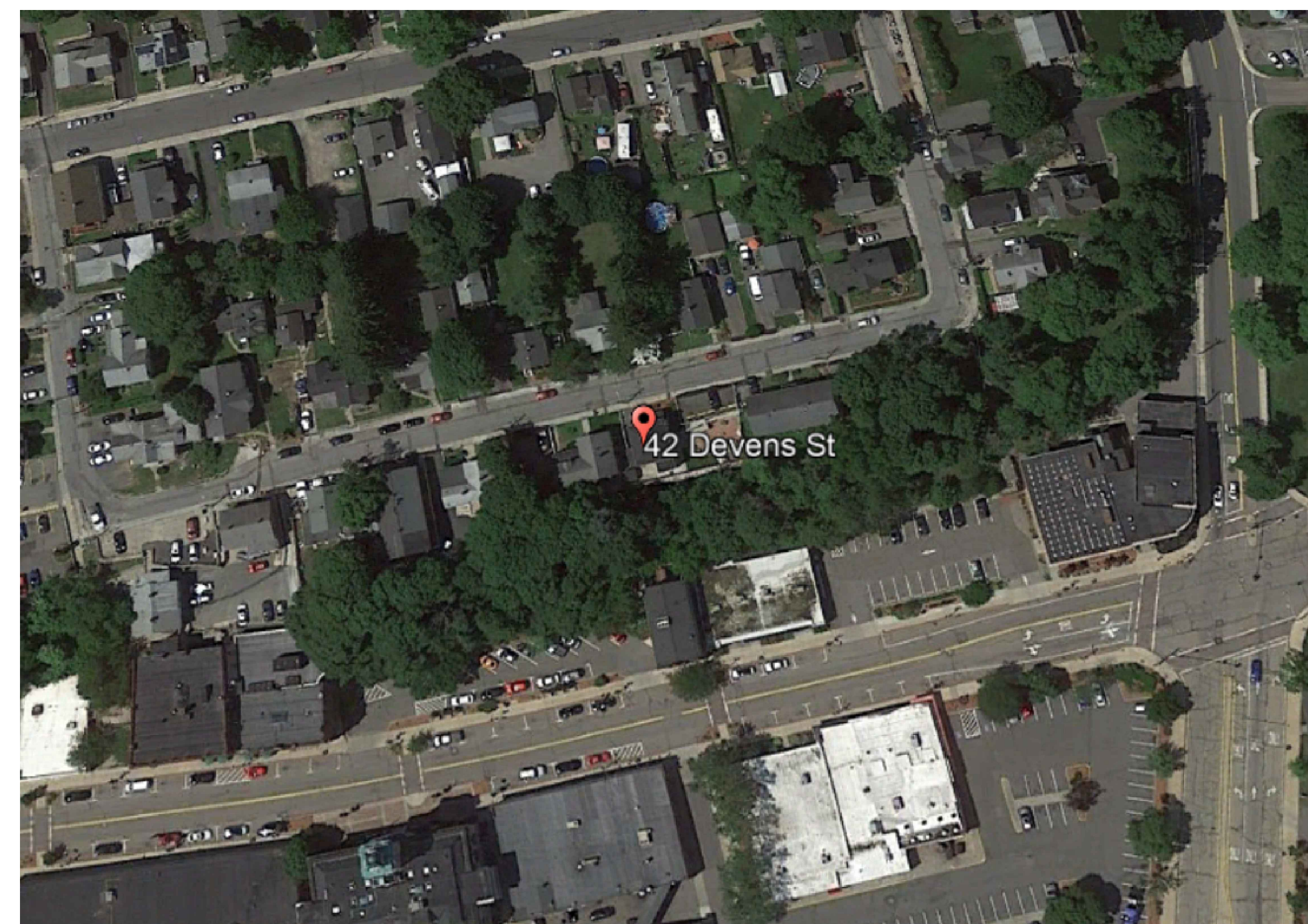


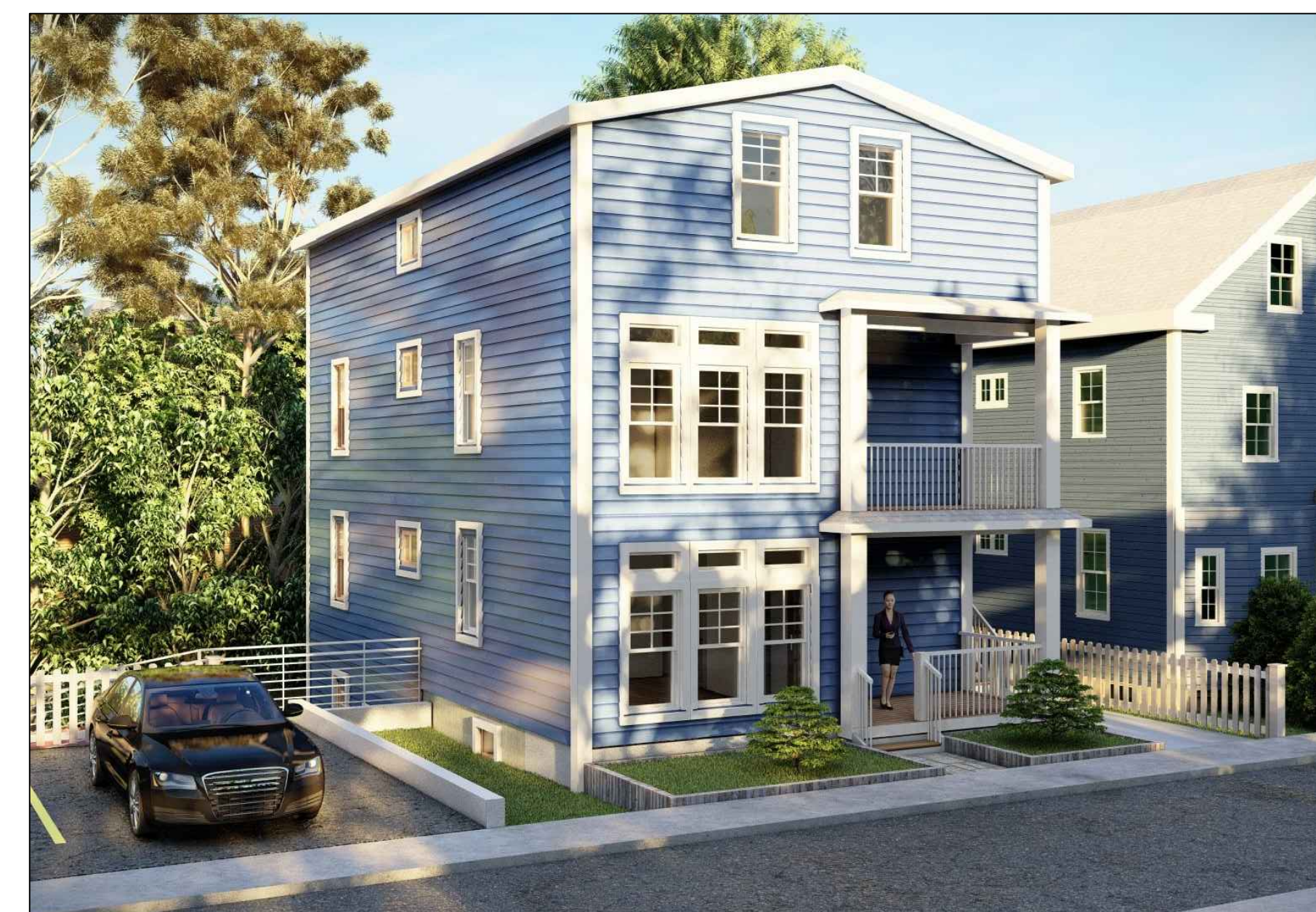
# PROPOSED RENOVATION / CHANGE OF OCCUPANCY FROM SINGLE FAMILY TO TWO FAMILY DWELLING

## 42 DEVENS STREET MARLBOROUGH, MA 01752

### LOCATION MAP



GOOGLE EARTH



**ROSA DESIGN**  
CONSTRUCTION LLC  
70 WARREN STREET, SUITE 7  
BOSTON, MA 02119  
617.953.4356 - INFO@ROSADC.COM

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APPLICANT:  
JUAN SOSA

LAYOUT BY: EBR  
DRAWN: RH  
CHECKED:  
SCALE: AS INDICATED  
DATE: 07/22/2021  
PROJECT NO.: RDC/00211  
REVISIONS:      NOTES:      DATE:



8/16/21

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DRAWING TITLE:  
**COVER SHEET**

SHEET NUMBER:  
**A-0.0**

ZBA SET

<https://www.google.com/maps/place/42+Devens+St,+Marlborough,+MA+01752,+EE,+UU./@42.3474938,-71.5483363,322m/data=!3m2!1e3!4b1!4m5!3m4!1s0x89e38b68388626ed:0xdda3c5a8c99f8135!8m2!3d42.3474918!4d-71.547242>

### GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE LATEST EDITION THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
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### GENERAL SYMBOLS

ROOM NAME	
	ROOM TAG
	BREAK LINE
	WINDOW
	DOOR
	OBJECT ABOVE OR BELOW
	COMBO - EXHAUST LIGHT
	COMBO - SMOKE, CO DETECTORS
	HEAT DETECTOR
	SMOKE DETECTOR

### INDEX

- A-0.0 COVER SHEET
- B-1.0 EXISTING CONDITIONS (BASEMENT / FIRST FLOOR)
- B-1.1 EXISTING CONDITIONS (SECOND / ROOF FLOOR)
- B-2.0 EXISTING CONDITIONS (FRONT / REAR / RIGHT / LEFT ELEVATION)
- A-0.1 PROPOSED CONDITIONS (DOOR / WINDOW SCHEDULE)
- A-1.0 PROPOSED CONDITIONS (BASEMENT / FIRST / SECOND FLOOR PLAN)
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- A-2.0 PROPOSED CONDITIONS (FRONT / REAR / LEFT / RIGHT ELEVATION)
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- S-1.1 CONSTRUCTION DETAILS (ROOF FRAMING PLANS / SECTION DETAILS PORCH FRAMING PLANS/ SECTION DETAILS)

EXISTING		PROPOSED		
SINGLE FAMILY		TWO FAMILY		
			UNIT 1	UNIT 2
BASEMENT	615	BASEMENT	606 Sq. Ft.	0 Sq. Ft.
1ST FLOOR	612	1ST FLOOR	843 Sq. Ft.	0 Sq. Ft.
2ND FLOOR	616	2ND FLOOR	0 Sq. Ft.	771 Sq. Ft.
TOTAL: 1,843 Sq. Ft.		ATTIC FLOOR	0 Sq. Ft.	780 Sq. Ft.
		TOTAL:	3,000 Sq. Ft.	



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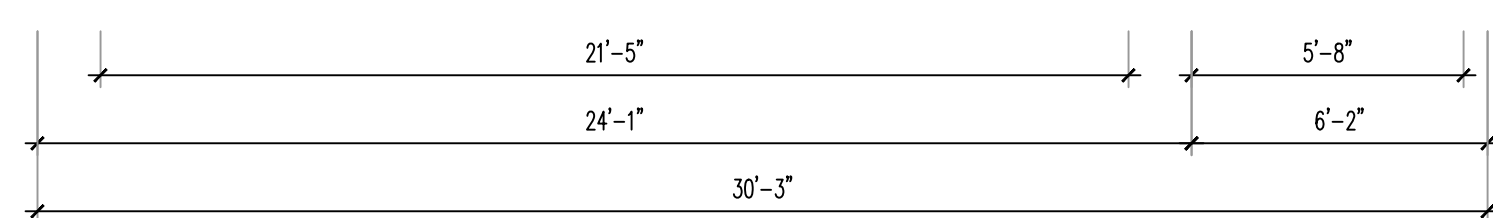
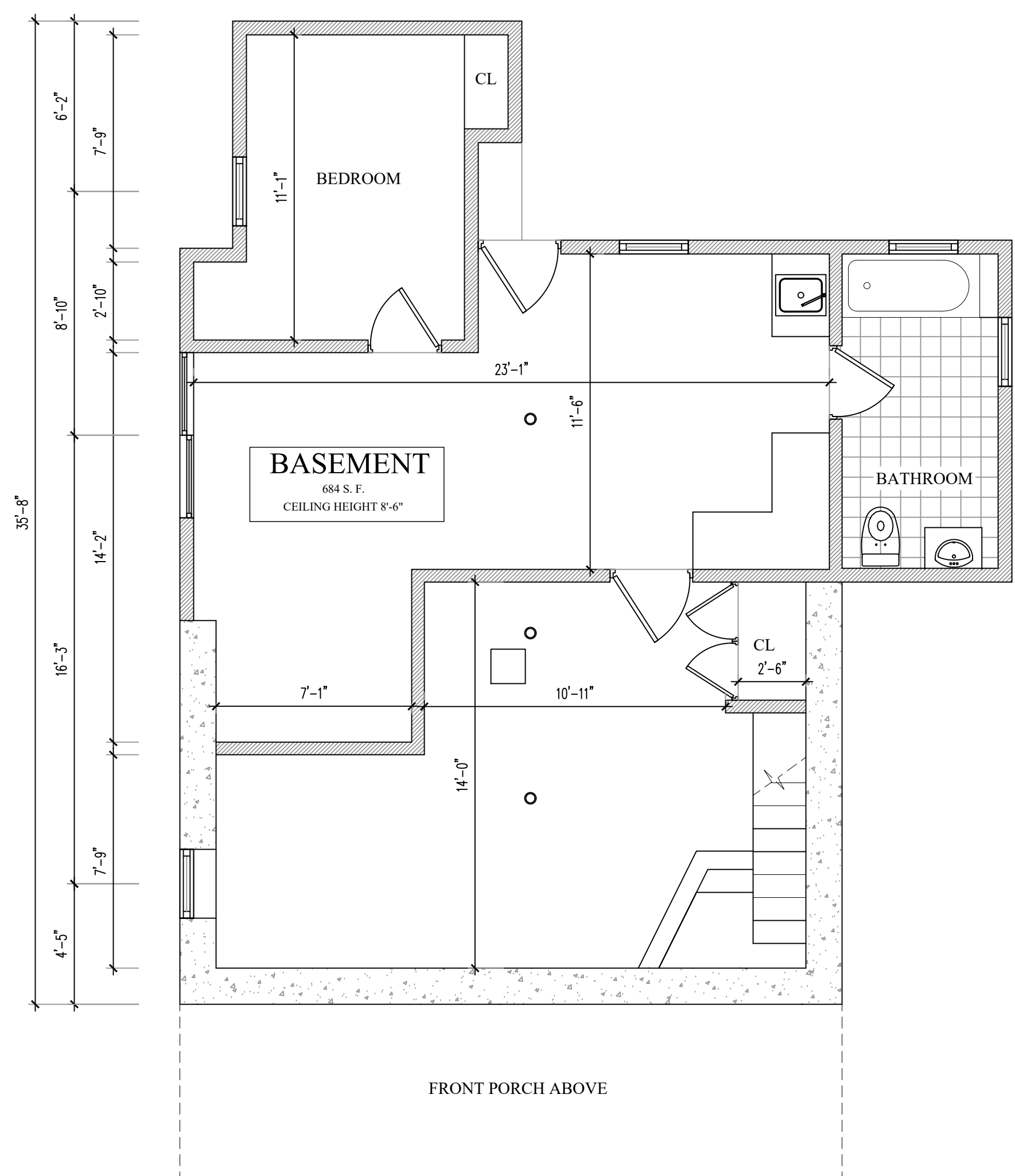
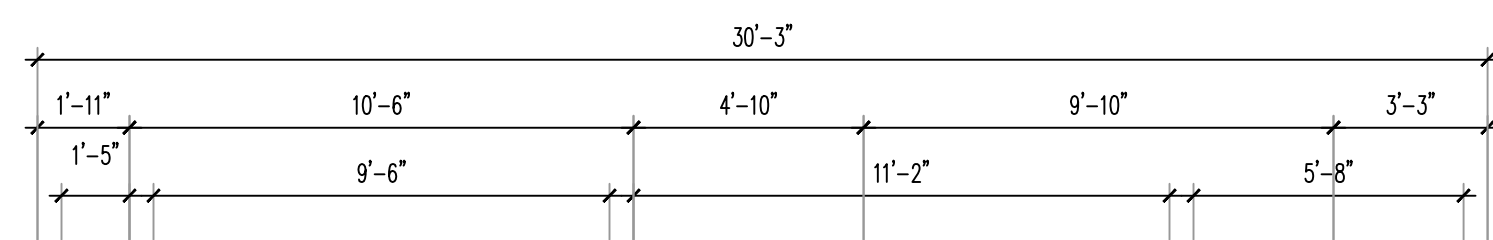
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**EXISTING  
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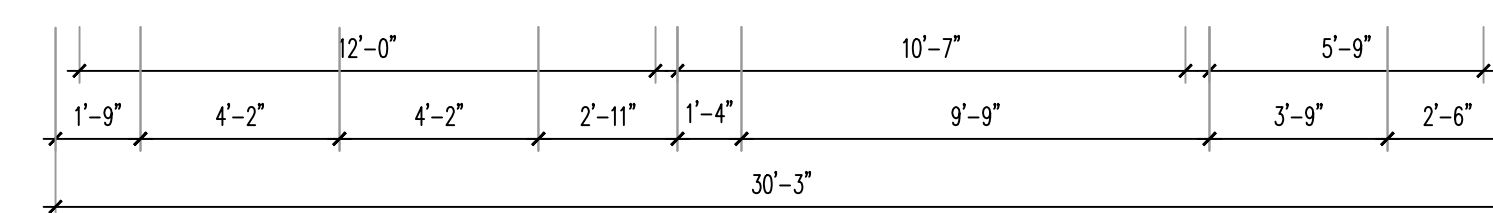
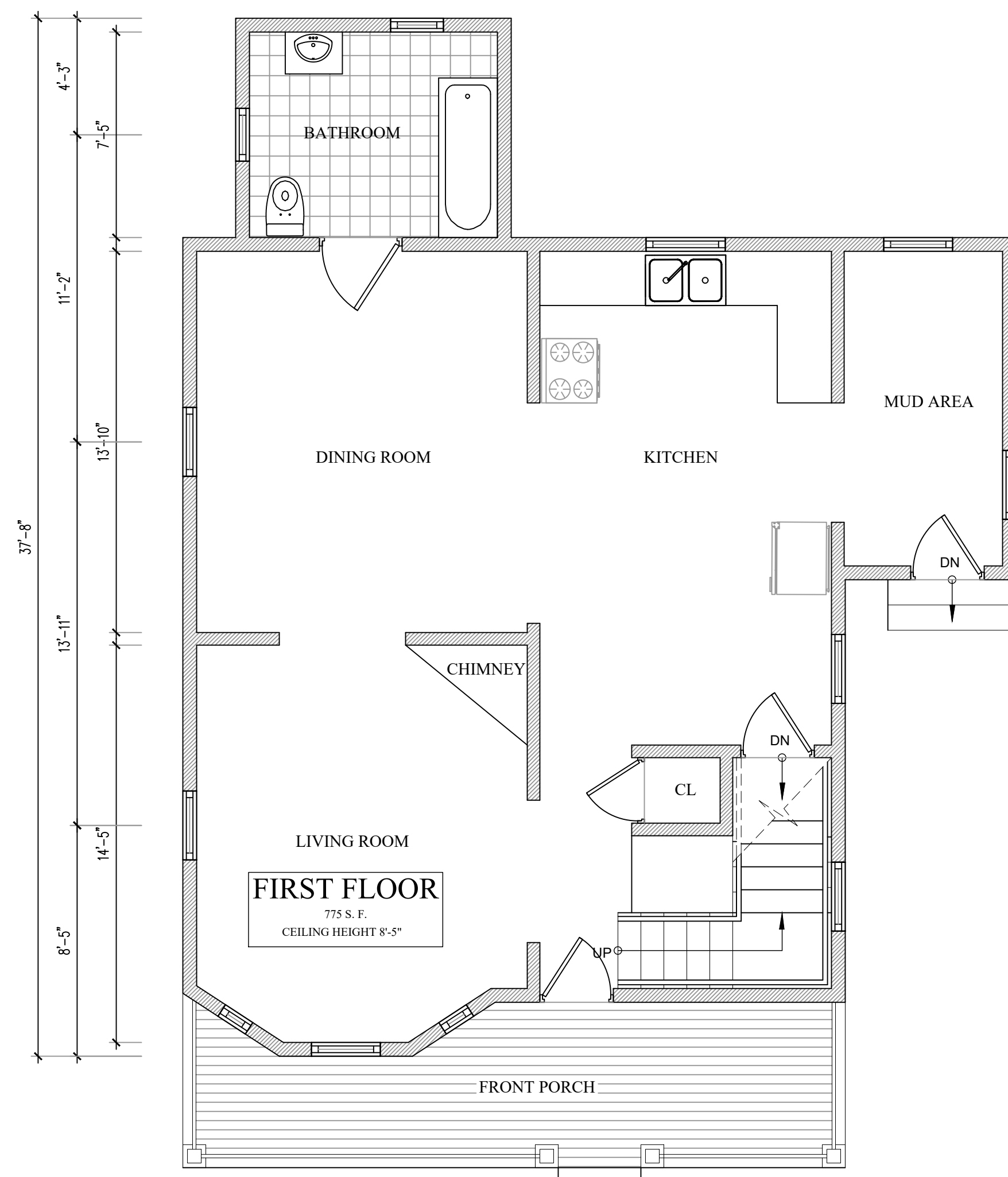
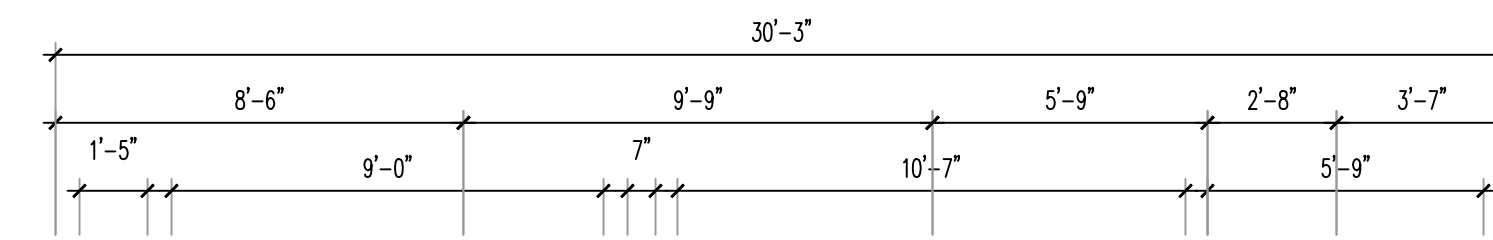
SHEET NUMBER:

**B-1.0**

ZBA SET



**1** **EXISTING BASEMENT FLOOR PLAN**  
**B-1.0** SCALE: 1/4"=1'-0"



**2** **EXISTING FIRST FLOOR PLAN**  
**B-1.0** SCALE: 1/4"=1'-0"



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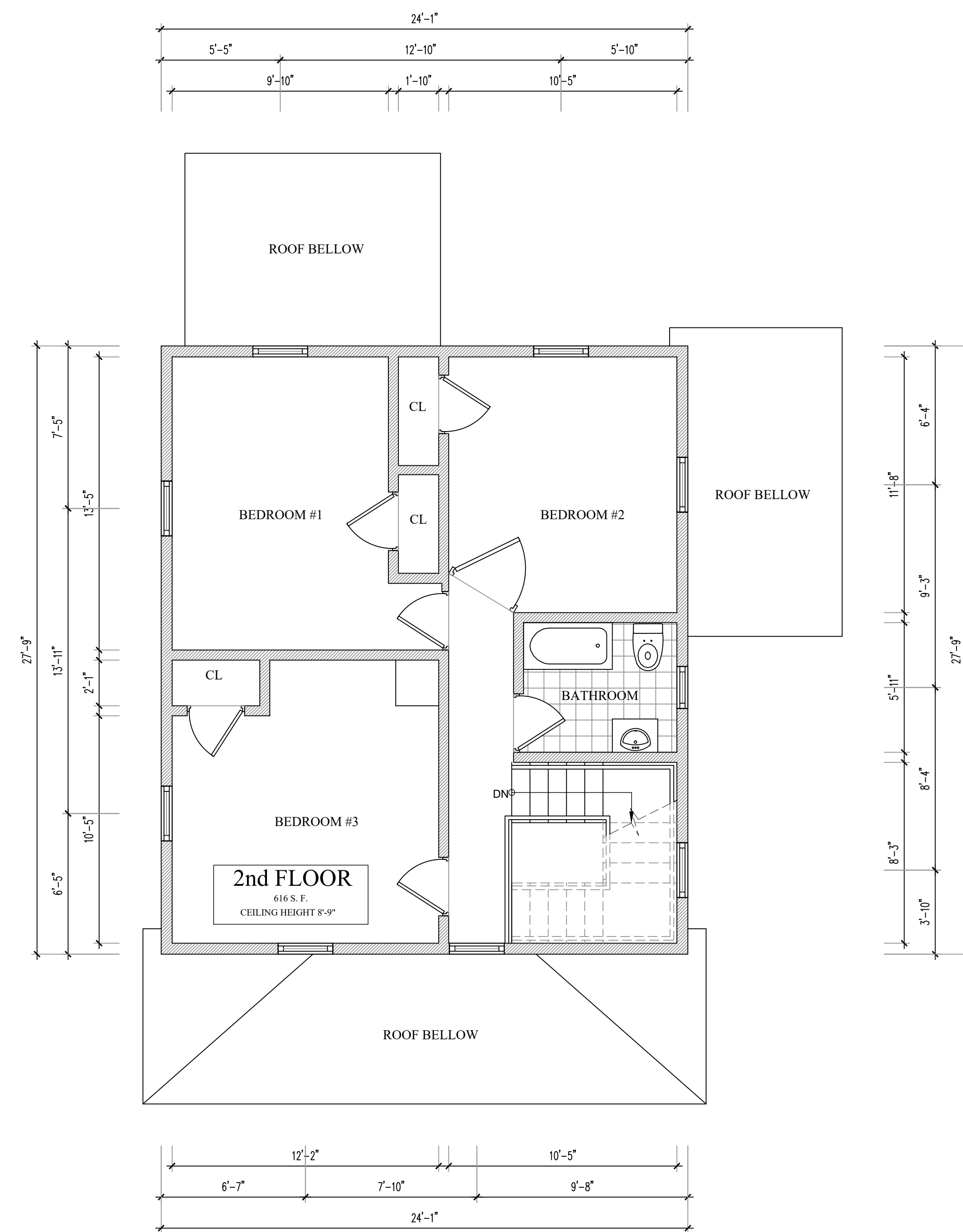
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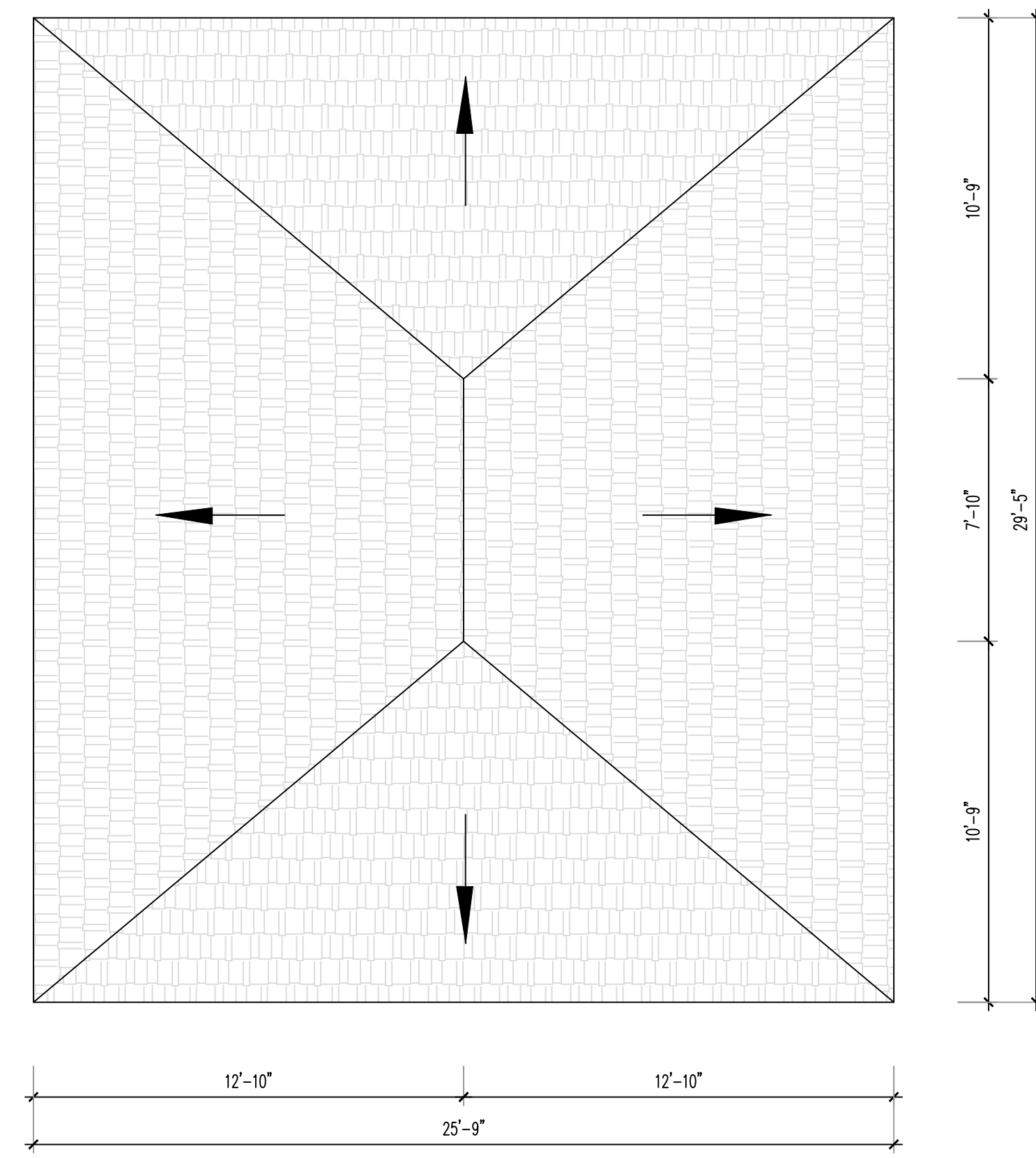
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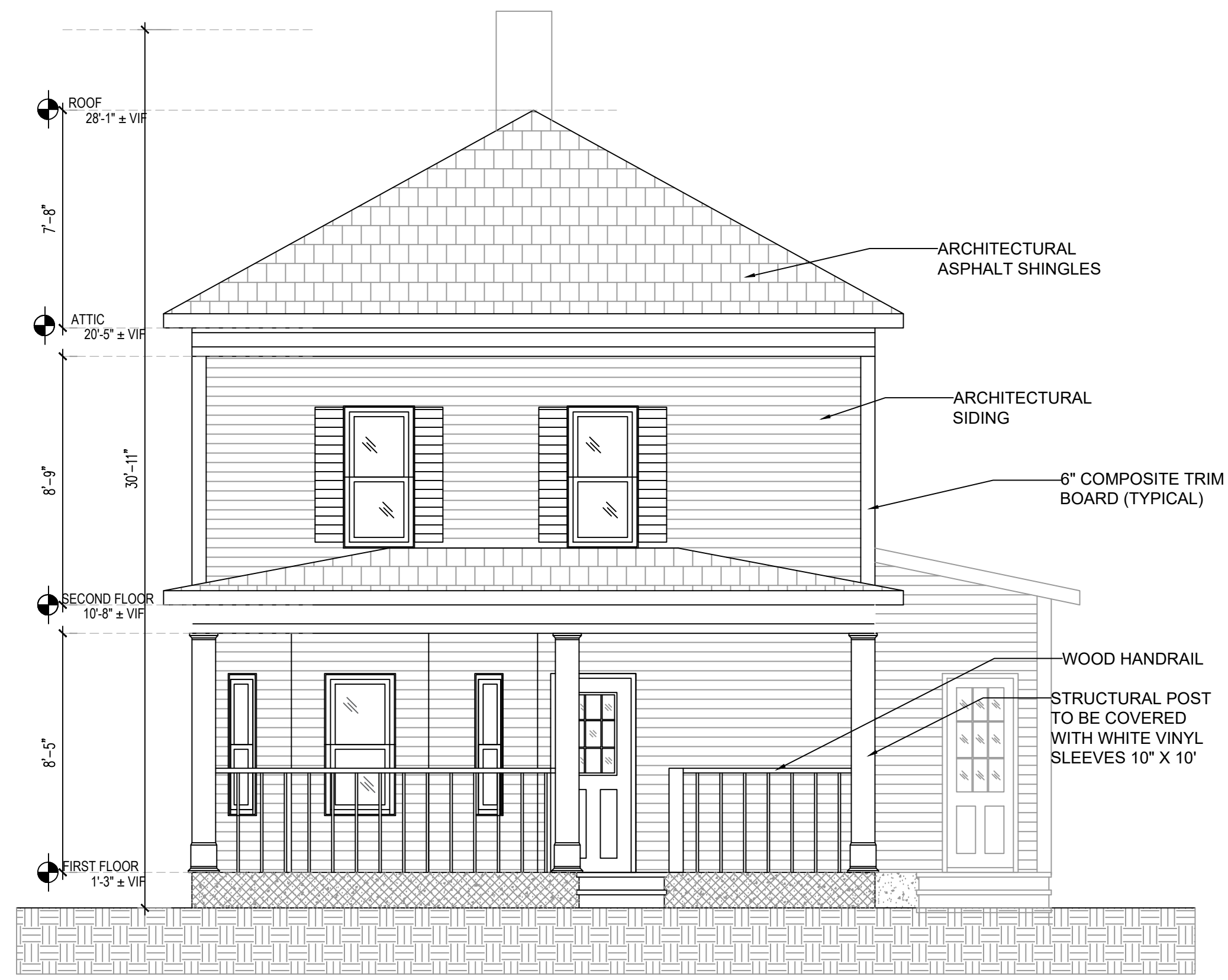
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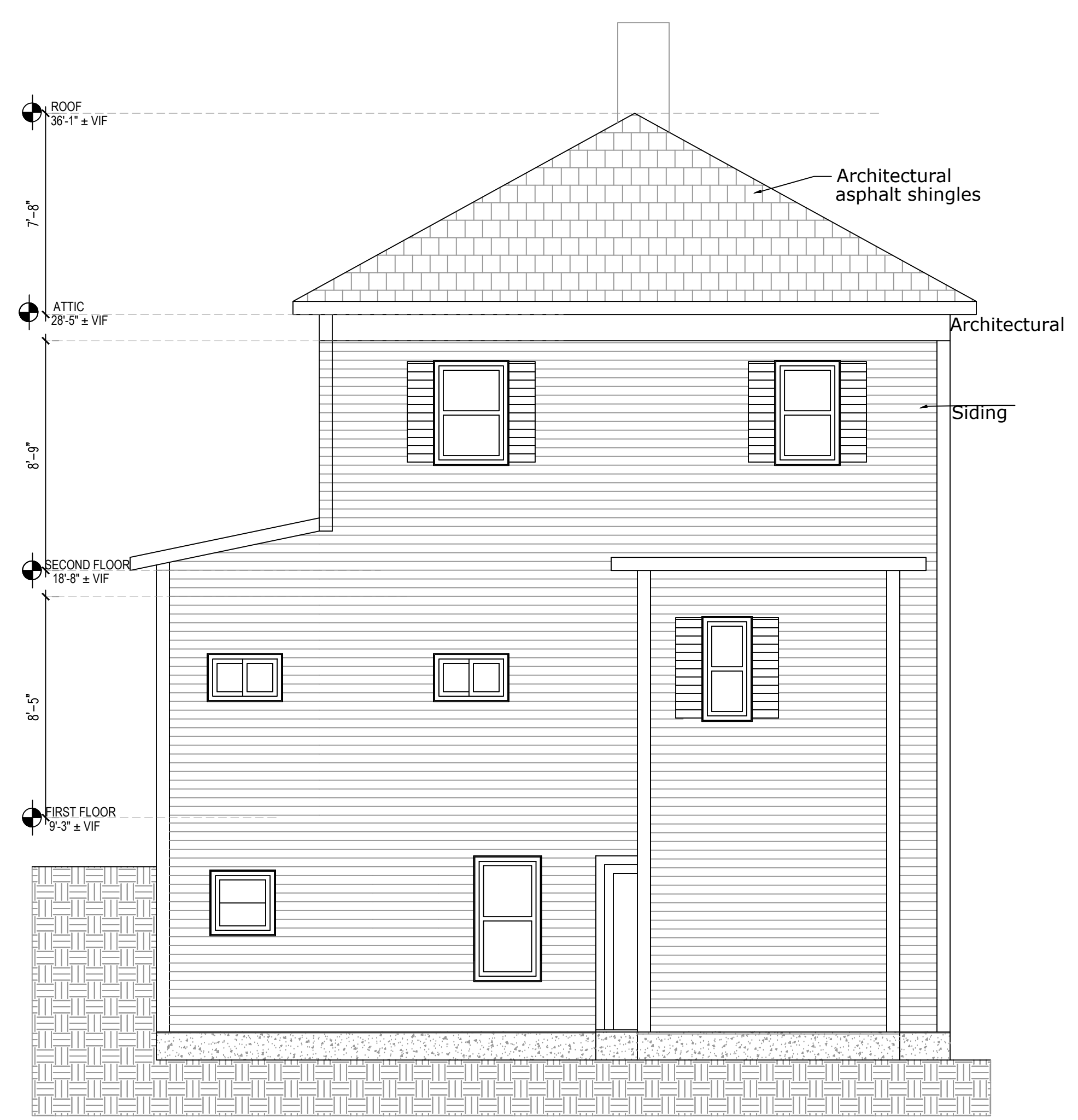
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**B-1.1** SCALE: 1/4"=1'-0"



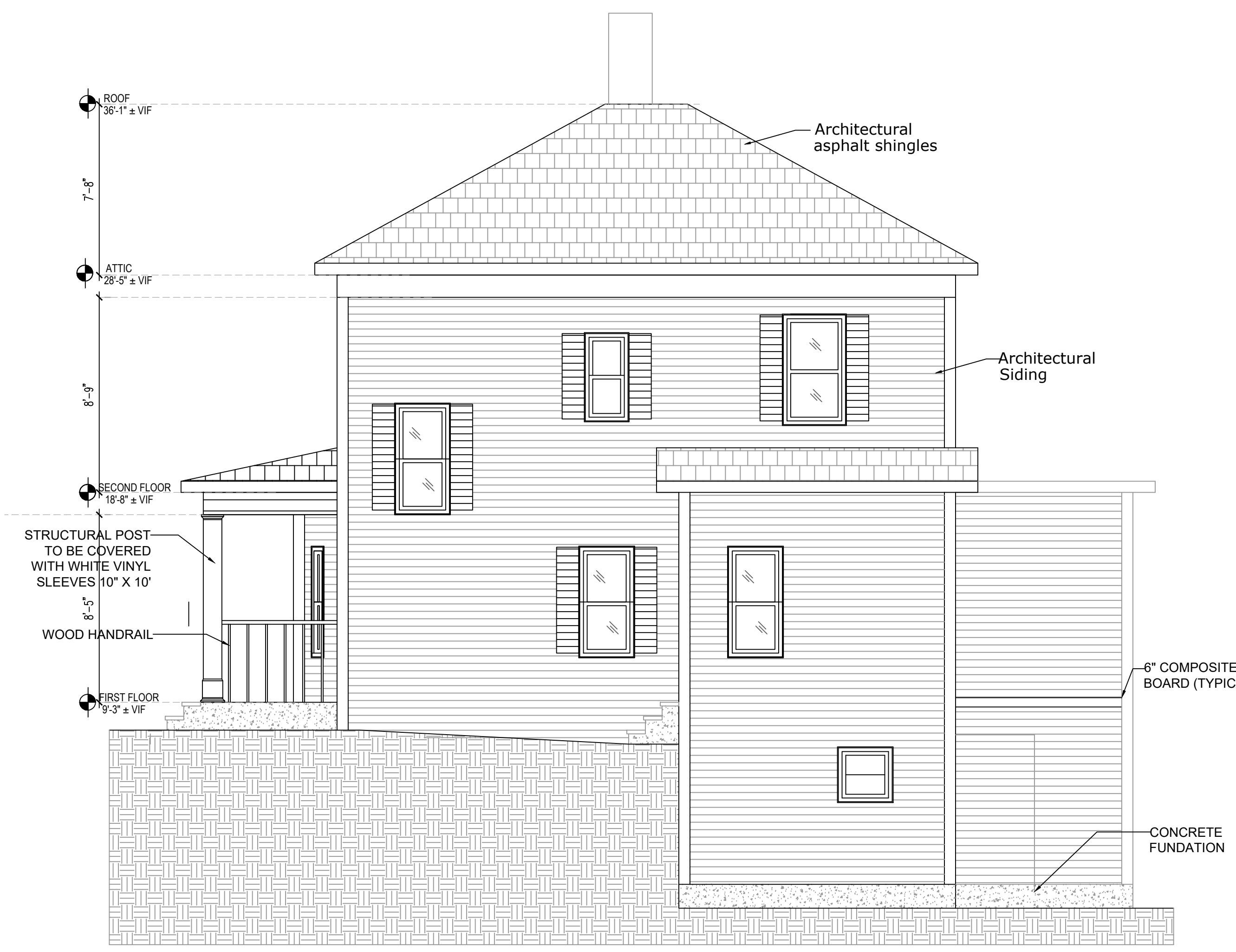
**2** **EXISTING ROOF PLAN**  
**B-1.1** SCALE: 1/4"=1'-0"



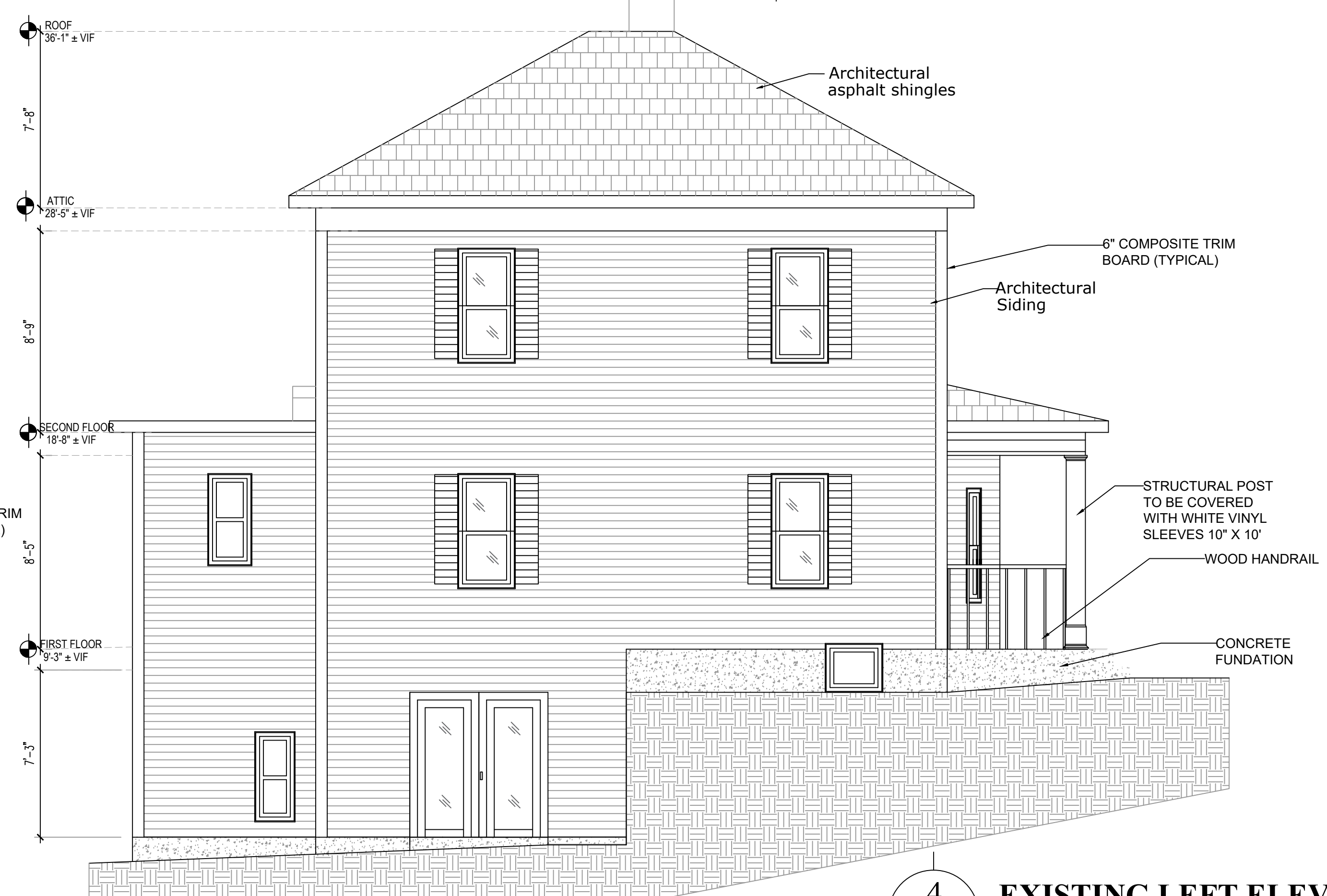
**1** EXISTING FRONT ELEVATION  
**B-2.0** SCALE:1/4"=1'-0"



**3** EXISTING REAR ELEVATION  
**B-2.0** SCALE:1/4"=1'-0"



**3** EXISTING RIGHT ELEVATION  
**B-2.0** SCALE:1/4"=1'-0"



**4** EXISTING LEFT ELEVATION  
**B-2.0** SCALE:1/4"=1'-0"

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DRAWING TITLE:	<b>EXISTING CONDITIONS</b>
SHEET NUMBER:	<b>B-2.0</b>
	ZBA SET

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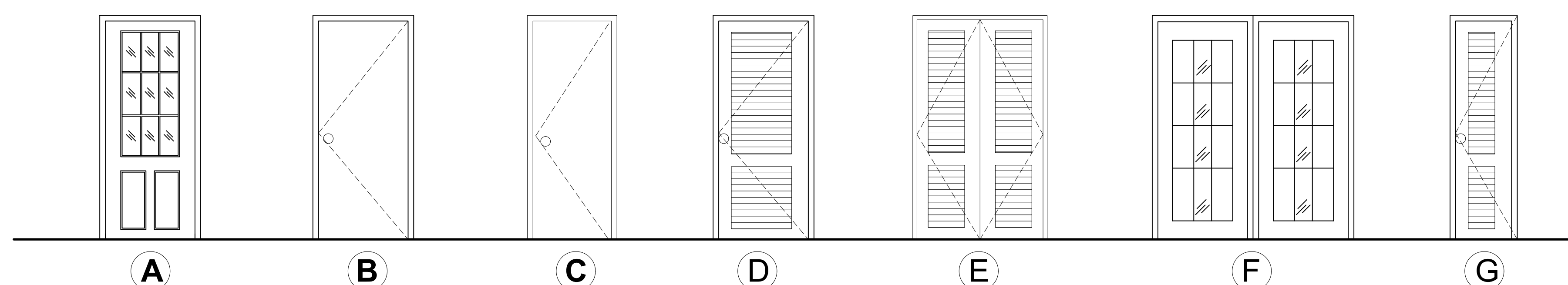
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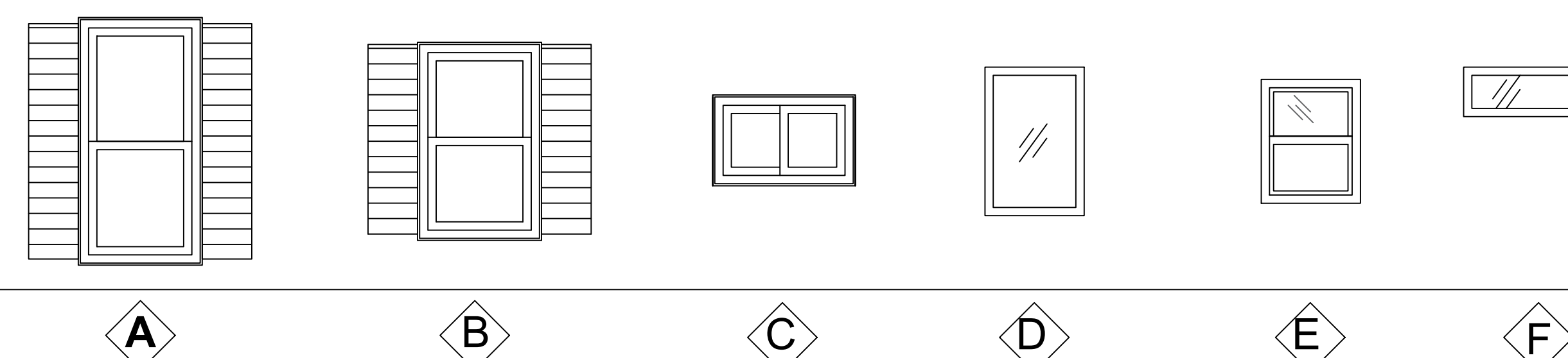
**A-0.1**

ZBA SET

PROPOSED DOOR SCHEDULE									
MARK	DOOR TYPE	DOOR				FRAME		QUANTITY	COMMENTS
		WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL		
01	A	3'-0"	6'-8"	0'-1 3/4"	GALV METAL	PAINT	H.M.	03	EXTERIOR MAIN ENTRANCE
02	B	2'-8"	6'-8"	0'-1 3/8"	WOOD	PAINT	WOOD	08	TEXTURED 6-PANEL HOLLOW CORE PRIMED COMPOSITE INTERIOR DOOR SLAB WITH BORE
03	C	3'-0"	6'-8"	0'-1 3/4"	WOOD	PAINT	WOOD	06	TEXTURED 6-PANEL HOLLOW CORE PRIMED COMPOSITE INTERIOR DOOR SLAB WITH BORE
04	D	4'-0"	6'-8"	0'-1 1/2"	WOOD	PAINT	WOOD	02	PLANTATION LOUVERED SOLID CORE PAINTED WHITE WOOD INTERIOR CLOSET BI-FOLD DOOR BY KIMBERLY BAY (HD)
05	E	4'-0"	6'-8"	0'-1 1/2"	WOOD	PAINT	WOOD	08	PLANTATION LOUVERED SOLID CORE PAINTED WHITE WOOD INTERIOR CLOSET BI-FOLD DOOR BY KIMBERLY BAY (HD)
06	F	6'-0"	6'-8"	0'-1 1/2"	GALV METAL	PAINT	H.M.	02	EXTERIOR MAIN ENTRANCE
07	G	2'-0"	6'-8"	0'-1 1/2"	WOOD	PAINT	WOOD	02	PLANTATION LOUVERED SOLID CORE PAINTED WHITE WOOD INTERIOR CLOSET BI-FOLD DOOR BY KIMBERLY BAY (HD)

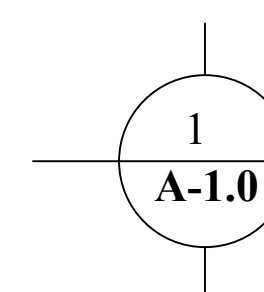


PROPOSED WINDOW SCHEDULE				
SYM	ROUGH OPENING		QUANTITY	REMARKS
	WIDTH	HEIGHT		
◊	30"	60"	13	
◊	30"	48"	11	
◊	34"	22"	06	
◊	24"	36"	03	
◊	24"	30"	01	
◊	30"	12"	06	



**NOTES:**

- GENERAL CONTRACTOR TO CONFIRM WINDOWS AND DOORS SIZES WITH OWNER PRIOR STARTING WORK.



**PROPOSED WINDOWS / DOOR SCHEDULE DETAILS**

SCALE: NTS

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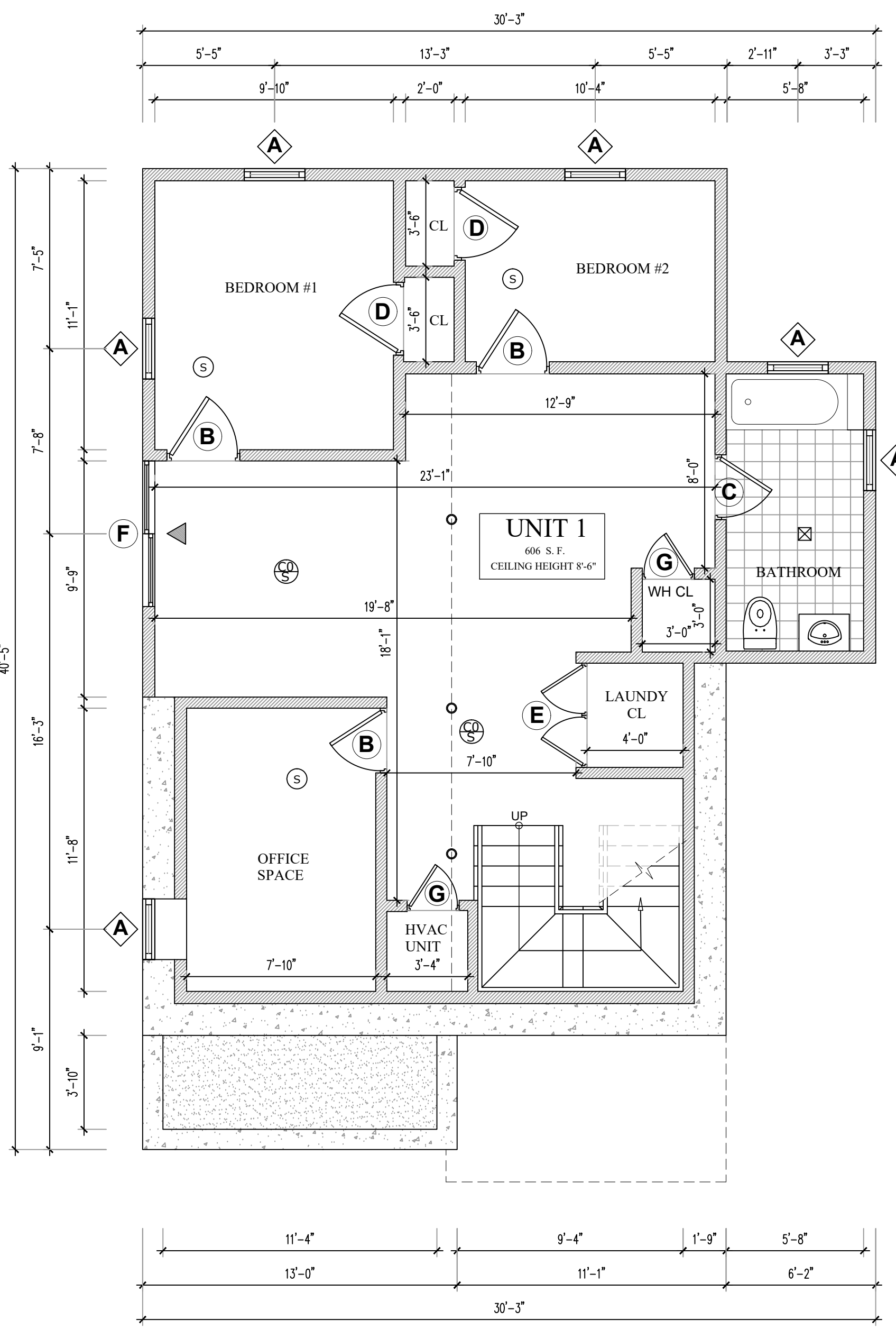
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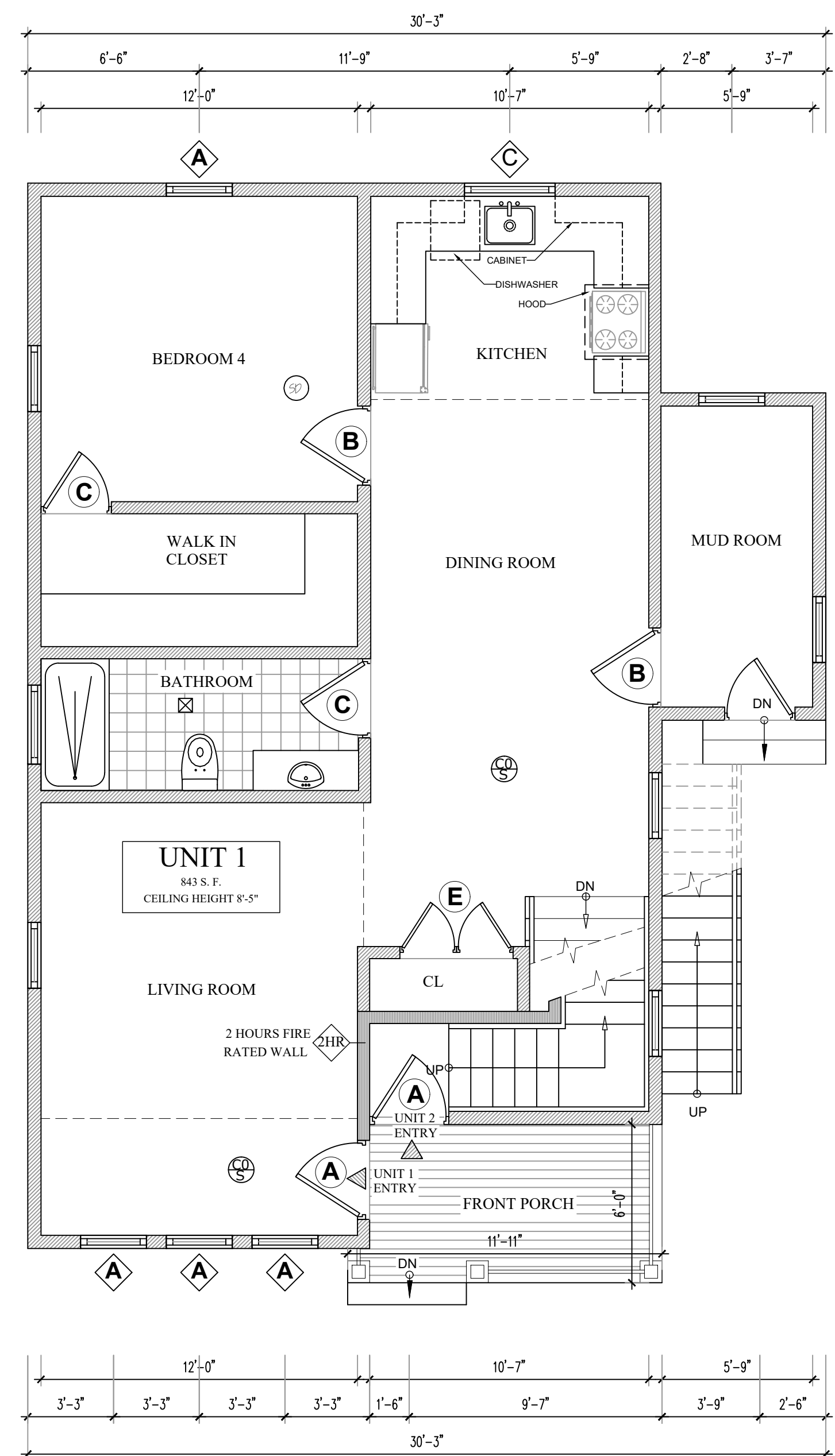
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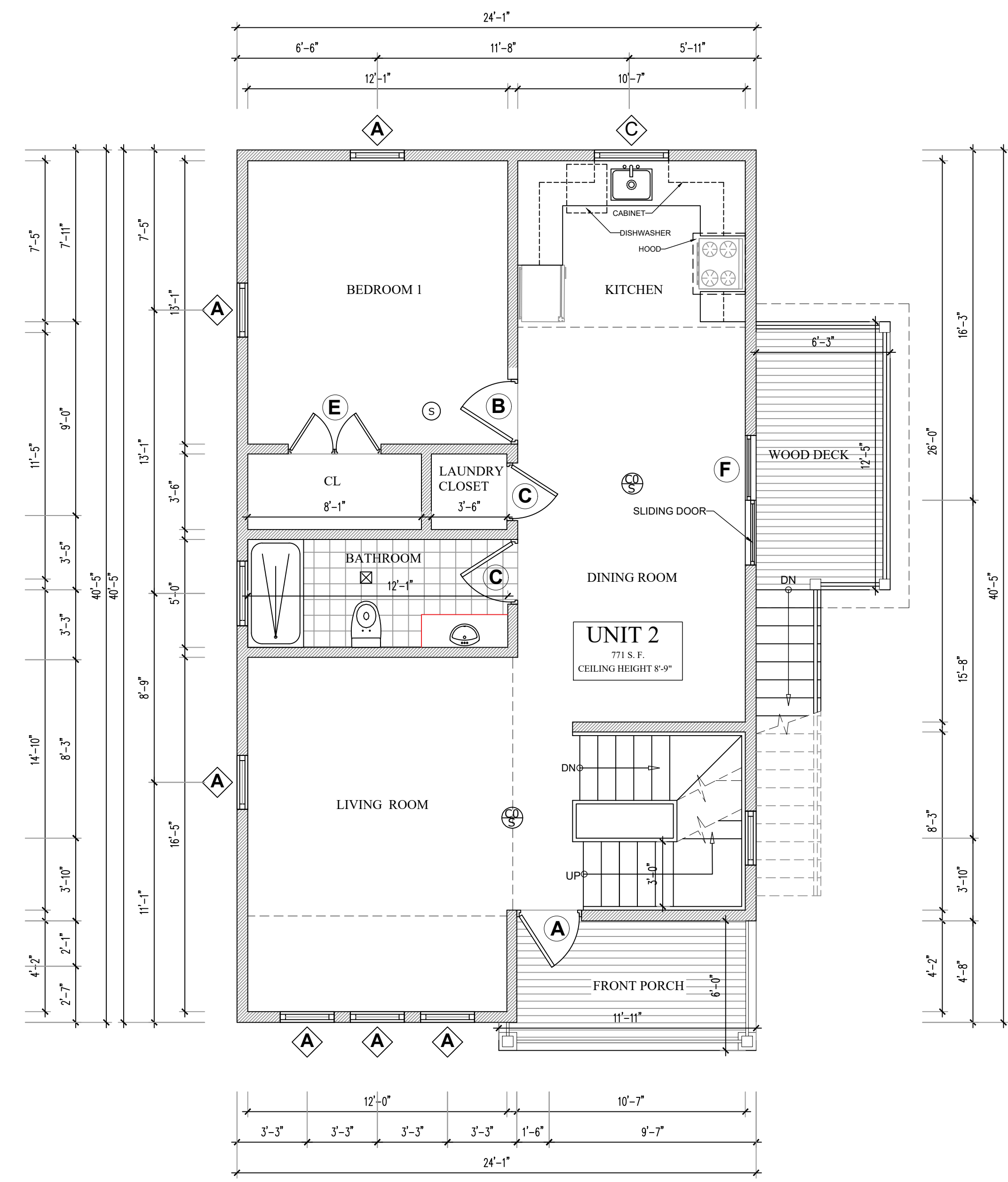
ZBA SET



**1** **PROPOSED BASEMENT FLOOR PLAN**  
**A-1.0** SCALE:NTS



**2** **PROPOSED FIRST FLOOR PLAN**  
**A-1.0** SCALE:NTS



**3** **PROPOSED SECOND FLOOR PLAN**  
**A-1.0** SCALE:NTS



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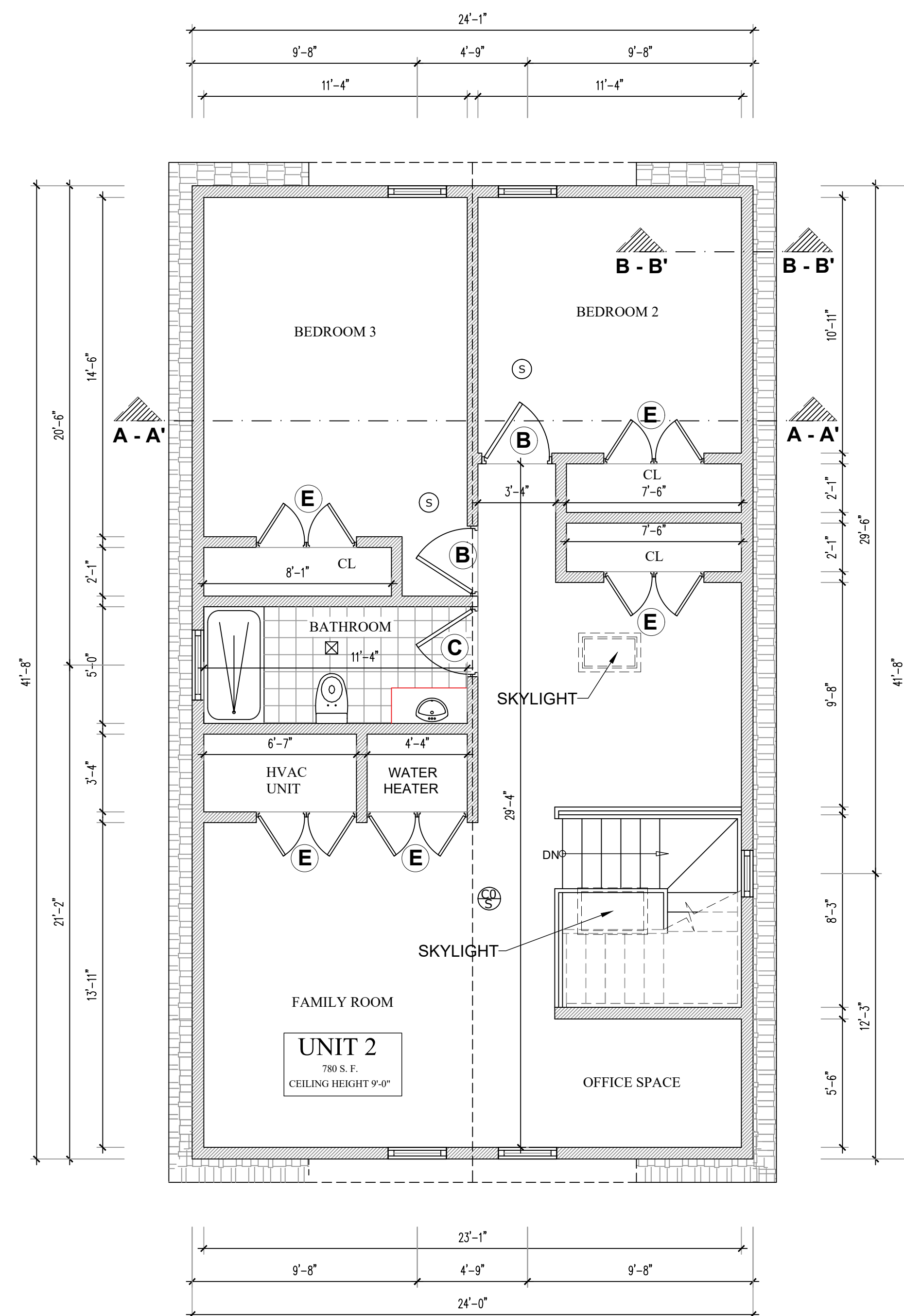
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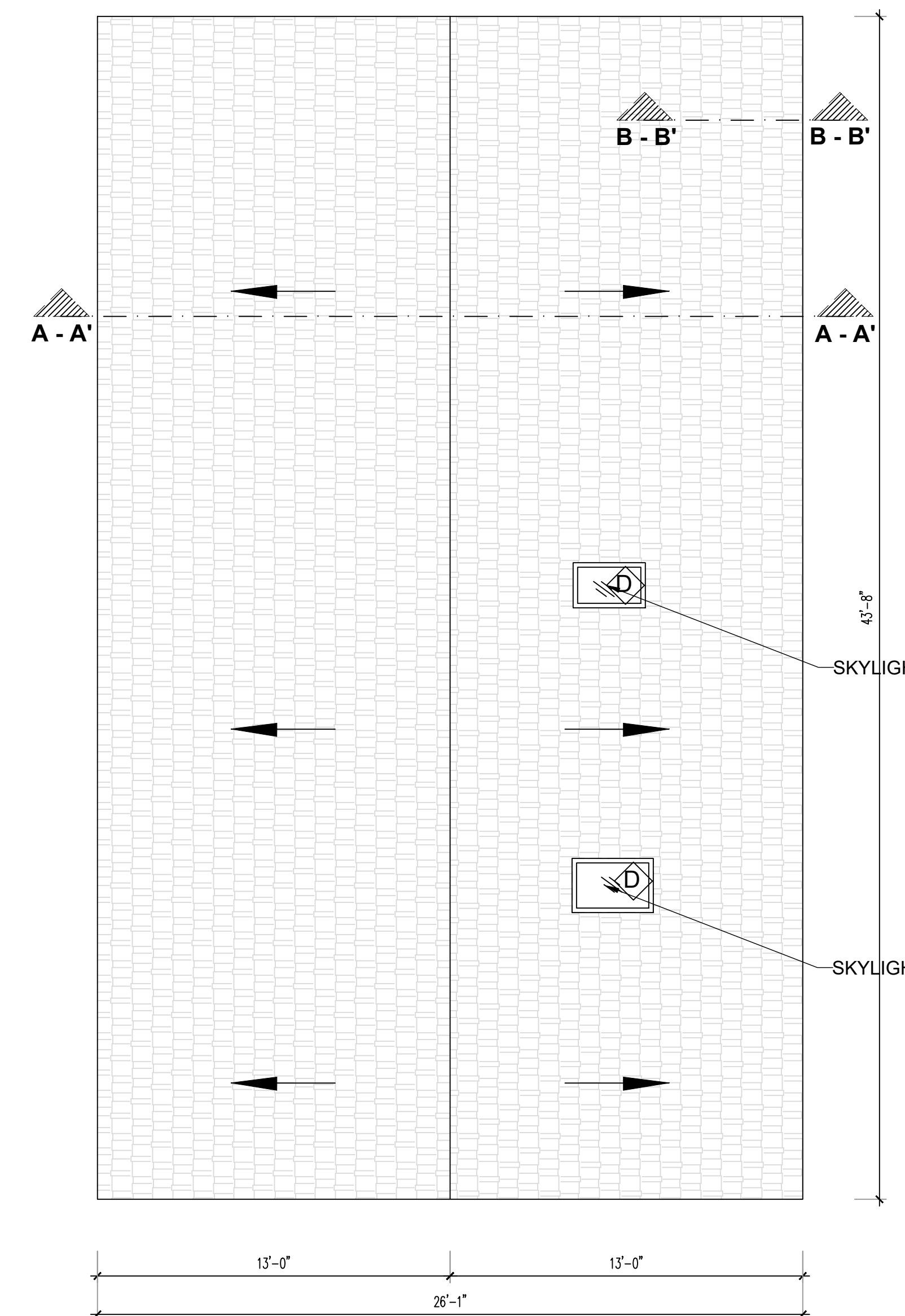
SHEET NUMBER:

**A-1.1**

ZBA SET



**1**  
**A-1.1** **PROPOSED ATTIC FLOOR PLAN**  
SCALE:NTS



**2**  
**A-1.1** **PROPOSED ROOF PLAN**  
SCALE:NTS

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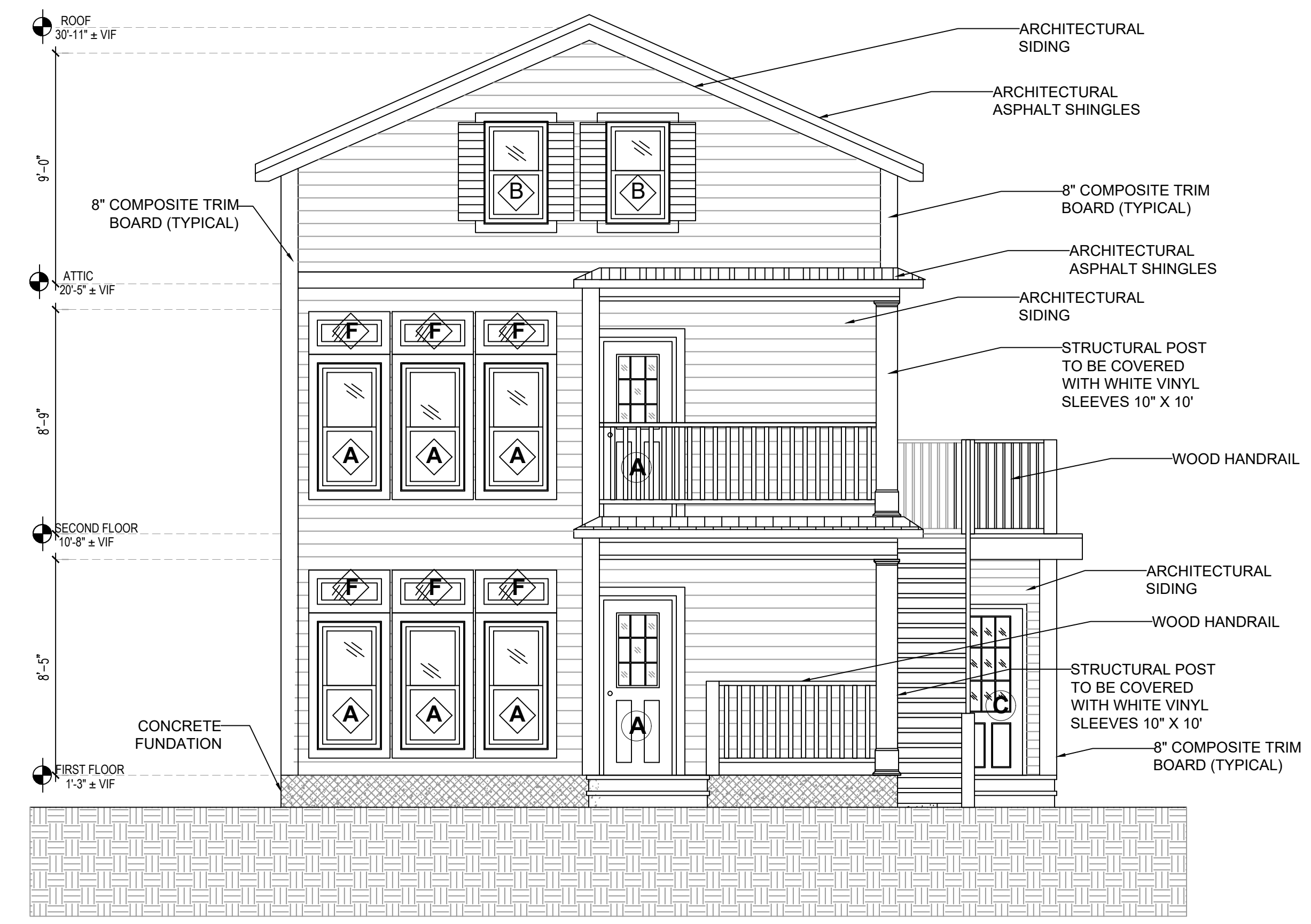
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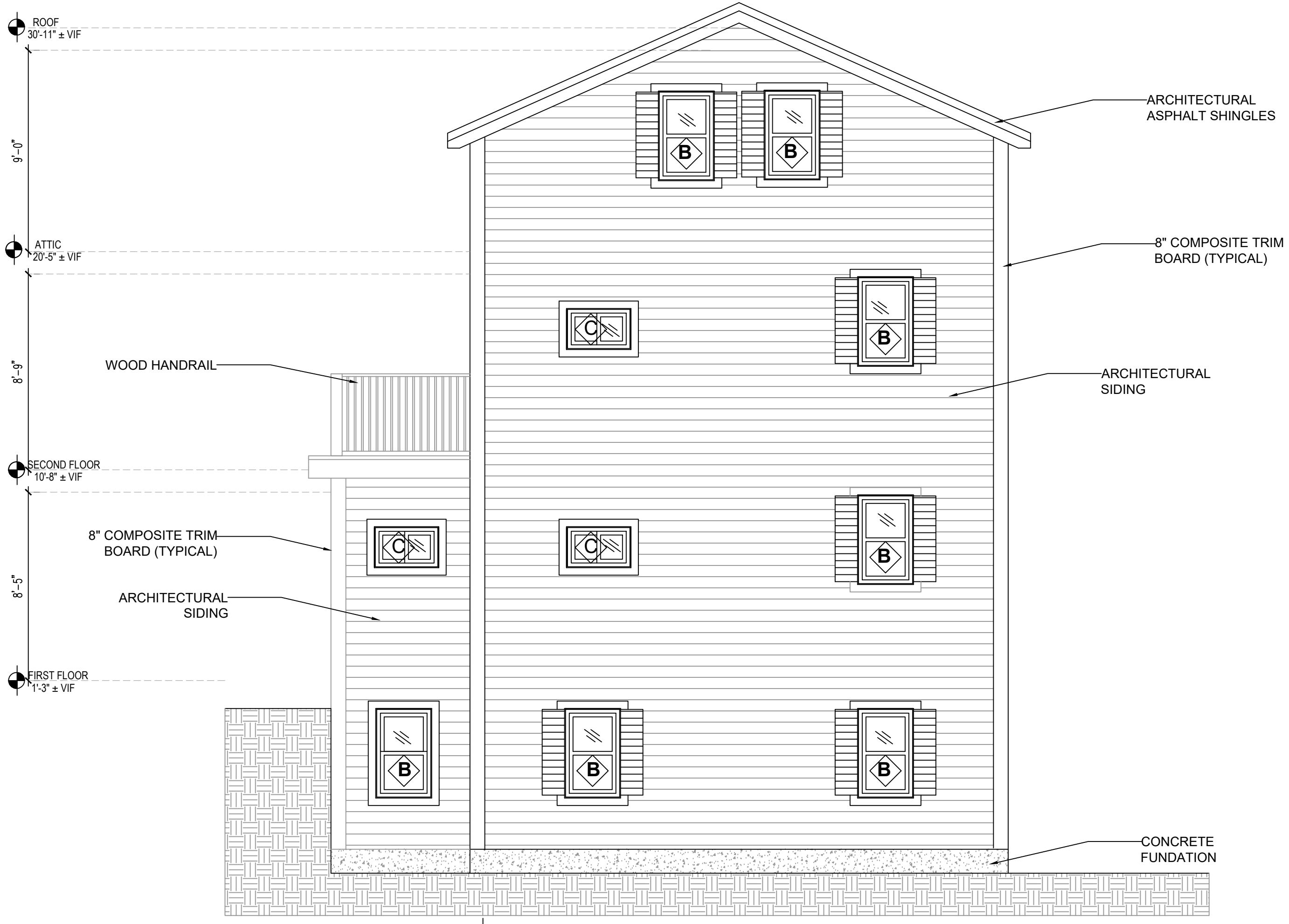
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**PROPOSED**

**SHEET NUMBER:**  
**A-2.0**

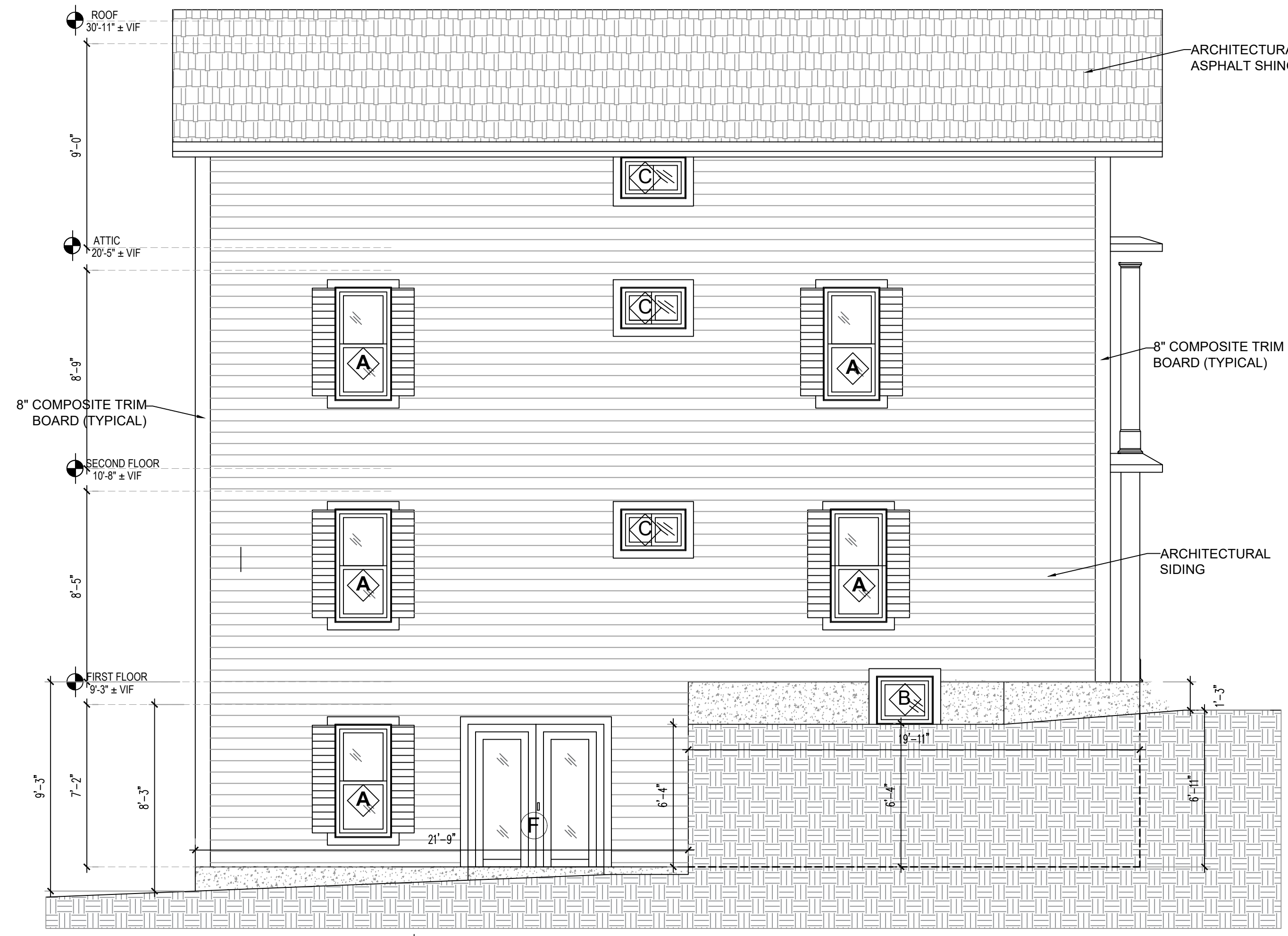
ZBA SET



**1 PROPOSED FRONT ELEVATION**  
**A-2.0** SCALE: 1/4"=1'-0"



**2 PROPOSED REAR ELEVATION**  
**A-2.0** SCALE: 1/4"=1'-0"



**3 PROPOSED RIGHT ELEVATION**  
**A-2.0** SCALE: 1/4"=1'-0"



**4 PROPOSED LEFT ELEVATION**  
**A-2.0** SCALE: 1/4"=1'-0"



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## WOOD NOTES:

- ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19.
- ALL FRAMING LUMBER SHALL BE 2 HEM-FIR, OR BETTER, HAVING A MINIMUM:  
FB=1,200 PSI, FV=70 PSI, E=1,300,000 PSI.
- ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM:  
- FB=2,650 PSI, FV=285 PSI, E=1,900,000 PSI - FOR STUDS COLUMNS  
- FB-3100 PSI, FV=285 PSI, E=2,000,000 PSI - FOR BEAMS
- ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
- ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 12 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
- PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
- PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
- PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
- ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 12" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

## WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

## REINFORCING NOTES:

- ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
- ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
- ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
- CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
  - FOOTINGS 3 INCHES
  - SIDES OF FOUNDATIONS WALLS, EXPOSED FACES OF FOUNDATIONS, SIDES OF COLUMNSPIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES
  - INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-12 INCHES
  - TOP STEEL OF INTERIOR SLABS 1 INCHES
- MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 14" OF SECTIONS 10" OR LESS, 12" FOR SECTIONS GREATER THAN 10".

## EPOXY ANCHORS:

- EXPANSION BOLTS USED IN CONCRETE SHALL BE SIMPSON STRONG BOLT 2 OR EQUAL. BOLTS NEED TO BE INSTALLED IN ACCORDANCE WITH ICC-REPORT ESR-3037.
- EPOXY ANCHORS AND DOWELS INSTALLED INTO CONCRETE SHALL BE A THREADED ROD OR REINFORCING BAR DOWEL WITH THE HILTI "RE-500SD" ADHESIVE SYSTEM AND BE INSTALLED ACCORDING TO ICC-REPORT ESR-2322.
- CONTRACTOR MAY SUBSTITUTE EXPANSION BOLTS OR EPOXY ADHESIVES OF EQUAL VALUE IN THE SPECIFIED MATERIAL WITH A CURRENT ICC-REPORT FOR REVIEW

## FOUNDATION NOTES:

- ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT. FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
- ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95.
- ALL FOOTING SHALL BE POURED IN THE DRY ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.
- NO FOOTING SHALL BE POURED ON FROZEN GROUND. FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN OF 5 DAYS AFTER THEY WERE POURED.
- THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
- LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
- ALL REINFORCEMENT: ASTM A615-60, WWF A185.

## CONCRETE NOTES:

- ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
  - 3000 PSI
  - 3500 PSI
- MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.
- ALL CONCRETE SLABS ON GRADE SHALL BE POURED IN 900 SQUARE FOOT PANELS, MAXIMUM; OR, PROVIDE CONTROL JOINTS BY SAW CUTTING THE SLAB WHILE THE CONCRETE IS STILL GREEN.

## RECOMENDED FASTENING SCHEDULE

BUILDING ELEMENT	NAIL SIZE AND TYPE	NUMBER AND LOCATION
STEP TO SOLE PLATE	6D COMMON 16D COMMON	4 TOE-NAIL OR 2 DIRECT-NAIL
STEP TO CAP PLATE	16D COMMON	2 TOE-NAIL OR 2 DIRECT-NAIL
DOUBLE STEPS	10D COMMON	12" O.C. DIRECT
CORNER STEPS	16D COMMON	24" O.C. DIRECT
SOLE PLATE TO JOIST OR BLOCKING	16D COMMON	4" O.C.
DOUBLE CAP PLATE	10D COMMON	4" O.C. DIRECT
CAP PLATE LAPS	10D COMMON	2 DIRECT-NAIL
FIBERON STRIP, 6" OR LESS	10D COMMON	2 EACH DIRECT BEARING
FIBERON STRIP, 6" OR MORE	10D COMMON	2 EACH DIRECT BEARING
ROOF RAFTER TO PLATE	8D COMMON	3 TOE-NAIL
JACK RAFTER TO RIDGE	16D COMMON	2 TOE-NAIL OR DIRECT-NAIL
JACK RAFTER TO HIP	10D COMMON 16D COMMON	3 TOE-NAIL OR 2 DIRECT-NAIL
FLOOR JOISTS TO STEPS (NO CEILING JOISTS)	10D COMMON 10D COMMON	3 DIRECT OR 5 DIRECT
FLOOR JOISTS TO STEPS (WITH CEILING JOISTS)	10D COMMON	2 DIRECT
FLOOR JOISTS TO WALL OR GABLE	9D COMMON	3 TOE-NAIL
LEDGER STRIP	16D COMMON	3 EACH DIRECT
CEILING JOISTS TO PLATE	16D COMMON	3 TOE-NAIL
CEILING JOISTS CLIPS OVER PARTITION	10D COMMON	3 DIRECT-NAIL
CEILING JOISTS (PARALLEL TO RAFTER)	10D COMMON	3 DIRECT
COLLAR BEAM	10D COMMON	3 DIRECT
BRIDGING TO JOISTS	8D COMMON	2 EACH DIRECT END
DIAGONAL BRACE (TO SOLE AND PLATE)	8D COMMON	2 EACH DIRECT BEARING
RAIL BEAMS TO HEADERS (WHEN NAILING PERMITTED)	20D COMMON	1 EACH END 4 SQ. FT. FLOOR AREA
HEADER BEAMS TO DIMBERS	20D COMMON	1 EACH END 8 SQ. FT. FLOOR AREA
1" ROOF BRACING (COVER 6" IN WIDTH)	8D COMMON 8D COMMON	2 EACH DIRECT RAFTER 3 EACH DIRECT RAFTER
1" SUBFLOORING (6" OR LESS)	8D COMMON	2 EACH DIRECT JOIST
1" SUBFLOORING (6" OR MORE)	8D COMMON	3 EACH DIRECT JOIST
1" WALL SHEATHING (8" OR LESS IN WIDTH)	16D COMMON	2 EACH DIRECT JOIST
1" WALL SHEATHING (COVER 8" IN WIDTH)	8D COMMON	2 EACH DIRECT JOIST
PLANKWOOD ROOF & WALL SHEATHING (1/2" OR LESS) (5/8" OR GREATER) (5/8" OR GREATER, OR 1/2" O.C.)	6D COMMON 8D COMMON 8D COMMON	4" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 4" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 4" O.C. EDGES & 8" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 4" O.C. INTERMEDIATE
PLANKWOOD SHEATHING (12") (38")	8D COMMON OR 6D ANCHOR OR SPIRAL THREAD 8D COMMON OR 8D ANCHOR OR SPIRAL THREAD 10D COMMON OR 8D BENT ANCHOR OR 8D ANCHOR OR SPIRAL HEAD 16D GALVANIZED WIRE STRIPS 5/8" MINIMUM CROWN LENGTH	4" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 4" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 4" O.C. DIRECT EDGES & 6" O.C. INTERMEDIATE 4" O.C. EDGES & 1" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 4" O.C. INTERMEDIATE
MULTI-PURPOSE AND BEAMS	20D COMMON	52" O.C. DIRECT
CONTINUOUS HEADER TO STEP	8D COMMON	4 TOE-NAIL
CONTINUOUS HEADER, TWO PIECES	16D COMMON	6" O.C. DIRECT
1/2" FIBER BOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL OR 16 GAUGE STRIPLE, 1 1/2" LONG WITH MIN. CROWN OF 1/16"	3" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
25/32" FIBER BOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL OR 8D COMMON NAIL OR 16 GAUGE STRIPLE, 1 1/2" LONG WITH MIN. CROWN OF 1/16"	3" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
GYP-SUM SHEATHING	12 GAUGE 1 1/4" LARGE HEAD CORROSION-RESISTANT	4" O.C. EDGE 8" O.C. INTERMEDIATE
PARTICLE BOARD UNDERLAYMENT (1/4" - 5/8")	8D ANCHOR SHEATHING	4" O.C. DIRECT EDGES 10" O.C. INTERMEDIATE
PARTICLE BOARD ROOF AND WALL SHEATHING (1/2" OR LESS)	8D COMMON	4" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
5/8" OR GREATER	8D COMMON	4" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
PARTICLE BOARD SUBFLOORING (5/8" OR GREATER)	8D COMMON	4" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
SHAKES: WOOD**	NO 14 18x5 GAUGE CORROSION-RESISTANT	2 EACH BEARING
WEATHER BANDING	8D CORROSION	2 EACH BEARING

NOTE: \* - SHINGLE NAILS SHALL PENETRATE NOT LESS THAN 5/4" INTO NAILING STRIPS, SHEATHING OR SUPPORTING CONSTRUCTION EXCEPT AS OTHERWISE PROVIDED IN 780 CMR 1229.4.4.

## ENERGY AUDIT

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IRC 2015 WITH MASSACHUSETTS AMENDMENTS SECTION N1 101)

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3)

- RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS:
  - ROOF R-VALUE: R49
  - WALL R-VALUE: R20
  - FLOOR R-VALUE: R30
  - CRAWL SPACE R-VALUE: R10
- RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS: DOORS; AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING WITH .30 U-FACTOR.
- HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3



70 WARREN STREET, SUITE 7  
BOSTON, MA 02119  
617.953.4356 - INFO@ROSADC.COM

PROPOSED RENOVATION / CHANGE OF OCCUPANCY FROM SINGLE FAMILY TO TWO FAMILY DWELLING

42 DEVENS STREET  
MARLBOROUGH, MA 01752

APPLICANT:  
JUAN SOSA

LAYOUT BY: EBR  
DRAWN: RH  
CHECKED:  
SCALE: AS INDICATED  
DATE: 07/22/2021  
PROJECT NO.: RDC/00211  
REVISIONS:      NOTES:      DATE:



8/16/21

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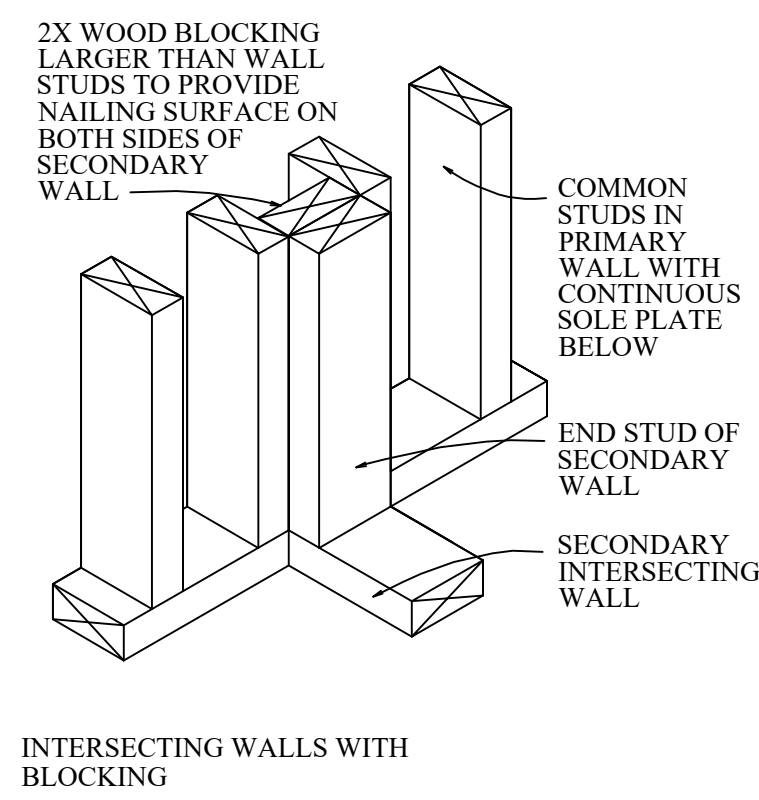
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DETAILS**

SHEET NUMBER:

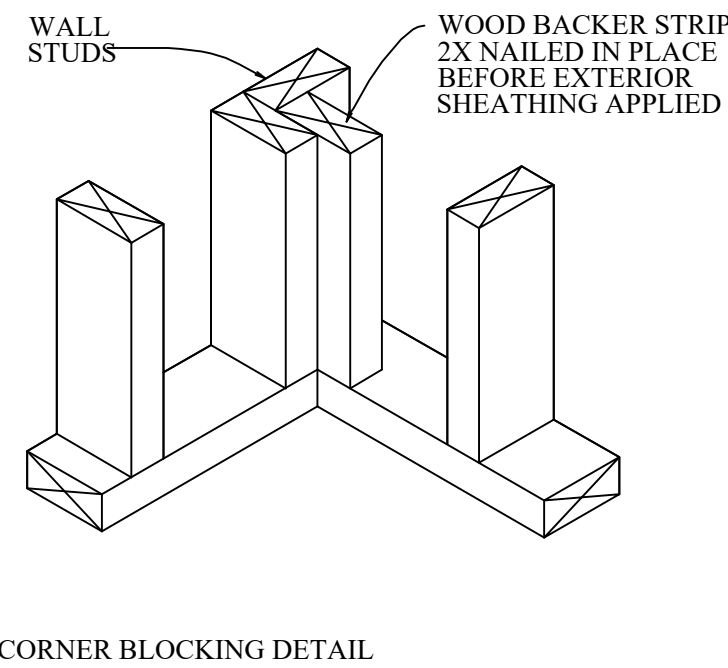
**S-0.0**

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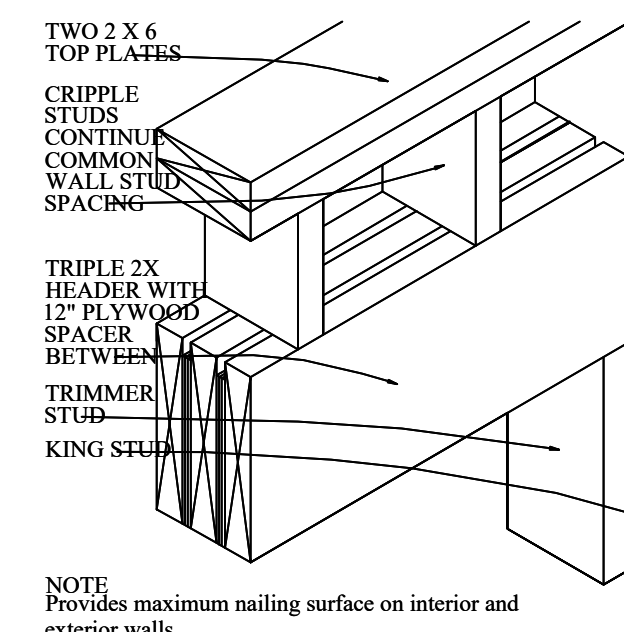
INTERSECTING WALLS WITH BLOCKING

**1 INSULATED WALL DETAILS**  
S-1.0 SCALE:NTS



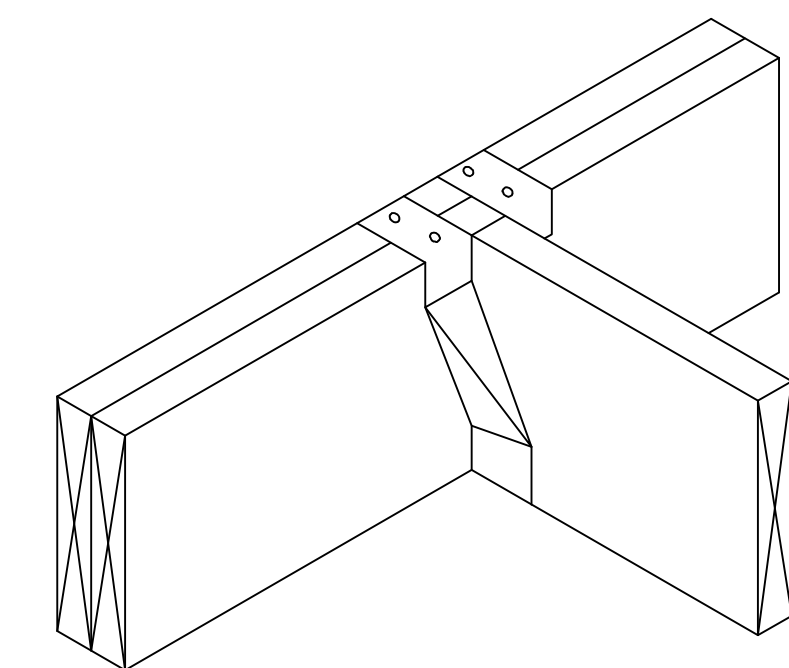
CORNER BLOCKING DETAIL

**2 INSULATED WALL DETAILS**  
S-1.0 SCALE:NTS

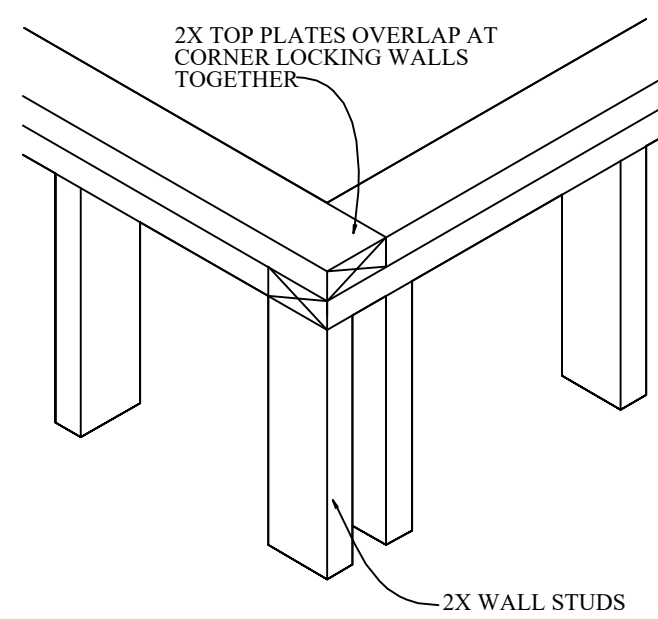


NOTE: Provides maximum nailing surface on interior and exterior walls.

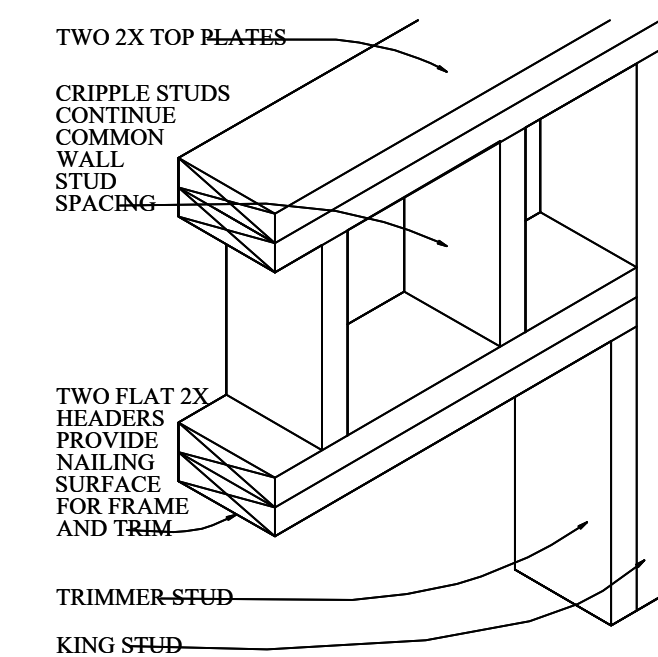
**3 2"x6" BEARING WALL HEADER DETAIL**  
S-1.0 SCALE:NTS



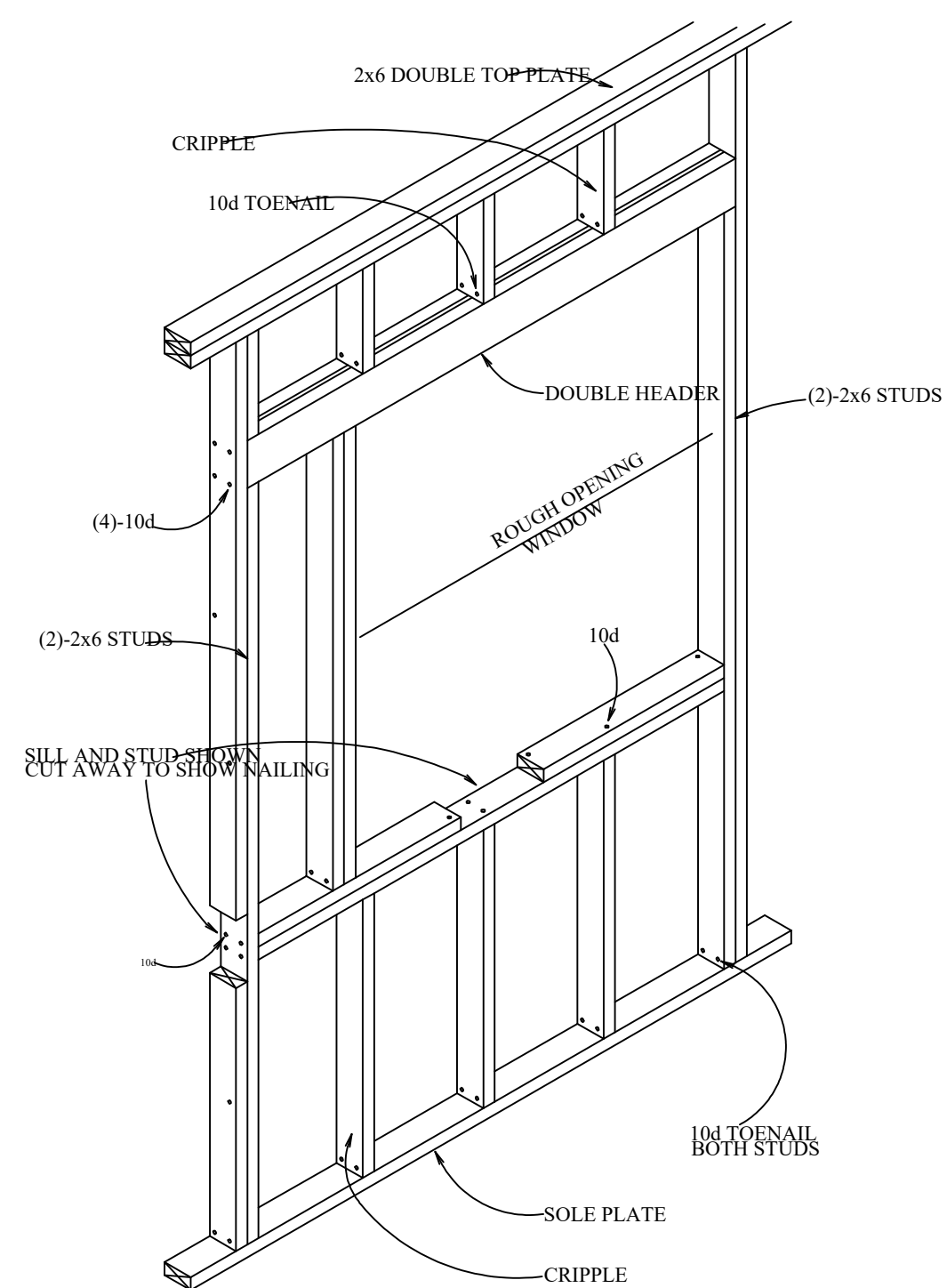
**4 JOIST SUPPORTED ON WOOD GIRDERS**  
S-1.0 SCALE:NTS



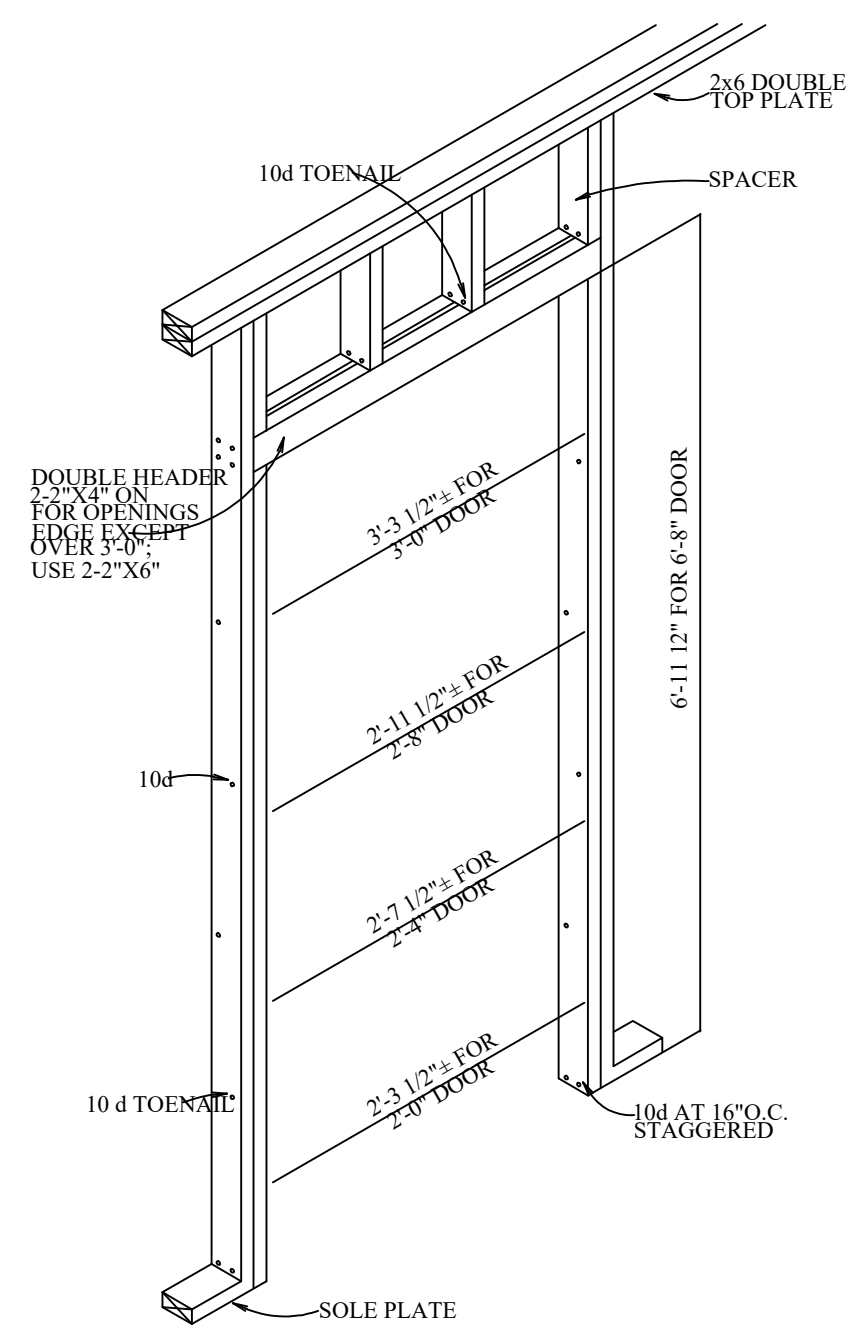
**5 TOP PLATE FRAMING DETAIL**  
S-1.0 SCALE:NTS



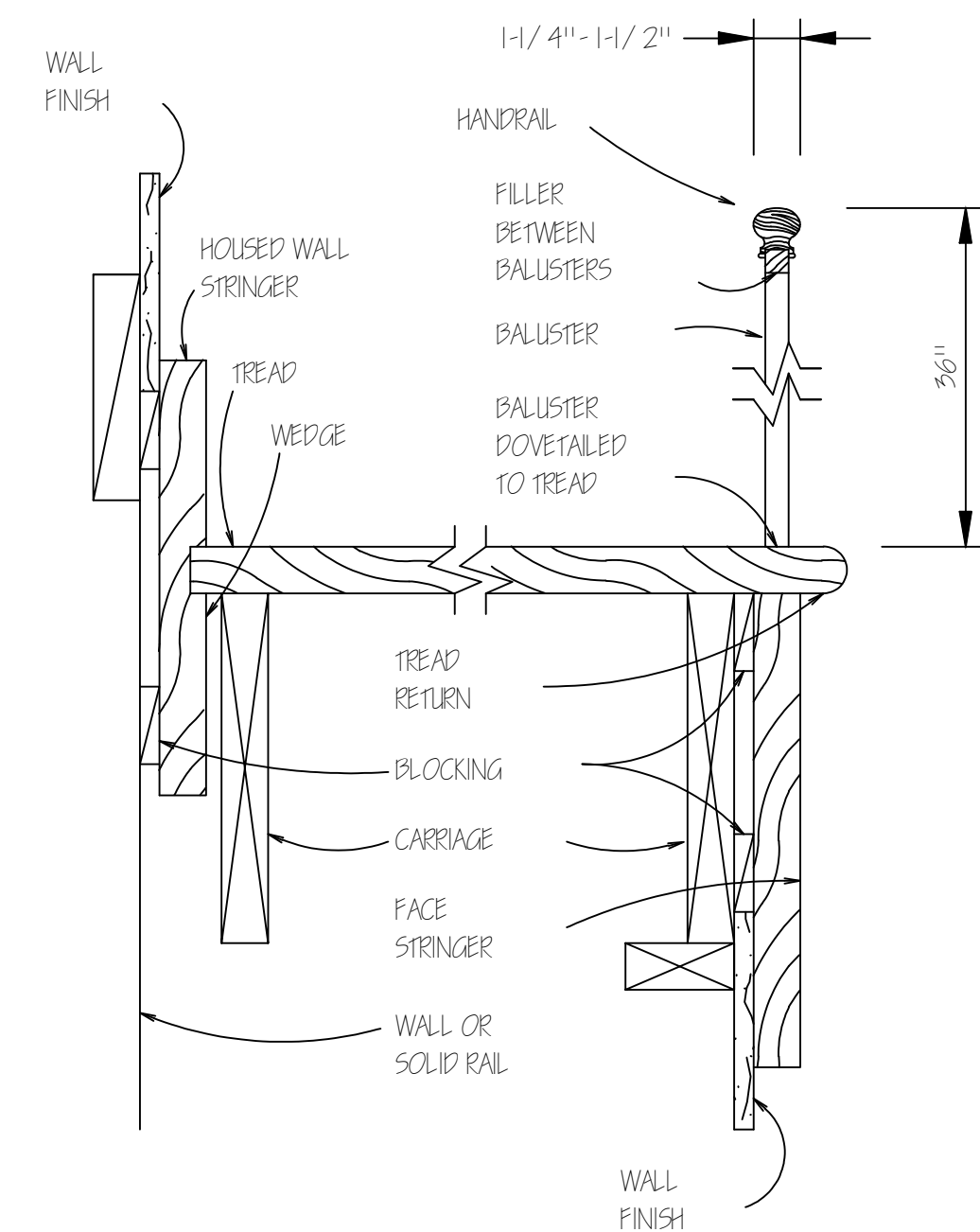
**6 2x PARTITION WALL HEADER DETAIL**  
S-1.0 SCALE:NTS



**7 WINDOW OPENING DETAIL**  
S-1.0 SCALE:NTS



**8 DOOR OPENING DETAIL**  
S-1.0 SCALE:NTS



**9 STAIRS DETAIL**  
S-1.0 SCALE:NTS

**PROPOSED RENOVATION / CHANGE OF OCCUPANCY FROM SINGLE FAMILY TO TWO FAMILY DWELLING**  
42 DEVENS STREET  
MARLBOROUGH, MA 01752

APPLICANT:  
JUAN SOSA

LAYOUT BY: EBR  
DRAWN: RH  
CHECKED:  
SCALE: AS INDICATED  
DATE: 07/22/2021  
PROJECT NO.: RDC/00211  
REVISIONS: NOTES: DATE:



8/16/21

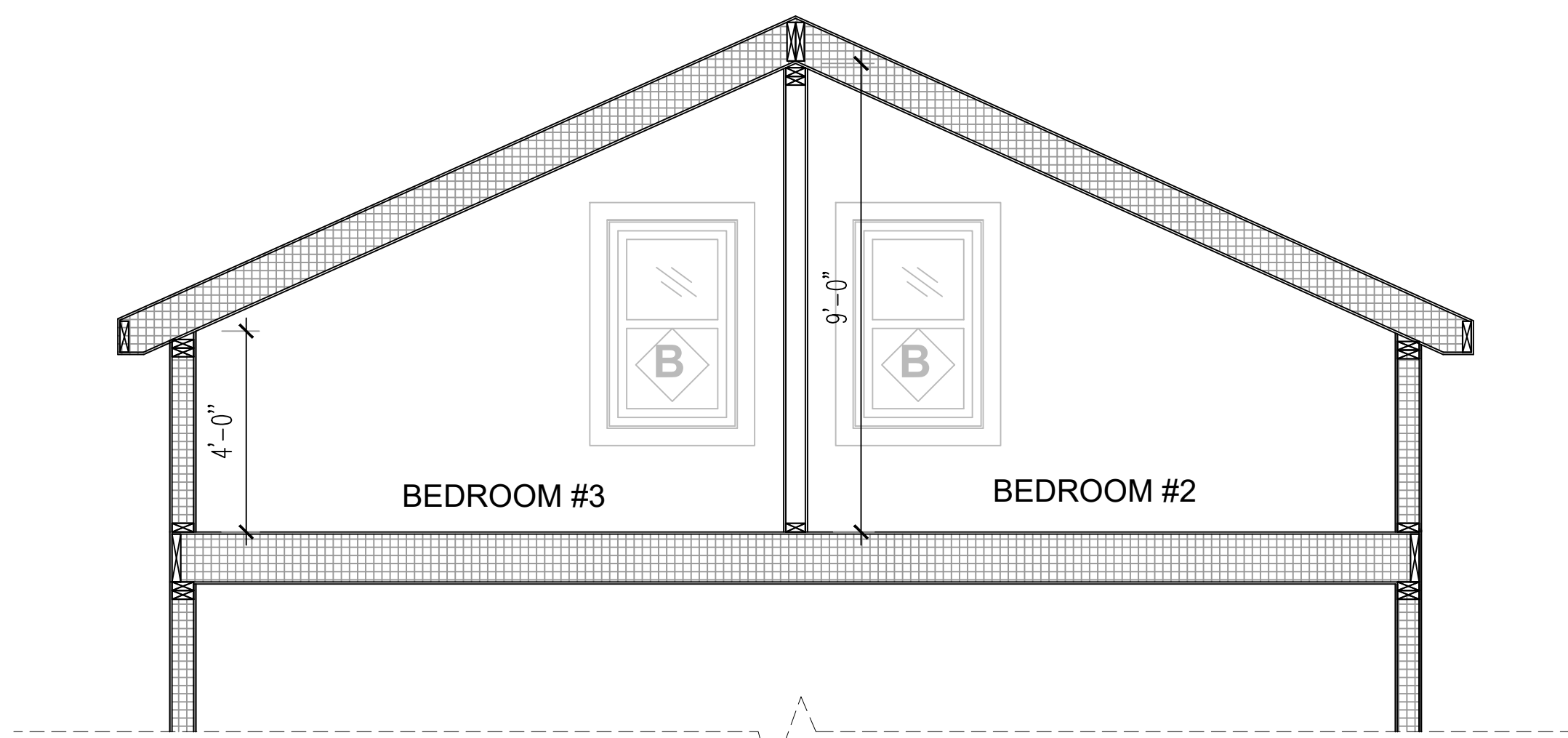
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ZBA SET



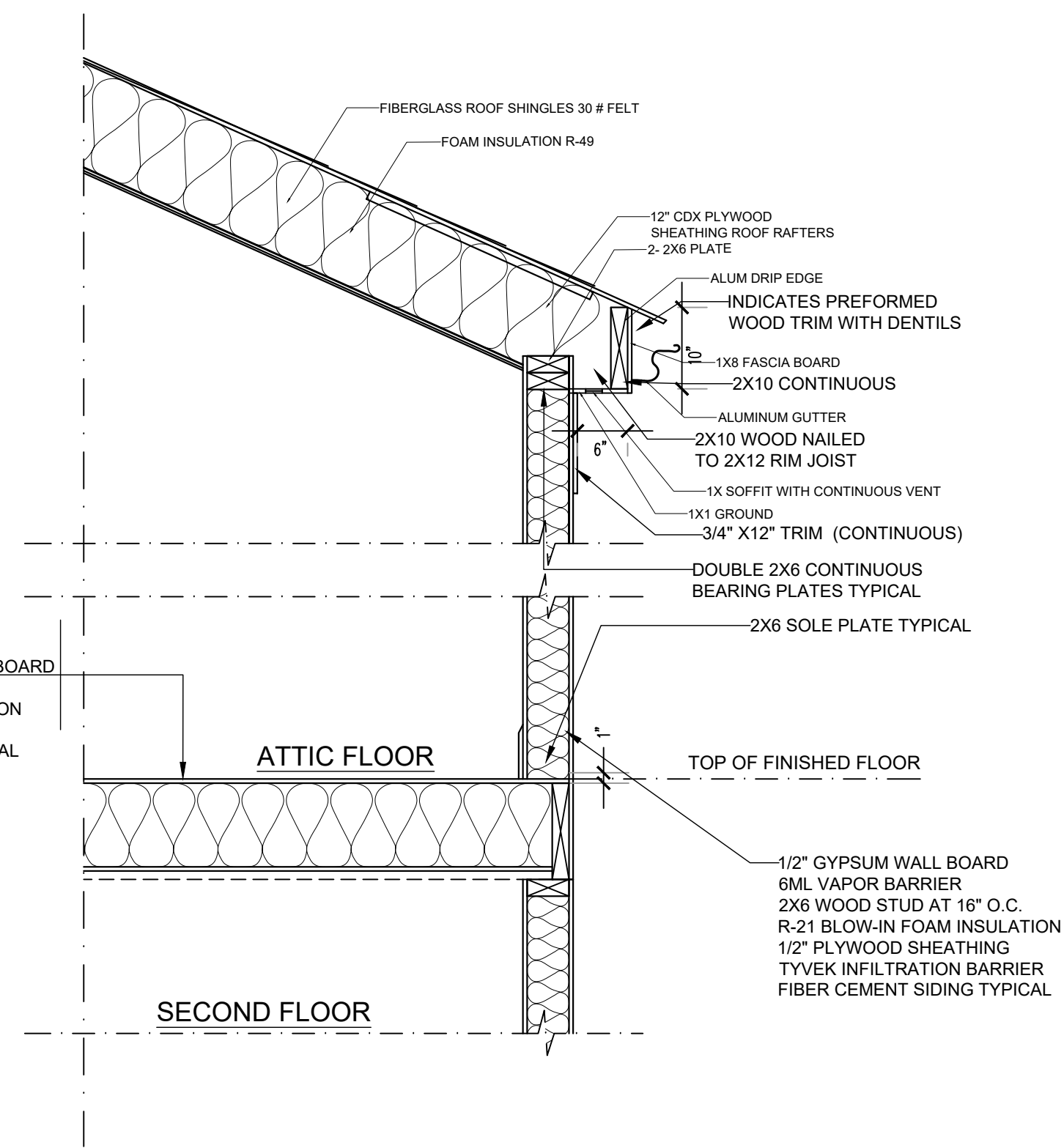
**1 SECTION DETAIL (PARTIAL)**  
**S-1.1** SCALE: 1/4"=1'-0"

**NOTES:**

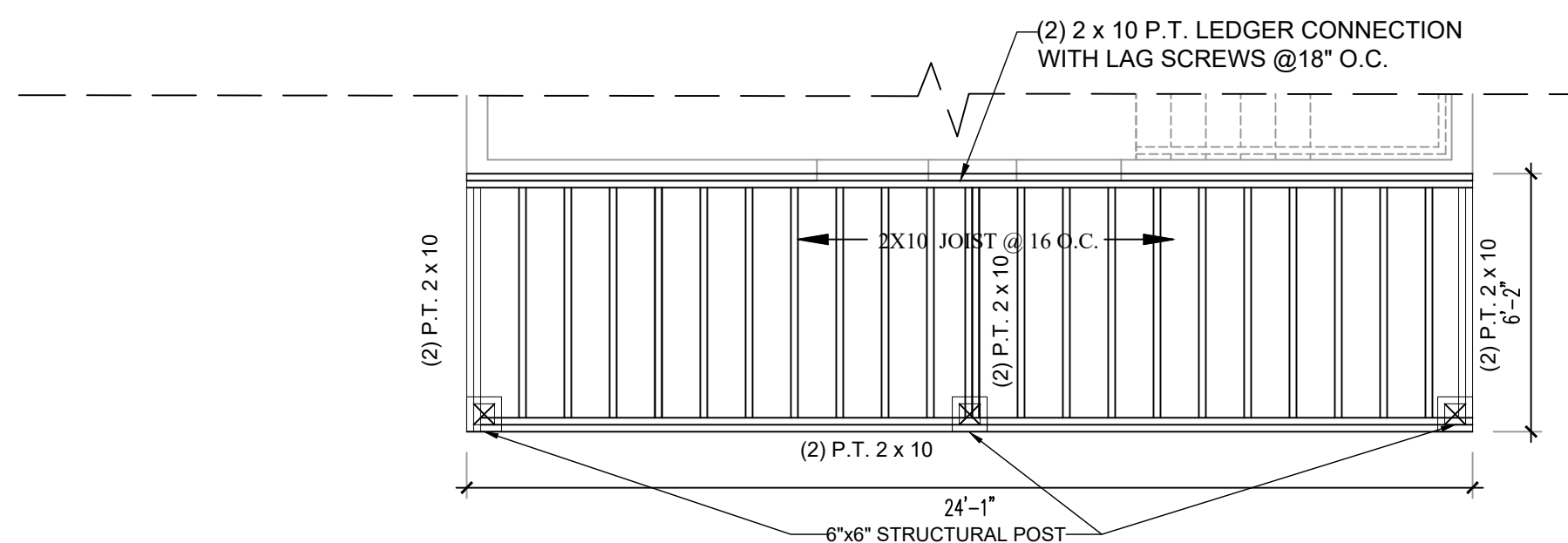
- CONTRACTOR RESPONSIBLE TO GET LVL SPECS. SHEETS FROM CERTIFIED MANUFACTURING SUPPLIER.
- CONTRACTOR RESPONSIBLE TO TRANSFER VERTICAL LOADS STRAIGHT DOWN TO BASEMENT COLUMNS AND FOOTINGS/FOUNDATION.

THE BUILDER SHALL INSTALL 2X8 CONCEAL MOUNTED NON-CORROSIVE METAL JOIST HANGERS AT ALL DECK CORNERS AS REQUIRED

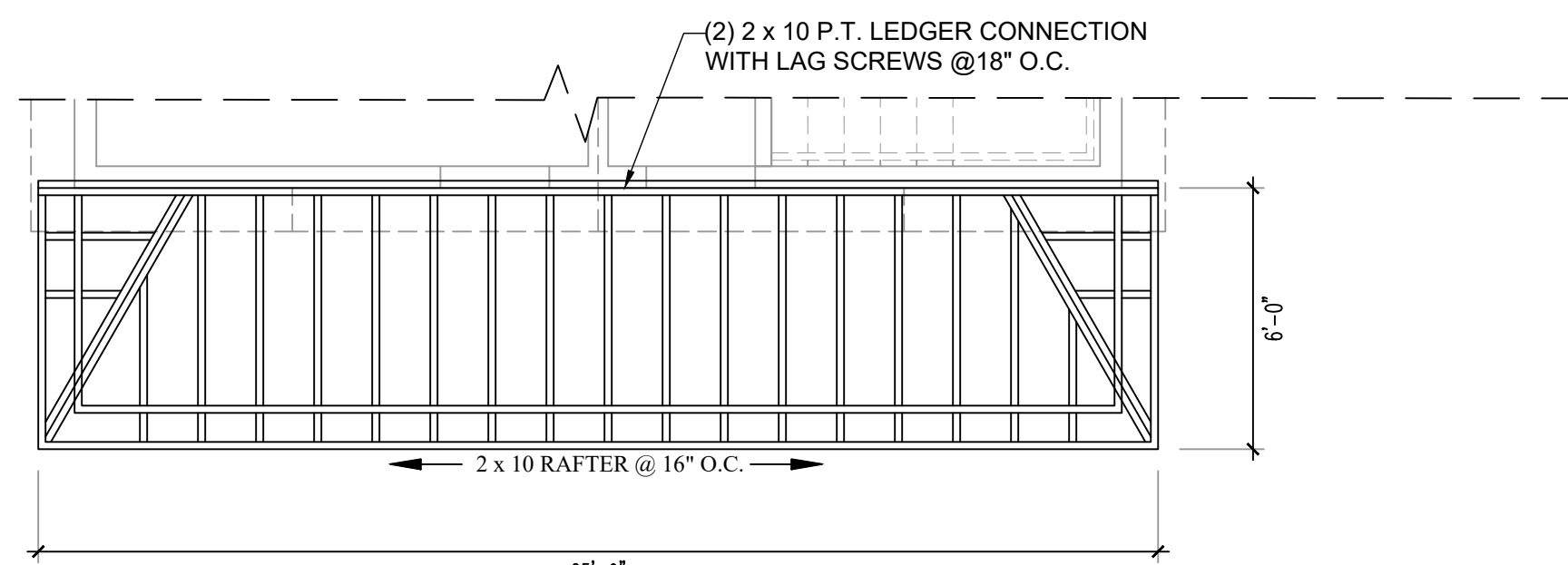
ALL CONNECTORS IN PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL, TYPICAL



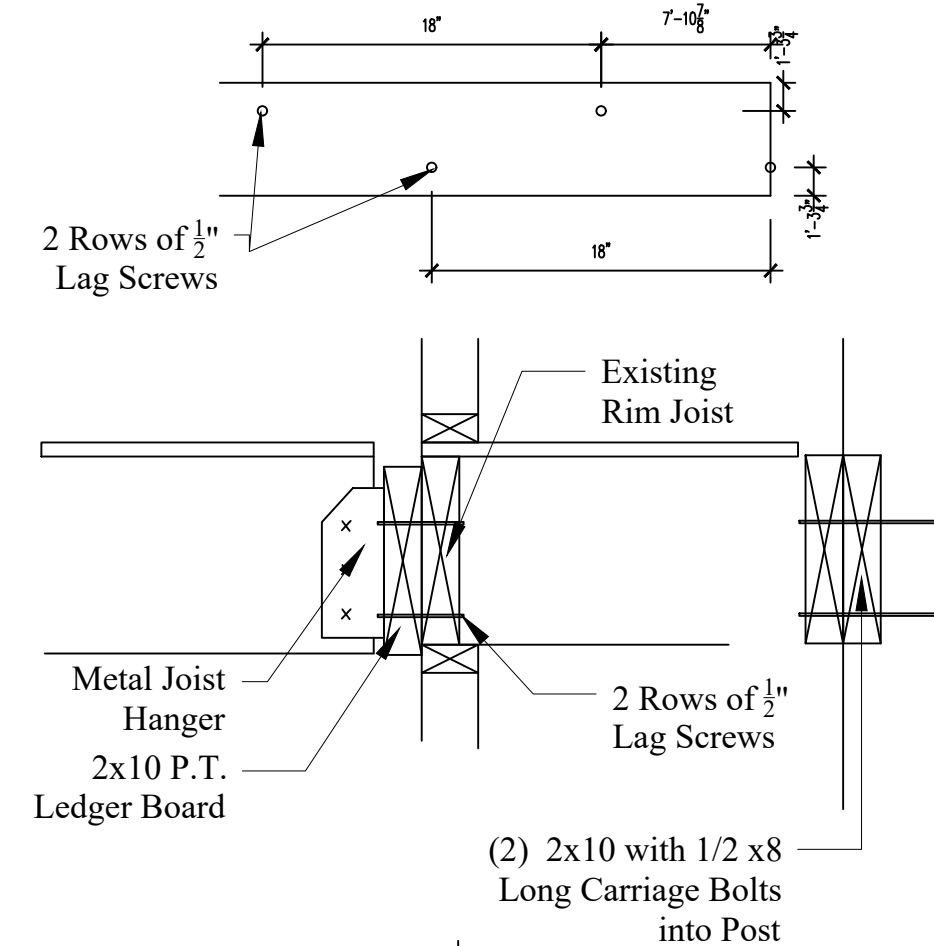
**2 SECTION DETAIL / CEILING AND ROOF ASSEMBLY (PARTIAL)**  
**S-1.1** SCALE: 1/4"=1'-0"



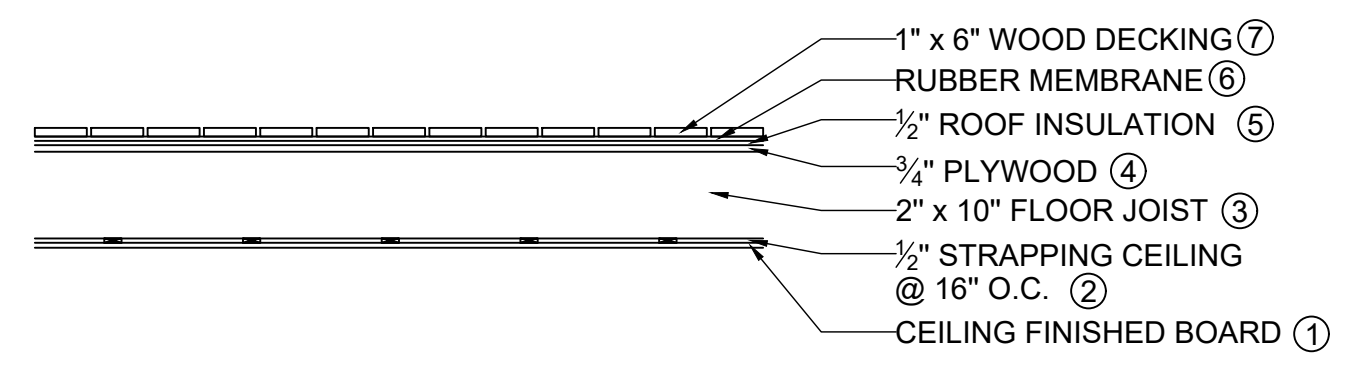
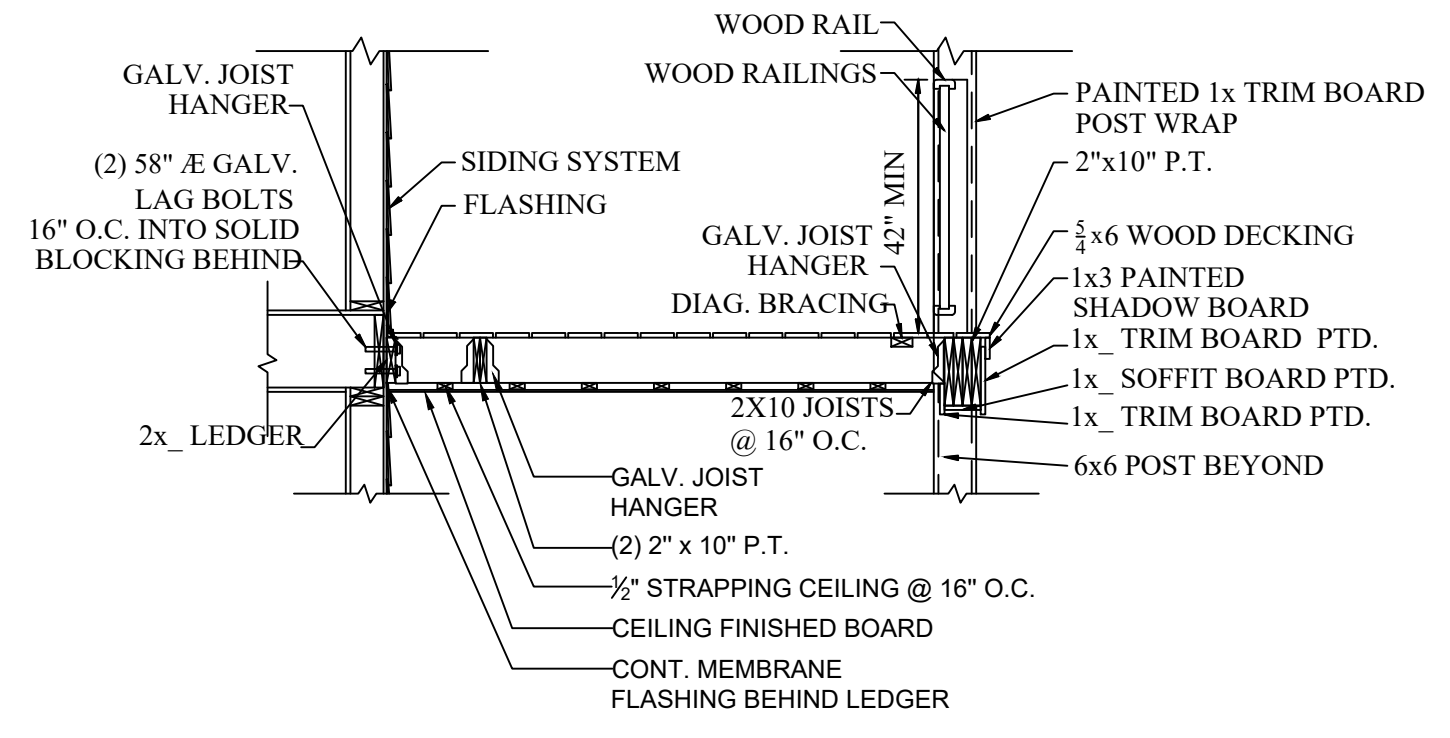
**3 PROPOSED FRONT PORCH FRAMING PLAN**  
**S-1.1** SCALE: 1/4"=1'-0"



**4 PROPOSED ROOF FRAMING PLAN**  
**S-1.1** SCALE: 1/4"=1'-0"



**5 FRONT PORCH LEDGER CONNECTION**  
**S-1.1** SCALE: 1/4"=1'-0"



NOTE:  
 (7) UBICATION ORDER

**6 FRONT PORCH SECTION DETAIL**  
**S-1.1** SCALE: 1/4"=1'-0"

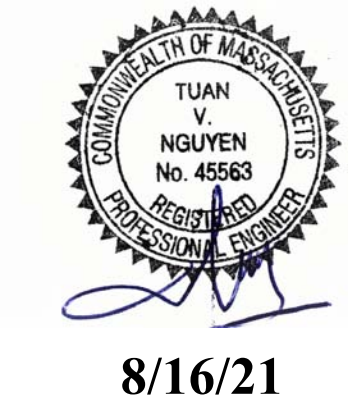


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