCTED WITH MECHANIC JOINT PIPE FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE SEWER OR FORCE MAIN. WHEREVER THIS HORIZONTAL AND/OR VERTICAL SEPARATION CANNOT BE MAINTAINED, BOTH WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT LINED DUCTILE IRON PIPE. BOTH PIPES SHALL BE PRESSURE TESTED AS SPECIFIED IN THE SPECIFICATIONS.

MANHOLE NOTES

- MANHOLE FRAMES AND COVERS IN OFF STREET AREAS (I.E. WETLANDS, EASEMENTS, NOT LAWNS) SHALL EXTEND 2 FEET ABOVE FINISHED GRADE UNLESS OTHERWISE DIRECTED BY ENGINEER.

HOUSE CONNECTION NOTES

- EXACT LOCATIONS OF HOUSE CONNECTION WILL BE DETERMINED IN THE FIELD BY THE CONTRACTOR WITH COORDINATION WITH HOME OWNERS AND THE CITY OF MARLBOROUGH.

Preliminary
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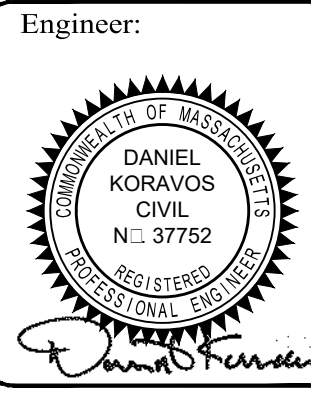
I, _____, CLERK OF THE CITY OF MARLBOROUGH, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK

DATE _____

APPROVED BY THE CITY OF
MARLBOROUGH PLANNING BOARD

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Surveyor:

DATE _____

Applicant:
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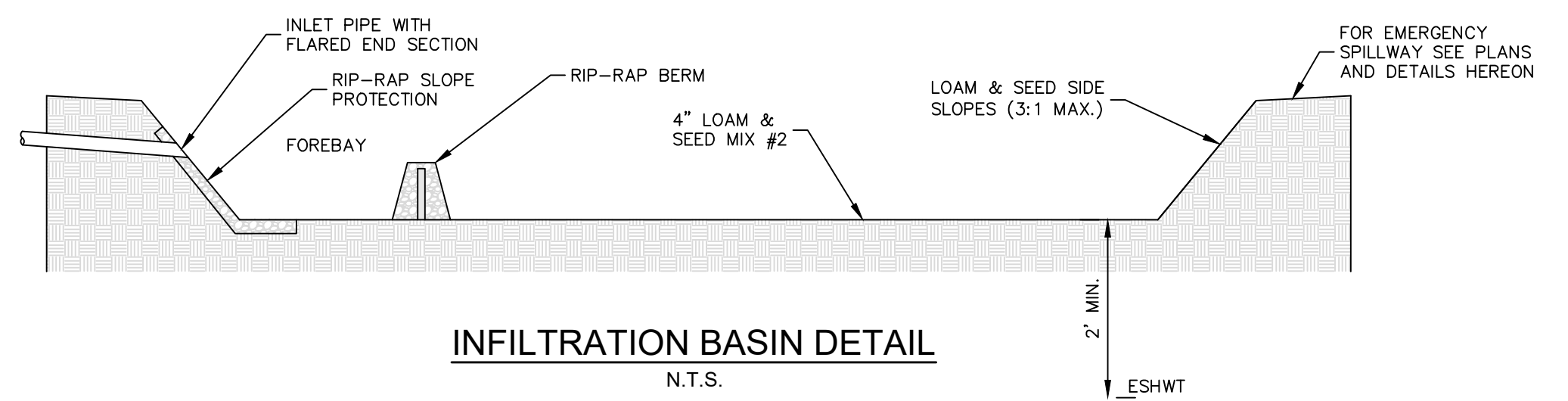
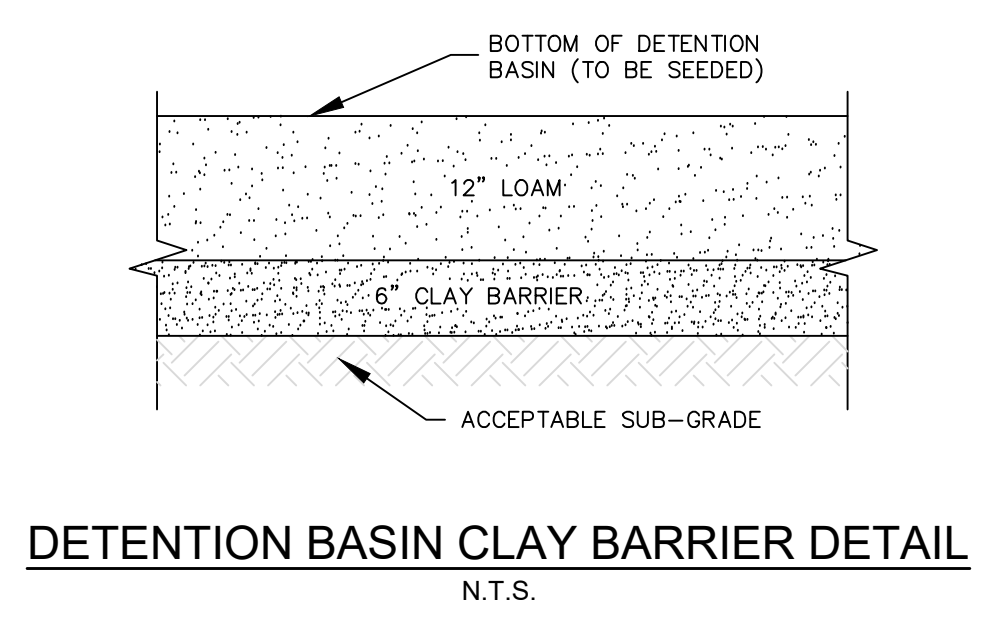
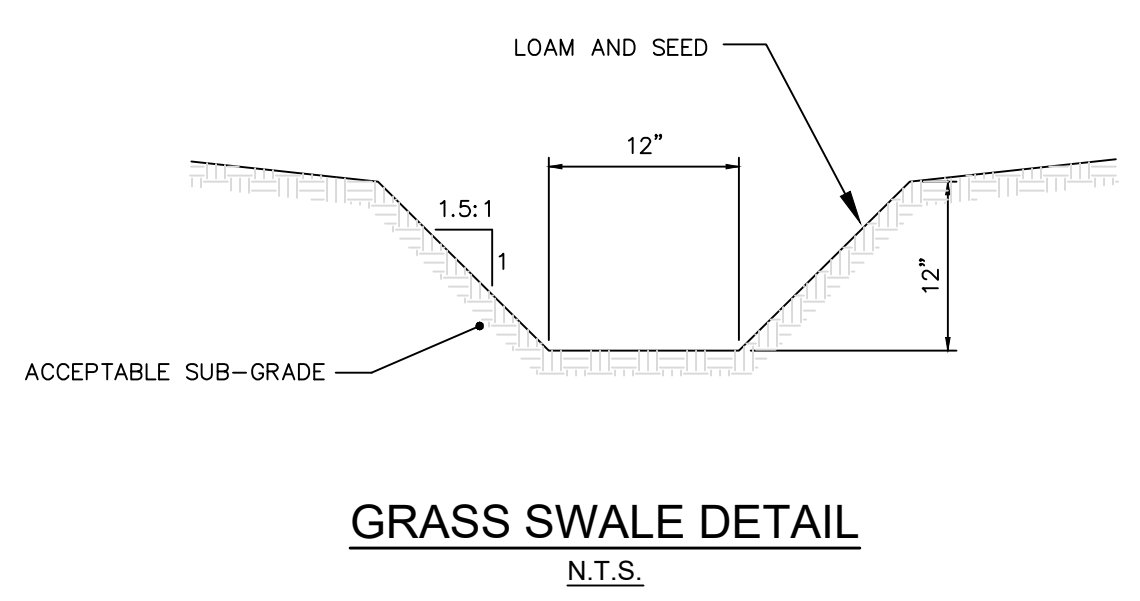
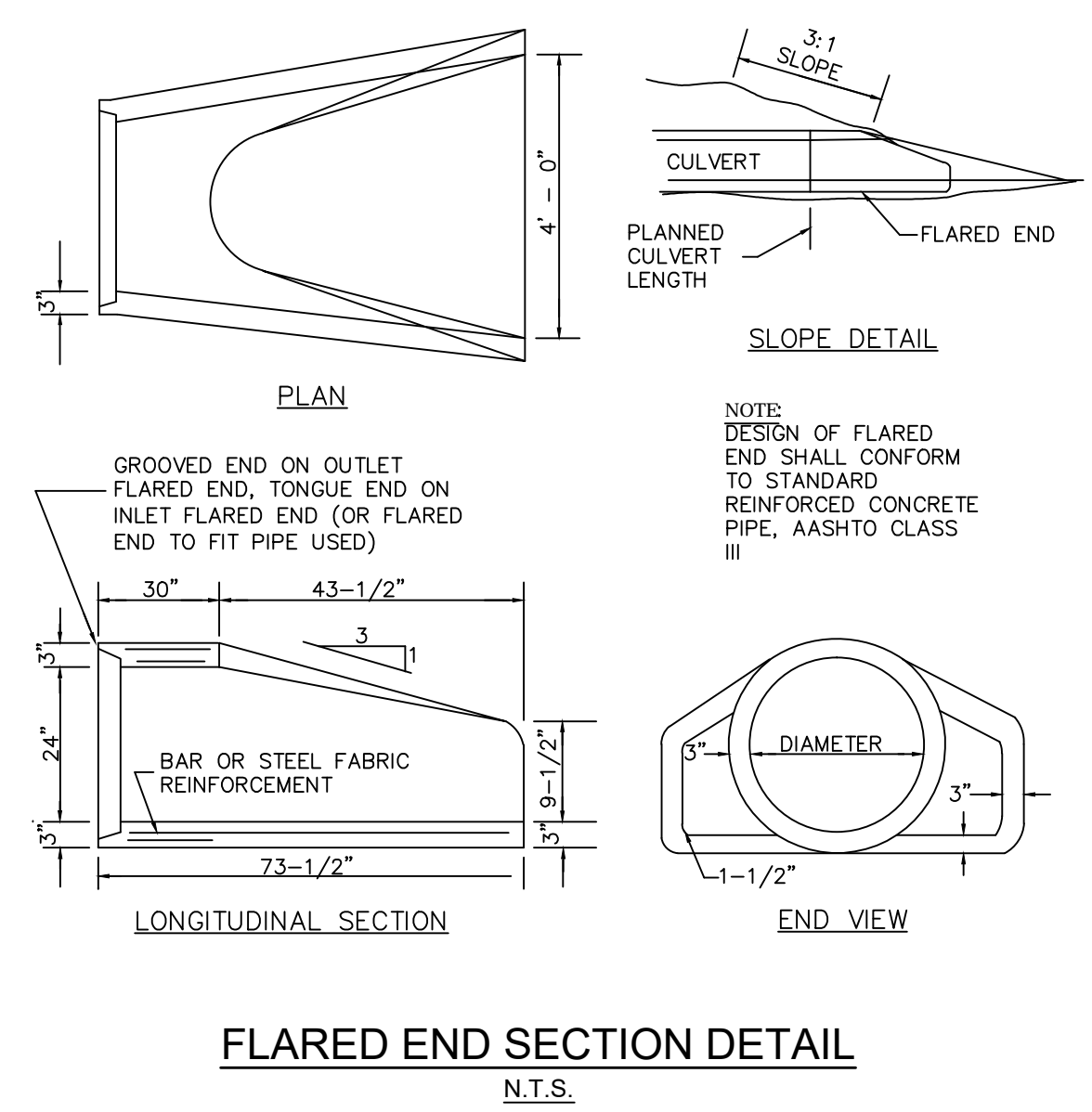
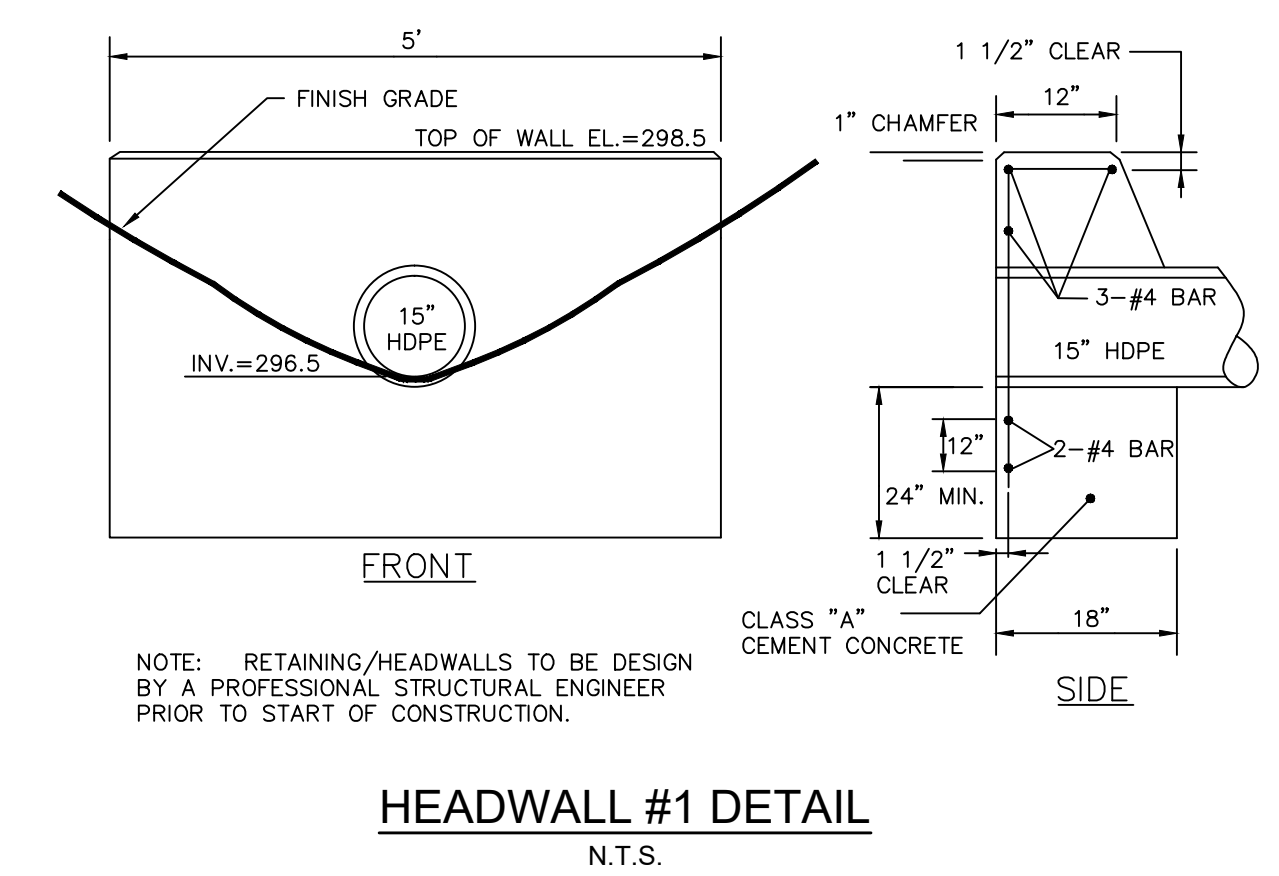
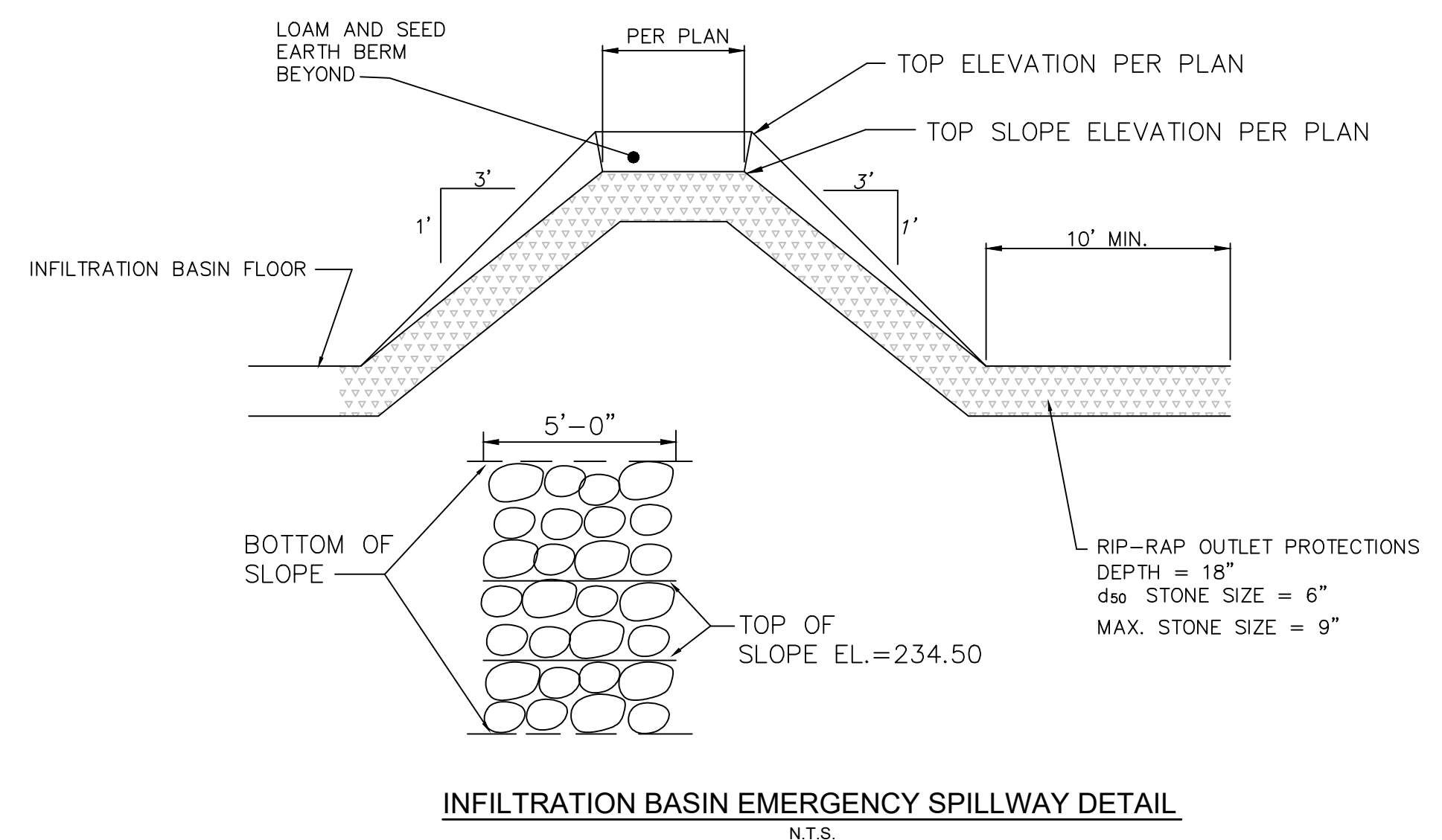
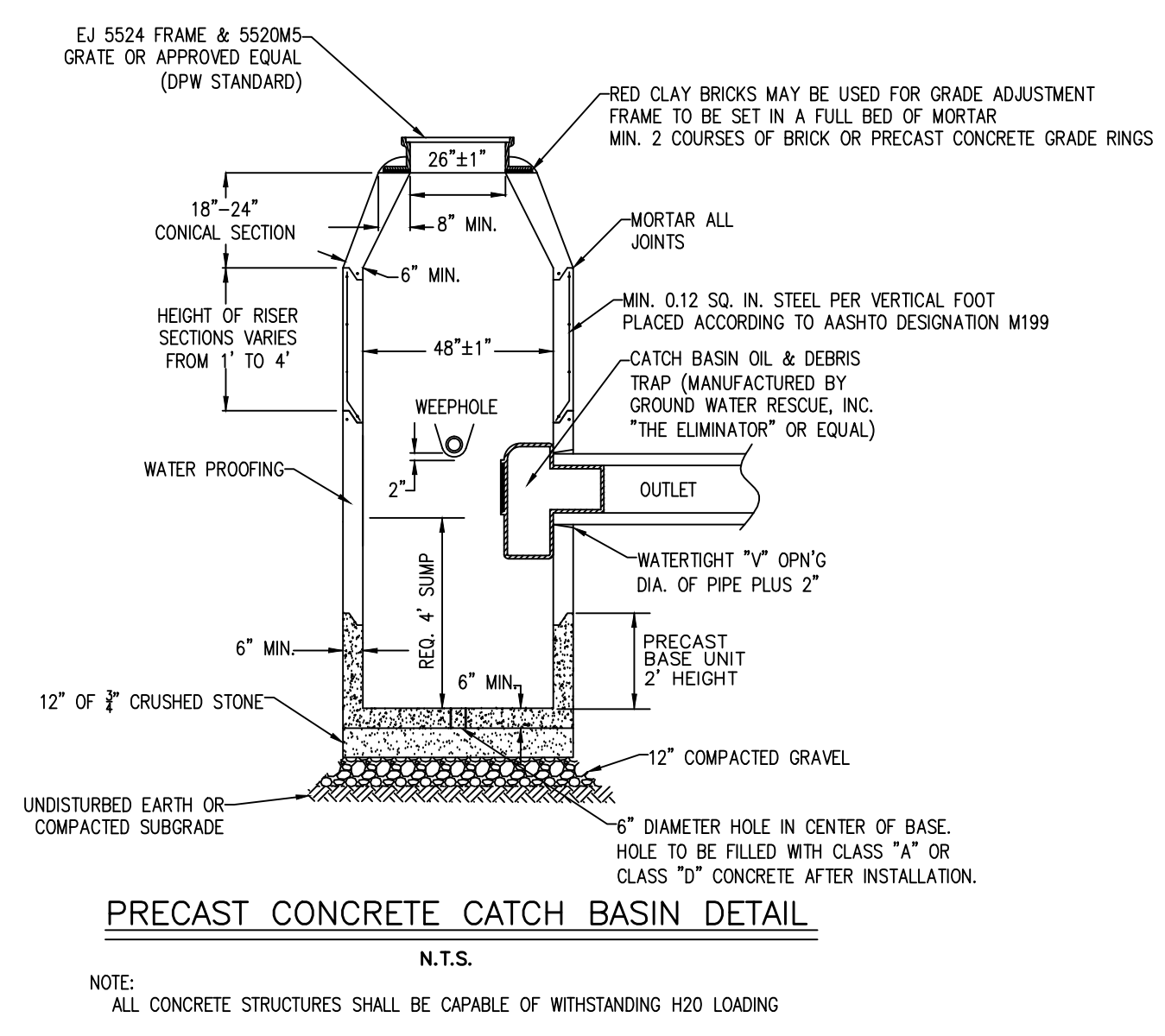
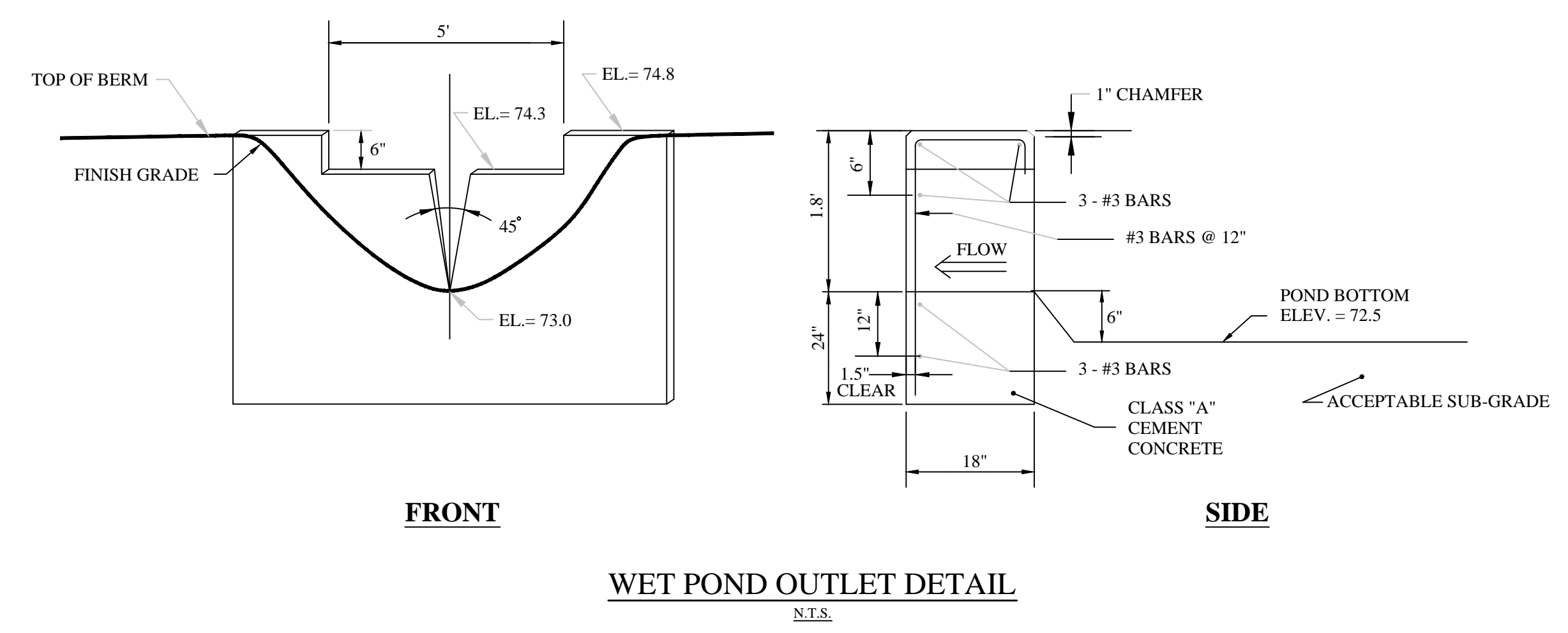
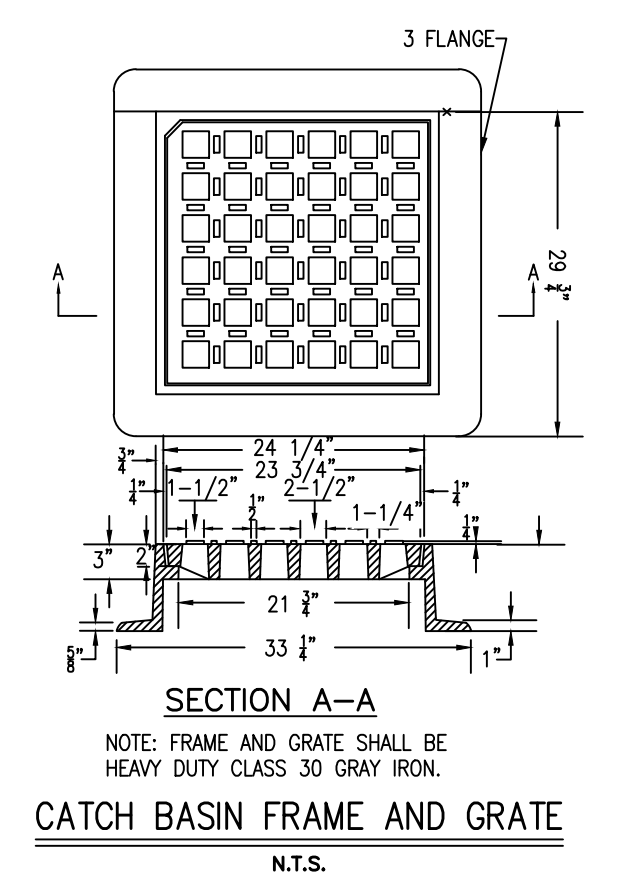
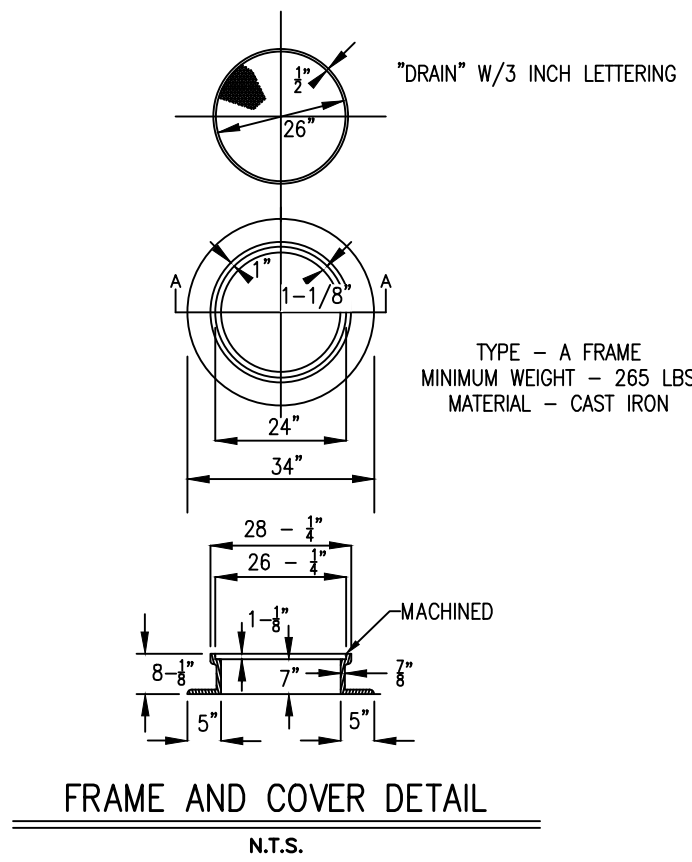
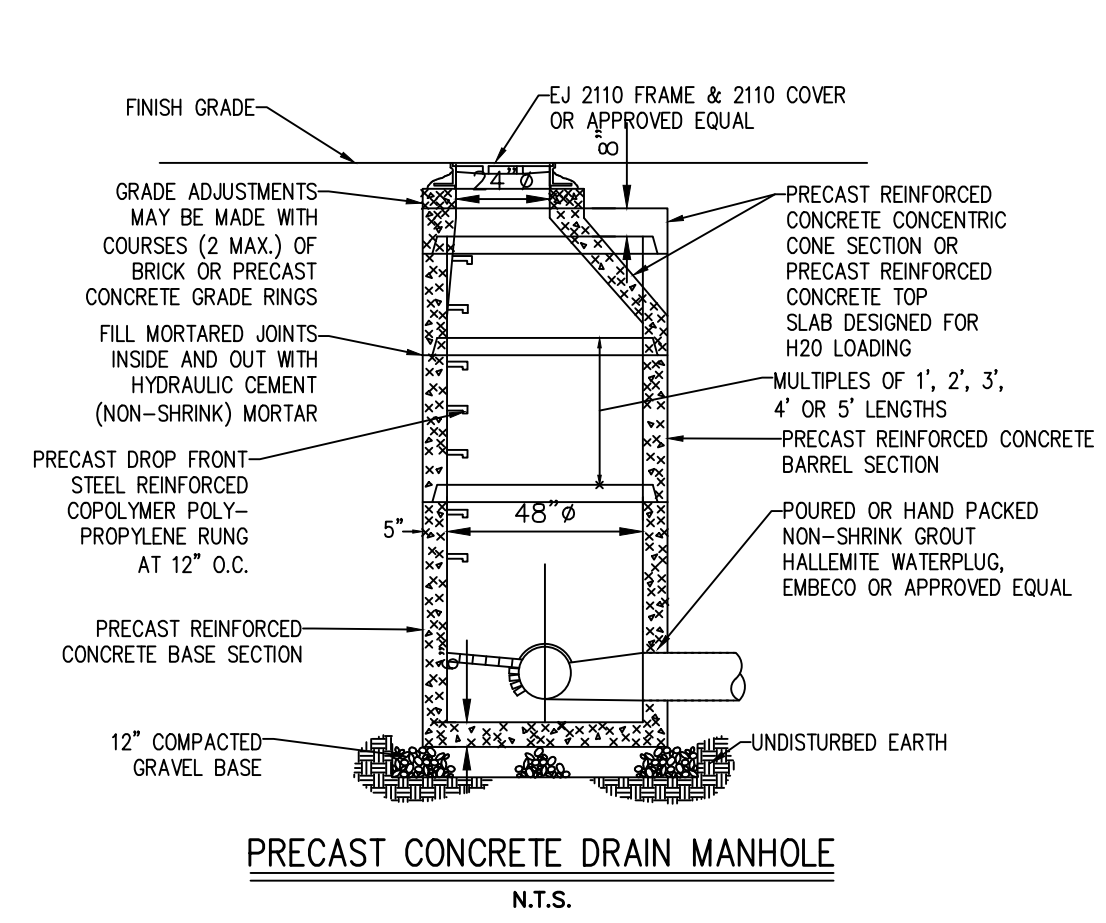
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3				7
2				8
1				9

Assessor's Map & Lot:
Map 28 / Lot 18B
Project No.: 42103 Drawing Scale: AS SHOWN
Plan Date: 02/06/2023 Revised Date: _____

SHEET TITLE:
**SEWER NOTES
DETAIL SHEET**

SHEET NO.: **14**
Total No. of Sheets: 16



Preliminary
02/08/2023 11:23:22 AM

"I, _____, CLERK OF THE CITY OF MARLBOROUGH, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK

APPROVED BY THE CITY OF MARLBOROUGH PLANNING BOARD

DATE _____

689 Pleasant Street

Engineer / Surveyor:
DK Engineering LLC
Office: 47 Enterprise Drive, #1 Windham, NH 03098
Tel: (603) 609-8228 E-mail: Dan.Koravos@gmail.com

Engineer:
DANIEL KORAVOS
CIVIL
N. 37752

Surveyor:
Daniel Koravos

Applicant:
JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L. BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469
(978) 804-0169

Owner(s):
JOYCE BEAUCHEMIN REALTY TRUST
TIMOTHY L. BEAUCHEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469

NO.	DATE	BY	DESCRIPTION
9			
8			
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6			
5			
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1			

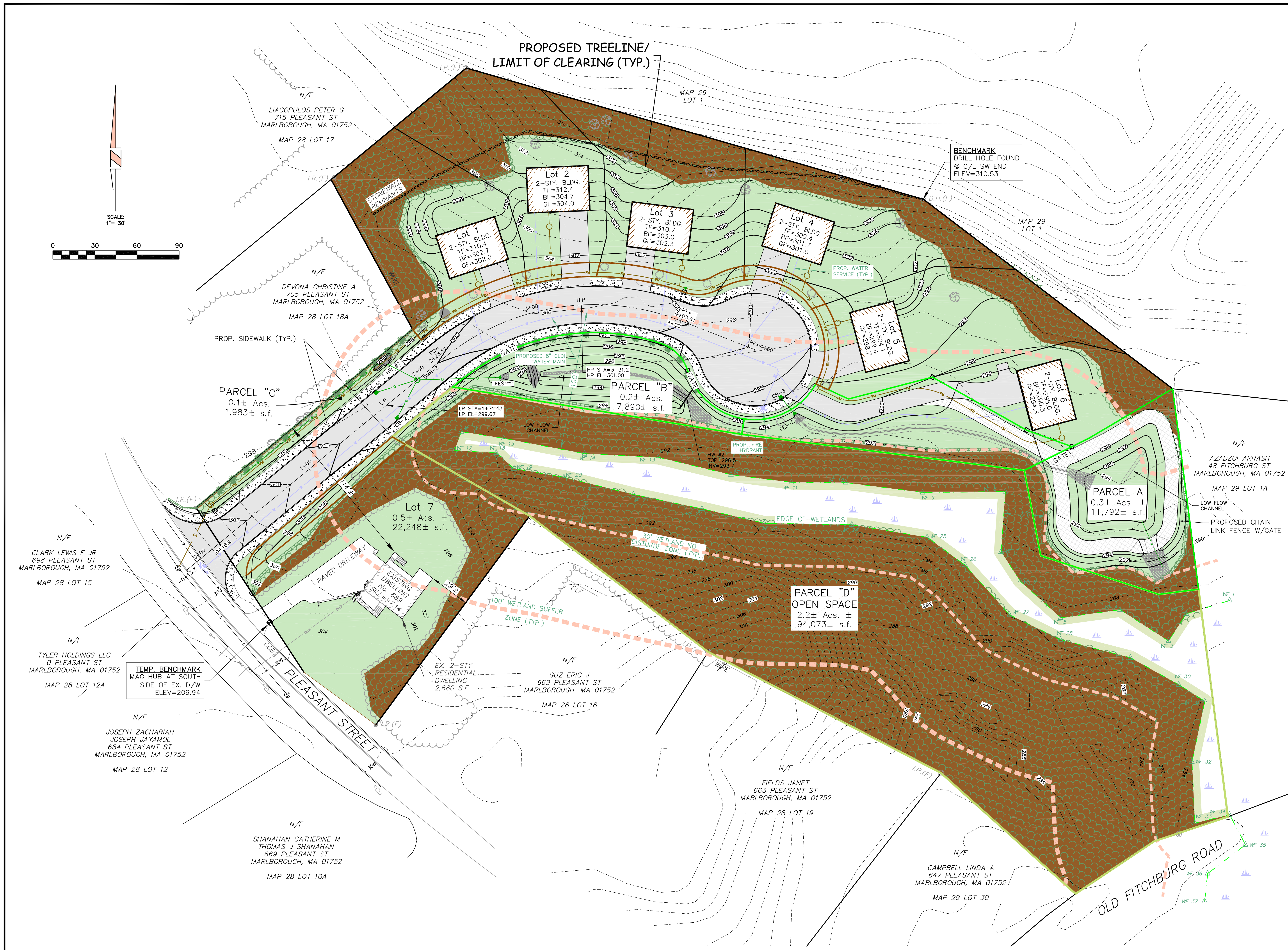
Assessor's Map & Lot: Map 28 / Lot 18B
Project No.: 42103 Drawing Scale: AS SHOWN
Plan Date: 02/06/2023 Revised Date:

Sheet Title:
DRAIN DETAIL SHEET

Sheet No.: **16**
Total No. of Sheets: 16

NOT RELEASED FOR CONSTRUCTION

Drawing name: D:_dr_data\Acad_Support\Tempo\Publsh...12732\42103 - DSP Rev 2023-02-06.dwg
Plotted on: Feb 06, 2023 - 8:32pm



689 Pleasant Street

Engineer / Surveyor:
DK Engineering LLC
Office: 47 Enterprise Drive, #7, Windham, NH 03098
Mailing Address: 59 Granite Lane, Chester, NH 03038
Tel: (603) 505-5226 E-mail: Dan.Korevoe@gmail.com

Engineer:
DANIEL KORAVOS
CIVIL
No. 37752

Surveyor:
FINDESEN SURVEY & DESIGN, LLC
87 Indian Rock Road, Windham, New Hampshire
Tel: (603) 898-8616 / Fax: (603) 898-8497

Applicant:
JOYCE BEAUCEMIN REALTY TRUST
TIMOTHY L BEAUCEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469
(978) 804-0169

Owner(s):
JOYCE BEAUCEMIN REALTY TRUST
TIMOTHY L BEAUCEMIN, TRUSTEE
P.O. BOX 1067
TOWNSEND, MA 01469

NO.	DATE	BY	DESCRIPTION
9			
8			
7			
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1			

NOT RELEASED FOR CONSTRUCTION

Assessor's Map & Lot:
Map 28 / Lot 18B

Project No.: 42103 Drawing Scale: 1"=30'

Plan Date: 02/06/2023 Revised Date:

Sheet Title:
PRESENTATION PLAN #2

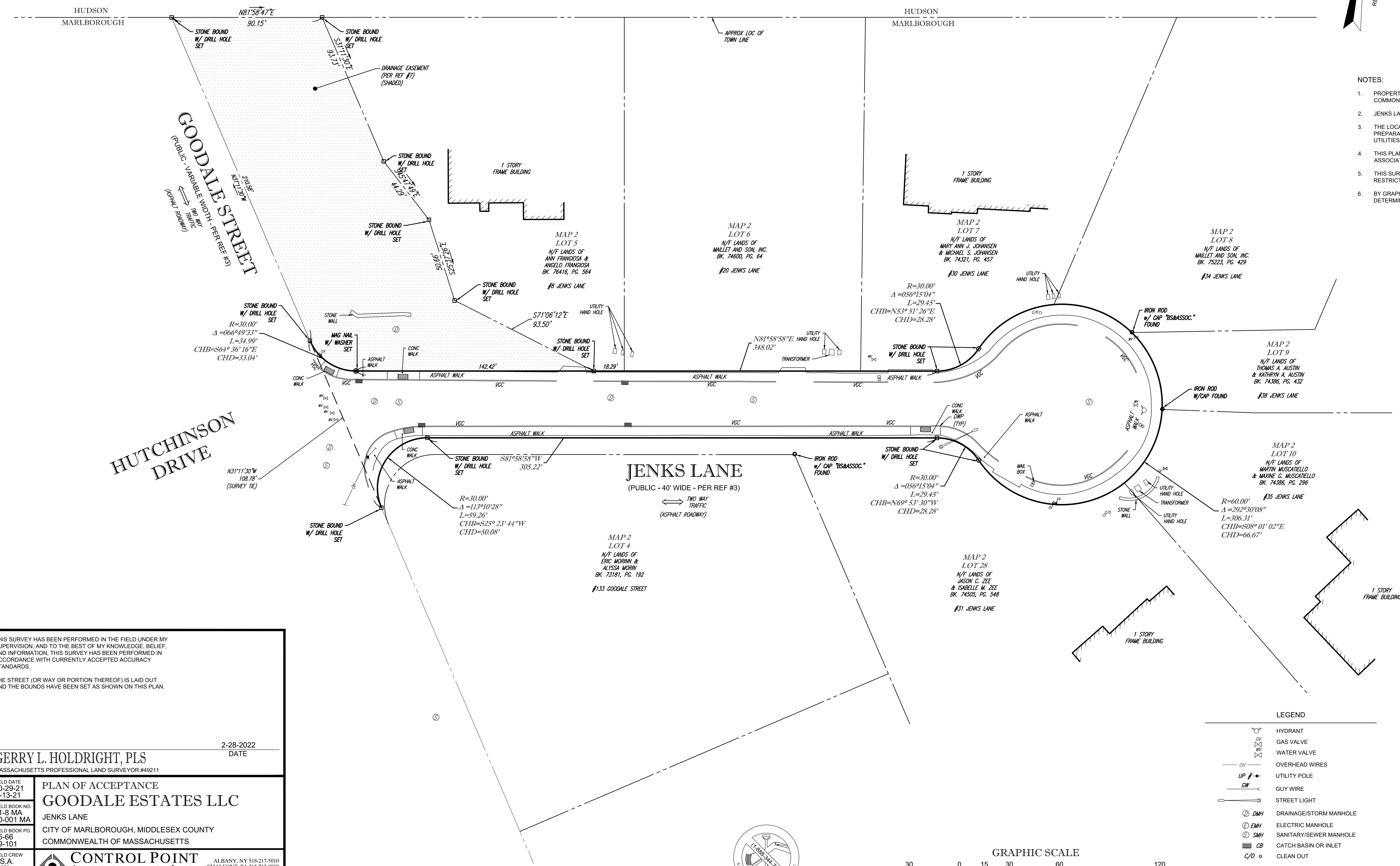
Sheet No.: **1**

Total No. of Sheets: 1

Drawing name: D:\L\689 Pleasant St - Marlborough\689 Pleasant St - 02/06/2023 - 02/06/2023 - Presentation Plan #2

Printed on: Feb 08, 2023 - 4:05pm

FOR REGISTRY USE ONLY



NOTES:

- PROPERTY KNOWN AS JENKS LANE AS SHOWN ON THE CITY OF MARLBOROUGH, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 2.
- JENKS LANE AREA = 26,961 SQUARE FEET OR 0.619 ACRES
- THE LOCATION OF UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGUN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE 'X-UNSHADED' (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2

REFERENCES:

- THE TAX ASSESSOR'S MAP OF CITY OF MARLBOROUGH, MIDDLESEX COUNTY, MAP 2.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 344 OF 656," MAP NUMBER 25017C0344F, MAP REVISED: JULY 7, 2014.
- MAP ENTITLED "DEFINITIVE PROPERTY PLAN - GOODALE ESTATES - MARLBOROUGH, MA," PREPARED BY BRUCE SALUK & ASSOCIATES, INC., DATED: JULY 19, 2016, LAST REVISED: OCTOBER 14, 2016, RECORDED WITH THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 1099 OF 2016.
- MAP ENTITLED "PLAN OF LAND IN MARLBOROUGH, MA (MIDDLESEX COUNTY) OWNER: CHANCELLOR ASSOCIATES, INST. 638, REC. 12/19/86," PREPARED BY BEALS AND THOMAS, INC., DATED: AUGUST 10, 1987, RECORDED WITH THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 1247 OF 1987.
- MAP ENTITLED "PLAN OF LAND IN MARLBOROUGH, MA (MIDDLESEX COUNTY) OWNER/APPLICANT CHANCELLOR ASSOCIATES LIMITED PARTNERSHIP C/O TRUST INVESTMENT INC.," PREPARED BY H & R SURVEY, DATED: DECEMBER 2, 1992, LAST REVISED: JANUARY 21, 1993, RECORDED WITH THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 436 OF 1993.
- MAP ENTITLED "WOODED ACRES SUB-DIVISION OF LAND IN MARLBOROUGH, MASS. OWNED BY VEGA REALTY TRUST," PREPARED BY: MAC CARTHAY ENGINEERING SERVICE INC., DATED: DECEMBER 1, 1999, RECORDED WITH THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 960 OF 1999.
- PLAN SET ENTITLED "GOODALE ESTATES DEFINITIVE SUBDIVISION PLAN MARLBOROUGH, MA," PREPARED BY BRUCE SALUK & ASSOCIATES, INC., DATED: JULY 19, 2016, LAST REVISED: OCTOBER 14, 2016, PROVIDED BY CLIENT.
- MAP ENTITLED "RIGHT-OF-WAY AS-BUILT SURVEY GOODALE ESTATES LLC, JENKS LANE, CITY OF MARLBOROUGH, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS," PREPARED BY: CONTROL POINT ASSOCIATES, INC., DATED: APRIL 13, 2021, LAST REVISED: NOVEMBER 4, 2021.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

THE STREET (OR WAY OR PORTION THEREOF) IS LAID OUT AND THE BOUNDS HAVE BEEN SET AS SHOWN ON THIS PLAN.

2-28-2022
DATE

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE: 10-29-21
4-13-21

FIELD BOOK NO: 21-8 MA
20-001 MA

FIELD BOOK PG: 65-66
99-101

FIELD CREW: J.S.A.
C.W.

DRAWN: B.A.V.

REVIEWED: G.L.H.

APPROVED: G.L.H.

DATE: 2-28-2022

SCALE: 1" = 30'

FILE NO: 03-180288-00

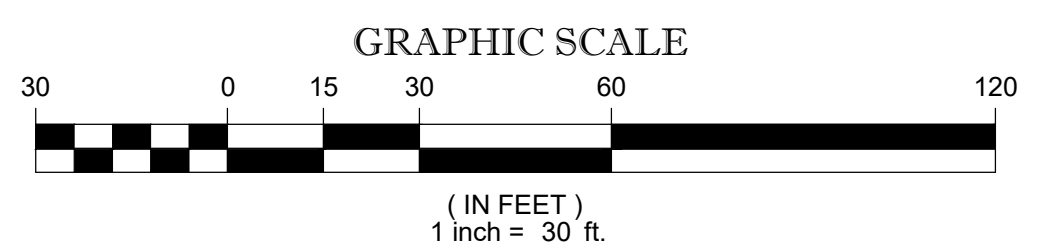
DWG. NO: 1 OF 1

CONTROL POINT ASSOCIATES, INC.
ALBANY, NY 518-217-5010
CHALFONT, PA 215-712-9800
HAUPPAUGE, NY 631-580-2645
MANHATTAN, NY 646-780-0411
SOUTH BOROUGH, MA 01772
MT LAUREL, NJ 609-857-2099
WARREN, NJ 908-666-6099
WWW.CPASURVEY.COM

PLAN OF ACCEPTANCE
GOODALE ESTATES LLC
JENKS LANE
CITY OF MARLBOROUGH, MIDDLESEX COUNTY
COMMONWEALTH OF MASSACHUSETTS



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



LEGEND

	HYDRANT
	GAS VALVE
	WATER VALVE
	OVERHEAD WIRES
	UTILITY POLE
	GUY WIRE
	STREET LIGHT
	DMH DRAINAGE/STORM MANHOLE
	EMH ELECTRIC MANHOLE
	SMH SANITARY/SEWER MANHOLE
	CB CATCH BASIN OR INLET
	CO CLEAN OUT
	DWP DETECTABLE WARNING PAD
	VCC VERTICAL GRANITE CURB
	(TP) TYPICAL

CITY OF MARLBOROUGH PLANNING BOARD

CITY ENGINEER _____

CHAIRMAN _____

DATE _____

THE PLANNING BOARD'S ENDORSEMENT OF THE PLAN AS NOT REQUIRING APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS NOT A DETERMINATION AS TO THE CONFORMANCE WITH THE CITY OF MARLBOROUGH ZONING BYLAW AND REGULATIONS.



City of Marlborough
Department of Public Works

135 NEIL STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL. 508-624-6910
*TDD 508-460-3610

5B.i

SEAN M. DIVOLL, P.E.
COMMISSIONER

March 23, 2023

Marlborough Planning Board

RE: Definitive Subdivision Status
76 Broad Street

Chair Fay and Board Members,

On February 8, 2021, the Planning Board voted to approve a Definitive Subdivision Plan at the above referenced address. The covenant that was written for the subdivision indicated that construction was to be completed within 2 years. However it appears that the covenant was not recorded.

As two years has passed since that time, I recommend that the board consult with the Legal Department as to the status of this subdivision approval. If you have any questions regarding the above, please do not hesitate to contact me.

Sincerely,

Thomas DiPersio, Jr., PE, PLS
City Engineer

SOIL LOGS

DTH-1 5/26/2022		DTH-5 5/26/2022	
0-12" Ap	SANDY LOAM		REFUSAL AT 24"
12-36" Bw	SANDY LOAM	DTH-6 5/26/2022	
36-112" C1	LOAMY SAND	0-12" Ap	SANDY LOAM
NO WATER, NO MOTTLES		12-32" Bw	SANDY LOAM
		32-78" C1	LOAMY SAND
		NO WATER, NO MOTTLES	REFUSAL AT 78"
DTH-2 5/26/2022		DTH-7 5/26/2022	
0-12" Ap	SANDY LOAM		REFUSAL AT 36"
12-34" Bw	SANDY LOAM	DTH-8 5/26/2022	
34-100" C1	LOAMY SAND		REFUSAL AT 24"
NO WATER, NO MOTTLES	REFUSAL AT 100"	DTH-9 5/26/2022	
		0-8" Ap	SANDY LOAM
DTH-3 5/26/2022		8-24" Bw	SANDY LOAM
0-12" Ap	SANDY LOAM	24-68" C1	LOAMY SAND
12-30" Bw	SANDY LOAM	MOTTLES AT 42"	REFUSAL AT 68"
30-60" C1	MEDIUM SAND		
60-124" C1	LOAMY SAND DENSE	DTH-10 5/26/2022	
MOTTLES AT 60"		0-8" Ap	SANDY LOAM
		8-24" Bw	SANDY LOAM
DTH-4 5/26/2022		24-72" C1	LOAMY SAND
0-12" Ap	SANDY LOAM	MOTTLES AT 42"	REFUSAL AT 72"
12-32" Bw	SANDY LOAM		
32-64" C1	MEDIUM SAND		
64-98" C1	LOAMY SAND DENSE		
MOTTLES AT 64"	REFUSAL AT 98"		

MA COORDINATE SYSTEM

MELLO FAMILY MEADOW TRAIL TAKEN FROM G.L.S.



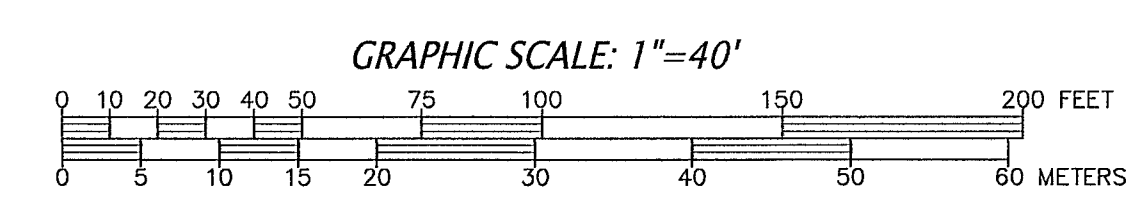
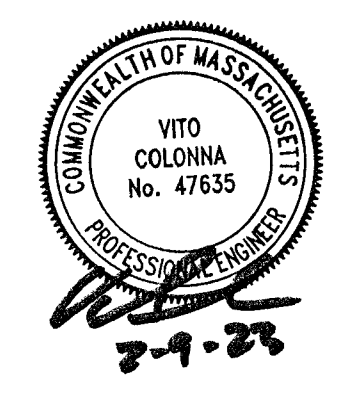
OWNERS:
McCabe Family Revocable Trust
AND
Judith Mello McCabe

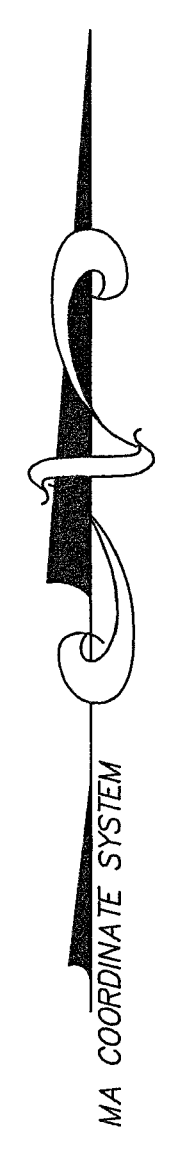
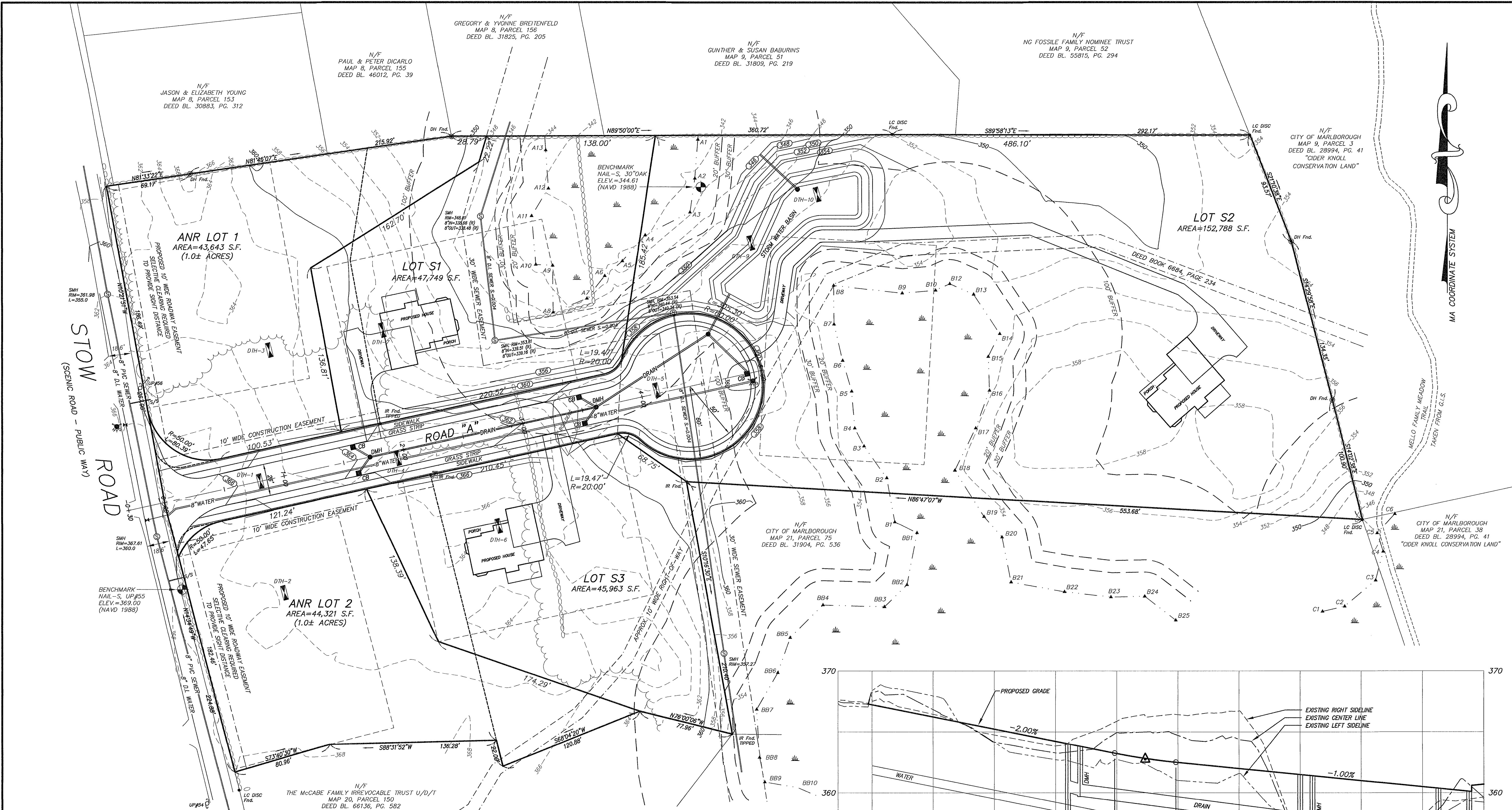
APPLICANT:
Kendall Homes
P.O. Box 766
Southborough, MA 01772

CONNORSTONE ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 Southwest Cutoff, Suite 7
Northborough, Massachusetts 01532
PHONE: 508-393-9727 FAX: 508-393-5242

"PRELIMINARY PLAN"
EXISTING CONDITIONS/TREE PLAN
STOWE ROAD SUBDIVISION
IN
MARLBOROUGH, MA

2-9-2023	EDITS PER P.B. COMMENTS
REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: DECEMBER 2, 2022	
SCALE: 1"=40'	SHEET 2 OF 4.





ZONED: RURAL RESIDENCE RR
 AREA = 43,560 sf
 FRONTAGE = 180 feet
 SETBACKS: FRONT = 40 feet
 SIDE = 25 feet
 REAR = 50 feet

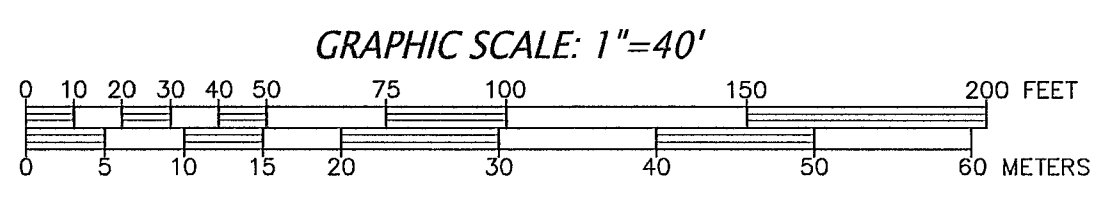
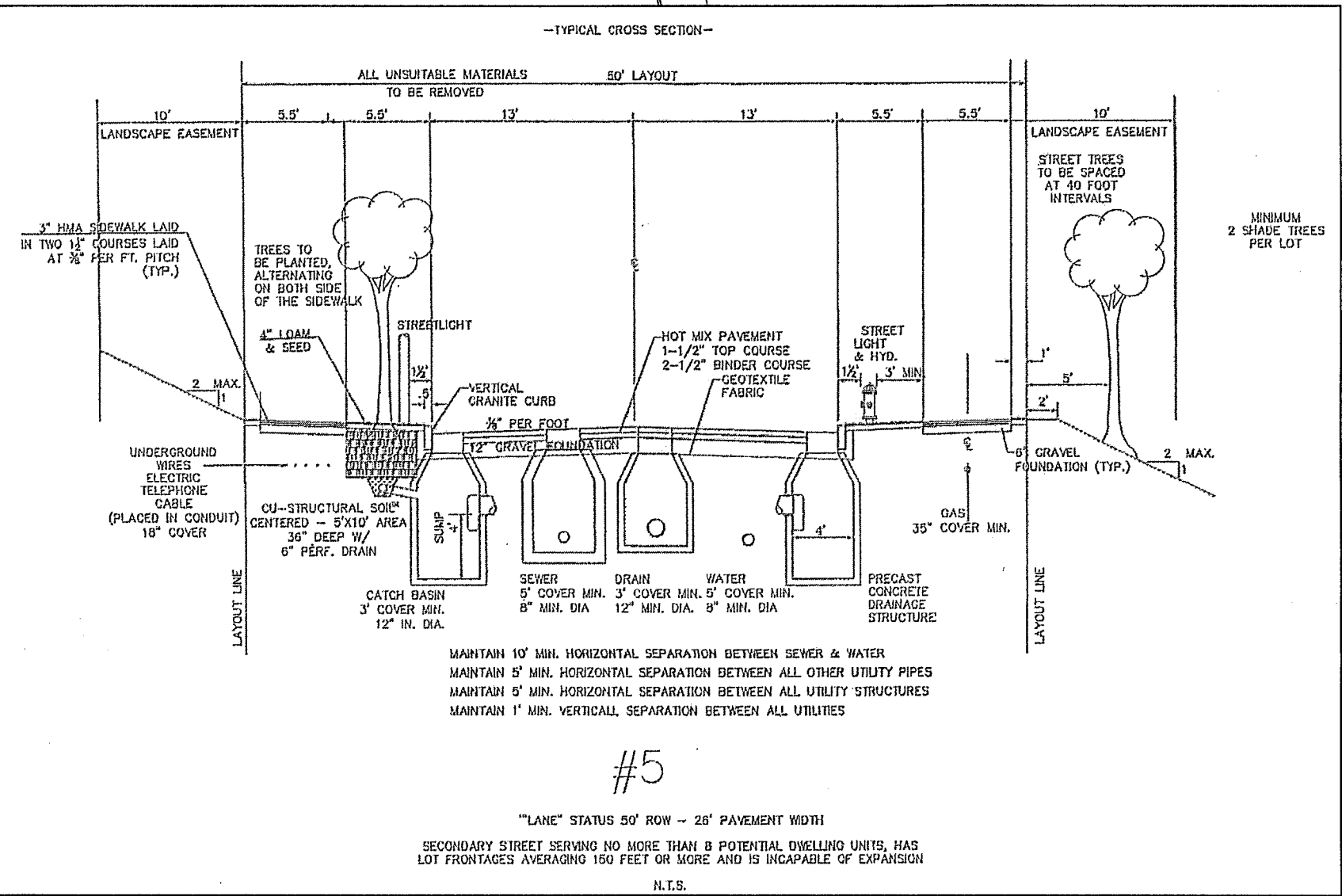
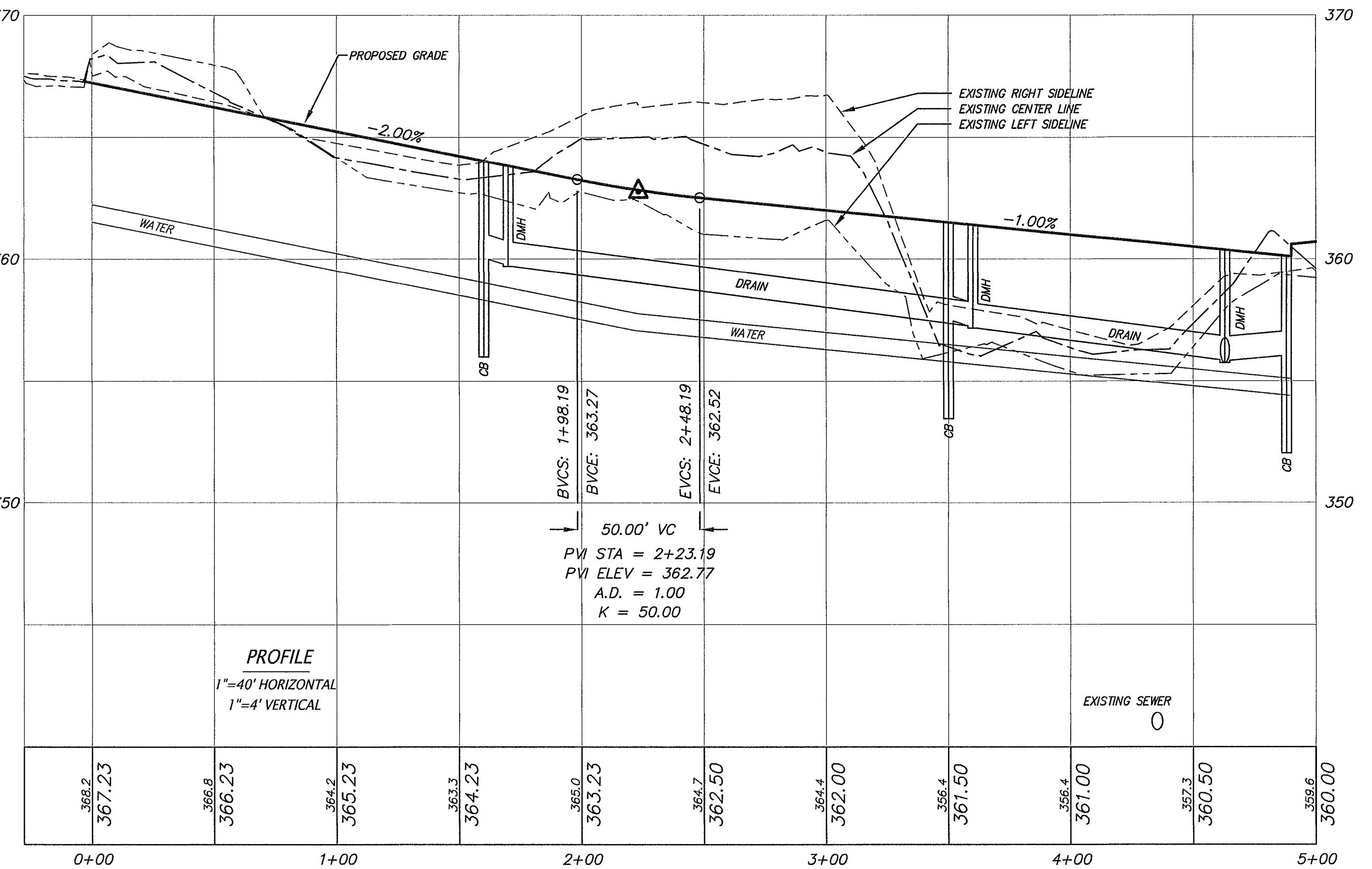
OWNERS:
 McCABE FAMILY REVOCABLE TRUST
 AND
 JUDITH MELLO McCABE

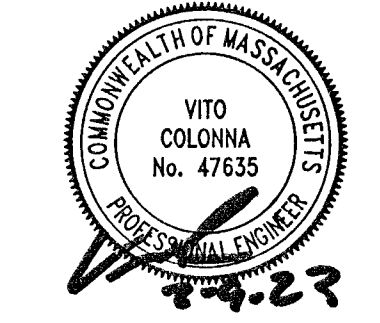
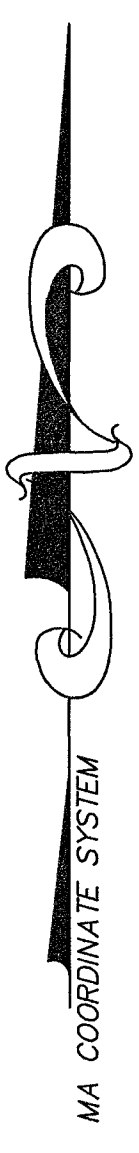
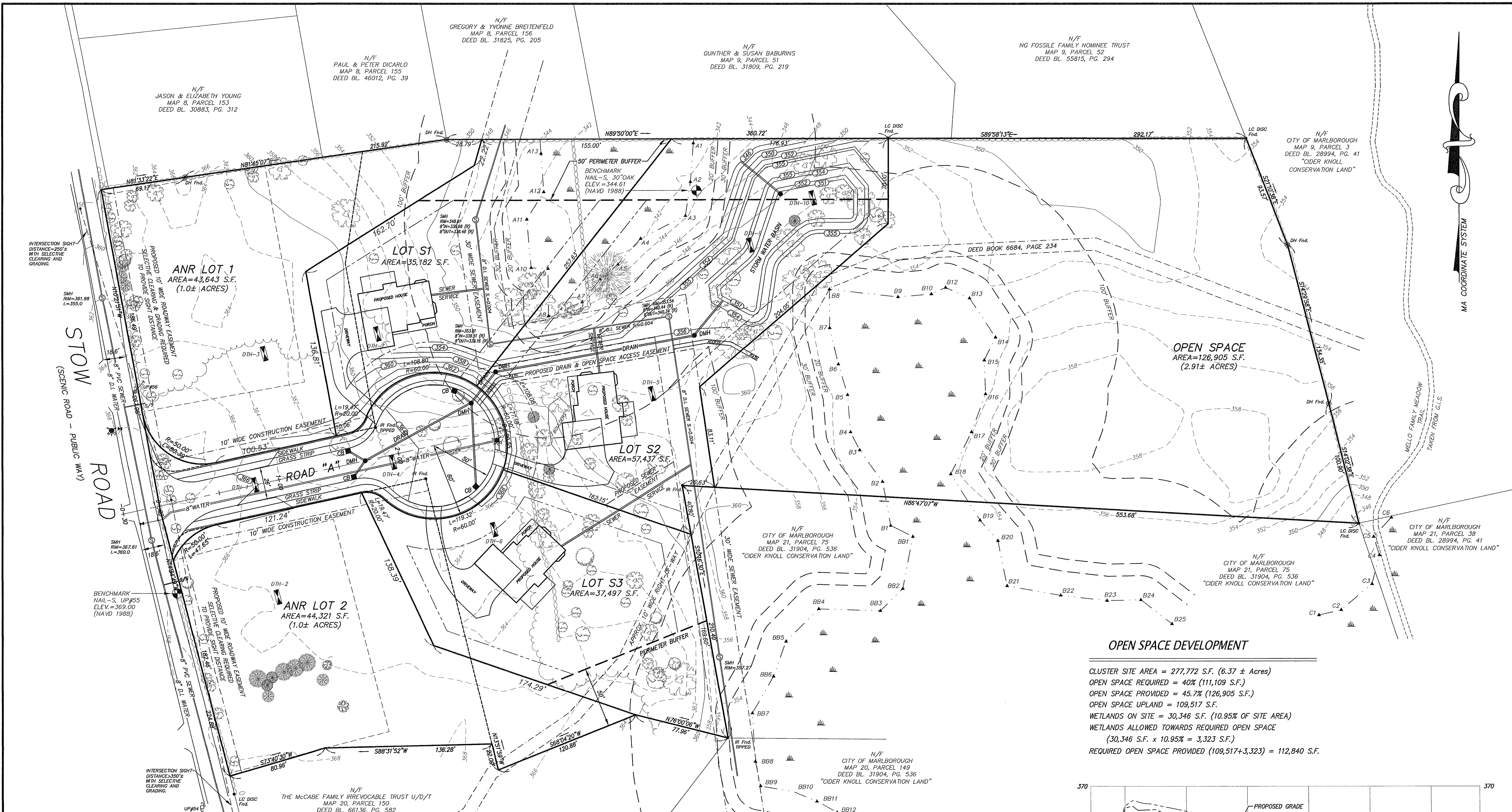
APPLICANT:
 KENDALL HOMES
 P.O. BOX 766
 SOUTHBOROUGH, MA 01772

CONNORSTONE ENGINEERING INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 10 SOUTHWEST CUTOFF, SUITE 7
 NORTHBOROUGH, MASSACHUSETTS 01532
 PHONE: 508-393-9727 FAX: 508-393-5242

"PRELIMINARY PLAN"
 CONVENTIONAL CONCEPT PLAN
 STOWE ROAD SUBDIVISION
 IN
 MARLBOROUGH, MA

2-9-2023 EDITS PER P.B. COMMENTS
 REVISED: DESCRIPTION:
 DRAWN BY: REM CHECK BY: VC
 DATE: DECEMBER 2, 2022
 SCALE: 1"=40' SHEET 3 OF 4.





ZONED: RURAL RESIDENCE RR
 OPEN SPACE DEVELOPMENT
 AREA = 20,000 sf
 FRONTAGE = 70 feet
 LOT WIDTH AT FRONT SETBACK = 90'
 SETBACKS: FRONT = 25 feet
 SIDE = 15 feet
 REAR = 25 feet

OWNERS:
 MCCABE FAMILY REVOCABLE TRUST
 AND
 JUDITH MELLO MCCABE

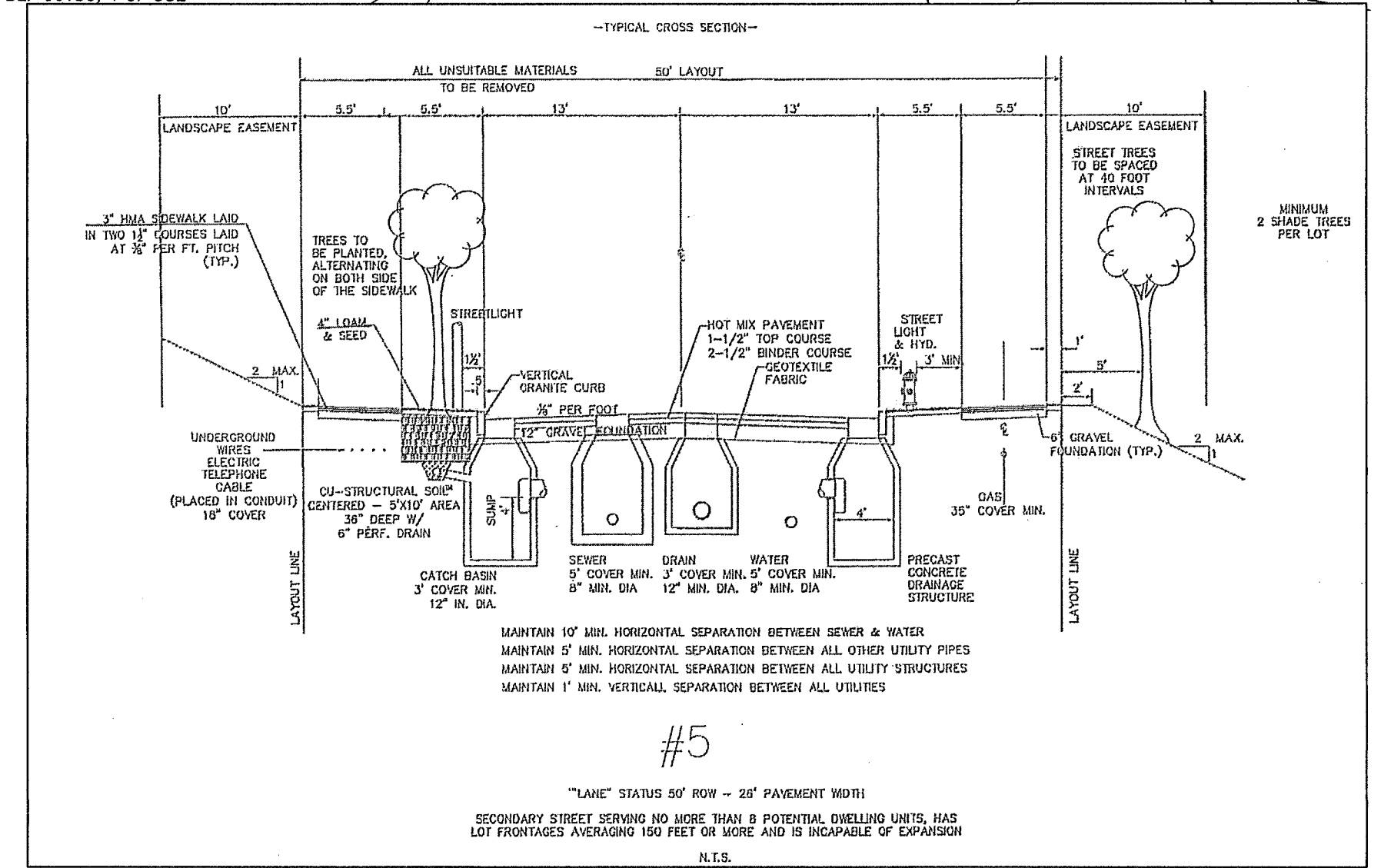
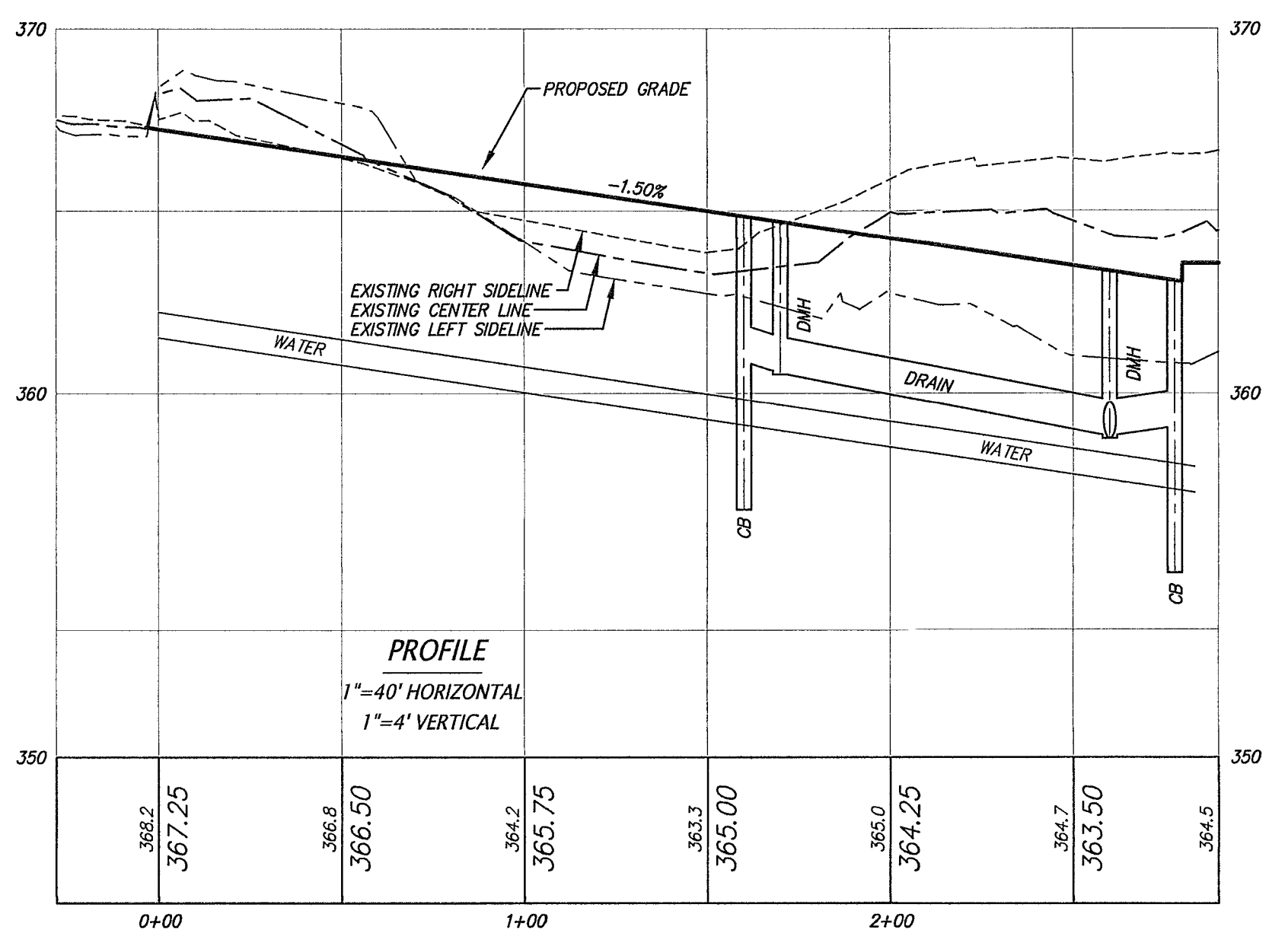
APPLICANT:
 KENDALL HOMES
 P.O. BOX 766
 SOUTHBOROUGH, MA 01772

CONNORSTONE ENGINEERING INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 10 SOUTHWEST CUTOFF, SUITE 7
 NORTHBOROUGH, MASSACHUSETTS 01532
 PHONE: 508-393-9727 FAX: 508-393-5242

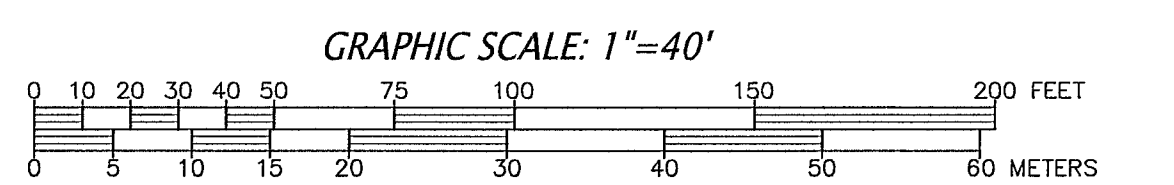
"PRELIMINARY PLAN"
 OPEN SPACE CONCEPT PLAN
 STOWE ROAD SUBDIVISION
 IN
 MARLBOROUGH, MA

OPEN SPACE DEVELOPMENT

CLUSTER SITE AREA = 277,772 S.F. (6.37 ± Acres)
 OPEN SPACE REQUIRED = 40% (111,109 S.F.)
 OPEN SPACE PROVIDED = 45.7% (126,905 S.F.)
 OPEN SPACE UPLAND = 109,517 S.F.
 WETLANDS ON SITE = 30,346 S.F. (10.95% OF SITE AREA)
 WETLANDS ALLOWED TOWARDS REQUIRED OPEN SPACE
 (30,346 S.F. x 10.95% = 3,323 S.F.)
 REQUIRED OPEN SPACE PROVIDED (109,517 + 3,323) = 112,840 S.F.



- LEGEND**
- DRAIN MAN HOLE
 - DRAINAGE LINE
 - CATCH BASIN
 - SEWER LINE
 - BITUMINOUS CURBING
 - EDGE OF PAVEMENT
 - GUARD RAIL
 - APPROX. WATERLINE
 - HYDRANT
 - WATERGATE
 - APPROX. GAS LINE
 - GAS GATE
 - UTILITY POLE & GUY WIRE
 - CHAIN LINK FENCE
 - LIGHTPOST
 - HANDICAP SPACE
 - ELECTRIC TRANSFORMER
 - SIGN
 - VERTICAL BENCHMARK
 - DECIDUOUS TREE >8"
 - CONIFEROUS TREE >8"
 - TREE LINE
 - SPOT GRADE
 - WETLAND LINE
 - TELEPHONE MAN HOLE
 - SOIL SAMPLE LOCATION
- MONUMENTS**
- SBHD Fnd. STONE BOUND W. DRILL HOLE FOUND
 - SB Fnd. STONE BOUND FOUND
 - IP Fnd. IRON PIPE FOUND



2/9/2023	EDITS PER P.B. COMMENTS
REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: DECEMBER 2, 2022	
SCALE: 1"=40'	SHEET 4 OF 4.



CITY OF MARLBOROUGH
APPLICATION FOR SIGN APPEAL TO PLANNING BOARD

INSTRUCTIONS: Use this form if your sign permit application has been denied by the Building Inspector and your denial letter indicates your right to appeal to the City of Marlborough Planning Board. This application must be filed with the Planning Board within 30 days of the date of the decision of the of the Building Inspector. (See Number 7 below.) Applicant must attach a copy of the Building Inspector's decision letter (usually a denial of a sign permit.) This application form must be signed by the applicant or their authorized agent (and the property owner if the owner is not the applicant.) Send the completed form along with the \$50.00 filing fee to the Planning Board administrative offices at 135 Neil St. 2nd Floor, Marlborough, MA 01752. The Planning Board Administrator will sign this form and schedule an appeal hearing date at a future scheduled meeting of the Planning Board.

1. **Location of Proposed Sign: Street Address:** 405 Maple st. , Marlboro, MA 01752
What other signs exist on the property: (Type, Size, Location) 30"Pan Face Channel letter and Monumental Sign
2. **Name of business or activity applying for sign:** Fazza group Inc
3. **Applicant:** Elias DeAquino
Applicant Address: 62 West Main St. Northboro, MA 01532
Applicant Contact Info: (name, email and phone) Elias DeAquino, ultrasigns@gmail.com / 774-285-2702
4. **Building Owner:** Yuri Souza
Owner Address: 405 Maple st. , Marlboro, MA 01752
Owner Contact Info: (name, email and phone) Yuri Souza / targetpainting@live.com / 774-249-1830
5. Applicant is Building Owner Tenant Other _____
6. **Date of Building Inspector's decision from which appeal is taken:** 11/30/2022
(Attach copy of denial of sign permit.)
7. **Section of the Sign Ordinance from which appeal is requested:** Chapter 650, Section(s) 526-9B(3)
Section heading(s): 526-9B(4)
8. **Description of Sign:** Flat wall Sign
9. **Give a brief outline why permit was refused and the purpose of the sign:** Exceeds the allowable aggregated area.
(Purpose of the sign will be the increase the elegance of the building.)

Other pertinent information may be submitted with this application or requested by the Planning Board.
I hereby request a hearing before the Planning Board with reference to the above noted application:

Signed: Elias de Aquino Date: 12-08-2022 Owner: Fazza Group Inc.

Applicant

Received: \$50 application fee - Check payable to City of Marlborough Initials of Board agent KL
Scheduled Hearing Date: December 19, 2022 Date of payment 12/8/22

NEW SIGNS MAY NOT BE ERECTED UNTIL APPEAL HAS BEEN GRANTED AND PERMIT IS ISSUED

Variance Decision: Ap ed Denied
(attached)

City of Marlborough
Commonwealth of Massachusetts



Ethan Lippitt
Local Building Inspector
140 Main Street
Marlborough, MA 01752
Phone: (508) 460-3776 XT 4
Fax: (508) 460-3736
Email: elippitt@marlborough-ma.gov

11/30/2022

Elias DeAquino
62 West Main Street,
Northborough, MA 01532

RE: Flat Wall Sign Determination, Sign Permit SP-22-44, *405 Maple*

To whom it may concern,

On 11/22/2022 a flat wall sign was applied that would be installed at 405 Maple Street. This flat wall sign cannot be installed as applied for due to being in direct conflict with **§526-9B(3)** and **§526-9B(4)** due to exceeding the allowable aggregate area of all flat wall signs for the property at 150 square feet. The ordinances regarding both the aggregate area and the appeal process have been included in this letter for your convenience.

The following calculations pertain to the existing signage and the proposed signage to be installed upon the site.

Existing Flat Wall Sign Square Footage that is permitted upon the site.

- **134.95 SF of permitted signage was installed as part of sign permit SP-22-37.**

Remaining square footage of area that can have signage installed upon it.

- **15.05 SF of aggregate area that can have wall signs installed upon it.**

Area of proposed signage to be added to the building.

- **105 SF of sign to be added to the existing signage, exceeding the allowable aggregate signage by 89.95 SF.**

§ 526-9 Nonresidence districts.

[Amended 2-14-2011 by Ord. No. 10/11-1002763A]

The following regulations pertain to signs in Business, Industrial, Limited Industrial, and Commercial and Automotive Districts and to legally nonconforming businesses located in residence districts but not to home occupations.

(3) Calculation of area.

(a) Basic area. Unless otherwise hereinafter provided, the total area of all flat wall signs shall not exceed 1 1/2 square feet for each horizontal linear foot of the facade of the establishment, provided that the aggregate area of all flat wall signs for any one establishment on any one building shall not exceed 100 square feet, except for bonus area provided in § 526-9B(4) and (5) below.

- (b)** Number of signs and allocation of area. Any number of separate flat wall signs may be erected on the face of a building, provided they meet all provisions of this section and do not exceed the aggregate area allowed by Subsection B(3)(a), Basic area, above.
- (c)** Area of canopy, marquee or awning sign: refer to Subsection B(2) above.

(4) Bonus area for multiple frontage. If the building has frontage on more than one public street, or public entrances on more than one facade, then an additional flat wall sign area of one square foot shall be allowed for each linear foot of such additional facade frontage. Such additional sign area shall appear solely on that side of the building which gives rise to the multiple frontage and shall be used exclusively for the business establishment having its facade on that frontage. In no case shall more than two facades be counted on any one building for the purpose of calculating total allowable sign area, which shall not exceed 150 square feet per establishment except for bonus area provided for in § 526-9B(5).

Your rights for an appeal have been included below.

§ 526-12 Administration and penalties.

C. Rights to appeal.

(1) Any applicant for a permit, any person who has been ordered by the Building Commissioner to incur expense in connection with a sign and any person dissatisfied with any refusal, order or decision of the Building Commissioner may appeal to the Planning Board within 30 days from the date of such refusal, order or decision. The fee for the filing of said appeal shall be \$25, payable to the City of Marlborough upon the filing of said appeal. After written notice given to such parties as the Planning Board shall order, the Planning Board shall address the appeal at a regularly scheduled meeting of the Board. Applying the standards described in Subsection C(2) below, where applicable, and interpreting this chapter, the Planning Board shall affirm, annul or modify such refusal, order or decision within 45 days after hearing the appeal. The action of the Building Commissioner may be annulled or modified only by a two-thirds vote of the Planning Board. If the action of the Building Commissioner is modified or annulled, the Building Commissioner shall issue a permit or order in accordance with the decision of the Planning Board.

[Amended 10-6-2014 by Ord. No. 14-1005921A]

(2) Variances. The Planning Board may vary the provisions of this chapter in specific cases which appear to it not to have been contemplated by this chapter, and in cases wherein its enforcement would involve practical difficulties if, in each instance, desirable relief may be granted without substantially derogating from the intent and purpose of this chapter but not otherwise. Any decision to vary the provisions of this chapter shall be by 2/3 majority and shall specify any variance allowed and the reason therefor. Each decision of the Planning Board shall be filed in the office of the City Clerk within 30 days after the decision and a copy of the decision shall be sent by mail or delivered to the appellant and any other person appearing at the hearing and so requesting in writing. Failure to file such a decision within 30 days after the hearing shall not be deemed to be approval of any variance sought. No variances shall be allowed by the Planning Board from the date on which this sentence becomes effective until July 1, 2007.

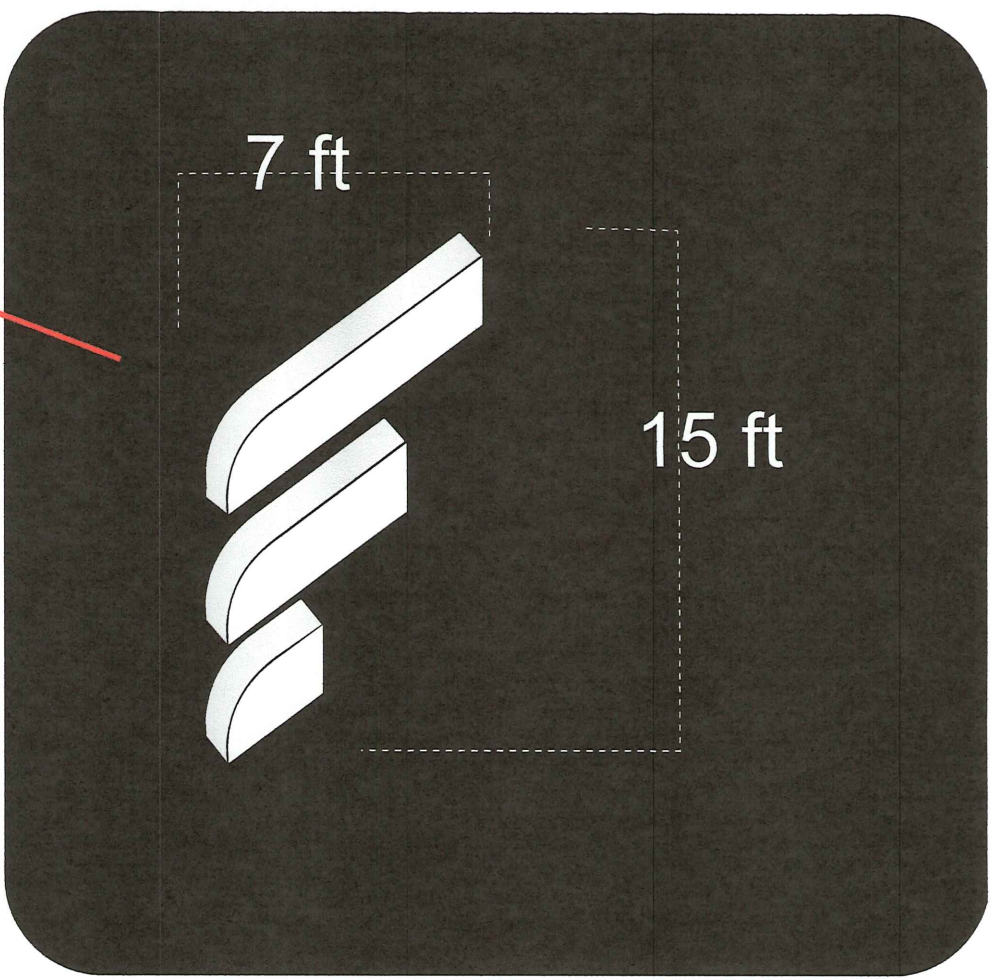
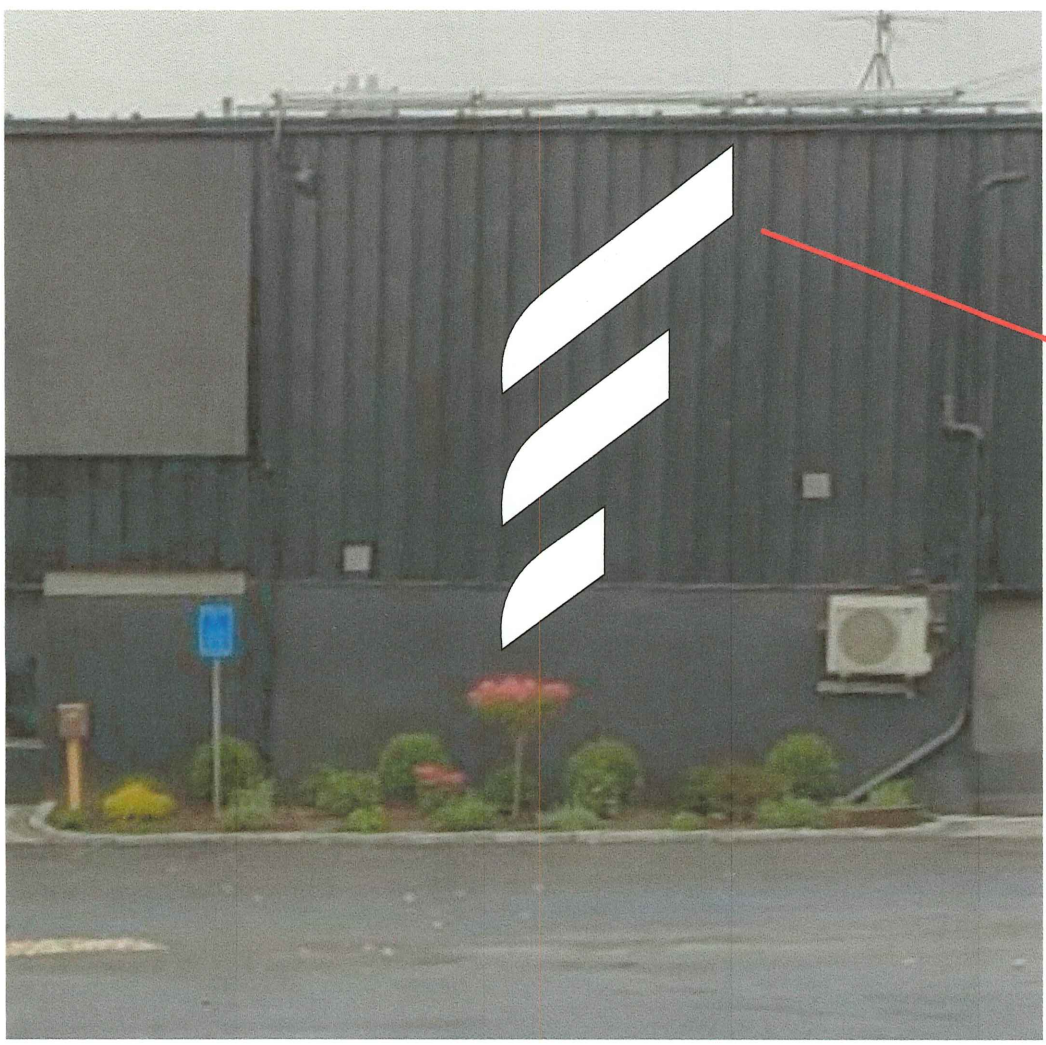
[Amended 10-30-2006 by Ord. No. 06100-1323A]

(3) Conditions and safeguards. The Planning Board shall set forth appropriate conditions and safeguards whenever in its opinion they are desirable.

Code Enforcement Officer Ethan Lippitt

Best,
Ethan Lippitt

CC File
City Council
Planning Board
Commissioner Htway



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SCALE: 1:00

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City of Marlborough
Planning Board

Administrative Offices
 135 Neil St.
 Marlborough, MA 01752

MEMO

Date: March 9, 2023
 To: Record
 From: Marlborough Planning Board
 Re: Sign Ordinance Variance Procedures

Due to the highly specific requirements for sign ordinance variances under 526.12.C.(2), the Planning Board requires that the applicant for a sign ordinance variance be the business owner or the responsible executive of the business requesting the variance. The applicant and/or their legal counsel will appear before the Planning Board at the agreed date and time to present their case for the variance. At a minimum the applicant must address:

- how they believe their proposed sign was not contemplated by the ordinance, and
- how enforcement of the existing ordinance requirements would involve practical difficulties, and
- how desirable relief might be granted without substantially derogating from the intent and purposes of the ordinance

Applicant must be specific in their responses as 526.12.C.(2) allows variances under these three conditions and none other.

The applicant might also have a representative from the sign vendor/installer attend to address any questions from the Planning Board regarding the construction, installation, and operation of the proposed sign.

Sincerely,

Sean N. Fay
 Chairperson