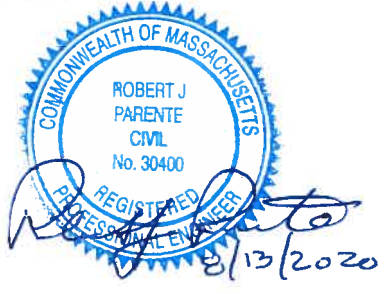


NOTE WETLANDS FLAGGED BY B+C ASSOCIATES ON 8/5/2020.

NOTE: A NEW ROW OF SILT FENCE AND WITTLES SHALL BE INSTALLED THE SAME DAY AS THE EXCAVATION FOR THE NEW TOE OF SLOPE. EXISTING SILT IN THE DVM SHALL BE REMOVED AT THIS TIME. APPROX. 750 CY OF FILL MATERIAL WILL NEED TO BE REMOVED FROM THE SITE.

PROPOSED TOP OF SLOPE SHOWN WILL CREATE A 2.50% BARKMULCHED SLOPE. @ ELEV. 27550 FOR THE TOP OF SLOPE. REMAINDER OF YARD AREA SHOULD BE LOAMED & SEED BY SEPT. 15, 2020 TO ALLOW NEW GRASS TO ESTABLISH.



**SITE PLAN OF LOT GRADING
IN
MARLBOROUGH, MASSACHUSETTS**

OWNED BY: JOSEPH & NICOLE BISAZZA
178 SIMPSON ROAD
PREPARED BY: ROBERT J. PARENTE, P.E.
21 CHAPIN STREET, NORTHBOROUGH, MA. 01532
DATE: JULY 9, 2020 SCALE: 1"=40'
REV: AUG. 13, 2020

DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: _____ Prepared by: B & C Associates Inc. Project location: 178 Simpson Road, Marlboro DEP File #: _____

Check all that apply:

- Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only
 Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II
 Method other than dominance test used (attach additional information)

Section I. Vegetation Observation Plot Number: 1 Transect Number: A Date of Delineation: 08/05/2020

A. Sample Layer and Plant Species (by common/scientific name)		B. Percent Cover (or basal area)	C. Percent Dominance	D. Dominant Plant (yes or no)	E. Wetland Indicator Category *	
Herbaceous:	Jewelweed	<i>Impatiens capensis</i>	20.5	28%	Yes	FACW *
	Upland Grasses	<i>Graminae</i> sp.	20.5	28%	Yes	UPL
	Woodbine	<i>Parthenocissus quinquefolia</i>	10.5	14%	No	FACU
	Smartweed	<i>Polygonum pennsylvanicum</i>	10.5	14%	No	FACW *
	Cinnamon Fern	<i>Osmunda cinnamomea</i>	3.0	4%	No	FACW *
	Reed Canary Grass	<i>Phalaris arundinacea</i>	3.0	4%	No	FACW+ *
	Beggar-ticks	<i>Bidens connata</i>	3.0	4%	No	FACW+ *
	Upright Woodsorrel	<i>Oxalis stricta</i>	3.0/74.0	4%	No	UPL
Shrubs:	Winterberry	<i>Ilex verticillata</i>	10.5	64%	Yes	FACW+ *
	Black Cherry	<i>Prunus serotina</i>	3.0	18%	No	FACU
	White Ash	<i>Fraxinus americana</i>	3.0/16.5	18%	No	FACU
Saplings:	Red Oak	<i>Quercus rubra</i>	3.0/3.0	100%	Yes	FACU-
Lianas:	Woodbine	<i>Parthenocissus quinquefolia</i>	20.5	66%	Yes	FACU
	New England Grape	<i>Vitis novae-angliae</i>	10.5/31.0	34%	Yes	NI
Overstory:	White Pine	<i>Pinus strobus</i>	820.0	56%	Yes	FACU
	Red Maple	<i>Acer rubrum</i>	425.4	29%	Yes	FAC *
	White Ash	<i>Fraxinus americana</i>	191.4	13%	No	FACU
	Red Oak	<i>Quercus rubra</i>	38.5/1475.3	3%	No	FACU-

* Use an asterisk to mark wetland indicator plants: plant species listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus *Sphagnum*; plants listed as FAC, FAC+, FACW-, FACW, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological or morphological adaptations, describe the adaptation next to the asterisk.

Vegetation conclusion:

Number of dominant wetland indicator plants: 3 Number of dominant non-wetland Indicator plant: 4

Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? NO

**Section II. Indicators of Hydrology
Hydric Soil Interpretation**

1. Soil Survey

Is there a published soil survey for this site? YES

title/date: Middlesex County 6/09/2020

map number: 20

soil type mapped: Paxton fine sandy loam

hydric soil inclusions:

Are field observations consistent with soil survey? YES

Remarks:

2. Soil Description

Horizon	Depth	Matrix Color	Mottles Color
Fill	6-0"		
A	0-11"	10 YR 2/2	
B	11-13"	10 YR 5/3	

Remarks: Refusal @ 19"

3. Other: 11' 4" to Wetland Flag # 3
11' 11" to Wetland Flag # 4

Conclusion: Is soil hydric? NO

Other Indicators of Hydrology: (check all that apply and describe)

- Site inundated: _____
- Depth to free water in observation hole: _____
- Depth to soil saturation in observation hole: _____
- Water marks: _____
- Drift lines: _____
- Sediment deposits: _____
- Drainage patterns in BVW: _____
- Oxidized rhizospheres: _____
- Water-stained leaves: _____
- Recorded data (stream, lake, or tidal gauge; aerial photo; other):

- Other: _____

Vegetation and Hydrology Conclusion

	Yes	No
Number of wetland indicator plants ≥ number of non-wetland indicator plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wetland hydrology present: hydric soil present	<input type="checkbox"/>	<input checked="" type="checkbox"/>
other indicators of hydrology present	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sample location is in a BVW	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Submit this form with the Request for Determination of Applicability or Notice of Intent

DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: _____ Prepared by: B & C Associates Inc. Project location: 178 Simpson Road, Marlboro DEP File #: _____

Check all that apply:

- Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only
- Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II
- Method other than dominance test used (attach additional information)

Section I. Vegetation Observation Plot Number: 1 Transect Number: A Date of Delineation: 08/05/2020

A. Sample Layer and Plant Species (by common/scientific name)			B. Percent Cover (or basal area)	C. Percent Dominance	D. Dominant Plant (yes or no)	E. Wetland Indicator Category *	
Herbaceous:	Woodbine	<i>Parthenocissus quinquefolia</i>	10.5	29%	Yes	FACU	
	Jewelweed	<i>Impatiens capensis</i>	10.5	29%	Yes	FACW	*
	Lance-leaved Goldenrod	<i>Solidago graminifolia</i>	3.0	8%	No	FAC	*
	Skunk Cabbage	<i>Symplocarpus foetidus</i>	3.0	8%	No	OBL	*
	Cinnamon Fern	<i>Osmunda cinnamomea</i>	3.0	8%	No	FACW	*
	Tussock Sedge	<i>Carex stricta</i>	3.0	8%	No	OBL	*
	Common Plantain	<i>Plantago major</i>	3.0/36.0	8%	No	FACU	
Shrubs:	European Buckthorn	<i>Rhamnus frangula</i>	10.5	25%	Yes	FAC	*
	Winterberry	<i>Ilex verticillata</i>	10.5	25%	Yes	FACW+	*
	Arrowwood	<i>Viburnum dentatum</i>	10.5	25%	Yes	FAC	
	Linden	<i>Tilia americana</i>	10.5/42.0	25%	Yes	FACU	
Saplings:	Red Maple	<i>Acer rubrum</i>	10.5/10.5	100%	Yes	FAC	*
Lianas:	Woodbine	<i>Parthenocissus quinquefolia</i>	10.5	50%	Yes	FACU	
	New England Grape	<i>Vitis novae-angliae</i>	10.5/21.0	50%	Yes	NI	
Overstory:	White Pine	<i>Pinus strobus</i>	707.1	59%	Yes	FACU	
	Red Maple	<i>Acer rubrum</i>	361.5	30%	Yes	FAC	*
	White Ash	<i>Fraxinus americana</i>	95.7	8%	No	FACU	
	Red Oak	<i>Quercus rubra</i>	38.5/1202.8	3%	No	FACU-	

* Use an asterisk to mark wetland indicator plants: plant species listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus *Sphagnum*; plants listed as FAC, FAC+, FACW-, FACW, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological or morphological adaptations, describe the adaptation next to the asterisk.

Vegetation conclusion:

Number of dominant wetland indicator plants: 6 Number of dominant non-wetland Indicator plant: 4

Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? YES

**Section II. Indicators of Hydrology
Hydric Soil Interpretation**

1. Soil Survey

Is there a published soil survey for this site? YES

title/date: Middlesex County 6/09/2020

map number: 20

soil type mapped: Ridgebury fine sandy loam

hydric soil inclusions:

Are field observations consistent with soil survey? YES

Remarks:

2. Soil Description

Horizon	Depth	Matrix Color	Mottles Color
Fill	5-0"		
O _a	0-7"	10 YR 2/1	
B _{tg}	7-12"	10 YR 4/1	5 YR 4/4

Remarks:

3. Other: 18' 6" to Wetland Flag # 3
10' 9" to Wetland Flag # 4
16' 10" downgradient from A1

Conclusion: Is soil hydric? YES

Other Indicators of Hydrology: (check all that apply and describe)

- Site inundated: _____
- Depth to free water in observation hole: _____
- Depth to soil saturation in observation hole: 0"
- Water marks: _____
- Drift lines: _____
- Sediment deposits: _____
- Drainage patterns in BVW: _____
- Oxidized rhizospheres: _____
- Water-stained leaves: _____
- Recorded data (stream, lake, or tidal gauge; aerial photo; other):

- Other: _____

Vegetation and Hydrology Conclusion

	Yes	No
Number of wetland indicator plants ≥ number of non-wetland indicator plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wetland hydrology present: hydric soil present	<input checked="" type="checkbox"/>	<input type="checkbox"/>
other indicators of hydrology present	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sample location is in a BVW	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Submit this form with the Request for Determination of Applicability or Notice of Intent



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Rec 8-14-2020

MARLBOROUGH
City/Town

A. General Information

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Name GLAUCIA AFONSO

E-Mail Address GLAUCIAAFONSO1984@gmail.com

Mailing Address 155 RAYMOND RD

City/Town MARLBOROUGH

State MA

Zip Code 01752

Phone Number (508) 308 0553

Fax Number (if applicable) N/A

2. Representative (if any):

N/A

Firm _____

Contact Name _____

E-Mail Address _____

Mailing Address _____

City/Town _____

State _____

Zip Code _____

Phone Number _____

Fax Number (if applicable) _____

B. Determinations

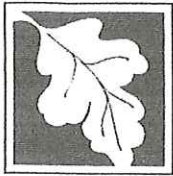
1. I request the MARLBOROUGH CONSERVATION Conservation Commission make the following determination(s). Check any that apply:

- a. whether the area depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the boundaries of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the work depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any municipal wetlands ordinance or bylaw of:

Name of Municipality _____

- e. whether the following scope of alternatives is adequate for work in the Riverfront Area as depicted on referenced plan(s).

7/22/20



WPA Form 1- Request for Determination of Applicability

City/Town

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

155 RAYMOND RD

Street Address

MARLBOROUGH

City/Town

34

Assessors Map/Plat Number

61

Parcel/Lot Number

- b. Area Description (use additional paper, if necessary):

18 X 25 AREA BACK OF THE HOUSE AND
NEXT TO EXISTING PORCH ON PROPERTY LAWN.

- c. Plan and/or Map Reference(s):

Title

Date

Title

Date

Title

Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

BUILDING A DECK 18 X 25 ATTACHED
BACK OF THE HOUSE ON EXISTING
LAWN ON PROPERTY.



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

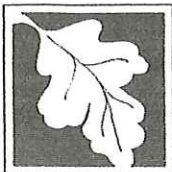
C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

City/Town _____

WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

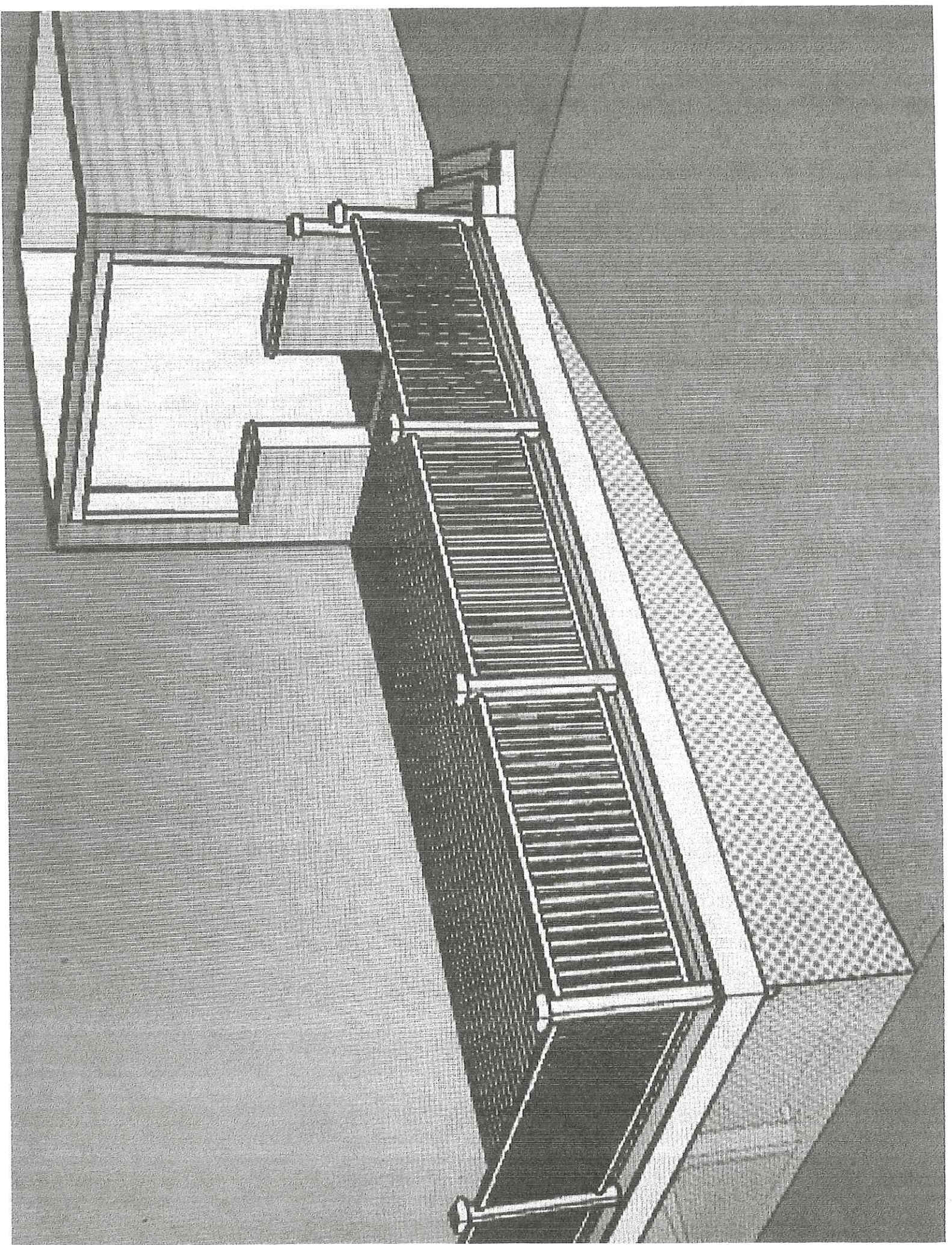
Name and address of the property owner:

Name GLAUCIA AFONSO
Mailing Address 155 RAYMOND RD
MARLBOROUGH
City/Town
State MA Zip Code 01752

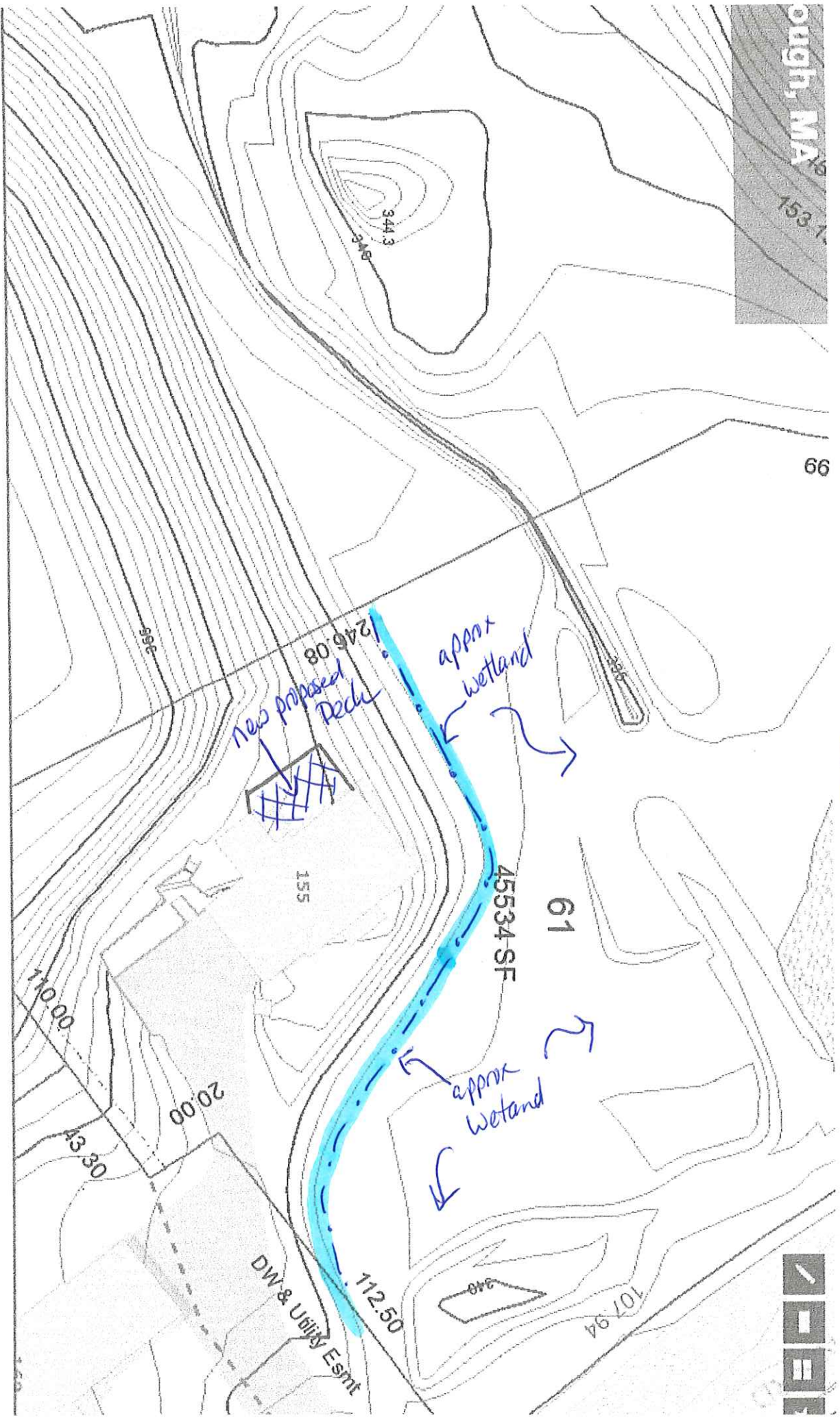
Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Signature of Applicant [Handwritten Signature] Date 8/5/20
Signature of Representative (if any) _____ Date _____



ough, MA
153



155
Raymond
Rd.
Proposed
Deck
8-7-2020

**(Note: Reference plans: Dated last revise 4-9-20)
Waiting for DEP # and any DEP comments)**

Findings of Fact:

The applicant has purchased this apartment complex and is working to upgrade the parking, public safety, landscaping and drainage to improve the current condition of this complex. They will add additional parking within the sloped area and will remove pavement within the 20' buffer zone and restore that area. Dumpsters will be relocated further away from the wetland and forebays have been added to the project to improve drainage. Adding infiltration systems and other major drainage improvements was not a feasible option given budget constraints. Catchbasins will be replaced with deep sump basins, and two forebays are proposed. The Commission determined that if the plans and these conditions are followed the wetland will be improved in the long run over existing conditions.

Special Conditions

21. Prior to the beginning of work, the applicant shall:

- a) Obtain approval of the City of Engineer for the design of all drainage structures and facilities.
- b) Properly install all siltation controls according to the plans approved by the Conservation Commission.
- c) Provide the Conservation Officer with the name and telephone number in writing, of the person who will be immediately responsible for supervision of all work on the project site and compliance with this Order of Conditions. The Conservation Officer shall be notified in the event that the site supervisor or contractor is changed.
- d) Clearly mark the limits of work in the field and instruct all workers not to work beyond the limits.
- e) Notify Conservation Officer of the date upon which work will commence.
- f) Hold a meeting on the project site with the Conservation Officer, the project site supervisor identified in Condition No. 19-C above, and other relevant parties identified by the applicant or the Conservation Commission to review the project and this Order of Conditions. Siltation controls shall be inspected at this time.
- g) Failure to comply with Condition Nos. 21A-F, as well as Nos. 8 &9, shall constitute sufficient grounds for the Conservation Commission to order all work to cease until compliance is achieved.

22. The Conservation Officer shall serve as the Commission's agent in all matters pertaining to the interpretation and enforcement of this Order of Conditions. Accepted engineering and construction standards shall be followed in the conduct of all work.

23. Issuance of this Order of Conditions does not in any way imply or certify that the site or downstream areas will not be subject to flooding, storm damage, or any other form of damage due to wetness.
24. All work shall conform to the Notice of Intent, all plans, and all other documents, records, correspondence and representations of the applicant as presented to and approved by Conservation Commission.
25. The applicant shall notify the Commission before performing the modified work. If the Commission deems the modification significant, the applicant shall submit an amended Notice of Intent with any necessary documentation and obtain an amended Order of Conditions. The Commission shall reopen the public hearing in accordance with the provisions of 310 CMR 10.05 (5). The Commission may impose additional or modified conditions to protect the interests of the Wetlands Protection Act.
26. No excavated material shall be disposed of in violation of any local, state, or federal laws. All stumps must be removed from the site; no burying of stumps on site is permitted.
27. Prior to the issuance of a Certificate of Compliance, the applicant shall submit to the Conservation Commission for review and approval an as-built plan and a letter of compliance stamped by a registered professional engineer. Said plan and letter shall show that all conditions of this Order have been complied with in a satisfactory manner.
28. The Conservation Commission shall be notified in writing at the time of any transfer in the title to the property or any change in contractor/developers prior to issuance of the Certificate of Compliance. The name, address, and telephone number of the new owner shall be included in the notification as well as certification that the new owner has been provided with a copy of this Order of Conditions.
29. Prior to the issuance of a Certificate of Compliance the site shall be stabilized with vegetation or other measures approved by the Conservation Commission.
30. Prior to the issuance of a Certificate of Compliance and after the site has been stabilized, all erosion controls shall be removed from the site.
31. If the project involves the disturbance of more than one acre of land area, the applicant is also obligated to submit a Notice of Intent to the EPA for the NPDES Construction Permit per EPA's requirements found at the following web site <http://cfpub1.epa.gov/npdes/stormwater/cgp.cfm>

SITE-SPECIFIC CONDITIONS**Erosion Control/Construction sequencing**

32. All catch basins shall be equipped with gas/oil hoods and 4-foot sumps.
33. Erosion controls shall be in place as shown on the plan prior to construction. In addition, some additional controls shall be placed between the new parking lot area and the existing parking lot (this is not currently shown on the plans) to prevent mud from entering the parking lot area during construction. All erosion controls must be kept in place until the site is stabilized. The inlet protectors shall also be placed in all catchbasins on site. Mud and dust shall always be controlled during construction. These will be inspected at the preconstruction meeting noted in condition #21 above.
34. The applicant, property owner, and site contractor shall be responsible for regular inspections of the erosion controls on at least a weekly basis and prior to and immediately after (within 12 hours) each storm event. Necessary repairs and maintenance of the erosion control devices shall be made expeditiously. These inspections shall be described in the reports required in the condition below.
35. The applicant/developer shall submit to the Conservation Commission a monthly written status report prepared by a registered professional engineer or environmental consultant competent in such evaluation, during construction summarizing the work that has been completed, compliance of the project with the Order of Conditions, and the status of the erosion controls.
36. The applicant, property owner, and site contractor shall be responsible for notifying the Conservation Commission in an expeditious manner if any visible siltation of wetlands occurs. Immediate measures shall be taken to control the siltation source and to restore any impacted areas.

Drainage forebays:

- 37. The drainage forebays once constructed should be stabilized with (grass??) as noted on the plans. so, they do not erode.**
- 38. The existing eroded channels that drain water from the undefined parking lot drainage shall be restored once the forebays are up and running. These areas shall be regraded and stabilized. Any visible sediment accumulated in and near the wetland over the years in this area shall also be removed, to allow for better flows and to remove this fill. At the preconstruction meeting this will be reviewed and the area to be restored identified.**
- 39. Snow removal. As this site is so tight with parking spaces there is no designated area for snow storage. Therefore, all snow shall be removed from the site. This shall be an ongoing condition. [check O&M plan, is this included]**

40. Signs shall be installed at the lower driveway along the guardrail near sedimentation forebay #2. The signs shall note: "No snow dumping over guardrail"

Restoration of 20' buffer zone:

41. A planting plan for the area off property where the pavement and the dumpsters are to be removed between the two forebays must be provided to the conservation officer prior to the start of work. This area is the 20' buffer zone to the wetland and needs to be restored to a more natural area. An example of the plants that can be included are trees - red maple, green ash, white oak and native shrubs high bush blueberry; sweet pepper bush; red osier dogwood to recreate a natural buffer.
(Note- this is property not owned by the owner...)

Certificate of Compliance

42. Prior to requesting a Certificate of Compliance, the applicant or its agent shall clean all drainage pipes and catch basins of accumulated sediment and debris and the new sediment forebays.

43. Prior to the issuance of a Certificate of Compliance, the Operation and maintenance Plan submitted with the Drainage Report in Appendix A, shall be reviewed and updated if needed. This two-page form shall be made an ongoing condition of the Certificate of Compliance and recorded with this document.

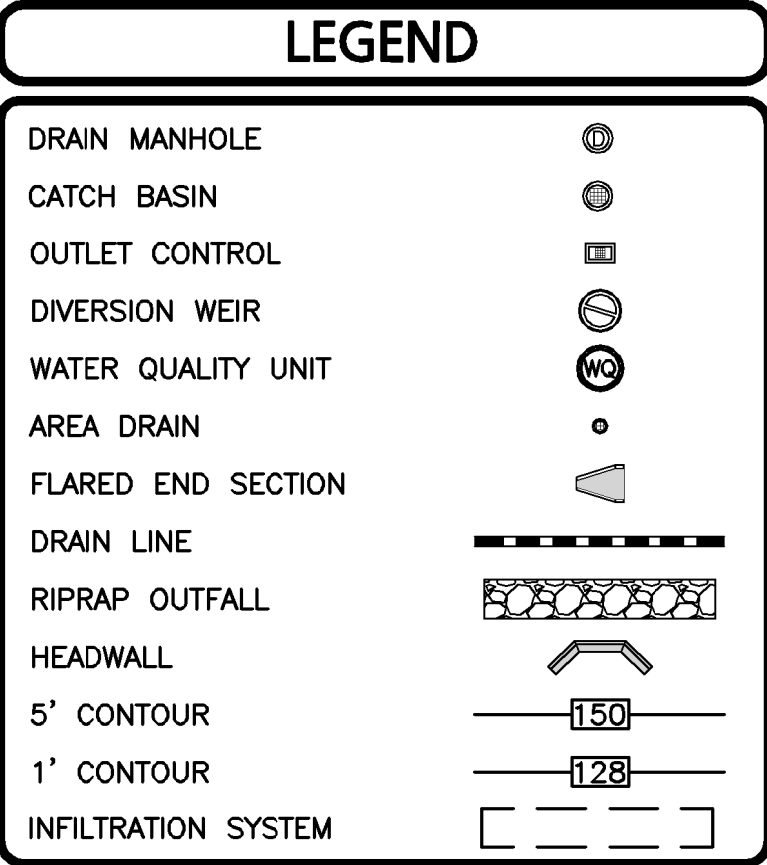
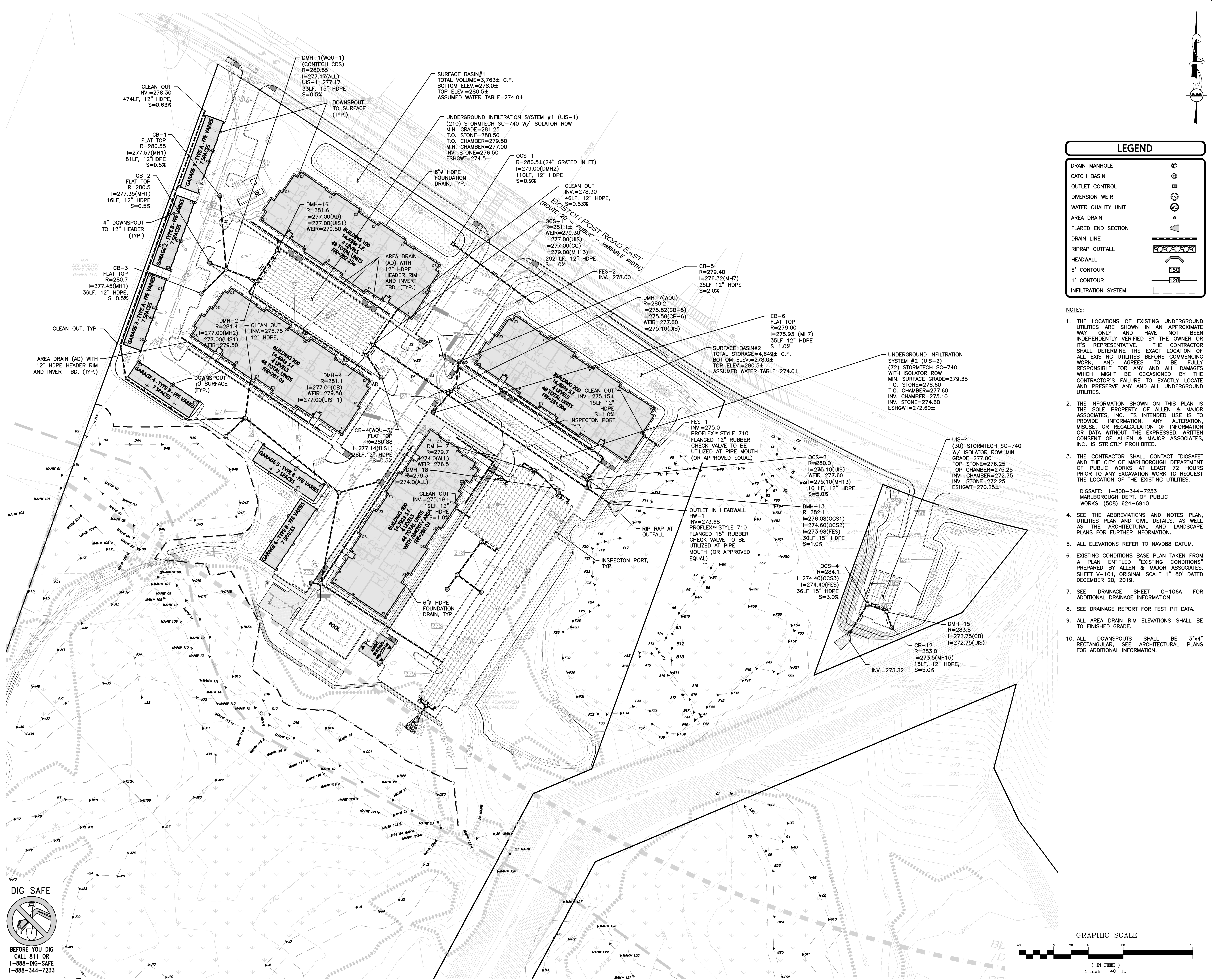
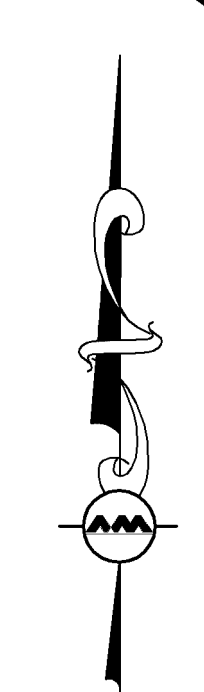
44. An annual maintenance report shall be provided to the City Engineer and the Conservation Commission by June 1st of each year reporting on the maintenance and operation procedures, outlined in Condition #?? above, which have been met for that year. This reporting requirement will follow the issuance of a Certificate of Compliance.

45. Prior to the issuance of a Certificate of Compliance permanent boundary markers shall be installed to mark the 20-foot no disturbance buffer zone. The permanent markers shall be some type of permanent markers in the ground approved by the Conservation Officer. These shall be shown on the as-built plan and clearly marked on the plan with a note indicating no work shall be performed beyond this point without permission from the Conservation Commission. A copy of the as-built plan showing this 20-foot buffer zone marking locations and the trail location shall be provided with the written request for a Certificate of Compliance. It shall be attached to and made part of the Certificate of Compliance and shall be recorded. Over the years the wetland boundary line may move, however, these permanent markers shall provide a guideline to future homeowners as to the limit of work.

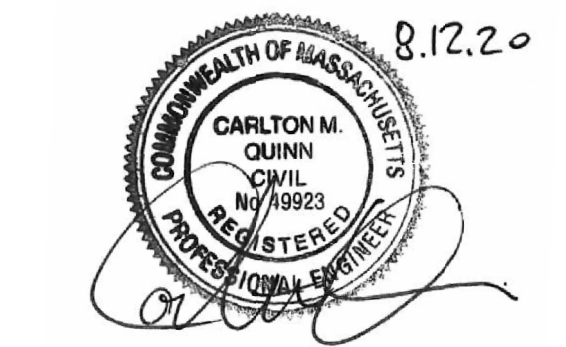
(Note this is property that is off site from 447 BPR... how do we deal with this???)

46. Anything else....

END CONDITIONS



- NOTES:
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 2. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 3. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
DIGSAFE: 1-800-344-7233
MARLBOROUGH DEPT. OF PUBLIC WORKS: (508) 624-6910
 4. SEE THE ABBREVIATIONS AND NOTES PLAN, UTILITIES PLAN AND CIVIL DETAILS, AS WELL AS THE ARCHITECTURAL AND LANDSCAPE PLANS FOR FURTHER INFORMATION.
 5. ALL ELEVATIONS REFER TO NAVD88 DATUM.
 6. EXISTING CONDITIONS BASE PLAN TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS" PREPARED BY ALLEN & MAJOR ASSOCIATES, SHEET V-101, ORIGINAL SCALE 1"=80' DATED DECEMBER 20, 2019.
 7. SEE DRAINAGE SHEET C-106A FOR ADDITIONAL DRAINAGE INFORMATION.
 8. SEE DRAINAGE REPORT FOR TEST PIT DATA.
 9. ALL AREA DRAIN RIM ELEVATIONS SHALL BE TO FINISHED GRADE.
 10. ALL DOWNSPOUTS SHALL BE 3"x4" RECTANGULAR, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
7	08-12-20	REVISED PER CITY COMMENTS
6	07-08-20	REVISED PER CITY COMMENTS
5	05-18-20	REVISED PER CITY COMMENTS
4	02-20-20	VARIOUS REVISIONS
3	02-03-20	VARIOUS REVISIONS
2	01-31-20	RESUBMITTED FOR LOCAL APPROVAL
1	12-20-19	ISSUED FOR LOCAL APPROVAL

APPLICANT/OWNER:
 WP MARLBOROUGH MA OWNER, LLC
 9 WEST BROAD STREET, SUITE 800
 STAMFORD, CT 06902

PROJECT:
 MULTI-FAMILY DEVELOPMENT
 339 BOSTON POST ROAD EAST
 MARLBOROUGH, MA

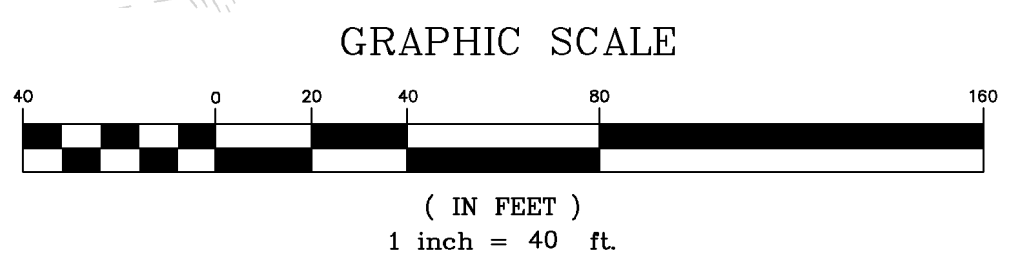
PROJECT NO. 265801 DATE: 12-20-2019
 SCALE: 1" = 40' DWG. NAME: C-265801
 DESIGNED BY: SJL/DMR CHECKED BY: CMQ



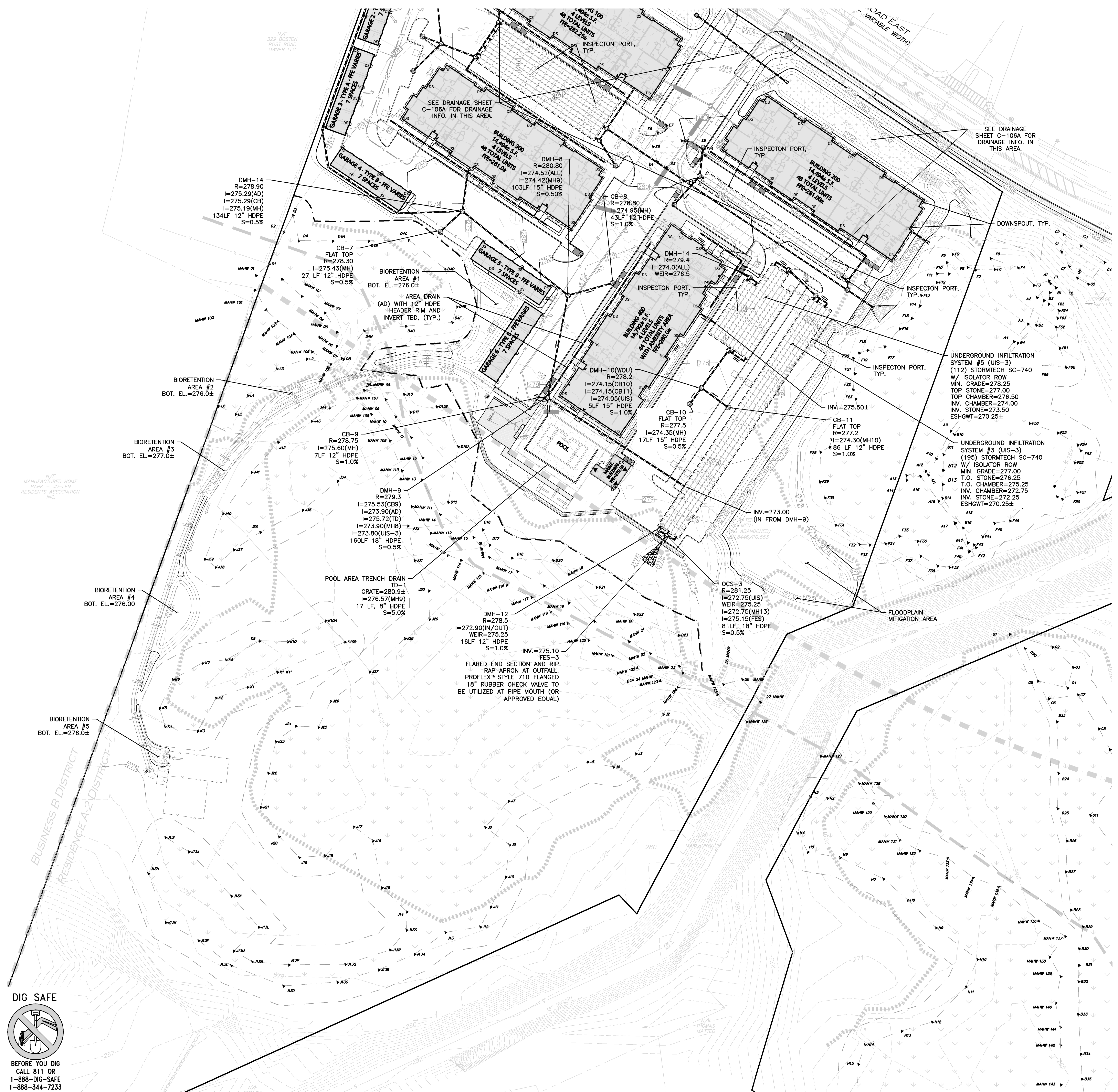
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DRAWING TITLE: DRAINAGE PLAN SHEET No. C-106A

DIG SAFE
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 CALL 811 OR
 1-888-DIG-SAFE
 1-888-344-7233



N:\PROJECTS\2658-01\CIVIL\DRAWINGS\CURRENT\SITE PLANS\C-2658-01_DRAINAGE.DWG



LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- OUTLET CONTROL
- DIVERSION WEIR
- WATER QUALITY UNIT
- AREA DRAIN
- FLARED END SECTION
- DRAIN LINE
- RIPRAP OUTFALL
- HEADWALL
- 5' CONTOUR
- 1' CONTOUR
- INFILTRATION SYSTEM

- NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 - THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.

DIGSAFE: 1-800-344-7233
MARLBOROUGH DEPT. OF PUBLIC WORKS: (508) 624-6910
 - SEE THE ABBREVIATIONS AND NOTES PLAN, UTILITIES PLAN AND CIVIL DETAILS, AS WELL AS THE ARCHITECTURAL AND LANDSCAPE PLANS FOR FURTHER INFORMATION.
 - ALL ELEVATIONS REFER TO NAVD83 DATUM.
 - EXISTING CONDITIONS BASE PLAN TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS" PREPARED BY ALLEN & MAJOR ASSOCIATES, SHEET V-101, ORIGINAL SCALE 1"=80' DATED DECEMBER 20, 2019.
 - SEE DRAINAGE SHEET C-106A FOR ADDITIONAL DRAINAGE INFORMATION.
 - SEE DRAINAGE REPORT FOR TEST PIT DATA.
 - ALL AREA DRAIN RIM ELEVATIONS SHALL BE TO FINISHED GRADE.
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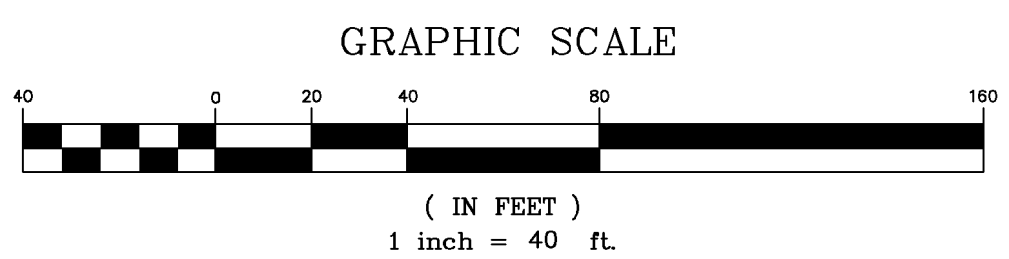
APPLICANT/OWNER:
 WP MARLBOROUGH MA OWNER, LLC
 9 WEST BROAD STREET, SUITE 800
 STAMFORD, CT 06902

PROJECT:
 MULTI-FAMILY DEVELOPMENT
 339 BOSTON POST ROAD EAST
 MARLBOROUGH, MA

PROJECT NO. 2658-01 DATE: 12-20-2019
 SCALE: 1" = 40' DWG. NAME: C-2658-01
 DESIGNED BY: SJL/DMR CHECKED BY: CMQ

ALLEN & MAJOR ASSOCIATES, INC.
 civil & structural engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com
 100 COMMERCE WAY, SUITE 5
 WOBURN, MA 01801
 TEL: (781) 935-0889
 FAX: (781) 935-2856

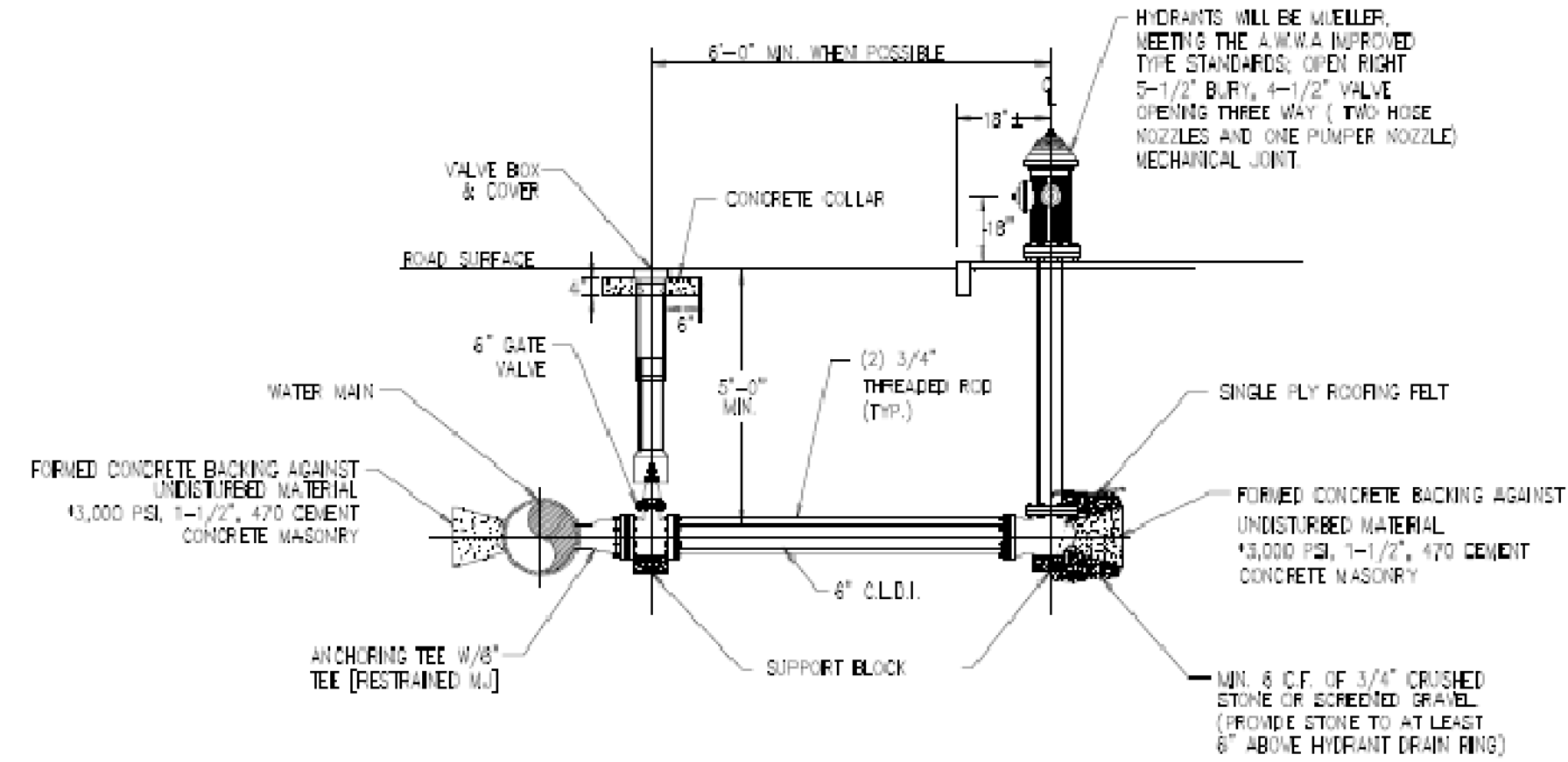
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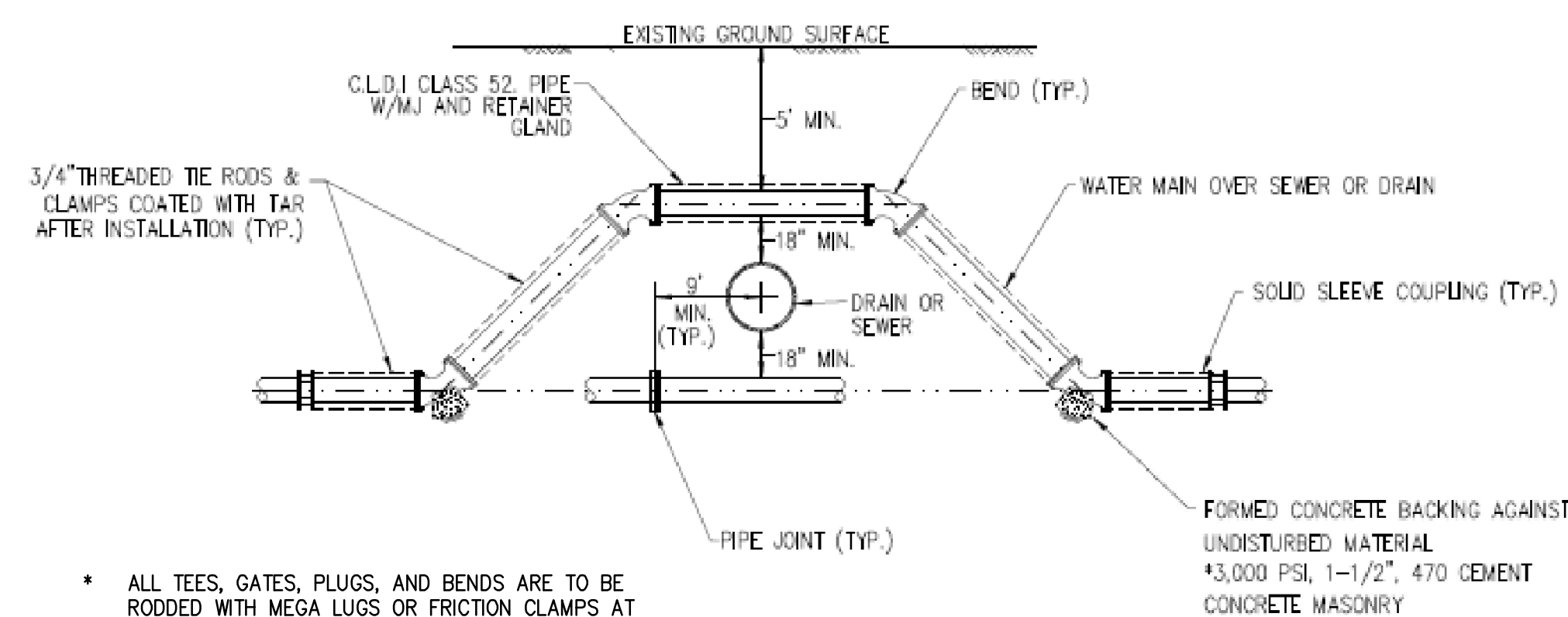
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 1-888-344-7233



PROVIDE HYDRANT AND VALVE JOINTS WITH MECHANICAL JOINTS (MEGALUG OR APPROVED EQUAL) SUPPORT BLOCKS TO BE PRESSURE TREATED WOOD OR CONCRETE MASONRY ALL VALVES OPEN RIGHT

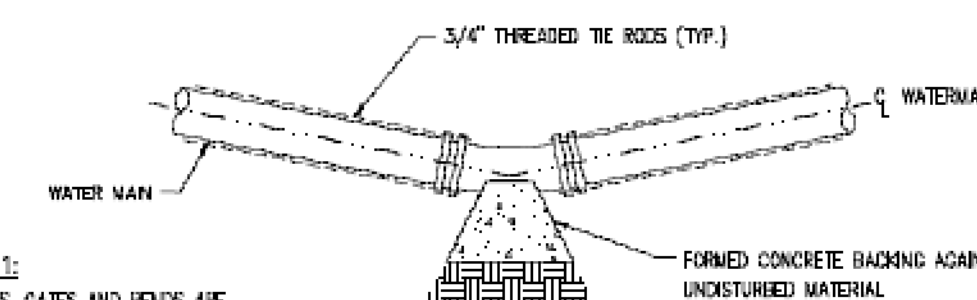
- NOTES:
1. DETAILS PROVIDED BY CITY OF MARLBOROUGH.
2. DETAILS SHALL CONFORM TO CITY STANDARDS.



- NOTES:
1. ALL TEES, GATES, PLUGS, AND BENDS ARE TO BE RODDED WITH MEGA LUGS OR FRICTION CLAMPS AT BELL JOINTS
2. BENDS TO BE UTILIZED ONLY WHEN DEFLECTION CANNOT ACHIEVE REQUIRED DEPTH

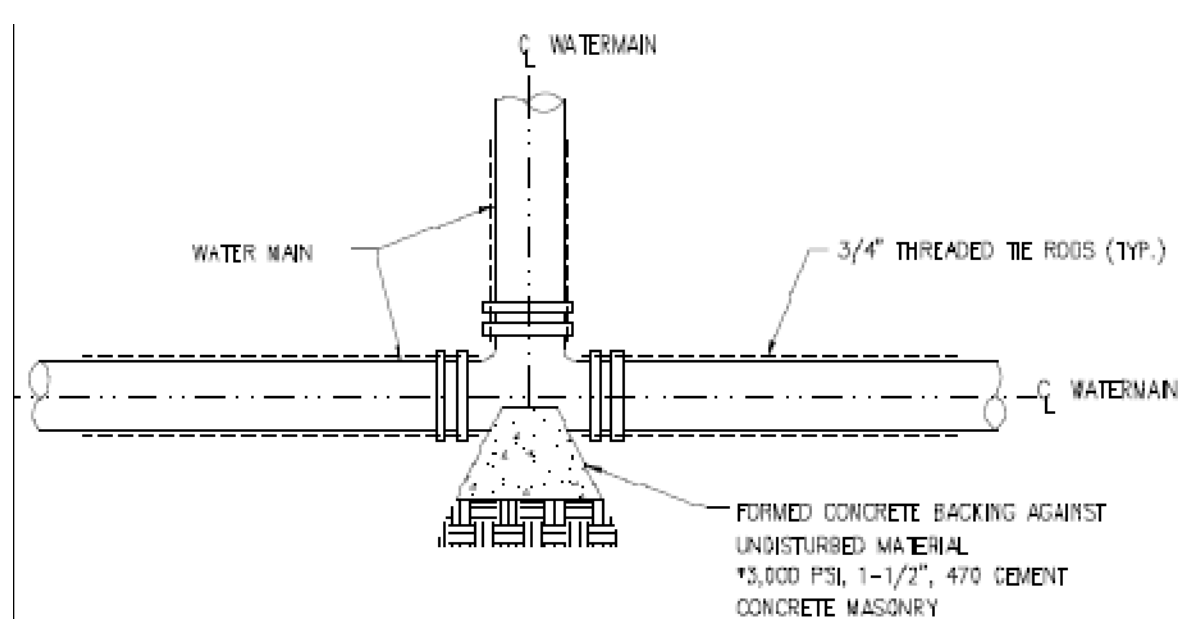
- NOTES:
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TABLE OF BEARING AREAS IN SQUARE FEET AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS			
SIZE OF MAIN (IN.)	45° BEND (SQ. FT.)	TEES & PLUGS	22 1/2° BEND
8" & LESS	8	10	8
10" - 12"	22	16	13



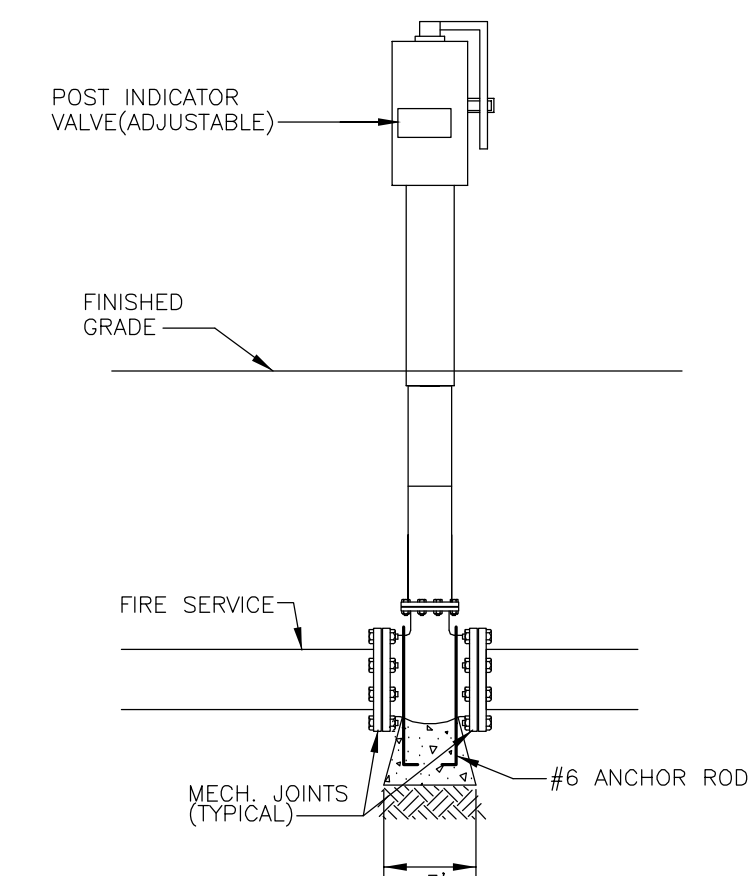
- NOTE 1:
ALL TEES, GATES AND BENDS ARE TO BE RODDED W/ MEGA LUGS OR FRICTION CLAMPS AT BELL JOINTS
- NOTES:
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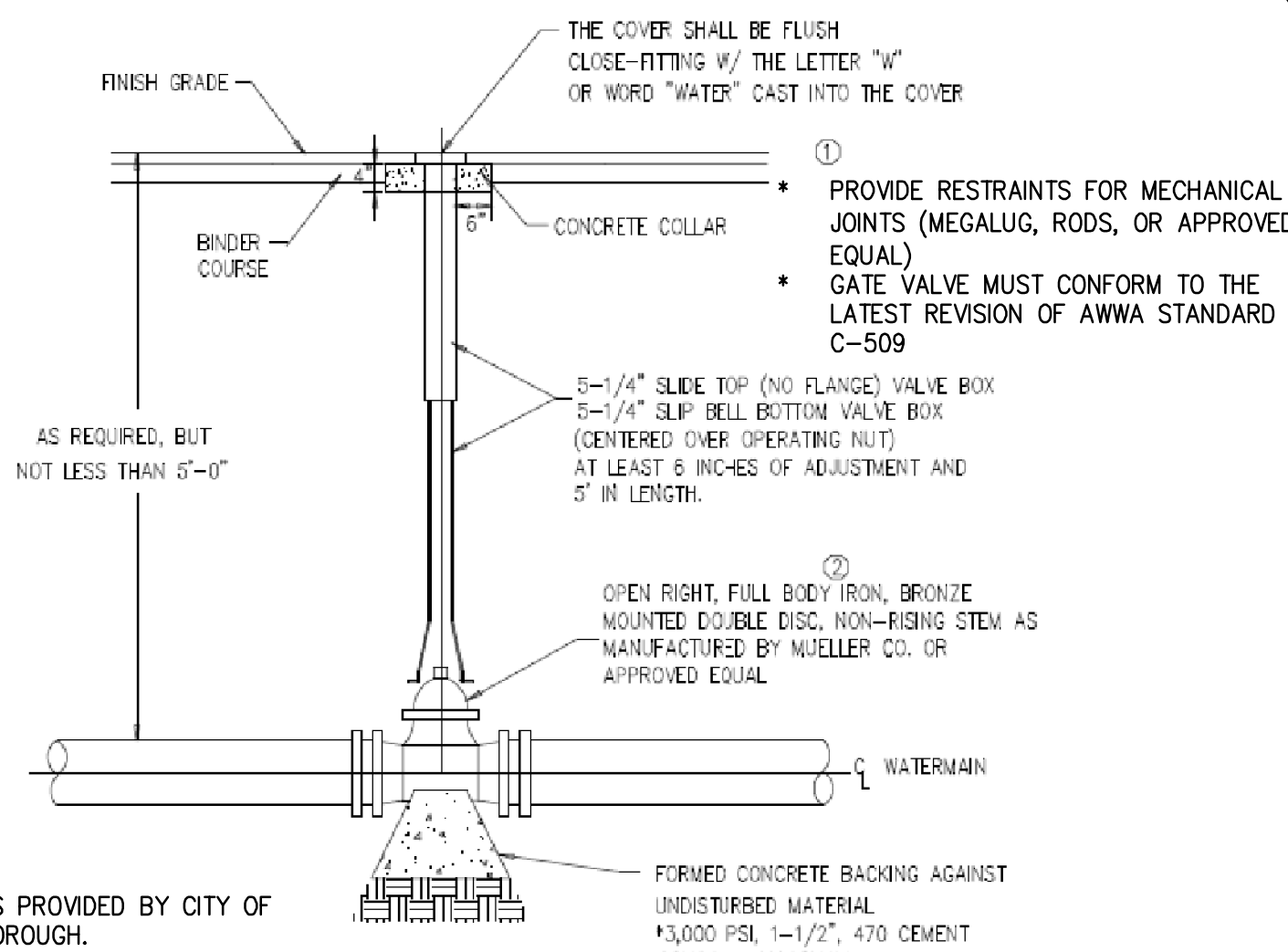


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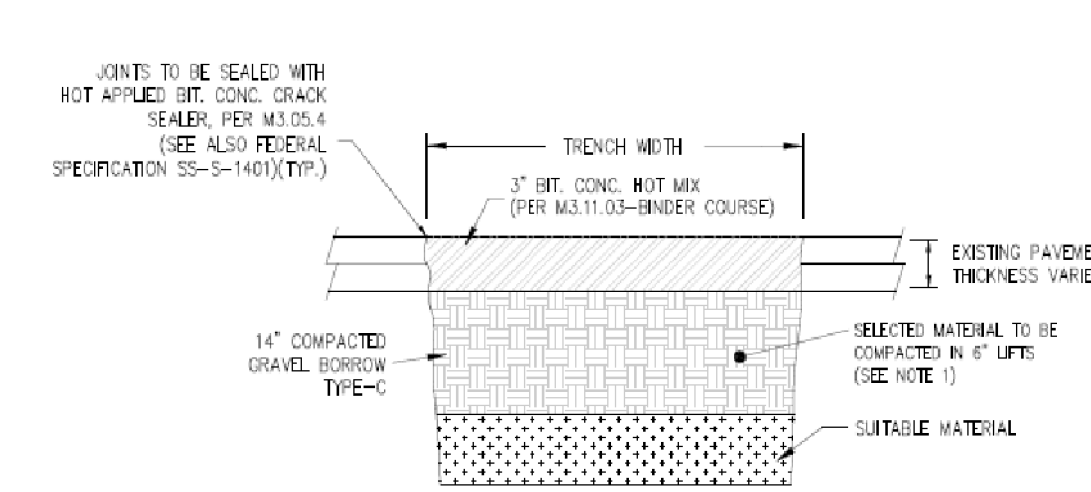


- NOTES:
1. POST INDICATOR VALVE SHALL BE ALARMED.

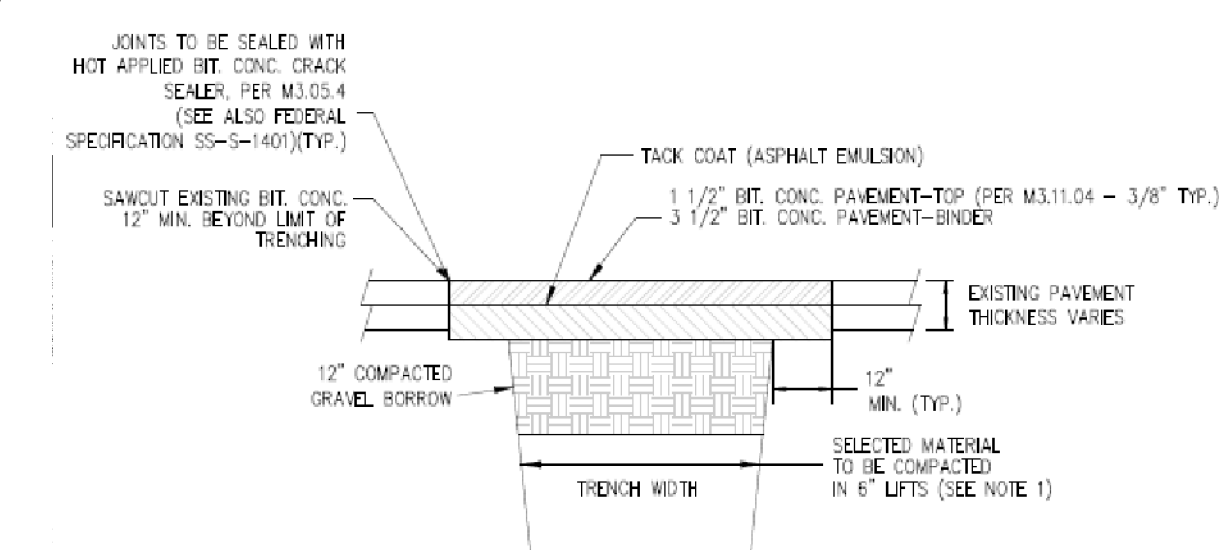


- NOTES:
1. DETAILS PROVIDED BY CITY OF MARLBOROUGH.
2. DETAILS SHALL CONFORM TO CITY STANDARDS.

HYDRANT SETTING WITH VALVE
NOT TO SCALE

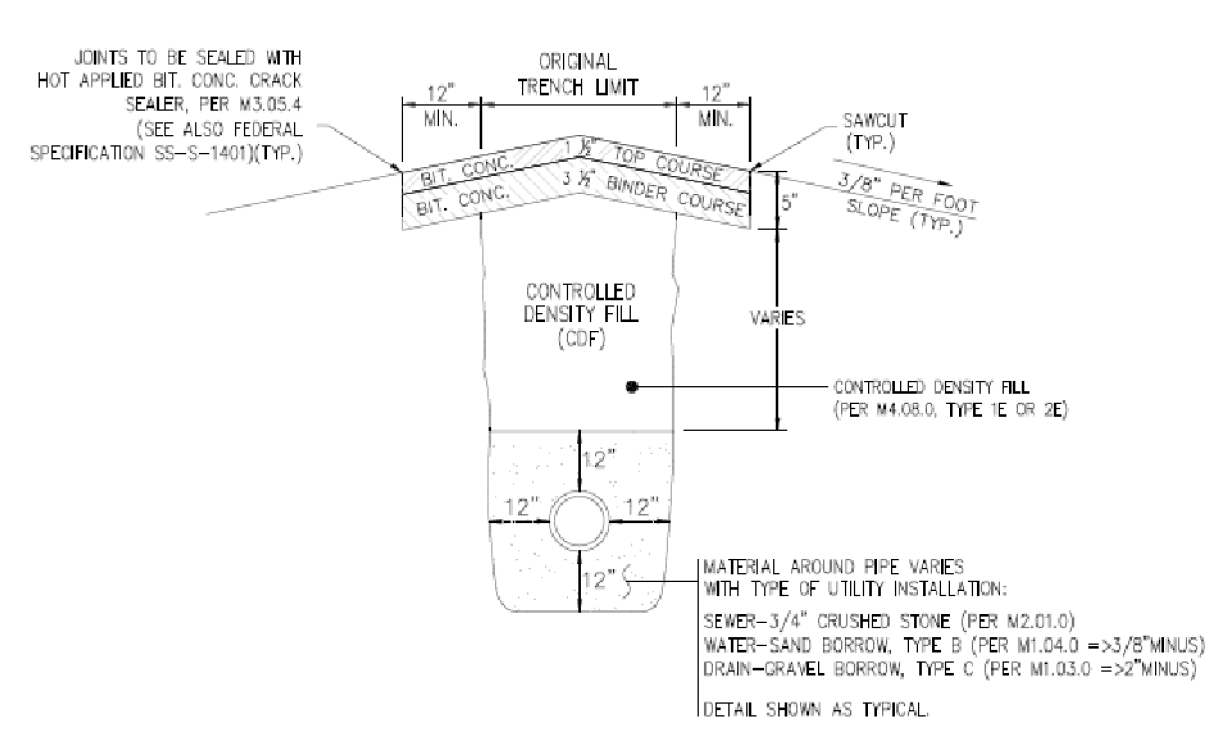


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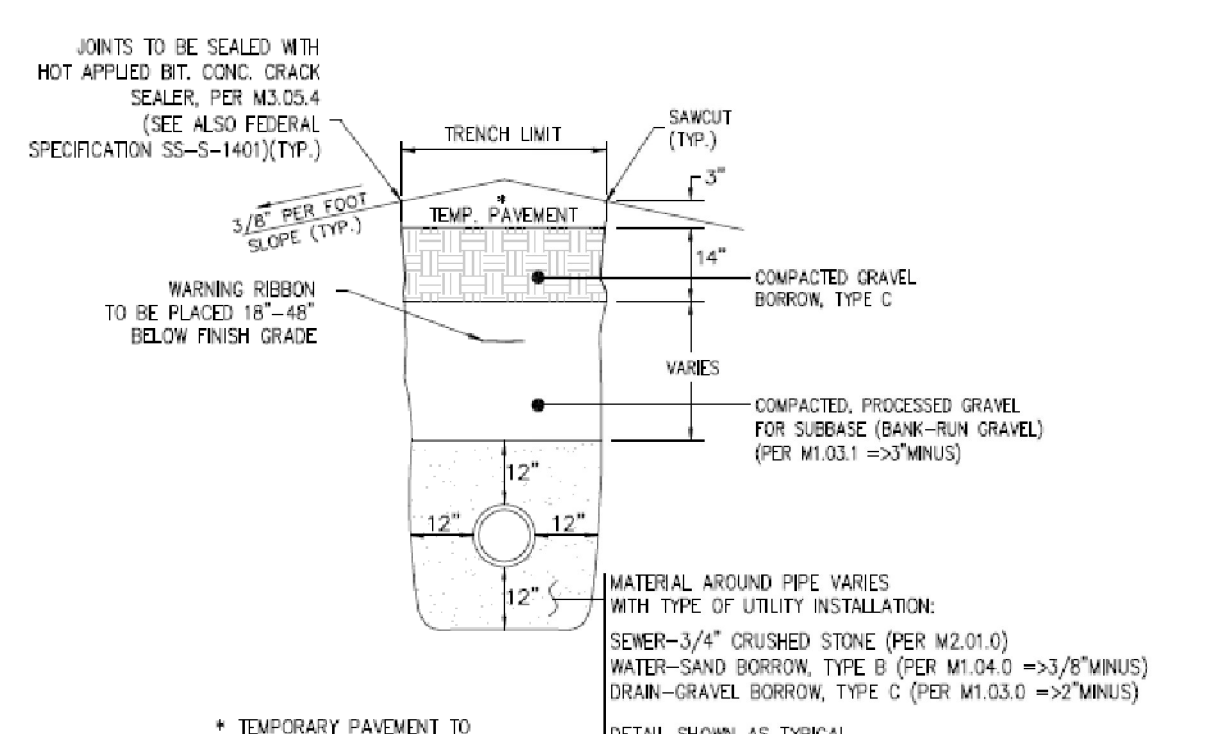


COMPACTION EQUIPMENT SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS TO OBTAIN THE COMPACTION STANDARDS DESCRIBED IN THE CONSTRUCTION NOTES UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. IN PROXIMITY TO STRUCTURES, A JUMPING JACK COMPACTOR SHALL BE REQUIRED.

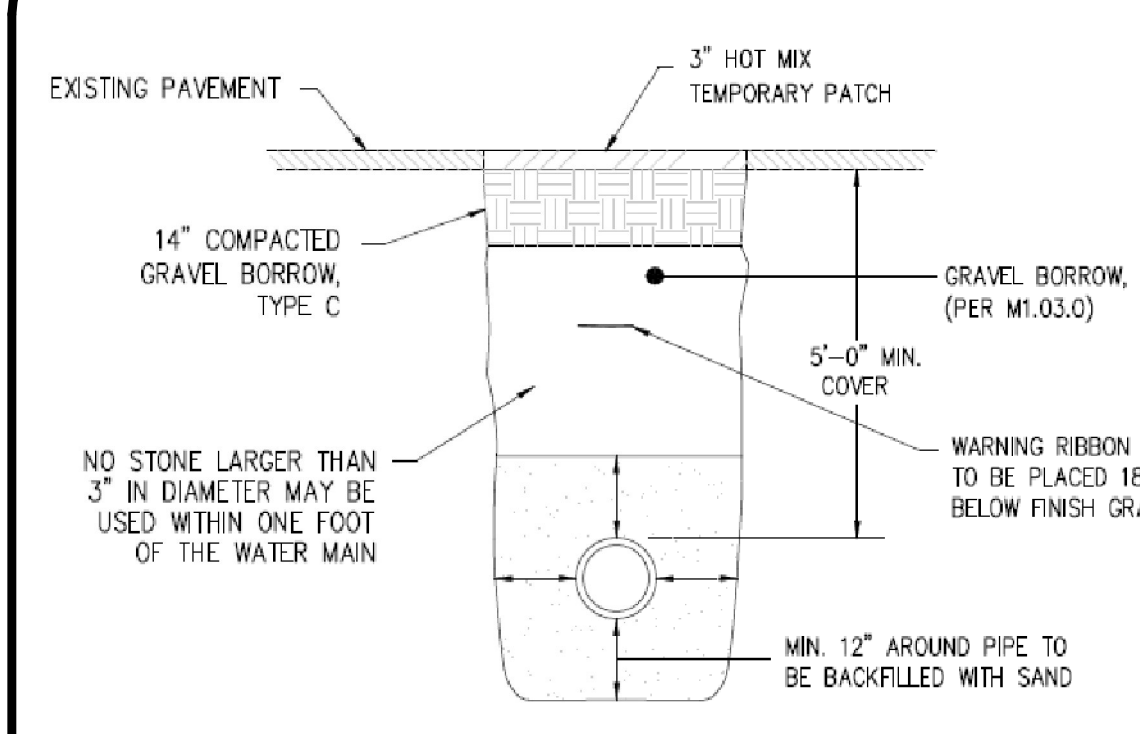
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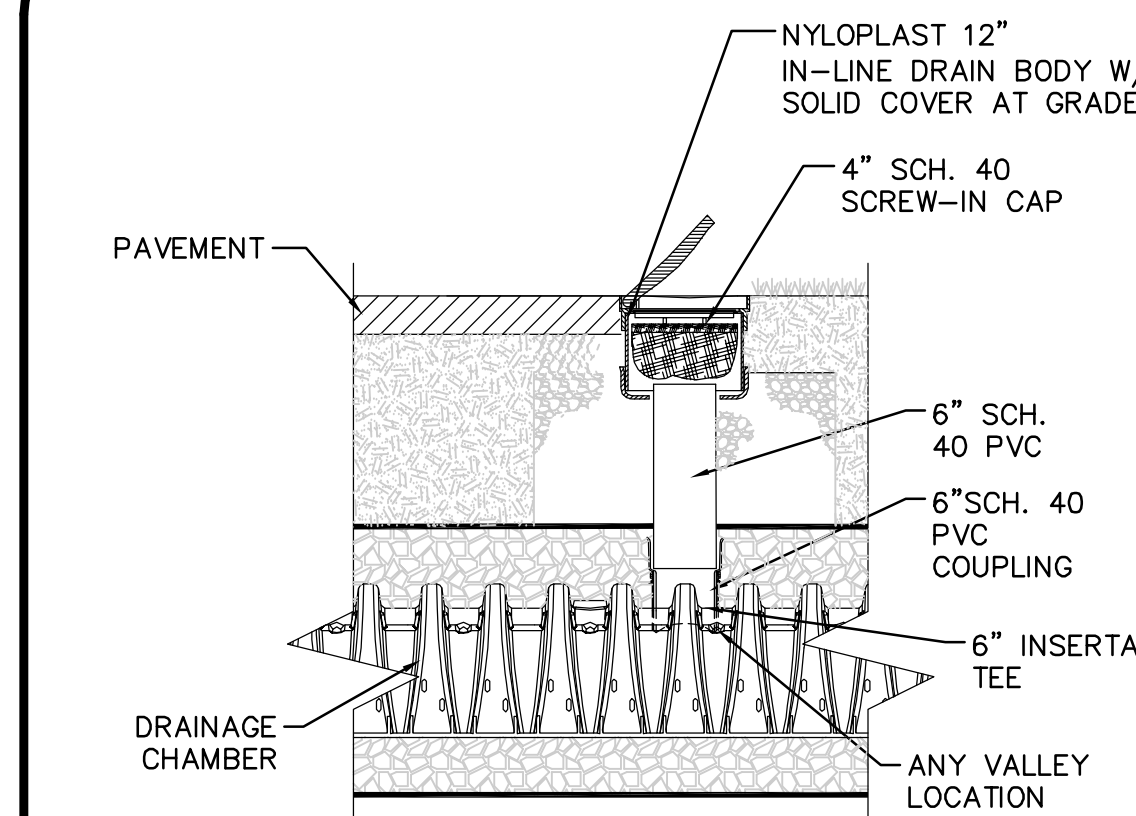


- NOTES:
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2. DETAILS SHALL CONFORM TO CITY STANDARDS.



TEMPORARY PAVEMENT TO REMAIN IN PLACE FOR A MINIMUM OF 65 DAYS, TO BE COMPLETELY REMOVED DURING FINAL PAVING.

- NOTES:
1. DETAILS PROVIDED BY CITY OF MARLBOROUGH.
2. DETAILS SHALL CONFORM TO CITY STANDARDS.



- NOTES:
1. INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION VALLEY
2. ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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339 BOSTON POST ROAD EAST
MARLBOROUGH, MA

PROJECT NO. 2658-01 DATE: 12-20-2019

SCALE: AS SHOWN DWG. NAME: C2658-01

DESIGNED BY: SJL/DMR CHECKED BY: CMQ

PREPARED BY:
ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • landscape surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOUBURN, MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: CIVIL DETAILS SHEET NO. C-505

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To COMMISSION: Highlighted sections are either items to discuss and verify, or questions asked, or pointing out special conditions unique to this project.

Findings of Fact

The project involves the construction of 188 units in 4 multi-story buildings with associated parking lots, pool, free standing garages, a dog park, and a walking path. This project involves work in the following wetland resource areas:

- Bordering Land Subject to flooding alteration 10,105 sq. ft. with 34,272 s.f. of replacement
- Broadmeadow brook Riverfront area 54,886 s.f. proposed alteration of 585,335 s.f. which is 9.4 % of this total RA, which therefore meets the regulations.
- Land Subject to flooding- A total of 150,936 cu.ft. of floodplain is to be filled with a 166,947 cu.ft. of flood storage to be replicated.
- Bordering Vegetated wetland - no alteration proposed
- Land Under Water – no alteration proposed
- Bank - no alteration proposed
- Isolated Land Subject To flooding – no alteration proposed in WPA jurisdictional ILSF, however a small area of non-jurisdictional ILSF is to be filled and replicated as noted in the NOI to meet 401 WQC requirements.
- A Riverfront alternatives analysis was provided, and a wildlife habitat evaluation was provided as well, which were reviewed, and the Commission agreed that this analysis and evaluation were acceptable (do we want to add anything to this?).

This project changed it's names several times, so some of the hearings and minutes reflect these alternative names: McGee Farm/Heritage Farm LLC; WP Marlborough MA owners; Volaris; and most currently Walcott Heritage Farms

Based on the Commission's review of this project, the documents and plans provided, and the site visits held, the Commission approved the project with the following conditions. These conditions when followed should serve to protect the adjacent wetland system and water quality.

SPECIAL CONDITIONS

21. Prior to the beginning of work, the applicant shall:

- a) Obtain approval of the City of Engineer for the design of all drainage structures and facilities.
- b) Properly install all siltation controls according to the plans approved by the Conservation Commission.
- c) Provide the Conservation Officer with the name and telephone number in writing, of the person who will be immediately responsible for supervision of all work on the project site and compliance with this Order of Conditions. The Conservation Officer shall be notified in the event that the site supervisor or contractor is changed.

- d) Clearly mark the limits of work in the field and instruct all workers not to work beyond the limits.
 - e) Notify Conservation Officer of the date upon which work will commence.
 - f) Hold a meeting on the project site with the Conservation Officer, the project site supervisor identified in Condition No. 21-c above, and other relevant parties identified by the applicant or the Conservation Commission to review the project and this Order of Conditions. Siltation controls shall be inspected at this time.
 - g) Failure to comply with Condition Nos. 21a-f, as well as Nos. 8 &9, shall constitute sufficient grounds for the Conservation Commission to order all work to cease until compliance is achieved.
22. The Conservation Officer shall serve as the Commission's agent in all matters pertaining to the interpretation and enforcement of this Order of Conditions. Accepted engineering and construction standards shall be followed in the conduct of all work.
23. Issuance of this Order of Conditions does not in any way imply or certify that the site or downstream areas will not be subject to flooding, storm damage, or any other form of damage due to wetness.
24. All work shall conform to the Notice of Intent, all plans, and all other documents, records, correspondence and representations of the applicant as presented to and approved by Conservation Commission.
25. The applicant shall notify the Commission before performing the modified work. If the Commission deems the modification significant, the applicant shall submit an amended Notice of Intent with any necessary documentation and obtain an amended Order of Conditions. The Commission shall reopen the public hearing in accordance with the provisions of 310 CMR 10.05 (5). The Commission may impose additional or modified conditions to protect the interests of the Wetlands Protection Act.
26. No excavated material shall be disposed of in violation of any local, state, or federal laws. All stumps must be removed from the site; no burying of stumps on site is permitted.
27. Prior to the issuance of a Certificate of Compliance, the applicant shall submit to the Conservation Commission for review and approval an as-built plan and a letter of compliance stamped by a registered professional engineer. Said plan and letter shall show that all conditions of this Order have been complied with in a satisfactory manner.
28. The Conservation Commission shall be notified in writing at the time of any transfer in the title to the property or any change in contractor/developers prior to issuance of the Certificate of Compliance. The name, address, and telephone number of the new owner shall be included in the notification as well as certification that the new owner has been provided with a copy of this Order of Conditions.

29. Prior to the issuance of a Certificate of Compliance the site shall be stabilized with vegetation or other measures approved by the Conservation Commission.
30. Prior to the issuance of a Certificate of Compliance and after the site has been stabilized, all erosion controls shall be removed from the site.
31. As the project involves the disturbance of more than one acre of land area, the applicant is also obligated to submit a Notice of Intent to the EPA for the NPDES Construction Permit per EPA's requirements found at the following web site
<https://www.epa.gov/npdes/stormwater-discharges-construction-activities>

SITE-SPECIFIC CONDITIONS

Erosion Control/Construction sequencing

Prior to construction:

32. This project requires the filing of a 401 Water Quality Certification from DEP. Prior to construction please provide a copy of this permit to the Commission as confirmation that this condition has been met.
33. Prior to any construction work, the Site Contractor and the Erosion Control Expert (see condition # 34 below) shall come to a regularly scheduled Conservation Commission meeting to discuss the construction sequencing and phasing plan and the means and methods to be used to accomplish the approved plan and the conditions as listed below. The site contractor and erosion control expert shall, at a minimum discuss the following:
 - a. Construction sequencing
 - b. Erosion control methods and use of temporary sedimentation basins
 - c. The use of additional erosion control devices, settling tanks, pumps, soil stabilization methods,
 - d. The stormwater controls to be used during the fill operation needs to be clearly spelled out.
 - e. The use of temporary swales and management of detention basins during construction to ensure that condition # 41 below is achieved.
 - f. Dewatering system to be used must be discussed.
34. The developer is required to hire an "Erosion Control Expert" to oversee the site work on the site. This individual(s) shall have a proven record of controlling sites of equal size and equal material type. The Conservation Officer and the City Engineer shall evaluate whether the individual(s) to be hired has adequate experience before they are hired to work on this project. This erosion control expert shall be hired prior to construction and shall be an integral part of the preconstruction meeting noted in condition #21. f. above and the meeting with the commission noted in condition #33.

Erosion Control/Construction sequencing

35. Stone construction entrance pads and/or a truck washing station shall be in place at the exits onto the main roadways to prevent the tracking of mud and silt into the public roadway. Dust shall also be controlled on this site at all times. If dirt is tracked onto the roadway it shall be cleaned up immediately. A street sweeper shall be readily available.

36. The Erosion Control Expert shall be consulted when there is any discussion about or deviation to the overall plan and the erosion control plan to ensure that there is always proper coordination with the site development and the erosion control and stormwater management.
37. Said erosion control expert shall be responsible for regular inspections of the erosion controls on at least a weekly basis and prior to and immediately after (within 12 hours) each storm event of 0.5 inches or more. Necessary repairs and maintenance of the erosion control devices shall be made expeditiously. These inspections shall be described in the reports required in the condition below.
38. Said erosion control expert will report (by e-mail) to the Commission and City Engineer weekly, during construction, summarizing the work that has been completed, compliance of the project with the Order of Conditions and the status of the erosion controls. It will also include his/her recommendations on actions needed and report compliance with recommendations. Failure on the part of the developer to implement the recommendations made by the Erosion Control Expert will be a violation of the terms and conditions of the permits issued for the project. These weekly reports from the consultants shall begin as soon as the work begins on the site. As construction progresses the reporting may be reduced at the discretion of the City Engineer and Conservation Officer.
39. The applicant, property owner, and site contractor shall be responsible for notifying the Conservation Commission in an expeditious manner if any visible siltation of wetlands occurs. Immediate measures shall be taken to control the siltation source and to restore any impacted areas.
40. Because the site drains to the Sudbury Reservoir, a backup water supply to the MWRA, the Commission requires that the turbidity levels in the receiving stream measured at the downstream side of the discharge within the stream be taken during each site inspection required under condition #37 above and at the request of the Conservation Commission. The turbidity levels shall be obtained in accordance with guidelines contained in "DEVELOPMENT DOCUMENT FOR FINAL EFFLUENT GUIDELINES AND STANDARDS FOR THE CONSTRUCTION AND DEVELOPMENT CATEGORY- November 2009" prepared by the US EPA. The Daily maximum Turbidity shall not exceed 280 NTU's as calculated in accordance with said 2009 EPA guidelines.
41. Large piles of soil and other materials shall not be stockpiled closer than 50 feet to any wetland resource area without the approval of the Conservation Officer. All large stockpiles must be maintained in a stabilized condition with erosion control in place and approved by the Conservation Officer. Earth material stockpiles shall not be allowed immediately adjacent to perimeter siltation barriers or drain inlets. Long term stockpiles over 30 days will be shaped, stabilized and circled with erosion controls. The Erosion Control Expert shall be consulted to ensure that the stockpile locations are not interfering with drainage or erosion control during construction. The Commission understands that the site will shift and change during construction, but the erosion control expert must be on board with all such changes before they are made to ensure proper coordination.

42. The dewatering system to be used shall be approved by the Conservation Officer and once approved, properly installed. All silty water must be filtered through a dewatering/sedimentation trap system, until such time as the water runs clean. At no point shall silty water be discharged into wetlands or streams or off-site drainage systems without first being filtered.

Detention Basins/Infiltration Systems/ bioretention areas

43. Prior to construction of the detention/bioretention basins, confirmatory test pits shall be conducted in the presence of the Conservation Officer and City Engineer prior to construction, so that groundwater elevations and/or the extent of ledge can be confirmed and adjustments to basin dimensions can be designed if necessary.
44. Prior to the construction of the infiltration systems, the Conservation Officer shall be notified and shall inspect the excavated area for the infiltration system. The site engineer shall confirm that the soils are per design. Prior to backfilling the system, the Conservation Officer shall inspect the system with the site engineer to ensure that it is clean and not able to receive any silty run off which would clog the system once in place. Once installed, only clean stormwater runoff shall be directed to this system.
45. The infiltrator system shall contain at least one inspection port per row as shown on the drainage plans.
46. The permanent and temporary detention basins shall be fitted with riser pipes as needed, during construction, to help ensure adequate on site settling of the silty runoff. Additional basins or other erosion control/filtering devices may be necessary as conditions warrant to ensure that only clean water leaves the site.
47. During construction the bottom of the bioretention basins shall be protected with filter fabric or other similar means, which will be removed when all the work is done and site is stable, or in the alternative, shall be scraped out after the site is stable to ensure that the bottom of the basin still has the capacity to infiltrate as designed.
48. All catch basins shall be equipped with gas/oil hoods and 4-foot sumps.

Floodplain and Riverfront area restoration plan:

49. As shown in the Appendix of the Drainage Report revised through May 18, 2020, entitled "Floodplain Volume Exhibits East and West", the floodplain fill and floodplain restoration are shown. Each elevation of fill has it's equal or greater corresponding location of replication. A total of 150,936 cu.ft. of floodplain is to be filled with a 166,947 cu.ft. of flood storage to be replicated, resulting in a net increase of 16,011 cu. ft. of compensatory flood storage on-site. These restored areas will be seeded with a meadow mix as outlined in the plan titled: Meadow Planting Plan and isolated vegetated wetland replication plan July 23, 2020.

50. The long-term management of these meadow areas is outlined in the plan noted above and will be an ongoing condition and attached to the Certificate of Compliance as required in condition # ____ below.
51. Riverfront area:
Broadmeadow brook Riverfront area 54,886 s.f. proposed alteration of 585,335 s.f. which is 9.4% of this total RA, which therefore meets the regulations.
a. What % of RFA is considered degraded ---- add here
52. The Commission has agreed that the floodplain restoration area, the isolated non-jurisdictional wetland areas and the remaining pastures not to be developed will be managed as meadows. This plan is outlined in the plan titled: Meadow Planting Plan and isolated vegetated wetland replication plan July 23, 2020. In particular in this plan it discusses the planting and long-term mowing and maintenance. This shall be made an ongoing condition when the project is completed.
53. The meadow planting will be supervised and monitored by the wetland consultant for the project to ensure it follows the plan specifications. Once planted a report shall be provided to the Commission noting that this work has been completed and any additional maintenance requirements that may have arisen during the excavation and seeding is noted.
54. A status report shall be provided in spring and fall of each year until the meadow has been fully established. The newly seeded areas shall be monitored for any non-native invasive plant species for at least 2 growing seasons to ensure that the meadow mix has a chance to establish itself.
55. Mowing of the meadow is specified in the plan noted in condition 42 above. This mowing regime will be evaluated and the applicant/property manager/ wetland consultant doing the evaluation, shall provide recommendation over the first two years to determine if this is a good method. At this time if any adjustments to the mowing plan need to be made, they can be presented to the Commission for review and approval at a regularly scheduled meeting.
56. Floodplain replication - Some of this area which is to be excavated to provide floodplain storage may have been locations where manure was buried and or animals were buried. (This may be the case throughout the site) As excavation proceeds, if animal carcass that have not decomposed or are in bags are found, notification to Board of Health and control of odor and proper disposition of the remains may be necessary. This may or may not occur but is noted here to ensue that if it encountered that it is properly addressed.
57. As floodplain restoration areas are excavated please notify the Conservation Officer to come do an inspection. Confirmation that these areas are not already in the water table will need to be confirmed by the soil type observed. When final grades are obtained please call for an inspection.

POOL

58. The pool treatment type and cleaning protocol shall be provided to the Commission for review and approval once it has been established. This shall have been reviewed and approved by the Commission prior to the issuance of the first occupancy permit for the project. The protocol shall include:
- a. Treatment type
 - b. Backwash protocol and disposal
 - c. Neutralization of pool water before discharge when cleaning or maintaining pool and where this neutralized water will be discharged.
 - d. ANYTHING ELSE?

Dog Park

59. A Dog park is shown on the plans and the grading is intended to shed any runoff into the stormwater control swale prior to eventually discharging into the wetland area.
60. As discussed at the hearings strict rules on picking up dog waste and proper disposal will be prepared. These documents must be provided to the Conservation Commission prior to seeking the first occupancy permit for the project. This document will include:
- a. Rules for controlling dog wastes and disposal-
 - b. How rules will be enforced (information on DNA testing of dogs that was mentioned to trace violators)
 - c. Short- and long-term Maintenance of the dog park/ fence/ mowing/ trash removal etc.
 - d. ANYTHING ELSE?

Certificate of Compliance

61. Snow dumping is not to occur near the wetlands. Snow dumping shall occur in designated locations as shown on the approved plan sheets titled "Snow Storage Plan" Sheet C-109. Snow shall NOT be piled on existing vegetated areas, only on pavement areas away from drainage inlets, where it can melt, and the residual sand and trash can be cleaned up. Signage shall be placed along the guardrails that abut the wetland and floodplain indicating no snow dumping beyond this point. All excess snow that does not fit in these designated locations shall be removed from the site. This snow management protocol shall be outlined in the Operation and Maintenance Plan noted below and shall be an ongoing condition.
62. Prior to requesting a Certificate of Compliance, the applicant or its agent shall clean the detention basins, bioretention area; infiltration system, all drainage pipes and catch basins of accumulated sediment and debris. All infiltration system and water quality structures shall also be inspected and cleaned if necessary.
63. Prior to the issuance of a Certificate of Compliance, the Stormwater Operation and Maintenance Plan in in Section 2.0 of the Drainage Report revised through May 18, 2020, shall be reviewed and updated as needed. This document shall be provided to the Commission in a format that it can be attached to this Certificate of Compliance and recorded. The name and contact person in charge of the annual maintenance shall also be provided to the Commission. So as to be consistent the meadow management maintenance plan and any other maintenance documents can be attached to this as well.

64. An annual maintenance report shall be provided to the City Engineer and the Conservation Commission by June 1st of each year reporting on the maintenance and operation procedures, outlined in condition above, which have been met for that year. This reporting requirement will follow the issuance of a Certificate of Compliance.
65. Per the wetland regulations at 10.58 (5)(h) an ongoing condition shall be placed in the Certificate of Compliance and a note added to the as-built-plan for the project that no further alteration within the riverfront area is permitted going forward. This will be recorded in the Deed as part of the Certificate of Compliance.
66. As-Built Plan- as required in the standard condition # above. An as-built plan shall be provided prior to the issuance of a Certificate of Compliance. The as-built plan shall show the wetland and floodplain areas to be protected and note them clearly on the plan and indicate that no alteration is permitted without permission from the Conservation Commission. It shall also show the meadow area to be mowed and maintained. A note shall also be added to the As-built plan noting that no further alteration or encroachment into the riverfront area is permitted. Ongoing conditions

END CONDITIONS

8-14-20



ALLEN & MAJOR
ASSOCIATES, INC.

100 Commerce Way, Suite 5
Woburn, MA 01801
Tel: (781) 935-6889
Fax: (781) 935-2896

August 12, 2020

Priscilla Ryder
Conservation Officer
City of Marlborough
Conservation Commission
140 Main Street
Marlborough, MA 01752

RE: A&M Project #2658-01
Notice of Intent
339 Boston Post Road
East

Dear Ms. Ryder,

Allen & Major Associates, Inc., on behalf of WP Marlborough MA Owner, LLC, respectfully submits this response to the emailed comments in a Memo provided by Thomas DiPersio, Jr., P.E., P.L.S., City Engineer, City of Marlborough Department of Public Works, dated August 6, 2020, addressed to the Conservation Commission.

Please find point-by-point comments and responses provided below:

1. *As discussed, the drain system outfalls at elevation 273.32, 273.79 and 274.5 are below the flood elevation, so during major flood events the systems would surcharge and lose some capacity for runoff from the site.*

A rubber check valve is something that I have seen used on drain outfalls for this purpose:

Response: *Check valves have been added to the pipes described at the three discharge points.*

2. *The end of the pipe at the southern outfall is at the 20 foot no-disturb limit, but the rip rap apron extends down to the wetland border. The outfall should be moved upland such that no construction or disturbance is proposed in the no-disturb zone. The drainage systems may need to be raised in order to do this.*

Response: *The drainage outfall has been revised so that no disturbance to the 20-foot buffer is proposed.*

3. *There are no details of the inspection ports in the plans. A detail should be provided, showing that the ports will have covers at finished grade, and be large enough to adequately inspect the systems.*

Response: *The detail sheets have been updated accordingly.*

4. *The drain pipe from OCS-1 to DMH-13, and the pipe from CB-6 to DMH-7 appear to conflict. Eliminating the conflict may involve changing the elevations of some of the system components.*

Response: *The drain pipe from OCS-1 to DMH-13 has been revised so it no longer conflicts with and other pipe, as detailed in the revised drawings.*

If you have any questions or comments, please do not hesitate to contact me.

Very truly yours,

ALLEN & MAJOR ASSOCIATES, INC.



Carlton Quinn, P.E.
Senior Project Manager

Attachments: Revised select Civil Plans, dated August 12, 2020
~~Sheet C-105, Grading Plan~~
Sheet C-106A, Drainage Plan
Sheet C-106B, Drainage Plan
Sheet C-505, Detail Sheet

CC: WP Marlborough MA Owner, LLC.

August 13, 2020

Marlborough Conservation Commission
Marlborough Town Hall
140 Main Street
Marlborough, MA 01752

Re: Notice of Intent (NOI) 339 Boston Post Road, Marlborough MA

Dear Marlborough Conservation Commission:

Goddard Consulting, LLC is pleased to submit this supplemental response to the Draft Memorandum provided by Priscilla Ryder, Conservation Agent for the City of Marlborough, dated August 13, 2020 on behalf of the applicant WP Marlborough MA Owner,

Please find a response to item 6 of the Draft Memorandum below:

6. *As mentioned to Tim McGuire, it would be helpful to see the 10% total disturbance of the riverfront area, in the same fashion that the degraded area and not degraded area was shown in the first 100' RFA. This will also help provide the numbers for the Order of conditions on what is being impacted in (will this be shown as a table on one of the plans or in a separate memo?)*

The following graphics and tables depict the existing conditions of the Riverfront Area on-site and the proposed impacts.

7/11/20

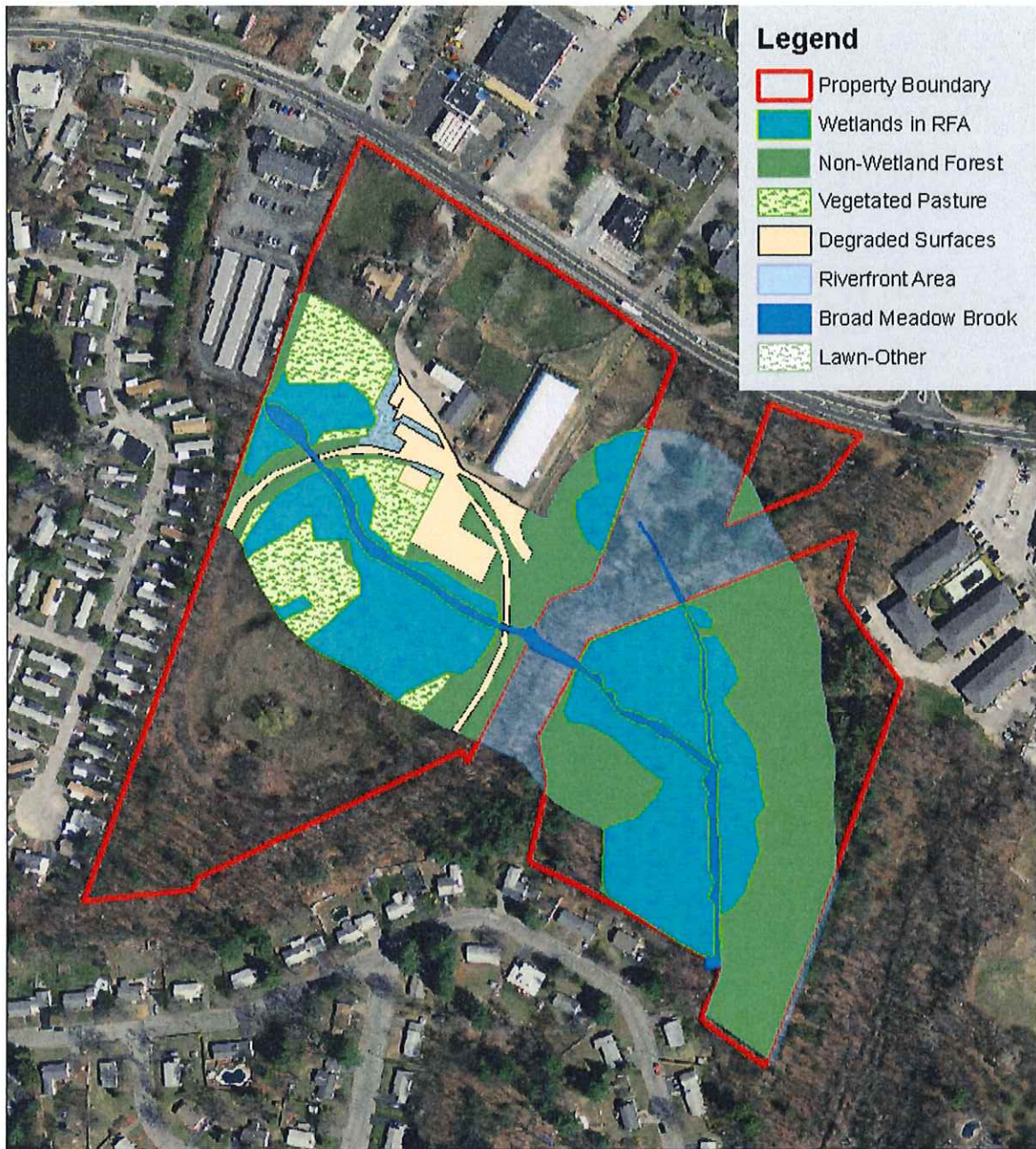


Figure 1: Existing land cover types within Riverfront Area on-site

	Total RFA On-Site	Degraded Surfaces	Non-Wetland Forest	Wetland	Lawn/Other	Vegetated Pasture
Square Feet	±585,335	±43,185	±235,077	±235,708	±6,997	±64,368

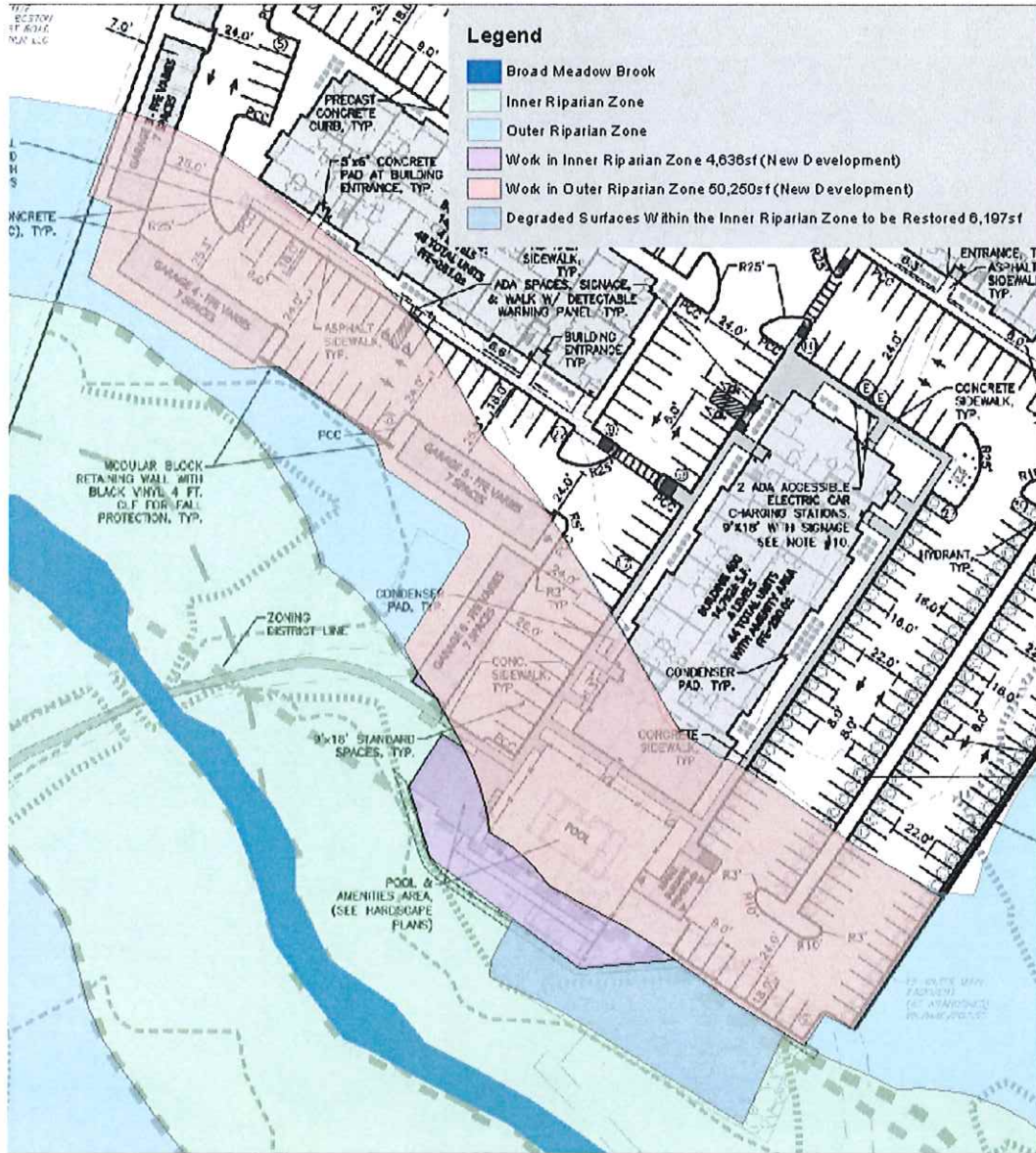


Figure 2. Work proposed within the Inner and Outer Riparian Zones on-site.

	Total RFA On-Site	Total New Development Allowable	Total Proposed Impacts	Total New Development Impacts in the Inner Riparian Zone	Total New Development Impacts in the Outer Riparian Zone
Square Feet	±585,335	±56,435 (10%)	±54,886 (9.4%)	±4,636	±50,250

Please feel free to contact us if you have any questions.

Very truly yours,

A handwritten signature in black ink, appearing to read "Scott Goddard". The signature is fluid and cursive, with a prominent initial "S" and "G".

Scott Goddard,
Principal & PWS

CC: James Driscoll, WP Marlborough MA Owner, LLC, 9 West Broad St. Stamford, CT 06092

August 14, 2020

Priscilla Ryder
Conservation/Sustainability Officer
140 Main Street, City Hall
Marlborough, MA 01752

A&M Project #: 2658-01
Re: Walcott Heritage Farm
Multi-Family Development
339 Boston Post Road East
Marlborough, MA

Dear Ms. Ryder:

Allen & Major Associates, Inc., on behalf of WP Marlborough MA Owner, LLC, respectfully submits these responses to the outstanding items provided by Priscilla Ryder, Conservation Agent for the City of Marlborough, in a Memorandum to the Conservation Commission dated August 13, 2020.

Please find point-by-point comments and responses provided below:

1. Information about how the pool will be treated and how water from the pool will be neutralized before it is discharged and where it will be discharged when that occurs, so as not to impact the wetland or river.

Response:

The Filtration system is to be selected by the pool contractor at later date. This scope of work is typically a design/build item. Water will be neutralized before discharge to the drainage system.

2. The drain outlet pipe to the east of the pool area is to be reconfigured so it is outside the 20' no disturbance zone. Also, the grading in this area in relation to the pipe and flood plain restoration shall be shown on a revised plan.

Response:

The site plans revised through August 12, 2020, have been revised accordingly. Hard copies will be provided to the Commission.

3. A list of all the documents that were provided to us and the most current version we should reference: Plans, reports etc.

Response:

Current documents in hard copy form will be provided as requested.

✓
7x4

4. Floodplain and floodplain compensation area - what documents is this in (it is not in the plan set but is referenced; however, it was not in the supplemental information).

Response:

Floodplain calculations are provided in the Appendix of the Drainage Report.

5. If it is agreed to revise the plan to pull everything outside the first 100' riverfront area, this revision should be shown on the plan for easier approval. It could also be conditioned in the order to move these items outside this zone.

Response:

The Applicant has revised the bocce court location to be placed on the previously degraded equestrian paddock. No additional revisions are proposed at this time.

6. If as mentioned to Tim McGuire, it would be helpful to see the 10% total disturbance of the riverfront area, in the same fashion that the degraded area and not degraded area was shown in the first 100' RFA. This will also help provide the numbers for the Order of conditions on what is being impacted in (will this be shown as a table on one of the plans or in a separate memo?)

Response:

See Response Memo from Goddard Consultants submitted with this document under a separate cover.

7. Information should be shown on the plans as to any grading and drainage proposed for the dog park to make sure it fits well into the landscape and doesn't drain directly into the wetland area. Please look at the GIS map from 2017 which shows possible drainage in or near dog park area which should be taken into consideration.

Response:

The revised grading plan demonstrates that the dog park area has been updated with additional spot grades and flow areas to clarify that runoff will be directed to a bioretention pond adjacent to the dog park.

Very Truly Yours,

ALLEN & MAJOR ASSOCIATES, INC.

David Robinson, EIT
Senior Project Engineer

cc: Goddard Consulting
Waypoint Residential



City of Marlborough Conservation Commission

140 Main Street
Marlborough, Massachusetts 01752
Tel. (508) 460-3768 Facsimile (508) 460-3638

Edward Clancy – Chairman
Allan White
David Williams
Dennis Demers
John Skarin
Karin Paquin
William Dunbar
Priscilla Ryder Conservation Officer

MEMORANDUM

To: Conservation Commission

From: Priscilla Ryder, Conservation Officer
Date: August 14, 2020

Cc: Goddard Consulting; Allan and Major Inc; Tom Moran

RE: **Comments on 339 Boston Post Rd., Riverfront Area and Remaining items**

As discussed at the August 6, 2020 Conservation Commission meeting, I indicated that I would review the Riverfront Area regulation as it relates to the 339 Boston Post Rd. multi-housing project. I have done so and have provided my comments below. I've highlighted sections for emphasis. In addition, I have also included a summary of the items that were discussed for which additional information or plan modifications are needed, most of which have been provided by the applicant and are included in the packet of information from Allen and Major Assoc. And lastly, I have updated the Draft Order of Conditions to include as much information as I can. There are still a few questions that remain, but most of the blanks have been filled in.

Riverfront Area review:

The regulations at 310 CMR 10.58 discuss the Riverfront Area, here are some sections I believe are relevant to your deliberation and review as it relates to this project.

To provide context:

section (1) Preamble: This section explains why riverfront areas are protected and their function. It explains that the riverfront area is important to the protecting of private or public water supply, protection of groundwater, providing flood control, preventing storm damage, preventing polluting, ... protecting wildlife habitat, and fisheries. It goes on to say... "by providing recharge and retaining natural flood storage, as well as by slowing surface water runoff, riverfront areas can mitigate flooding and damage from storms. The root systems of riverfront vegetation keep soil porous, increasing infiltration capacity. Vegetation also removes excess water through evaporation and transpiration. This removal of water from the soil allows for more infiltration when flooding occurs. Increases in storage of floodwaters can decrease peak discharges and reduce storm damage. Vegetated riverfronts also dissipate the energy of storm flows, reducing damage to public and private property." I include this explanation here to provide a context under which this riverfront resource area is protected.

Also to provide context and direction, the regulations in section 3 say:

Section **(3)Presumption**. Where a proposed activity involves work within the riverfront area, the issuing authority shall presume that the area is significant to protect the private or public water supply; to protect the groundwater; to provide flood control; to prevent storm damage; to prevent pollution; to protect land containing shellfish; to protect wildlife habitat; and to protect fisheries.

The presumption is rebuttable and may be overcome by a clear showing that the riverfront area does not play a role in the protection of one or more of these interests. In the event that the presumption is deemed to have been overcome as to the protection of all the interests, the issuing authority shall make a written determination to this effect, setting forth its grounds on Form 6. Where the applicant provides information that the riverfront area at the site of the activity does not play a role in the protection of an interest, the issuing authority may determine that the presumption for that interest has been rebutted and the presumption of significance is partially overcome.

Then in section 4 it outlines the performance standards to be met within the RFA:

(4)General Performance Standard. Where the presumption set forth in 310 CMR 10.58(3) is not overcome, the applicant shall prove by a preponderance of the evidence that there are no practicable and substantially equivalent economic alternatives to the proposed project with less adverse effects on the interests identified in M.G.L. c.131 § 40 and that the work, including proposed mitigation, will have no significant adverse impact on the riverfront area to protect the interests identified in M.G.L. c. 131 § 40. In the event that the presumption is partially overcome, the issuing authority shall make a written determination setting forth its grounds in the Order of Conditions and the partial rebuttal shall be taken into account in the application of 310 CMR 10.58(4)(d)1.a. and c.; the issuing authority shall impose conditions in the Order that contribute to the protection of interests for which the riverfront area is significant.

“Section (4.) (c) 3.Evaluation of Alternatives. The applicant shall demonstrate that there are no practicable and substantially equivalent economic alternatives as defined in 310 CMR 10.58(4)(c)1., within the scope of alternatives as set forth in 310 CMR 10.58(4)(c)2., with less adverse effects on the interests identified in M.G.L. c. 131 § 40. The applicant shall submit information to describe sites and the work both for the proposed location and alternative site locations and configurations sufficient for a determination by the issuing authority under 310 CMR 10.58(4)(d). The level of detail of information shall be commensurate with the scope of the project and the practicability of alternatives.....

If there is a practicable and substantially equivalent economic alternative with less adverse effects, the proposed work shall be denied and the applicant may either withdraw the Notice of Intent or receive an Order of Conditions for the alternative, provided the applicant submitted sufficient information on the alternative in the Notice of Intent.”

This section reviews the alternatives analysis in detail, this is only the first part of that section. I believe they have shown plans of other alternatives but have not shown an alternative which keeps all work outside of the first 100' of riverfront area. Therefore, as I interpret this section of the regulations, the Commission would need to determine if in fact they have overcome the presumption. If shrinking the size of the pool and the bocce court and retaining wall, which currently fall within the first 100' RFA, do not make the project “uneconomical” then the Commission would be able to say that an alternative with a smaller pool and reduced size of amenities and/or building does not take away the viability of the

project, then they have not overcome the presumption. So the applicant will need to overcome the presumption or move the project outside the 100' RFA.

Then under section 5 it further discusses the degraded areas:

(5) Redevelopment Within Previously Developed Riverfront Areas; Restoration and Mitigation.

Notwithstanding the provisions of 310 CMR 10.58(4)(c) and (d), the issuing authority may allow work to redevelop a previously developed riverfront area, provided the proposed work improves existing conditions. Redevelopment means replacement, rehabilitation or expansion of existing structures, improvement of existing roads, or reuse of degraded or previously developed areas. A previously developed riverfront area contains areas degraded prior to August 7, 1996 by impervious surfaces from existing structures or pavement, absence of topsoil, junkyards, or abandoned dumping grounds. Work to redevelop previously developed riverfront areas shall conform to the following criteria:

(a) At a minimum, proposed work shall result in an improvement over existing conditions of the capacity of the riverfront area to protect the interests identified in M.G.L. c. 131 § 40. When a lot is previously developed but no portion of the riverfront area is degraded, the requirements of 310 CMR 10.58(4) shall be met.

(b) Stormwater management is provided according to standards established by the Department.

(c) Within 200 foot riverfront areas, proposed work shall not be located closer to the river than existing conditions or 100 feet, whichever is less, or not closer than existing conditions within 25 foot riverfront areas, except in accordance with 310 CMR 10.58(5) (f) or (g).

(d) Proposed work, including expansion of existing structures, shall be located outside the riverfront area or toward the riverfront area boundary and away from the river, except in accordance with 310 CMR 10.58(5)(f) or (g).

(e) The area of proposed work shall not exceed the amount of degraded area, provided that the proposed work may alter up to 10% if the degraded area is less than 10% of the riverfront area, except in accordance with 310 CMR 10.58(5)(f) or (g).

(f) When an applicant proposes restoration on-site of degraded riverfront area, alteration may be allowed notwithstanding the criteria of 310 CMR 10.58(5)(c), (d), and (e) at a ratio in square feet of at least 1:1 of restored area to area of alteration not conforming to the criteria. Areas immediately along the river shall be selected for restoration. Alteration not conforming to the criteria shall begin at the riverfront area boundary. Restoration shall include:

1. removal of all debris, but retaining any trees or other mature vegetation;
2. grading to a topography which reduces runoff and increases infiltration;
3. coverage by topsoil at a depth consistent with natural conditions at the site;
- and 4. seeding and planting with an erosion control seed mixture, followed by plantings of herbaceous and woody species appropriate to the site;

So based on this section, the Commission MAY allow work in a degraded area if it improves on existing conditions. So the Commission may allow them to restore the paddock area, and may allow work in the 100' RFA as long as it improves the condition. Now combine that with the interest of the regulations and the section of the regulations about alternative analysis and you could find that if the project gets smaller and is still economically viable then the commission could require a smaller project that meets both the alternatives analysis, and would serve to limit the work in the riverfront area to meet the regulations. Because the regulations say MAY allow, the commission has the option to allow or not allow work within the 100' riverfront area, that is discretionary. The commission also may allow up to 10% of the riverfront area to be altered, but again if the area is important to the riverfront area functions, then this impact can be minimized.

Also the regulations note that the degraded area needs to have been degraded prior to 1996. In the 2000 GIS Aerial photo the paddock does not show. <https://tinyurl.com/yypqzjs>. So does this mean it

doesn't qualify as degraded? Or do we just focus on absence of top soil for this section? I will find out this answer before the meeting.

List of items discussed at the meeting and what is needed: *The italics represents the status of this item.*

1. Pool- Information about how the pool will be treated and how water from the pool will be neutralized before it is discharged and where it will be discharged when that occurs, so as not to impact the wetland or river.—*The applicant indicated that these details will be provided at a later date- therefore there is a condition in the Order which outlines the requirements to be met.*
2. Drain outlet- The drain outlet pipe to the east of the pool area is to be reconfigured so it is outside the 20' no disturbance zone. Also, the grading in this area in relation to the pipe and flood plain restoration shall be shown on a revised plan. *Revised plan has been provided in packet.*
3. A list of all the documents that were provided to us and the most current version we should reference: Plans, reports etc.- *A list has been provided in the packet .*
4. Floodplain and floodplain compensation area- what documents is this in (it is not in the plan set but is referenced. – *This is now provided in the packet*
5. If it is agreed to revise the plan to pull everything outside the first 100' riverfront area, this revision should be shown on the plan for easier approval. It could also be conditioned in the order to move these items outside this zone.- *The applicant will discuss this at the meeting, they would like to make the argument that they are meeting the requirements and not change the plan.*
6. As mentioned to Tim McGuire, it would be helpful to see the 10% total disturbance of the riverfront area, in the same fashion that the degraded area and not degraded area was shown in the first 100' RFA. This will also help provide the numbers for the Order of conditions on what is being impacted in - *See attached letter from Goddard Consulting August 13, 2020 in packet.*
7. Information should be shown on the plans as to any grading and drainage proposed for the dog park to make sure it fits well into the landscape and doesn't drain directly into the wetland area. Please look at the GIS map from 2017 which shows possible drainage in or near dog park area which should be taken into consideration. <https://tinyurl.com/yxqbtldc> - *Revised plans show grading for the dog park*

Draft Order of Conditions

See attached draft

Let me know if you have any questions or need more information before the meeting.

Thank you!

WILLIAMS STREET CROSSING MARLBOROUGH, MA

- SITE PLAN -

ZONING SCHEDULE

ZONE DISTRICT: LIMITED INDUSTRIAL - RETIREMENT COMMUNITY OVERLAY (L-RCO)
THIS LOT IS LISTED AS ASSESSORS MAP 113, PARCEL #8

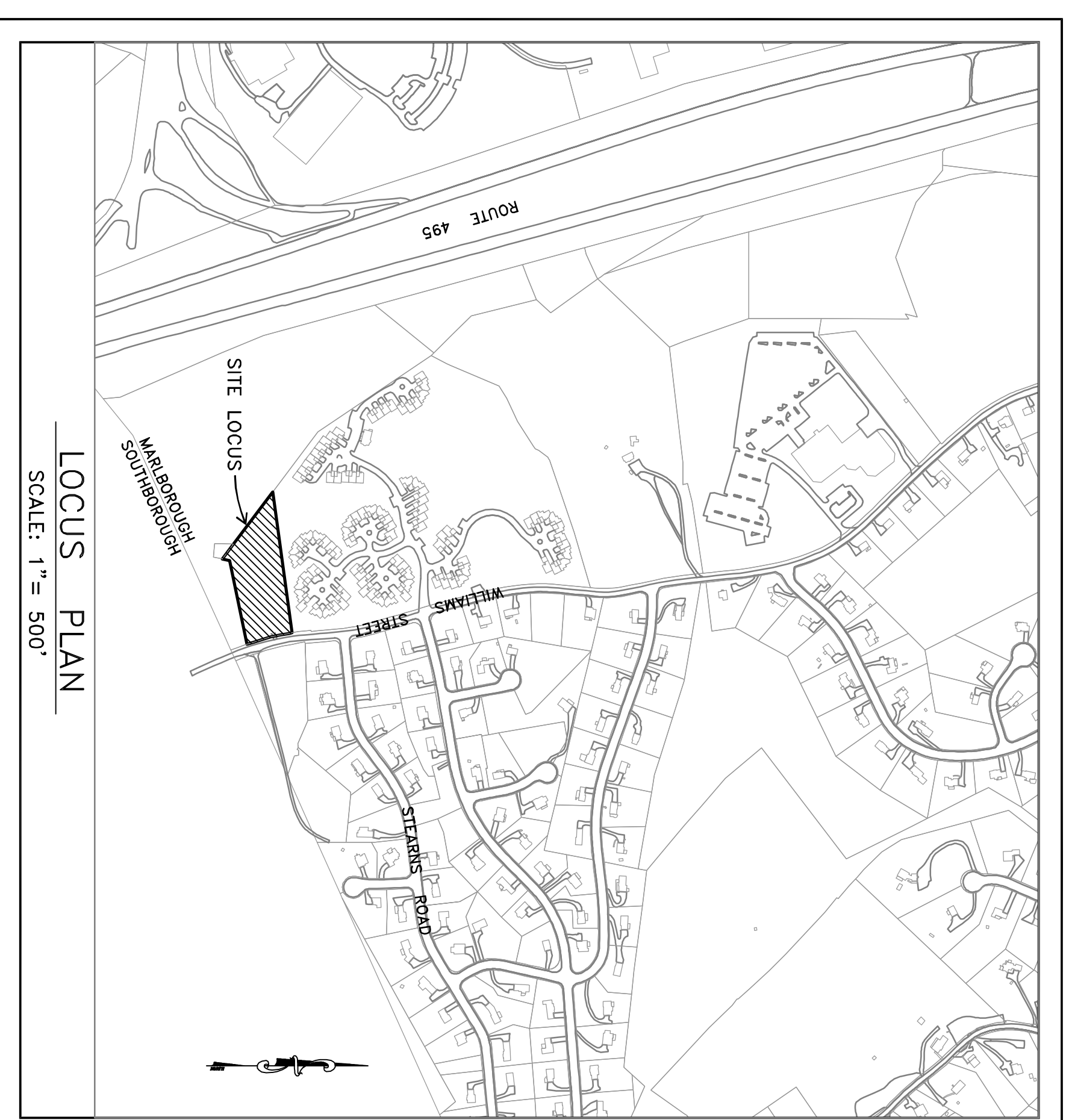
LOT INTENSITY SCHEDULE	REQUIRED	PROPOSED
LOT AREA	1 Ac.	2.60 Ac.
LOT FRONTAGE	200'	208.00'
LOT COVERAGE	60% (max.)	48%
BUILDING HEIGHT (MAX.)	36'	19.7'
FRONT YARD SETBACK	50'	96.0'
SIDE YARD SETBACK	50'	56.6'
REAR YARD SETBACK	50'	107.0'

PARKING SCHEDULE	REQUIRED	PROPOSED
TOTAL PARKING	34 SPACES	48 SPACES
STANDARD SPACES	32 SPACES	39 SPACES
COMPACT SPACES	33% (MAX)	7 SPACES(15%)
ACCESSIBLE PARKING	2 SPACES	2 SPACES

DRIVEWAY SCHEDULE	REQUIRED	PROPOSED
GRADE FROM EX. EDGE OF RD. TO R.O.W.	≤ 2.00%	≤ 2.00%
GRADE FROM 0' TO 15' OUTSIDE STREET ROW.	≤ 3%	≤ 3%
GRADE FROM 15' STREET ROW TO 15' STREET ROW	≤ 12%	≤ 12%
DISTANCE BETWEEN DRIVES	50'(MIN.)	>50'

LANDSCAPING SCHEDULE	REQUIRED	PROPOSED
FRONTAGE PLANTING WIDTH	21'	58'
SIDE LINE PLANTING WIDTH	7'	11.5'-SOUTH 16.7'-NORTH
PARKING LOT PERIMETER PLANTING WIDTH	7'	11.5'-SOUTH 16.7'-NORTH
SIGHT TRIANGLE	25'	>25'
DUMPSTER SETBACK	5'	>5'
INTERIOR PARKING LANDSCAPE AREA	3%	>5%

FOOTNOTE:
*1 - THE LOCUS PROPERTY IS APPROXIMATELY 16' FROM RESIDENTIAL ZONE A-1.



LOCUS PLAN
SCALE: 1" = 500'

DEVELOPER & OWNER:

GERALD J. CARROLL
WILLIAMS STREET HOLDINGS, LLC
2000 COMMONWEALTH AVE.
AUBURNDALE, MA 02466
TEL: 617-332-7513

ENGINEERING & LAND SURVEYING:

BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752
TEL: (508) 485-1662
FAX: (508) 481-9929

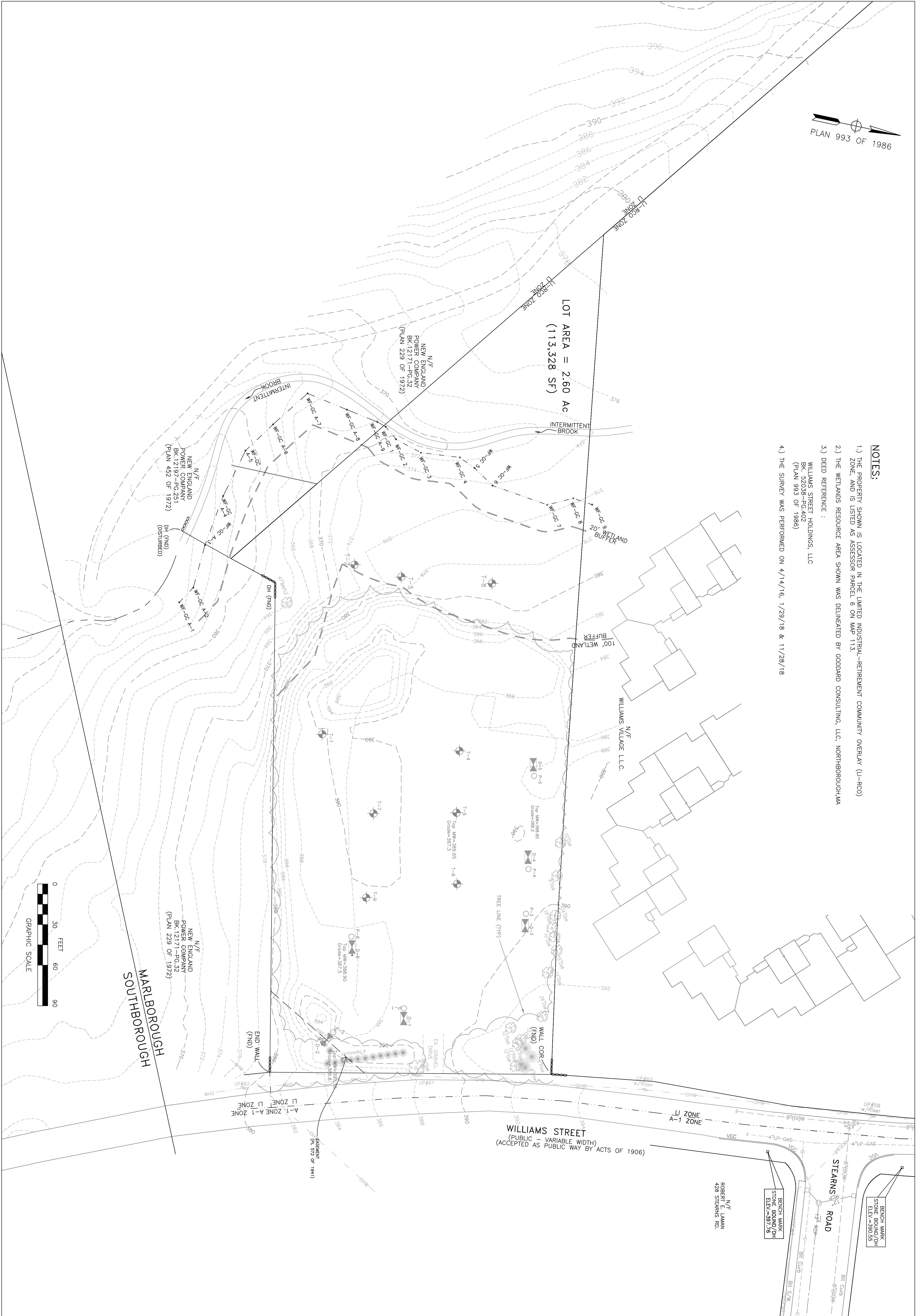
SHEET INDEX

SHEET INDEX	DATE	REVISION DATE
EX: EXISTING CONDITIONS	2-20-19	3-14-19
C1: LAYOUT PLAN	2-20-19	8-4-20
C2: GRADING & EROSION CONTROL PLAN	2-20-19	6-26-20
C3: DRAINAGE, WATER & UTILITIES PLAN	2-20-19	6-26-20
C4: PLANTING & LIGHTING PLAN	2-20-19	6-26-20
C5: DETAIL SHEET	2-20-19	3-14-19
C6: DETAIL SHEET	2-20-19	5-11-20
C7: DETAIL SHEET	2-20-19	3-14-19
C8: DETAIL SHEET	2-20-19	6-26-20
C9: DETAIL SHEET	3-14-19	8-4-20

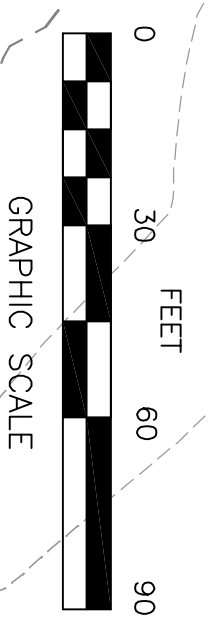
SITE PLAN APPROVAL # _____

PLANS LISTED ON THIS SHEET WITH REVISION DATES AS SHOWN

APPROVED:	DATE: _____
ENGINEERING:	DATE: _____
BUILDING:	DATE: _____
CONSERVATION:	DATE: _____
FIRE DEPT:	DATE: _____
POLICE DEPT:	DATE: _____
BOARD OF HEALTH:	DATE: _____



- NOTES:**
- 1.) THE PROPERTY SHOWN IS LOCATED IN THE LIMITED INDUSTRIAL-RETIREMENT COMMUNITY OVERLAY (LI-RCO) ZONE, AND IS LISTED AS ASSESSOR PARCEL 6 ON MAP 113.
 - 2.) THE WETLANDS RESOURCE AREA SHOWN WAS DELINEATED BY GODDARD CONSULTING, LLC, NORTHBOROUGH, MA
 - 3.) DEED REFERENCE :
WILLIAMS STREET HOLDINGS, LLC
BK. 52038-PG.402
(PLAN 993 OF 1986)
 - 4.) THE SURVEY WAS PERFORMED ON 4/14/16, 1/29/18 & 11/28/18



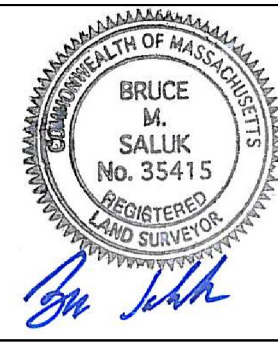
MARLBOROUGH
SOUTHBOROUGH

WILLIAMS STREET
(PUBLIC - VARIABLE WIDTH)
(ACCEPTED AS PUBLIC WAY BY ACTS OF 1906)

BENCH MARK
STONE BOUND/DH
ELEV.=3983.5

BENCH MARK
STONE BOUND/DH
ELEV.=3977.6

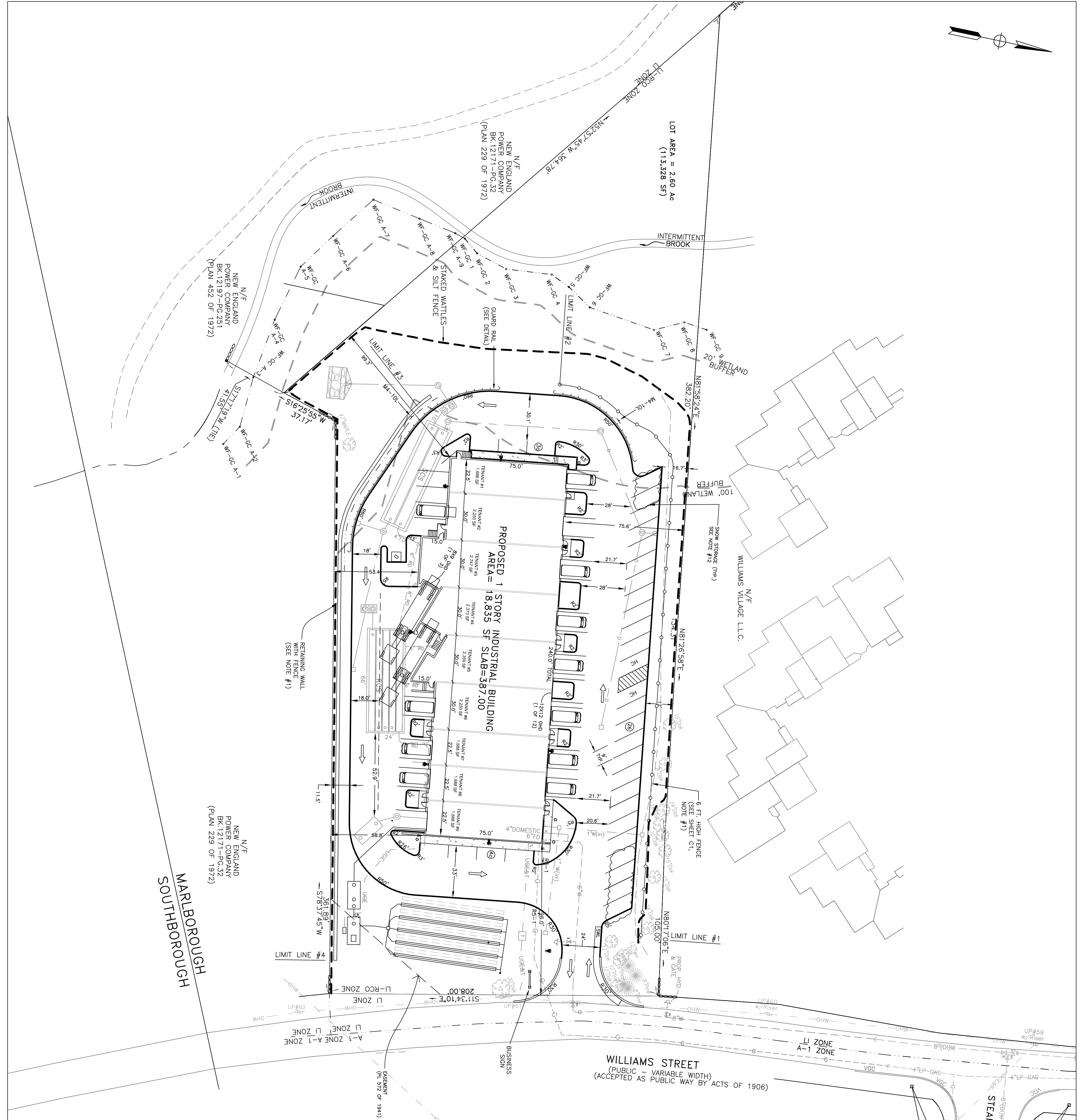
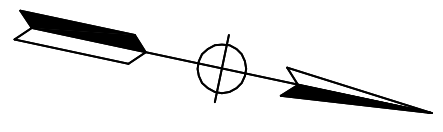
OWNER & APPLICANT:
GERALD J. CARROLL
WILLIAMS STREET HOLDINGS, LLC
2000 COMMONWEALTH AVE.
AUBURNDALE, MA 02466
DATE: FEBRUARY 20, 2019



EXISTING CONDITIONS
- WILLIAMS STREET CROSSING -
615 WILLIAMS STREET
MARLBOROUGH, MA 01752

PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752

NO.	DATE	DESCRIPTION	BY
1	3-14-19	PLAN UPDATE	BMS

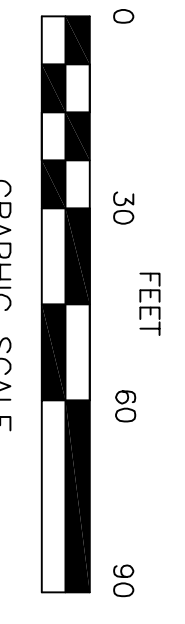
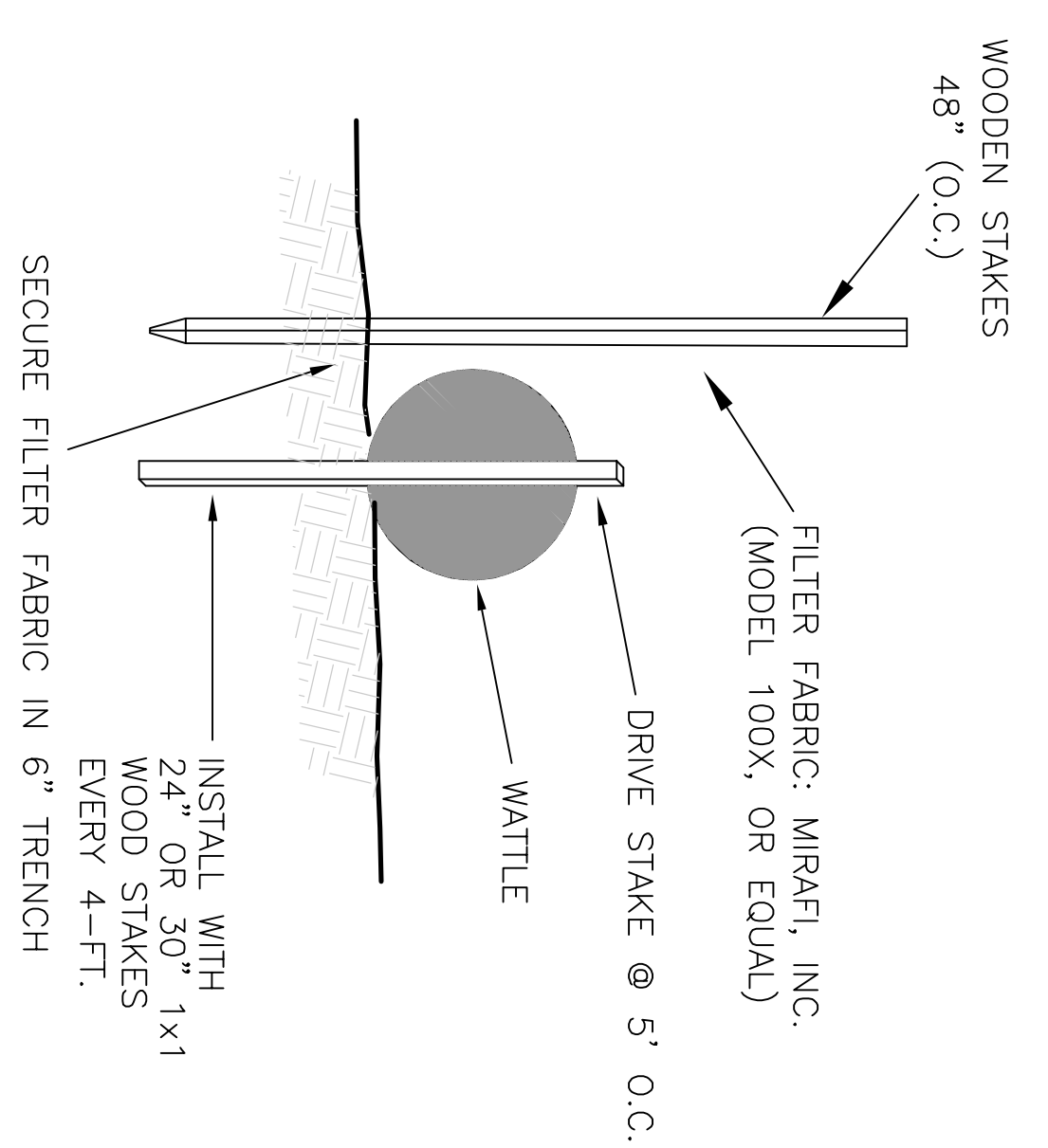


WILLIAMS STREET
(PUBLIC - VARIABLE WIDTH)
(ACCEPTED AS PUBLIC WAY BY ACTS OF 1906)

GENERAL NOTES:

- 1.) PROVIDE WHITE VINYL STOCKPADE FENCE AS FOLLOWS:
 - 6 FT. HIGH WHITE VINYL STOCKPADE FENCE BETWEEN LIMIT LINES 1 & 2
 - 42" FENCE HIGH BLACK VINYL CHAIN LINK FENCE BETWEEN LIMIT LINES 3 & 4
 - FENCE HEIGHT EXCEEDS 48"
 - DISTANCE BETWEEN EDGE OF PARKING AND FENCE SHALL BE 7 FT. MINIMUM
- 2.) THE PROPOSED BUILDING AREA SCHEDULE IS AS FOLLOWS:
 - FLOOR (GROSS) = 18,835 SF (ELEV=387.0)
 - ROOF ELEVATION=413.0
 - CEILING FINISHED GRADE AT THE FRONT OF THE BUILDING = 389.3
 - AVERAGE FINISHED GRADE AT THE FRONT OF THE BUILDING = 389.3
 - BUILDING HEIGHT = 23.2'
- 3.) ANY MINOR MODIFICATIONS, AS DETERMINED BY THE CITY ENGINEER, TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT OF WAY.
- 4.) ALL HANDICAP PARKING, RAMPS AND ACCESS SHALL CONFORM TO AAS REQUIREMENTS. REFER TO 521 CMR.
- 5.) ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
- 6.) ALL PROPOSED SIGNAGE SHALL COMPLY WITH THE EXISTING CITY OF MARLBOROUGH SIGN ORDINANCE.
- 7.) CURBING TYPE & ENTRANCES SHOWN ARE SUBJECT TO APPROVALS BY THE CITY OF MARLBOROUGH PER THE ROAD OPENING PERMIT REQUIREMENTS.
- 8.) ALL MATERIALS/CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE CODE OF THE CITY OF MARLBOROUGH. ALL RESURFACING AND CONSTRUCTION SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT OF WAY.
- 9.) CITY INSPECTORS REQUIRE A MINIMUM NOTICE OF 24 HOURS PRIOR TO INSPECTION.
- 10.) A PRE-CONSTRUCTION MEETING IS REQUIRED BETWEEN THE DEVELOPER, CONTRACTOR, POLICE AND FIRE DEPARTMENTS. A TRAFFIC MANAGEMENT PLAN SHALL BE SUBMITTED TO THE CITY OFFICIALS 5 DAYS PRIOR TO THE MEETING.
- 11.) A MAXIMUM OF THE 6 OF 48 PROVIDED PARKING SPACES WILL BE UNAVAILABLE DURING WINTER MONTHS. REQUIRED PARKING = 34 SPACES.

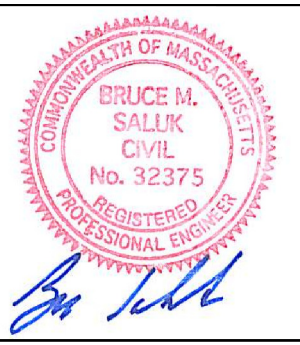
STAKED WATTLE DETAIL



LEGEND

	Concrete Curb
	Sloped granite Curb
	Proposed Bit Curb
	DRIVE IN
	TAIL GATE
	Concrete Sidewalk

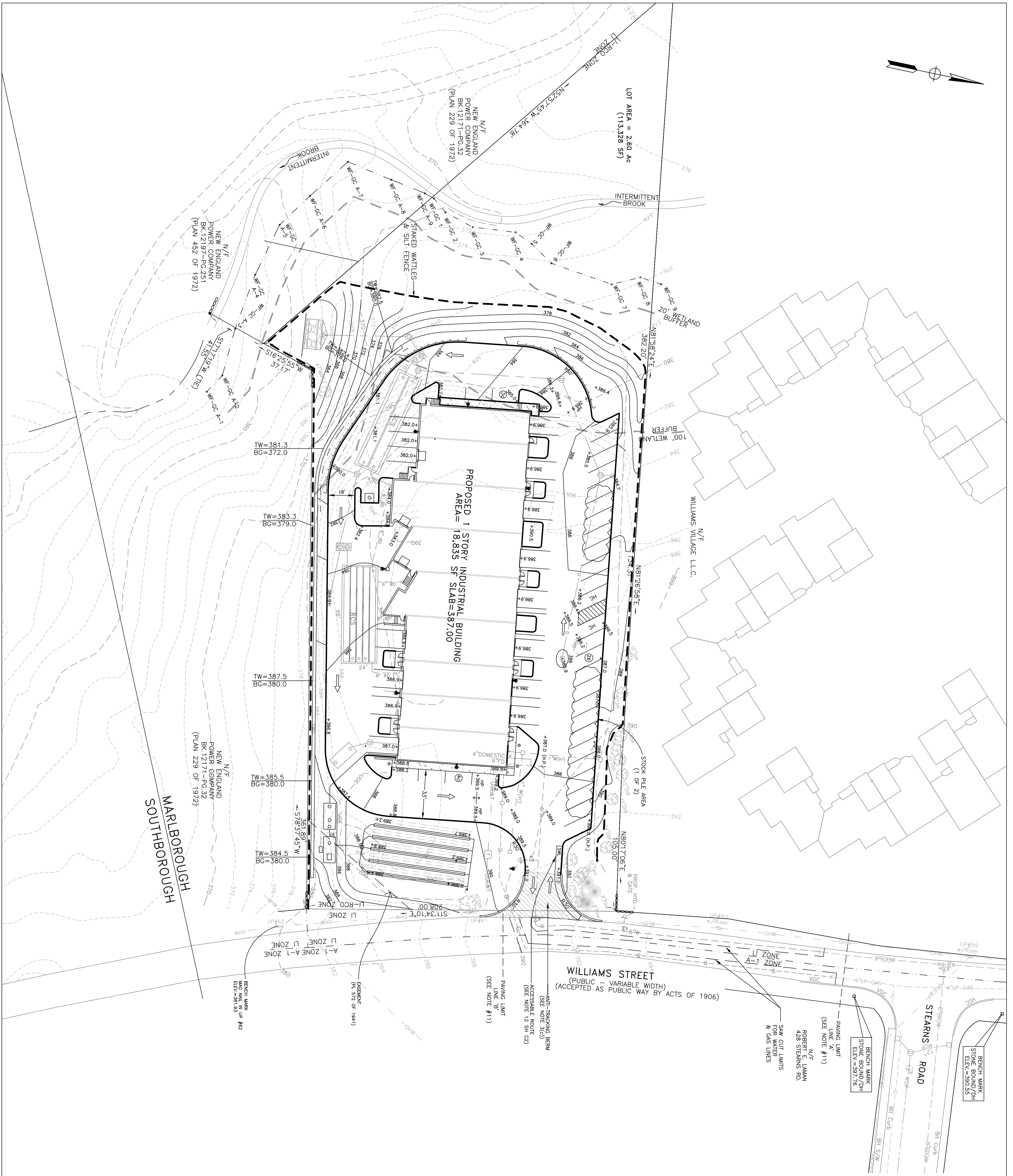
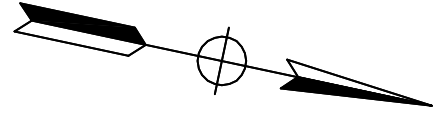
LAYOUT PLAN
- WILLIAMS STREET CROSSING -
615 WILLIAMS STREET
MARLBOROUGH, MA 01752



PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752

NO.	DATE	DESCRIPTION	BY
6	8-4-20	NOTE #2	BMS
5	6-26-20	BUILDING & SITE MODIFICATIONS	BMS
4	7-19-19	RELOCATED DETAIL & HC SPACE	BUS
3	7-11-19	ARCH. BLDG. & ISLANDS	BUS
2	5-29-19	1 STORY BUILDING	BMS
1	3-14-19	PLAN UPDATE	BMS

OWNER & APPLICANT:
GERALD J. CARROLL
WILLIAMS STREET HOLDINGS, LLC
2000 COMMONWEALTH AVE.
AUBURNDALE, MA 02466
DATE: JULY 19, 2019

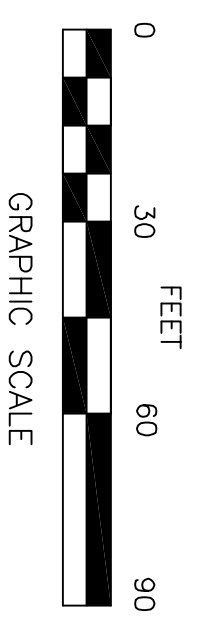


GRADING & EROSION CONTROL NOTES:

- 1.) The elevations shown are based on Mean Sea Level datum (1929 N.V.D.)
- 2.) All work, material storage & stockpile areas shall include erosion control barriers consisting of staked haybales wattles and siltation fence to prevent erosion onto the public way and abutting properties.
- 3.) Prior to commencing work, the contractor shall familiarize himself with the site and the erosion control measures outlined on this plan and required by the Marlborough Conservation Commission agent. The contractor shall be responsible for providing erosion and temporary storm runoff control measures that include siltation fence wattles, dms, ditches, temporary sediment basins, etc. as necessary to contain soil and excess runoff on the site.
- The general sequence of erosion control measures shall be as follows:
 - a) Install all siltation fencing and staked wattles, as shown on the plan.
 - b) Construct a sedimentation trap down gradient of the excavation area during the construction earthwork stage. Construct other temporary sedimentation traps(s) where required at the beginning stage of earthwork. Retain storm water within the trap(s), and filter the water using silt bags or other approved means prior to discharge. Periodically remove sediment at bottom of the silt traps to allow for natural infiltration.
 - c) Construct the anti-tracking berm at the site entrance consisting of a 3/4"-3" crushed stone 12" depth by 30' long times the width of the traveled construction access. The stone shall project above grade to form a berm barrier that prevents sediment from washing into abutting properties and the public road.
 - 4.) Siltation fencing and staked wattles shall be installed prior to commencing work at this site, and shall be maintained throughout the course of construction until the binder is down and vegetation on the site has had a chance to fully establish itself.
 - 5.) Pavement and soil removal shall be done in stages to minimize the amount of exposed soil for the project. Soil stabilization measures shall be implemented immediately after finish grading. Loom and seed shall be applied as soon as reasonably possible.
 - 6.) Asphalt and other deleterious material that is removed shall be stockpiled, transported, disposed of or reprocessed in accordance with state and federal regulations.
 - 7.) Siltation fence shall be located where shown. Acceptable products for siltation fence is Mirafi, Inc., Charlotte, NC, Model 100X, or equal.
 - 8.) Provide excavation & trench wall protection in accordance with OSHA Standards, as specified by the geotechnical engineer.
 - 9.) Provide safety fencing around all stockpiles greater than 10 Ft. in height, or otherwise restrict site access.
 - 10.) Retaining wall shown shall be architectural modular concrete units (see Note #1 Sh. C1). Following site plan approval all walls exceeding 4' in height shall be designed by a structural engineer. The design shall be stamped and signed by a professional Civil Engineer after installation and prior to approval of the as-built plans.
 - 11.) The section of Williams Street between Paving Limits lines A&B shown shall be milled and repaved. Said work shall be for the full width of the road to encompass road construction for water and gas.

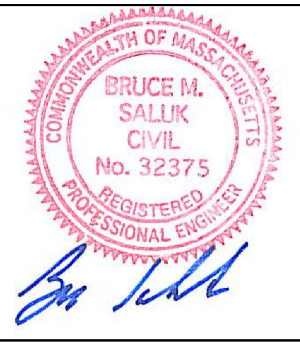
LEGEND

	Concrete Curb
	Silted granite Curb
	Proposed Bit. Curb



NO.	DATE	DESCRIPTION	BY
3	6-26-20	BUILDING & SITE MODIFICATIONS	BMS
2	5-29-19	1 STORY BUILDING	BMS
1	3-14-19	PLAN UPDATE	BMS

GRADING & EROSION CONTROL PLAN
 - WILLIAMS STREET CROSSING -
 615 WILLIAMS STREET
 MARLBOROUGH, MA 01752

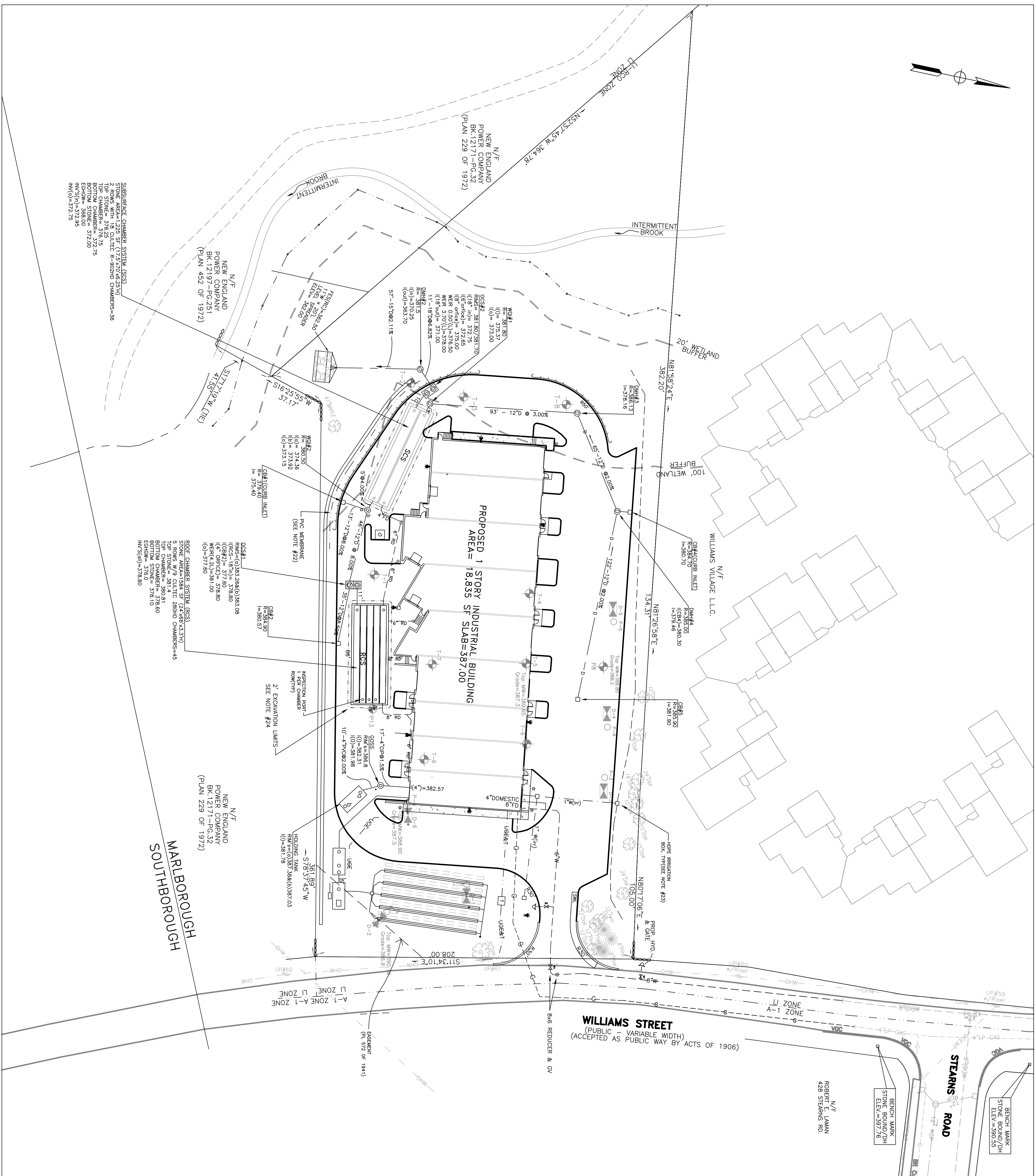
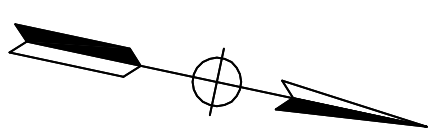


OWNER & APPLICANT:
 GERALD J. CARROLL
 WILLIAMS STREET HOLDINGS, LLC
 2000 COMMONWEALTH AVE.
 AUBURNDALE, MA 02466
 DATE: FEBRUARY 20, 2019

PREPARED BY:
 BRUCE SALUK & ASSOC., INC.
 CIVIL ENGINEERING & LAND SURVEYING
 576 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752

C2

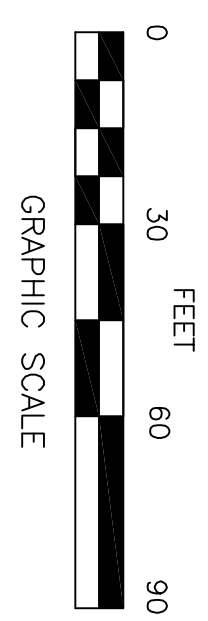
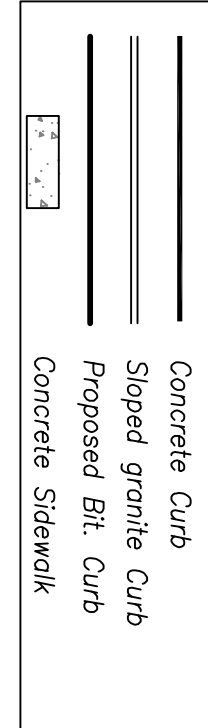
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WATER & DRAINAGE NOTES:

1. Materials and construction, and associated work, shall conform to Mass. DPW Standard Specifications. Refer to the document entitled Standard Specifications for Highways and Bridges, 1988 as amended.
2. Manholes and Catch Basins shall be reinforced precast concrete, conforming to ASTM Specification Section C478-701.
3. Manhole frames and covers shall be East Jordan Iron Works. See detail sheet for Product numbers.
4. Provide pipe joint a maximum of 3' from manhole walls.
5. Reinforcing for all precast units shall conform to ASTM Specification Section A 185 and shall include reinforcing in bell spigot of riser sections. Reinforcing shall be placed in accordance with ASHTO Designation N199.
6. In the event that rock is encountered, the Contractor shall maintain a 12-inch minimum separation between the pipe and the rock.
7. Suitable backfill material shall be select excavated material from which frozen material, humus, peat, roots, vegetation, trash, rocks, and stones larger than 6-inches have been removed.
8. Compaction of backfill material between centerline of pipe and trench pavement shall be done in 12-inch layers, or less, as required, to prevent trench settlement. The Contractor will be responsible for excessive trench settlement following final paving.
9. Utilities shown on this plan are partly from existing available City and Utility Co. records information and are approximate, only. There may be existing lines other than those shown hereon. The Contractor shall be required to contact the proper utility companies and DigSafe prior to beginning any construction on the site. Our Firm does not warrant or guarantee the location of any utilities hereon.
10. Unless otherwise noted on the drawings, drain lines greater than 12 inches in diameter shall be reinforced with 3#4 steel reinforcement. 12-inch through 48-inch diameter Class 5 drain lines shall be Wall B. The Contractor may use HDPE pipe conforming to ASHTO designations M252 & M294 with cell classification conforming to ASTM D3350. The pipe material shall meet or exceed type N-12 pipe manufactured by ADS pipe, Hilliard Ohio, or equal.
11. All Roof Drain runoff shall be directed to the 12" DIP drain that connects to the RCS Chamber System.
12. The elevations shown are based on NVD 1929 datum.
13. Refer to additional Water, Sewer & Drainage notes on the Detail Sheets.
14. The Contractor shall obtain a Street Opening Permit prior to any construction within the City Right-of-Way.
15. All water and sewer material and construction shall conform to the City of Marlborough requirements (see Street Opening Permit).
16. All water and sewer construction shall be inspected by the City of Marlborough before being backfilled.
17. The City shall be notified, at least, 24 hours prior to the required inspections.
18. Where sewer and water lines cross, install the sewer below the water service. Provide 18" minimum depth of separation between crossing diameters. Provide 1' full length of sewer pipe below the crossing with a 160 PSI rating. Connect the SDR 35 & SDR 26 pipes using pressure rated adapters by Fernco, or approved equal.
19. The Contractor shall be properly licensed and bonded with the City prior to construction.
20. The Contractor shall obtain a Trenching Permit prior to any trenching on public or private property.
21. A Gas, Oil, and Sand Separator (GOSS) is required. All Floor drains shall be connected to the GOSS. The GOSS discharge pipe shall be connected to the Holding Tank. See the gas, oil, and sand separator detail.
22. Provide 40 mil PVC membrane, where shown, down gradient of the chamber systems shown. Use single sheet or field welded PVC, devoid of glue joints. The membrane shall be installed below the retaining wall to the bottom of the hold of chambers. The Contractor may substitute using a non-sandy soil with sufficiently low permeability along the same limits, and for a distance that extends 30 FT beyond the length of the chamber system.
23. Irrigation connections shall include backflow and anti siphon protection. Refer to planting notes on the Planting & Lighting Plan (Sheet C4).
- 24.) All fill, top, and Subsoil shall be removed to the Limits of Excavation and to the natural sand substratum for the RCS & SCS chamber systems. The excavation shall be with care to assure that the soil at the bottom of the excavation area is not compacted or smeared. Prior to placement of the fill, the bottom surface of the excavation shall be level and scarified. The fill shall be clean, granular sand, free from organic matter and other deleterious substances. The Contractor shall have a licensed Soil Evaluator approve the sand fill prior to installation.
- 25.) Prior to excavation of the drainage system, the Contractor shall confirm that the Structural Engineer designed the foundation to accommodate deep excavations for the drain system in close proximity to the foundation.

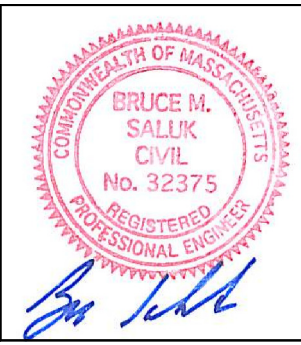
LEGEND



NO.	DATE	DESCRIPTION	BY
5	6-26-20	BUILDING & SITE MODIFICATIONS	BMS
4	7-19-19	ADD HYD & CONC SW AT AAB ROUTE	BUS
3	7-11-19	ARCH. BLDG. & ISLANDS	BMS
2	5-29-19	1 STORY BUILDING	BUS
1	3-14-19	PLAN UPDATE	BMS

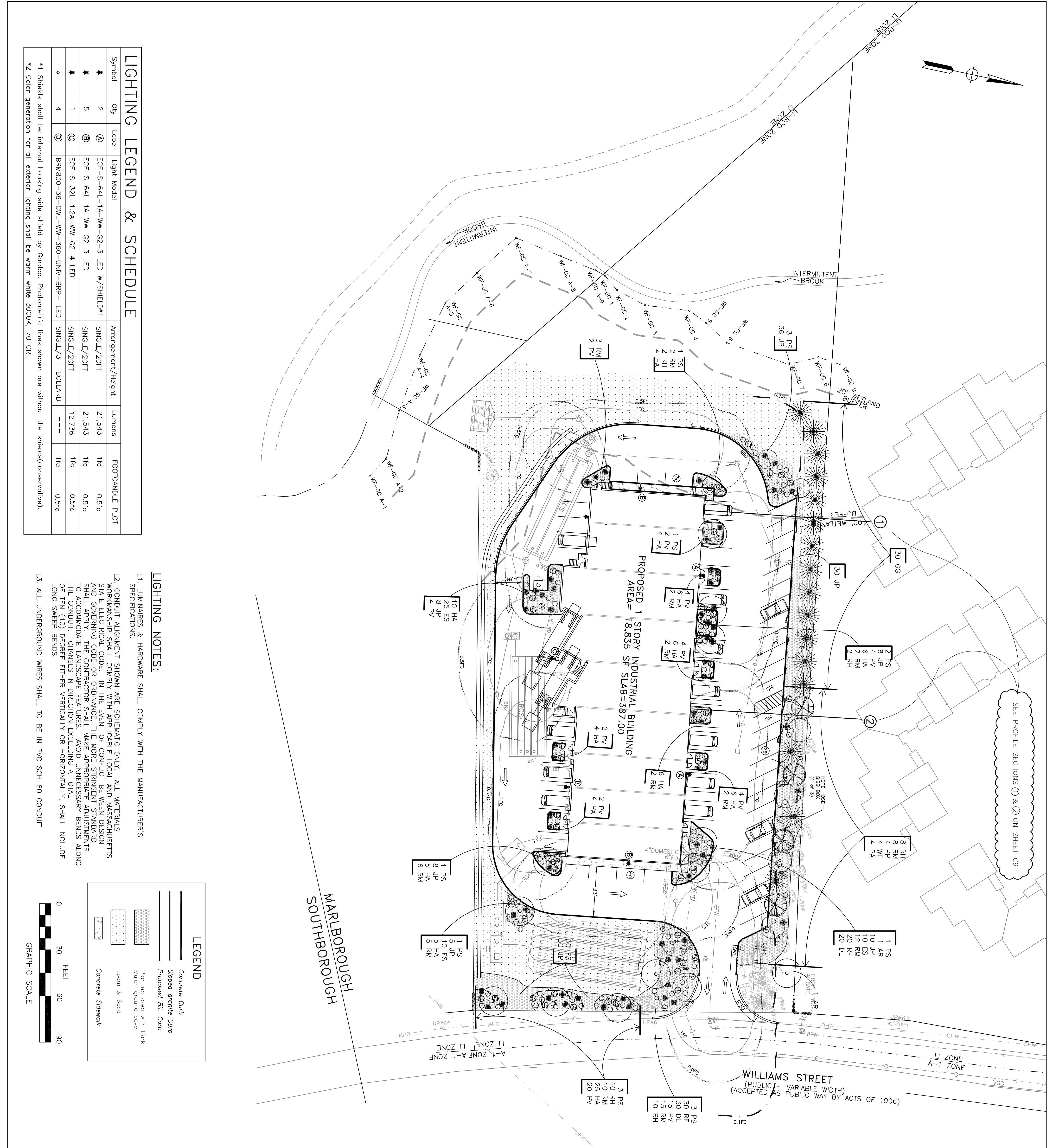
PREPARED BY:
BRUCE SALUK & ASSOC., INC.
 CIVIL ENGINEERING & LAND SURVEYING
 576 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752

DRAINAGE, WATER & UTILITIES
 - WILLIAMS STREET CROSSING -
 615 WILLIAMS STREET
 MARLBOROUGH, MA 01752



OWNER & APPLICANT:
GERALD J. CARROLL
 WILLIAMS STREET HOLDINGS, LLC
 2000 COMMONWEALTH AVE.
 AUBURNDALE, MA 02466
 DATE: FEBRUARY 20, 2019

C3

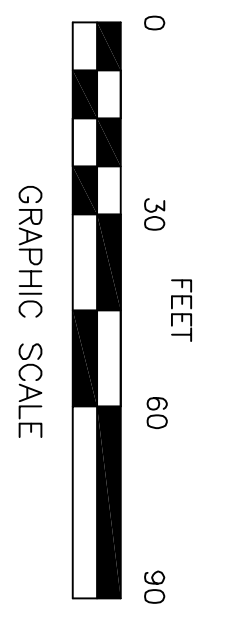
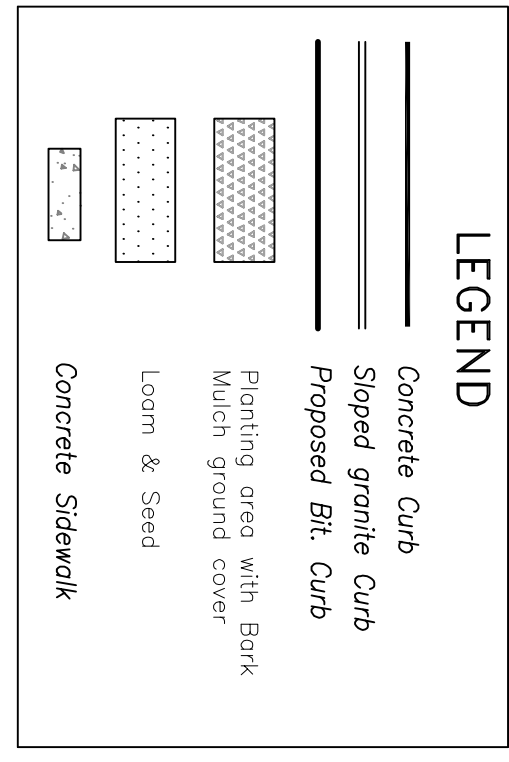


SEE PROFILE SECTIONS ① & ② ON SHEET C9

LIGHTING LEGEND & SCHEDULE

Symbol	Qty	Label	Light Model	Arrangement/Height	Lumens	FOOTCANDLE PILOT
▲	2	Ⓐ	ECF-S-64L-1A-WW-G2-3 LED W/SHIELD*1	SINGLE/20FT	21,543	116 0.516
▲	5	Ⓑ	ECF-S-64L-1A-WW-G2-3 LED	SINGLE/20FT	21,543	116 0.516
▲	1	Ⓒ	ECF-S-32L-1.2A-WW-G2-4 LED	SINGLE/20FT	12,736	116 0.516
▲	4	Ⓓ	BRM830-36-CWL-WW-360-UNV-GRP-LED	SINGLE/3FT BOLLARD	---	116 0.516

- LIGHTING NOTES:**
- LUMINAIRES & HARDWARE SHALL COMPLY WITH THE MANUFACTURERS SPECIFICATIONS.
 - CONDUIT ALIGNMENT SHOWN ARE SCHEMATIC ONLY. ALL MATERIALS WORKMANSHIP SHALL COMPLY WITH APPLICABLE LOCAL AND MASSACHUSETTS STATE ELECTRICAL CODE. IN THE EVENT OF CONFLICT BETWEEN DESIGN AND CODE, THE DESIGN SHALL PREVAIL. THE CONTRACTOR SHALL MAKE APPROPRIATE ADJUSTMENTS TO ACCOMMODATE LANDSCAPE FEATURES. AVOID UNNECESSARY BENDS ALONG THE CONDUIT. CHANGES IN DIRECTION EXCEEDING A TOTAL OF TEN (10) DEGREE EITHER VERTICALLY OR HORIZONTALLY, SHALL INCLUDE LONG SWEEP BENDS.
 - ALL UNDERGROUND WIRES SHALL TO BE IN PVC SCH 80 CONDUIT.



PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
PP	4	PICEA PUNGENS 'OCTOBER GLORY'	COLORADO BLUE SPRUCE	6 FT.
WF	4	ABIES CONCOLOR	WHITE FIR	6 FT.
PA	4	PICEA ABIES	NORWAY SPRUCE	6 FT.
PS	16	MALUS X	PINK SPIRES	3" CALIPER
AR	2	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CALIPER
GC	30	THUJA STANDISHII	GREEN GIANT ARBORVITAE	6 FT.
SHRUBS				
RM	71	RHOODOENDRON	AZALEA MOTHER'S DAY	2'-3'
RH	32	RHOODOENDRON X 'P.J.M.'	P.J.M. RHOODOENDRON	2'-3'
ES	75	JUNIPERUS HORIZONTALIS 'EMERALD SPENDIDA'	CREeping JUNIPER	---
JUP	135	JUNIPERUS HORIZONTALIS	LOW SPREADING JUNIPER (BAR HARBOR)	---
PERENNIALS				
RF	50	RUBROECKIA FULGIDA	BLACK EYE SUSAN	---
HA	94	HOSTA	SUN TOLERANT HOSTA	---
DL	50	HELIOPHOLLIS	DAILYLY	---
PV	63	PENNISETUM ALOPECUROIDES	DWARF FOUNTAIN GRASS	30"

PROVIDE BARK MULCH OR LOAM & SEED WHERE SHOWN ON PLAN (SEE LEGEND)

PLANTING NOTES:

- FOR LOAM & SEED AREAS, PROVIDE 4" LOAM AND SEED MIX COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA.
- PROVIDE PLANTS OF SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 'AMERICAN STANDARD FOR NURSERY STOCK'.
- FINAL PLANT LOCATIONS TO BE ADJUSTED IN FIELD AS NECESSARY TO PROVIDE REQUIRED OFFSETS TO CONSTRUCTION APPURTENANCES AND UTILITIES, ETC.
- PLANTINGS ARE SUBJECT TO CHANGE DUE TO NURSERY STOCK AVAILABILITY, AS APPROVED.
- PLANTING AND WORKMANSHIP SHALL COMPLY WITH THE FOLLOWING:
 - STAKING MATERIALS TO BE REMOVED 1 YEAR AFTER PLANTING.
 - OWNER REPLACES PLANTS THAT DIE WITHIN 180 DAYS.
- AREAS THAT WILL REQUIRE COMPACTION OF SOILS WITHIN THE DRIP ZONE OF PROPOSED TREES, I.E., PROPOSED SIDEWALKS OR PAVEMENT, SHALL BE SAND CONSTRUCTED WITH A SLOTTED/SUBLE SOLE SUITABLE FOR TREE GROWTH. RUBBED STONE THE 2ND PART CONSISTS OF 20% SANDS/CLAY LOAM TEXTURE AND 2.5% OF ORGANIC MATTER. THE SOIL SHALL COMPLY WITH CU-STRUCTURAL EQUAL. HYDROBEL TACTIFER, THE SOIL SHALL COMPLY WITH CU-STRUCTURAL EQUAL. THE SPECIFICATIONS AVAILABLE AT BKALTER@AMEREO.COM, OR APPROVED EQUAL. THE STRUCTURAL SOIL QUANTITY SHALL BE 24" DEPTH FOR ALL AREAS BENEATH PROPOSED SIDEWALKS AND PAVEMENT WITH THE TREE DRIP ZONE.
- SAME EXISTING TREES ALONG THE NORTH PROPERTY LINE (TYP.)
- MECHANICAL EQUIPMENT ON THE GROUND AND ROOF SHALL BE SCREENED. ELECTRICAL TRANSFORMERS SHALL BE SCREENED WITH P.J.M. RHOODOENDRON, AZALEA AND/ OR AMERICAN ARBORVITAE.
- THE CONTRACTOR SHALL PROVIDE A AUTOMATIC IRRIGATION SYSTEM THAT INCLUDES CONDUIT, VALVES, BACKFLOW PREVENTER, WATER FILTER, WRING AND PANEL CONTROLS, ETC. OR AS APPROVED BY THE OWNER. A SHOP DRAWING SUBMITTAL OF THE PROPOSED AUTOMATIC IRRIGATION SYSTEM IS REQUIRED.

PLANTING & LIGHTING PLAN

- WILLIAMS STREET CROSSING -

615 WILLIAMS STREET
MARLBOROUGH, MA 01752

PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752

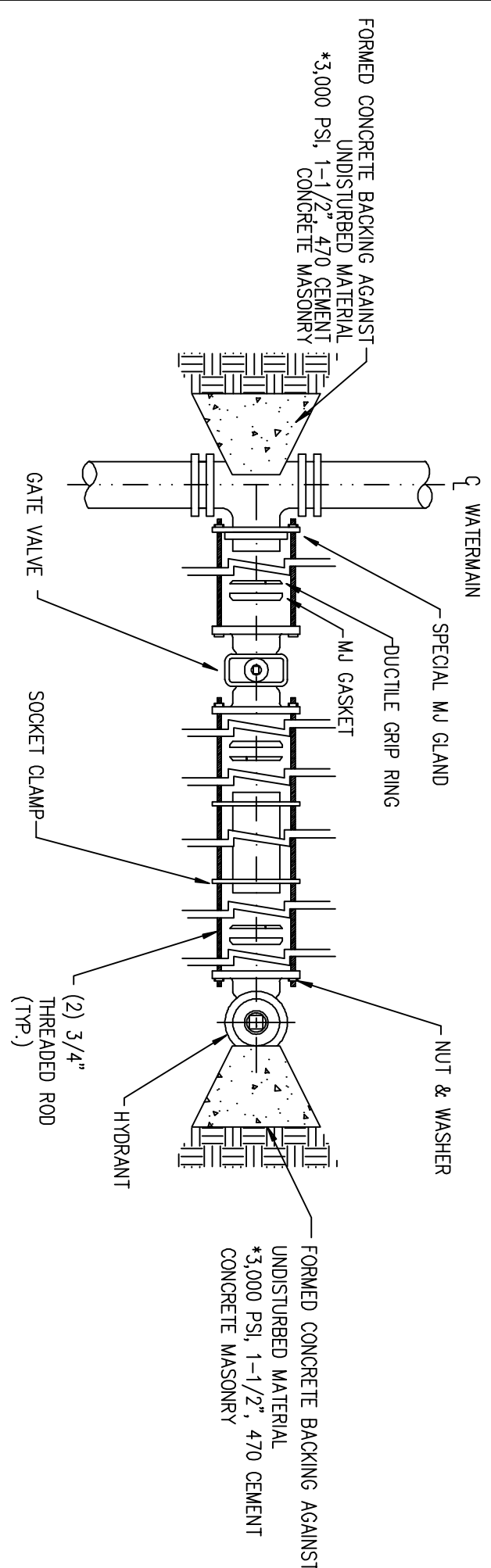
NO.	DATE	DESCRIPTION	BY
5	6-26-20	BUILDING & SITE MODIFICATIONS	BMS
4	7-19-19	RELOCATED HC SPACE	BUS
3	7-11-19	ARCH. BLDG. & ISLANDS	BUS
2	5-29-19	1 STORY BUILDING	BMS
1	3-14-19	PLAN UPDATE	BMS

OWNER & APPLICANT:
GERALD J. CARROLL
WILLIAMS STREET HOLDINGS, LLC
2000 COMMONWEALTH AVE.
AUBURNDALE, MA 02466
DATE: FEBRUARY 20, 2019



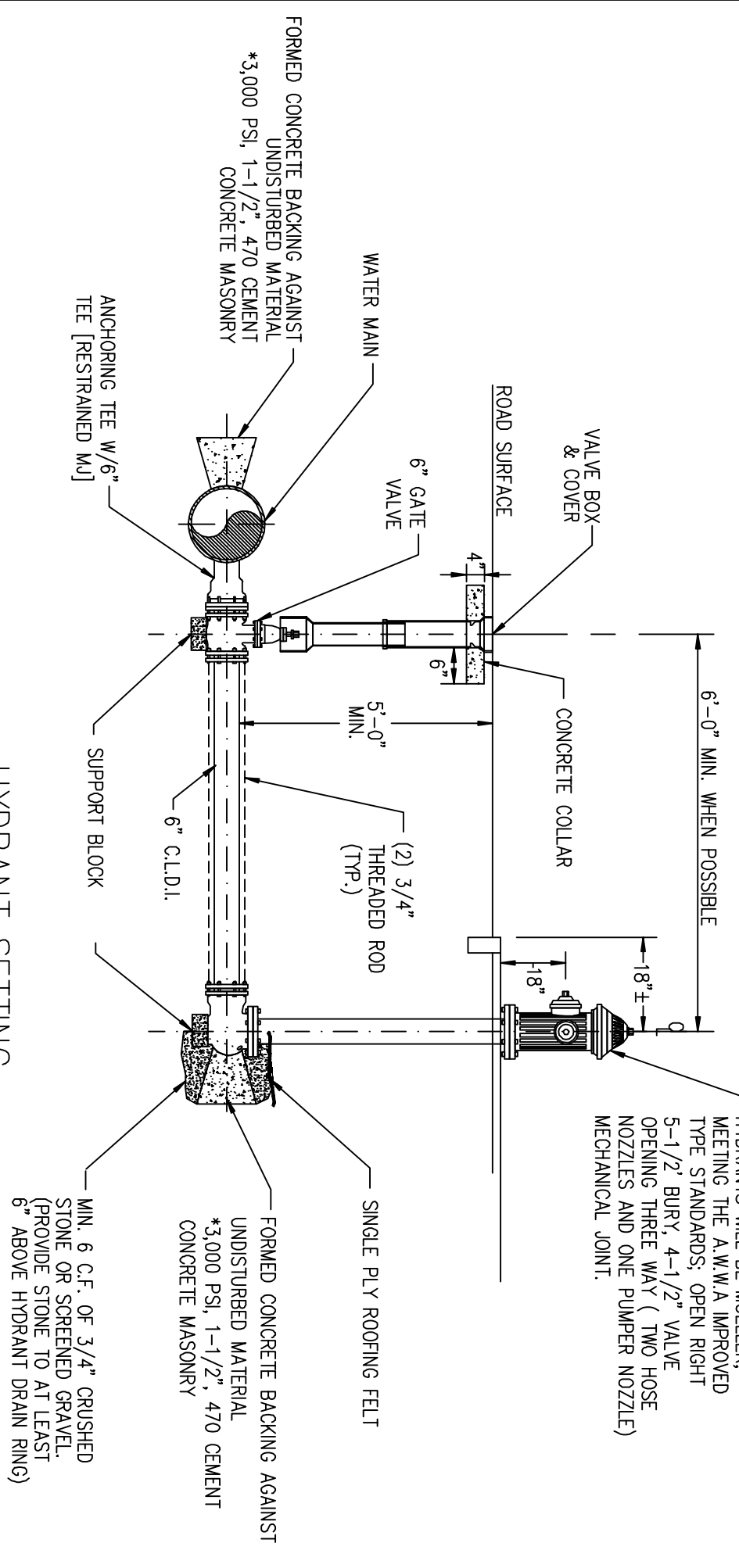
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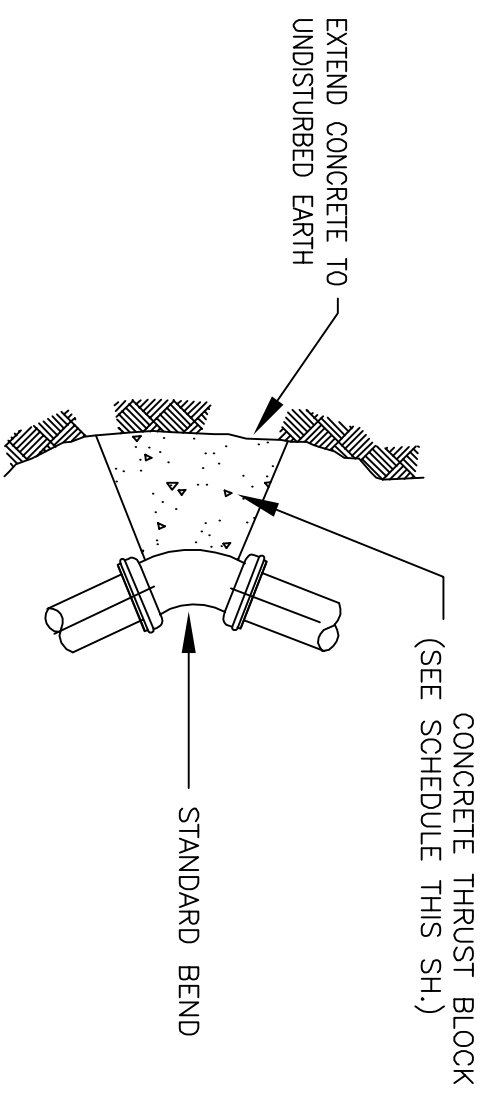
NOTE 1:
ALL TEES, GATES AND BRGS ARE TO BE ROUNDED W/ MECH LUGS OR FUNCTION CLAMPS AT BELL JOINTS.

VALVE CONNECTION
N.T.S.

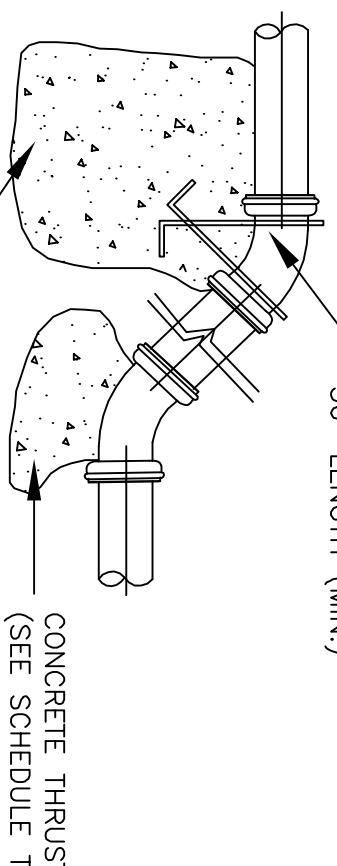


NOTES:
1. PROVIDE HYDRANT AND VALVE JOINTS WITH MECHANICAL JOINTS (MEGALUG OR APPROVED EQUAL).
2. SUPPORT BLOCKS TO BE PRESSURE TREATED WOOD OR CONCRETE MASONRY BLOCKS.
3. ALL VALVES OPEN RIGHT.

HYDRANT SETTING WITH VALVE
N.T.S.



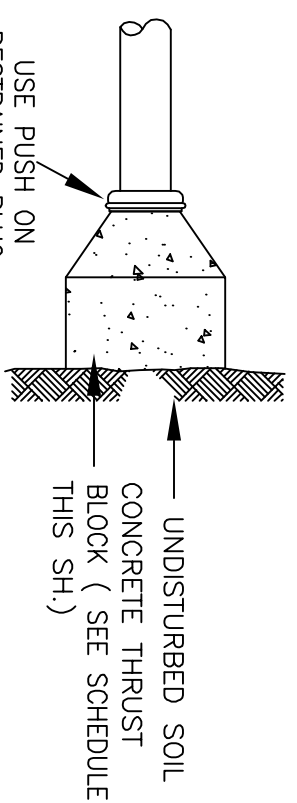
THRUST BLOCK DETAIL - STANDARD BEND
N. T. S.
thrustblock.dwg



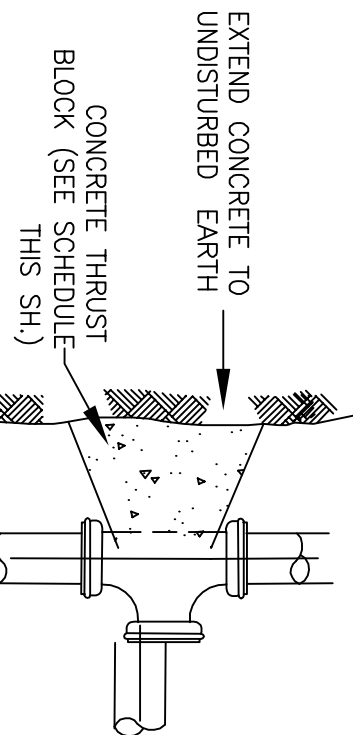
THRUST BLOCK - VERTICAL BEND
N. T. S.

THRUST BLOCK SCHEDULE		
TEES & PLUGS	45°	22 1/2°
6"	16	4
8"	16	4
10"	16	5
12"	16	9

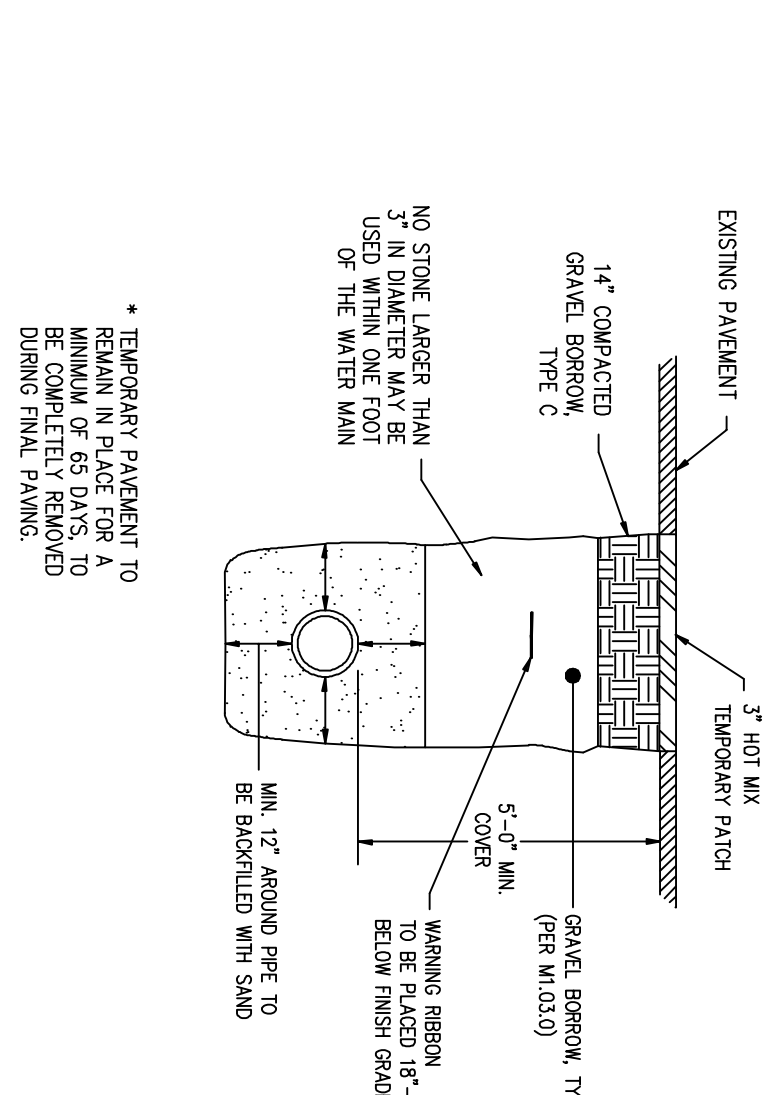
NOTES:
1) VALUES IN TABLE ARE REQUIRED CONCRETE THRUST BLOCK BEARING AREA IN SQUARE FEET AGAINST UNDISTURBED SOIL.
2) USE THE RODS AND MEGA LUGS FOR ALL FITTINGS.



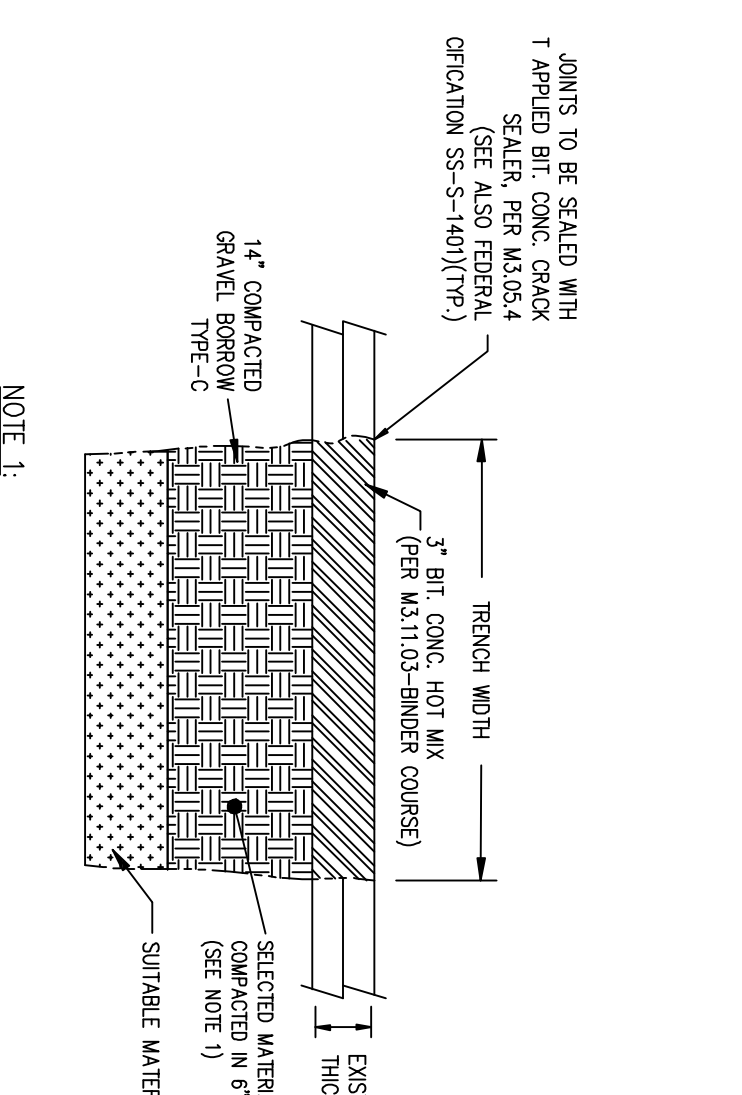
THRUST BLOCK DETAIL - PLUG
N. T. S.



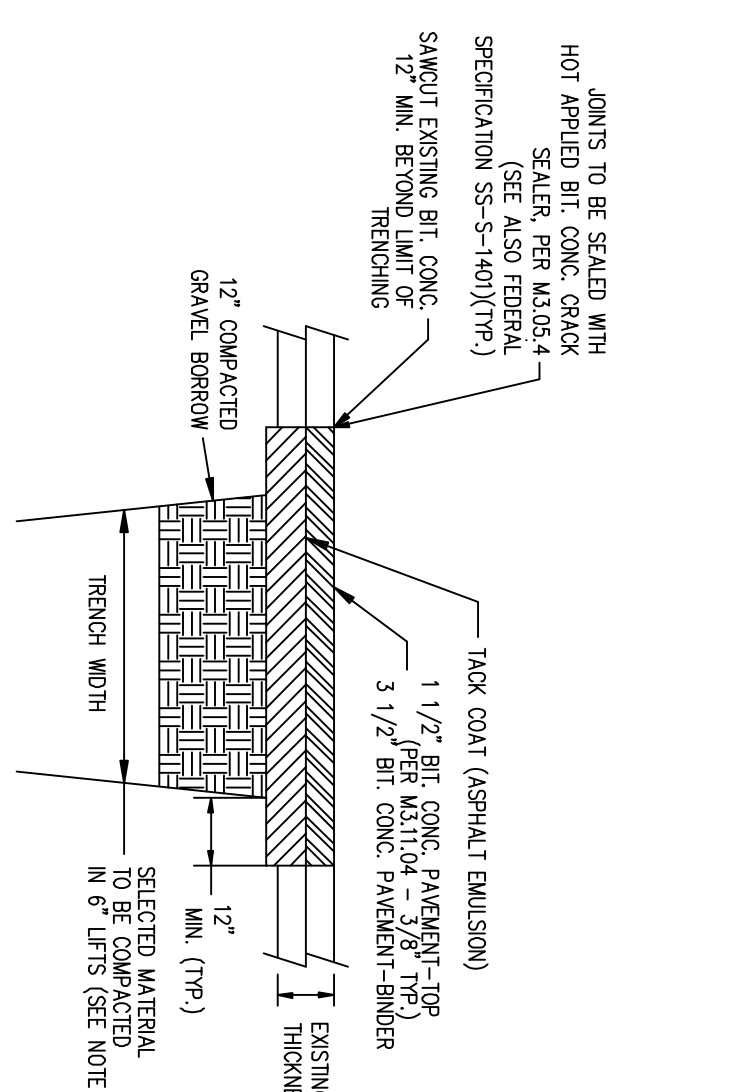
THRUST BLOCK DETAIL - TEE
N. T. S.



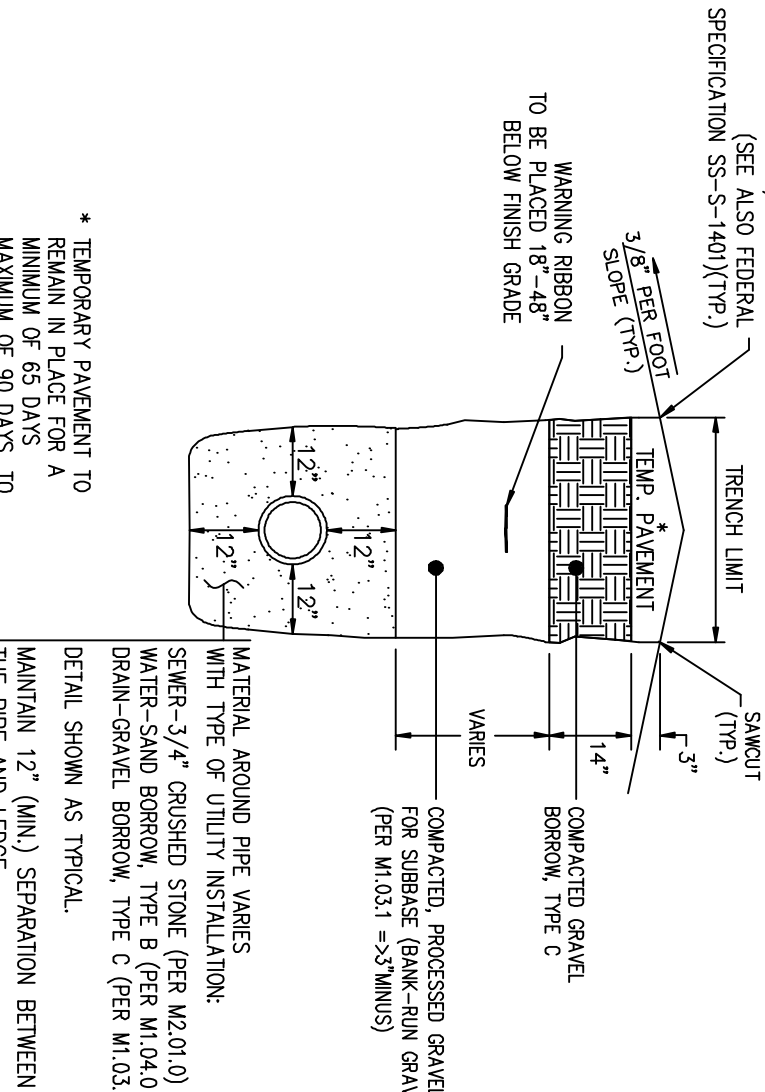
TYPICAL WATER TRENCH
N.T.S.



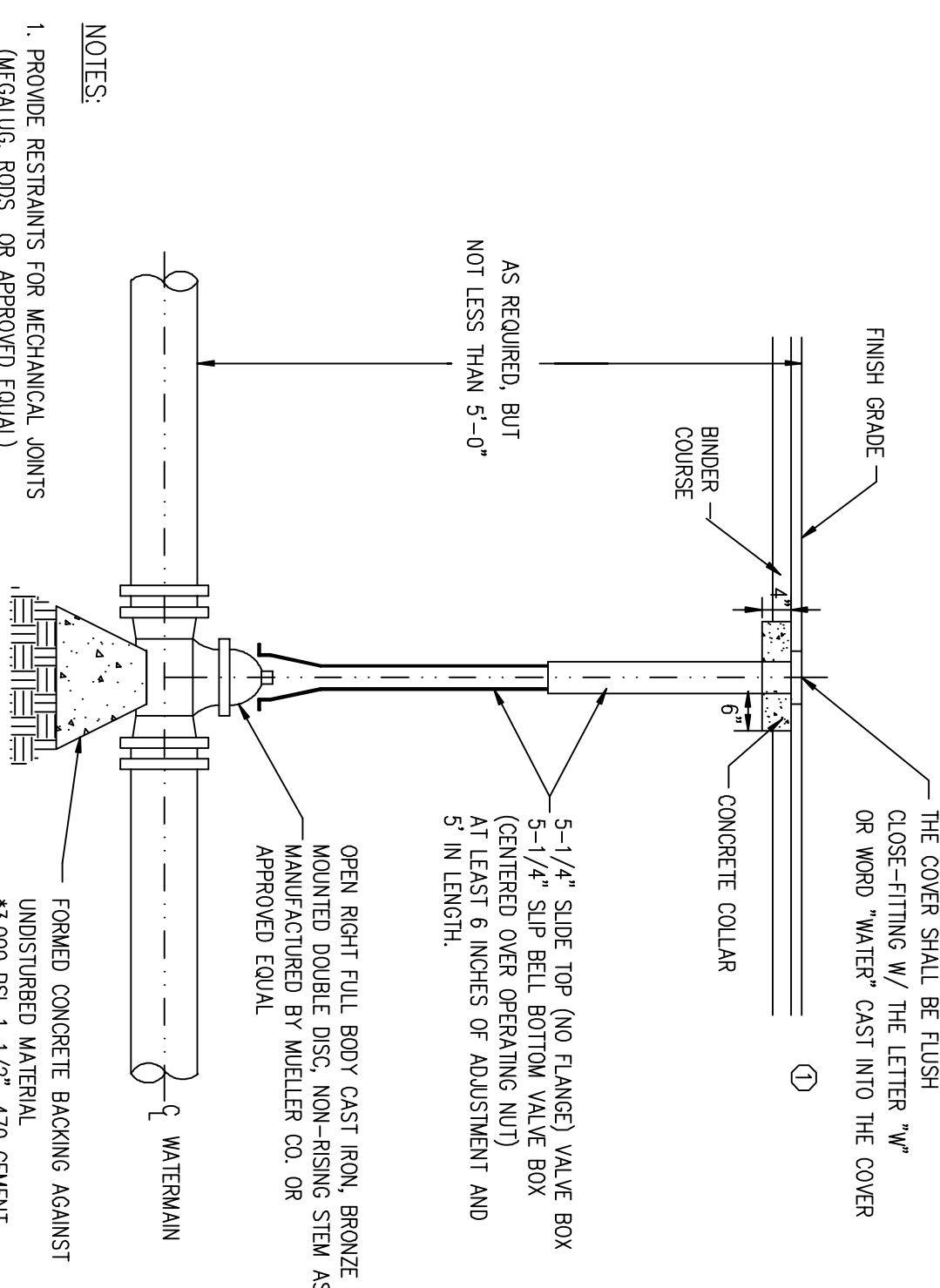
TYPICAL EXCAVATION TRENCH
N.T.S.



TYPICAL FINAL TRENCH PAVING
N.T.S.

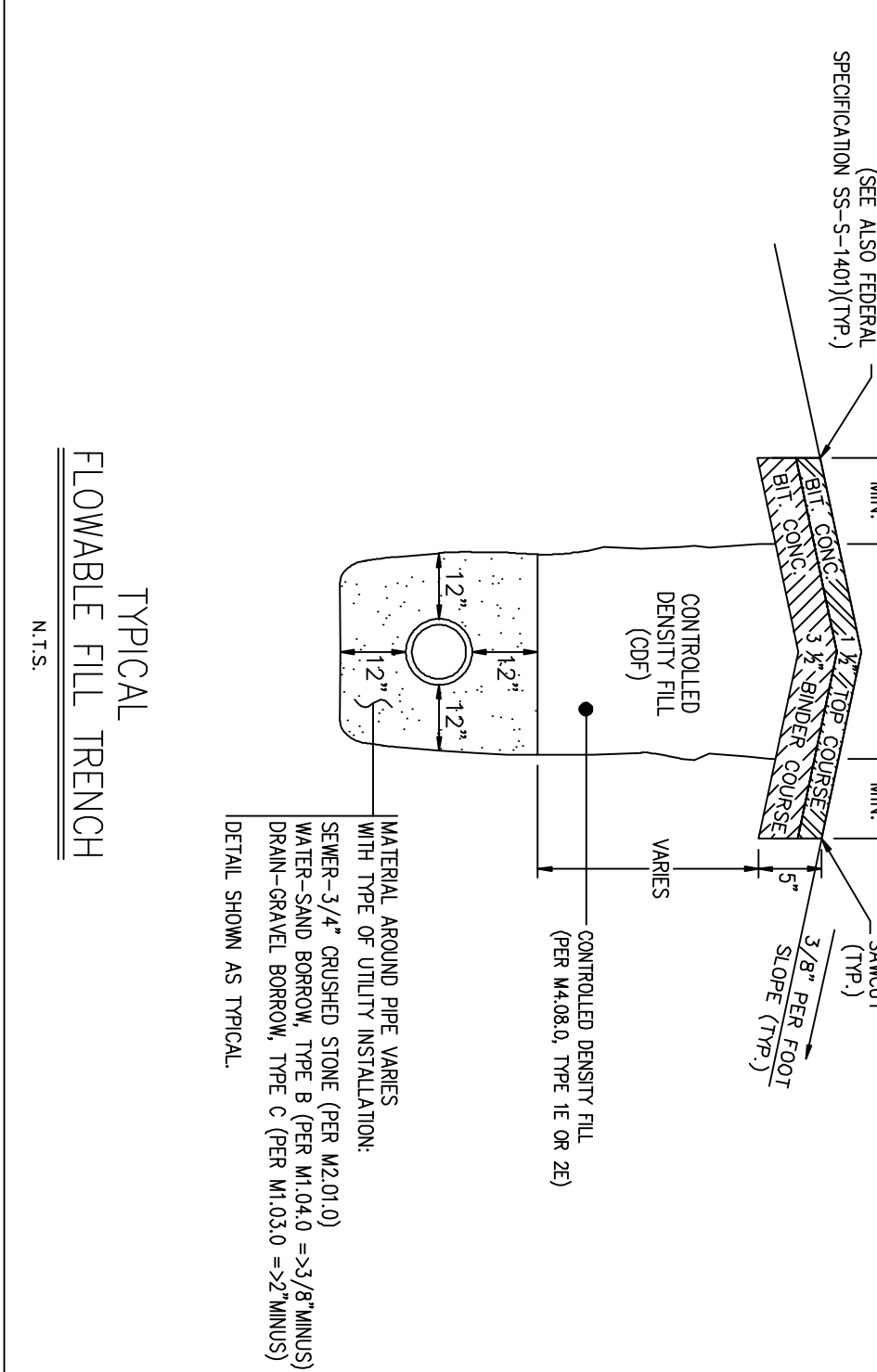


TYPICAL FLOWABLE FILL TRENCH
N.T.S.



TYPICAL GATE VALVE
N.T.S.

NOTES:
1. PROVIDE RESTRAINTS FOR MECHANICAL JOINTS (MEGALUGS, RODS OR APPROVED EQUAL).
2. GATE VALVE MUST CONFORM TO THE LATEST REVISION OF AWWA STANDARD C-509.



CONSTRUCTION NOTES

THE FOLLOWING DESCRIBES MATERIALS AND METHODS AS THEY PERTAIN TO ROAD OPENING WORK. ALL WORK SHALL COMPLY WITH THE LATEST STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES AND ALL SUBSEQUENT SUPPLEMENTAL SPECIFICATIONS THERETO.

BACKFILL MATERIALS

EXCAVATIONS IN THE STREET PAVEMENT AREAS SHALL BE CAREFULLY BACKFILLED WITH LAYERS OF SUITABLE GRAVEL. THE TWELVE (12) INCHES OF BEDDING MATERIAL AROUND PIPES SHALL BE SAND (M10.0) FOR WATER, 3\"/>

GRADING ROLLING AND FINISHING

PAVEMENT PLACED SHALL BE PLACED AND ROLLED TO A UNIFORM SURFACE ROLLED TO THE REQUIRED THICKNESS AND TO A GRADE THAT WILL MATCH THE EXISTING BITUMINOUS ROAD SURFACE. THE PERMITTEE SHALL MAINTAIN THE SURFACING AND SHALL PROMPTLY FILL WITH SIMILAR MATERIAL ANY DEPRESSIONS AND HOLES THAT MAY OCCUR SO AS TO KEEP THE SURFACING IN A SAFE AND SATISFACTORY CONDITION FOR TRAFFIC.

TEMPORARY PAVEMENT

A TEMPORARY PAVEMENT SHALL BE PLACED ON THE SURFACE OF THE FILL AND THOROUGHLY COMPACTED. A TEMPORARY PAVEMENT SHALL BE CLASS 1 BITUMINOUS CONCRETE TYPE 1-1 THREE (3) INCHES THICK (SEE EXCAVATION TRENCH DETAIL). "COLD PATCH" MAY BE ALLOWED IF APPROVED BY THE COMMISSIONER OF PUBLIC WORKS DUE TO ADVERSE WEATHER CONDITIONS. IF PLATES ARE USED THEY SHALL BE RAMMED TO MATCH THE PAVEMENT. TEMPORARY PAVING OR STEEL PLATING SHALL IMMEDIATELY FOLLOW THE BACKFILLING OPERATION.

PERMANENT PAVEMENT

THE FINAL BITUMINOUS CONCRETE SURFACE SHALL NOT BE PLACED ANY EARLIER THAN 60 DAYS OR NO LATER THAN 180 DAYS AFTER THE DATE OF THE PERMIT. THE PERMITTEE SHALL MAINTAIN THE PERMANENT PAVEMENT TO THE COMMISSIONER OF PUBLIC WORKS. THE TEMPORARY PAVEMENT AND SUB-BASE SHALL BE EXCAVATED TO THE GRADE REQUIRED BY THE PERMIT PRIOR TO PLACEMENT OF THE FINAL BITUMINOUS CONCRETE SURFACE. THE BINDER COURSE SHALL NOT BE LESS THAN THE EXISTING ROADWAY BINDER COURSE AND SHALL NOT BE LESS THAN 1.5 INCHES IN DEPTH. ON SOME INSTANCES BEYOND A SIMPLE TRENCH EXCAVATION PAVEMENT DETAILS AND (1) 2) RESURFACING REQUIREMENTS WILL BE INCLUDED AS A SPECIAL CONDITION IN THE PERMIT (E.G. PAVEMENT REQUIREMENTS ON ROUTE 85).

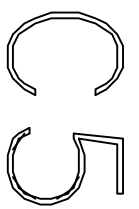
NO.	DATE	DESCRIPTION	BMS	BY
1	3-14-19	PLAN UPDATE	BMS	

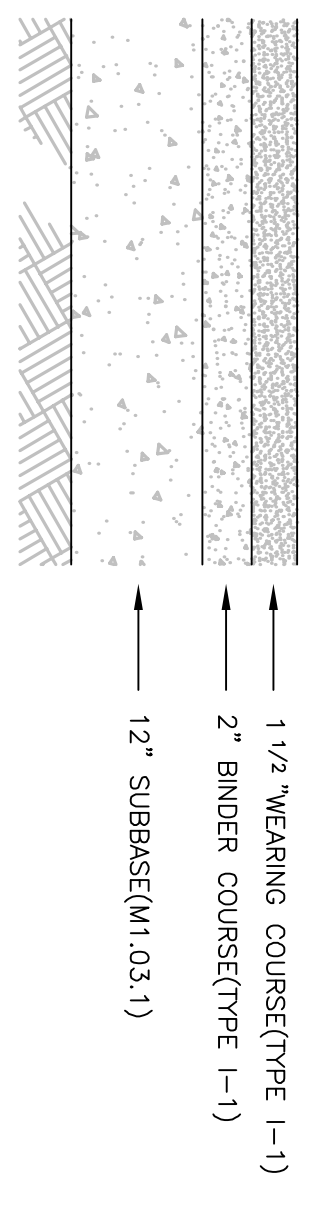
PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752

DETAILS
- WILLIAMS STREET CROSSING -
615 WILLIAMS STREET
MARLBOROUGH, MA 01752

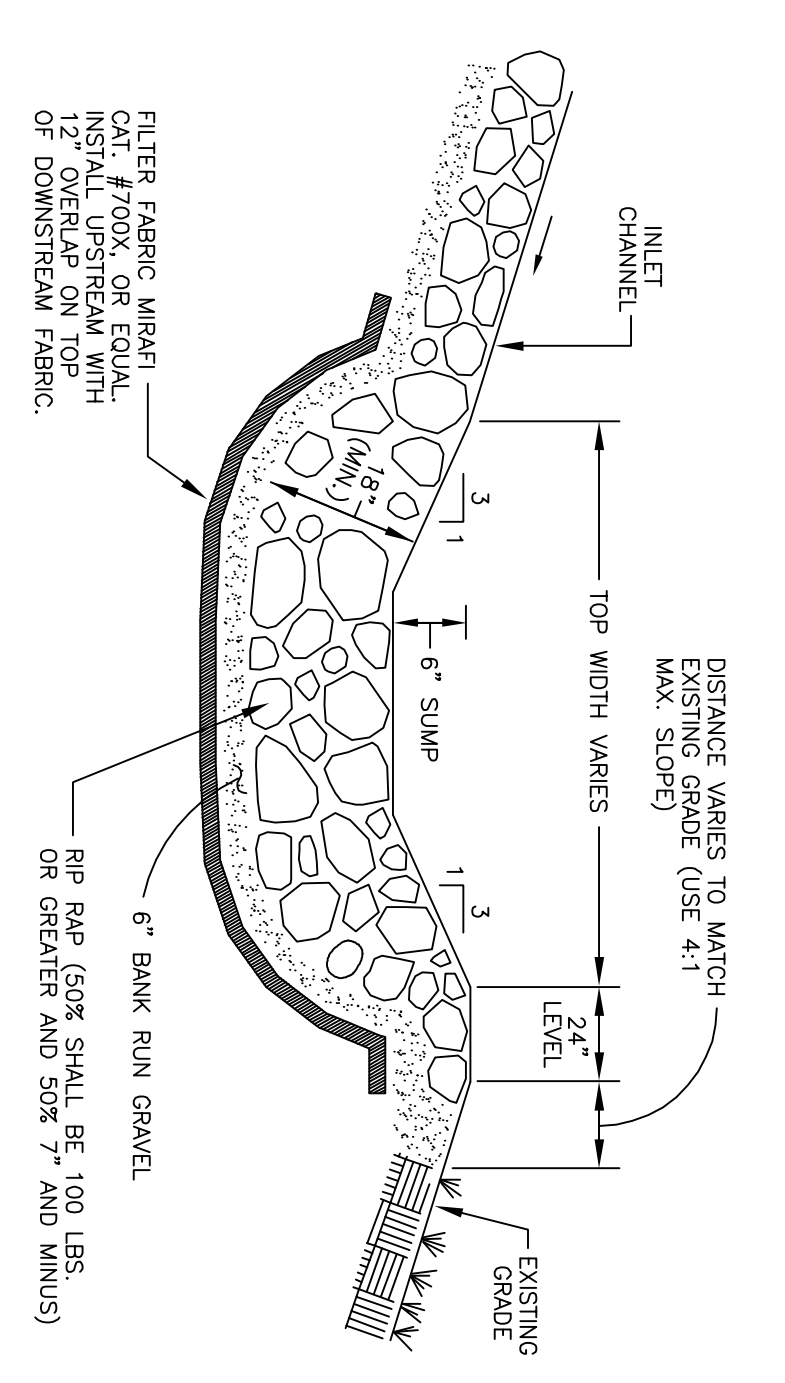


OWNER & APPLICANT:
GERALD J. CARROLL
WILLIAMS STREET HOLDINGS, LLC
2000 COMMONWEALTH AVE.
AUBURNDALE, MA 02466
DATE: FEBRUARY 20, 2019

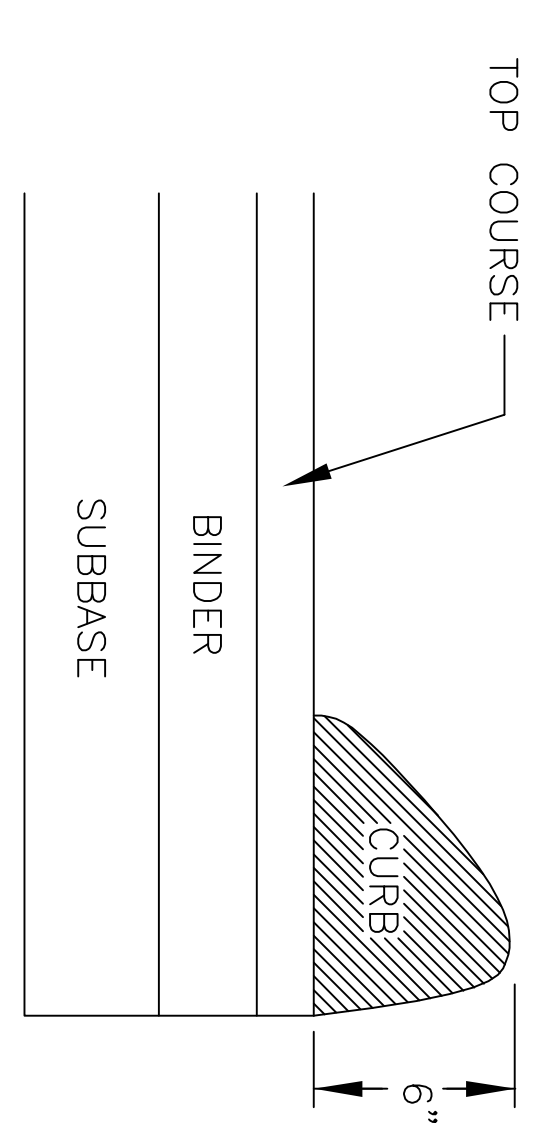




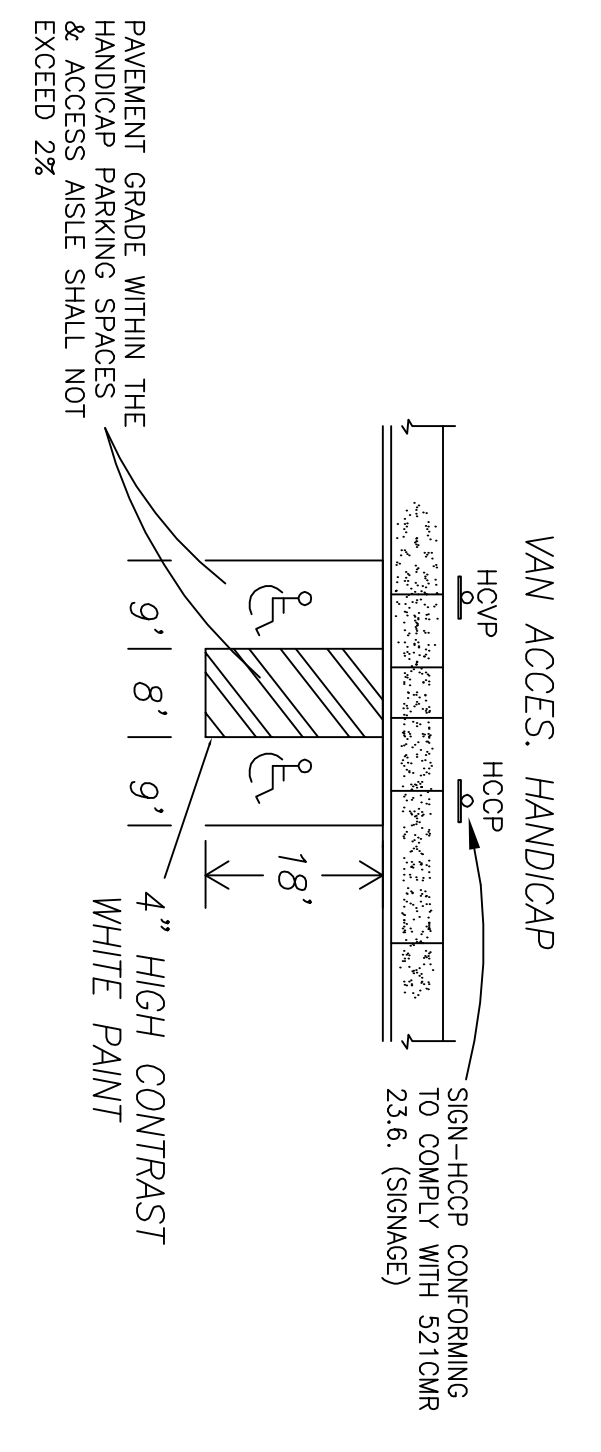
PAVEMENT SECTION
N. T. S. pavemnt.dwg



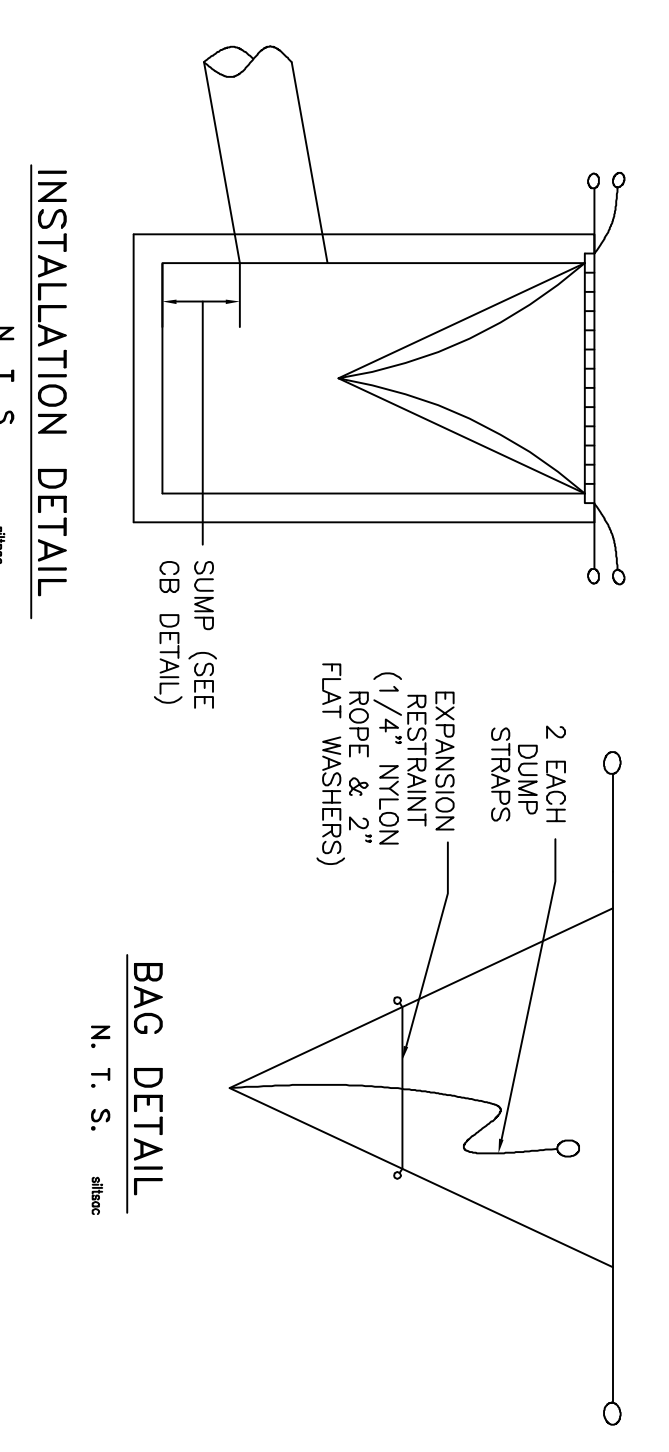
LEVEL SPREADER SECTION
N. T. S. levelsprdr.dwg



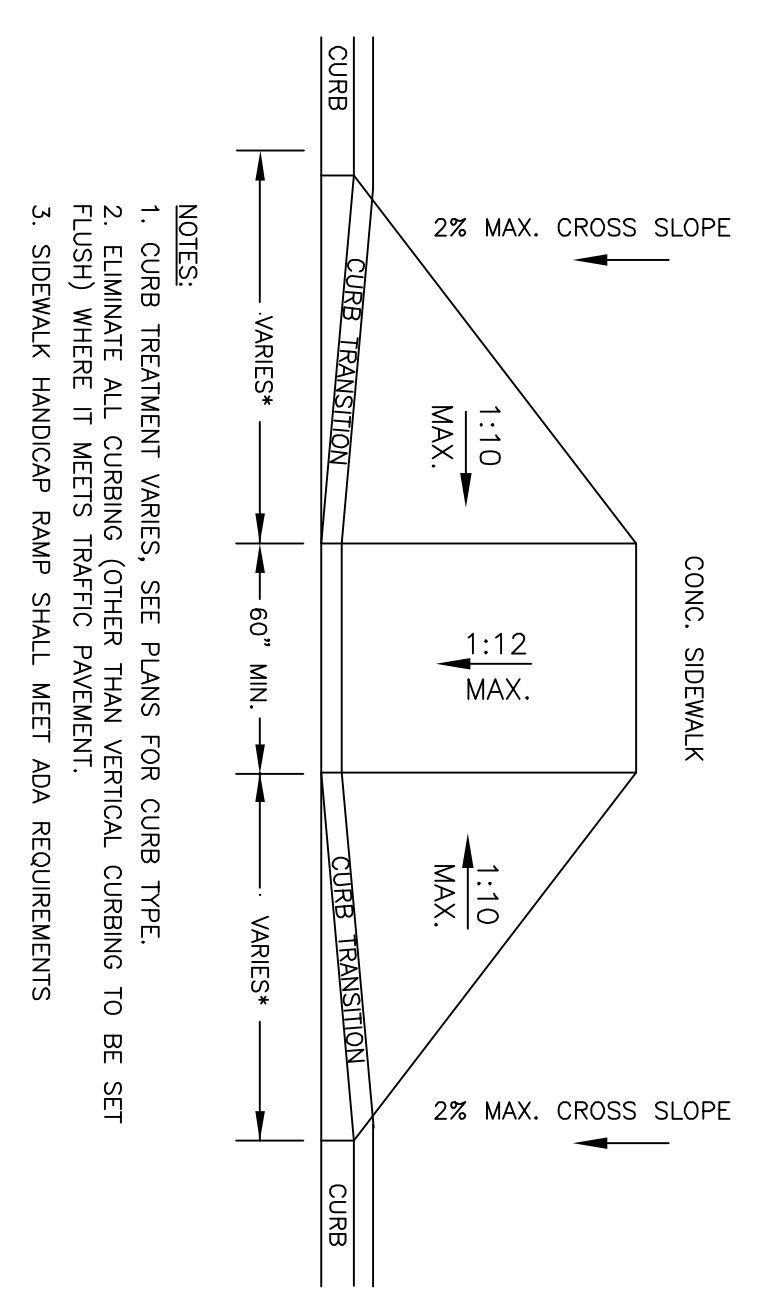
TYPE 2 BERM DETAIL
N. T. S. curbbit1.dwg



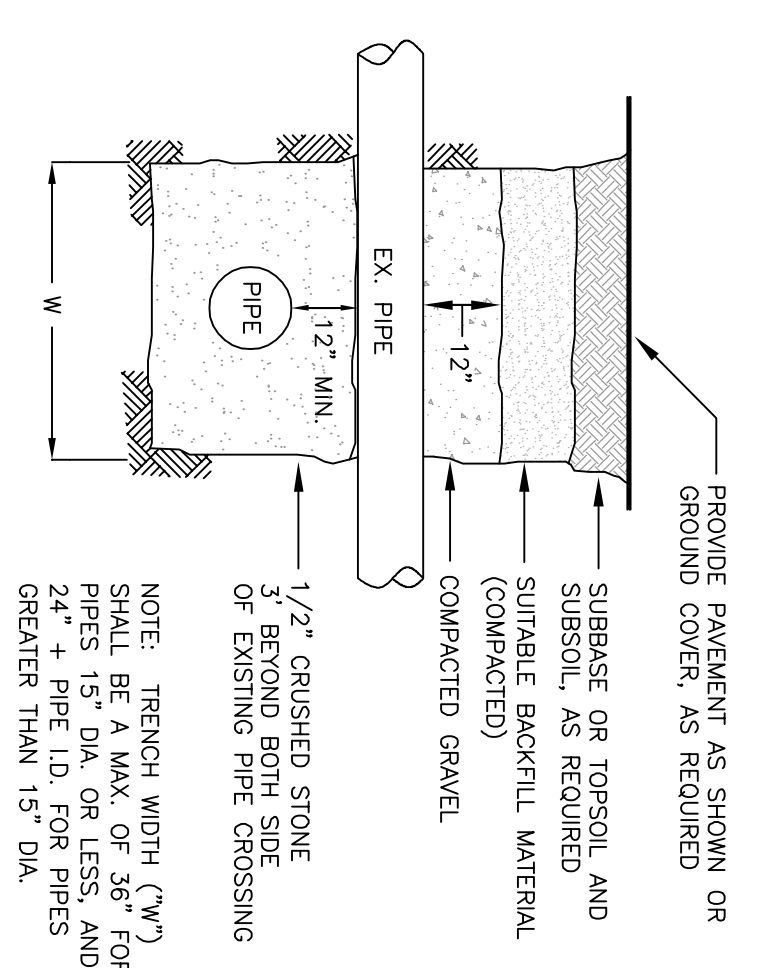
PARKING STALL DIMENSIONS
N. T. S. PARKING STALLS.DWG



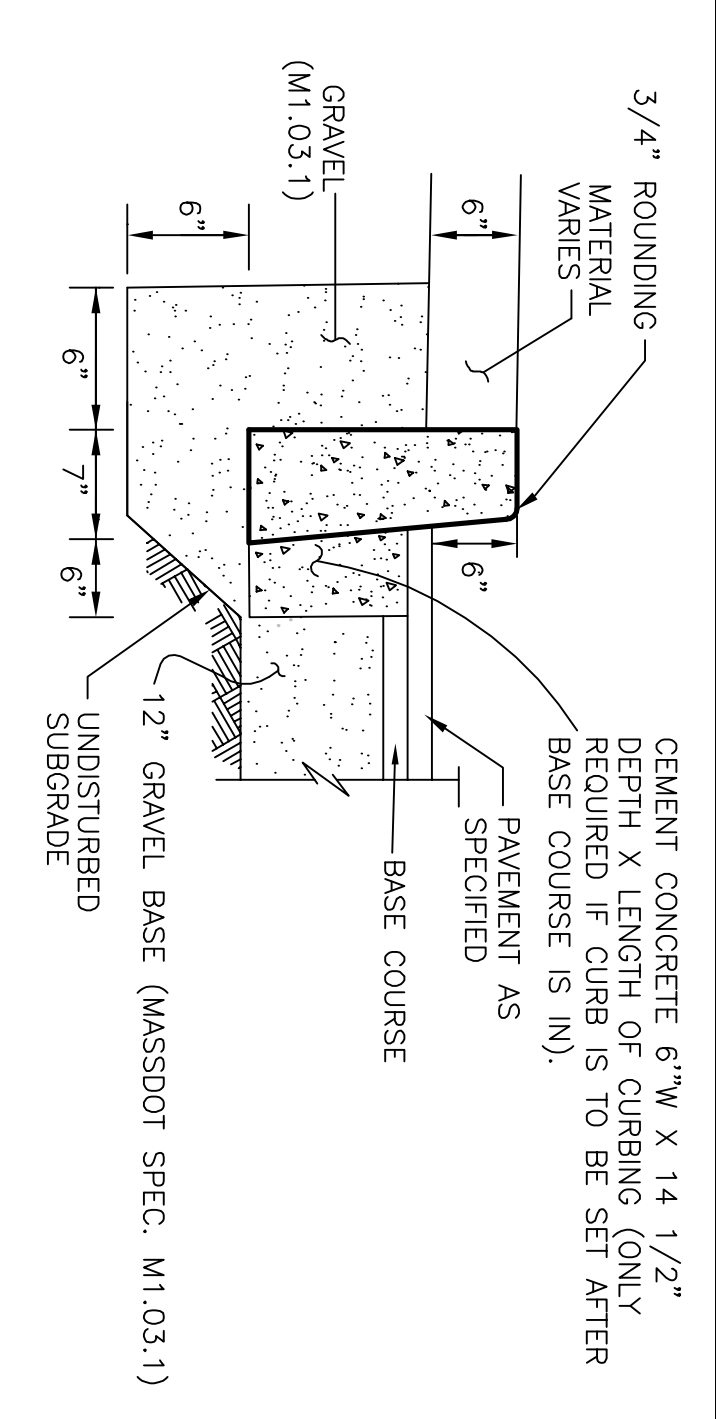
SILTSACK DETAIL
N. T. S.



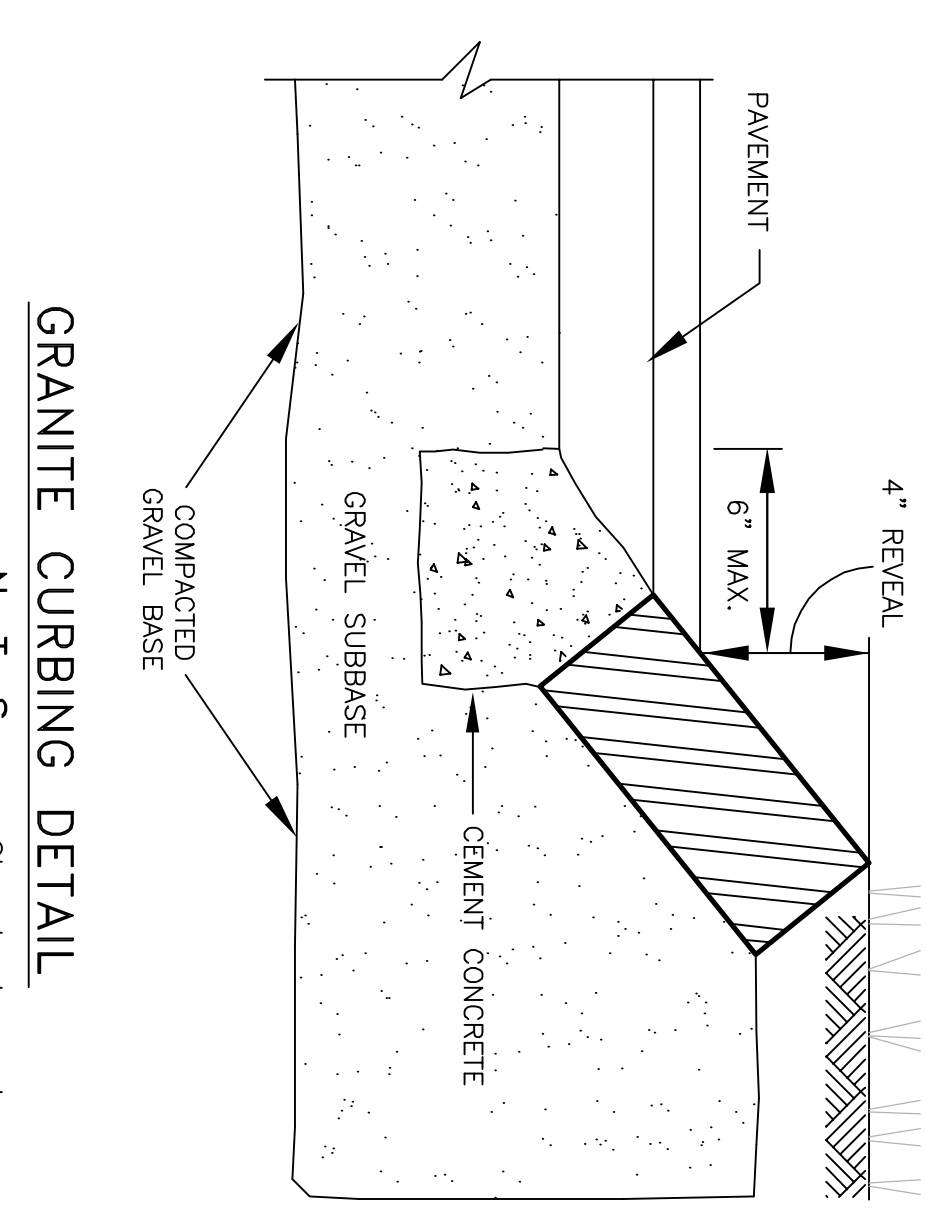
SIDEWALK HANDICAP RAMP
N. T. S.



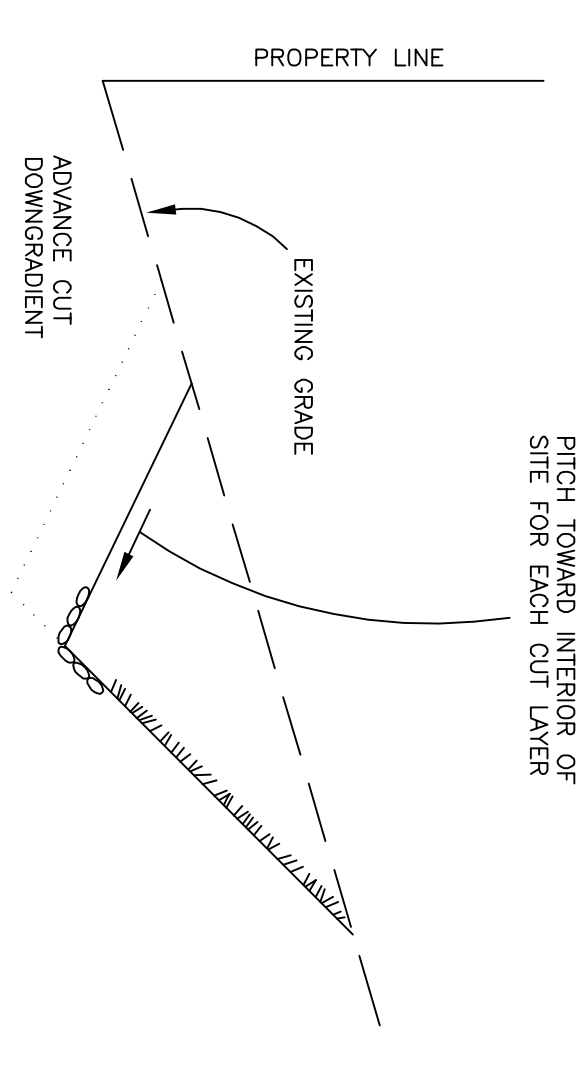
PIPE CROSSING DETAIL
N. T. S.



CONCRETE CURB
N. T. S. concurb.dwg



GRANITE CURBING DETAIL
N. T. S. Slopedcurbingon.dwg

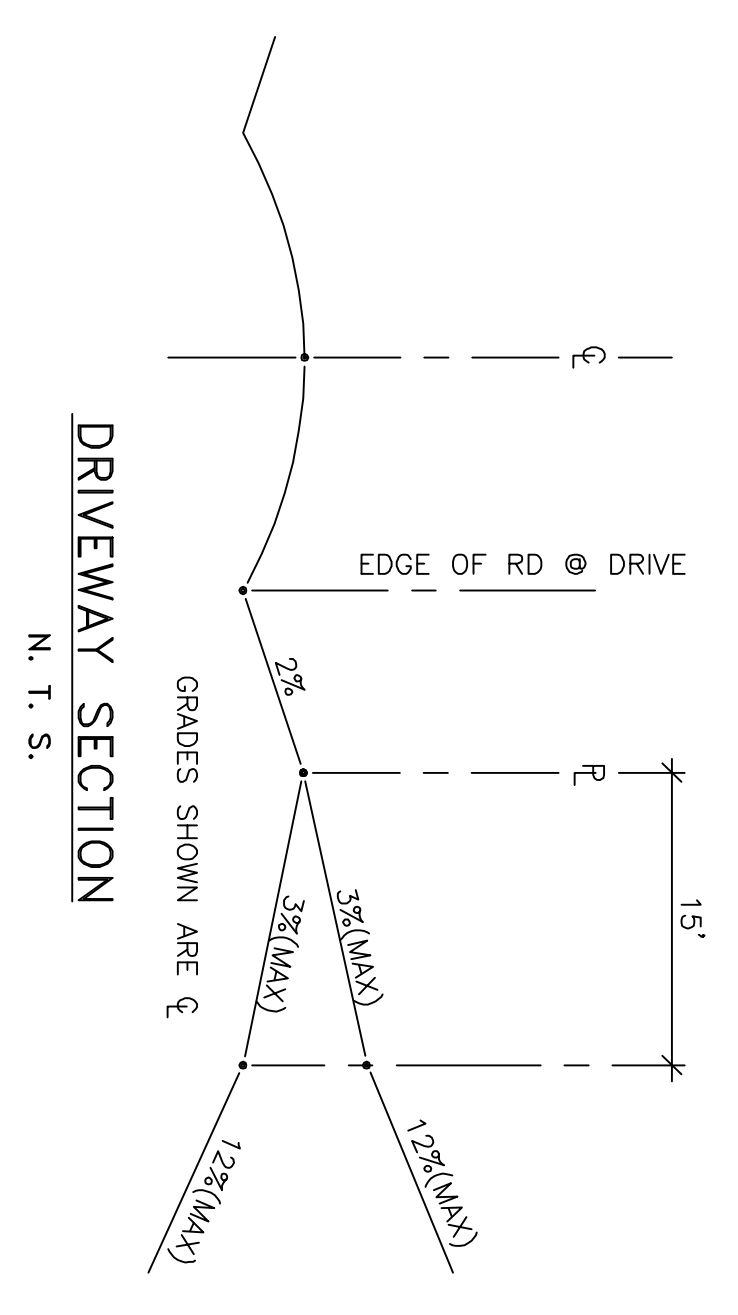


EROSION CONTROL FOR CUT AREAS
N. T. S. Curbarea.dwg

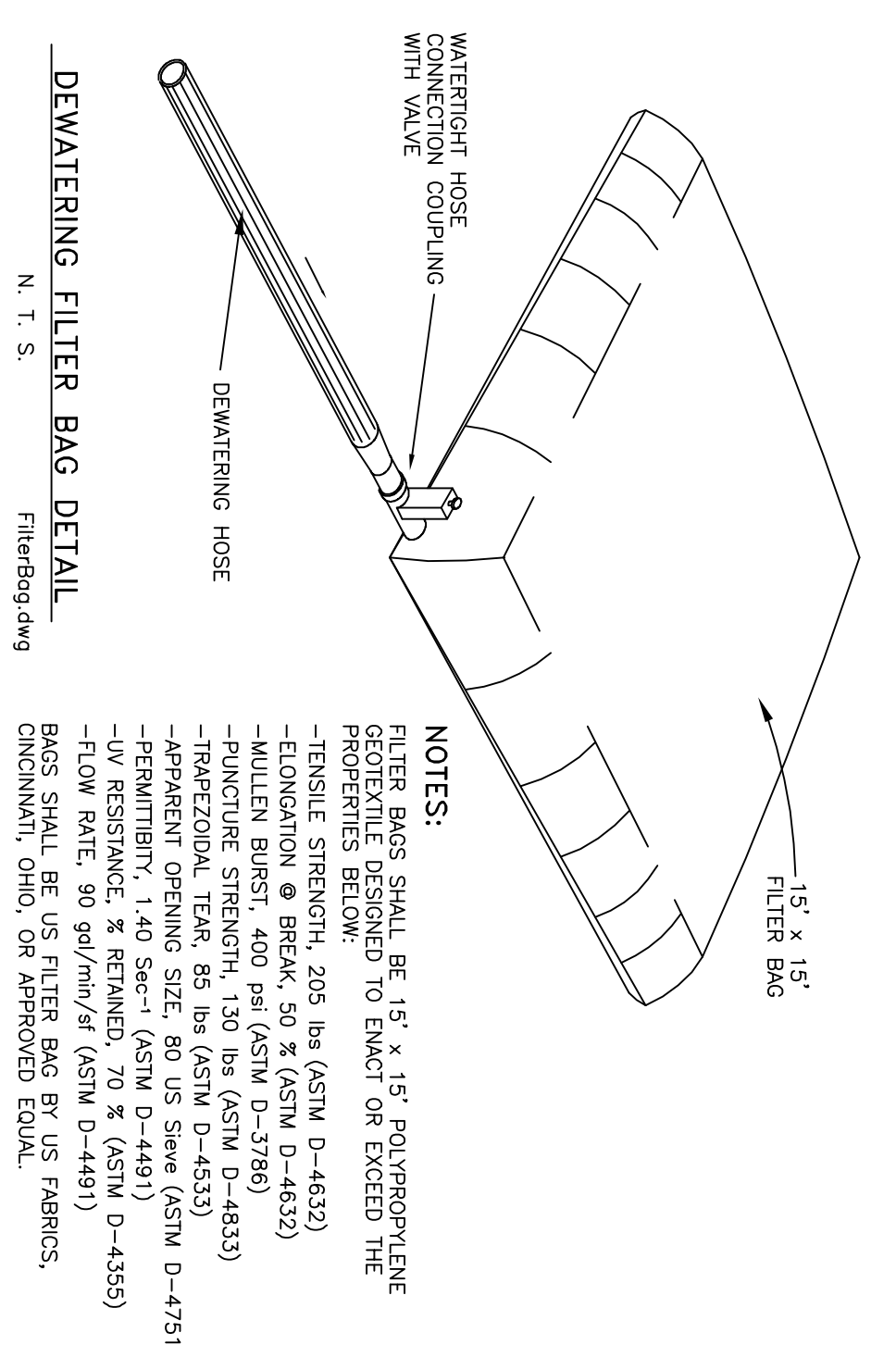
SIGN WITH INDENTIFICATION	QUANTITY REQUIRED (FT.)	TEXT	COLOR		POST SIZE
			BACKGROUND	LEGEND BORDER	
ONE WAY	1	24" x 9"	WHITE	BLACK	UNQUARED W/ D11-11
DO NOT ENTER	2	30" x 30"	RED	WHITE	P10

TRAFFIC SIGNAGE

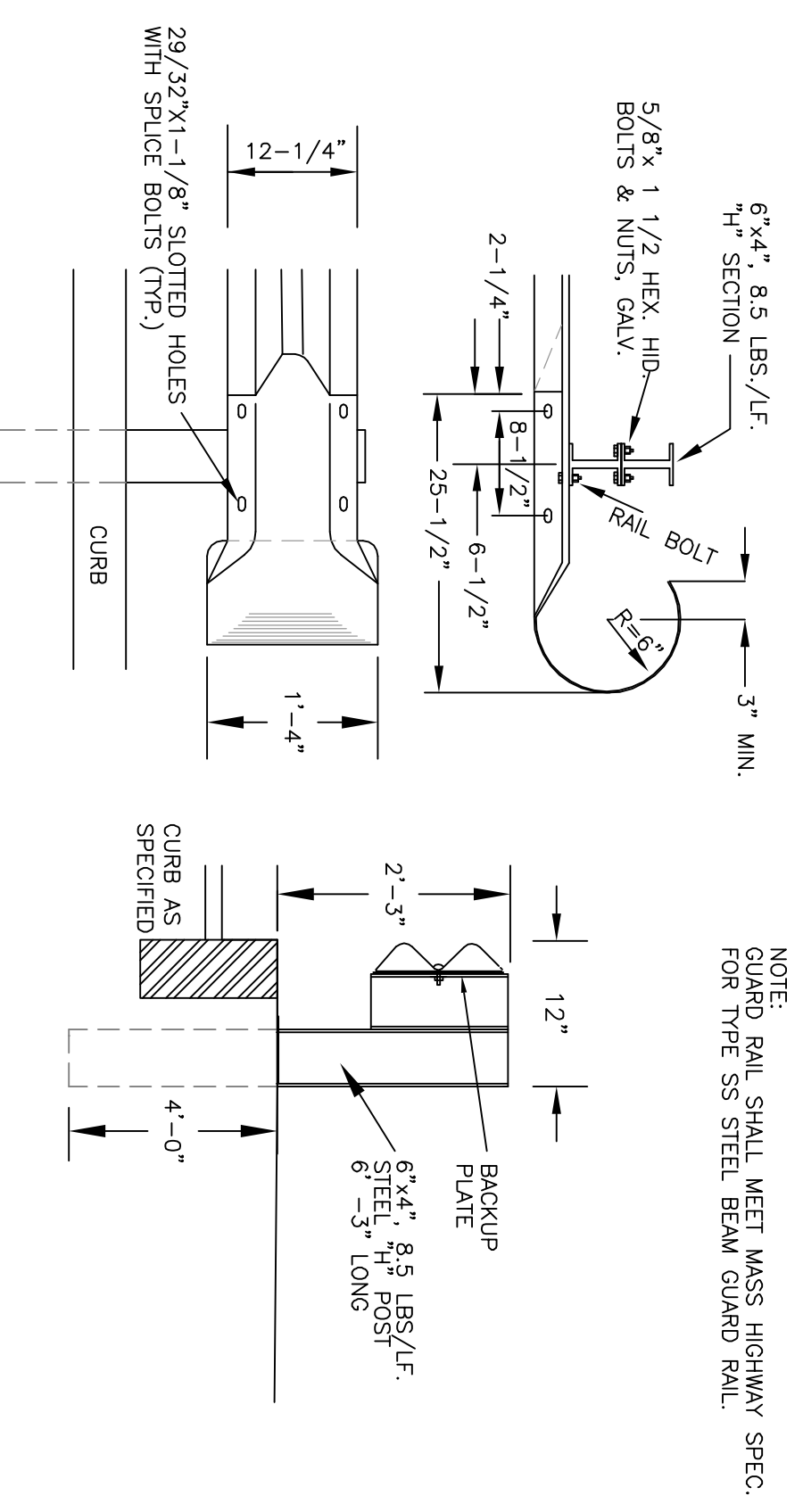
* Test shall comply with the Manual on Uniform Traffic Control Devices For Streets and Highways
** Letter height shall be 6" with 1" vertical spacing.



DRIVEWAY SECTION
N. T. S.



DEWATERING FILTER BAG DETAIL
N. T. S. Filterbag.dwg



STEEL BEAM GUARDRAIL W/ STEEL POST
N. T. S. Steel Guard Rail.dwg

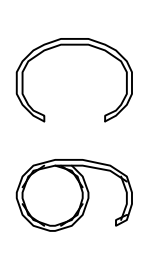
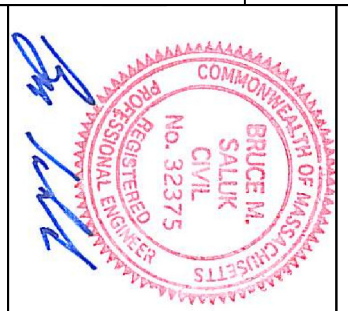
NO.	DATE	DESCRIPTION	BY
3	5-11-20	REMOVE CHANNEL DETAIL	BMS
2	7-19-19	RELOCATED DETAILS FOR SECT. VIEW	BUS
1	3-14-19	PLAN UPDATE	BMS

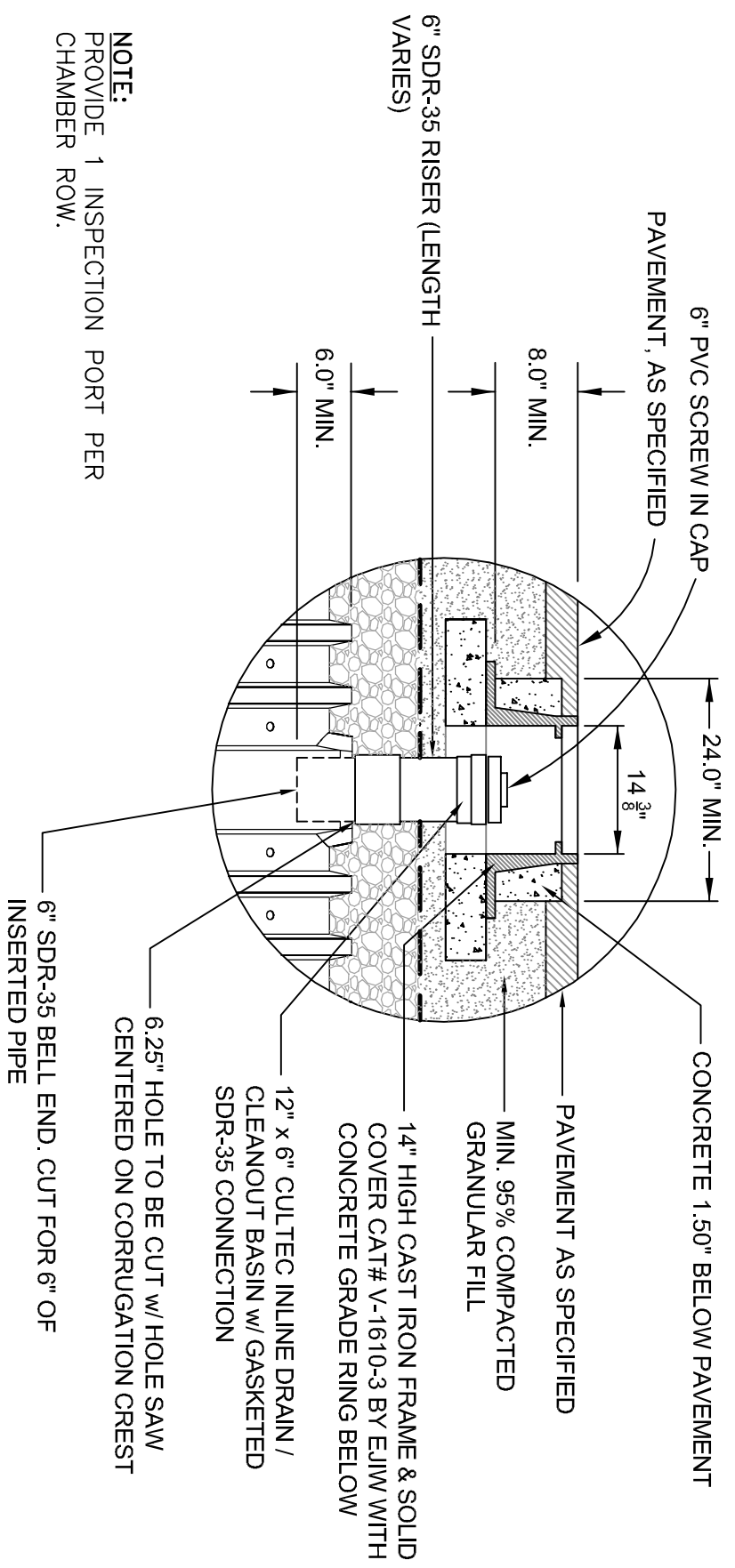
DETAILS

— WILLIAMS STREET CROSSING —
615 WILLIAMS STREET
MARLBOROUGH, MA 01752

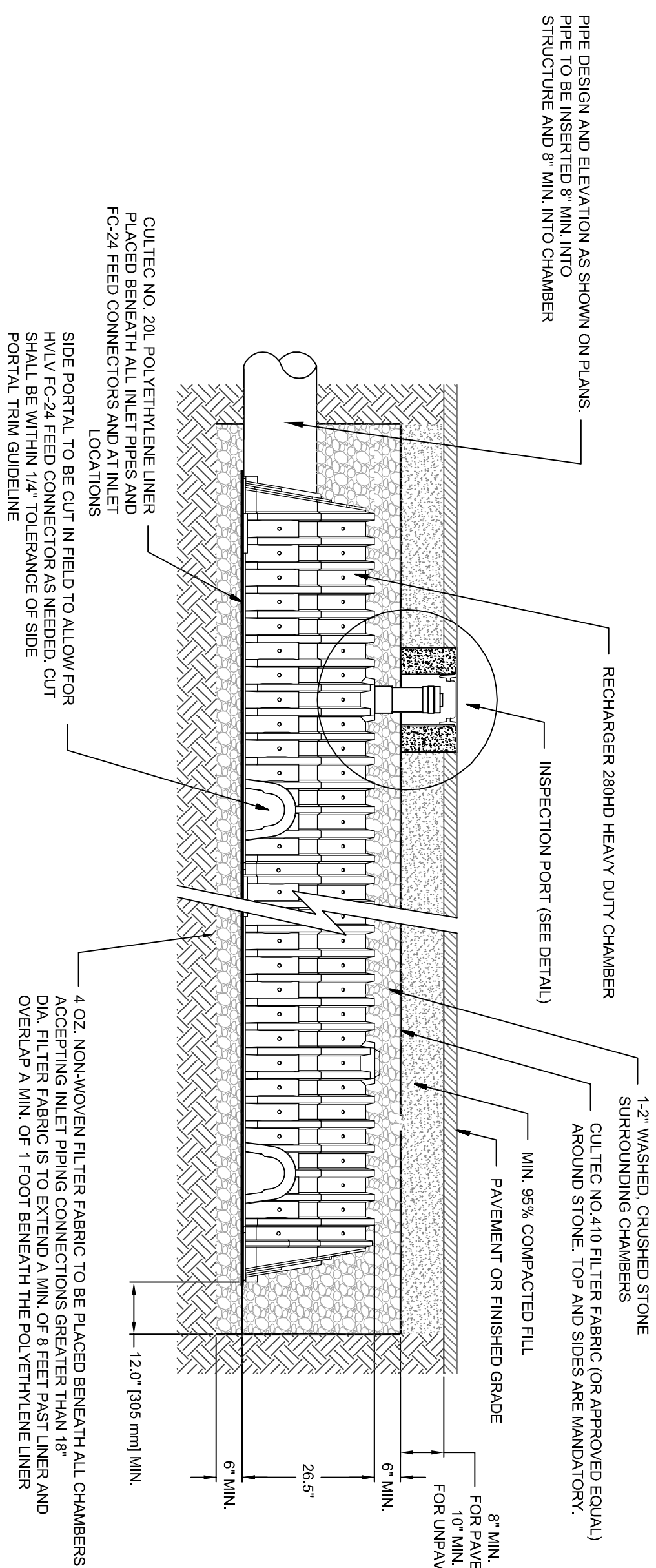
PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752

OWNER & APPLICANT:
GERALD J. CARROLL
WILLIAMS STREET HOLDINGS, LLC
2000 COMMONWEALTH AVE.
AUBURNDALE, MA 02466
DATE: JULY 19, 2019



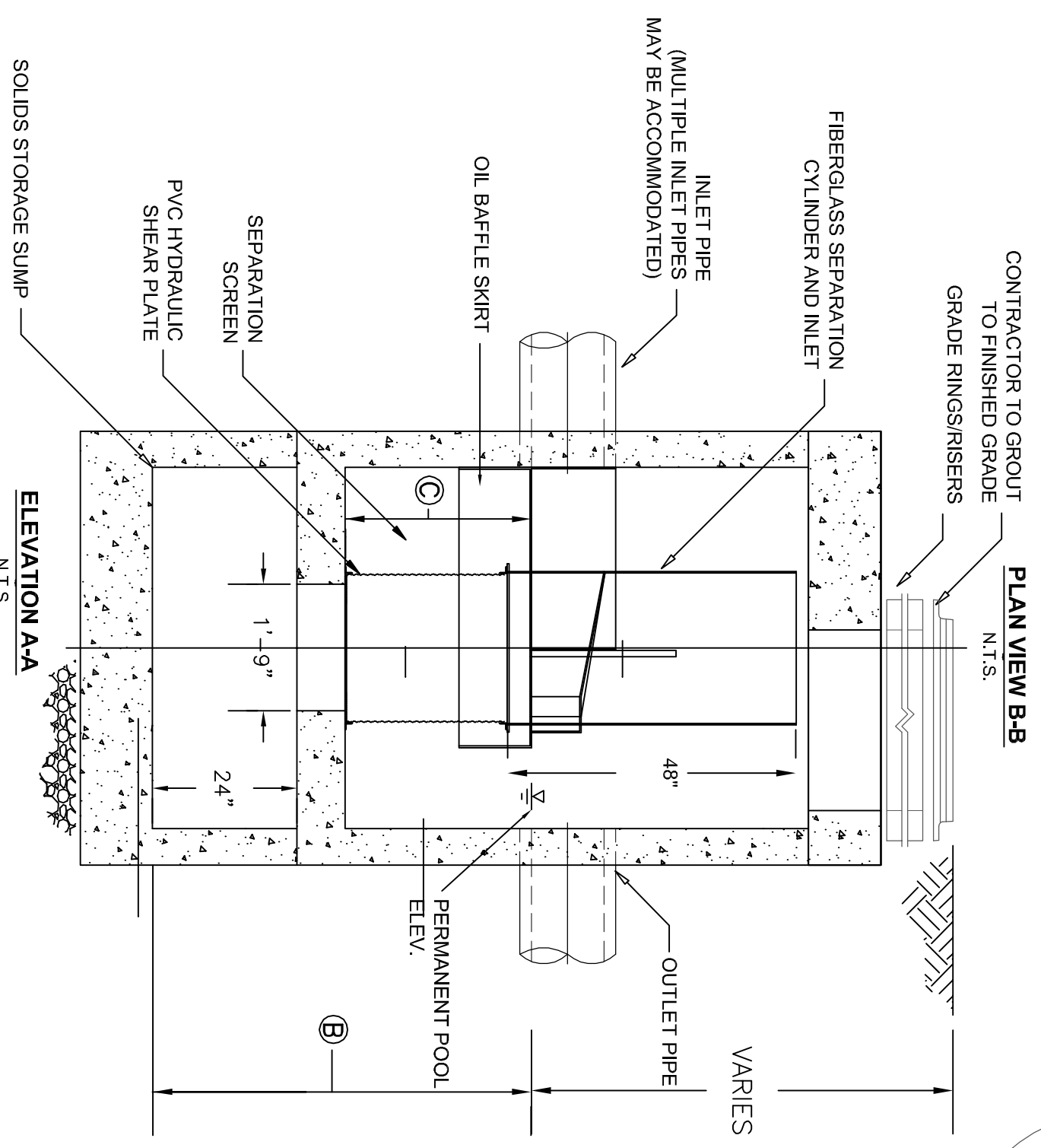
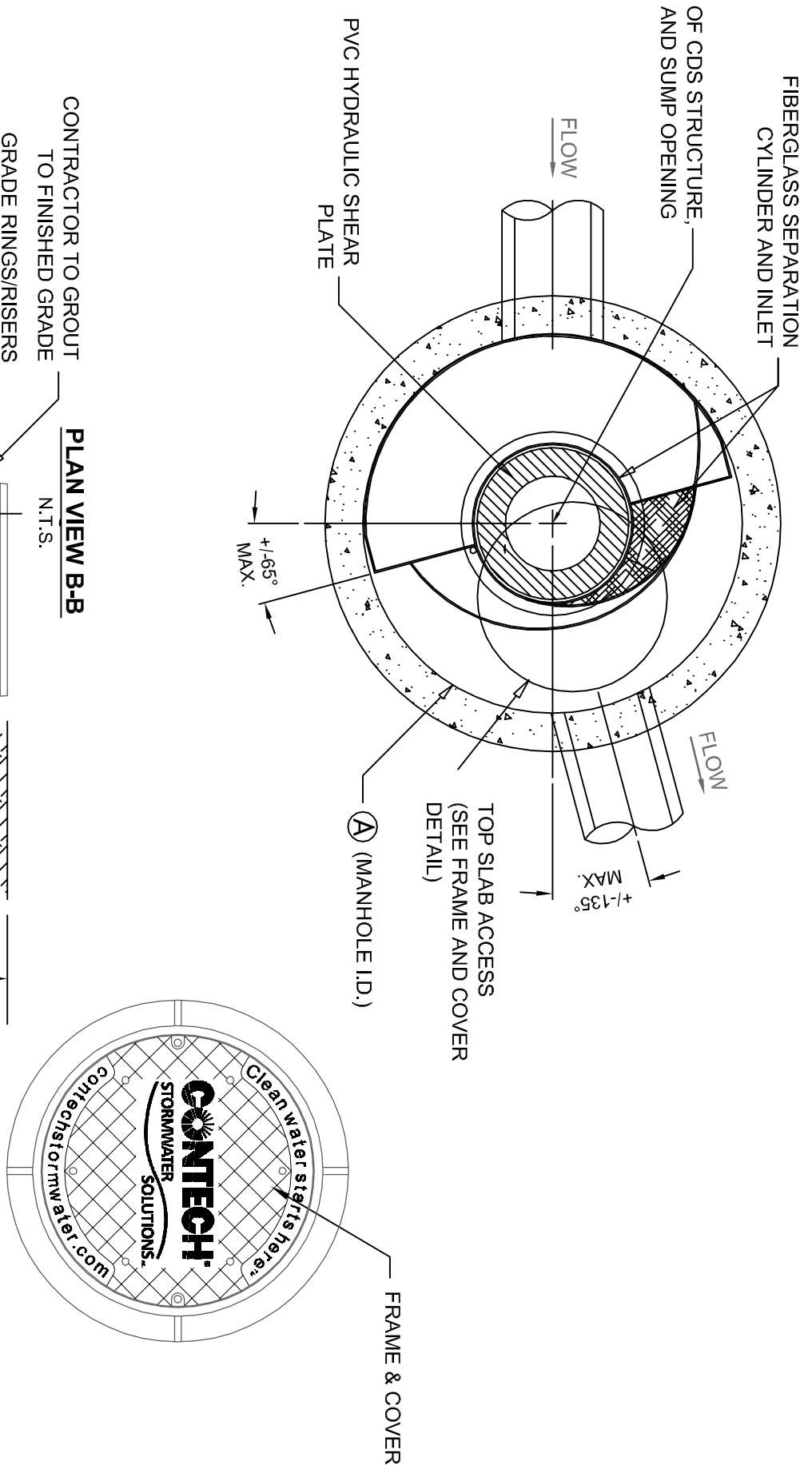
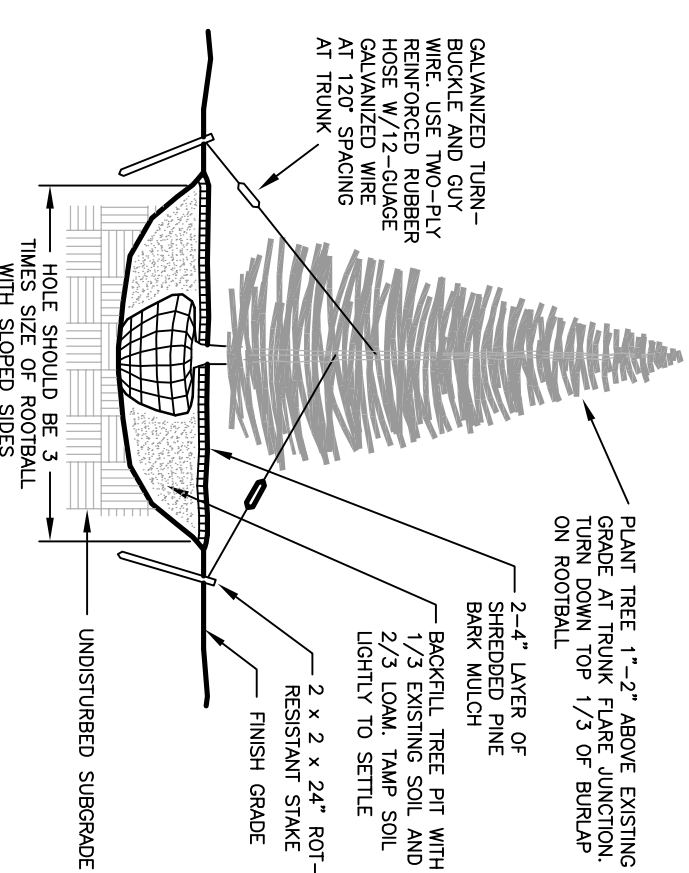


INSPECTION PORT FOR
SUBSURFACE CHAMBER SYSTEM
(PAVED AREAS)
N. T. S.



ROOF CHAMBER SYSTEM(RCS)
— ELEVATION VIEW —
N. T. S.

EVERGREEN TREE
STAKING DETAIL
N. T. S.

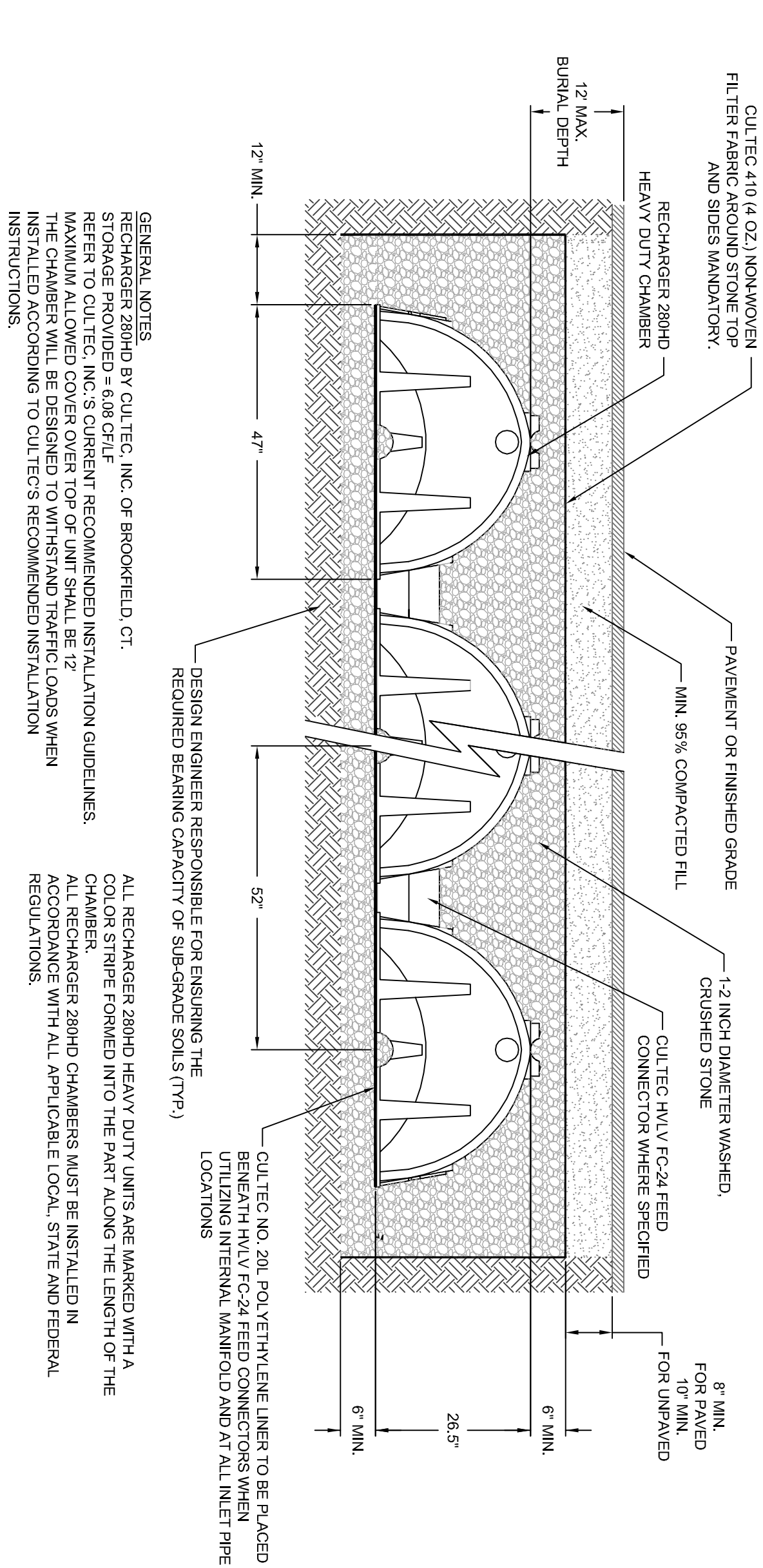


WOI SCHEDULE		
WOI	CCD MODEL #	DIMENSIONS
WOI#1&2	2015-4-C	48" (A) 4'-6" (B) 24" (C)

NOTE
WATER QUALITY INLETS(WOI) SHALL BE BY
CONTECH ENGINEERED SOLUTIONS

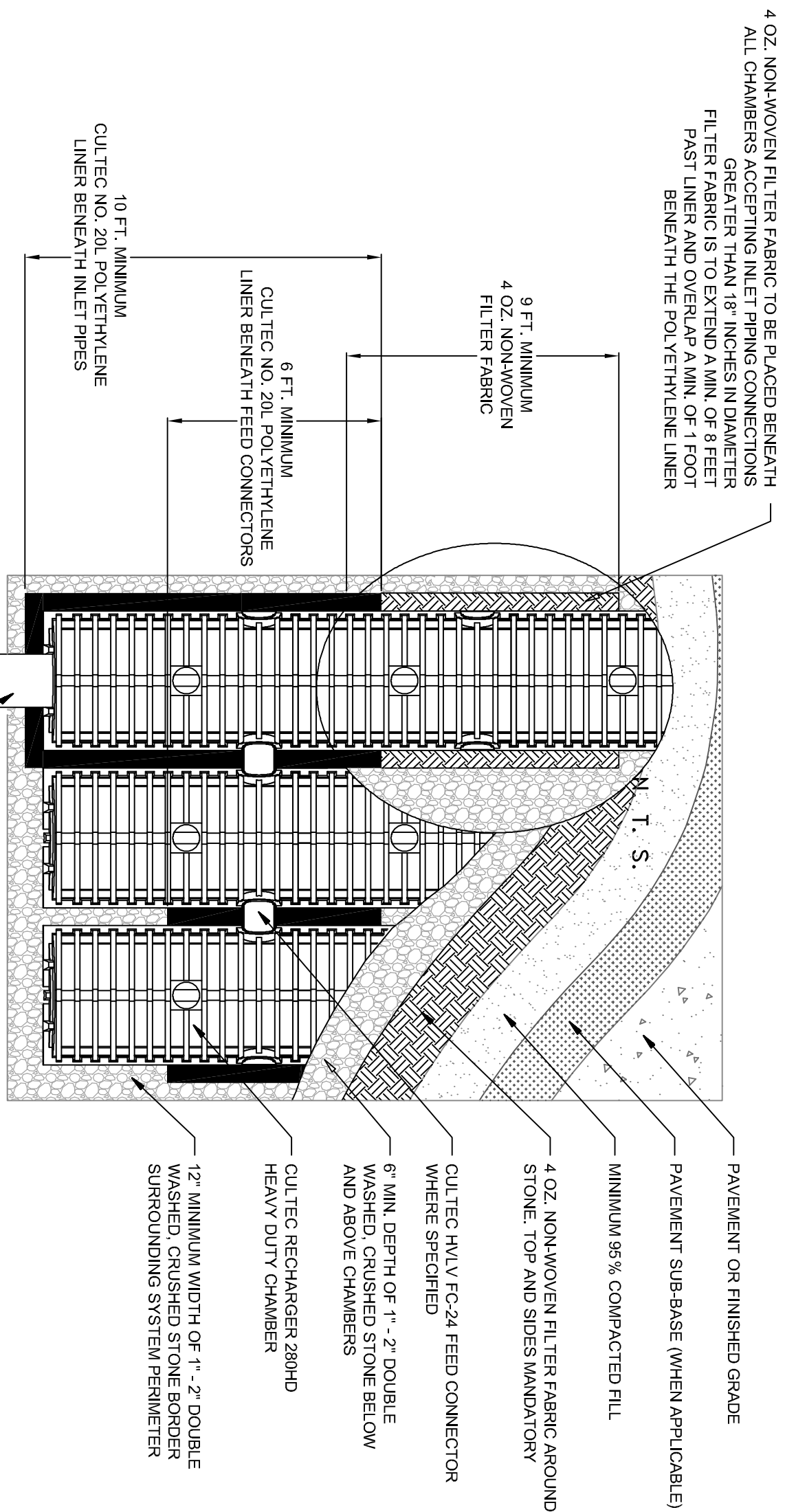
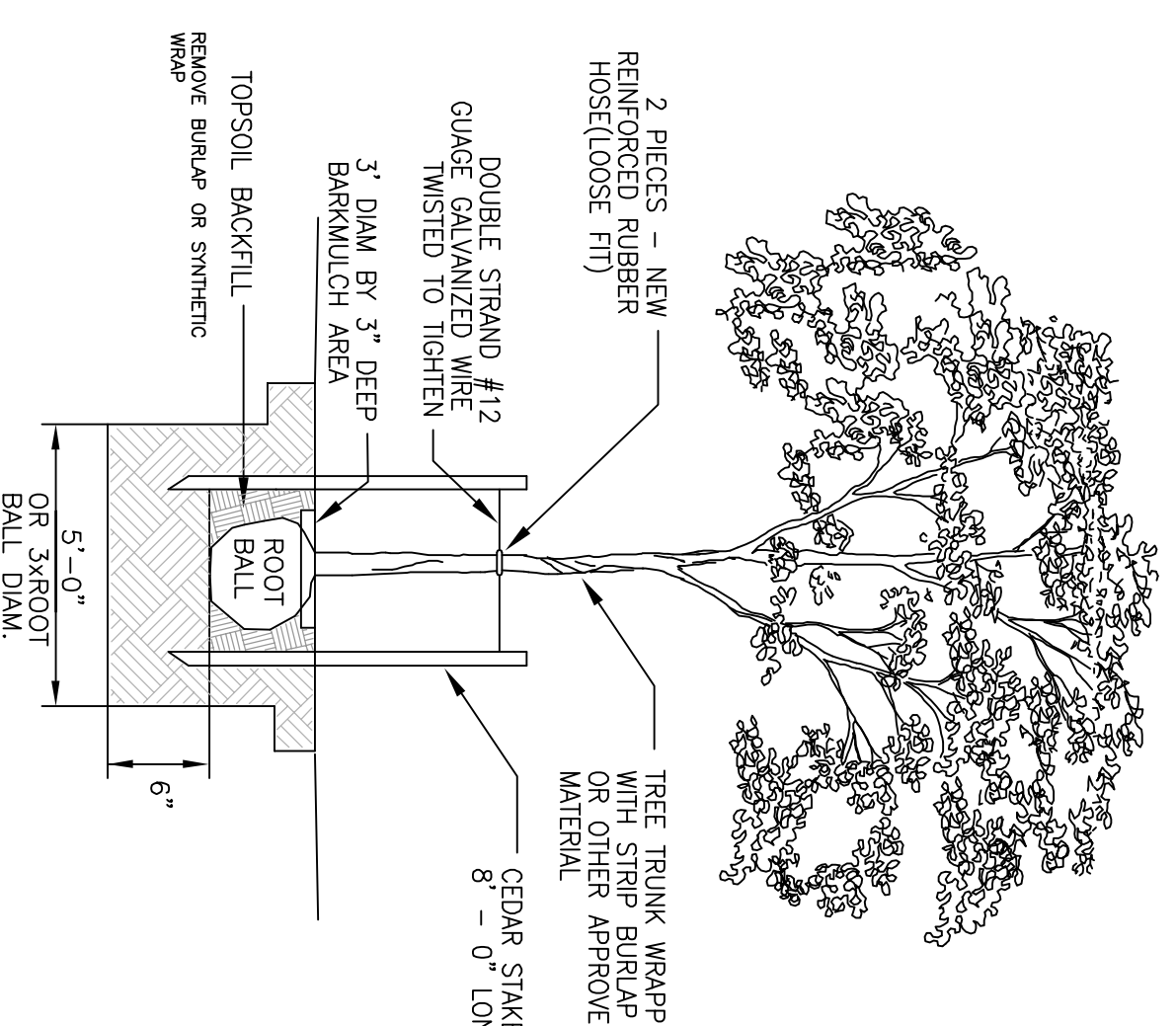
WATER QUALITY INLETS

N. T. S. cde.dwg



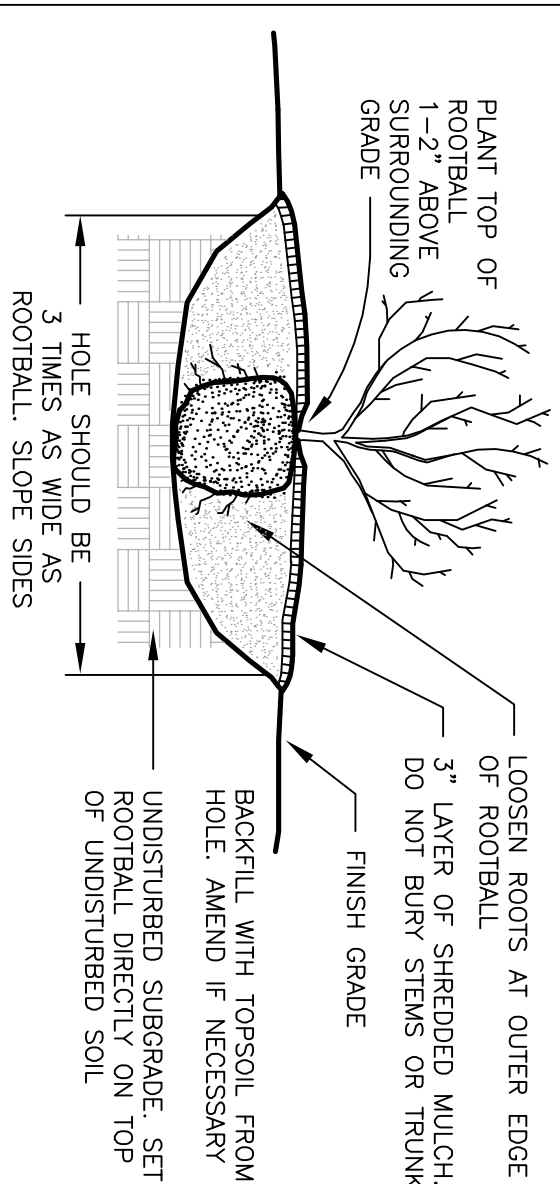
ROOF CHAMBER SYSTEM(RCS)
— SECTION VIEW —
N. T. S.

TREE STAKING DETAIL
N. T. S.



ROOF CHAMBER SYSTEM (RCS)
— PLAN VIEW —
N. T. S.

SHRUB PLANTING DETAIL
N. T. S.



NO.	DATE	DESCRIPTION	BMS BY
1	3-14-19	PLAN UPDATE	BMS

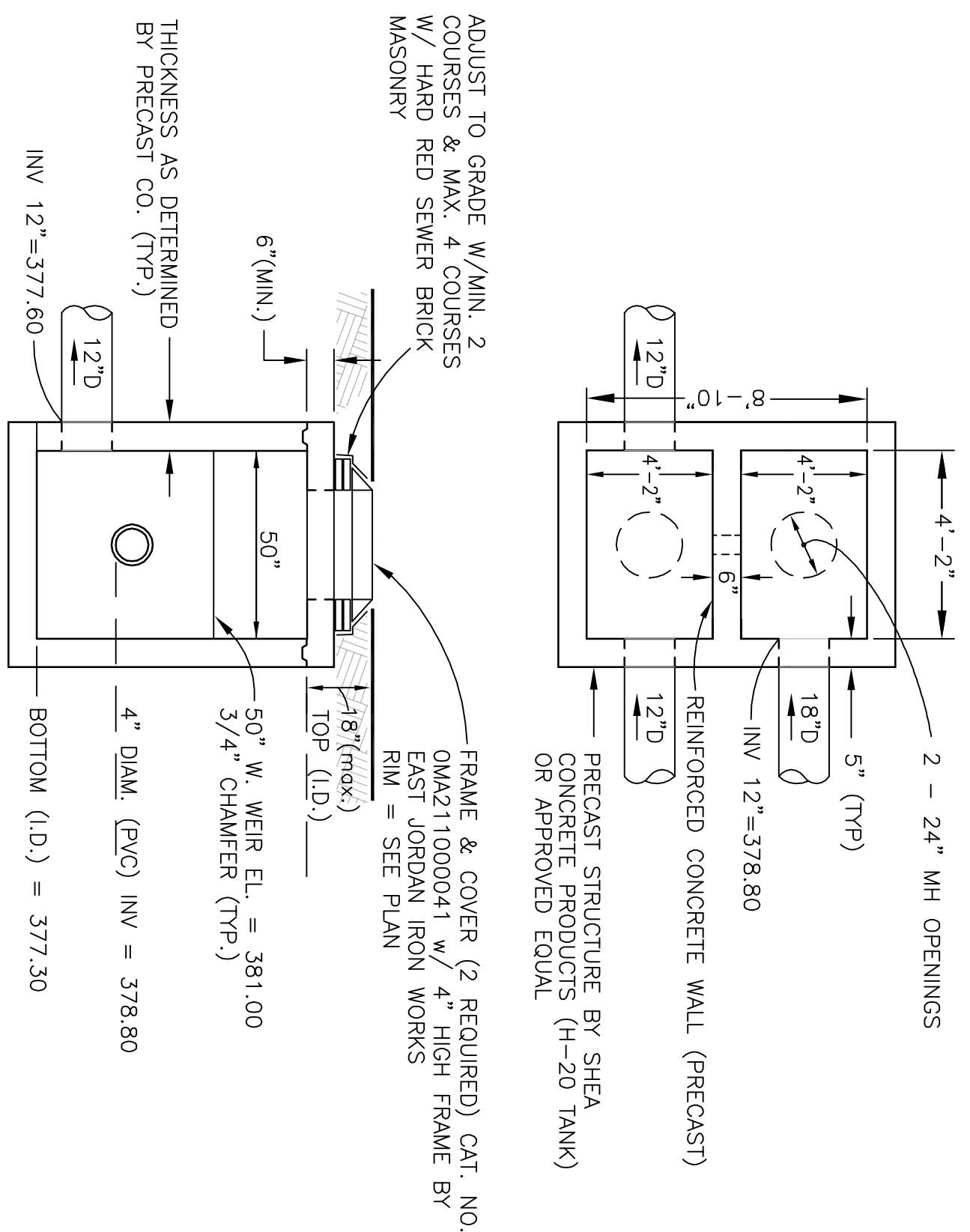
PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752

DETAILS
— WILLIAMS STREET CROSSING —
615 WILLIAMS STREET
MARLBOROUGH, MA 01752

OWNER & APPLICANT:
GERALD J. CARROLL
WILLIAMS STREET HOLDINGS, LLC
2000 COMMONWEALTH AVE.
AUBURDALE, MA 02466
DATE: FEBRUARY 20, 2019

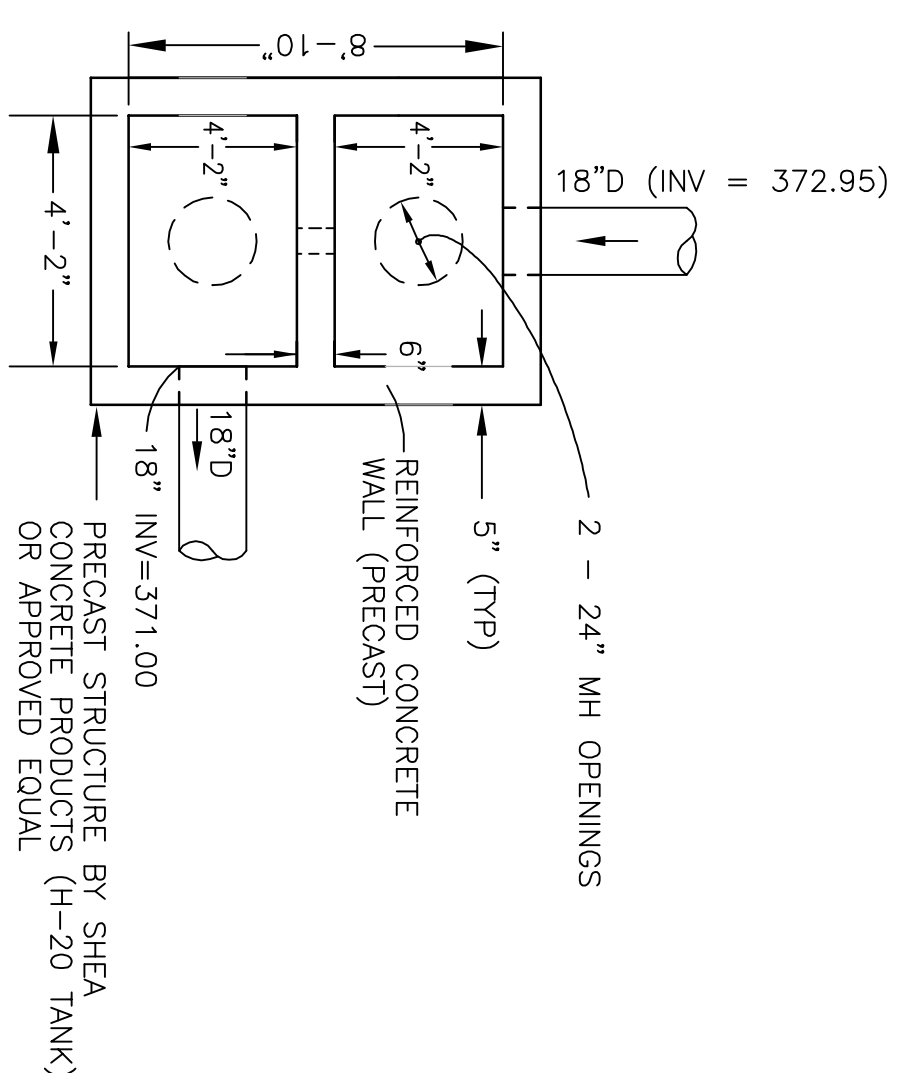
C7

2635 DETAILS.dwg



NOTE:
1.) PROVIDE PRECAST KNOCKOUT: SIZED TO ACCEPT THE PROPOSED PIPES.

OUTLET CONTROL STRUCTURE #1 (OCS#1)
N. T. S.
Outletctrl1.dwg



ADJUST TO GRADE W/MIN. 2 COURSES & MAX. 4 COURSES W/ HARD RED SEWER BRICK MASONRY

FRAME & COVER (2 REQUIRED) CAT. NO. 0MA211000041 W/ 4" HIGH FRAME BY EAST JORDAN IRON WORKS RIM = SEE PLAN

2 - 24" MH OPENINGS

PRECAST STRUCTURE BY SHEA CONCRETE PRODUCTS (H-20 TANK) OR APPROVED EQUAL

5" (TYP)

REINFORCED CONCRETE WALL (PRECAST)

18" INV = 371.00

6" (MIN.)

50"

4" DIA. (PVC) INV = 378.80

THICKNESS AS DETERMINED BY PRECAST CO. (TYP.)

8" DIA. (PVC) INV = 375.00

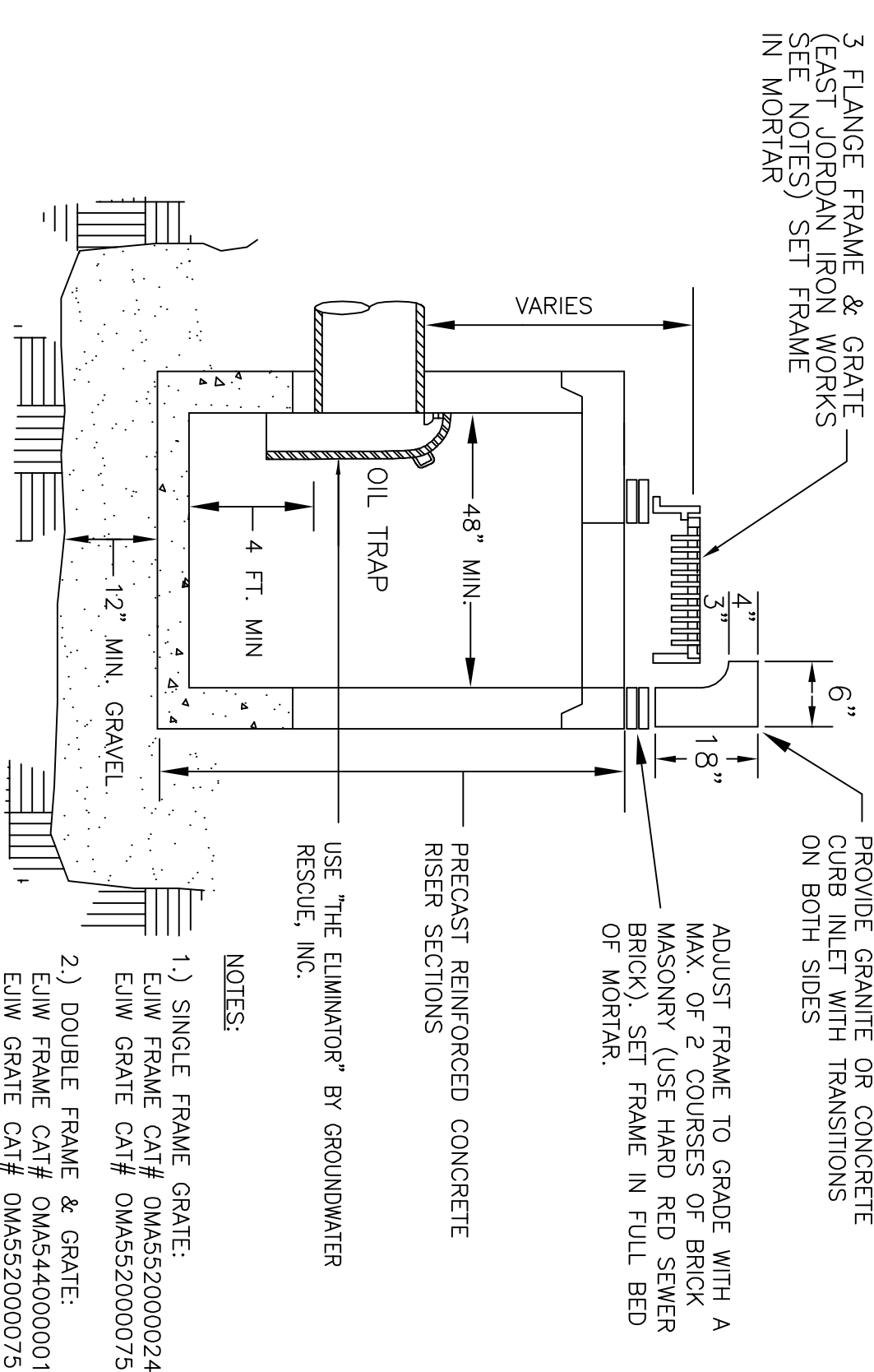
6" DIA. (PVC) INV = 372.65

18" INV = 371.00

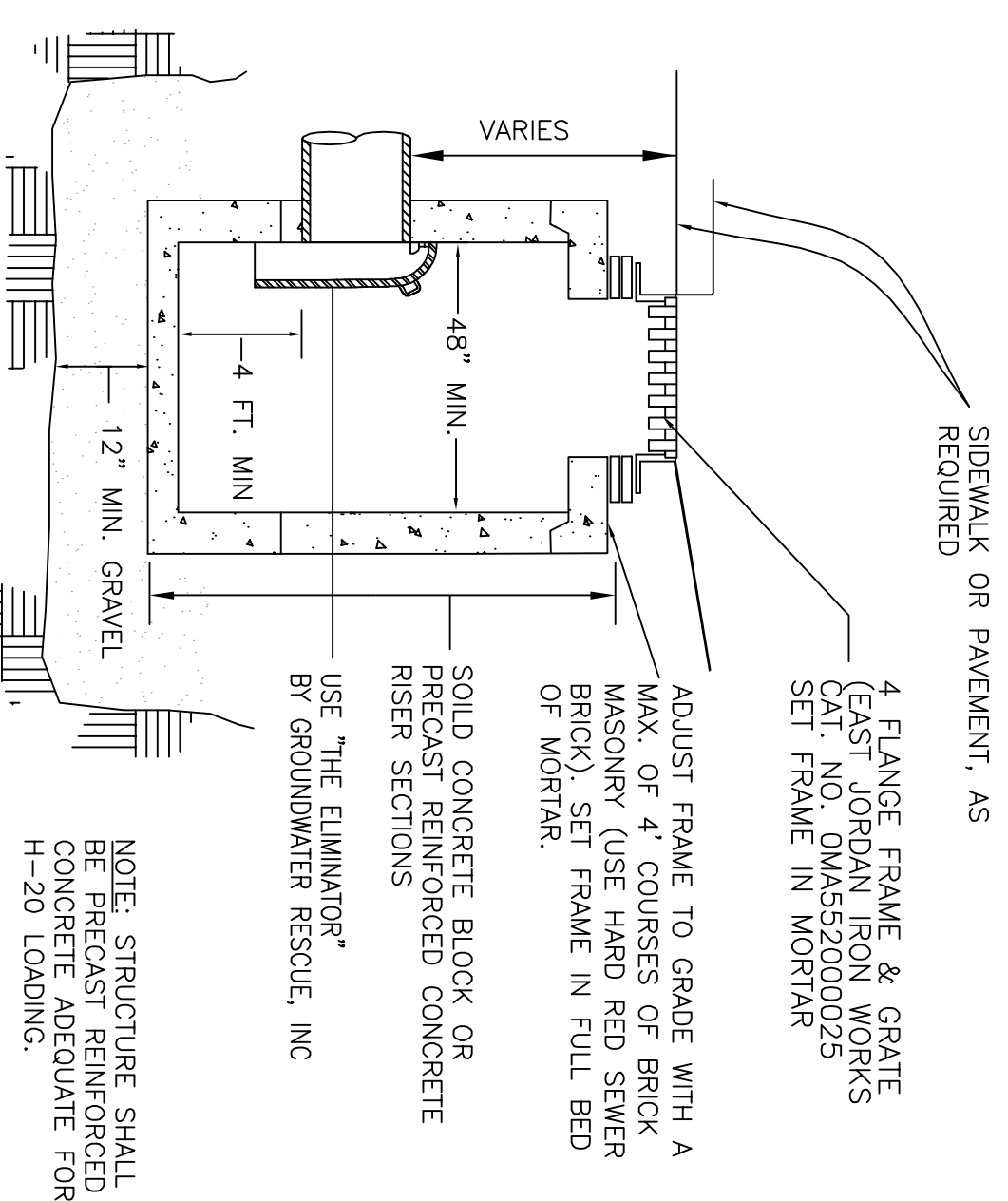
50"

NOTES:
1.) PROVIDE PRECAST KNOCKOUT: SIZED TO ACCEPT THE PROPOSED PIPES.
2.) USE 3/4" CHAMFER FOR WEIRS

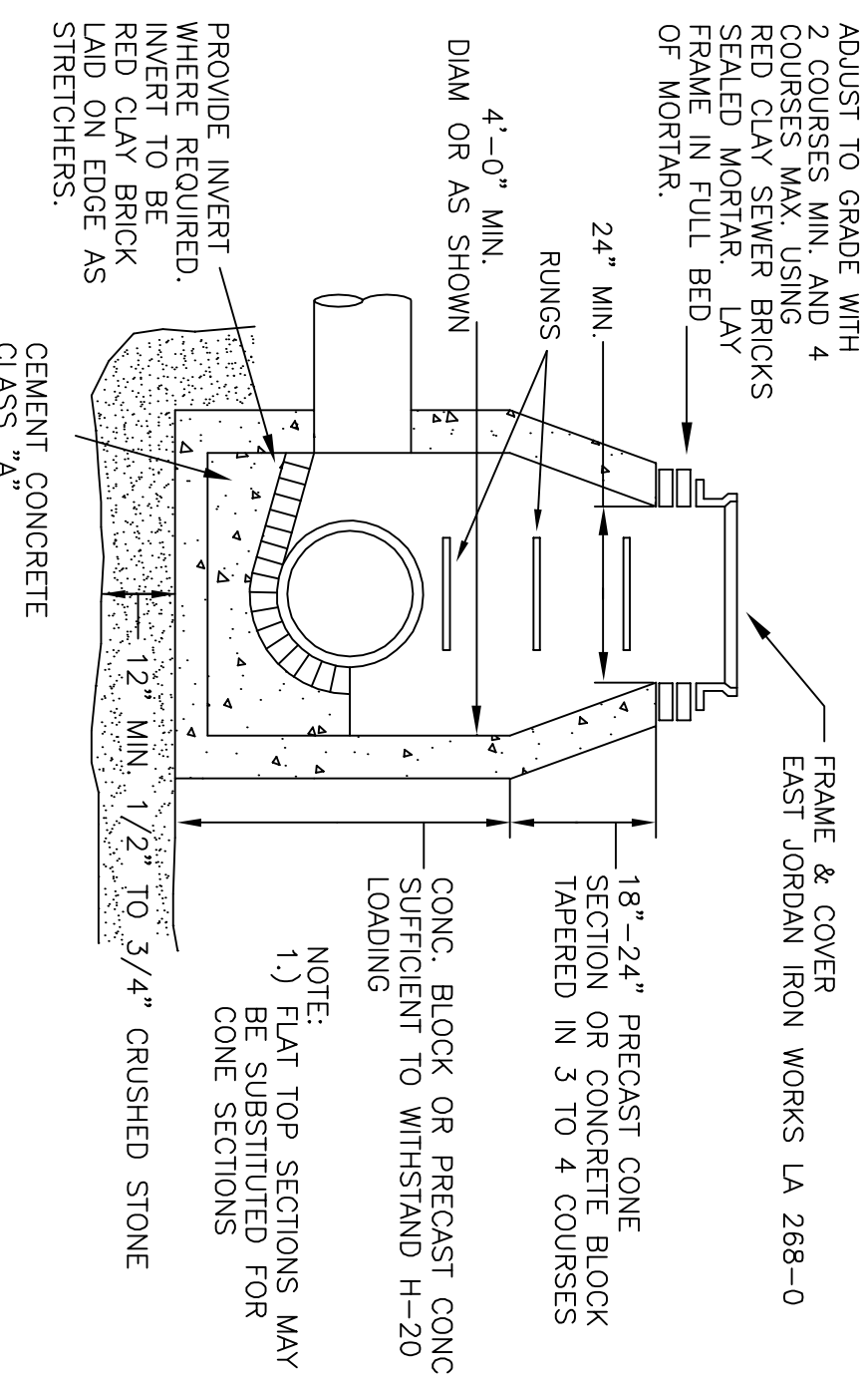
OUTLET CONTROL STRUCTURE #2 (OCS#2)
N. T. S.
Outletctrl2.dwg



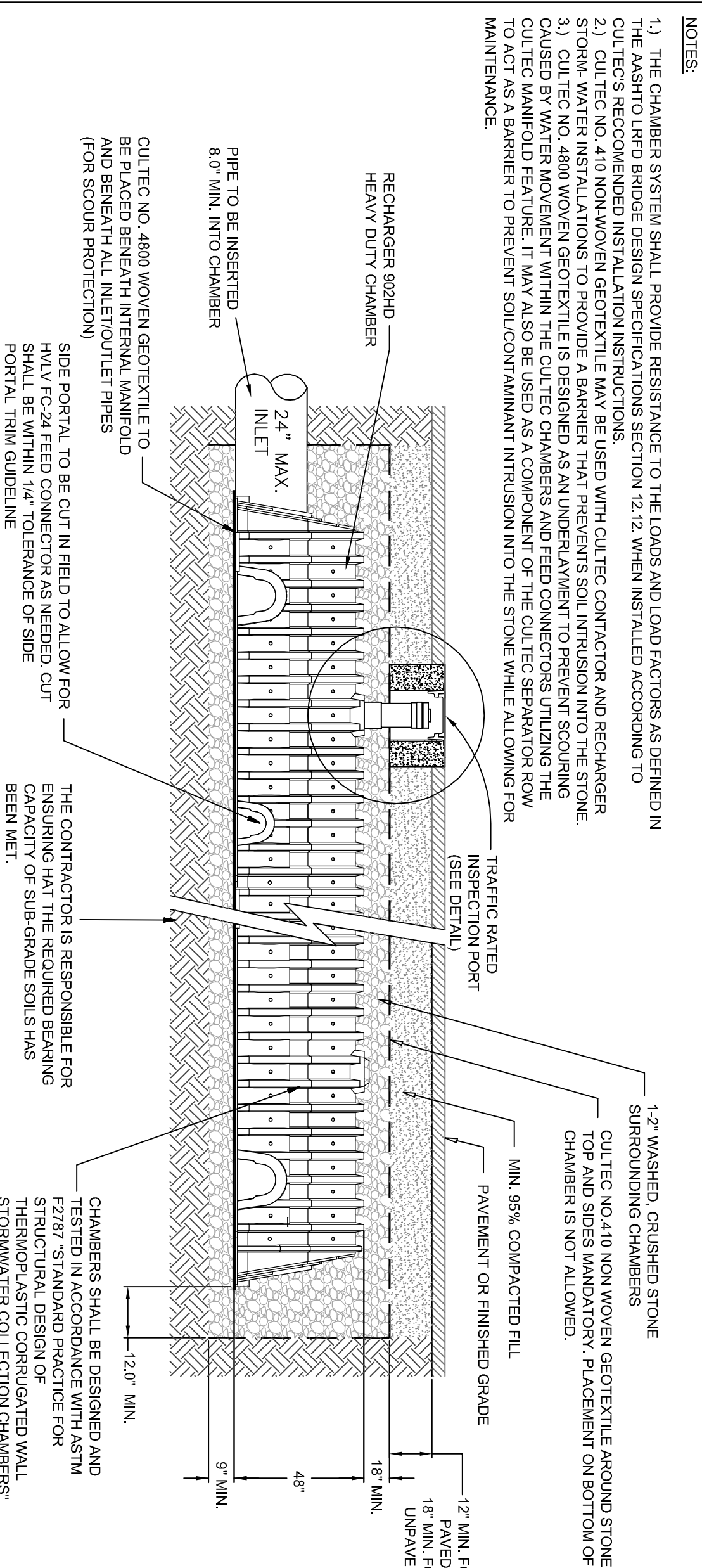
SINGLE & DOUBLE CATCH BASIN WITH CURB INLET
N. T. S.
CB1 - Marlborough.Dwg



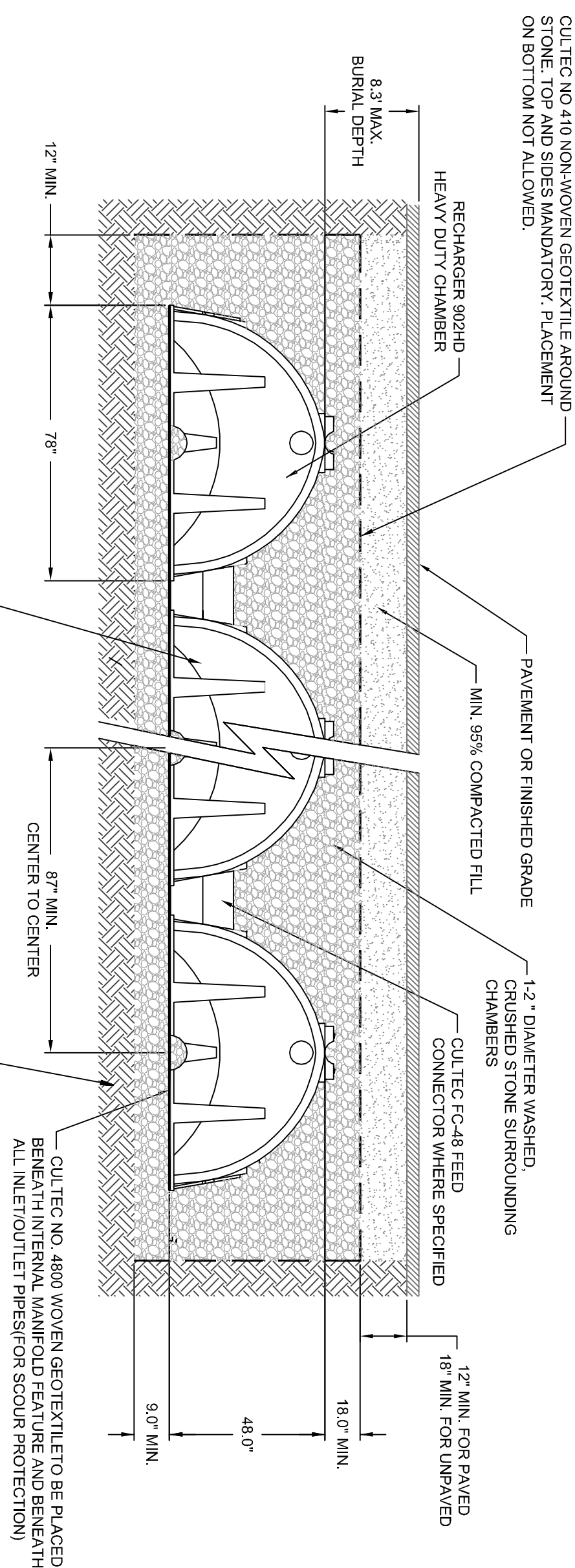
CATCH BASIN
N. T. S.
CB.dwg



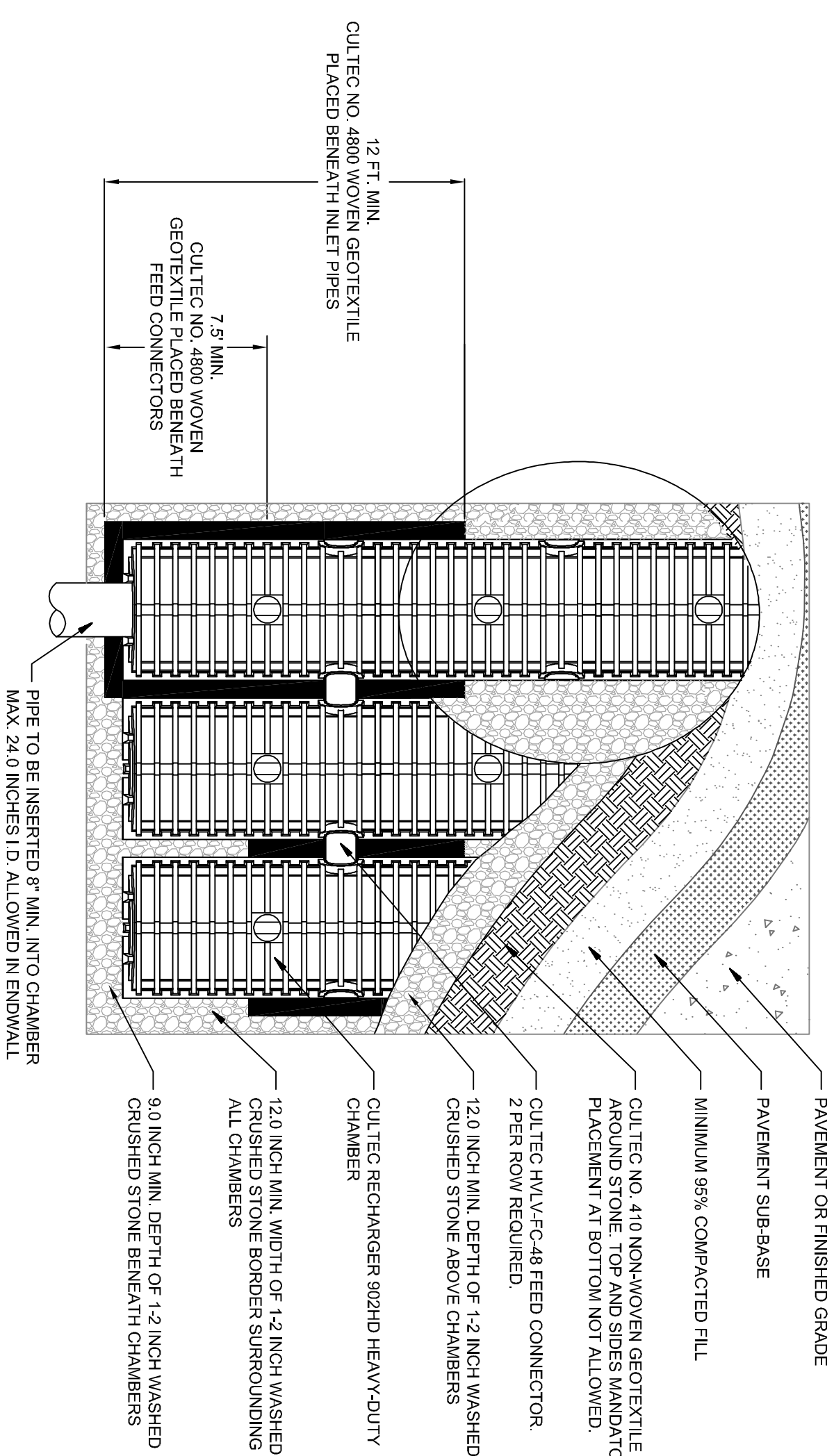
STORM DRAIN MANHOLE W/ STEP
N. T. S.
DMHMarlboro.dwg



SITE CHAMBER SYSTEM (SCS)
- ELEVATION VIEW -
N. T. S.



SITE CHAMBER SYSTEM (SCS)
- SECTION VIEW -
N. T. S.



SITE CHAMBER SYSTEM (SCS)
- PLAN VIEW -
N. T. S.

NO.	DATE	DESCRIPTION	BY
3	6-26-20	REVISED OCS 1 & 2	BMS
2	7-11-19	6" ORIFICE AT OCS#2	BMS
1	3-14-19	PLAN UPDATE	BMS

PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752

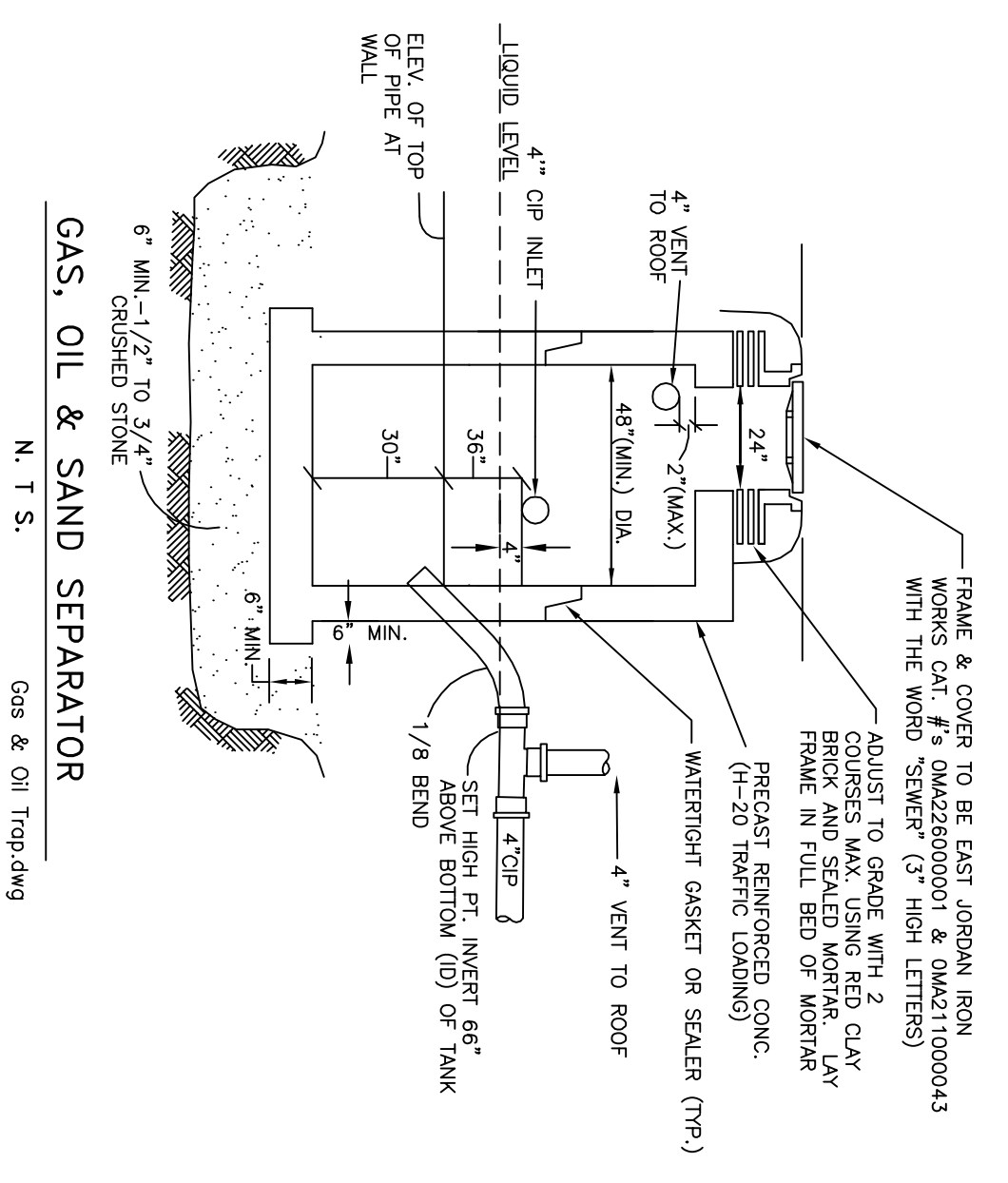
DETAILS

WILLIAMS STREET CROSSING
615 WILLIAMS STREET
MARLBOROUGH, MA 01752

OWNER & APPLICANT:
GERALD J. CARROLL
WILLIAMS STREET HOLDINGS, LLC
2000 COMMONWEALTH AVE.
AUBURDALE, MA 02466
DATE: FEBRUARY 20, 2019



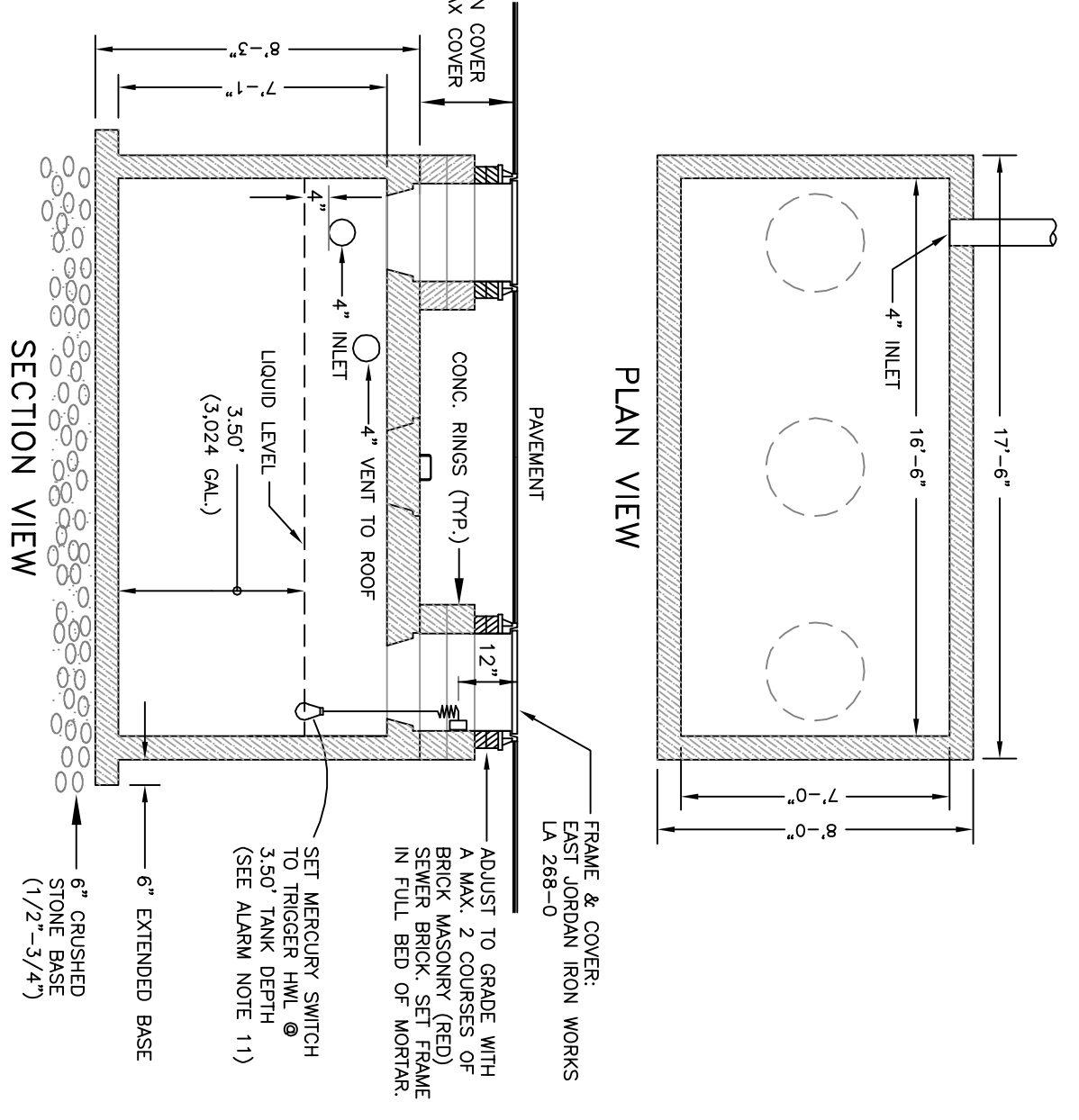
C8



CONSTRUCTION NOTES FOR GASOLINE, OIL & SAND SEPARATOR

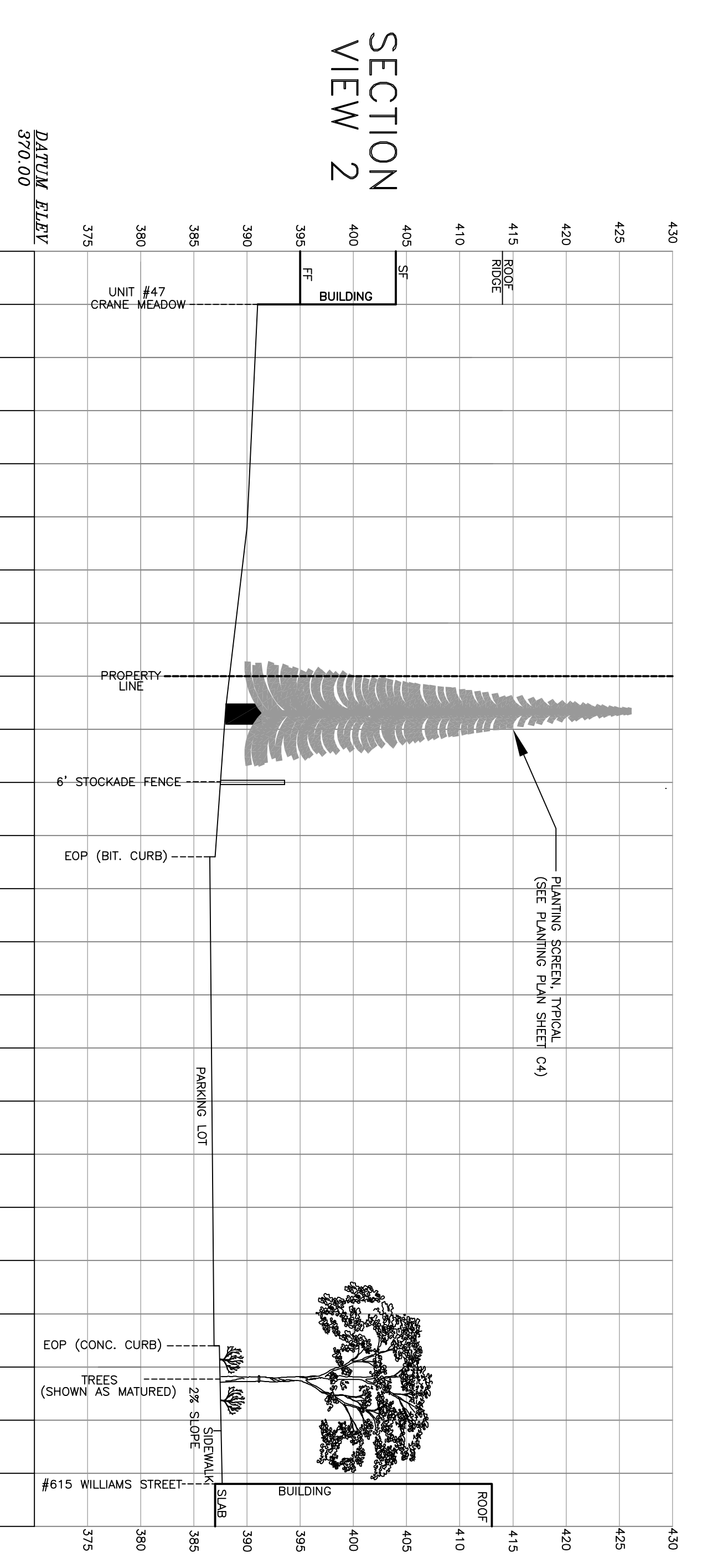
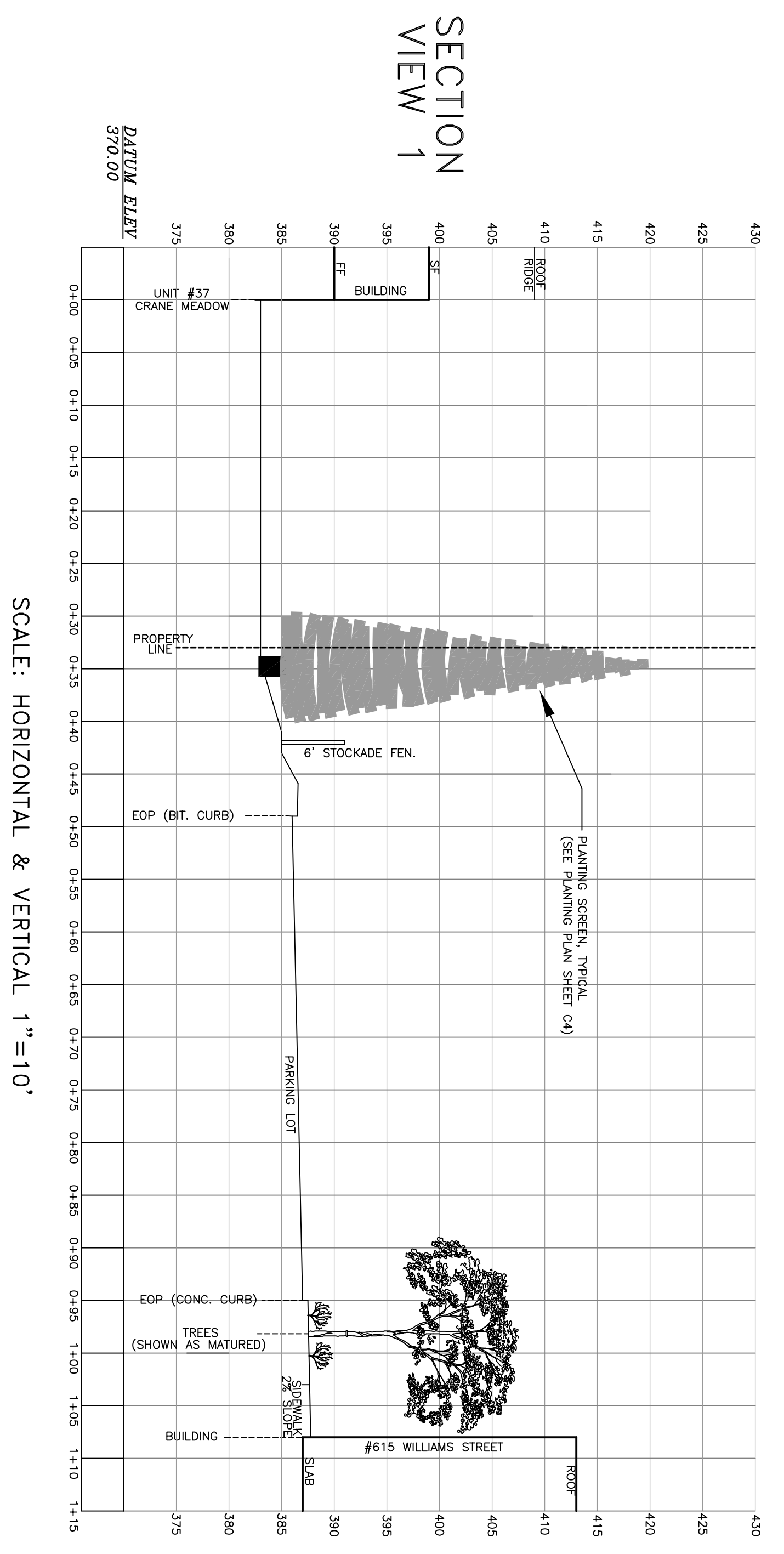
- SEPARATOR IS TO BE LOCATED OUTSIDE OF A BUILDING WHERE POSSIBLE AND THE COVER SHALL BE A MINIMUM OF 24" IN DIAMETER. IF THE SEPARATOR MUST BE INSTALLED INSIDE OF A BUILDING, THE COVER MUST BE SCALED TIGHT.
- THE SEPARATOR MUST BE CONSTRUCTED AND INSTALLED TO PREVENT SURFACE WATER FROM ENTERING.
- THE INLET OF THE SEPARATOR INLET PIPE SHALL BE NO LESS THAN 4" ABOVE THE WATER LINE.
- THE SEPARATOR SHALL BE FILLED WITH WATER, TESTED AND INSPECTED PRIOR TO BEING PUT INTO SERVICE.
- THE NON-CORROSIVE STEPS SHALL BE INSTALLED 18" APART.
- THE CHAMBER VENT AND OUTLET VENT SHALL BE RETURNED TO THE INSIDE OF THE BUILDING AND EXTENDED THROUGH THE ROOF.
- THE CHAMBER VENT MUST BE LOCATED AS CLOSE TO THE TOP OF THE TANK AS POSSIBLE.
- PRECAST CONCRETE UNITS SHALL MEET OR EXCEED ASTM C-478 STANDARD OF 4,000 PSI.
- JOINT SECTIONS ON PRECAST CONCRETE SEPARATORS SHALL USE BUTYL RUBBER JOINT SEALANT PER ASTM C-990.
- ALL PIPE PENETRATIONS IN THE SEPARATOR SHALL BE SEALED WITH HYDRAULIC CEMENT ONLY.
- ALLOWABLE SPRING MATERIAL:

 - NO-HUB CAST IRON WITH PRODUCT ACCEPTED CAMPS, OR AS REQUIRED BY THE CITY.
 - SERVICE WEIGHT CAST IRON WITH PRODUCT ACCEPTED GASKETS OR LEAD & OAKUM JOINTS
 - EXTRA HEAVY CAST IRON WITH PRODUCT ACCEPTED GASKETS OR LEAD & OAKUM JOINTS



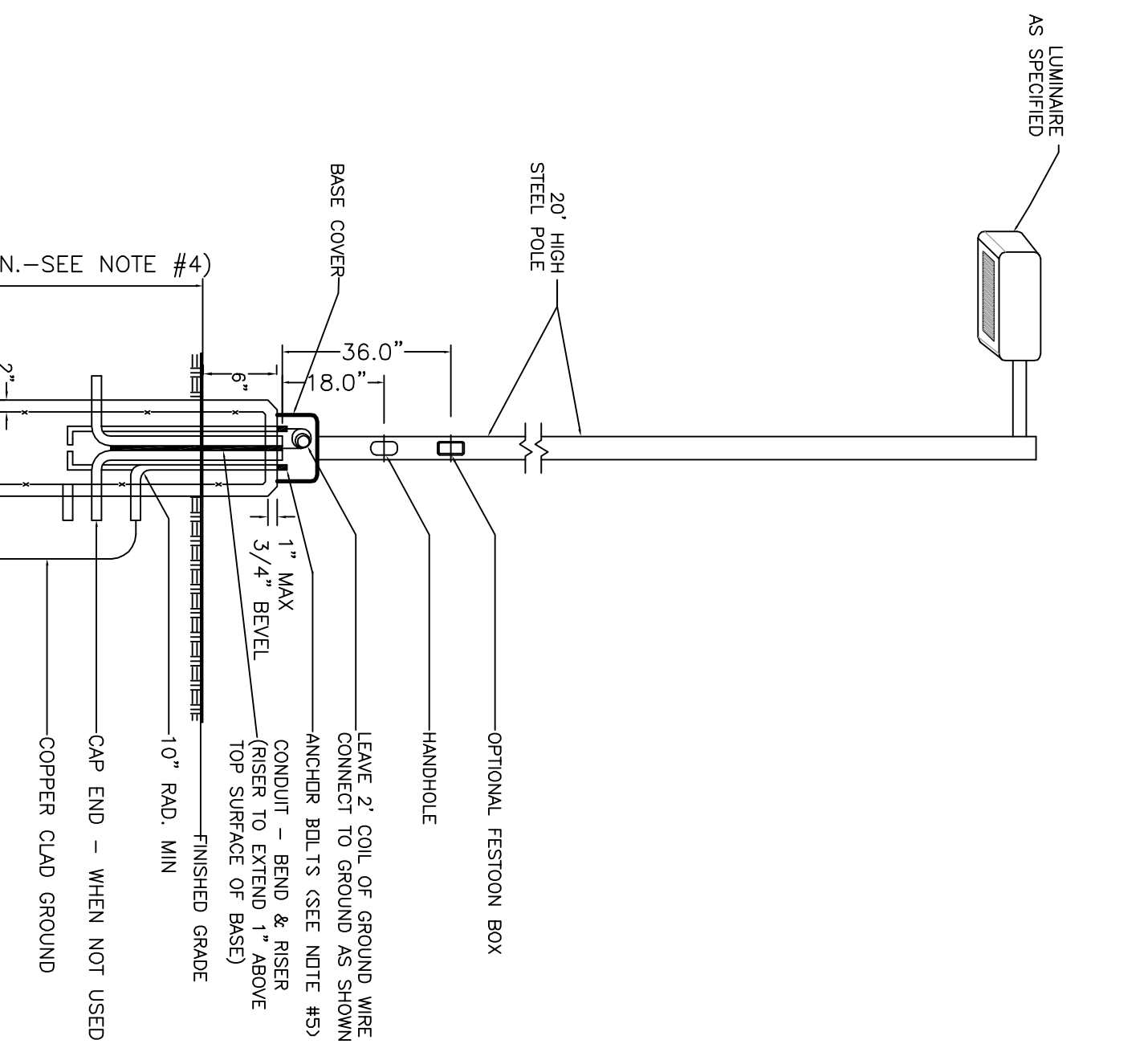
HOLDING TANK CONSTRUCTION NOTES

- HOLDING TANK IS TO BE LOCATED OUTSIDE OF A BUILDING WHERE SHOWN. THE COVER SHALL BE A MINIMUM OF 24" IN DIAMETER.
- THE HOLDING TANK MUST BE CONSTRUCTED AND INSTALLED TO PREVENT SURFACE WATER FROM ENTERING.
- THE INLET OF THE HOLDING TANK INLET PIPE SHALL BE NO LESS THAN 4" ABOVE THE WATER LINE.
- THE CHAMBER VENT AND OUTLET VENT SHALL BE RETURNED TO THE INSIDE OF THE BUILDING AND EXTENDED THROUGH THE ROOF.
- INSIDE OF THE BUILDING AND EXTENDED THROUGH THE ROOF.
- PRECAST CONCRETE UNITS SHALL MEET OR EXCEED ASTM C-478 STANDARD OF 4,000 PSI.
- JOINT SECTIONS SHALL BE BUTYL RUBBER JOINT SEALANT PER ASTM C-990, OR EQUAL.
- ALLOWABLE SPRING MATERIAL SHALL BE APPROVED BY THE CITY OF MARLBOROUGH.
- DISPERAL REQUIREMENTS OF CONTENTS, LOCAL PERMIT TO INSTALL, REGISTRATION OF THE TANK IN CHAIN OF TITLE.
- THE OWNER SHALL COMPLY WITH THE REQUIREMENTS OF 310 CMR 15.260, INCLUDING, BUT NOT LIMITED TO: HAULING.
- THE ALARM PANEL (LOCKED) SHALL BE SUITABLE FOR THE HOLDING TANK ALARM. IT SHALL BE WEATHERPROOF AND LOCATED ADJACENT TO THE SEPTIC SYSTEM CONTROL PANEL. A HIGHWATER AUDIBLE ALARM BUZZER AND A FLASHING LED LIGHT SHALL BE MOUNTED ON THE PANEL. WHERE IT SHALL BE LABELED "HOLDING TANK ALARM". A SHUTOFF SWITCH SHALL BE PROVIDED WITH THE NAME AND PHONE NUMBER OF THE REGISTERED SERVICE HOLDER ON THE PANEL. A STAINLESS STEEL ADJUSTABLE FLOAT BRACKET SHALL BE PROVIDED TO HOLD THE ALARM PANEL. THE ALARM PANEL SHALL BE MOUNTED ON THE PANEL. THE ALARM PANEL SHALL BE MOUNTED ON THE PANEL. THE ALARM PANEL SHALL BE MOUNTED ON THE PANEL.
- PROVIDE AN ADJUSTABLE LEVEL CONTROL. CABLE RACK COMPATIBLE WITH THE FLOAT CABLES. CABLES SHALL BE INTRINSICALLY SAFE COMPYING WITH UL FILE# E60749. THE FLOAT SHALL BE SUSPENDED AT THE ELEVATIONS SPECIFIED ON THE PLANS. MOUNT FLOAT BRACKET 12" BELOW THE MANHOLE RIM.
- ANYONE WHO ENTERS THE TANK MUST COMPLY WITH OSHA REGULATIONS FOR CONFINED SPACE ENTRY.



NOTES:

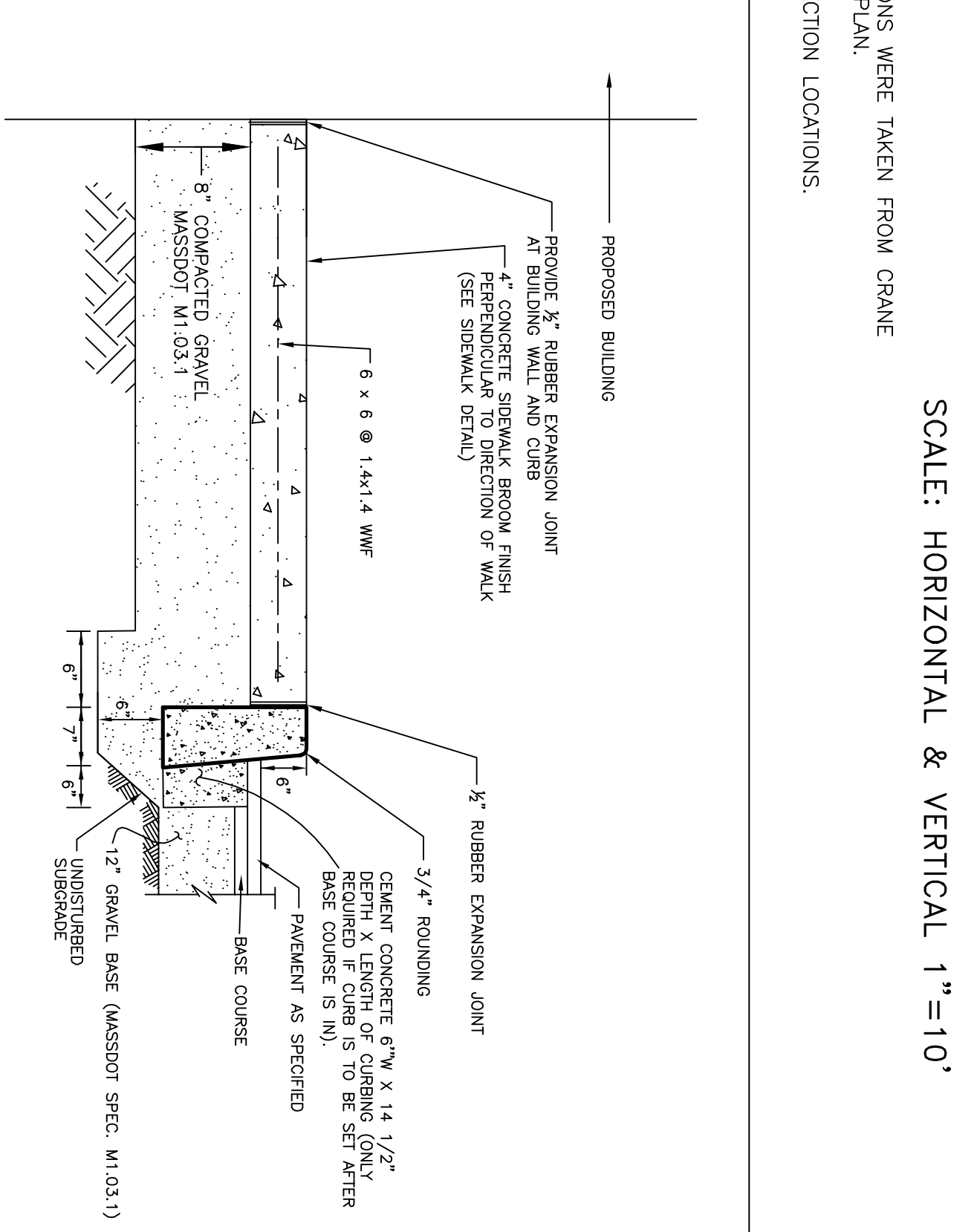
- UNIT FLOOR AND ROOF ELEVATIONS WERE TAKEN FROM CRANE MEADOW DEVELOPMENT PROPOSED PLAN.
- SEE SHEET C4 FOR PROFILE SECTION LOCATIONS.



LIGHT POLE

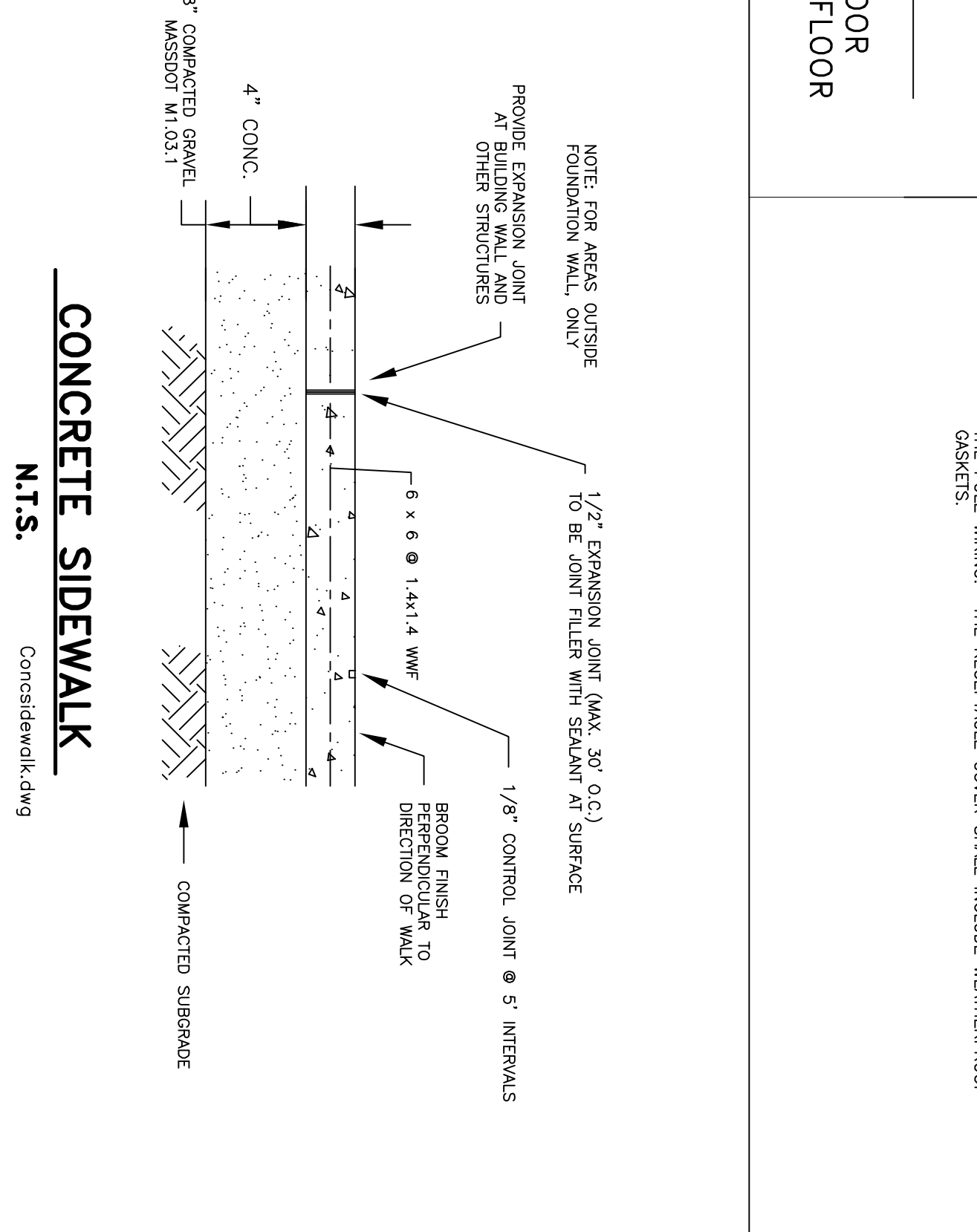
N. T. S.

- NOTES:**
- CONCRETE SHALL BE TYPE II, 4,000 P.S.I.
 - UNLESS OTHERWISE NOTED, ALL BAGS SHALL HAVE TWO PLASTIC (PVC SCHEDULE 80) CONDUITS WITH END BUSHINGS.
 - ALL WIRES UNDER PAVEMENT TO BE IN CONDUIT (PVC SCHEDULE 80)
 - BASE DEPTH SHALL BE INCREASED, AS REQUIRED BY LOCAL CODES AND SOIL CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE STRUCTURAL FOUNDATION SUPPORT AND COMPACTION FOR POLE BASE.
 - STEEL ANCHOR BOLTS SHALL BE PER A514 OR ASTM F 1554 - 4 GRADE 55, HOT DIP GALVANIZED - HOT DIP GALVANIZED.
 - POLE, LUMINAIRE & HARDWARE SHALL BE PROVIDED BY THE MANUFACTURER SPECIFIED.
 - CONDUIT ALIGNMENT SHOWN ARE SCHEMATIC ONLY. ALL MATERIALS SHALL BE APPROVED BY THE CITY OF MARLBOROUGH. THE CONTRACTOR SHALL COMPLY WITH ALL CITY OF MARLBOROUGH ORDINANCES AND GOVERNING CODE OR ORDINANCE. THE MORE STRINGENT STANDARD SHALL APPLY. THE CONTRACTOR SHALL MAKE APPROPRIATE ADJUSTMENTS TO THE CONDUIT ALIGNMENT TO ACCOMMODATE ANY CHANGES ALONG THE CONDUIT. CHANGES IN DIRECTION EXCEEDING A TOTAL OF TEN (10) DEGREE EITHER VERTICALLY OR HORIZONTALLY, SHALL INCLUDE LONG SWEET BENDS.
 - POLE MOUNTED RECEPTACLES SHALL PREVENT UNAUTHORIZED ACCESS TO THE POLE WIRING. THE RECEPTACLE COVER SHALL INCLUDE WEATHERPROOF KEYS.



CONCRETE SIDEWALK & CURB

N.T.S.



CONCRETE SIDEWALK

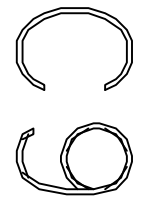
N.T.S.

NO.	DATE	DESCRIPTION	BY
4	8-4-20	BUILDING HEIGHT (PER NOTE #2, SH. C1)	BMS
3	6-26-20	REDUCED BUILDING HEIGHT (PROFILE)	BMS
2	5-11-20	HOLDING TANK & SECTION VIEW 1	BMS
1	7-19-19	PROFILE SECTION VIEW	BJS

PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752

DETAILS
— WILLIAMS STREET CROSSING —
615 WILLIAMS STREET
MARLBOROUGH, MA 01752

OWNER & APPLICANT:
GERALD J. CARROLL
WILLIAMS STREET HOLDINGS, LLC
2000 COMMONWEALTH AVE.
AUBURNDALE, MA 02466
DATE: JULY 19, 2019



BRUCE SALUK & ASSOCIATES, INC

CIVIL ENGINEERING & LAND SURVEYING

August 13, 2020

Edward Clancy, Chairman
Conservation Commission
City Hall
140 Main Street
Marlborough, MA 01752

ATTN: Priscilla Ryder

RE: Modified Site Plan
615 Williams Street
Marlborough, MA
DEP File# 212-1214
BSA file#2635

Dear Mr. Clancy:

Attached is a full-size copy of the modified Site Plan, 24x36 Color overlay and 7 table top copies for the above reference property. In addition, electronic attachments include the following:

- 1) Site Plan – Last revised on August 4, 2020
- 2) Overlay Plan – showing proposed modified plan in red & approved in grayscale.
- 3) Stormwater report Addendum#2- Dated July, 2020

On behalf of the applicant we are requesting approval for the proposed plan modifications. In summary the proposed development footprint has been reduced with the following changes:

- 1) The Building footprint has been reduced from 20,920 to 18,835 SF.
- 2) The building and pavement area are now further area from the wetlands.
- 3) The building was also moved 9' closer to Williams Street. This was achieved by eliminating 4 parking spaces on the east side of the building while holding the position of the east edge of the pavement.
- 4) The number of units has changed from 10 to 9.
- 5) The pavement area has been reduced.

Edward Clancy, Chairman
August 13, 2020

- 6) The parking count has been reduced from 56 (w/ 3 HC spaces) to 48 (w/2 HC spaces).
- 7) The required amount of earthwork has been reduced.
- 8) Impervious area has been reduced.
- 9) The reduction of the impervious area has allowed both chamber systems to be reduced.
- 10) The 40 Mill PVC membrane adjacent to the roof chamber system has been eliminated.
- 11) The retaining wall along the Crane Meadow residences has been eliminated. The height and length of the retaining walls has been reduced in other areas.
- 12) Eliminated 1 CB & 1 DMH.
- 13) Length of fence has been reduced. Fence on south side of building is now specified as 42" high vinyl clad Chain link.
- 14) The roof drain connection has been changed from an interior to exterior connection.
- 15) The holding tank has been relocated to the east side of the rear parking lot.

We look forward to our virtual meeting with the Commission on August 18.

Please let me know if you have any questions or comments.

Thank you

Sincerely



Bruce Saluk P.E., P.L.S.

cc: Gerry Carroll
Stephen Yurewicz

August 12, 2020

Marlborough Conservation Commission
Attn: Priscilla Ryder, Conservation Officer
City Hall
140 Main St.
Marlborough, MA 01752

Re: 175 Maple Street
Marlborough, MA
LDG Proj. No.: 1691.00

Ms. Ryder and Members of the Commission:

Level Design Group, L.L.C. (LDG), on behalf of 175 Maple, L.L.C., does hereby submit the following detail of work completed at the above referenced site during the planting season this year. The area was replanted as detailed by Cryan Landscaping with certified arborist on-site at the nursery for the plant selection.

LDG viewed the Site August 3, 2020, and again August 12, 2020 to investigate the cleaning of the existing on-site drainage structures. At the site visit on August 3, 2020 all but one structure was cleaned. LDG notified on-site personnel that one structure was not cleaned and a second appointment was made for August 12, 2020. LDG visited the site after this inspection and the final structure has been cleaned as required.

Should you have any questions, please do not hesitate to contact me.

Truly yours,

~~LEVEL DESIGN GROUP, L.L.C.~~


Daniel Campbell, P.E.
Principal

Cc: File

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