

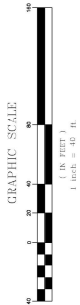
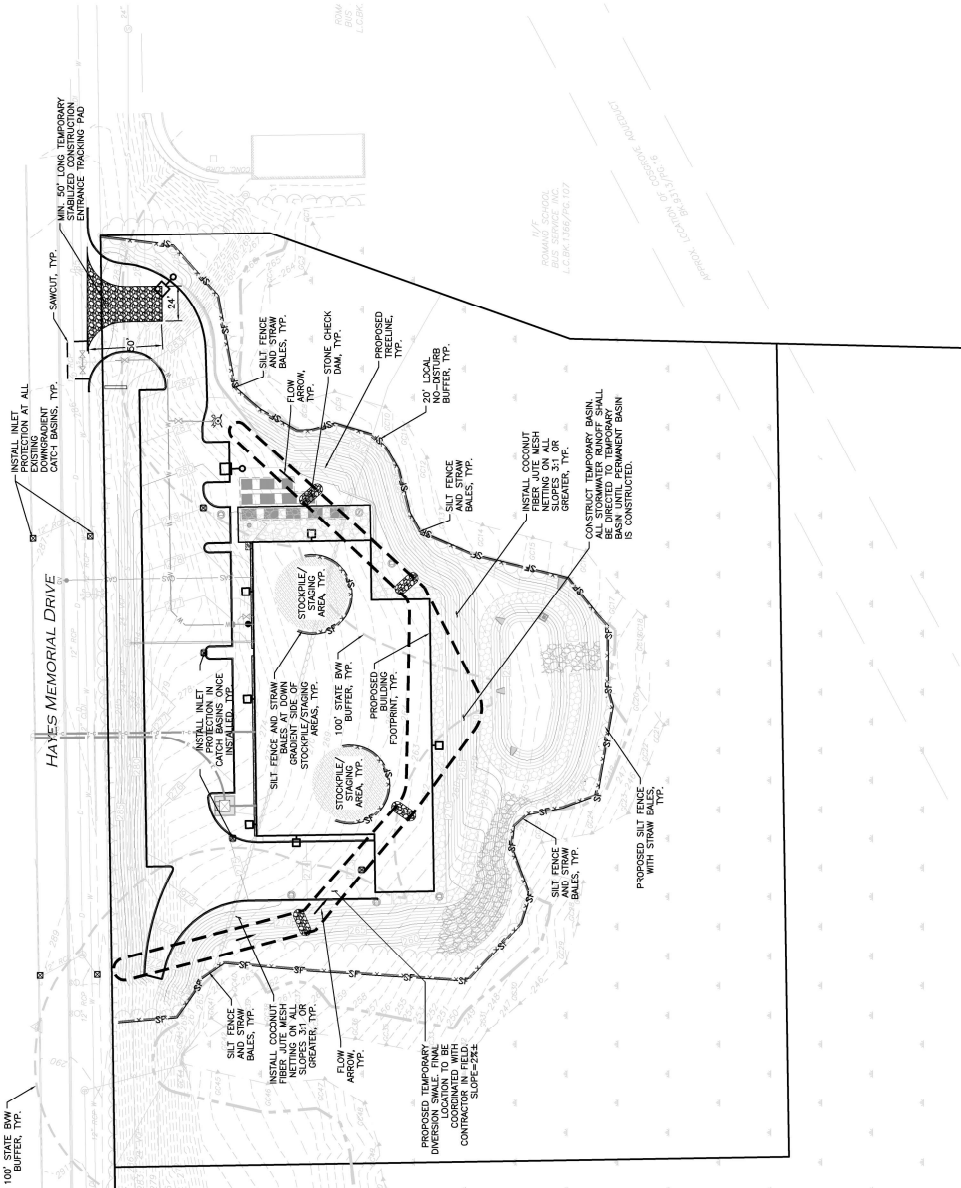


LEGEND	
SILT FENCE	SF
TUBULAR BARRIER	—
EROSION CONTROL FABRIC	—
CATCH BASIN FILTER	CB
STONE CHECK DAM	—
STABILIZED ENTRANCE	—
TURBIDITY CURTAIN	TC
STOCKPILE/STAGING AREA	—

NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL CONTACT THE MARLBOROUGH DEPT. OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO THE START OF WORK TO ADJUST THE LOCATION OF THE EXISTING UTILITIES.
3. SEE THE ABBREVIATIONS AND NOTES, PLAN AND DETAILS FOR FURTHER INFORMATION.
4. ALL ELEVATIONS REFER TO NAVD83 DATUM.
5. THE INFORMATION SHOWN ON THIS PLAN IS PROVIDED BY THE OWNER AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IT IS STRONGLY ADVISED THAT THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED TO THEM BY THE OWNER AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES AND LOSSES RESULTING FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
6. THE CONTRACTOR SHALL CONTACT THE MARLBOROUGH DEPT. OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO THE START OF WORK TO ADJUST THE LOCATION OF THE EXISTING UTILITIES.
7. ALL ON-SITE DEMOLITION INCLUDING CUT & FILL SHALL BE PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF MARLBOROUGH AND STATE REQUIREMENTS.

DISAISE: 1-800-344-7333
 MARLBOROUGH DEPT. OF PUBLIC WORKS: (508) 624-6910



PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

1. 22020605 REVISED PER CITY COMMENTS
 2. 22020605
 3. 22020605
 4. 22020605
 5. 22020605
 6. 22020605
 7. 22020605
 8. 22020605
 9. 22020605
 10. 22020605

THE GUTIERREZ COMPANY
 70 SUTTON AVE., SUITE 400
 BURLINGTON, MA 01803

PROJECT:
 PARCEL M DEVELOPMENT
 HAYES MEMORIAL DRIVE
 MARLBOROUGH, MA

PROJECT NO. 114510A DATE 04-17-2020
 SCALE 1"=40' DWG. NAME C114510A
 DESIGNED BY: DMH CHECKED BY: CMQ

ALLEN & MAJOR ASSOCIATES, INC.
 civil engineering • land surveying
 environmental consulting • landscape architecture
 100 COMMERCIAL WAY, SUITE 3
 MARLBOROUGH, MA 01501
 TEL: (508) 624-6889
 FAX: (508) 624-2898

MASSACHUSETTS PROFESSIONAL ENGINEER REG. NO. 10000
 MASSACHUSETTS PROFESSIONAL LAND SURVEYOR REG. NO. 10000
 ALL DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT ARE THE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ALLEN & MAJOR ASSOCIATES, INC. THE DRAWINGS AND SPECIFICATIONS ARE FOR THE EXCLUSIVE USE OF THE PROJECT AND ARE NOT TO BE USED FOR ANY OTHER PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO THEM BY THE OWNER AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES AND LOSSES RESULTING FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

EROSION CONTROL PLAN
 SHEET NO. C-101



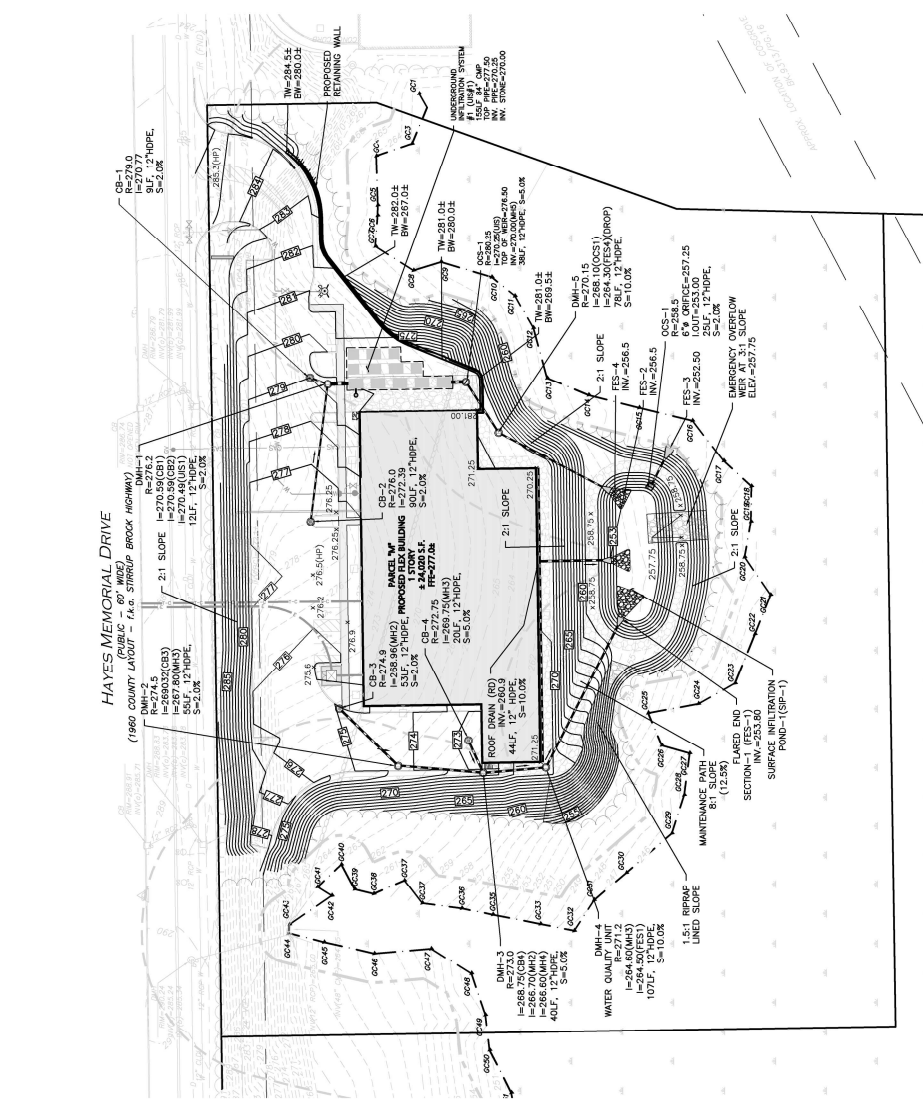
DIG SAFE
 BEFORE YOU DIG
 CALL 811 OR
 1-888-DIG-SAFE
 1-888-344-7233



LEGEND

- DRAIN MANHOLE
- CATCH BASIN - DOUBLE GRADE
- CATCH BASIN - SINGLE GRADE
- OUTLET CONTROL
- DIVERSION WEIR
- WATER QUALITY UNIT
- AREA DRAIN
- FLARED END SECTION
- RIPRAP OUTFALL
- HEADWALL
- 5' CONTOUR
- 1' CONTOUR
- SPOT GRADE
- INFILTRATION SYSTEM
- INFILTRATION PIPE
- DETENTION PIPE
- UNDERDRAIN
- FLOW DIRECTION

- NOTES:**
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. AND NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 - THE INFORMATION FROM SEASONAL SOURCE SITE VISITATION FROM ALLEN & MAJOR ASSOCIATES, INC. DATED MARCH 20, 2020.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES AND MANHOLES HAVE NOT BEEN VERIFIED AND ARE SHOWN ONLY AS REFERRED TO BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND UTILITIES TO BE FULLY REVEALED FOR CONSTRUCTION. THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE UTILITIES SHALL BE AT HIS OWN RISK.
 - ALL ELEVATIONS REFER TO MVD 88.
 - THE CONTRACTOR SHALL VERIFY THE ENGINEER'S SHOWN SLOPES AND CONFIRM GLOBAL STABILITY OF ALL SLOPES STEEPER THAN 3:1.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

NO.	REVISION/DESCRIPTION
1	20200605 REVISION/CITY COMMENTS
2	20200605 REVISION/DESCRIPTION

THE GUTIERREZ COMPANY
CONSTRUCTION MANAGEMENT
 BURLINGTON, MA 01803

PARCEL M DEVELOPMENT
HAYES MEMORIAL DRIVE
MARLBOROUGH, MA

PROJECT NO.	1145-0A	DATE	04/17/2020
SCALE	1"=40'	RWS NAME	C1145-0A
DESIGNED BY:	DMH	CHECKED BY:	DMH

PROJECT TITLE: GRADING & DRAINAGE PLAN

SHEET NO. C-103



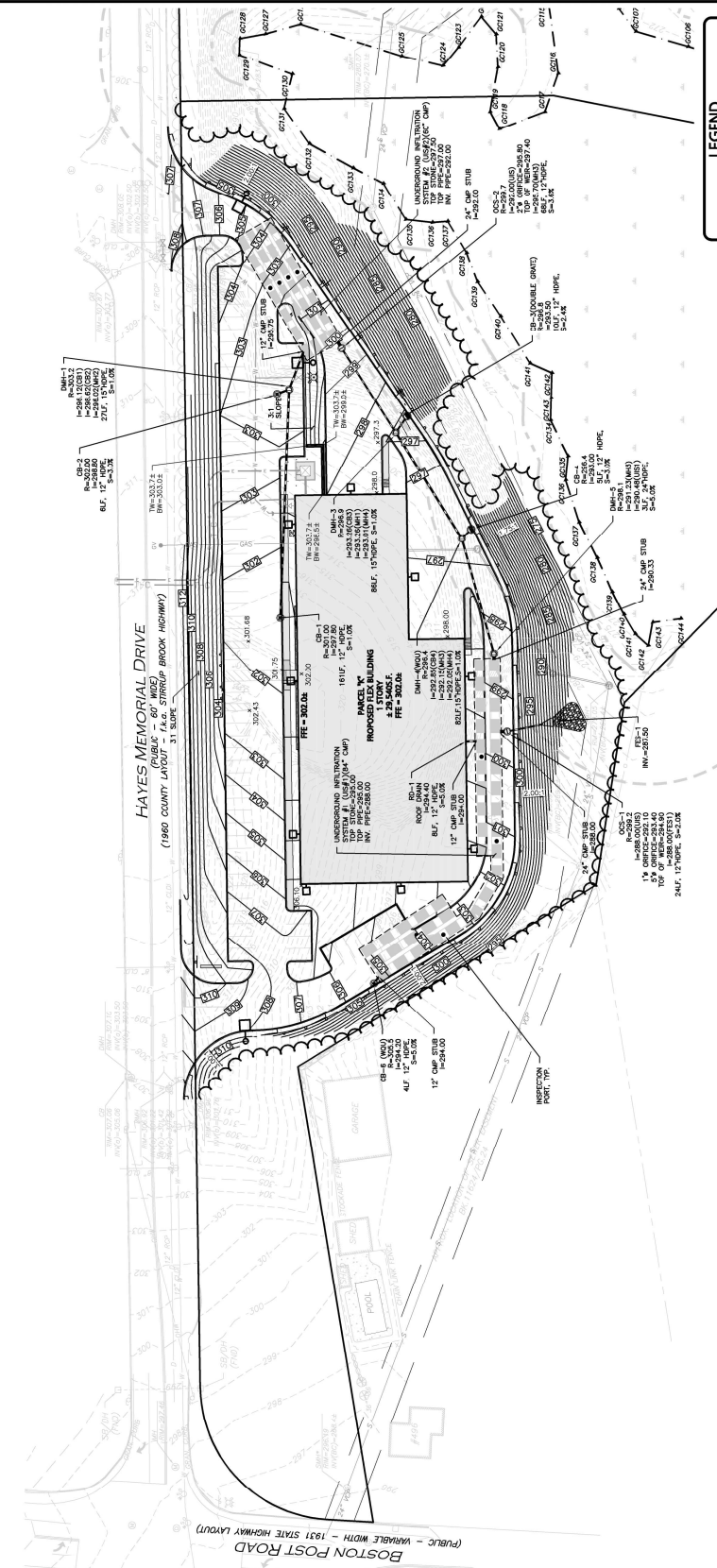
ALLEN & MAJOR ASSOCIATES, INC.
 CIVIL ENGINEERING • LAND SURVEYING
 ENVIRONMENTAL CONSULTING • LANDSCAPE ARCHITECTURE
 100 COMMERCE WAY, SUITE 2
 MARLBOROUGH, MA 01501
 TEL: (911) 332-8889
 FAX: (911) 332-8896

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 1-888-DIG-SAFE
 1-888-341-7233



LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- CATCH BASIN - DOUBLE GRADE
- OUTLET CONTROL
- DIVERSION WEIR
- WATER QUALITY UNIT
- AREA DRAIN
- FLARED END SECTION
- DRAIN LINE
- RIPRAP OUTFALL
- HEADWALL
- 5' CONTOUR
- 1' CONTOUR
- SPOT GRADE
- INFILTRATION SYSTEM
- INFILTRATION PIPE
- UNDERDRAIN
- FLOW DIRECTION

NOTES:

- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ANY RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- EXISTING UTILITIES SHOWN ON THIS PLAN WERE OBTAINED FROM SEVERAL SOURCES. SOME OF WHICH ARE UNAVAILABLE FROM EXISTING RECORDS. SURVEY BASE WAS TAKEN FROM A PLAN DATED APRIL 17, 2020. UTILITIES NOT SHOWN ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO EXISTING UTILITIES. THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES.
- ALL ELEVATIONS REFER TO MVD 88.
- PROFESSIONAL GEOTECHNICAL ENGINEER SHALL CONFIRM GLOBAL STABILITY OF ALL SLOPES STEEPER THAN 3:1.
- INFILTRATION RATES HAVE BEEN ASSUMED FOR THIS SITE BASED ON INFILTRATION RATES CONFIRMED BY FIELD TESTS. INFILTRATION RATES SHALL BE CONFIRMED PRIOR TO CONSTRUCTION.

GRAPHIC SCALE

1" = 40' H.

ALLEN & MAJOR ASSOCIATES, INC.

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

PROJECT:
PARCEL K DEVELOPMENT
HAYES MEMORIAL DRIVE
MARLBOROUGH, MA

NO.	REVISION	DESCRIPTION
1	20200604	RENDERED CITY COMMENTS

APPLICANT: THE GUTIERREZ COMPANY
100 CONGRESS DRIVE SUITE 400
BURLINGTON, MA 01803

DESIGNED BY: DMV/SJL
DATE: 4/17/2020
SCALE: 1"=40'
CHKD BY: CMO

PROJECT NO.: 1145-10A
DATE: 4/17/2020
SCALE: 1"=40'
CHKD BY: CMO

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture

100 CONGRESS DRIVE SUITE 2
BURLINGTON, MA 01803
TEL: (978) 331-6889
FAX: (978) 331-2886

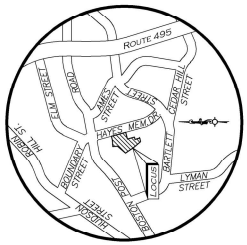
REGISTERED PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS
LICENSE NO. 10000
EXPIRES 12/31/2024

DRAWING TITLE: GRADING & DRAINAGE PLAN
SHEET No.: C-103

DIG SAFE

BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-341-7233

SITE DEVELOPMENT PLANS FOR PARCEL "L" DEVELOPMENT MAP 88, LOT 35 & MAP 99, LOT 1 HAYES MEMORIAL DRIVE MARLBOROUGH, MA



LOCUS MAP
(NOT TO SCALE)

APPLICANT:

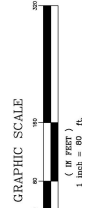
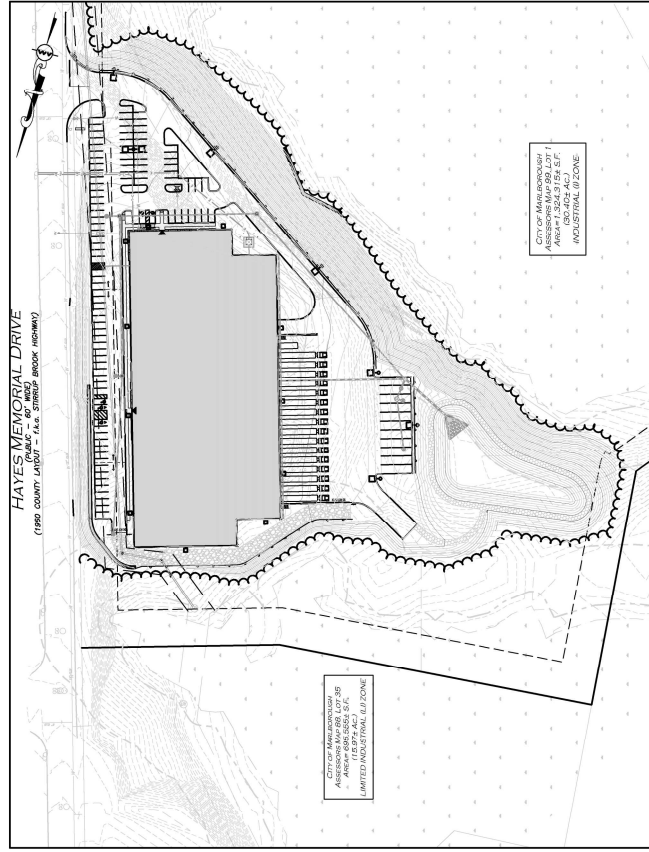
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803
781.272.7000

**LAND SURVEYOR, SITE ENGINEER
LANDSCAPE ARCHITECT:**

ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBBURN, MA 01801
TEL.: 781.935.6889
FAX.: 781.935.2896

ENVIRONMENTAL CONSULTANT:

GODDARD CONSULTING, LLC
291 MAIN STREET, SUITE 8
NORTHBOROUGH, MA 01532
508.393.3784



PREPARED BY:
ALLEN & MAJOR ASSOCIATES, INC.
civil & structural architecture • land architecture
environmental consulting • landscape architecture
100 COMMERCE WAY
WOBBURN, MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBBURN, MA • LAKESVILLE, VA • MANCHESTER, NH

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BEFORE YOU DIG
CALL 811 OR
1-888-90-SAFE
1-888-344-7253

DRAWING TITLE	SHEET NO.	ISSUED	REVISED
CIVIL DRAWINGS			
EXISTING CONDITIONS NET SHEET	V-101	04-05-2020	-
EXISTING CONDITIONS	V-103	04-05-2020	-
EXISTING CONDITIONS	V-104	04-05-2020	-
EXISTING CONDITIONS	V-106	04-05-2020	-
ABBREVIATIONS AND NOTES	C-001	04-05-2020	-
ABBREVIATIONS AND NOTES	C-002	04-05-2020	-
LOCUS PLAN	C-100	04-05-2020	-
EROSION CONTROL PLAN	C-101	04-05-2020	-
LAYOUT & MATERIALS PLAN	C-102	04-05-2020	-
GRAVING & DRAINAGE PLAN	C-103	04-05-2020	-
UTILITIES PLAN	C-104	04-05-2020	-
FIRE TRUCK TURNING PLAN	C-105	04-05-2020	-
TRUCK TURNING PLAN	C-106	04-05-2020	-
PHOTOMETRICS PLAN	C-107	04-05-2020	-
SNOW STORAGE PLAN	C-108	04-05-2020	-
CIVIL DETAILS	C-501	04-05-2020	-
CIVIL DETAILS	C-502	04-05-2020	-
CIVIL DETAILS	C-503	04-05-2020	-
CIVIL DETAILS	C-504	04-05-2020	-
CIVIL DETAILS	C-505	04-05-2020	-
CIVIL DETAILS	C-506	04-05-2020	-
LANDSCAPE DRAWINGS			
LANDSCAPE PLAN	L-101	04-05-2020	-
LANDSCAPE DETAILS	L-102	04-05-2020	-
ARCHITECTURAL DRAWINGS			
CONCEPTUAL RENDERING	---	04-05-2020	-

CITY OF MARLBOROUGH, MA
SITE PLAN REVIEW COMMITTEE APPROVAL

MAP 88 SITE PLAN APPROVAL

DATE


SIGNATURE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

SUBMITTED FOR LOCAL APPROVAL: APRIL 17, 2020
ISSUED TO CONSERVATION COMMISSION: JUNE 5, 2020

MA PROJECTS 1145-10A CIVIL DRAWINGS (CURRENT) LOT 1 LC-1145-10-L COVER DWG



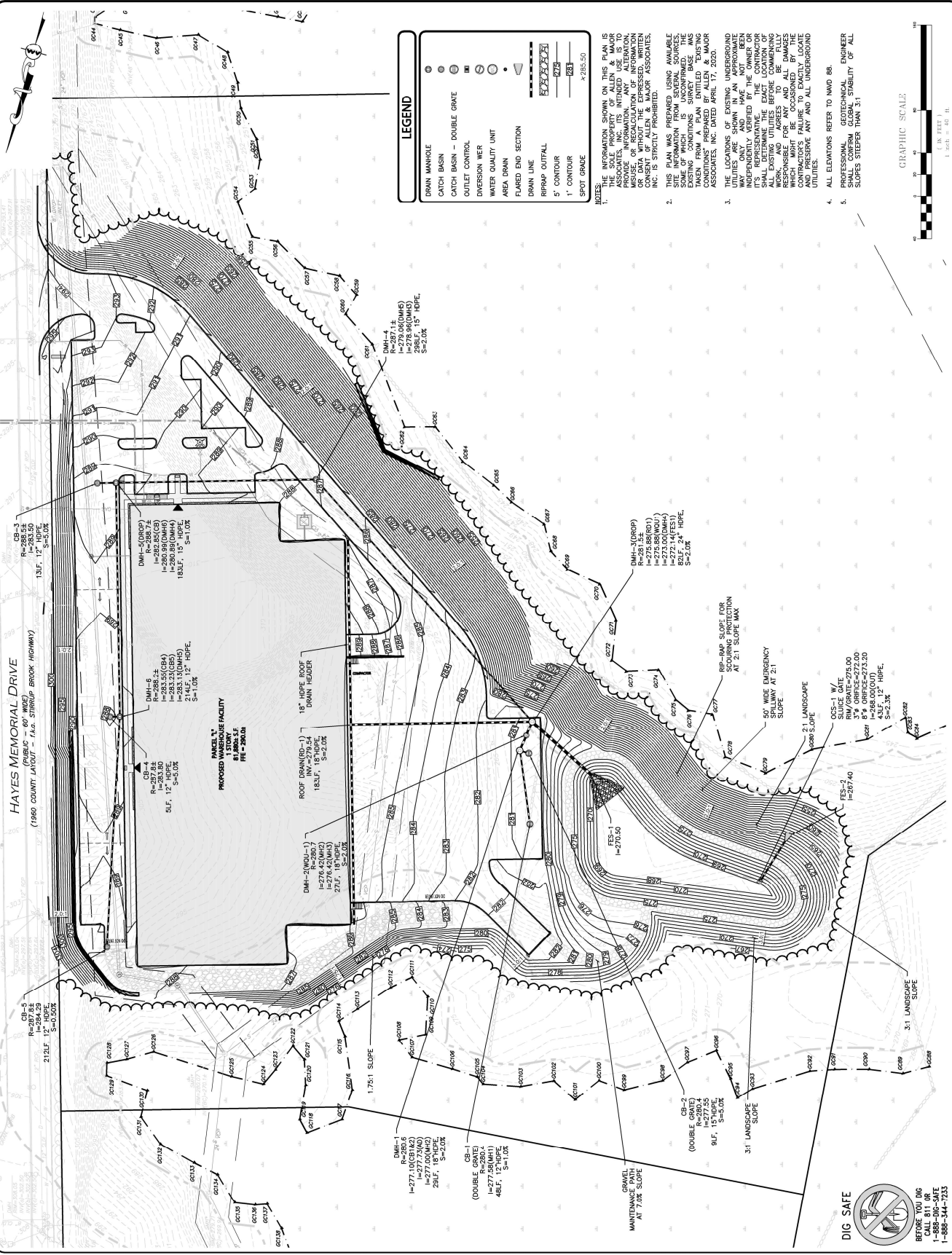
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

PROJECT: **PARCEL L DEVELOPMENT**
HAYES MEMORIAL DRIVE
MARLBOROUGH, MA

DESIGNED BY: DMV/SJL | DATE: 04/17/2020
SCALE: 1"=40' | IWS NAME: C114510A
CHECKED BY: CMO

ALLEN & MAJOR ASSOCIATES, INC.
100 COMMACK VAY, SUITE 2
MARLBOROUGH, MA 01501
TEL: (978) 334-9889
FAX: (978) 334-9896

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LEGEND

- CATCH BASIN - DOUBLE GRADE
- CATCH BASIN - CONTROL
- DIVERSION WEIR
- WATER QUALITY UNIT
- AREA DRAIN
- FLARED END SECTION
- DRAIN LINE
- RIPRAP OUTFALL
- 5' CONTOUR
- 1' CONTOUR
- SPOT GRADE

NOTES:

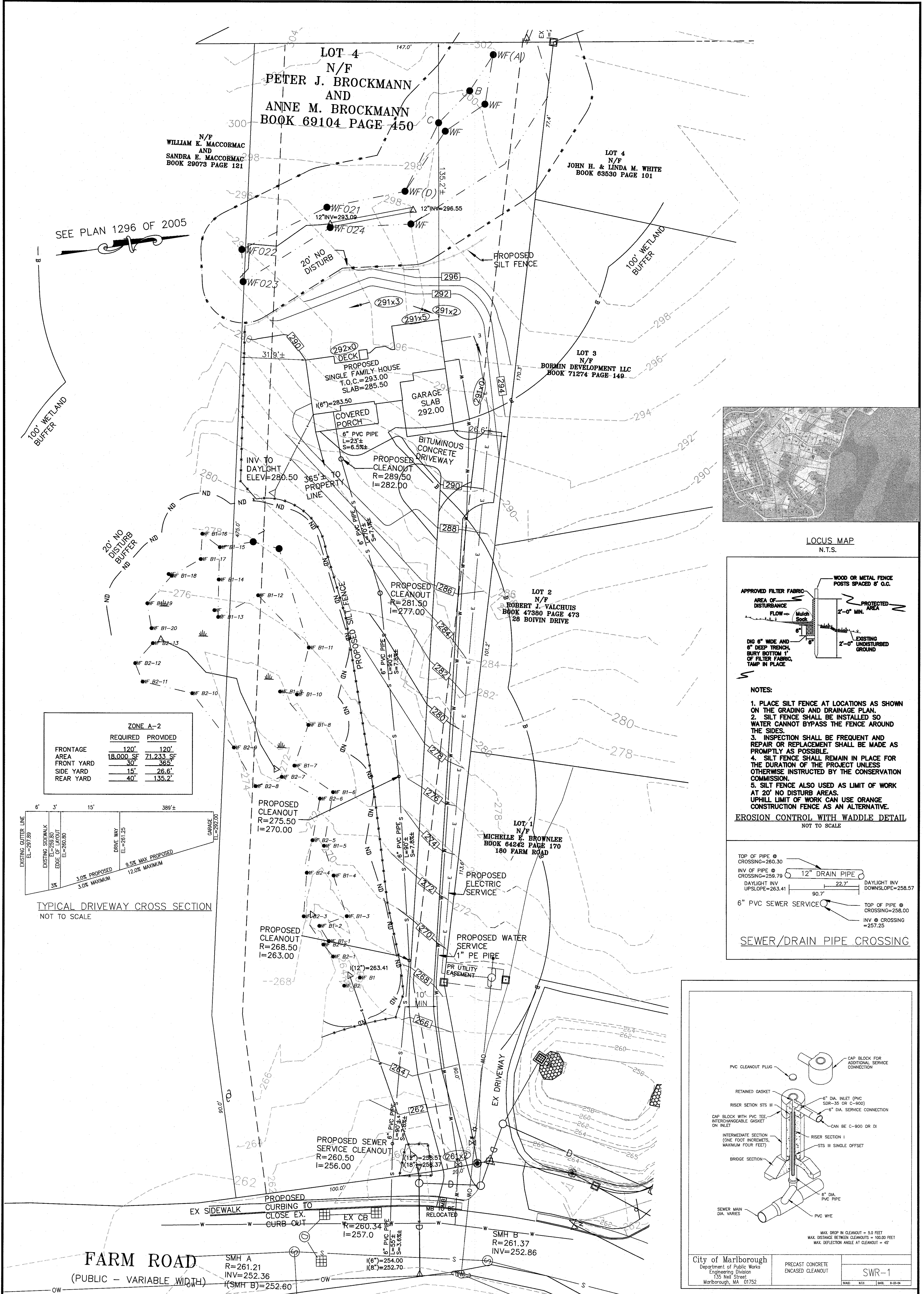
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ALLEN & MAJOR ASSOCIATES, INC. ANY REPRODUCTION OR TRANSMISSION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THIS PLAN WAS PREPARED USING AVAILABLE EXISTING CONDITIONS SURVEY BASED ON THE DATA PROVIDED BY THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND VERIFIED THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND VERIFIED THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND VERIFIED THE INFORMATION PROVIDED BY THE CLIENT.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ENGINEER. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND VERIFIED THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND VERIFIED THE INFORMATION PROVIDED BY THE CLIENT.
- ALL ELEVATIONS REFER TO NAD 88.
- PROFESSIONAL GEOTECHNICAL ENGINEER HAS DETERMINED THAT THE STABILITY OF ALL SLOPES STEEPER THAN 3:1.

GRAPHIC SCALE

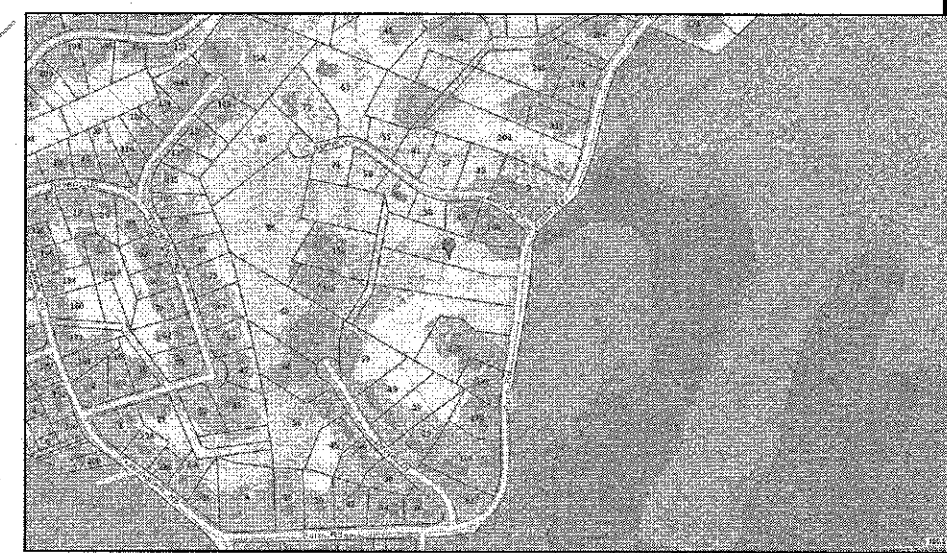
1" = 40' H.

DIG SAFE

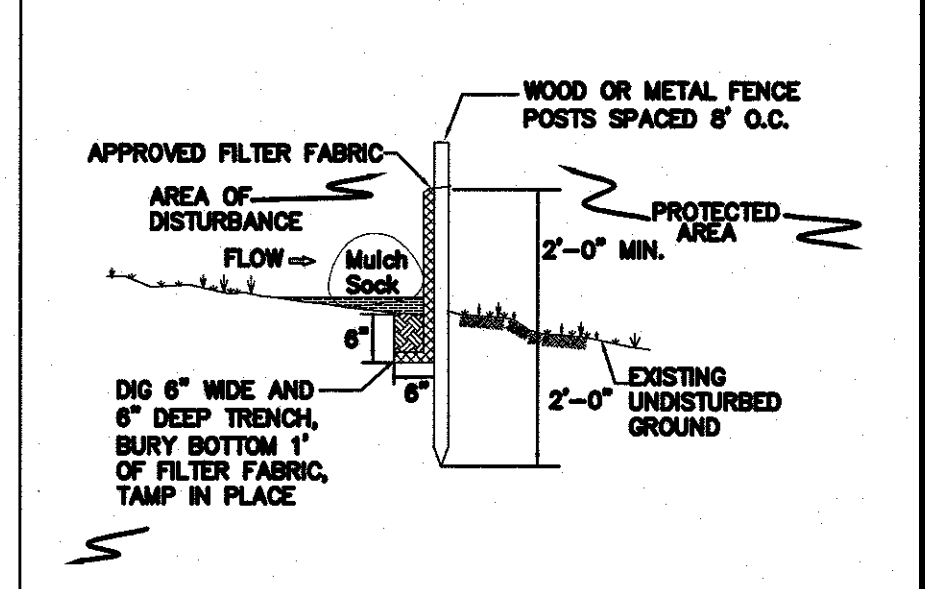
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1-888-DIG-SAFE
1-888-544-7253



SEE PLAN 1296 OF 2005

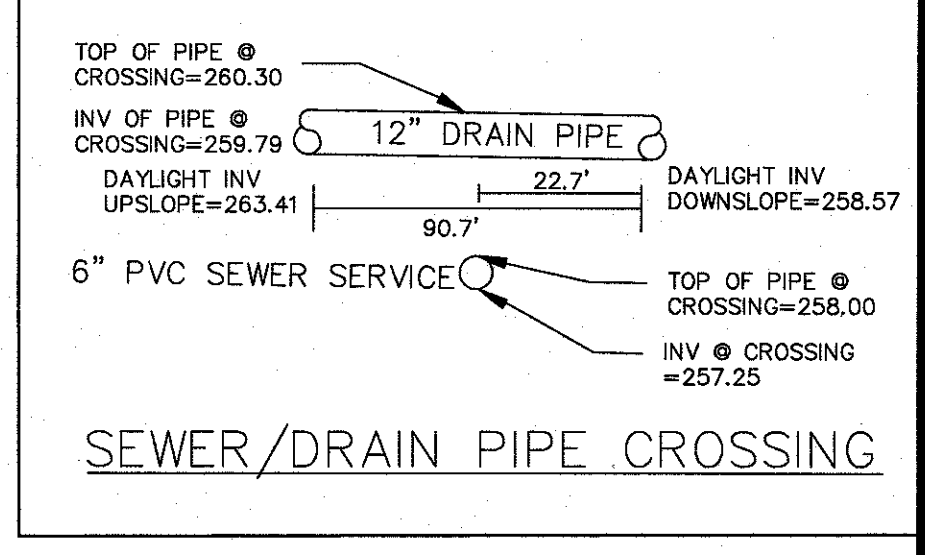


LOCUS MAP
N.T.S.



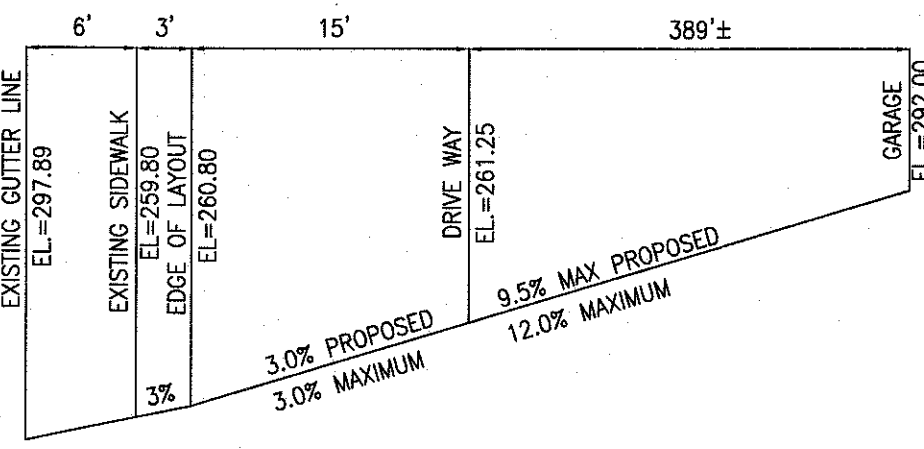
- NOTES:**
1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
 2. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
 3. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
 4. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE CONSERVATION COMMISSION.
 5. SILT FENCE ALSO USED AS LIMIT OF WORK AT 20' NO DISTURB AREAS. UPHILL LIMIT OF WORK CAN USE ORANGE CONSTRUCTION FENCE AS AN ALTERNATIVE.

EROSION CONTROL WITH WADDLE DETAIL
NOT TO SCALE

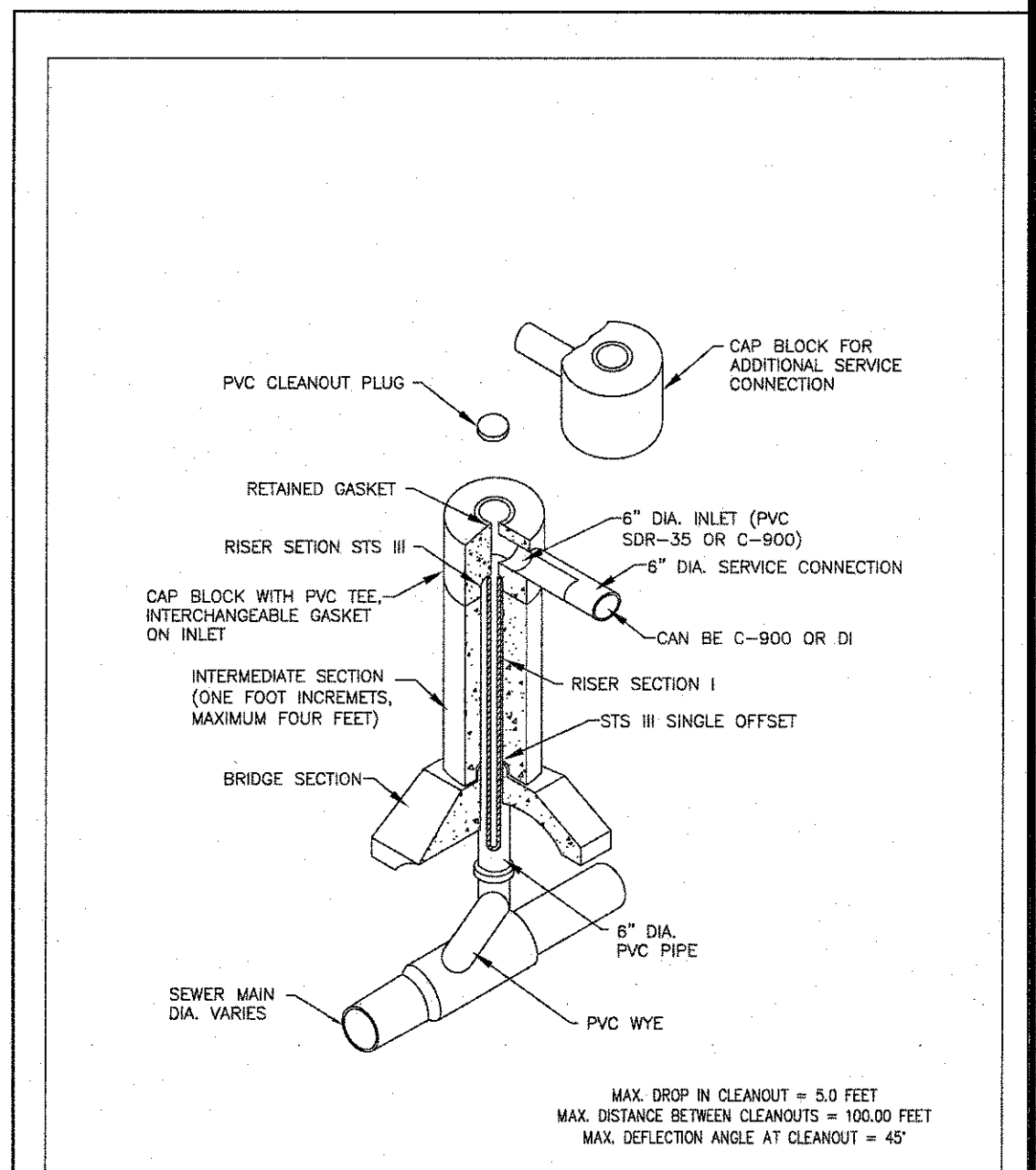


SEWER/DRAIN PIPE CROSSING

ZONE A-2		
	REQUIRED	PROVIDED
FRONTAGE	120'	120'
AREA	18,000 SF	71,233 SF
FRONT YARD	30'	365'
SIDE YARD	15'	26.6'
REAR YARD	40'	135.2'



TYPICAL DRIVEWAY CROSS SECTION
NOT TO SCALE



City of Marlborough
Department of Public Works
Engineering Division
155 Neil Street
Marlborough, MA 01752

PRECAST CONCRETE
ENCASED CLEANOUT

SWR-1

SCALE: N.S.I. DATE: 8-23-04

Guerriere & Halon, Inc.
ENGINEERING & LAND SURVEYING
333 WEST STREET PH. (508) 473-6630
MILFORD, MA 01757 FX. (508) 473-8243
www.gandhengineering.com

OWNER
PETER J. AND ANNE M. BROCKMANN
11 LIBERTY DRIVE
NORTHBOROUGH, MA 01532

DATE: 7-23-20

GRAPHIC SCALE: 1"=20'

01	1/10/19	REVISED PER TOWN COMMENTS	
02	1/18/19	REVISED PER COMMISSION COMMENTS	
03	5/7/20	REVISED HOUSE FOOTPRINT	THL
04	7/21/20	REVISED SEWER, WATER, & DRIVE	THL
05	7/23/20	REVISED DRIVEWAY & ELEC ESMT	THL

PROPOSED
SITE PLAN
176 FARM RD
IN
MARLBOROUGH, MA
SCALE: 20 FEET TO AN INCH
DATE: DECEMBER 19, 2018

SHEET
1 OF 1

G-9768

G:\CDM\fora\G-9768\DWG\G-9768-2_BPP.dwg

July 13, 2020

Chairman Edward Clancy
City of Marlborough Conservation Commission
140 Main Street
Marlborough, MA 01752

Re: A&M Project: 1145-08A
The Gutierrez Company
c/o Scott Weiss
150 Hayes Memorial Drive
Request for Certificate
of Compliance
DEP File #212-1198

Dear Chairman Clancy:

On behalf of The Gutierrez Company, and in accordance with Conditions #12, Allen & Major Associates, Inc. (A&M) is submitting a request for a Certificate of Compliance for the Parcel G Distribution Center project at 150 Hayes Memorial Drive (DEP File #212-1198).

Completed Special Conditions

1. In accordance with Special Condition #27 A&M, has attached an as-built plan set and a letter of compliance, stamped by a registered professional engineer. Said plans and letter show all conditions of the Order of Conditions have been complied within a satisfactory manner.
2. Per Special Condition #29, after the site has been stabilized, all erosion controls shall be removed from the site.
3. Per Special Condition #48, the detention basins, all drainage pipes and catch basins, and drainage structures have been cleaned of sediment and debris. All infiltration systems and water quality structures have been inspected and cleaned when necessary.
4. Per Special Condition #49, the Stormwater Management System Operations and Maintenance Plan found in section 2.0 in the Drainage Report, has been updated with the final O&M plan in the final drainage report and has been attached for review and approval.
5. Special Condition #51 requires the wetland boundary to be marked in the field to show the closest points from wetland to construction. It was determined that there were no wetland locations close enough to construction such that they would require additional marking. Wetlands are still protected by erosion control measures such as silt fences and straw wattles.

This letter serves to notify the Marlborough Conservation Commission that the work depicted on the approved plans has been completed and is in substantial conformance to the approved site plans. Based upon on-site construction observations and the attached "As-Built" drawing prepared by field instrument survey, A&M finds that the proposed site development was completed in substantial

compliance with the approved drawings and Order of Conditions. Please consider this letter as our affidavit of such.

We thank you in advance for the consideration of the Conservation Commission at the next available public hearing. Please let me know if attendance at the hearing will be necessary and a representative can be available. If you have any questions regarding this submittal, please contact me at (781) 305-9431.

Very truly yours,

ALLEN & MAJOR ASSOCIATES INC.
Carlton M. Quinn
Carlton M. Quinn, P.E.
Senior Project Manager

1.28.20



Cc: The Gutierrez Company; Scott Weiss

Attachments:

1. Massachusetts Department of Environmental Protection WPA Form 8A – Request for Certificate of Compliance.
2. P.E. stamped Letter of Drainage Certification, dated January 28, 2020.
3. P.E. stamped volume calculations noting both the provided and required stormwater water quality & recharge volumes.
4. An updated Operation and Maintenance Plan (O&M) dated May 14, 2020.
5. 150 Hayes Memorial Drive “As-Built” Plan by Allen & Major Associates, Inc. dated January 24, 2020 including inverts of all structures and discharge points.



WPA Form 8A – Request for Certificate of Compliance

212-1198

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by DEP

A. Project Information

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Upon completion of the work authorized in an Order of Conditions, the property owner must request a Certificate of Compliance from the issuing authority stating that the work or portion of the work has been satisfactorily completed.

1. This request is being made by:

The Gutierrez Company c/o Scott Weiss
Name
200 Summit Drive, Suite 400
Mailing Address
Burlington MA 01803
City/Town State Zip Code
781-272-7000
Phone Number

2. This request is in reference to work regulated by a final Order of Conditions issued to:

The Gutierrez Company
Applicant
October 5, 2018 212-1198
Dated DEP File Number

3. The project site is located at:

Hayes Memorial Drive Marlborough
Street Address City/Town
Map 99 Parcel 4
Assessors Map/Plat Number Parcel/Lot Number

4. The final Order of Conditions was recorded at the Registry of Deeds for:

Marlborough/Northborough Land Realty Trust, Arthur Gutierrez, Jr., Trustee
Property Owner (if different)
Middlesex South 72032 146
County Book Page
N/A
Certificate (if registered land)

5. This request is for certification that (check one):

- the work regulated by the above-referenced Order of Conditions has been satisfactorily completed.
 the following portions of the work regulated by the above-referenced Order of Conditions have been satisfactorily completed (use additional paper if necessary).

- the above-referenced Order of Conditions has lapsed and is therefore no longer valid, and the work regulated by it was never started.



WPA Form 8A – Request for Certificate of Compliance

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. Project Information (cont.)

6. Did the Order of Conditions for this project, or the portion of the project subject to this request, contain an approval of any plans stamped by a registered professional engineer, architect, landscape architect, or land surveyor?

Yes

If yes, attach a written statement by such a professional certifying substantial compliance with the plans and describing what deviation, if any, exists from the plans approved in the Order.

No

B. Submittal Requirements

Requests for Certificates of Compliance should be directed to the issuing authority that issued the final Order of Conditions (OOC). If the project received an OOC from the Conservation Commission, submit this request to that Commission. If the project was issued a Superseding Order of Conditions or was the subject of an Adjudicatory Hearing Final Decision, submit this request to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/find-the-massdep-regional-office-for-your-city-or-town.html>).

July 13, 2020

Mr. Thomas DiPersio
Marlborough Engineering Department
140 Main Street
Marlborough, MA 01752

RE: A&M # 1145-08A
Hayes G Warehouse Project
150 Hayes Memorial Drive
Drainage Certification

Dear Mr. Dipersio:

Allen & Major Associates, Inc., on behalf of The Gutierrez Company, has prepared this letter as a written statement certifying substantial compliance of the installed drainage system with the approved site plans for the Hayes G Warehouse project at 150 Hayes Memorial Drive. This letter has been prepared in support of close out with the Conservation Commission, and will be submitted with a WPA Form 8A Request for Certificate of Compliance for the issued Order of Conditions at a future date.

I, Carlton M. Quinn, PE, with Massachusetts Registration No. 49923, being a registered professional civil engineer certify at this time that the drainage improvements have been satisfactorily completed in substantial compliance with the approved site plans on file with the City of Marlborough associated with this project.

Enclosed is a copy of the final stamped and signed site as-built survey for the project, an updated Operation and Maintenance plan revised to incorporate the new owner and operator contact information, as well as a spreadsheet of the design and as-built volumes of the two (2) basins on-site, including one in Northborough. We thank you in advance for your consideration and please contact me with any concerns.

Very truly yours,

ALLEN & MAJOR ASSOCIATES, INC.



Carlton M. Quinn, P.E.
Senior Project Manager



Attachments:

1. WPA Form 8a – Request for Certification of Compliance
2. Spreadsheet of design versus as-built basin volumes, issued January 28, 2020.
3. Operation and Maintenance plan revised through January 28, 2020 incorporating new owner and operator contact information.
4. Stamped and Signed As-Built Survey revised through January 24, 2020.

BASIN CAPACITY			By DMR
Hayes G Project - 150 Hayes Memorial Drive		Jan. 28, 2020	Checked by CMQ
BMP	DESIGN VOLUME (FT³)	VOLUME PROVIDED (FT³)	ADJUST REQUIRED
BASIN #1	108,216	111,242	NO
BASIN #2	53,240	53,524	NO



ALLEN & MAJOR
ASSOCIATES, INC.

SITE LOCUS SCALE: 1"=1,000'



PARCEL G - DISTRIBUTION
CENTER DEVELOPMENT
NORTHBOROUGH & MARLBOROUGH, MASSACHUSETTS
OPERATION & MAINTENANCE
PLAN

DATE PREPARED:

APRIL 6, 2018

REVISED THROUGH:

MAY 14, 2020

APPLICANT:

THE GUTIERREZ COMPANY
200 WHEELER ROAD
BURLINGTON, MA 01803
781.272.7000

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY
WOBURN, MASSACHUSETTS 01801



A&M PROJECT NO. : 1145-08A

DRAINAGE REPORT

*Parcel G Distribution Center
Northborough & Marlborough, MA*

*A&M Project # 1145-08A
Issued April 6, 2018
Revised through May 14, 2020*

OPERATION AND MAINTENANCE PLAN

In accordance with the standards set forth by the Stormwater Management Policy issued by the Department of Environmental Protection (DEP), Allen & Major Associates, Inc. (A&M) has prepared the following Operation and Maintenance plan for the Parcel G Distribution Center Stormwater Management System (SMS).

This plan is broken in to two major sections. The first section describes construction-related erosion and sedimentation controls, which are now complete. The second section is devoted to post-development, on-going operation and maintenance plan which is covered by the remainder of this document. An operation and maintenance schedule has been included with this report.

Stormwater Management System Owner:

Hayes G, LLC
28 State Street, 10th Floor
Boston, MA 02109

Stormwater Management System Operator:

Sam Ajanaku (Property Manager)
Lincoln Property Company
1 Van De Graff Drive, Lower Level
Burlington, MA 01803
Tel: (781) 238-4488
Cell: (781) 858-4153
Email: sajanaku@lpc.com

Emergency Response Personnel Contact Information:

Clean Harbors
Marlborough Field Services
50A Brigham Street
Marlborough, MA 01752
24-hour line: (800)-645-8265
Bus. Line: (508)-970-8672

- | | |
|--|----------------------|
| - Allen & Major Associates, Inc. (Site Civil Engineer) | Phone (781) 935-6889 |
| - Northborough Public Works | Phone (508) 393-5030 |
| - Northborough Conservation Commission | Phone (508) 393-5015 |
| - Northborough Fire Department | Phone (508) 393-1537 |
| - Clean Harbors 24 Hour Emergency Response Line | Phone (800) 645-8265 |
| - Clean Harbors Local Business Line (Marlborough) | Phone (508) 970-8672 |

DRAINAGE REPORT

*Parcel G Distribution Center
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INTRODUCTION

The stormwater management system (SMS) for this project is owned by Hayes G, LLC (or current owner) and shall be legally responsible for long-term operation and maintenance for this SMS as outlined in this Operation and Maintenance (O&M) Plan. Should ownership of the SMS change, the succeeding owner will be presented with this O&M Plan and supporting attachments at or before legal conveyance of ownership and will assume the obligations of the O&M Plan. The Town of Northborough shall be notified of any change in ownership.

In the event that the SMS will be operated and maintained by an entity other than that listed in this document, the applicant shall provide a plan and easement deed that provides a right of access for the legal entity to be able to perform said operation and maintenance functions. In the event the SMS will serve multiple lots/owners, the applicant shall also provide a copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) to the Town of Northborough that establishes the terms of and legal responsibility for the operation and maintenance of the entire SMS.

POST CONSTRUCTION MAINTENANCE PLAN

The SMS shall be inspected immediately after construction, and in accordance with the attached Operation and Maintenance Schedule Log, as well as the Inspection and Maintenance Frequency Section below. The maintenance log will be kept (i.e. reported) by summarizing inspections, maintenance, and any corrective actions taken. The log will include the date on which each inspection or maintenance task was performed, a description of the inspection findings or maintenance completed, and the name of the inspector or maintenance personnel performing the task. If a maintenance task requires the clean-out of any sediments or debris, the location where the sediment and debris was disposed after removal will be indicated. The log will be made accessible to the Conservation Agent and a copy provided to the Department upon request. In accordance with the issued Orders of Conditions for the project, an annual maintenance report shall be provided to the Town Engineer and the Conservation Commission by June 1st of each year reporting on the maintenance and operation procedures, outlined in condition above, which have been met for that year. This reporting requirement will begin with the request for a Certificate of Compliance, or occupancy permit, whichever comes first.

The property is a warehouse and may be used to house rubber tires for a tire wholesaler. Although tires themselves are not considered hazardous materials, due to the nature of the potential contaminants generated by tires which have caught fire, and the location of the site within the Town of Northborough's Groundwater Overlay District 3, an Environmental Incident Response Plan (EIRP) has been incorporated into this Operation and Maintenance report in the event of a building fire containing tires. No tires are currently being stored in the building and the additional EIRP measures are only required during the time when tires are stored on site.

The burning tires could potentially generate contaminants including oil, oil by-products or other hydrocarbons. These potential contaminants could possibly be dispersed by water from

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the fire suppression system and conveyed to the existing stormwater management system, and eventually infiltrate into groundwater. For this reason, these preventative measures and response plan are required in the unlikely event of a tire fire. The response plan is not intended to be a complete treatment of contaminated fire suppression water on-site, but a reasonable approach to filtering and removing oils and other related contaminants from fire suppression water prior to reaching groundwater. This response plan will only be activated if tires are stored at the property. In the event that tires are stored in the building on the property, then the following items shall apply:

Tire Storage Related Pre-Incident Preparations:

- Each of the eighteen (18) catch basins on-site shall be equipped with one oil absorbent catch basin pillows, installed according to the manufacturer's recommendations. See the attached As-built plan for catch basin locations.
 - o Install Complete Environmental Products, Inc., (CEP) Poly Pillow Part #PIL10, or an equal as approved by the Town of Northborough Engineering Department to remove floating hydrocarbons within the catch basins. See below for more information on the poly pillow.
 - o Every catch basin has been installed with a snout to retain hydrocarbons within the catch basins for capture by the poly pillows (or approved equal)
 - o Pillows shall be inspected a minimum of every six (6) months and replaced as needed. Deteriorated, used or torn pillows shall be properly disposed of, and additional pillows shall be obtained and installed.
- Have contact information for Clean Harbors Emergency Response Line in a conspicuous location on-site.

Clean Harbors Emergency Response Line: 1-(800) 645-8265

In case of Tire Fire Incident:

- Evacuate the premises and ensure safety of everyone on-site.
- Call the Northborough Fire Department at (508) 393-1537.
- Contact Clean Harbors Emergency Response to schedule a cleanup.

Post Incident:

- Have Clean Harbors Emergency Response on site as soon as possible after the fire has been terminated to remove used pillows and vacuum remaining standing water within building and dispose of standing water and used pillows in accordance with all Local, State and Federal Regulations. The Town Engineer and Conservation Agent shall be notified and afforded the opportunity to inspect the site prior to the start of cleanup.
- All catch basin sumps shall be cleaned and vacuumed and contents disposed of in accordance with all Local, State and Federal Regulations.
- Forebays and detention basins shall be cleaned and contents disposed of in accordance with all Local, State and Federal Regulations.
- Provide written reports of the incident and cleanup to the City Engineer of Marlborough and Town Engineer of Northborough within 30 days of the incident.

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- Install new pillows in accordance with manufacturers recommendations.

Oil Absorbent Catch Basin Pillows:

Any time period during which rubber tires are stored on site, Complete Environmental Products, Inc., Poly Pillows Part #PIL10, or an approval equal, shall be installed in all catch basins. Poly pillows are ideal for spill control, containment, or for skimming oil from water. Oil absorbent catch basin pillows work in conjunction with oil snouts which are permanently installed in all catch basins on site to mitigate potential contaminants, including oil, oil products or other hydrocarbons from exiting the catch basins. The poly pillows (or approved equal) shall be inserted in all catch basins during the presence of rubber tires stored on the property. The use of heavy-duty polypropylene covers makes them resistant to tearing. The pillows shall be inspected every year at a minimum to ensure they are in good condition and have not deteriorated. Deteriorated, used or torn pillows shall be properly disposed of, and additional pillows shall be attained and installed as required, and in accordance with manufacturers recommendations. The Building manager shall maintain a supply of pillows on site equal to the number of catch basins on site at all times.

Inspection and Maintenance Frequency and Corrective Measures:

In accordance with MA DEP Stormwater Handbook: Volume 2, Chapter 2; the following areas, facilities, and measures will be inspected and the identified deficiencies will be corrected. Clean-out must include the removal and legal disposal of any accumulated sediments, trash, and debris. In any and all cases, operations, inspections, and maintenance activities shall utilize best practical measures to avoid and minimize impacts to wetland resource areas outside the foot print of the SMS.

Structural Pretreatment BMPs: Regular maintenance of these BMPs is especially critical because they typically receive the highest concentration of suspended solids during the first flush of a storm event.

Deep Sump Catch Basins:

Inspect catch basins 2 times per year (specifically after foliage and snow season) to ensure that the catch basins and pillows are working in their intended fashion and that they are free of debris. Structures will be skimmed of floatable debris at each inspection and sediment will be removed when or before sump is determined to be 50% full. If the basin outlet is designed with a hood to trap floatable materials (i.e. Snout), check to ensure watertight seal is working.

Proprietary Stormwater Separator (Water quality unit):

Inspect and clean these units in strict accordance with manufacturers' recommendations and requirements. Clean the units using the method specified by the manufacturer. Vactor trucks are typically used to clean these units. Clamshell buckets typically used for cleaning catch basins will not be allowed by manufacturers. Sometimes it will be necessary to remove sediment manually. The only proprietary separator proposed on-site is labeled as DMH-6 on the Grading and Drainage plans and discharges to basin #1 located in Northborough.

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The proprietary stormwater separator shall be maintained as stated in this appended Maintenance Plan and as follows: the system shall be inspected twice annually and shall be cleaned using a vacuum truck in accordance with the manufacturer's instructions and at a minimum annually. Sediment shall be removed when the depth in the chamber reaches 12 inches. During the first year of operation, inspection shall occur monthly and during periods of heavy contaminant loading (e.g. – construction, winter sanding, soil disturbances, or fuel spills). All records of annual maintenance shall be provided to the Commission electronically via e-mail within 30 days.

Detention BMPs:

Stormwater Facilities:

Maintenance of upstream pre-treatment measures is critically important to the function of BMPs. Pre-treatment BMPs shall be inspected for sediment and floatables accumulation and maintained at least twice per year (every other month recommended) and after every major storm event.

Surface Structures (Storm Water Detention Basins):

The surface structures will be inspected within the first three months after construction within 72 hours of a half-inch storm event to ensure it is draining properly. Thereafter, the bottom should be inspected for sediment, trash and debris at least twice per year. Trash, debris, and visible sediment should be removed. The system should also be inspected annually within 72 hours of a half-inch storm event to ensure it is draining properly. Inspections shall be logged in the attached Log Sheet.

Basins shall be maintained and inspected as stated in this Operation and Maintenance Plan and as follows:

- a. During the growing season, the side slopes shall be mowed at least twice with additional cutting performed as needed. Wetland plants shall be allowed to grow along the wet basin bottom, except that and such plants that interfere with the inlet or outlet control devices shall be removed.
- b. All tree saplings shall be removed from embankments and the pond bottom.
- c. The inlet and outlet shall be inspected for erosion and sedimentation; riprap shall be repaired promptly in the event of erosion.
- d. The basins shall be inspected for sediment accumulation annually and any accumulated sediments shall be removed when the depth reaches six inches anywhere in the basins. All accumulated sediments shall be disposed of in accordance with current applicable local, state and federal guidelines and regulations. Sediment removal and other pond maintenance activities shall not be

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considered as a wetland alteration under the Massachusetts Wetlands Protection Act or the Northborough Wetlands Bylaw, however the Commission shall be notified of all such activities at least 48 hours in advance.

Other BMPs and Accessories:

Culverts:

Inspect culverts 2 times per year (in Spring and Fall) to ensure that the culverts are working in their intended fashion and that they are free of debris. Remove any obstructions to flow; remove accumulated sediments and debris at the inlet, at the outlet, and within the conduit and to repair any erosion damage at the culvert's inlet and outlet.

Vegetated Areas:

Inspect slopes and embankments early in the growing season to identify active or potential erosion problems. Replant bare areas or areas with sparse growth. Where rill erosion is evident, armor the area with an appropriate lining or divert the erosive flows to on-site areas able to withstand the concentrated flows.

De-Icing Chemicals:

In accordance with the Town of Northborough's special condition #14, the use of de-icing chemicals shall be limited. Reduced amounts of de-icing chemicals shall be achieved through careful application. Sand shall be the primary agent used for driveways, pedestrian walkways, and parking lots during snow/ice conditions. When necessary for safety conditions, alternative de-icing compounds, such as calcium chloride and/or calcium magnesium acetate shall be used. No de-icing chemicals shall be used where direct run-off/drainage will discharge into the wetland resource areas. This condition shall remain in perpetuity, and shall be recorded as such on the Certificate of Compliance.

Roadways and Parking Surfaces:

Clear accumulations of winter sand in parking lots and along roadways at least once a year, preferably in the spring. Accumulations on pavement may be removed by pavement sweeping. Accumulations of sand along road shoulders may be removed by grading excess sand to the pavement edge and removing it manually or by a front-end loader. In accordance with the Town of Northborough's special conditions #40, the sidewalk and parking lot shall be swept during early and late spring at a minimum or in the event of excessive accumulation.

Roof Drains:

In accordance with the Town of Northborough's special conditions #42, the roof shall be kept clear of debris. An annual inspection shall be conducted and any sediment or other particulate matter that may accumulate shall be removed and reported on the maintenance log sheet.

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Snow Storage:

In accordance with the Town of Northborough's special conditions #41, snow storage shall be limited to the designated locations as indicated on the approved plans.

Accumulated Debris:

In accordance with the Town of Northborough's special conditions #43 and #44, the accumulated debris and sediment shall be removed on an as needed basis, annually at a minimum and all accumulated sediments and hydrocarbons shall be disposed of in accordance with current applicable local, state and federal guidelines and regulations.

LANDSCAPED MANAGEMENT PLAN

It should be recognized that this is a general guideline towards achieving high quality and well-groomed landscaped areas. The grounds staff / landscape contractor must recognize the shortcomings of a general maintenance program such as this and modify and/or augment it based on weekly, monthly, and yearly observations. In order to assure the highest quality conditions, the staff must also recognize and appreciate the need to be aware of the constantly changing conditions of the landscaping and be able to respond to them on a proactive basis.

Additional care must be taken in landscape areas that are functioning as BMP drainage structures. These areas have been specifically designed to treat and convey stormwater and shall be maintained as such. These areas include the Sediment Forebay and Detention Basin and are illustrated on the Grading & Drainage Plan.

Fertilizer

Maintenance practices should be aimed at reducing environmental, mechanical and pest stresses to promote healthy and vigorous growth. When necessary, pest outbreaks should be treated with the most sensitive control measure available. Synthetic chemical controls should be used only as a last resort to organic and biological control methods. Fertilizer, synthetic chemical controls and pest management applications (when necessary) should be performed only by licensed applicators in accordance with the manufacturer's label instructions when environmental conditions are conducive to controlled product application.

Only slow-release organic fertilizers should be used in the landscaped areas to limit the amount of nutrients that could enter downstream resource areas. Fertilization of developed areas on site will be performed within manufacturers labeling instructions. Additionally, the fertilizer will include a slow release element and be Phosphorous free.

In accordance with the Order of Conditions recorded with the Worcester Registry of Deeds

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Book 59844 Page 211 special condition #13, the use of fertilizers shall be in accordance with manufacturer's recommendations and federal law. Herbicide and pesticide usage shall be in accordance with federal regulations. This condition shall remain in perpetuity, and shall be recorded as such on the Certificate of Compliance.

Suggested Aeration Program

In-season aeration of lawn areas is good cultural practice and is recommended whenever feasible. It should be accomplished with a solid thin tine aeration method to reduce disruption to the use of the area. The depth of solid tine aeration is similar to core type but should be performed when the soil is somewhat drier for a greater overall effect.

Depending on the intensity of use, it can be expected that all landscaped lawn areas will need aeration to reduce compaction at least once per year. The first operation should occur in late May following the spring season. Methods of reducing compaction will vary based on the nature of the compaction. Compaction on newly established landscaped areas is generally limited to the top 2-3" and can be alleviated using hollow core or thin tine aeration methods.

The spring aeration should consist of two passes at opposite directions with 1/4" hollow core tines penetrating 3-5" into the soil profile. Aeration should occur when the soil is moist but not saturated. The cores should be shattered in place and dragged or swept back into the turf to control thatch. If desired the cores may also be removed and the area top-dressed with sand or sandy loam. If the area drains on average too slowly, the topdressing should contain a higher percentage of sand. If it is draining on average too quickly, the top dressing should contain a higher percentage of soil and organic matter.

Landscape Maintenance Program Practices:

Lawn

- Mow a minimum of once a week in spring, to a height of 2" to 2 1/2" high. Mowing should be frequent enough so that no more than 1/3 of grass blade is removed at each mowing. The top growth supports the roots; the shorter the grass is cut, the less the roots will grow. Short cutting also dries out the soil and encourages weeds to germinate.
- Mow approximately once every two weeks from July 1st to August 15th depending on lawn growth.
- Mow on a ten-day cycle in fall, when growth is stimulated by cooler nights and increased moisture.
- Do not remove grass clippings after mowing. (Except in Drainage BMP's)
- Keep mower blades sharp to prevent ragged cuts on grass leaves, which cause a

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- brownish appearance and increase the chance for disease to enter a leaf.
- Supplemental irrigation of lawn areas should provide 1” of water per week in two watering’s per week—when no natural rainfall has occurred.
 - Shrubs
 - Mulch not more than 3” depth with shredded pine or fir bark.
 - Hand pruning shall be performed annually based on the natural growth characteristics of each species to keep plants from overgrowing walks and windows. **NO SHEARING OF SHRUBS IS PERMITTED.** Typically, pruning of each variety shall be immediately after blooming.
 - Fertilize with ½ lb. slow-release fertilizer (see above section on Fertilizer) every second year.
 - Hand prune evergreen shrubs only as needed to remove dead and damaged wood and to maintain the naturalistic form of the shrub. Never mechanically shear evergreen shrubs.
 - Trees
 - Provide aftercare for new tree plantings for the first three years.
 - Do not fertilize trees, it artificially stimulates them (unless tree health warrants).
 - Water once a week for the first year; twice a month the second, once a month the third year.
 - Prune trees on a four-year cycle.

Grassland Management Protocol

During the first three growing seasons the native grasslands should mowed one or two times with a sickle bar mower to suppress weed species. The blade shall be set between 5”-10” as directed. If weed growth is not rampant, the first mowing should be done in mid-July. More than one mowing may be necessary over the course of the first and second growing season if extensive weed growth is evident. During the third year of growth, one mowing shall be performed in late July. No rotary mowers shall be used. All cuttings should be removed and disposed of away from the planted area until the grassland habitat is fully established.

No fertilizers shall be used after planting. The low nitrogen available from the soil is an important factor in suppressing many potential invasive species from establishing in the grassland restoration areas.

Herbicides shall only be used where non-grass herbaceous species comprise more than 30 percent of vegetative cover based as determined from monitoring. Appropriate broad-leaf herbicides should be used only according to their directions.

Supplemental Seeding shall be done in areas where the primary seeding has not been

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successful as directed by the monitor.

Maintenance Phase

By the fourth growing season, the planted grasslands should be reaching maturity. At this time, half of the grassland habitat area should be mown annually in mid- August to maintain the grassland habitat, limiting the opportunity for shrubs and late-blooming forbs to spread, and allowing the grasses time to recover before dormancy.

MANAGEMENT OF DEICING CHEMICALS AND SNOW

It will be the responsibility of the snow removal contractor to properly dispose of transported snow according to the Massachusetts DEP, Bureau of Resource Protection – Snow Disposal Guideline #BRPG01-0, governing the proper disposal of snow. It will be the responsibility of the snow removal contractor to follow these guidelines and all applicable laws and regulations. A copy of the MA DEP Snow Disposal Guideline #BRPG01-01 has been included at the end of Section 2 for reference.

The sites maintenance staff (or its designee) will be responsible for the clearing of the sidewalk and building entrances. The site may be required to use a de-icing agent such as potassium chloride (or approved equal) to maintain a safe walking surface; however, these are to be used at the minimum amount practicable. The de-icing agent for the walkways and building entrances will be kept within the storage rooms located within the buildings. De-icing agents will not be stored outside. All slopes leading to forested and wetland areas shall be inspected and cleaned weekly of all trash and debris.

OPERATION & MAINTENANCE PLAN SCHEDULE

Project: Parcel G Distribution Center Development
Address: 150 Hayes Memorial Drive
 Northborough & Marlborough, MA

Party Responsible for O & M Plan: The Gutierrez Company
Address: 200 Summit Drive, Suite 400
 Burlington, MA 01803

Date: 4/6/2018
Revised: 5/6/2020

Phone: 781-272-7000

Structure or Task	Maintenance Activity	Schedule/Notes	Annual Maintenance Cost	Inspection Performed	
				Date:	By:
Street Sweeping	Sweep, power broom or vacuum paved areas.	Sweep paved areas as needed, but not less than four times annually.	\$2,000		
		Submit information that confirms that all street sweepings have been disposed in accordance with state and local requirements			
Deep Sump Catch Basins(s)	Vacuum sumps	Inspect at least twice annually. Clean when sediment is within 2.5 feet of the outlet invert.	\$500		
		Submit information that confirms that all catch basin sediments have been disposed in accordance with state and local requirements			
Oil Absorbent Pillows (Or approved equal) (IF REQUIRED)	Inspect pillows for deterioration and replace as needed. Install pillows in accordance with manufacturer's recommendaiton.	Pillows shall be inspected a minimum of once per year, and replaced as needed.	Varies		
		Deteriorated, used or torn pillows shall be properly disposed of, and additional pillows shall be obtained and installed.			
Proprietary Stormwater Separator	Vactor trucks or manual cleaning. Clean units in accordance with manufacturers recommendations and requirements. Clam shell not recommended for these units.	Inspect in accordance with manufacturers requirements, but no less than monthly for the first year following installation, and no less than once a year thereafter. Remove sediment and other trapped pollutants at frequency or level specified by manufacturer or when the sediment depth in the chamber reaches 12 inches.	\$2,000		
Storm Water Management System					
Surface Basins	Inspect to ensure it is draining properly. Inspect inlets, outlets and riprap and repair immediately	Perform every other month as well as after every storm event over 1/2". See also note #1 below.	\$2,000		
	Side slopes mowed at least twice during growing season				
	Inspect system bottoms and remove any accumulated sediment greater than 6 inches				
Outlet Control Structure(s)	Vacuum.	Periodic cleaning of Outlet Control Structures as needed.	\$500		
Mosquito Control	CB management targeted larviciding treatment to CB's and all storm drains to control mosquitoes in their aquatic stages.	Surveillance is a non chemical inspection method that involves classification of mosquito breeding sites, larval presents, and survey.	\$100		
Snow Storage	Debris shall be cleared from the site and properly disposed of at the end of the snow season, but shall be cleared no later than May 15.	See Site Plan for appropriate locations. For additional snow storage guidelines see the 2019 MassDEP Snow Disposal Guidance document when determining snow storage locations.	\$500		

Note #1 - During the first year of operation, all of the BMP's shall be inspected during and after large storm events to ensure they are functioning properly.



Product Data Sheet

Product Number: PIL10

Product Name: Sorbent Pillow (Oil Only)

Item #	Amount	Length	Width	Height	Depth	Weight
PIL10	Up to 40 gallons	-	-	-	-	9 lbs/bale

Dimensions: 3" x 18" x 24"

Description and Application

Ideal for catch basins and sumps. Provides containment and adsorption while repelling water.

Features and Benefits

- Waterproof packaging
- Hydrophobic
- Non-toxic
- Incinerable 11,000 High BTU, .02% Low Ash Content
- 25 x weight adsorption capacity
- Zero trace elements
- 10/cs

Composition

- Meltblown Polypropylene

SAFETY DATA SHEET

SECTION 1: IDENTIFICATION OF PRODUCT AND COMPANY INFORMATION

PRODUCT NAME: OIL ONLY ABSORBENT

PRODUCT USE: SORBENT MEDIA USED TO ABSORB OIL-BASED CHEMICALS WHICH INCLUDE BUT NOT LIMITED TO DIESEL FUEL, OIL, GASOLINE AND KEROSENE WHILE REPELLING WATER AND WATER BASED PRODUCTS.

SPECIFIC PRODUCT TYPE: ABSORBENT PADS, SOCK, PILLOW, NONWOVEN

PRODUCT CODE: ALL BP, Q, ODT, BEP, SSB, BR, BSR, BER, QB, QR, P, EP, SS, L, R, SR, ER, LR, SLR, QEP, WD, QL, SW, QSR, QER, BB, B, SAK, PS, PIL, BPIL, COT

COMPANY INFORMATION: COMPLETE ENVIRONMENTAL PRODUCTS, INC. **PHONE:** 713-921-7900
3500 PASADENA FREEWAY **FAX:** 713-921-9767
PASADENA, TX 77503 **EMER:** 713-921-7900

SECTION 2: HAZARDS IDENTIFICATION

CLASSIFICATION (GHS-US)

THIS PRODUCT IS NOT DANGEROUS IN ITS UNUSED FORM AND CONTAINS NO HAZARDOUS INGREDIENTS.

NOT CLASSIFIED

SECTION 3: COMPOSITION/INFORMATION ON INGREDIENTS

<u>MATERIALS</u>	<u>PERCENT</u>	<u>CAS #</u>
POLYPROPYLENE:	>97%	9003-07-0
ANTI STATIC AGENT	<0.3%	NONE
WHITE PIGMENT	< 1%	NONE
PINK PIGMENT	<1%	NONE
BLUE PIGMENT	< 1%	NONE

SECTION 4: FIRST AID MEASURES

NO SPECIAL PROCEDURES REQUIRED

SECTION 5: FIRE AND EXPLOSION HAZARD DATA

FLASH POINT: >315 DEGREES CELCIUS (ASTM D93)

FLAMMABLE LIMITS: NOT YET DETERMINED

EXTINGUISHING MEDIA: WATER, FOAM, CO2, DRY CHEMICAL

SPECIAL FIRE FIGHTING PROCEDURES: STANDARD PROCEDURE FOR CLASS A FIRES

UNUSUAL FIRE AND EXPLOSION HAZARD: SOME CARBON MONOXIDE UNDER LEAN OXYGEN CONDITIONS

SECTION 6: ACCIDENTAL RELEASE MEASURES

NO SPECIAL STEPS ARE TO BE TAKEN IF MATERIAL IS RELEASED OR SPILLED

SECTION 7: HANDLING AND STORAGE

STORE IN DRY AREA. DO NOT STORE NEAR OPEN FLAME, HIGH HEAT OR STRONG OXIDANTS. POLYPROPYLENE, WHEN HEATED, BECOMES VERY STICKY AND WILL BURN. USE SELF-CONTAINED AIR MASK TO ENTER SMOKY AREA IN THE EVENT OF FIRE.

SECTION 8: EXPOSUR CONTROLS/PERSONAL PROTECTIVE EQUIPMENT

EXPOSURE LIMITS: OSHA PEL: N/A **ACGIH TLV: N/A**

RESPIRATORY PROTECTION: NONE REQUIRED

VENTILATION: NONE REQUIRED

PROTECTIVE GLOVES: NONE REQUIRED ONLY IF MOLTAN

EYE PROTECTION: NONE REQUIRED

OTHER PROTECTIVE EQUIPMENT (SPECIFY): NONE REQUIRED

SECTION 9: PHYSICAL AND CHEMICAL PROPERTIES

COLOR: WHITE, BLUE

DENSITY: 0.04 - 0.06 gram/cc

ODOR: NO ODOR

SPECIFIC GRAVITY: 0.88 - 0.92

FLASH POINT: NOT APPLICABLE

BOILING POINT: NOT APPLICABLE
MELTING POINT: > 160 DEGREES CELSIUS
SOLUBILITY IN WATER: INSOLUABLE
PERCENT VOLATILE: NOT APPLICABLE
EVAPORATION RATE: NOT APPLICABLE
VAPOR PRESSURE (mm Hg): NOT APPLICABLE
VAPOR DENSITY (Air = 1): NOT APPLICABLE
AUTO IGNITION TEMPERATURE >675 DEGREES FAHRENHEIT

SECTION 10: STABILITY AND REACTIVITY DATA

STABILITY: STABLE
INCOMPATIBILITY (conditions to avoid): NONE
INCOMPATIBILITY (materials to avoid): NITRIC ACID, PERCHLORIC ACID, SULFURIC ACID OR 98% SULFURIC ACID
HAZARDOUS DECOMPOSITON: WHEN HEATED, IT MAY EMIT TOXIC
HAZARDOUS POLYMERAZATION: WILL NOT OCCURE

SECTION 11: TOXOCOLOGICAL INFORMATION

HEALTH HAZARDS (acute or chronic): NONE
SIGNS OR SYSMPTOMS OF EXPOSURE: NONE
MEDICAL CONDITIONS GENERRALLY AGGRAVATED BY EXPOSURE: NONE
DATE ISSUED: September 14, 2015
PREPARED BY: WORLDWIDE SORBENT PRODUCTS, INC.

SECTION 12 TO SECTION 15 NOT APPLICABLE

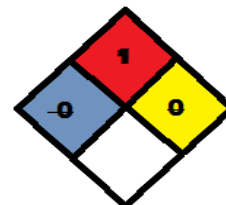
SECTION 16: OTHER INFORMATION

SDS REVISION DATE: September 1, 2018

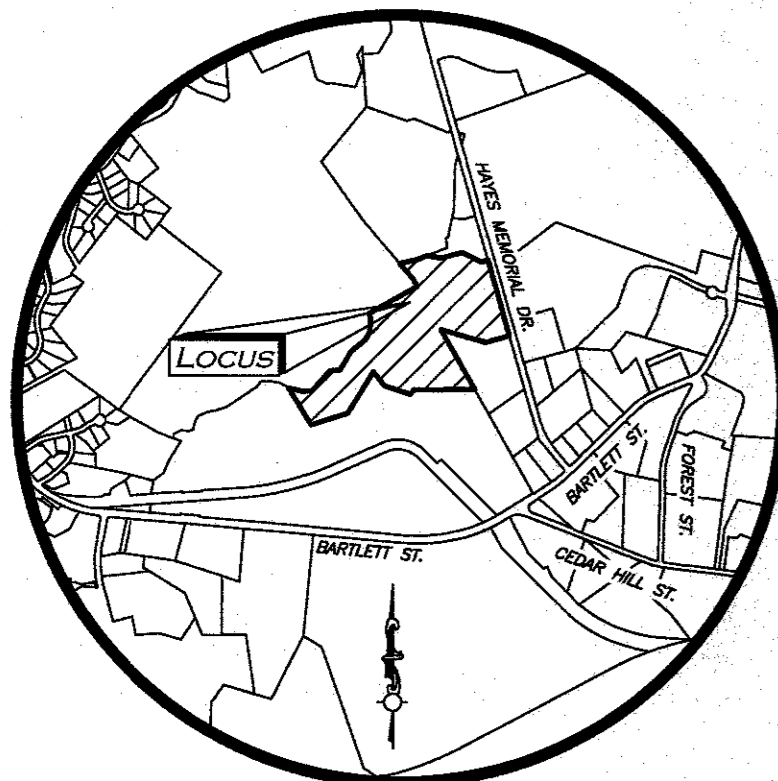
NFPA HEALTH HAZARD : **0** - EXPOSURE UNDER FIRE CONDITIONS WOULD OFFER NO HAZARD BEYOND THAT OF ORDINARY COMBUSTIBLE MATERIALS.

NFPA FIRE HAZARD : **1** - MUST BE PREHEATED BEFORE IGNITION CAN OCCUR.

NFPA REACTIVITY : **0** - NORMALLY STABLE, EVEN UNDER FIRE EXPOSURE CONDITIONS, AND ARE



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LOCUS MAP
(NOT TO SCALE)

LOCUS REFERENCES

- DEED BOOK 72251, PAGE 340
- PLAN 1046 OF 2018
- OWNER OF RECORD: HAYES G, LLC

PLAN REFERENCES

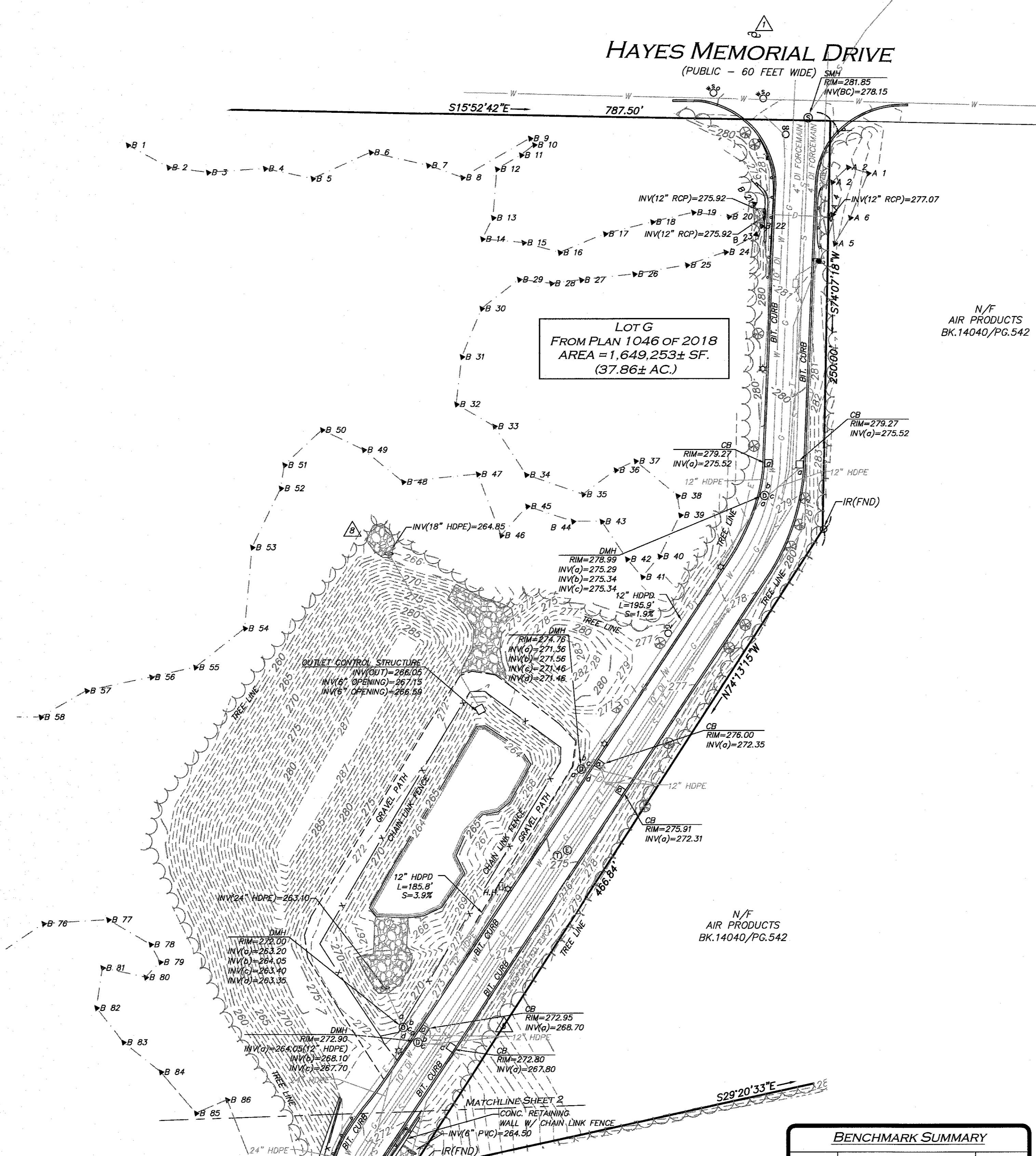
- PLAN 1046 OF 2018
- PLAN 13246 OF 1999
- LAND COUNT CASE 4247H
- PLAN BOOK 246 PLAN 53
- PLAN BOOK 760 PLAN 55
- PLAN 999 OF 2008
- PLAN 945 OF 2003
- PLAN BOOK 335 PLAN 14
- "COMMONWEALTH OF MASSACHUSETTS HARBOR AND LAND COMMISSION, ATLAS OF THE BOUNDARIES OF THE CITY OF MARLBOROUGH" DATED 1908

NOTES

- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
- BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
- VERTICAL DATUM IS NAVD 88.
- CONTOUR INTERVAL IS ONE FOOT (1').
- ALL CURBING SHOWN HEREON IS CONCRETE UNLESS OTHERWISE NOTED.
- UNDERGROUND ELECTRIC, GAS, SEWER FORCE MAIN, TELEPHONE AND WATER LINES SHOWN HEREON TAKEN FROM A PLAN ENTITLED "AS-BUILT" DATED DECEMBER 11, 2019, PREPARED BY BORGGAARD CONSTRUCTION CORPORATION.
- WETLANDS DELINEATED BY GODDARD CONSULTING LLC AND FIELD LOCATED BY ALLEN & MAJOR ASSOCIATES, INC. ON OR BETWEEN 11-10-18, 02-09-27, 02-27-18 & 07-25-18. ELEVATIONS SHOWN BELOW THE EDGE OF WATER LINE IN THE DETENTION BASIN (LOCATED ON THE NORTHBOROUGH PORTION OF THE PROPERTY) ARE TAKEN FROM A PLAN ENTITLED "AS-BUILT" DATED DECEMBER 11, 2019, PREPARED BY BORGGAARD CONSTRUCTION CORPORATION.

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



HAYES MEMORIAL DRIVE
(PUBLIC - 60 FEET WIDE)

LOT G
FROM PLAN 1046 OF 2018
AREA = 1,649,253± SF.
(37.86± AC.)

PARKING SUMMARY

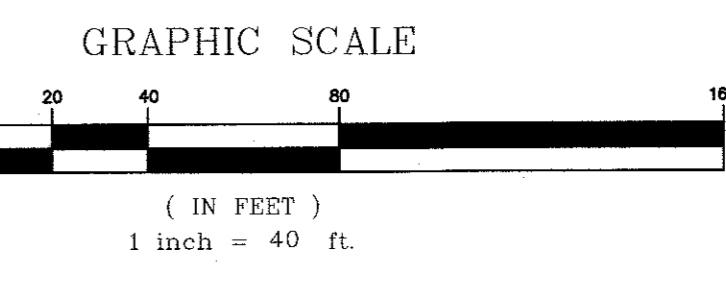
STANDARD STALLS	162
HANDICAPPED STALLS	7
TOTAL STALLS	169

BENCHMARK SUMMARY

TBM #	DESCRIPTION	ELEV.
1	COTTON GIN SPINDLE IN UTILITY POLE	282.69
5	COTTON GIN SPINDLE IN TREE	281.07
8	COTTON GIN SPINDLE IN TREE	265.00
14	COTTON GIN SPINDLE IN TREE	285.99
23	X-CUT ON HYDRANT FLANGE BOLT	272.59

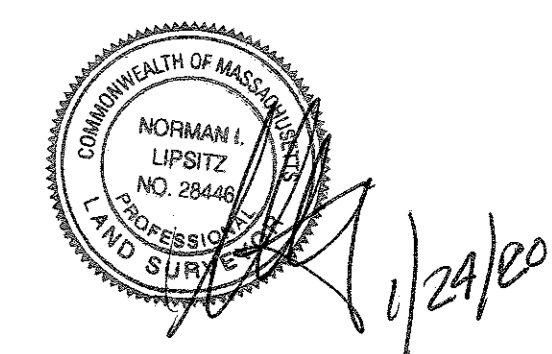
LEGEND

- IRON ROD (IR) ○
- CONCRETE BOUND SET BY OTHERS □
- CONCRETE BOUND SET ■
- IRON PIN SET BY OTHERS ○
- IRON PIN SET ●
- CONSERVATION RESTRICTION SIGN ▲
- DRAIN MANHOLE (DMH) ⊕
- SEWER MANHOLE (SMH) ⊕
- ELECTRIC MANHOLE (EMH) ⊕
- MISC. MANHOLE (MH) ⊕
- TELEPHONE MANHOLE (TMH) ⊕
- CATCH BASIN (CB) □
- UTILITY POLE W/RISER ⊕
- FIRE HYDRANT ⊕
- WATER GATE ⊕
- GAS GATE ⊕
- BOLLARD ⊕
- CLEANOUT ⊕
- INVERT (INV) ⊕
- FLARED END SECTION ⊕
- LIGHT ⊕
- TREE ⊕
- SIGN ⊕
- TRANSFORMER ⊕
- DOWNSPOUT ⊕
- WETLAND FLAG ⊕
- HAND HOLE ⊕
- GAS METER ⊕
- HANDICAPPED PARKING SPACE ⊕
- PARKING SPACE COUNT ⊕
- CONCRETE ⊕
- RIP-RAP ⊕
- BUILDING ⊕
- WETLAND ⊕
- 1' CONTOUR ⊕
- 5' CONTOUR ⊕
- PROPERTY LINE ⊕
- ABUTTERS LINE ⊕
- TOWN LINE ⊕
- CONCRETE RETAINING WALL ⊕
- TREE LINE ⊕
- EDGE OF GRAVEL ⊕
- EDGE OF WATER ⊕
- CURB ⊕
- CHAIN LINK FENCE ⊕
- GUARDRAIL ⊕
- WATER LINE ⊕
- SEWER LINE ⊕
- DRAIN LINE ⊕
- GAS LINE ⊕
- ELECTRIC LINE ⊕
- TELEPHONE LINE ⊕
- OVERHEAD WIRES ⊕
- FINISHED FLOOR ELEVATION ⊕
- BITUMINOUS ⊕
- CONCRETE ⊕
- GRANITE ⊕
- BOTTOM CENTER ⊕
- REINFORCED CONCRETE PIPE ⊕
- POLYVINYL CHLORIDE PIPE ⊕
- DUCTILE IRON PIPE ⊕
- HIGH DENSITY POLYETHYLENE PIPE ⊕
- FOUND ⊕
- NOW OR FORMERLY ⊕
- BOOK ⊕
- PAGE ⊕



WE HEREBY CERTIFY THAT:
THIS PLAN IS THE RESULT OF AN ACTUAL
ON THE GROUND SURVEY PERFORMED ON OR
BETWEEN MARCH 29, 2018 AND DECEMBER 13,
2019.
THIS PLAN ACCURATELY DEPICTS THE
AS-BUILT CONDITIONS AS THEY EXISTED AT
THE TIME OF THE FIELD SURVEY.
THE ABOVE IS CERTIFIED TO THE BEST OF
MY PROFESSIONAL KNOWLEDGE, INFORMATION,
AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.
Allen & Major
PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.



WE HEREBY CERTIFY THAT:
THE AS-BUILT INFORMATION SHOWN ON THIS
PLAN IS IN CONFORMANCE WITH THE
APPROVED SITE PLANS DATED NOVEMBER 14,
2018.
THE ABOVE IS CERTIFIED TO THE BEST OF
MY PROFESSIONAL KNOWLEDGE, INFORMATION,
AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.
Allen & Major
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

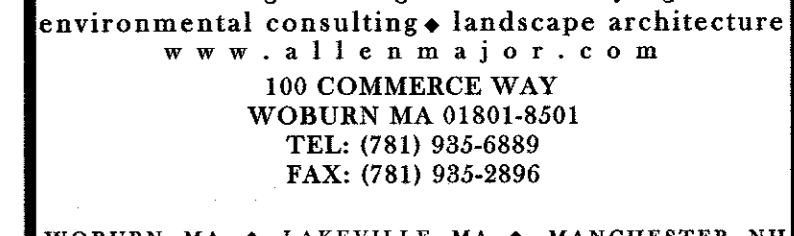
1.	01/24/20	VARIOUS REVISIONS
REV	DATE	DESCRIPTION

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:
HAYES G DEVELOPMENT
150 HAYES MEMORIAL DRIVE
MARLBOROUGH, MA &
NORTHBOROUGH, MA

PROJECT NO. 1145-08A DATE: 12/20/19
SCALE: 1" = 40' DWG. NAME: S-1145-08A-AB

DRAFTED BY: COB/KAC CHECKED BY: NIL
PREPARED BY:



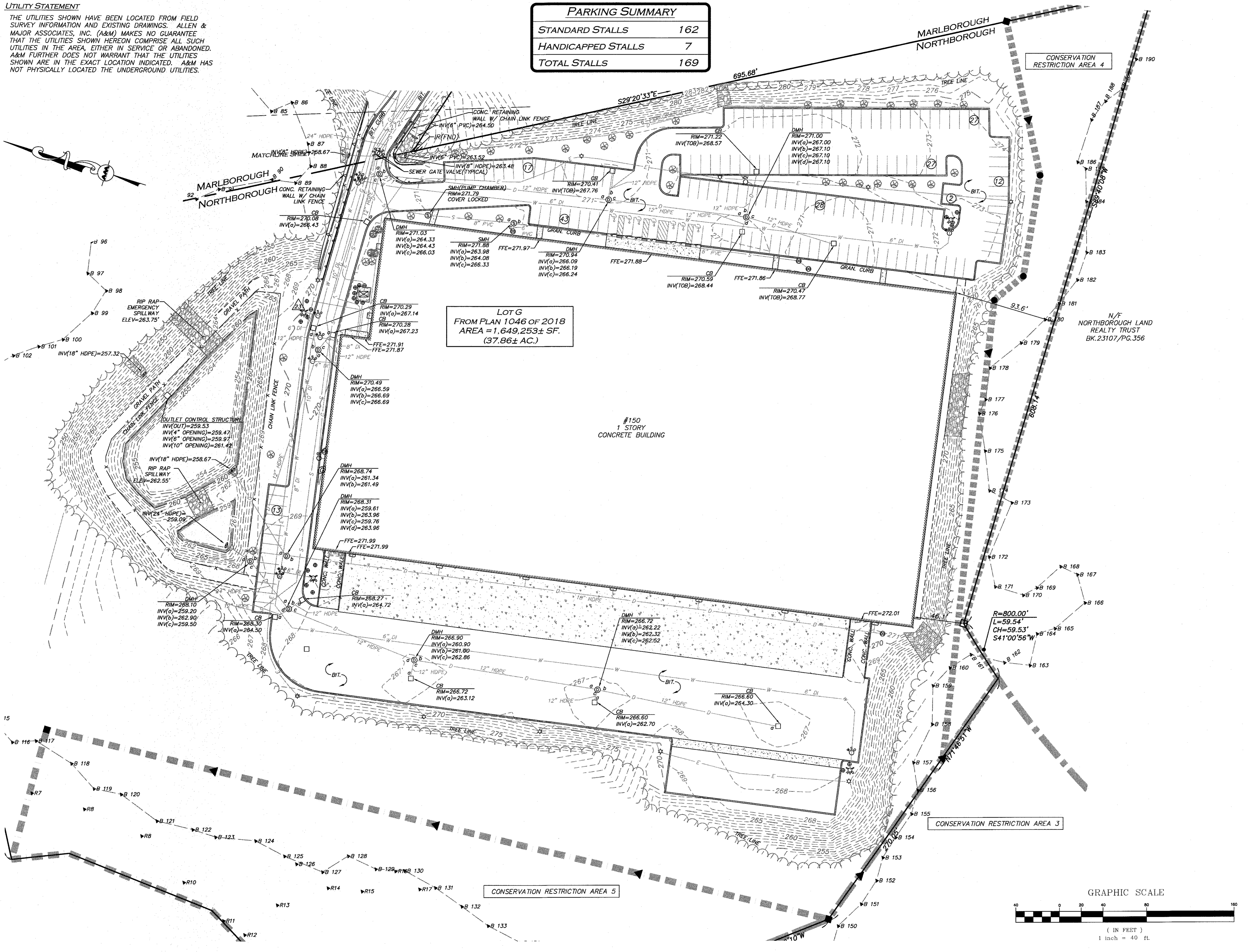
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DRAWING TITLE: **AS-BUILT** SHEET No. **1 OF 2**

UTILITY STATEMENT

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PARKING SUMMARY	
STANDARD STALLS	162
HANDICAPPED STALLS	7
TOTAL STALLS	169

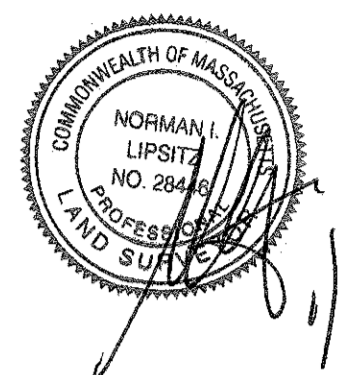


LOT G
FROM PLAN 1046 OF 2018
AREA = 1,649,253± SF.
(37.86± AC.)

#150
1 STORY
CONCRETE BUILDING

WE HEREBY CERTIFY THAT:
THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN MARCH 29, 2018 AND DECEMBER 13, 2019.
THIS PLAN ACCURATELY DEPICTS THE AS-BUILT CONDITIONS AS THEY EXISTED AT THE TIME OF THE FIELD SURVEY.
THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.
[Signature] 1/24/20
PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



WE HEREBY CERTIFY THAT:
THE AS-BUILT INFORMATION SHOWN ON THIS PLAN IS IN CONFORMANCE WITH THE APPROVED SITE PLANS DATED NOVEMBER 14, 2018.
THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.
[Signature] 1/24/20
PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1.	01/24/20	VARIOUS REVISIONS

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

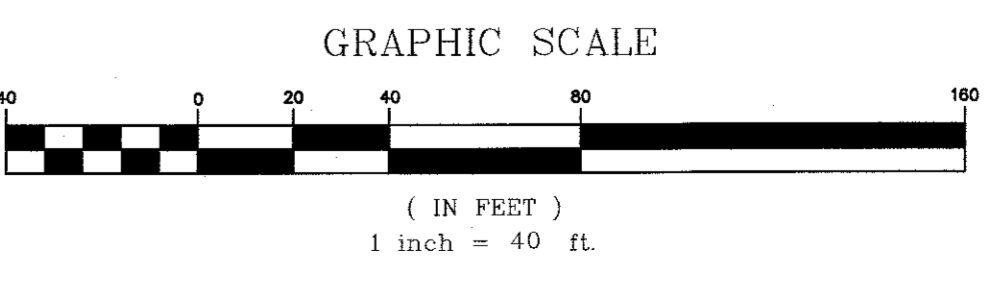
PROJECT:
HAYES G DEVELOPMENT
150 HAYES MEMORIAL DRIVE
MARLBOROUGH, MA & NORTHBOROUGH, MA

PROJECT NO. 1145-08A DATE: 12/20/19
SCALE: 1" = 40' DWG. NAME: S-1145-08A-AB
DRAFTED BY: COB/KAC CHECKED BY: NIL

PREPARED BY:
ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY
WOBBURN, MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: AS-BUILT SHEET No. 2 OF 2



July 29, 2020

Attn. Israel Lopez
The Gutierrez Company
200 Summit Drive, Suite 400
Burlington, MA 01803

Re: Memorandum: Wetland Finger Discovery and Restoration
Parcel 'L' Hayes Memorial Drive

Goddard Consulting, LLC is pleased to submit this memorandum on the wetland finger noted during test pit work at Parcel 'L' on Hayes Memorial Drive in Marlborough.

Site Inspection

Goddard reviewed the low valley at the eastern end of the uplands on parcel 'L' and noted the valley had a very subtle and small spot where potential surface water overflowed from a low point into the previously delineated wetland line at GC78 and GC79. This connection was overlooked during the delineation under full-leaf out in the fall of 2019 due to the dense vegetation and became apparent after soil testing was completed in the area. This area has been flagged by Goddard. From Goddard's review the area should be restored to a natural condition.

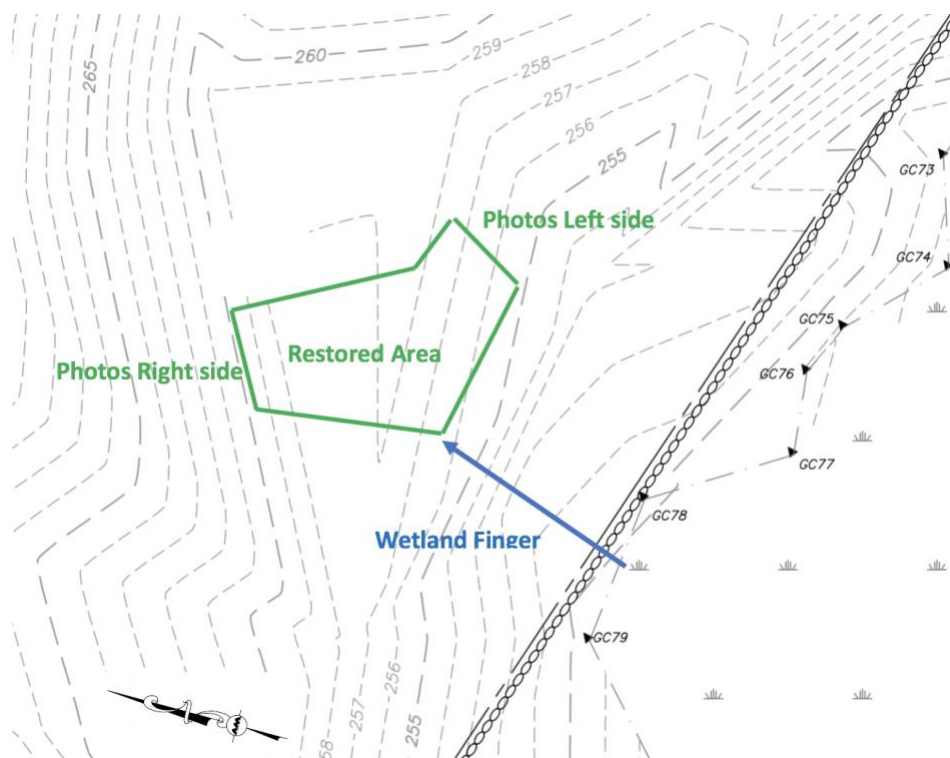


Figure 1: General Location of Area Restored (not to scale)

Area Restoration

Goddard supervised a work crew to restore the natural woody area that was disturbed during the soil testing. This included transplanting native vegetation from uplands areas outside the Buffer Zone to the area disturbed. Work occurred on July 8th and 10th.

During the work the following was completed:

- Soils from backfilled test pits was removed to expose existing topsoil.
- 4+ dozen Cinnamon, Sensitive, Intermediate woodfern, and Christmas ferns were transplanted
- 12+ Highbush blueberry, spicebush shrubs were transplanted
- Woody debris added for wildlife habitat
- Leaf duff added to provide natural forest ground cover
- Note: +/- 2 dozen Cinnamon and Sensitive ferns were already present within the area resorted and existing red maples are providing tree cover over this area. In addition small herbaceous vegetation is growing back in exposed topsoil.



Photo 1: Panoramic photo of restored area from upgradient corner
(Photos 2-9 provide close ups from left/east to right/north)



Photo 2: Restored Area, far left (east), looking left to right



Photo 3: Restored Area, middle left, looking left to right.



Photo 4: Restored Area, middle, looking left to right.



Photo 5: Restored Area, middle, looking left to right.



Photo 6: Restored Area, middle right, looking left to right.



Photo 7: Restored Area, far right (north), looking left to right.



Photo 8: Restored Area, far right (north), looking left to right.



Photo 9: Restored Area, far right (north), looking left to right.

Conclusion:

Goddard would find that the restoration work has exposed most of the natural soils and provided a good native vegetation to the restored area. The area should have 75% vegetative coverage that includes herbaceous, shrubs and trees once herbaceous vegetation currently coming up has fully grown back.

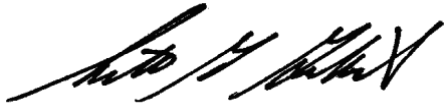
Peer Review Follow-up:

On July 18, 2020 the wetland line was reviewed by Scott Smyers from Oxbow Associates along with two Conservation Commission members. The revised flagging around the wetland finger was reviewed and the restoration work was found to be acceptable.

If there are any questions concerning this report, please do not hesitate to contact us.

Sincerely,
Goddard Consulting, LLC

By:



Scott G. Goddard, PWS
Professional Wetland Scientist

By:

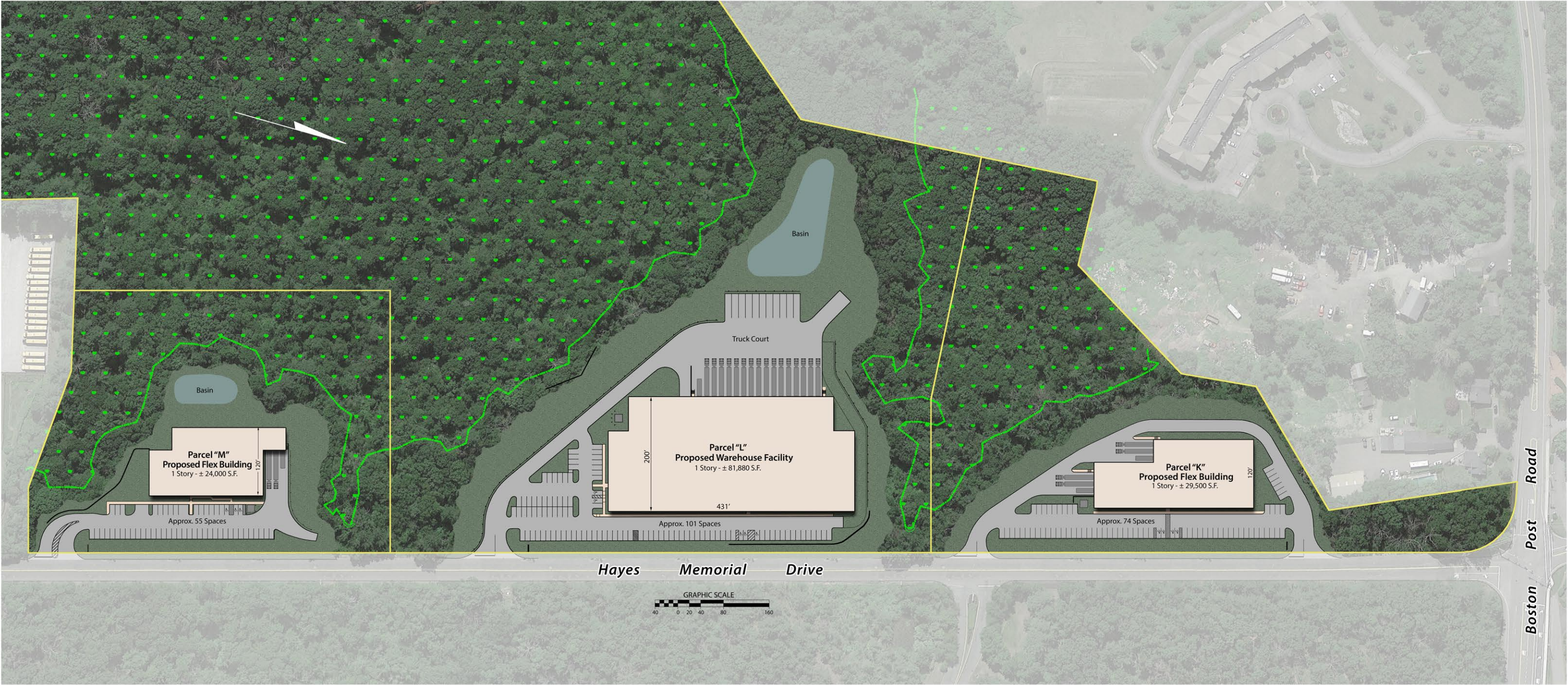


Mark R. Arnold
BSc, Wetland Engineer

Distribution List via email:

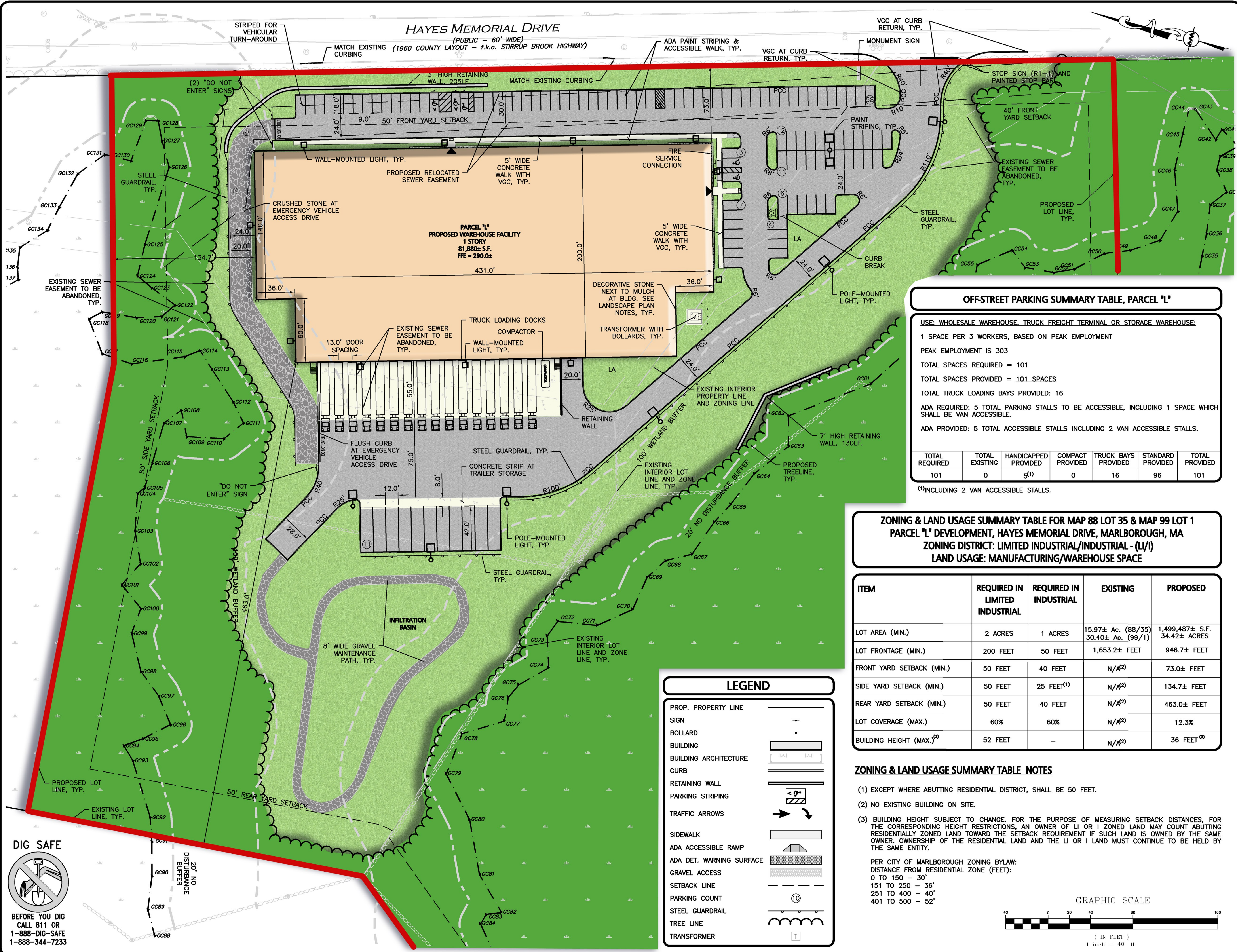
- David M. Robinson, Allen & Major Associates, Inc., drobinson@allenmajor.com
- Joe Vasapolli, Gutierrez Construction Company, jvasapolli@gutierrezco.com
- Israel Lopez, Gutierrez Construction Company, ilopez@gutierrezco.com

Hayes Memorial Drive @ 495 Center



Overview - Lots M, L & K

N:\PROJECTS\1145-10A\CIVIL DRAWINGS\CURRENT\LOT 1\C-1145-10-LAYOUT & MATERIALS.DWG



OFF-STREET PARKING SUMMARY TABLE, PARCEL "L"

USE: WHOLESALE WAREHOUSE, TRUCK FREIGHT TERMINAL OR STORAGE WAREHOUSE.

1 SPACE PER 3 WORKERS, BASED ON PEAK EMPLOYMENT

PEAK EMPLOYMENT IS 303

TOTAL SPACES REQUIRED = 101

TOTAL SPACES PROVIDED = 101 SPACES

TOTAL TRUCK LOADING BAYS PROVIDED: 16

ADA REQUIRED: 5 TOTAL PARKING STALLS TO BE ACCESSIBLE, INCLUDING 1 SPACE WHICH SHALL BE VAN ACCESSIBLE.

ADA PROVIDED: 5 TOTAL ACCESSIBLE STALLS INCLUDING 2 VAN ACCESSIBLE STALLS.

TOTAL REQUIRED	TOTAL EXISTING	HANDICAPPED PROVIDED	COMPACT PROVIDED	TRUCK BAYS PROVIDED	STANDARD PROVIDED	TOTAL PROVIDED
101	0	5 ⁽¹⁾	0	16	96	101

⁽¹⁾INCLUDING 2 VAN ACCESSIBLE STALLS.

ZONING & LAND USAGE SUMMARY TABLE FOR MAP 88 LOT 35 & MAP 99 LOT 1 PARCEL "L" DEVELOPMENT, HAYES MEMORIAL DRIVE, MARLBOROUGH, MA

ZONING DISTRICT: LIMITED INDUSTRIAL/INDUSTRIAL - (LI/I)

LAND USAGE: MANUFACTURING/WAREHOUSE SPACE

ITEM	REQUIRED IN LIMITED INDUSTRIAL	REQUIRED IN INDUSTRIAL	EXISTING	PROPOSED
LOT AREA (MIN.)	2 ACRES	1 ACRES	15.97± Ac. (88/35) 30.40± Ac. (99/1)	1,499,487± S.F. 34.42± ACRES
LOT FRONTAGE (MIN.)	200 FEET	50 FEET	1,653.2± FEET	946.7± FEET
FRONT YARD SETBACK (MIN.)	50 FEET	40 FEET	N/A ⁽²⁾	73.0± FEET
SIDE YARD SETBACK (MIN.)	50 FEET	25 FEET ⁽¹⁾	N/A ⁽²⁾	134.7± FEET
REAR YARD SETBACK (MIN.)	50 FEET	40 FEET	N/A ⁽²⁾	463.0± FEET
LOT COVERAGE (MAX.)	60%	60%	N/A ⁽²⁾	12.3%
BUILDING HEIGHT (MAX.) ⁽³⁾	52 FEET	-	N/A ⁽²⁾	36 FEET ⁽³⁾

ZONING & LAND USAGE SUMMARY TABLE NOTES

(1) EXCEPT WHERE ABUTTING RESIDENTIAL DISTRICT, SHALL BE 50 FEET.

(2) NO EXISTING BUILDING ON SITE.

(3) BUILDING HEIGHT SUBJECT TO CHANGE. FOR THE PURPOSE OF MEASURING SETBACK DISTANCES, FOR THE CORRESPONDING HEIGHT RESTRICTIONS, AN OWNER OF LI OR I ZONED LAND MAY COUNT ABUTTING RESIDENTIALLY ZONED LAND TOWARD THE SETBACK REQUIREMENT IF SUCH LAND IS OWNED BY THE SAME OWNER. OWNERSHIP OF THE RESIDENTIAL LAND AND THE LI OR I LAND MUST CONTINUE TO BE HELD BY THE SAME ENTITY.

PER CITY OF MARLBOROUGH ZONING BYLAW:
DISTANCE FROM RESIDENTIAL ZONE (FEET):
0 TO 150 - 30'
151 TO 250 - 36'
251 TO 400 - 40'
401 TO 500 - 52'

LEGEND

- PROP. PROPERTY LINE
- SIGN
- BOLLARD
- BUILDING
- BUILDING ARCHITECTURE
- CURB
- RETAINING WALL
- PARKING STRIPING
- TRAFFIC ARROWS
- SIDEWALK
- ADA ACCESSIBLE RAMP
- ADA DET. WARNING SURFACE
- GRAVEL ACCESS
- SETBACK LINE
- PARKING COUNT
- STEEL GUARDRAIL
- TREE LINE
- TRANSFORMER

6.5.20

CARLTON M. QUINN
No. 49923
REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	2020-06-05	REVISED PER CITY COMMENTS
1	2020-05-04	REVISED FOR SITE PLAN REVIEW

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:
PARCEL L DEVELOPMENT
HAYES MEMORIAL DRIVE
MARLBOROUGH, MA

PROJECT NO.	1145-10A	DATE:	04/17/2020
SCALE:	1" = 40'	DWG. NAME:	C-1145-10A
DESIGNED BY:	DMR/SIL	CHECKED BY:	CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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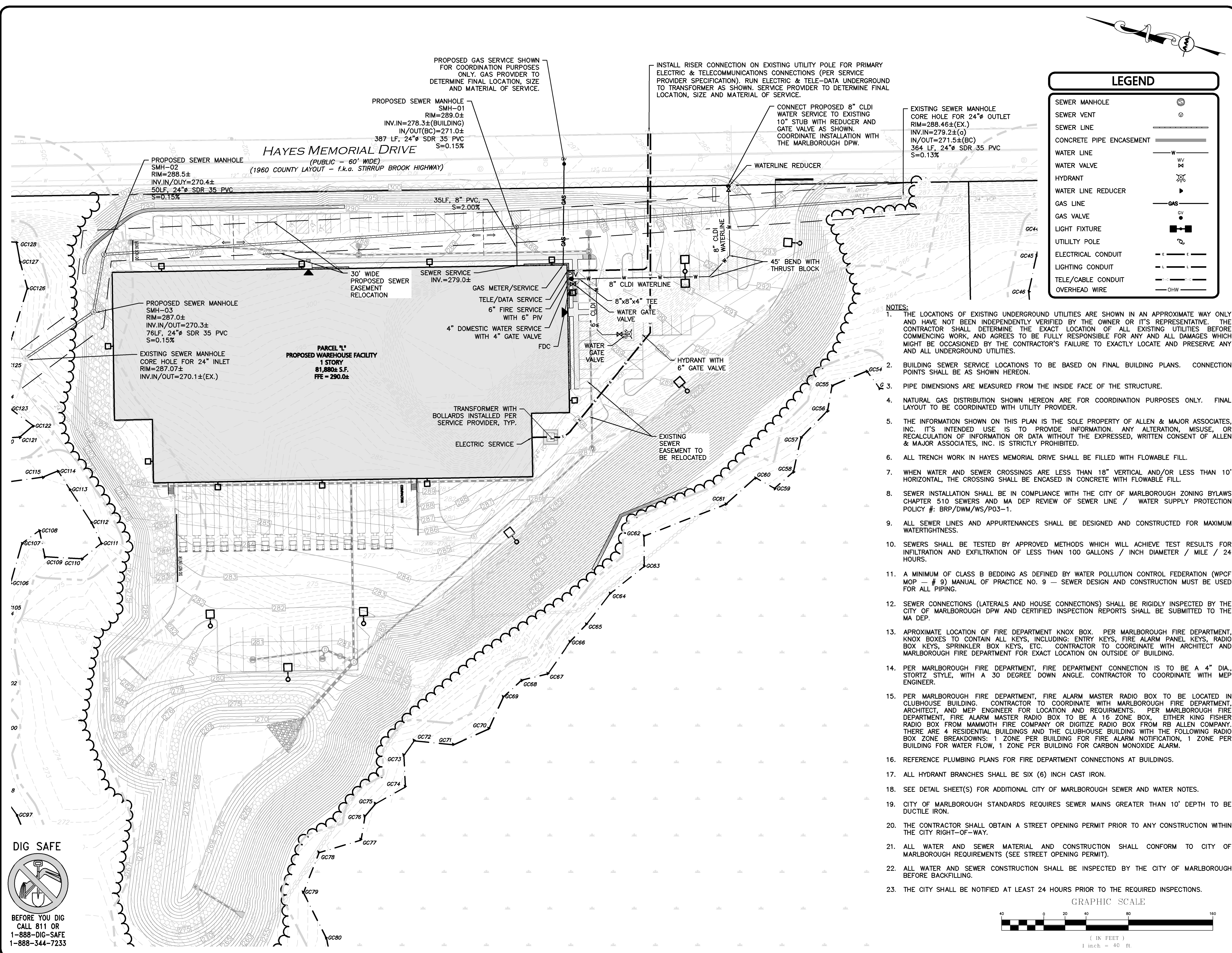
DRAWING TITLE:	SHEET No.
LAYOUT & MATERIALS PLAN	C-102

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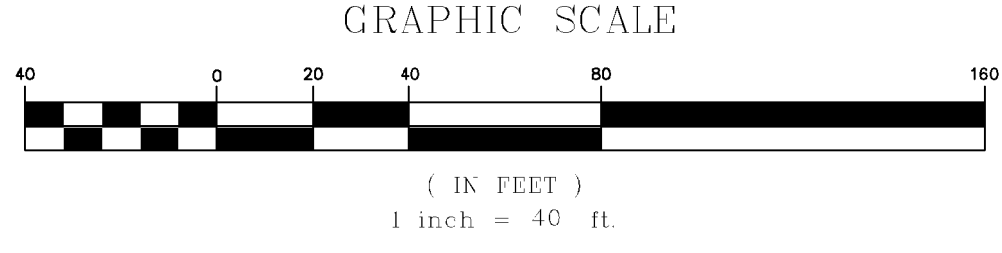
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N:\PROJECTS\1145-10A\CIVIL\DRAWINGS\CURRENT\LOT 1\C-1145-10-L UTILITIES.DWG



LEGEND	
SEWER MANHOLE	
SEWER VENT	
SEWER LINE	
CONCRETE PIPE ENCASEMENT	
WATER LINE	
WATER VALVE	
HYDRANT	
WATER LINE REDUCER	
GAS LINE	
GAS VALVE	
LIGHT FIXTURE	
UTILITY POLE	
ELECTRICAL CONDUIT	
LIGHTING CONDUIT	
TELE/CABLE CONDUIT	
OVERHEAD WIRE	

- NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - BUILDING SEWER SERVICE LOCATIONS TO BE BASED ON FINAL BUILDING PLANS. CONNECTION POINTS SHALL BE AS SHOWN HEREON.
 - PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
 - NATURAL GAS DISTRIBUTION SHOWN HEREON ARE FOR COORDINATION PURPOSES ONLY. FINAL LAYOUT TO BE COORDINATED WITH UTILITY PROVIDER.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 - ALL TRENCH WORK IN HAYES MEMORIAL DRIVE SHALL BE FILLED WITH FLOWABLE FILL.
 - WHEN WATER AND SEWER CROSSINGS ARE LESS THAN 18" VERTICAL AND/OR LESS THAN 10' HORIZONTAL, THE CROSSING SHALL BE ENCASED IN CONCRETE WITH FLOWABLE FILL.
 - SEWER INSTALLATION SHALL BE IN COMPLIANCE WITH THE CITY OF MARLBOROUGH ZONING BYLAWS CHAPTER 510 SEWERS AND MA DEP REVIEW OF SEWER LINE / WATER SUPPLY PROTECTION POLICY #: BRP/DWM/WS/P03-1.
 - ALL SEWER LINES AND APPURTENANCES SHALL BE DESIGNED AND CONSTRUCTED FOR MAXIMUM WATERTIGHTNESS.
 - SEWERS SHALL BE TESTED BY APPROVED METHODS WHICH WILL ACHIEVE TEST RESULTS FOR INFILTRATION AND EXFILTRATION OF LESS THAN 100 GALLONS / INCH DIAMETER / MILE / 24 HOURS.
 - A MINIMUM OF CLASS B BEDDING AS DEFINED BY WATER POLLUTION CONTROL FEDERATION (WPCF MOP - # 9) MANUAL OF PRACTICE NO. 9 - SEWER DESIGN AND CONSTRUCTION MUST BE USED FOR ALL PIPING.
 - SEWER CONNECTIONS (LATERALS AND HOUSE CONNECTIONS) SHALL BE RIGIDLY INSPECTED BY THE CITY OF MARLBOROUGH DPW AND CERTIFIED INSPECTION REPORTS SHALL BE SUBMITTED TO THE MA DEP.
 - APPROXIMATE LOCATION OF FIRE DEPARTMENT KNOX BOX. PER MARLBOROUGH FIRE DEPARTMENT, KNOX BOXES TO CONTAIN ALL KEYS, INCLUDING: ENTRY KEYS, FIRE ALARM PANEL KEYS, RADIO BOX KEYS, SPRINKLER BOX KEYS, ETC. CONTRACTOR TO COORDINATE WITH ARCHITECT AND MARLBOROUGH FIRE DEPARTMENT FOR EXACT LOCATION ON OUTSIDE OF BUILDING.
 - PER MARLBOROUGH FIRE DEPARTMENT, FIRE DEPARTMENT CONNECTION IS TO BE A 4" DIA., STORTZ STYLE, WITH A 30 DEGREE DOWN ANGLE. CONTRACTOR TO COORDINATE WITH MEP ENGINEER.
 - PER MARLBOROUGH FIRE DEPARTMENT, FIRE ALARM MASTER RADIO BOX TO BE LOCATED IN CLUBHOUSE BUILDING. CONTRACTOR TO COORDINATE WITH MARLBOROUGH FIRE DEPARTMENT, ARCHITECT, AND MEP ENGINEER FOR LOCATION AND REQUIREMENTS. PER MARLBOROUGH FIRE DEPARTMENT, FIRE ALARM MASTER RADIO BOX TO BE A 16 ZONE BOX, EITHER KING FISHER RADIO BOX FROM MAMMOTH FIRE COMPANY OR DIGITIZR RADIO BOX FROM RB ALLEN COMPANY. THERE ARE 4 RESIDENTIAL BUILDINGS AND THE CLUBHOUSE BUILDING WITH THE FOLLOWING RADIO BOX ZONE BREAKDOWNS: 1 ZONE PER BUILDING FOR FIRE ALARM NOTIFICATION, 1 ZONE PER BUILDING FOR WATER FLOW, 1 ZONE PER BUILDING FOR CARBON MONOXIDE ALARM.
 - REFERENCE PLUMBING PLANS FOR FIRE DEPARTMENT CONNECTIONS AT BUILDINGS.
 - ALL HYDRANT BRANCHES SHALL BE SIX (6) INCH CAST IRON.
 - SEE DETAIL SHEET(S) FOR ADDITIONAL CITY OF MARLBOROUGH SEWER AND WATER NOTES.
 - CITY OF MARLBOROUGH STANDARDS REQUIRES SEWER MAINS GREATER THAN 10' DEPTH TO BE DUCTILE IRON.
 - THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
 - ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT).
 - ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BACKFILLING.
 - THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.



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6.5.20

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	2020-06-05	REVISED PER CITY COMMENTS
1	2020-05-04	REVISED FOR SITE PLAN REVIEW

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:
PARCEL L DEVELOPMENT
HAYES MEMORIAL DRIVE
MARLBOROUGH, MA

PROJECT NO. 1145-10A DATE: 04/17/2020
SCALE: 1" = 40' DWG. NAME: C-1145-10A
DESIGNED BY: DMR/SIL CHECKED BY: CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOUBURN MA 01801
TEL: (781) 935-6889
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DRAWING TITLE: UTILITIES PLAN SHEET No. C-104

HAYES MEMORIAL DRIVE

(PUBLIC - 60' WIDE)
(1960 COUNTY LAYOUT - f.k.a. STIRRUP BROOK HIGHWAY)

INSTALL INLET PROTECTION AT ALL EXISTING DOWNGRADIENT CATCH BASINS, TYP.

SAWCUT, TYP.

MIN. 50' LONG TEMPORARY STABILIZED CONSTRUCTION ENTRANCE TRACKING PAD

REMOVE 84± LF CURBING

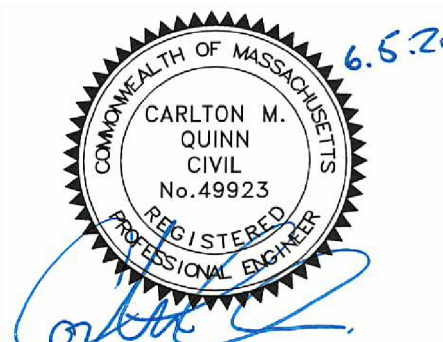
REMOVE 40± LF GUARDRAIL

LEGEND

SILT FENCE	SF
TUBULAR BARRIER	—x—x—x—
EROSION CONTROL FABRIC	—x—x—x—
CATCH BASIN FILTER	⊠
STONE CHECK DAM	⊠
STABILIZED ENTRANCE	▨
TURBIDITY CURTAIN	TC
STOCKPILE/STAGING AREA	▨

NOTES:

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- THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
DIGSAFE: 1-800-344-7233
MARLBOROUGH DEPT. OF PUBLIC WORKS: (508) 624-6910
- SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
- ALL ELEVATIONS REFER TO NAVD88 DATUM.
- ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
- ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE EQUIPPED WITH SILT SACKS (OR APPROVED EQUAL).
- CONTRACTOR SHALL PROVIDE WHEEL WASH STATIONS AS NECESSARY TO MITIGATE SEDIMENT TRACK-OUT TO BARTLETT STREET.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY CONSTRUCTION CONTROLS. ALL STORMWATER RUNOFF SHALL BE DIRECTED TO TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION UNTIL SLOPES ARE STABILIZED.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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APPLICANT/OWNER:

THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:

PARCEL L DEVELOPMENT
HAYES MEMORIAL DRIVE
MARLBOROUGH, MA

PROJECT NO. 1145-10A DATE: 04/17/2020

SCALE: 1" = 40' DWG. NAME: C-1145-10A

DESIGNED BY: DMR/SIL CHECKED BY: CMQ

PREPARED BY:



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civil engineering • land surveying
environmental consulting • landscape architecture
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DRAWING TITLE: SHEET No.

EROSION CONTROL PLAN C-101

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GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

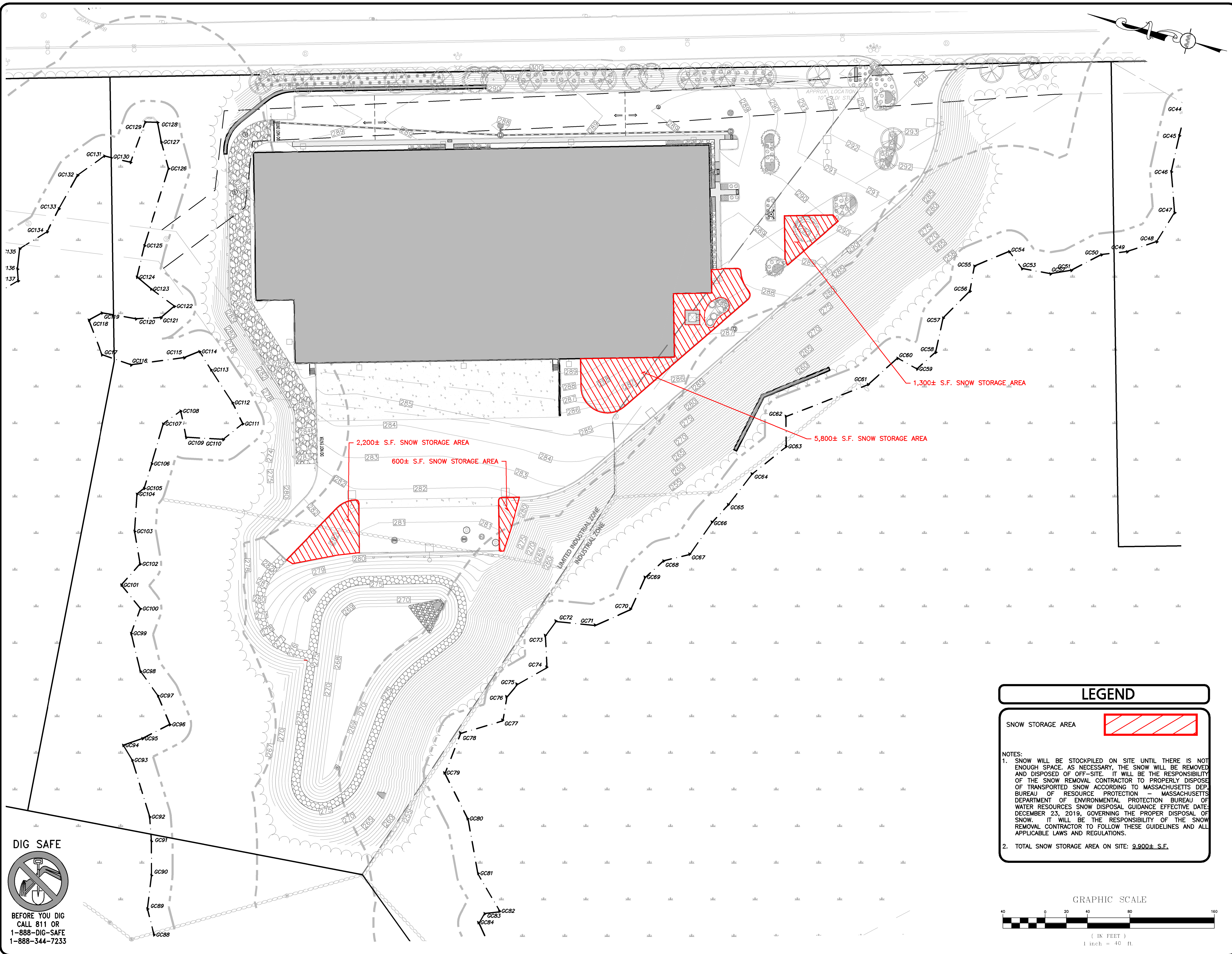
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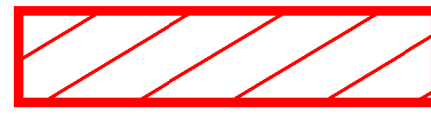
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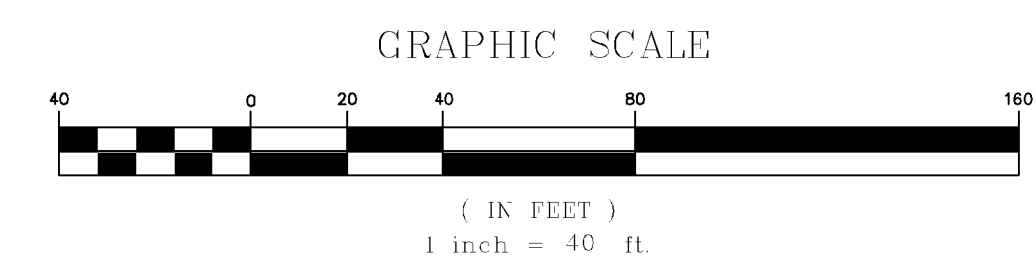
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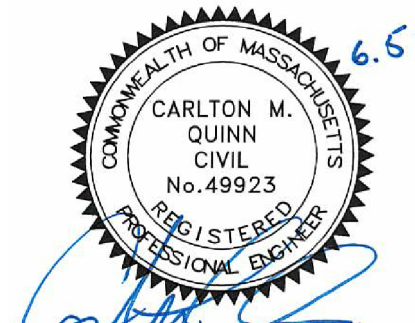
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LEGEND

SNOW STORAGE AREA 

NOTES:
 1. SNOW WILL BE STOCKPILED ON SITE UNTIL THERE IS NOT ENOUGH SPACE. AS NECESSARY, THE SNOW WILL BE REMOVED AND DISPOSED OF OFF-SITE. IT WILL BE THE RESPONSIBILITY OF THE SNOW REMOVAL CONTRACTOR TO PROPERLY DISPOSE OF TRANSPORTED SNOW ACCORDING TO MASSACHUSETTS DEPARTMENT OF RESOURCE PROTECTION - MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF WATER RESOURCES SNOW DISPOSAL GUIDANCE EFFECTIVE DATE: DECEMBER 23, 2019, GOVERNING THE PROPER DISPOSAL OF SNOW. IT WILL BE THE RESPONSIBILITY OF THE SNOW REMOVAL CONTRACTOR TO FOLLOW THESE GUIDELINES AND ALL APPLICABLE LAWS AND REGULATIONS.
 2. TOTAL SNOW STORAGE AREA ON SITE: 9,900± S.F.




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PROJECT:
PARCEL L DEVELOPMENT
 HAYES MEMORIAL DRIVE
 MARLBOROUGH, MA

PROJECT NO.	1145-10A	DATE:	04/17/2020
SCALE:	1" = 40'	DWG. NAME:	C-1145-10A
DESIGNED BY:	DMR/SIL	CHECKED BY:	CMQ

PREPARED BY:

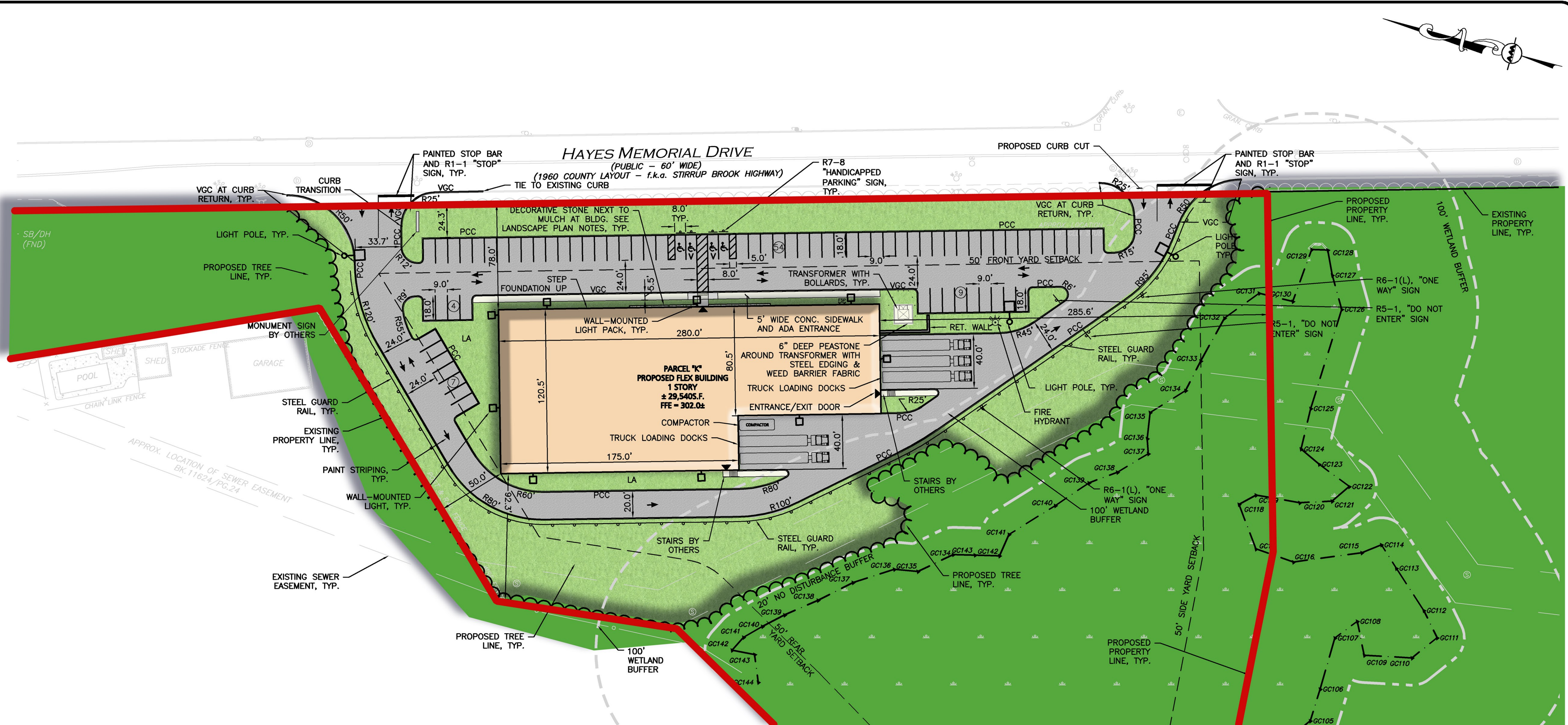
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DRAWING TITLE: **SNOW STORAGE PLAN** SHEET No. **C-108**

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**ZONING & LAND USAGE SUMMARY TABLE FOR MAP 88 LOT 35
PARCEL "K" DEVELOPMENT, HAYES MEMORIAL DRIVE, MARLBOROUGH, MA
ZONING DISTRICT: LIMITED INDUSTRIAL - (LI)
LAND USAGE: MANUFACTURING / WAREHOUSE SPACE**

ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA (MIN.)	2 ACRES	15.97± ACRES	326,054± S.F. 7.49± ACRES
LOT FRONTAGE (MIN.)	200 FEET	1,653.2± FEET	928± FEET
FRONT YARD SETBACK (MIN.)	50 FEET	N/A ⁽²⁾	78.0± FEET
SIDE YARD SETBACK (MIN.)	50 FEET	N/A ⁽²⁾	50.0± FEET
REAR YARD SETBACK (MIN.)	50 FEET	N/A ⁽²⁾	92.3± FEET
LOT COVERAGE (MAX.)	60%	N/A ⁽²⁾	25.3%
BUILDING HEIGHT (MAX.) ⁽³⁾⁽⁴⁾	30 FEET	N/A ⁽²⁾	32 FEET ⁽³⁾

ZONING & LAND USAGE SUMMARY TABLE NOTES

(1) FRONTAGE PROVIDED ALONG HAYES MEMORIAL DRIVE.

(2) NO EXISTING BUILDING ON-SITE.

(3) BUILDING HEIGHT SUBJECT TO CHANGE.

(4) FOR THE PURPOSE OF MEASURING SETBACK DISTANCES, FOR THE CORRESPONDING HEIGHT RESTRICTIONS, AN OWNER OF LI OR I ZONED LAND MAY COUNT ABUTTING RESIDENTIALLY ZONED LAND TOWARD THE SETBACK REQUIREMENT IF SUCH LAND IS OWNED BY THE SAME OWNER. OWNERSHIP OF THE RESIDENTIAL LAND AND THE LI OR I LAND MUST CONTINUE TO BE HELD BY THE SAME ENTITY.

PER CITY OF MARLBOROUGH ZONING BYLAW:
DISTANCE FROM RESIDENTIAL ZONE (FEET):
0 TO 150 - 30'
151 TO 250 - 36'
251 TO 400 - 40'
401 TO 500 - 52'

OFF-STREET PARKING SUMMARY TABLE, PARCEL "K"

USE: WHOLESALE WAREHOUSE, TRUCK FREIGHT TERMINAL OR STORAGE WAREHOUSE.

1 SPACE PER 3 WORKERS, BASED ON PEAK EMPLOYMENT
PEAK EMPLOYMENT IS 222
TOTAL SPACES REQUIRED = 74
TOTAL SPACES PROVIDED = 74 SPACES
TOTAL TRUCK LOADING BAYS PROVIDED: 5

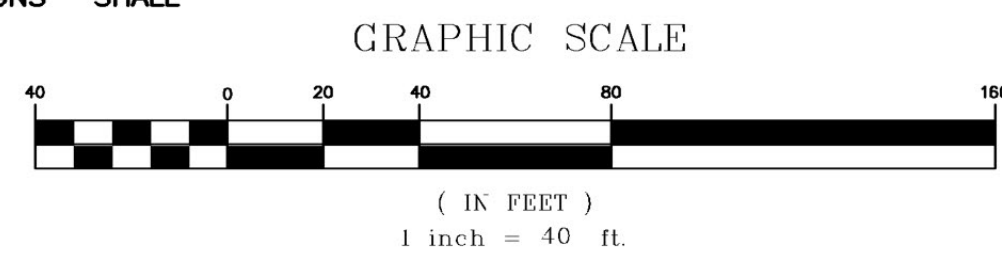
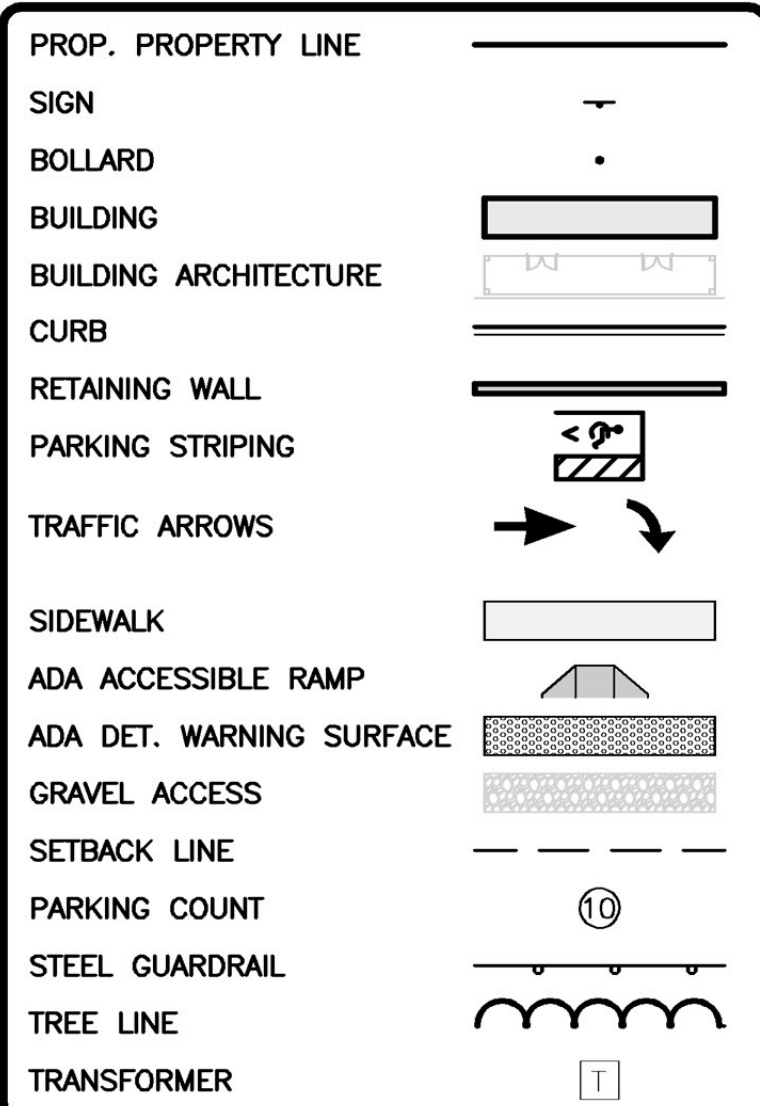
ADA REQUIRED: 4 TOTAL PARKING STALLS TO BE ACCESSIBLE, INCLUDING 1 SPACE WHICH SHALL BE VAN ACCESSIBLE.
ADA PROVIDED: 4 TOTAL ACCESSIBLE STALLS INCLUDING 2 VAN ACCESSIBLE STALLS.

TOTAL REQUIRED	TOTAL EXISTING	HANDICAPPED PROVIDED	COMPACT PROVIDED	TRUCK BAYS PROVIDED	STANDARD PROVIDED	TOTAL PROVIDED
74	0	4 ⁽¹⁾	0	5	70	74

⁽¹⁾INCLUDING 2 VAN ACCESSIBLE STALLS.

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 - ALL ELEVATIONS REFER TO NAVD 88.
 - ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED PLAN SETS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 - ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
 - ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB REQUIREMENTS.
 - ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.

LEGEND



6.6.20

 PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	2020-06-04	REVISED PER CITY COMMENTS

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

PROJECT:
PARCEL K DEVELOPMENT
 HAYES MEMORIAL DRIVE
 MARLBOROUGH, MA

PROJECT NO.	1145-10A	DATE:	4/17/2020
SCALE:	1" = 40'	DWG. NAME:	C-1145-10A
DESIGNED BY:	DMR/SIL	CHECKED BY:	CMQ

PREPARED BY:

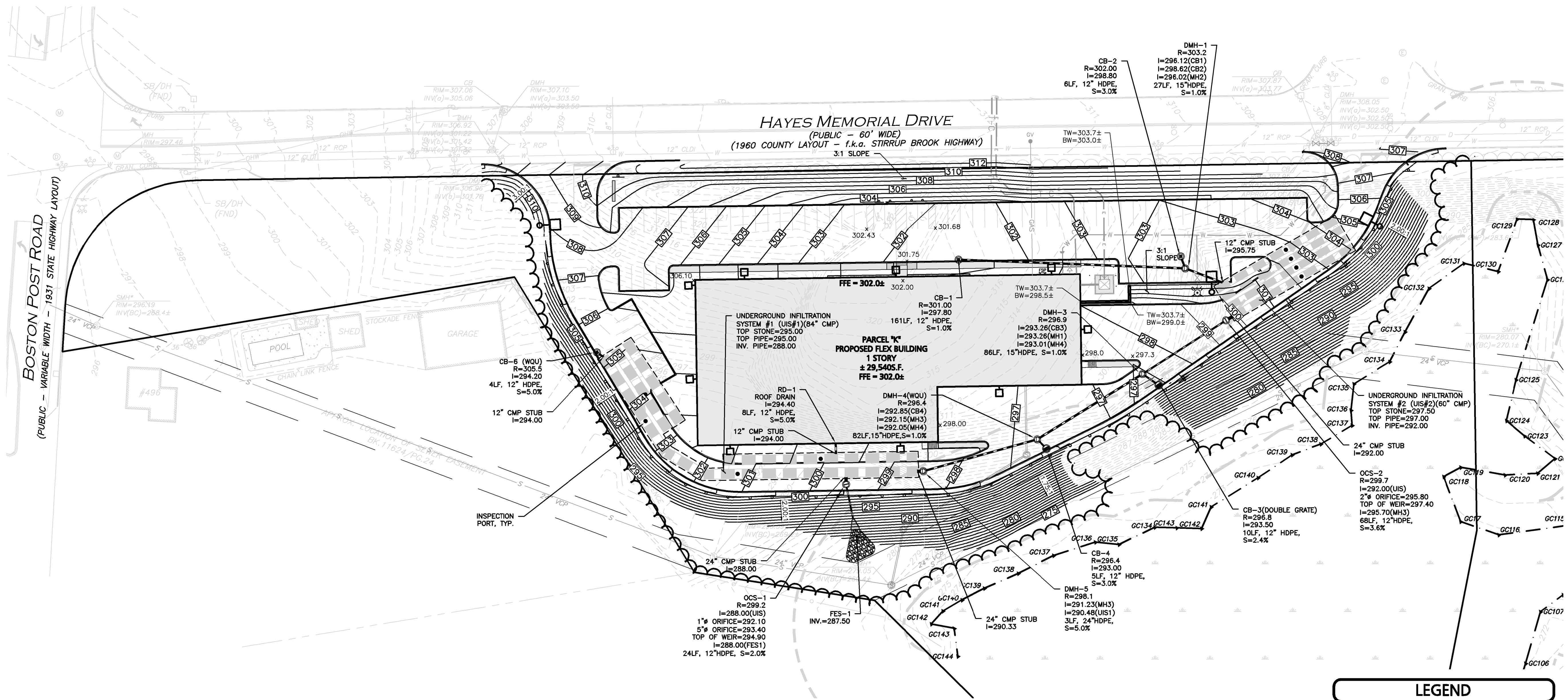
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LAYOUT & MATERIALS PLAN	C-102

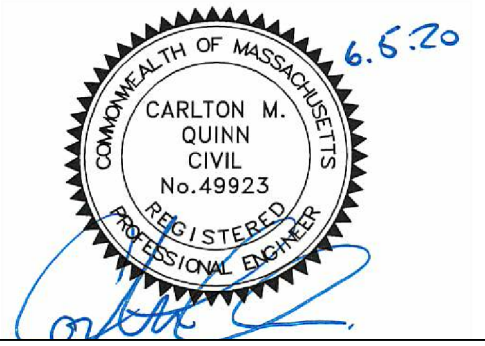
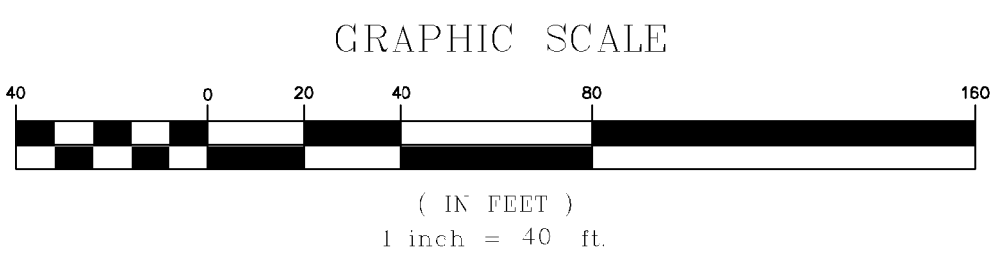
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 4. ALL ELEVATIONS REFER TO NAVD 88.
 5. PROFESSIONAL GEOTECHNICAL ENGINEER SHALL CONFIRM GLOBAL STABILITY OF ALL SLOPES STEEPER THAN 3:1
 6. INFILTRATION RATES HAVE BEEN ASSUMED FOR THIS SITE BASED ON AVAILABLE SITE DATA. INFILTRATION RATES SHALL BE CONFIRMED PRIOR TO CONSTRUCTION.

LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- CATCH BASIN - DOUBLE GRATE
- OUTLET CONTROL
- DIVERSION WEIR
- WATER QUALITY UNIT
- AREA DRAIN
- FLARED END SECTION
- DRAIN LINE
- RIPRAP OUTFALL
- HEADWALL
- 5' CONTOUR
- 1' CONTOUR
- SPOT GRADE
- INFILTRATION SYSTEM
- INFILTRATION PIPE
- UNDERDRAIN
- FLOW DIRECTION



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

1	2020-06-04	REVISED PER CITY COMMENTS
REV	DATE	DESCRIPTION

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

PROJECT:
PARCEL K DEVELOPMENT
 HAYES MEMORIAL DRIVE
 MARLBOROUGH, MA

PROJECT NO.	1145-10A	DATE:	4/17/2020
SCALE:	1"=40'	DWG. NAME:	C-1145-10A
DESIGNED BY:	DMR/SJL	CHECKED BY:	CMQ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
 civil engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com
 100 COMMERCE WAY, SUITE 5
 WOBURN MA 01801
 TEL: (781) 535-6889
 FAX: (781) 535-2896

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DRAWING TITLE: **GRADING & DRAINAGE PLAN** SHEET No. **C-103**

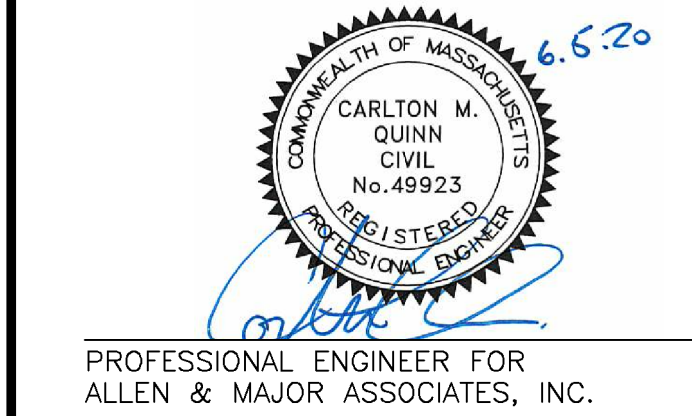
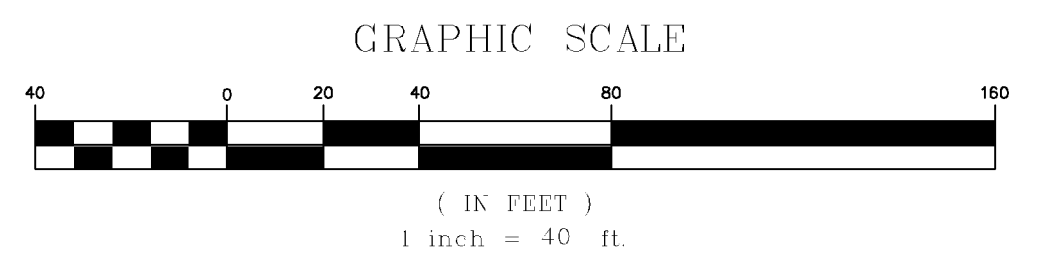
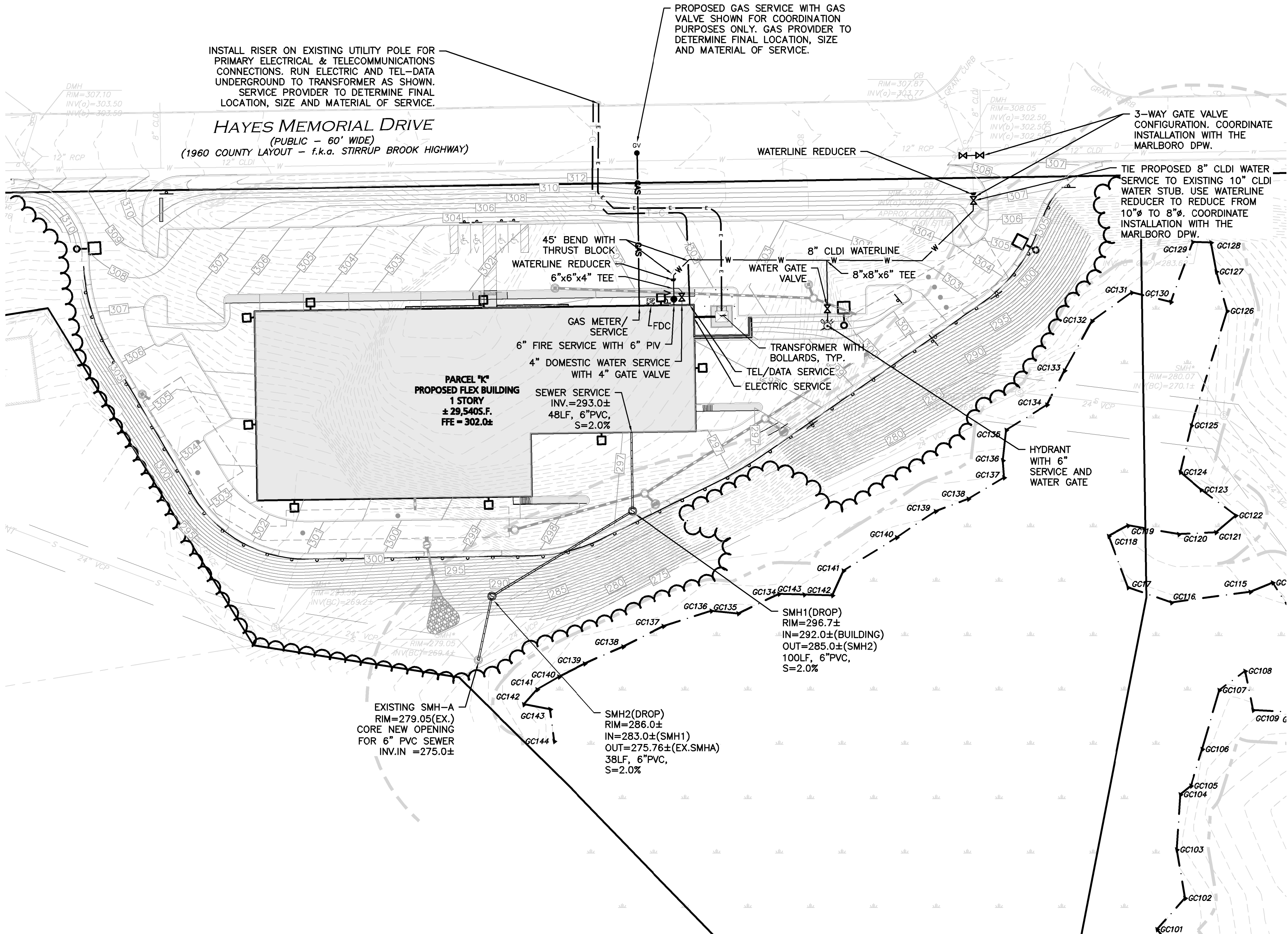
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LEGEND

SEWER MANHOLE	
SEWER VENT	
SEWER LINE	
CONCRETE PIPE ENCASUREMENT	
WATER LINE	
WATER VALVE	
HYDRANT	
WATER LINE REDUCER	
GAS LINE	
GAS VALVE	
LIGHT FIXTURE	
UTILITY POLE	
ELECTRICAL CONDUIT	
LIGHTING CONDUIT	
TELE/CABLE CONDUIT	
OVERHEAD WIRE	

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 - BUILDING SEWER SERVICE LOCATIONS TO BE BASED ON FINAL BUILDING PLANS. CONNECTION POINTS SHALL BE AS SHOWN HEREON.
 - PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
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 - WHEN WATER AND SEWER CROSSINGS ARE LESS THAN 18" VERTICAL AND/OR LESS THAN 10' HORIZONTAL, THE CROSSING SHALL BE ENCASED IN CONCRETE WITH FLOWABLE FILL.
 - SEWER INSTALLATION SHALL BE IN COMPLIANCE WITH THE CITY OF MARLBOROUGH ZONING BYLAWS CHAPTER 510 SEWERS AND MA DEP REVIEW OF SEWER LINE / WATER SUPPLY PROTECTION POLICY #: BRP/DWM/WS/PO3-1.
 - ALL SEWER LINES AND APPURTENANCES SHALL BE DESIGNED AND CONSTRUCTED FOR MAXIMUM WATERTIGHTNESS.
 - SEWERS SHALL BE TESTED BY APPROVED METHODS WHICH WILL ACHIEVE TEST RESULTS FOR INFILTRATION AND EXFILTRATION OF LESS THAN 100 GALLONS / INCH DIAMETER / MILE / 24 HOURS.
 - A MINIMUM OF CLASS B BEDDING AS DEFINED BY WATER POLLUTION CONTROL FEDERATION (WPCF MOP - # 9) MANUAL OF PRACTICE NO. 9 - SEWER DESIGN AND CONSTRUCTION MUST BE USED FOR ALL PIPING.
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 - APPROXIMATE LOCATION OF FIRE DEPARTMENT KNOX BOX. PER MARLBOROUGH FIRE DEPARTMENT, KNOX BOXES TO CONTAIN ALL KEYS, INCLUDING: ENTRY KEYS, FIRE ALARM PANEL KEYS, RADIO BOX KEYS, SPRINKLER BOX KEYS, ETC. CONTRACTOR TO COORDINATE WITH ARCHITECT AND MARLBOROUGH FIRE DEPARTMENT FOR EXACT LOCATION ON OUTSIDE OF BUILDING.
 - PER MARLBOROUGH FIRE DEPARTMENT, FIRE DEPARTMENT CONNECTION IS TO BE A 4" DIA. STORTZ STYLE, WITH A 30 DEGREE DOWN ANGLE. CONTRACTOR TO COORDINATE WITH MEP ENGINEER.
 - REFERENCE PLUMBING PLANS FOR FIRE DEPARTMENT CONNECTIONS AT BUILDINGS.
 - ALL HYDRANT BRANCHES SHALL BE SIX (6) INCH CAST IRON.
 - SEE DETAIL SHEET(S) FOR ADDITIONAL CITY OF MARLBOROUGH SEWER AND WATER NOTES.
 - CITY OF MARLBOROUGH STANDARDS REQUIRES SEWER MAINS GREATER THAN 10' DEPTH TO BE DUCTILE IRON.
 - THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
 - ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT).
 - ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BACKFILLING.
 - THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.



REV	DATE	DESCRIPTION
1	2020-06-04	REVISED PER CITY COMMENTS

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:
PARCEL K DEVELOPMENT
HAYES MEMORIAL DRIVE
MARLBOROUGH, MA

PROJECT NO. 1145-10A DATE: 4/17/2020
SCALE: 1" = 40' DWG. NAME: C-1145-10A
DESIGNED BY: DMR/SJL CHECKED BY: CMQ

PREPARED BY:

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civil engineering • land surveying
environmental consulting • landscape architecture
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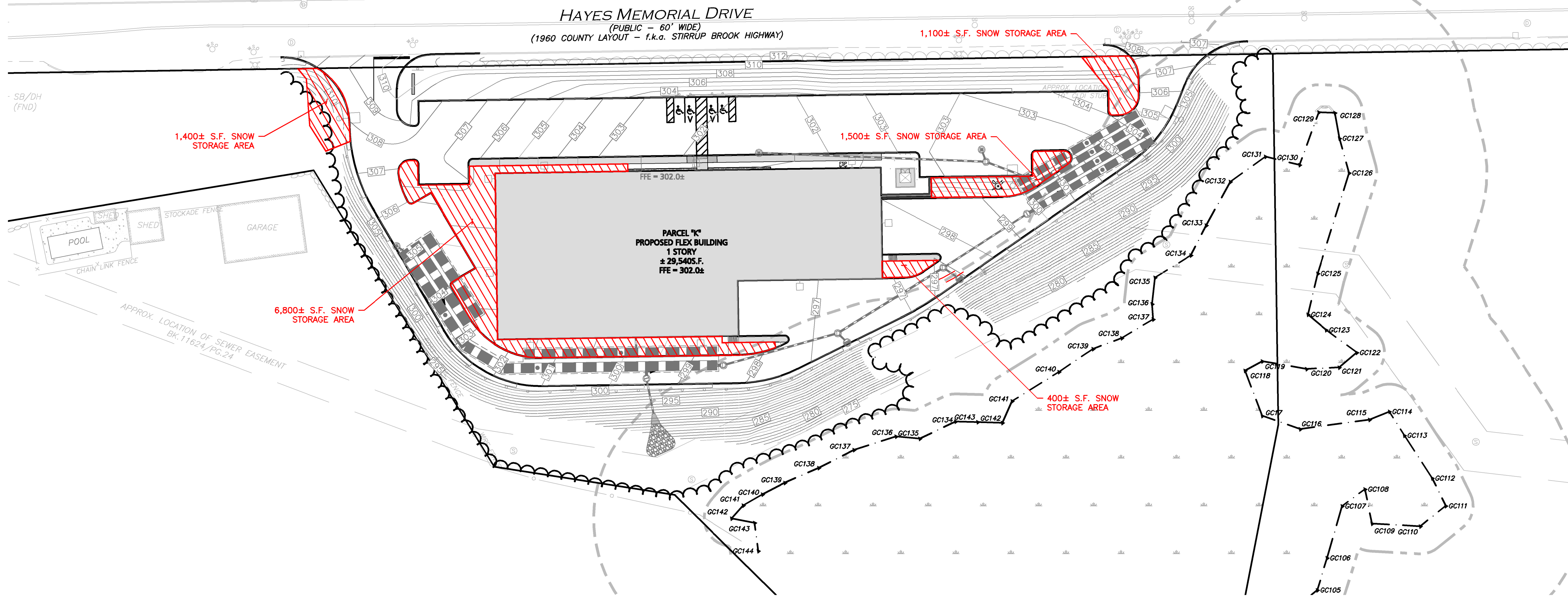
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DRAWING TITLE: **UTILITIES PLAN** SHEET No. **C-104**

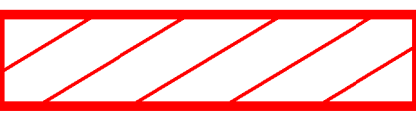
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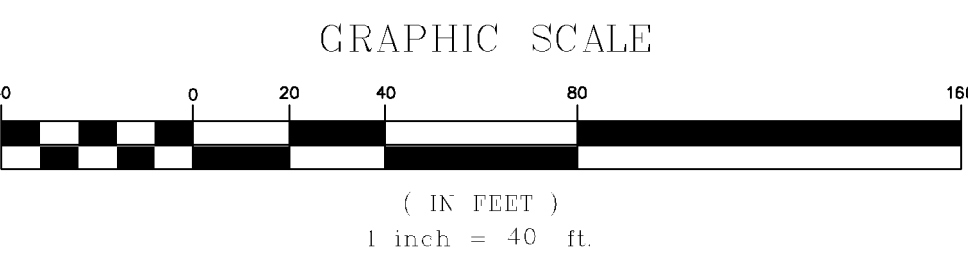
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LEGEND

SNOW STORAGE AREA 

NOTES:
 1. SNOW WILL BE STOCKPILED ON SITE UNTIL THERE IS NOT ENOUGH SPACE. AS NECESSARY, THE SNOW WILL BE REMOVED AND DISPOSED OF OFF-SITE. IT WILL BE THE RESPONSIBILITY OF THE SNOW REMOVAL CONTRACTOR TO PROPERLY DISPOSE OF TRANSPORTED SNOW ACCORDING TO MASSACHUSETTS DEPT. BUREAU OF RESOURCE PROTECTION - MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF WATER RESOURCES SNOW DISPOSAL GUIDANCE EFFECTIVE DATE: DECEMBER 23, 2019, GOVERNING THE PROPER DISPOSAL OF SNOW. IT WILL BE THE RESPONSIBILITY OF THE SNOW REMOVAL CONTRACTOR TO FOLLOW THESE GUIDELINES AND ALL APPLICABLE LAWS AND REGULATIONS.
 2. TOTAL SNOW STORAGE AREA ON SITE: **11,200± S.F.**



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 CARLTON M. QUINN
 CIVIL ENGINEER
 No. 49923
 REGISTERED PROFESSIONAL ENGINEER

6.6.20

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	2020-06-04	REVISED PER CITY COMMENTS

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

PROJECT:
PARCEL K DEVELOPMENT
 HAYES MEMORIAL DRIVE
 MARLBOROUGH, MA

PROJECT NO. 1145-10A DATE: 4/17/2020
 SCALE: 1" = 40' DWG. NAME: C-1145-10A
 DESIGNED BY: DMR/SJL CHECKED BY: CMQ

PREPARED BY:



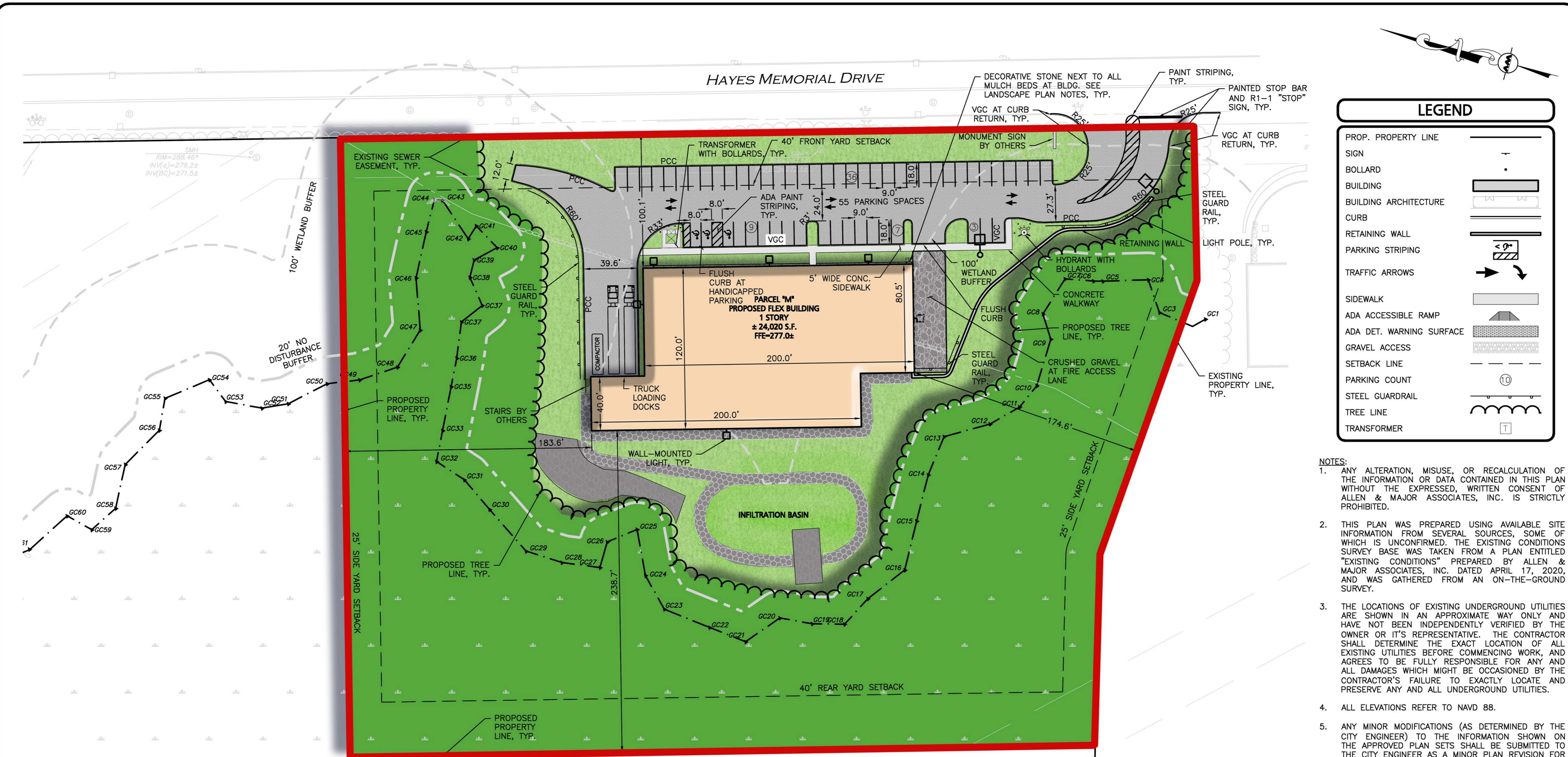
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DRAWING TITLE: **SNOW STORAGE PLAN** SHEET No. **C-108**

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LEGEND

- PROP. PROPERTY LINE
- SIGN
- BOLLARD
- BUILDING
- BUILDING ARCHITECTURE
- CURB
- RETAINING WALL
- PARKING STRIPING
- TRAFFIC ARROWS
- SIDEWALK
- ADA ACCESSIBLE RAMP
- ADA DET. WARNING SURFACE
- GRAVEL ACCESS
- SETBACK LINE
- PARKING COUNT
- STEEL GUARDRAIL
- TREE LINE
- TRANSFORMER

- NOTES:**
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 - ALL ELEVATIONS REFER TO NAVD 88.
 - ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED PLAN SETS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 - ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
 - ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB REQUIREMENTS.
 - ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.



ZONING & LAND USAGE SUMMARY TABLE MAP 99 LOT 6 & MAP 99 LOT 1 PARCEL "M" DEVELOPMENT, HAYES MEMORIAL DRIVE, MARLBOROUGH, MA
ZONING DISTRICT: INDUSTRIAL - (I)
LAND USAGE: MANUFACTURING/WAREHOUSE SPACE

ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA (MIN.)	1 ACRES	1.79± Ac. (99/6) 30.40± Ac. (99/1)	272,301± S.F. 6.25± ACRES
LOT FRONTAGE (MIN.)	50 FEET	634.05± FEET	634.1± FEET
FRONT YARD SETBACK (MIN.)	40 FEET	N/A ⁽⁵⁾	100.1± FEET
SIDE YARD SETBACK (MIN.)	25 FEET ⁽¹⁾	N/A ⁽⁵⁾	174.6± FEET
REAR YARD SETBACK (MIN.)	40 FEET ⁽²⁾	N/A ⁽⁵⁾	238.7± FEET
LOT COVERAGE (MAX.)	60% ⁽³⁾	N/A ⁽⁵⁾	23.1%
BUILDING HEIGHT (MAX.)	- ⁽⁴⁾	N/A ⁽⁵⁾	30 FEET

- ZONING & LAND USAGE SUMMARY TABLE NOTES**
- EXCEPT WHERE ABUTTING RESIDENTIAL DISTRICT, SHALL BE 50 FEET.
 - EXCEPT FOR BUILDING EXTENDING THROUGH A BLOCK OR TO A RAILROAD SIDING.
 - MAXIMUM LOT COVERAGE FOR A LARGE TRACT DEVELOPMENT SHALL BE 50%.
 - BUILDINGS ON A LARGE TRACT DEVELOPMENT LOT, WHICH ARE MORE THAN 1,200 FEET FROM A RESIDENTIAL ZONE, MAY BE BUILT TO A MAXIMUM OF 85 FEET.
 - NO EXISTING BUILDING ON SITE.

OFF-STREET PARKING SUMMARY TABLE, PARCEL "M"

USE: WHOLESALE WAREHOUSE, TRUCK FREIGHT TERMINAL OR STORAGE WAREHOUSE;

1 SPACE PER 3 WORKERS, BASED ON PEAK EMPLOYMENT

PEAK EMPLOYMENT IS 165

TOTAL SPACES REQUIRED = 55

TOTAL SPACES PROVIDED = 55 SPACES

TOTAL TRUCK LOADING BAYS PROVIDED: 2

ADA REQUIRED: 3 TOTAL PARKING STALLS TO BE ACCESSIBLE, INCLUDING 1 SPACE WHICH SHALL BE VAN ACCESSIBLE.

ADA PROVIDED: 3 TOTAL ACCESSIBLE STALLS INCLUDING 2 VAN ACCESSIBLE STALLS.

TOTAL REQUIRED	TOTAL EXISTING	HANDICAPPED PROVIDED	COMPACT PROVIDED	TRUCK BAYS PROVIDED	STANDARD PROVIDED	TOTAL PROVIDED
55	0	3 ⁽¹⁾	0	2	52	55

⁽¹⁾INCLUDING 2 VAN ACCESSIBLE STALLS.

REV	DATE	DESCRIPTION
1	2020-06-05	REVISED PER CITY COMMENTS

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
 200 SUMMIT DRIVE, SUITE 400
 BURLINGTON, MA 01803

PROJECT:
PARCEL M DEVELOPMENT
 HAYES MEMORIAL DRIVE
 MARLBOROUGH, MA

PROJECT NO. 1145-10A DATE: 04-17-2020
 SCALE: 1" = 40' DWG. NAME: C-1145-10A
 DESIGNED BY: DMR CHECKED BY: CMQ

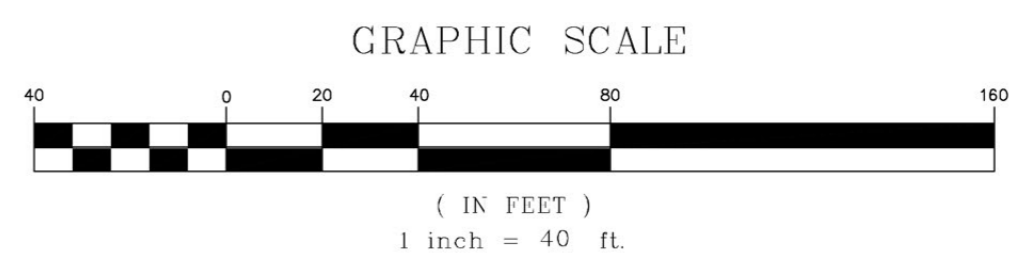
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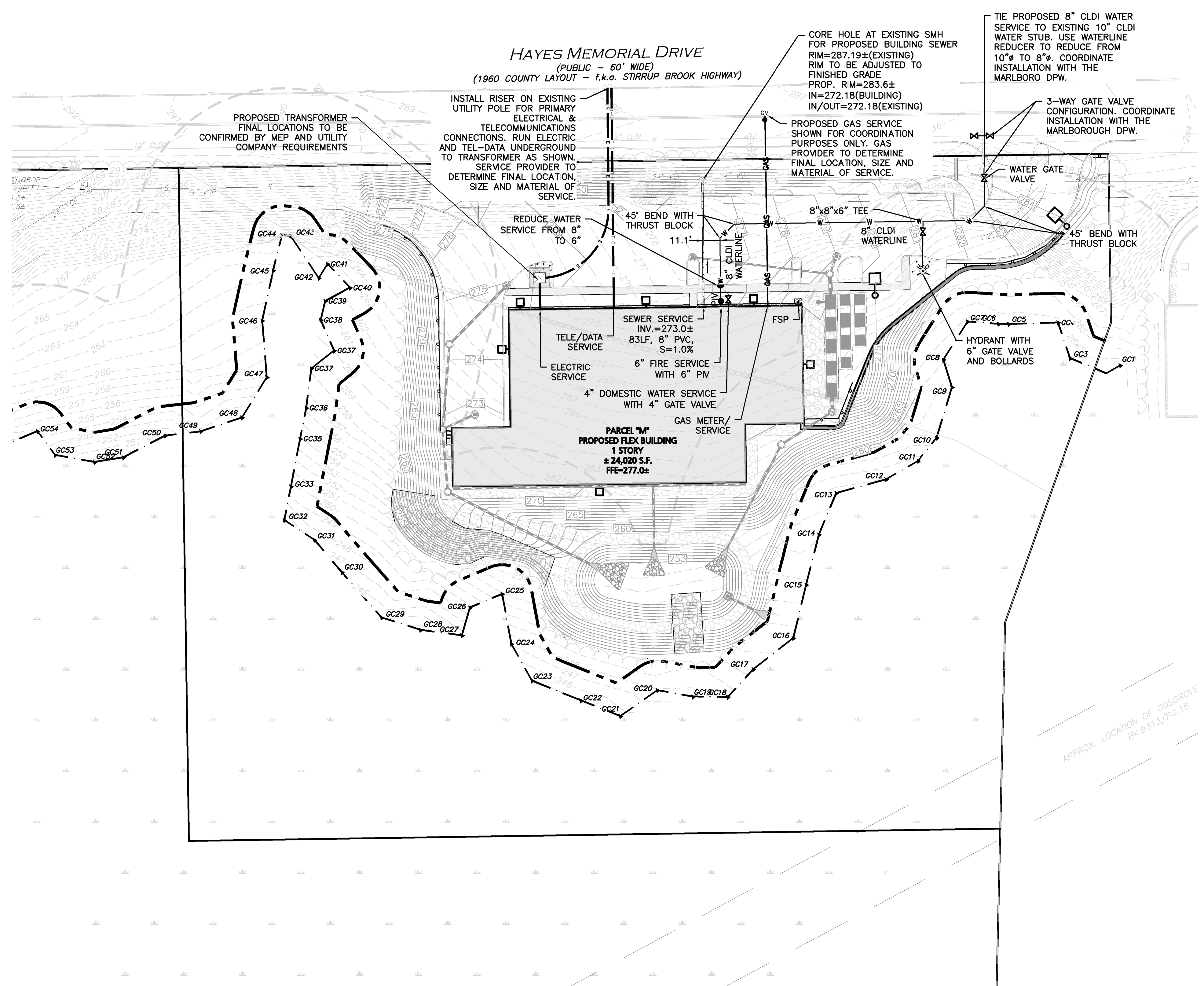
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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET No. C-102



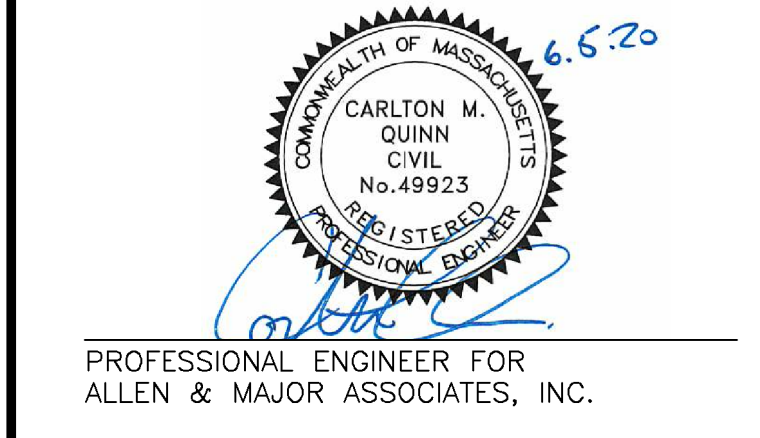
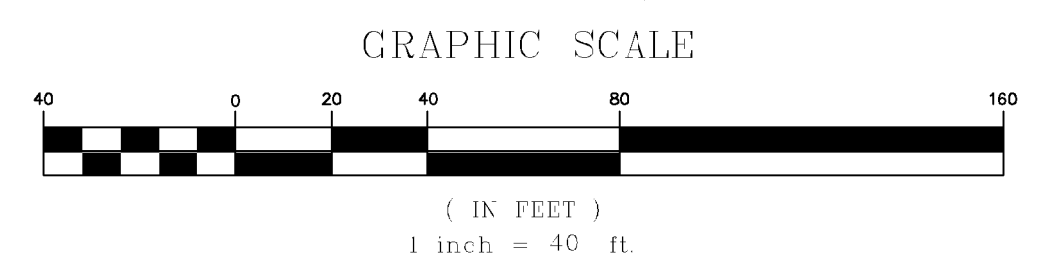
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LEGEND	
SEWER MANHOLE	⊙
SEWER VENT	⊙
SEWER LINE	—
CONCRETE PIPE ENCASUREMENT	—
WATER LINE	—W—
WATER VALVE	WV
HYDRANT	⊙
WATER LINE REDUCER	▶
GAS LINE	—GAS—
GAS VALVE	GV
LIGHT FIXTURE	⊙
UTILITY POLE	⊙
ELECTRICAL CONDUIT	—E—
OVERHEAD WIRE	—
TELE/CABLE CONDUIT	—T—

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 - PER MARLBOROUGH FIRE DEPARTMENT, FIRE DEPARTMENT CONNECTION IS TO BE A 4" DIA., STORTZ STYLE, WITH A 30 DEGREE DOWN ANGLE. CONTRACTOR TO COORDINATE WITH MEP ENGINEER.
 - PER MARLBOROUGH FIRE DEPARTMENT, FIRE ALARM MASTER RADIO BOX TO BE LOCATED IN CLUBHOUSE BUILDING. CONTRACTOR TO COORDINATE WITH MARLBOROUGH FIRE DEPARTMENT, ARCHITECT, AND MEP ENGINEER FOR LOCATION AND REQUIREMENTS. PER MARLBOROUGH FIRE DEPARTMENT, FIRE ALARM MASTER RADIO BOX TO BE A 16 ZONE BOX, EITHER KING FISHER RADIO BOX FROM MAMMOTH FIRE COMPANY OR DIGITIZR RADIO BOX FROM RB ALLEN COMPANY. THERE ARE 4 RESIDENTIAL BUILDINGS AND THE CLUBHOUSE BUILDING WITH THE FOLLOWING RADIO BOX ZONE BREAKDOWNS: 1 ZONE PER BUILDING FOR FIRE ALARM NOTIFICATION, 1 ZONE PER BUILDING FOR WATER FLOW, 1 ZONE PER BUILDING FOR CARBON MONOXIDE ALARM.
 - REFERENCE PLUMBING PLANS FOR FIRE DEPARTMENT CONNECTIONS AT BUILDINGS.
 - ALL HYDRANT BRANCHES SHALL BE SIX (6) INCH CAST IRON.
 - SEE DETAIL SHEET(S) FOR ADDITIONAL CITY OF MARLBOROUGH SEWER AND WATER NOTES.
 - CITY OF MARLBOROUGH STANDARDS REQUIRES SEWER MAINS GREATER THAN 10' DEPTH TO BE DUCTILE IRON.
 - THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
 - ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT).
 - ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BACKFILLING.
 - THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.



REV	DATE	DESCRIPTION
1	2020-06-05	REVISED PER CITY COMMENTS

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:
PARCEL M DEVELOPMENT
HAYES MEMORIAL DRIVE
MARLBOROUGH, MA

PROJECT NO.	1145-10A	DATE:	04-17-2020
SCALE:	1" = 40'	DWG. NAME:	C-1145-10A
DESIGNED BY:	DMR	CHECKED BY:	CMQ

PREPARED BY:

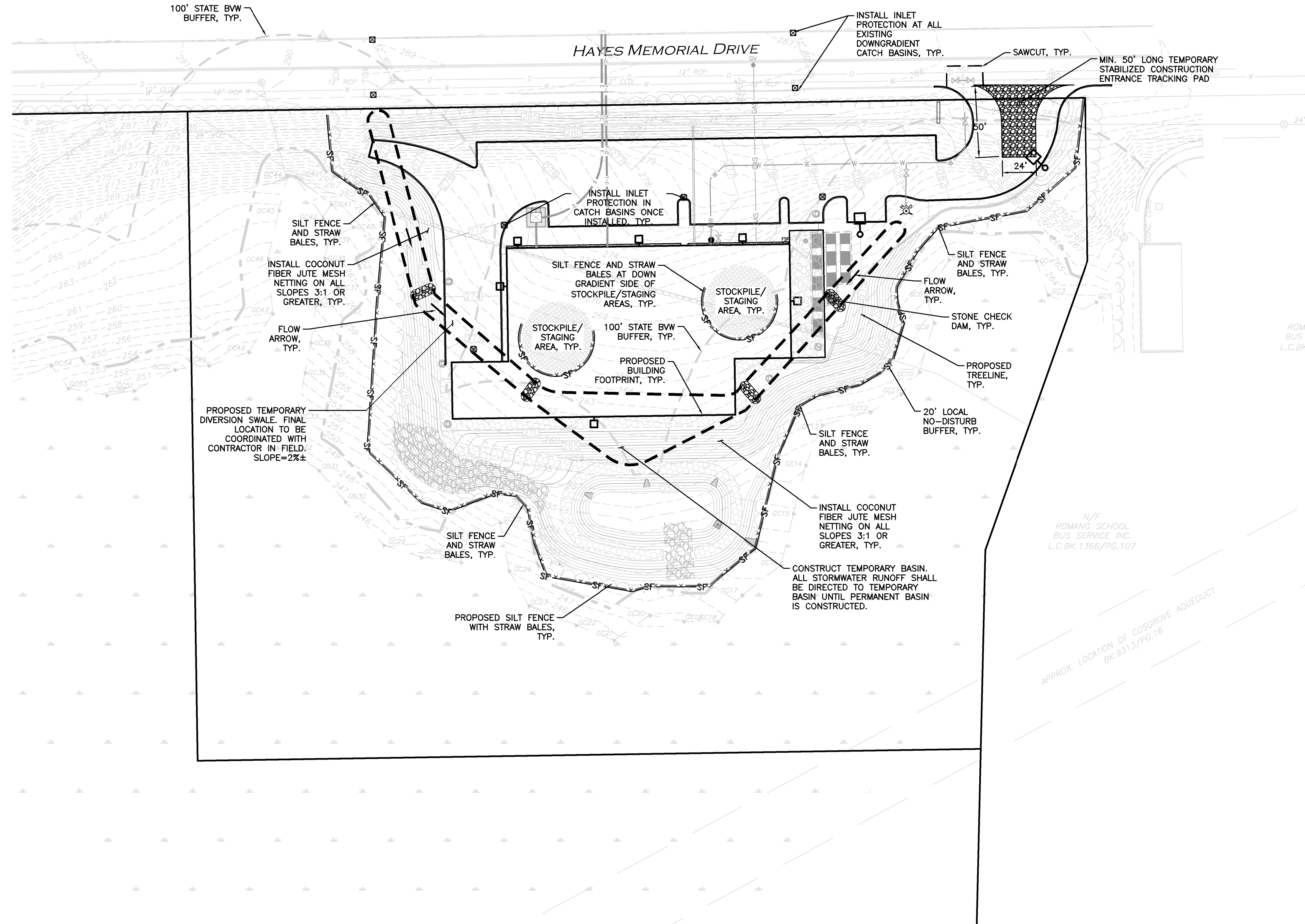
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www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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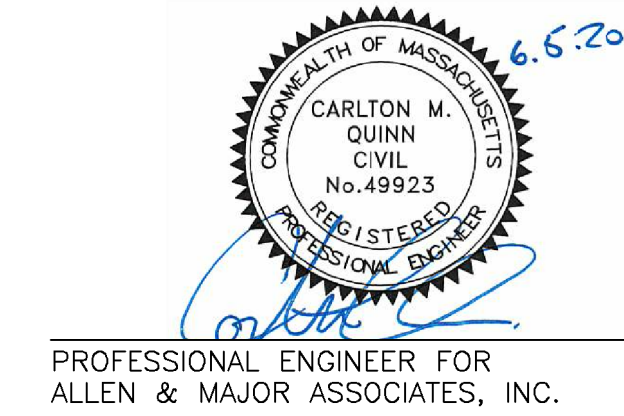
DRAWING TITLE:	SHEET No.
UTILITIES PLAN	C-104

N:\PROJECTS\1145-10A\CIVIL\DRAWINGS\CURRENT\LOT M\C-1145-10-M_EROSION_CONTROL.DWG



LEGEND	
SILT FENCE	SF
TUBULAR BARRIER	—x—x—x—
EROSION CONTROL FABRIC	—x—x—x—
CATCH BASIN FILTER	☒
STONE CHECK DAM	—x—x—x—
STABILIZED ENTRANCE	—x—x—x—
TURBIDITY CURTAIN	—x—x—x—
STOCKPILE/STAGING AREA	—x—x—x—

- NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
DIGSAFE: 1-800-344-7233
MARLBOROUGH DEPT. OF PUBLIC WORKS: (508) 624-6910
 - SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
 - ALL ELEVATIONS REFER TO NAVD88 DATUM.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 - ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
 - ALL ON-SITE DEMOLITION INCLUDING CUT & CAP OF UTILITIES SHALL BE PERFORMED TO CITY OF MARLBOROUGH AND SERVICE PROVIDER STANDARDS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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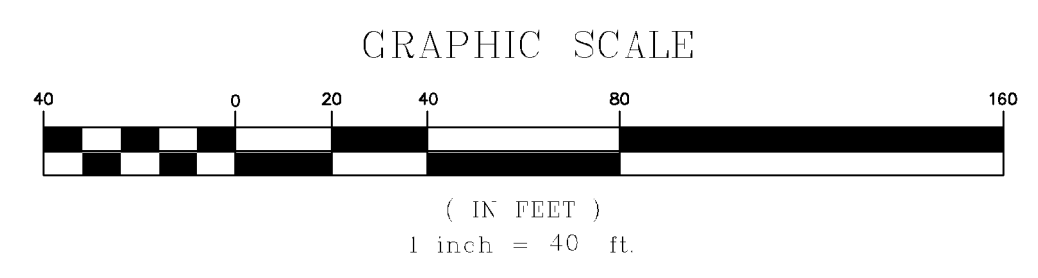
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DRAWING TITLE:	SHEET No.
EROSION CONTROL PLAN	C-101

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1-888-344-7233



LOAM AND SEEDING NOTES (GENERAL LAWN MIX):

CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

GENERAL LAWN MIX

SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PURITY	PERCENT GERMINATION	PERCENT
FESTUCA RUBRA "RUBRA"	CREeping RED FESCUE	37%		95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%		85%	90%
LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%		95%	90%
FESTUCA RUBRA COMMUTATA WILMA	WILMA CHEWINGS	8%		95%	80%

- SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
- ALL SEEDING (INCLUDING NEW ENGLAND WETLAND MIX SEEDS) TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SEEDING OF BARE SPOTS. AT ALL SLOPED AREAS CONTRACTOR TO INSTALL COCONUT FIBER JUTE MESH NETTING ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE), AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS AT NO ADDITIONAL COST TO OWNER & UNTIL SLOPES ARE FULLY STABLE. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER. AFTER SEEDING, SEEDED AREAS TO BE LIGHTLY MULCHED WITH WEED FREE STRAW & CONTINUALLY WATERED EVERY DAY FOR 2 MONTHS (USE NO HAY) SO THAT SEED IS KEPT MOIST.
- COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIZE SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
- LAWN AREAS TO BE SEED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
- CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

ADDITIONAL SEED MIX SPECIFICATIONS FOR SLOPES AREAS (AS NOTED ON THE PLAN):

SEE NOTE #22 ON SHEET L-102 FOR RATE OF APPLICATION & ADDITIONAL INFORMATION

WWW.NEWP.COM OR
Ph: (413) 548-8000 | Fx: (413) 549-4000 | info@newp.com
New England Wetland Plants, Inc.
820 West Street
Amherst, MA 01002

NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DRY SITES (BY NEW ENGLAND WETLAND PLANTS INC.)

- | | |
|-------------------------------------|-------------------------|
| 1. UPLAND BENTGRASS | AGROSTIS PERENNANS |
| 2. ROUGH BENTGRASS/TICKLEGRASS | AGROSTIS SCABRA |
| 3. BLUE GRAMA | BOUTELOUA GRACILIS |
| 4. CANADA WILD RYE | ELYMUS CANADENSIS |
| 5. CREEPING RED FESCUE | FESTUCA RUBRA |
| 6. ANNUAL RYEGRASS (NATURALIZED) | LOLIUM MULTIFLORUM |
| 7. PERENNIAL RYEGRASS (NATURALIZED) | LOLIUM PERENNE |
| 8. LITTLE BLUESTEM | SCHIZACHYRIUM SCOPARIUM |
| 9. INDIAN GRASS | SORGHASTRUM NUTANS |

EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES (BY NEW ENGLAND WETLAND PLANTS INC.):

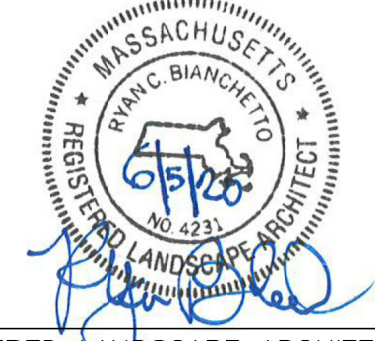
- | | |
|----------------------------|----------------------|
| A. ELYMUS VIRGINICUS | VIRGINIA WILD RYE |
| B. FESTUCA RUBRA | CREeping RED FESCUE |
| C. SCHIZACHYRIUM SCOPARIUM | LITTLE BLUESTEM |
| D. ANDROPOGON GERARDII | BIG BLUESTEM |
| E. PANICUM VIRGATUM | SWITCH GRASS |
| F. VERBENA HASTATA | BLUE VERVAIN |
| G. AGROSTIS SCABRA | ROUGH BENTGRASS |
| H. ASTER NOVAE-ANGLIAE | NEW ENGLAND ASTER |
| I. EUPATORIUM MACULATUM | SPOTTED JOE PEE WEED |
| J. EUPATORIUM PERFORIATUM | BONASET |
| K. JUNCUS EFFUSUS | SOFT RUSH |
| L. SCIRPUS CYPERINUS | WOOL GRASS |

LEGEND

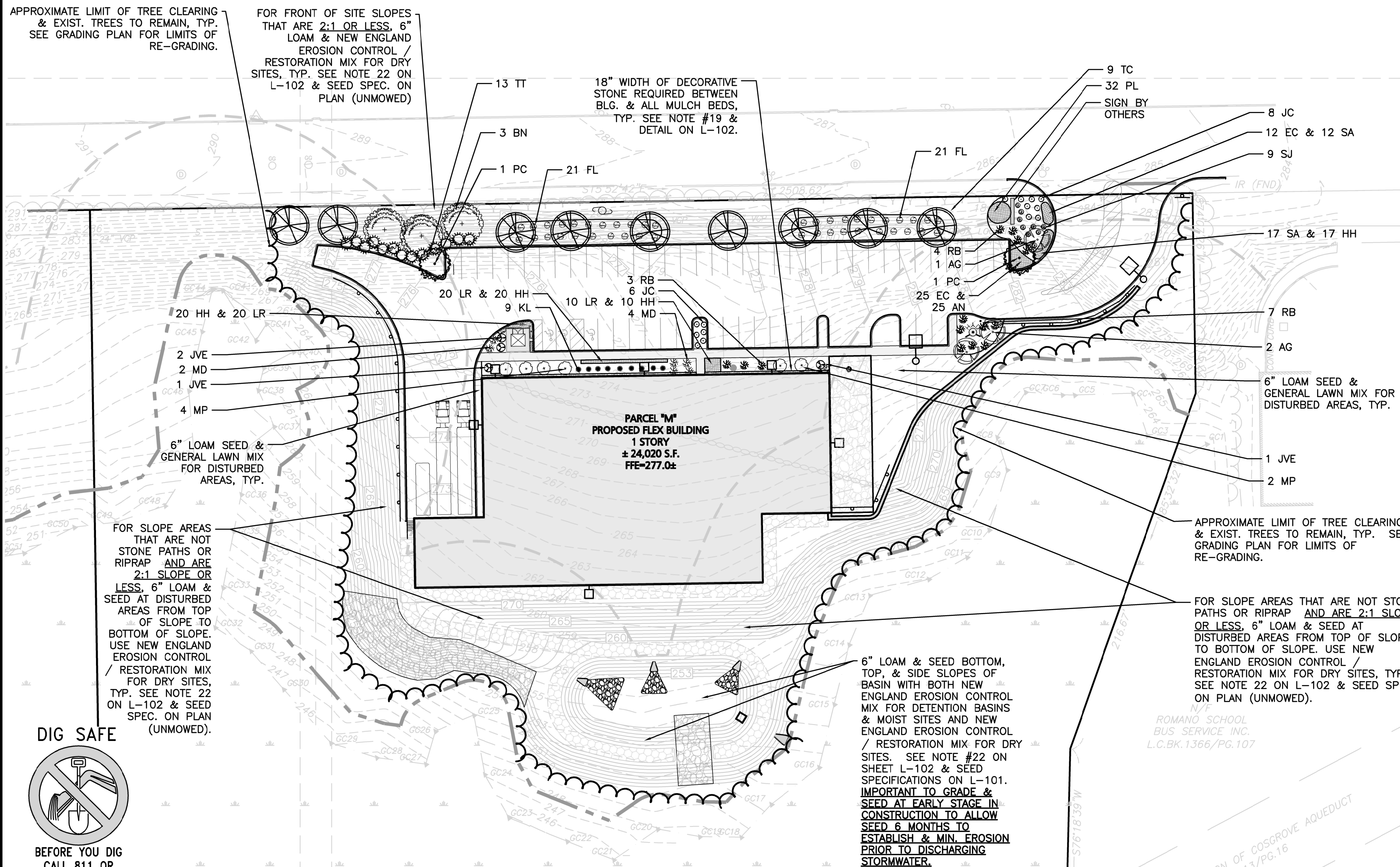
- PROPERTY LINE
- SIGN
- PROP. BUILDING
- BUILDING ARCHITECTURE
- CURB
- CONCRETE SIDEWALK
- DECIDUOUS TREE
- EVERGREEN TREE
- FLOWERING/ ORNAMENTAL TREE
- SHRUBS
- MULCH BED
- PERENNIALS

GENERAL NOTES:

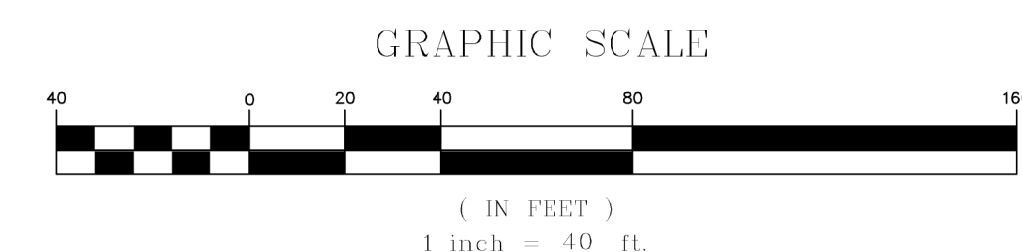
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- ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 18" MINIMUM DEPTH OF TOPSOIL. EIGHTEEN INCHES OF TOPSOIL AROUND TREES AND SHRUBS DOES NOT INCLUDE AMENDED PLANTING SOIL WITHIN TREE / SHRUB PIT FOR FULL DEPTH OF ROOTBALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED OR LOAM & SOD TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL CONTRACTOR, DEMOLITION CONTRACTOR, AND LANDSCAPE CONTRACTOR TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 18" MINIMUM AND 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET AT NO ADDITIONAL COST TO OWNER. SEE TOPSOIL DETAIL.
- SEE SHEET L-102 FOR ADDITIONAL LANDSCAPE INFORMATION.



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.



CITY OF MARLBOROUGH LANDSCAPE REGULATIONS		
ZONING REQUIREMENT: SECTION 650-47 LANDSCAPING AND SCREENING	REQUIRED	PROVIDED
D. (4) PLANTING TYPE AND SIZE DECIDUOUS SHADE TREES MIN. 2" CAL. & SHRUBS 12" HT.	REQUIREMENT AS NOTED	PROVIDED TREES & SHRUBS ARE AT LEAST 2" CAL. AND 12" HT. OR GREATER
E. STREET FRONTAGE PLANTING AREA CONTINUOUS LANDSCAPED STRIP ADJACENT TO STREET ROW WITH A MIN. WIDTH OF 15 FT. WITH PLANTINGS.	THERE IS APPROX. 460 LF OF FRONTAGE LANDSCAPED AREA (BETWEEN ROW & PARKING) NOT WOODED OR UTILIZED FOR VEHICULAR ENTRANCES.	STREET FRONTAGE LANDSCAPING IS GREATER THAN 15 FT. WIDE AT 24 FT. WITH BOTH TREE & SHRUB PLANTINGS.
D. (5) PLANTING QUANTITY & SPACING AT LEAST 1 SHRUB PER 5 LINEAR FT. OR 35 S.F. OF GROUND WHICHEVER IS GREATER. MIN. 1 TREE PER 40 LINEAR FT. OF PLANTING AREA LENGTH. 50% OF SHRUBS IN FRONTAGE MAY BE SUBSTITUTED FOR LAWN.	460 LF ± / 40 = 12 TREES REQUIRED 460 LF ± / 5 = 92 SHRUBS 11,200 S.F. ± / 35 = 320 SHRUBS REQUIRED AS LARGER THAN 92 SHRUBS REDUCING FRONTAGE SHRUBS BY 50% AND REPLACING WITH LAWN=160 SHRUBS REQUIRED.	12 TREES PROVIDED 60 NEW SHRUBS PROVIDED. ADDITIONAL SHRUBS PROVIDED THROUGH EXISTING WOODED AREAS ALONG FRONTAGE TO REMAIN.
H. PARKING LOT PLANTING AREA (1) PERIMETER PARKING LOT. ON AT LEAST THREE SIDES THERE SHALL BE A LANDSCAPE STRIP WITH REQUIRED SIDE LINE PLANTING AREAS UNDER SECTION F	FOR NON-RES. USES A MIN. 7 FT. SIDELINE PLANTING AREA STRIP IS REQUIRED.	GREATER THAN 7 FT. PLANTING STRIPS ON FRONT, SIDE, & REAR OF LOT. ADDITIONAL EXIST. TREES & SHRUBS WITHIN WOODS TO REMAIN AT SIDES & REAR OF LOT.
H. (2)(B) INTERIOR OF PARKING LOT MIN 3% OF PARKING AREA W/>50 SPACES, MUST BE PLANTED AS LANDSCAPED ISLANDS MIN 7' WIDE	REQUIREMENT AS NOTED	GREATER THAN 5% IS PROVIDED
H. (2)(B) A MIN. OF 1 TREE & 4 SHRUBS FOR EVERY 12 CARS IN THE INTERIOR OF THE PARKING LOT.	60 CARS / 12 = 5 TREES REQUIRED 60 CARS / 12x4 = 20 SHRUBS REQUIRED	5 TREES PROVIDED 20 SHRUBS PROVIDED



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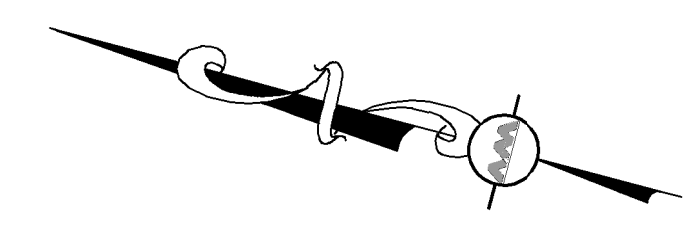
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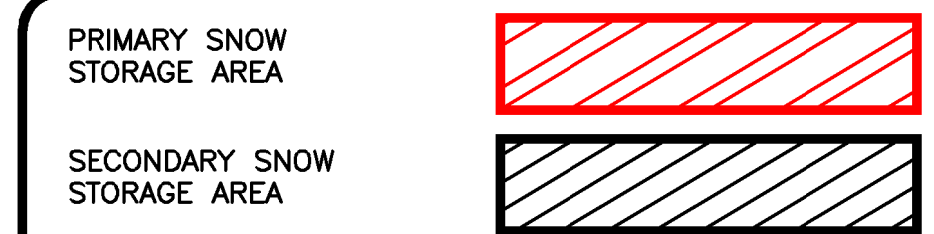
PROJECT NO. 1145-10A DATE: 04-17-2020
SCALE: 1" = 40' DWG. NAME: C-1145-10A
DESIGNED BY: RB/DMR CHECKED BY: CMQ

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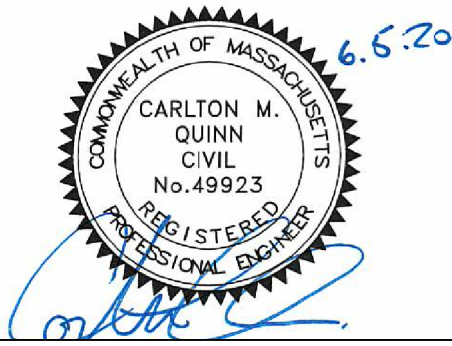


LEGEND



- NOTES:
1. SNOW WILL BE STOCKPILED ON SITE UNTIL THERE IS NOT ENOUGH SPACE. AS NECESSARY, THE SNOW WILL BE REMOVED AND DISPOSED OF OFF-SITE. IT WILL BE THE RESPONSIBILITY OF THE SNOW REMOVAL CONTRACTOR TO PROPERLY DISPOSE OF TRANSPORTED SNOW ACCORDING TO MASSACHUSETTS DEP. BUREAU OF RESOURCE PROTECTION - MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF WATER RESOURCES SNOW DISPOSAL GUIDANCE EFFECTIVE DATE: DECEMBER 23, 2019, GOVERNING THE PROPER DISPOSAL OF SNOW. IT WILL BE THE RESPONSIBILITY OF THE SNOW REMOVAL CONTRACTOR TO FOLLOW THESE GUIDELINES AND ALL APPLICABLE LAWS AND REGULATIONS.
 2. APPROXIMATE TOTAL PRIMARY SNOW STORAGE AREA ON SITE: 3,650± S.F.
 3. APPROXIMATE TOTAL SECONDARY SNOW STORAGE AREA ON SITE: 1,650± S.F. (AS NEEDED)
 4. TOTAL SNOW STORAGE AREA AVAILABLE ON-SITE: 5,300± S.F.

- NOTES:
1. THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM SEVERAL SOURCES, SOME OF WHICH IS UNCONFIRMED. THE EXISTING CONDITIONS SURVEY BASE WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS" PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED APRIL 17, 2020, AND WAS GATHERED FROM AN ON-THE-GROUND SURVEY.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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BURLINGTON, MA 01803

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HAYES MEMORIAL DRIVE
MARLBOROUGH, MA

PROJECT NO. 1145-10A DATE: 04-17-2020
SCALE: 1" = 40' DWG. NAME: C-1145-10A
DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:

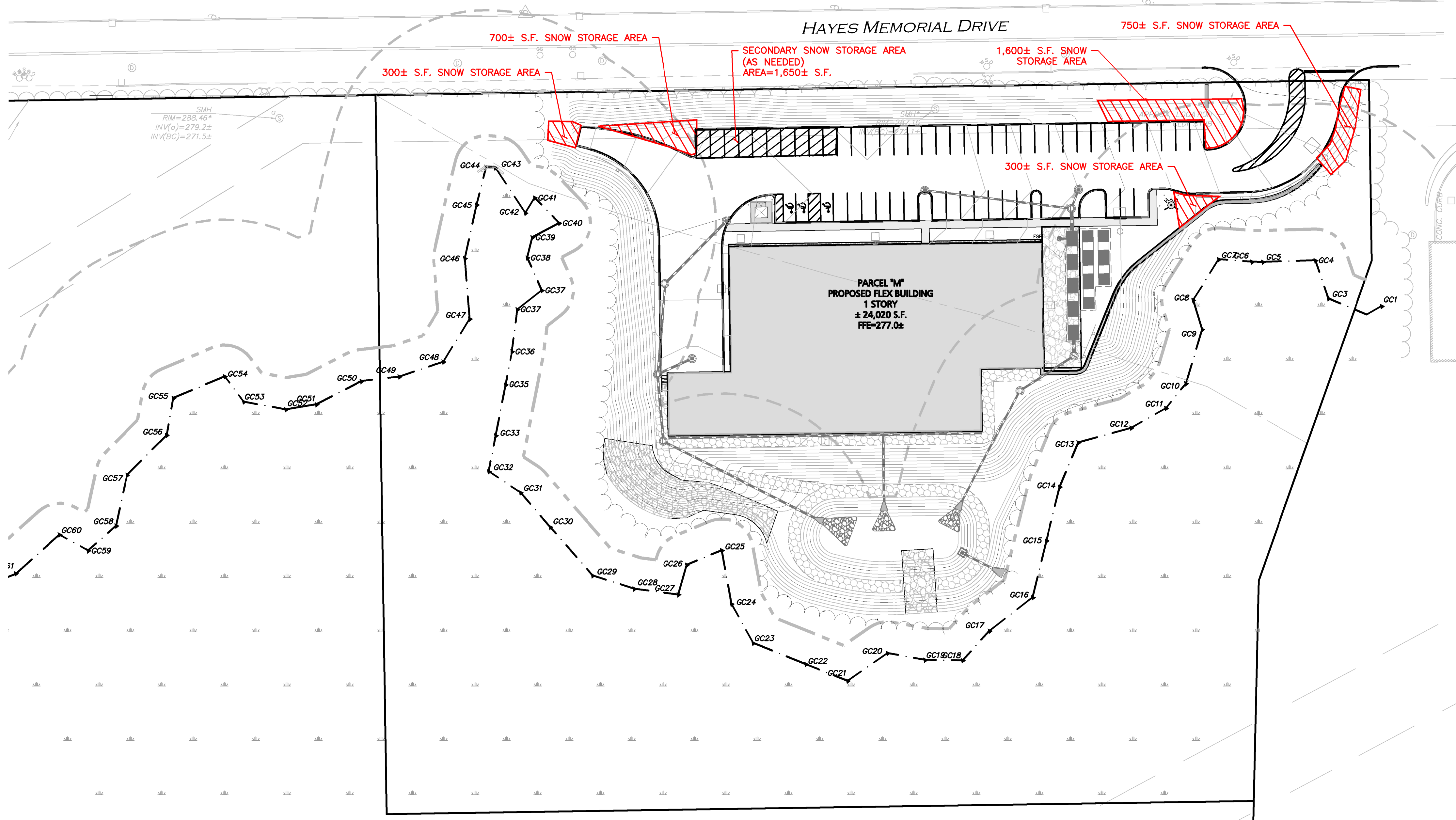
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DRAWING TITLE: **SNOW STORAGE PLAN** SHEET No. **C-108**

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