

CITY OF MARLBOROUGH MEETING POSTING

AS AMENDED 8/18/22

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CITY OF MARLBOROUGH

2022 AUG 18 PM 3:09

Meeting: Planning Board

Date: August 22, 2022

Time: 7:00 PM

Location: Memorial Hall, 3rd Floor, City Hall, 140 Main Street, Marlborough, MA 01752

This meeting of the Planning Board will be held in Memorial Hall on Monday, August 22, 2022, at 7:00 PM.

PUBLIC ATTENDANCE IS PERMITTED

Agenda Items to be Addressed:

1. Draft Meeting Minutes

- A. July 25, 2022

2. Chair's Business

- A. September 26, 2022, meeting update

3. Approval Not Required

- A. 34 Stevens Street, Map 57, Parcel 235, 236 and 237, Marlborough MA 01752

Owner of Land: Thirty Four Stevens Street Realty Trust

Name of Surveyor: Robert Parente (328 Desimone Drive, Marlborough, MA 01752)

Deed Reference: Book: 25304 Page: 455

Book: 25304 Page: 456

Book: 25304 Page: 457

- i. Form A

- ii. ANR, Plan of Land Dated: 8/15/22

4. Public Hearings (None)

5. Subdivision Progress Reports

- A. 342 Sudbury Street Update

6. Preliminary/Open Space/Limited Development Subdivision

- A. *Informal Discussion*

547 Stow Road Sketch Plan of Land Open Space Development

Name of Engineer: Vito Colonna, Connorstone Engineering (59 Granite Lane, Chester, NH 03036)

- i. Correspondence from Thomas DiPersio, City Engineer

- ii. Concept Plans

7. Definitive Subdivision

- A. Commonwealth Heights Subdivision Expiration

- i. 7/20/20 Vote correspondence

- B. Pettes Drive, Definitive Subdivision Plan

Map 44, Parcel 148 (0 Stevens Street), Marlborough, MA 01752

Owner of Land: James & Rebecca Chaousis (283 Bolton Street, Marlborough, MA 01752)

Name of Applicant: Charles Bourque (P.O. Box 642, Weston, MA 02493)

Name of Engineer: Jason Lavoie, WSP, (100 Summer Street, 13th Floor, Boston, MA 02110)

Deed Reference: Book: 9742 Page: 148

- i. Correspondence from Jason Grossfield, City Solicitor

- ii. Correspondence from Thomas DiPersio, City Engineer

- iii. Revised plans Dated: July 21, 2022

THE LISTING OF TOPICS THAT THE CHAIR REASONABLY ANTICIPATES WILL BE DISCUSSED AT THE MEETING IS NOT INTENDED AS A GUARANTEE OF THE TOPICS THAT WILL HAVE BEEN DISCUSSED. NOT ALL TOPICS LISTED MAY IN FACT BE DISCUSSED, AND OTHER TOPICS NOT LISTED MAY ALSO BE BROUGHT UP FOR DISCUSSION TO THE EXTENT PERMITTED BY LAW.

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8. Signs

A. 141 Boston Post Road West (Raising Canes)

- i. Correspondence from Michael Brangwynne, Fletcher Tilton, (12 Post Office Square, 6th FL, Boston, MA 02109)
- ii. Brand book – proposed sign locations

9. Correspondence (None)

10. Unfinished Business

A. Working Group

11. Calendar Updates

- ### A. Pettes Drive/Colchester Drive (0 Stevens Street), Definitive Subdivision Plan, 135 days is Sunday July 24, 2022.
- Extension granted, vote by **September 12, 2022**, meeting.

12. Public Notices of other Cities & Towns (None)

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MARLBOROUGH, MA 01752

1A

Call to Order

July 25, 2022

The Meeting of the Marlborough Planning Board was called to order at 7:00 pm in Memorial Hall, 3rd Floor City Hall, 140 Main Street, Marlborough, MA. Members present: Barbara Fenby, Sean Fay, George LaVenture, Chris Russ, Matthew Elder and William Fowler. Members Absent: Phil Hodge.

1. Draft Meeting Minutes

A. June 27, 2022

On a motion by Mr. LaVenture, seconded by Mr. Elder, the Board voted to accept and file the June 27, 2022, meeting minutes. Yea: Elder, Fay, Fowler, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

2. Chair's Business

A. Boundary Street-Scenic Road, hazardous tree removal, correspondence from Chris White

Mr. LaVenture read the July 7, 2022, correspondence from Chris White into the record.

On a motion by Mr. Elder, seconded by Mr. Russ, the board voted to accept and file the correspondence. Yea: Elder, Fay, Fowler, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

3. Approval Not Required

A. Hager Street, Parmenter Road, Boston Post Road

Map 62, Parcel 27 (0 Boston Post Road East), Marlborough MA 01752

i. Form A

ii. ANR, Plan of Land Dated: 6/3/22

iii. Engineering review, Thomas DiPersio, City Engineer

Mr. LaVenture read the July 20, 2022, correspondence from Thomas DiPersio into the record.

On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to accept and file the correspondence and endorse the below referenced Approval Not Required, Plan of Land dated June 3, 2022, as Approval Not Required under the Subdivision Control Law. Yea: Elder, Fay, Fowler, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

Applicant: South Coast Advisors, LLC (2 Monroe Parkway, Wareham, MA 02571)

Land Surveyor: Cliff Rober, Engineering Design Consultants, Inc.
(32 Turnpike Road, Southborough, MA 01772)

Deed Reference: Middlesex South registry of Deeds

Book: 68980 Page: 591

Book: 68015 Page: 229

Location: Hager Street, Marlborough, MA, Parmenter Road, Framingham, MA,
Boston Post Road E (Marlborough, MA)

(Marlborough) Map: 62 Parcel: 27

(Marlborough) Map: 62 Parcel: 27A

(Framingham) 001-02-7708

(Framingham) 001-03-6067

(Framingham) 001-03-8024

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B. 351 Concord Road, Map 46, Parcel 36, Marlborough MA 01752

- i. Form A
- ii. ANR, Plan of Land Dated: 6/14/22
- iii. Engineering review, Thomas DiPersio, City Engineer

Mr. LaVenture read the July 20, 2022, correspondence from Thomas DiPersio into the record.

On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to accept and file the correspondence and endorse the below referenced Plan of Land dated June 14, 2022, as Approval Not Required under the Subdivision Control Law. Yea: Elder, Fay, Fowler, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

Applicant: 351 Concord Road Nominee Trust (351 Concord Road, Marlborough, MA 01752)
Land Surveyor: Robert J. Parente, P.L.S. (328 Desimone Drive, Marlborough, MA 01752)
Deed Reference: Middlesex South registry of Deeds
 Book: 51973 Page: 488
Location: 351 Concord Road, Marlborough, MA 01752
 Map: 46 Parcel: 36

4. Public Hearings (None)

5. Subdivision Progress Reports

A. 342 Sudbury Street Update

Mr. LaVenture read the July 7, 2022, correspondence from Kevin O'Malley into the record.

On a motion by Mr. Elder, seconded by Mr. Russ, the board voted to accept and file the correspondence. Yea: Elder, Fay, Fowler, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

6. Preliminary/Open Space/Limited Development Subdivision

A. Beauchemin Estates, Preliminary Open Space Concept Plan

Map 28, Parcel 18B, 689 Pleasant Street, Marlborough, MA 01752

Owner of Land: Joyce Beauchemin Realty Trust, Timothy L. Beauchemin, Trustee
 (P.O. Box 1067, Townsend, MA 01469)

Name of Engineer: Daniel Koravos, P.E. (59 Granite Lane, Chester, NH 03036)

Deed Reference: Book: 45210 Page: 560

- i. Final Draft – Certificate of Vote, Open Space Development Special Permit - **VOTE**

Mr. Fay went over Project Findings 7.a, within the special permit to familiarize newer Board members with the objectives and explained how the developer needs to meet a majority of these objectives and went over the developers next step within the submission process, which is to submit the definitive plan.

Dr. Fenby went over the objectives and the Board discussed if the open space development met these objectives:

- 1. Encouraging a less sprawling form of development that would consume excessive open space, cause land erosion, and destroy attractive natural features of the land.
 - The Board determined the open space development is compact and a majority of the subdivision is situated away from the wetlands.
- 2. Allowing for greater flexibility and creativity in the design of residential subdivisions.
 - The Board determined this also falls under the compactness and the developer's willingness to

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provide barriers between abutting properties.

3. Encouraging the permanent preservation of natural resources and open space.
 - The Board determined this is part of the agreement.
4. Protecting scenic vistas.
 - The Board determined this objective does not apply to this subdivision.
5. Allowing for more economical construction and maintenance of streets and utilities.
 - The Board determined the developer met this objective.
6. Encouraging the production of more affordable and diverse housing types.
 - The Board determined these homes will have a price point flexibility.
7. Allowing for more economical construction and maintenance of recreational amenities through common ownership.
 - The Board determined this objective does not apply to this subdivision.

The Board reviewed chapter 650-28 of the City of Marlborough Code.

(8) Findings. The Planning Board may grant a special permit only if the Planning Board finds that:

- (a) The development meets the objectives of an open space development listed in Subsection B.
- (b) The development meets the design criteria of an open space development listed in Subsection H(7)(b).
- (c) The development will not have a substantial or undue adverse effect upon adjacent property or the character of the neighborhood.

On a motion by Mr. Fay, seconded by Mr. Elder, the Board voted to approve the special permit, to endorse the draft decision, and to confirm the findings therein. Yea: Elder, Fay, Fowler, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

B. Informal Discussion

547 Stow Road Sketch Plan of Land Open Space Development

Name of Engineer: Vito Colonna, Connorstone Engineering (59 Granite Lane, Chester, NH 03036)

i. Correspondence from Thomas DiPersio, City Engineer

Mr. LaVenture read the July 20, 2022, correspondence from Thomas DiPersio into the record.

On a motion by Mr. Elder, seconded by Mr. LaVenture, the board voted to accept and file the correspondence.

Yea: Elder, Fay, Fowler, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

Vito Colonna, Connorstone Engineering (59 Granite Lane, Chester, NH 03036) spoke on behalf of the applicant, Kendall Homes. Mr. Colonna explained they are looking to do a three Lot open space development with two existing ANR Lots along Stow Road. A conventional plan was created to demonstrate the number of Lots which could be developed, but was not provided for display. Mr. Colonna explained there is a regulation regarding street access which typically requires the road width to be 22-feet, and with this portion of Stow Road being 17-feet wide, Mr. Colonna asked for the Board's opinion on whether or not they should move forward with this open space subdivision.

Dr. Fenby asked for a locus. Mr. Colonna displayed the GIS map of the parcel, and the Board discussed the positioning of the proposed open space 3.4-acre parcel which includes the detention basin. Mr. Colonna went over the option to put an easement around the detention basin.

Mr. Fay asked if the existing trail cuts through Lots 1 or 2. Mr. Colonna explained he walked the site and there is no evidence of this trail being used nor does it appear to exist anymore.

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Mr. Colonna confirmed the sight lines are over 300 feet.

Dr. Fenby asked Mr. Colonna to flag the property so the Board could walk through and assess the traffic patterns.

Dr. Fenby asked for Engineering to comment on the following:

- Is there private ownership of portions of Stow Road?
- Confirmation of Stow Road being repaved.
- Is there extra room in the two ANR Lots along Stow Road to do a taking and widen the road?

The Board decided they would provide feedback to Mr. Colonna at the August 22, 2022, meeting.

7. Definitive Subdivision

A. Colchester Drive, Definitive Subdivision Plan

Map 44, Parcel 148 (0 Stevens Street), Marlborough, MA 01752

Owner of Land: James & Rebecca Chaousis (283 Bolton Street, Marlborough, MA 01752)

Name of Applicant: Charles Bourque (P.O. Box 642, Weston, MA 02493)

Name of Engineer: Jason Lavoie, WSP, (100 Summer Street, 13th Floor, Boston, MA 02110)

Deed Reference: Book: 9742 Page: 148

- i. Request for extension on decision
- ii. Revised plans Dated: July 21, 2022
- iii. Emerald Acres, Arborist Letter

On a motion by Dr. Fenby, seconded by Mr. Elder, the Board voted to grant the extension for the decision on the definitive subdivision submission for Colchester Drive (0 Stevens Street) to September 12, 2022. Yea: Fay, Elder, Flower, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

Mr. LaVenture read the June 6, 2022, correspondence from Emerald Acres into the record. – See attached.

On a motion by Mr. Fay, second by Mr. Elder, the board voted to accept and file the correspondence. Yea: Elder, Fay, Fowler, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

iv. Engineering review letter from Thomas DiPersio, WSP response to comments

Mr. LaVenture read the summary portion of the May 3, 2022, correspondence from Thomas DiPersio into the record. – See attached.

Jason Lavoie, WSP, (100 Summer Street, 13th Floor, Boston, MA 02110) went over the changes on the plan. The name changed from Colchester Drive to Pettes Drive, which is the next name on the Veterans list. The Plan went from 6 Lots to 5 Lots due to the lot shape rectangle requirement in the zoning by-law. Miscellaneous typos were corrected, and additional details were provided throughout the Plan.

Mr. Russ asked, if the roadway layout change. Mr. Lavoie explained, no, it shifted slightly to the left.

Dr. Fenby and Mr. Fay questioned if these changes represent a major change and if it would require re-opening the public hearing. The Board discussed and agreed they did not feel an additional public hearing would be required but wanted to confirmation from the Legal Department. Dr. Fenby explained most of the changes are engineering details, per the request of Mr. DiPersio in his engineering review letter.

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On a motion by Mr. LaVenture, seconded by Mr. Russ, the Board voted to refer the question “Does the Legal Department disagree with the Board, on the determination that the revised plans are not a substantial deviation and would not require an additional public hearing?” to the Legal Department for response. Yea: Elder, Fay, Fowler, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

The Board discussed the options of waivers that would benefit the City and the developer.

On a motion by Mr. Elder, seconded Mr. Russ, the Board voted to refer the Pettes Drive Definitive Subdivision to Engineering for review. Yea: Elder, Fay, Fowler, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

8. Signs

A. 141 Boston Post Road West (Raising Canes)

- i. Application
- ii. Denial letter, William Paynton, Building Inspector
- iii. Brand book – proposed sign locations
- iv. Correspondence from Michael Brangwynne, Fletcher Tilton

Mr. LaVenture read specific portions of the July 22, 2022, correspondence from Michael Brangwynne into the record. – See attached.

Michael Brangwynne, Fletcher Tilton, (12 Post Office Square, 6th Floor, Boston, MA 02109) and Adam Caracci, Raising Cane’s Chicken Fingers (6800 Bishop Road, Plano, TX 75024) spoke on behalf of this sign variance application. Mr. Caracci went over the history of Raising Canes.

Mr. Brangwynne went over details within the Raising Canes brand book and explained two of the original signs were denied and he explained they changed these two signs to be artistic murals and is looking for the Board’s support in the determination that these murals are not considered flat wall signage. He argued if the Board agrees that the artistic murals are not considered signs their total wall signage would be 128 sq ft.

Mr. Brangwynne went over the “ONE LOVE” canopy sign that was denied by the building department. He argued this canopy sign would been approved if the ONE LOVE language was printed on a traditional awning/canopy. The sign would add 17.5 sq ft to the flat wall signage, keeping it under the 150 sq ft maximum.

Mr. LaVenture asked if any of the images were copy righted, trademarked or legally owned. Mr. Caracci, said the “One Love” is not, but could not confirm the other two murals, but explained he did not believe they were. Mr. Brangwynne argued the murals might have some internal significance to the founders of the restaurant but to the average passerby it doesn’t really have a relation to the business.

The Board members discussed their opinions on the three signs, some members were for, and some were against.

On a motion by Mr. Fay, seconded by Mr. Elder, the Board voted on the approval of the two artistic murals. Yea: Elder, Fay and Russ. Nay: Fowler, LaVenture and Fenby. Motion denied (tie) 3-3.

On a motion by Mr. Fay, seconded by Mr. Elder the Board voted to approve the variance for the ONE LOVE sign due to its reasonable request for the deviation of design. Yea: Elder, Fay, Russ, and Fenby. Nay: Fowler and LaVenture. Motion carried. 4-2.

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Mr. Brangwynne discussed the option to consider the two murals as flat wall signs and request a variance for additional square feet of flat wall signage. The smaller dog sign is approximately 32 sq ft and the large dog sign is 68 sq ft.

Mr. Fay reminded Mr. Caracci to not leave their welcome banner up for an unnecessary period of time.

The Board and the applicant discussed the options of approving one of the two signs totaling roughly 68 sq ft.

On a motion by Mr. Elder, seconded by Mr. Fay, the Board voted on the approval of the total square footage of wall signs to 210 square feet +/- due to the set back and location of the restaurant. Yea: Elder, Fay and Russ. Nay: Fowler, LaVenture and Fenby. Motion denied (tie) 3-3.

Mr. Fay asked for an alternative to the heart dog sign.

On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to table the consideration of the two signs. Yea: Elder, Fay, Fowler, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

9. Correspondence (None)

10. Unfinished Business

A. Working Group

- i. Correspondence from Donald Rider, a previous City Solicitor for the City of Marlborough
Mr. LaVenture summarized the May 1, 2014, correspondence from Donald Rider. – See attached.
- ii. Correspondence from Jason Grossfield, City Solicitor
Mr. LaVenture summarized the July 5, 2022, correspondence from Jason Grossfield.

Mr. LaVenture updated the Board on discussions the Working Group had. If a Subdivision/Open Space application is not complete the only options are to request the applicant to request an extension, or deny it for its incompleteness. The Board planned to discuss this further with Mr. Grossfield when he attends the August 22, 2022, meeting.

Mr. LaVenture updated the Board on the items the working group will be working through:

1. Checklists
2. Subdivision submission procedure and coversheets
3. Decision making criteria
4. Acceptance procedures
5. Process flowcharts
6. Boiler plates

11. Calendar Updates

- A. Colchester Drive, Definitive Subdivision Plan, 135 days is Sunday July 24, 2022. One day extension granted, vote by **July 25, 2022**, meeting.
- B. Beauchemin Estates, Preliminary Open Space Concept Plan, 90 Days is August 7, 2022, vote on Special Permit by **July 25, 2022**, meeting.

12. Public Notices of other Cities & Towns (None)

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The Board discussed specifications within the special permit process of an open space development.

Mr. Elder signed the ANR plans for 351 Concord Road and 0 Boston Post Road East.

On a motion by Mr. Fowler, seconded by Mr. Elder, the Board voted to adjourn the meeting. Yea: Elder, Fay, Fowler, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 6-0.

Respectfully submitted,

/kmm

George LaVenture/Clerk



88 Nason Street
Maynard, MA 01754
(978) 897-0011
1-800-498-8873
mail@emeraldacresinc.com

June 6, 2022

Dear City of Marlborough,

I have visited the site and confirm the following findings:

- All trees greater than eighteen inches have been identified and correspond to the drawings being submitted to the City.
- All trees noted to be removed (REM) in the roadway limit of work correspond to the drawings being submitted to the City.
- Roadway and retention area installations are clearly shown, located and properly titled.
- The boundary area (limit of work) is clearly shown, located and property titled.
- The limit of work will be delineated with required tree protection barriers per the mandated regulations.
- There is no high density housing requiring greater land clearing.
- The tree protection zone includes all trees outside the new roadway and staging limit of work area.
- The tree protection zone is clearly noted on the drawings submitted to the City.

It is my opinion that the proposed new road, staging area and retention areas limit of work provide for the maximum number of significant trees to be left undisturbed.

Immediately prior and after construction commences, a professional will be onsite. The professional shall oversee the installation of the tree protection barrier and any required maintenance or construction at or around the limit of work.

Regards,

Rebecca Mola, MCA #2170

Emerald Acres, Inc.



City of Marlborough
Department of Public Works

135 NEIL STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL. 508-624-6910
*TDD 508-460-3610

SEAN M. DIVOLL, P.E.
COMMISSIONER

May 3, 2022

Marlborough Planning Board

RE: Definitive Subdivision Plan
"Colchester Drive", Stevens Street

Chair Fenby and Board Members,

The Engineering Division has conducted a review of the Definitive Subdivision Plans entitled:

"Definitive Plan for Colchester Drive,
Map 44, Lot 148,
Marlborough, Massachusetts"
Dated: March 11, 2022
Applicant: Charles Bourque
Owner: James & Rebecca Chaousis
Prepared by: WSP USA, Jason Lavoie, PE

We have also reviewed supporting documents including "Colchester Drive Subdivision Stormwater & Erosion Control Report" dated March 11, 2022 and "Colchester Drive Subdivision Operation & Maintenance Plan" (undated), by WSP. Our comments on the plans and supporting documents are listed below.

Summary

The existing property consists of a total of approximately 20.1 acres. The property is bisected by a 30 foot wide City of Marlborough sewer taking, dividing it into two parcels. The subject of this subdivision is a 6.1 acre parcel with approximately 233 feet of frontage on Stevens Street. The remaining parcel is approximately 14 acres with a small amount of frontage to the north on Stevens Street. In 2020 the Planning Board endorsed an ANR plan which created two frontage lots from the northern part of the property on Stevens Street. The subdivision would create six building lots on a five-hundred foot roadway, which has been designed as a "Lane" in accordance with the Planning Board Regulations.

General comments

- 1 "Colchester Drive" cannot be used for the proposed street name. The next name from the list of deceased Marlborough veterans is "Pettes Drive".
- 2 The Planning Board signature block should contain seven lines.
- 3 The Lot Shape Rectangles shown within the proposed lots are incorrect and need to be revised. The proposed lot lines will have to be adjusted to accommodate the correct rectangles. This could have a significant impact on the lot layout.

THEODORE L. SCOTT, P.E.
ASST. COMMISSIONER, OPERATIONS

CHRISTOPHER S. LAFRENIERE
ASST. COMMISSIONER, UTILITIES

THOMAS DIPERSIO, JR. P.E., P.L.S.
CITY ENGINEER

- 4 A Tree Preservation and Protection Plan has not been provided, in accordance with 676-22 of the Planning Board Regulations.

Sheet C-001 Lotting Plan

- 5 As noted above the lot shape Rectangles are incorrect.
- 6 Proposed Lot 4 is not labeled.
- 7 Roadway stationing should be provided, showing dimensions to the radius point of the cul-de-sac and the overall length of the road.
- 8 The area of the proposed easements should be provided.
- 9 Proposed easements should be bounded at the angle points.
- 10 The drainage easement on Lot 4 is shown as 20 feet wide. It should be revised to 30 feet wide.
- 11 Proposed "Lot B" should be called "Parcel B", as it is not a buildable lot.
- 12 "Proposed Zoning Easement" shown in the legend is not applicable and should be removed.

Sheet C-002 Grading and Drainage Plan

- 13 Proposed houses and driveways, and lot grading back to the house line, should be shown schematically on each lot.
- 14 The proposed grading does not reflect that the roadway will have curbing. This should be revised and the curbing should be called out with the material indicated.
- 15 The limits of sidewalk disturbance on Stevens Street should be shown. Wheelchair ramps should be shown as well as a crosswalk across the new roadway opening. The wheelchair ramps should be constructed of cement concrete. Wheelchair ramps should be provided at the opening of the cul-de-sac as well.
- 16 The roadway stationing should be shown, with the location of the high point called out.
- 17 The construction material for the 5.5' sidewalk should be indicated.
- 18 Details for the "proposed curb inlet" should be provided. This structure may not be allowed.
- 19 The proposed infiltration basin 1 is designed such that the only outlet is an emergency overflow directed to the Stevens Street sidewalk. A primary overflow structure should be added, that is piped directly into the Stevens Street drainage system.
- 20 The proposed retaining wall types and elevations should be shown. The limits and location of the proposed wall on Lot 1 are not clear. The wall should not be on (future) City property.
- 21 Proposed tree plantings should be shown in accordance with the regulations. Plantings for screening should be shown around the infiltration basins.
- 22 Exposed ledge is shown partially in proposed infiltration basin. Test pits should be conducted in the areas of both basins, to determine the extent and depth of ledge under the bottom of the basins. The data should be added to the plans.

Sheet C-003 Utility Plan & Profile

- 23 There is no gas main shown. Is it proposed?
- 24 The proposed size and type of water main should be indicated.
- 25 A hydrant should be provided at the end of the water main at the cul-de-sac.
- 26 The proposed type of sewer main should be indicated, as well as the length of each proposed segment.
- 27 The proposed type of drainage pipe should be indicated, as well as the length and slope of each proposed segment.
- 28 The proposed water and sewer laterals to each lot should be shown.
- 29 The proposed street lights are shown on the curb line. They should be moved to within the grass strip.
- 30 The proposed underground electric, telephone, and communication lines should be shown.
- 31 Stevens Street shall be milled and paved from curb to curb, for a length that includes all new utility trenches. This should be indicated on the plan with the limits shown.

- 32 The proposed drain connection to the existing drain manhole in Stevens Street should be shown on the plan. It should be verified that this connection will be possible, given the locations of the existing pipes connected to that manhole.
- 33 Details for the "proposed curb inlet" should be provided. This structure may not be allowed.
- 34 The water main should be shown in the profile view.
- 35 Ledge conditions, where they are known, should be indicated in the profile view.
- 36 Is the sewer connection in Stevens Street proposed as a "dog house"-style manhole? This should be detailed.
- 37 The proposed "DMH#1-1" is not shown.

Sheet C-004 Erosion Control Plan

- 38 Proposed stockpile area(s) should be shown.
- 39 Temporary sediment basins to be used and maintained during construction should be shown. The areas of the proposed infiltration basins should not be used for temporary sediment basins during construction, or if it is unavoidable, specifications should be provided on the plans to ensure that the native soil at those locations is not made suitable for infiltration upon completion of construction.
- 40 Proposed tree clearing limits should be shown.
- 41 Construction dewatering specifications should be provided.
- 42 Notes regarding construction sequencing as it relates to erosion control and site stability, should be provided.

Sheets C-005-007 Construction Details

- 43 A detail for the proposed "curb inlet" should be provided.
- 44 A detail for flared end section is provided. Are there any on the plans?
- 45 A drainage trench detail should be provided.
- 46 A detail for the dog house sewer manhole should be provided.
- 47 A water service detail should be provided.
- 48 Additional information is needed on the infiltration basin detail, including soil profile specifications, basin side slopes, construction details for
- 49 A detail for the plug at the end of the water main should be provided.
- 50 There are several notes related to contractor permitting, required inspections, etc. that are listed on the Engineering Division checklist that should be added to the plans.

Supporting Documents – Stormwater & Erosion Control Report

- 51 Section 6 "Estimated Construction Phasing" is listed in the table of contents but is not in the report. This section should be provided.
- 52 The "Tables" listed in the table of contents do not appear to be included in the report.
- 53 The Appendices are listed in the table of contents with page numbers. There are no page numbers in the report.
- 54 Proposed conditions runoff calculations – proposed houses and driveways should be included in the curve number calculations. As noted previously they should be shown schematically on the subdivision plans along with the proposed grading. This information should be used for the proposed runoff calculations.
- 55 Proposed conditions runoff calculations – a "sheet flow" length of 50 feet was used on all time of concentration calculations. This should not be a "default" value but should be estimated based on specific conditions. We do not feel that this maximum length is appropriate in all cases, such as for "SA#15", where the slope is 11%. Times of concentration should be revisited for confirmation.

- 56 Proposed Infiltration Basin #2 does not meet the requirement for drawdown within 72 hours. The summary indicates 91.3 hours. The report should certify that the design meets all of the DEP Stormwater Standards.
- 57 Soil test pit data should be provided for each of the infiltration basins, as noted above.

Supporting Documents – Operation & Maintenance Plan

- 58 A section should be provided describing maintenance of the roadway, plantings, and infrastructure by the owner until such time as the roadway is accepted by the City.
- 59 Infiltration basins: add language regarding inspecting after major storms.
- 60 Infiltration basins: add language regarding maintenance of slopes/mowing.
- 61 Sediment forebays: same comments as infiltration basins.
- 62 “Drainage Manholes & Cleanouts”: change to “Drainage Manholes”
- 63 “Trench Drains, Catch Basins & Area Drains”: change to “Catch Basins & Area Drains”
- 64 “Trench Drains, Catch Basins & Area Drains”: indicate that catch basins must have 4’ deep sumps with hoods for oil separation, and include language that catch basins should be cleaned by a proper catch basin cleaning device.

Should you have any question regarding the above, please do not hesitate to contact me.

Sincerely,



Thomas DiPersio, Jr., PE, PLS
City Engineer

copy: Sean Divoll, P.E. – DPW Commissioner
Project applicant and engineer



PETTES DRIVE DEFINITIVE PLAN RESPONSE TO COMMENTS

Below is a response to the City of Marlborough Planning Board's comments on the Pettes Drive Definitive plan and supporting documents.

1. The proposed street has been renamed to Pettes Drive.
2. The planning board block has been revised.
3. The lot shape rectangles have been revised.
4. A letter from the Arborist has been attached to this submission.
5. See response #3.
6. Lot 4 has been labeled.
7. Stationing and other elements have been added.
8. Areas have been provided.
9. Bounds have been added.
10. Wide of easement revised.
11. Lot B has been changed to Parcel B.
12. This should have read "Proposed Drainage Easement" and has been changed to such.
13. A conceptual site plan showing all of the requested data has been added to the plan set.
14. Roadway grading has been revised to reflect the curb.
15. Limits of sidewalk disturbance and WCR's have been added.
16. Roadway stationing added.
17. Material has been indicated.
18. Detail for the curb inlet has been added. See detail sheet number C-010.
19. The primary overflow structure has been added.
20. The retaining wall has been removed on Lot 1 and elevations have been added.
21. Tree plantings along road and plantings for screening have been shown.



22. Test pit logs have been added to the plans and detail sheets.
23. There is no gas main proposed.
24. Size and type of water main added.
25. Hydrant has been added.
26. All sewer main data added.
27. All drainage data has been added.
28. Water and sewer laterals have been shown on the conceptual site plan.
29. Proposed street light located have been revised.
30. Underground electric, telephone and communications shown.
31. Limits of milling on Stevens Street has been added.
32. This drainage connection has been shown on the plans.
33. See response #18.
34. Water main has been added to the profile.
35. The proposed street does not intersect with any know ledge outcrops.
36. Yes and the detail has been added.
37. DMH #1-1 has been removed.
38. Stockpile areas have been shown.
39. Temporary sediment basin locations have been shown.
40. Any trees that shall be protected within the limits of work have been indicated.
41. Construction dewatering detail and specs have been added.
42. Construction sequencing has been added. Erosion control barrier details were provided on the Stormwater and Erosion Control Report.
43. See response #18.
44. Flared ends are located at the sediment forebays for the outfall of the roadway drainage.
45. A general utility/ drainage trench detail has been added.
46. Dog house sewer manhole detail has been added.
47. Water service detail has been added.



48. Additional infiltration basin details added. In the Infiltration basin notes there is a note that states the infiltration basin shall extend a minimum of 6" in to the "C" soil horizon.
49. Plug end detail added.
50. Notes have been added.
51. Estimated construction phasing has been added.
52. Table of contents has been revised to reflect what's in the report.
53. Appendices page numbers have been removed.
54. Proposed drainage systems for the roofs have been show on the plan and any driveways that flowed to the street were taken in to account in the proposed runoff calculations. Its listed as "Conceptual Driveway" in the HydroCAD sub-area.
55. The HydroCAD model was reviewed. The time of concentrations were revised to show the change from sheet flow to shallow concentrated flow if there was a grade brake prior to the 50'.
56. Infiltration basin #2 has been revised and now drains in less than 72 hours.
57. Test pit data has been added to the detail sheets.
58. The O&M has been revised to include these sections.
59. Revised.
60. Revised.
61. Revised.
62. Name has been changed.
63. Name has been changed.
64. Revised.

July 22, 2022

VIA EMAIL

Town of Marlborough Planning Board
c/o Katlyn Miller
140 Main Street
Marlborough, MA 01752
kmiller@marlborough-ma.gov

*Re: Raising Cane's Chicken Fingers - Sign Application
141 Boston Post Road West (Route 20), Marlborough, Massachusetts*

Dear Members of the Planning Board:

This letter is to being submitted with the application of Raising Cane's Chicken Fingers ("Raising Cane's") for signage approval pursuant to Chapter 526 of the Code of the City of Marlborough ("Sign Ordinance") for its location at 141 Boston Post Road West (the "Property").

On February 23, 2022, Raising Cane's submitted its Brand Book to the City of Marlborough Building Department for approval of various signage at the Property, including canopy, marquee, flat wall, freestanding, window and menu board signs. On June 10, 2022, Local Building Inspector William Payton issued an Allowable Sign Determination, which is attached hereto at Tab 1. All signs were determined to be allowable as-of-right, with the exception of the proposed flat wall signs and canopy signs.

Raising Cane's has submitted with this appeal (the "Appeal") a revised Brand Book, a copy of which is attached hereto at Tab 2. Raising Cane's has modified the proposed flat wall signs to bring them into compliance with the Sign Ordinance. Raising Cane's seeks a variance from the Sign Ordinance for approval of the proposed canopy signs.

Description of Proposal

Raising Cane's was founded in 1996 by Todd Graves in Baton Rouge, LA. Still family owned and operated, it today operates 545 Restaurants in 25 states and the Middle East. The Restaurant's concept is focused on its One Love, the chicken finger meal. That's all Raising Cane's serves ... boxes of chicken fingers, served with crinkle cut fries, coleslaw, Texas toast, and homemade Cane's sauce.

Fletcher Tilton

Raising Cane's will be unique to Massachusetts in that it is one of the first national concepts with a single item on its menu to enter the market. Raising Cane's gives back to the local communities it serves in five core areas – education, feeding the hungry, pet welfare, promoting active lifestyles, and developing entrepreneurship.

The Property is located on Boston Post Road (Route 20) to the west of Interstate 495, between Boston Post Road and Northboro Road, with access to both Boston Post Road and Northboro Road. The Property is surrounded by commercial uses, including a number of fast-food retail establishments including MacDonald's, Chick-fil-A, Wendy's and Chipotle.

Under the revised Brand Book, Raising Cane's proposes various signage and artwork as depicted at Tab 2, including four flat wall signs, two artistic images, and lettering above the canopy at the Property with the company's "One Love" slogan.

Modification of Flat Wall Signs

In its original Brand Book, Raising Cane's proposed four (4) flat wall signs depicting the Raising Cane's logo which were labeled as "A", one (1) painted wall sign also depicting the Raising Cane's logo labeled as "D", and one (1) digital print of a dog wearing sunglasses on aluminum substrate labeled as "E". Local Building Inspector William Paynton included all of these signs in his flat wall sign calculation and cited the plans for exceeding the total allowable sign area of 150 square feet. *See* Tab 1, pp. 1-2.

Raising Cane's has modified its Brand Book to replace sign "D" – the painted wall sign depicting the Raising Cane's logo – with a painted artistic mural showing a heart. Raising Cane's seeks confirmation that two proposed artistic images - one showing a painted heart and one showing a digital image of a dog wearing sunglasses – do not meet the definition of "Sign" under the Sign Ordinance and therefore should not be included in total allowable sign area. Under Section 226-2 of the Sign Ordinance, "Sign" is defined as:

Any object, device, display or structure or part thereof which is placed outdoors or which is visible from outdoors, which is used to advertise, identify, display, direct or attract attention to an object, person, institution, organization, business, product, service, event or location by any means, including words, letters, figures, design, symbols, fixtures, colors, illumination or projected images.

It is Raising Cane's position that the two images do not fall under this definition, as they are not "used to advertise, identify, display, direct or attract attention to an object, person, institution, organization, business, product, service, event or location..." Rather, the two murals are meant to serve as decorative artwork at the premises.

Excluding these two artistic images will result in a total of four (4) wall signs, each 4' x 8', for a total flat wall sign area of 128 square feet – which is below the total allowable sign area of 150 square feet.

Raising Cane's therefore requests that the Planning Board make a determination that the sign plan for flat wall signs shown in its revised Brand Book is allowable as-of-right.

Canopy Lettering Variance

Raising Cane's proposes the inclusion of "One Love" canopy lettering located on top of the canopy at the property. The proposed canopy letters are 20 inches tall and 10 feet, 3 3/8 inches wide, for a total sign area of approximately 17.5 square feet.

With respect to canopy lettering, the Sign Ordinance provides that, "a sign may be located on any face of a canopy, marquee or awning located on the first-floor level only." Sign Ordinance, § 526-9(B)(2)(a). Canopy lettering is included in the total allowable sign area for flat wall signs. *See* Sign Ordinance, § 526-9(B).

The Planning Board may grant a variance from the provisions of the Sign Ordinance "**in specific cases which appear to it not to have been contemplated by this chapter**, and in cases wherein its enforcement would involve practical difficulties **if... desirable relief may be granted without substantially derogating from the intent and purpose of this chapter but not otherwise.**" Sign Ordinance, § 526-12(C)(2) (emphasis added).

- 1. The design of the canopy at the Property does not appear to have been contemplated by the Sign Ordinance.*

It is important to note that the "canopy" in question is in fact located on the first-floor level at the Property. Unlike a traditional canopy or awning - which extends out at an angle from the wall to which it is attached – the canopy at the Property is flat and extends straight out from the wall. The Sign Ordinance seems to contemplate an image being depicted on the angled part of the canopy or awning visible to passersby.

Here, based on corporate design specifications the canopy extends straight out, and there is no such angled surface area onto which a canopy sign could be added. The letters have therefore been added to the top of the "canopy". Accordingly, given the design of the canopy in question, Raising Cane's suggests that this is a design which has not been contemplated by the Sign Ordinance, and therefore is an appropriate case for a variance.

- 2. The requested relief may be granted without substantially derogating from the intent and purpose of the Sign Ordinance.*

The proposed lettering may be approved without substantially derogating from the intent and the purpose of the Sign Ordinance. If Raising Cane's had designed its "canopy" with a sloped angle, it could place the same size "One Love" lettering on the canopy as-of-right. The combined sign area of the four wall signs and the canopy lettering is 145.5 square feet – less than the total allowable sign area of 150 square feet at the Property.

For these reasons, Raising Cane's suggest that the allowance of its "One Love" canopy lettering is compliant with the intent of the Sign Ordinance, and the Planning Board should issue the requested variance.

Conclusion

For all of the foregoing reasons, Raising Cane's respectfully requests that the Board grant the relief requested, and issue a determination:

1. that two proposed artistic murals - one showing a heart and one showing a dog wearing sunglasses – do not meet the definition of "Sign" under the Sign Ordinance and therefore should not be included in the total allowable sign area for flat wall signs at the Property; and
2. that the design of the proposed "One Love" lettering on the top of the canopy at the premises is not a case contemplated by the Sign Ordinance, that the lettering may be permitted without substantial derogation of the intent of the Sign Ordinance, and that therefore a variance of the Sign Ordinance is appropriate.

Thank you for your attention to this matter.

Very truly yours,



Michael E. Brangwynne
FLETCHERTILTON PC
12 Post Office Square, 6th Floor
Boston, MA 02109
P: 617-336-2281 | F: 617-336-4481
Email: mbrangwynne@fletchertilton.com



City of Marlborough
Legal Department

140 MAIN STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL. (508) 460-3771 FACSIMILE (508) 460-3698 TDD (508) 460-3610
LEGAL@MARLBOROUGH-MA.GOV

DONALD V. RIDER, JR.
CITY SOLICITOR

CYNTHIA M. PANAGORE GRIFFIN
ASSISTANT CITY SOLICITOR

ELLEN M. STAVROPOULOS
PARALEGAL

May 1, 2014

Marlborough Planning Board
Chairwoman Barbara Fenby
140 Main Street
Marlborough, MA 01752

Re: The Process of a Plan's Submission to the Planning Board and Subsequent Notice to the City Clerk

Dear Dr. Fenby:

In supplementation of Legal's letter to the Planning Board ("the Board") dated December 16, 2013, this letter offers further clarification as to 1) the process for a plan's submission to the Board, whether a subdivision plan or an ANR plan; and 2) the subsequent notice to be filed with the City Clerk regarding that submission.

1. Submission Of A Plan To The Board.

Mass. Gen. Laws c. 41, § 81O governs the submission of a subdivision plan. As for submission of ANR plans, a planning board's regulation, if it is consistent with § 81O, "controls the determination of the submission date of an ANR plan."¹

The relevant portion of § 81O provides as follows:

A plan shall be submitted under this section when delivered at a meeting of the board or when sent by registered mail to the planning board. If so mailed, the date of receipt shall be the date of submission of the plan.

Thus, under § 81O, the date of a plan's submission is either 1) the date when it is delivered at a meeting of the Board, or 2) the date when it is received by the Board by registered mail.²

In contrast, for ANR plans under Section II.B.1, and for preliminary plans under Section III.A.1, the Board's Rules and Regulations provide that, "[f]or the purpose of establishing the official submission date, said submission shall be made to the Planning Board at a regularly scheduled meeting of the Planning Board." In other words, there is no opportunity under the

¹ Peters v. Labonte, 2012 WL 273714 (Land Ct. 2012), at * 5 (citing Maini v. Whitney, 7 LCR 263, 264 (1999)(Land Court)).

² " 'Registered mail', when used with reference to the sending of notice or of any article having no intrinsic value shall include certified mail." Mass. Gen. Laws c. 4, § 7, cl. Forty-fourth.

Board's Rules and Regulations for either ANR plans or preliminary plans to be received by the Board by registered mail. As to definitive plans, the Board's Rules and Regulations appear to be silent, so Section III.A.1 for preliminary plans would likely apply by default.³

In order to satisfy the Board's requirement that submission of a plan "shall be made to the Planning Board at a regularly scheduled meeting of the Planning Board," it is not enough if a plan's proponent merely delivers the plan to the Board. Rather, according to Section II.B.1 (for ANR plans) and Section III.A.1 (for preliminary and, by default, definitive plans), the plan's submission is be "made to the Planning Board at a regularly scheduled meeting of the Planning Board" (emphasis added). The word "made" should be interpreted to mean "presented;" thus, under Section II.B.1 and Section III.A.1, "[f]or the purpose of establishing the official submission date, said submission shall be ... [presented] to the Planning Board at a regularly scheduled meeting of the Planning Board." Similar language has been judicially interpreted to distinguish between mere delivery of a plan to the planning board, versus delivery of the plan to the board "at a meeting of the board;"⁴ in other words, submission of a plan should mean that the proponent is to present the plan at a regularly scheduled Board meeting.⁵

Note that this submission-as-presentment requirement can be inadvertently waived by a board. For example, if a board fails to take timely action on a subdivision plan and, believing it to have been constructively granted, thereafter proceeds to make modifications to the plan under § 81W,⁶ the board can be deemed to have waived any objection it otherwise would have had that the proponent had failed to properly submit the plan to the board in the first place.⁷

2. Notice To The City Clerk Of A Plan Having Been Submitted To The Board.

Once a plan has been submitted to the Board, the plan's proponent must file with the City Clerk a notice under Mass. Gen. Laws c. 41, § 81T. "By its terms, § 81T distinguishes between the submission of a plan to the planning board [under § 81O⁸] and the delivery of notice of such submission to the town clerk."⁹ Under § 81T, the notice shall:

describe the land to which the plan relates sufficiently for identification, and shall state the date when such plan was submitted and the name and address of the owner of such land.

³ The Board may wish to consider conforming its Rules and Regulations to § 81O to explicitly address submission of definitive plans.

⁴ Woodhouse v. Marot, 2008 WL 331107 (Land Ct. 2008), at *5 (emphasis in original)(discussing subdivision plan).

⁵ Peters, 2012 WL 273714, at *6 (discussing ANR plan). The Board may wish to consider amending its Rules and Regulations to clarify that submission of a plan means presenting the plan at a Board meeting.

⁶ Note that § 81W deals only with subdivision plans because only they can be "approved." Therefore, § 81W does not authorize modification, amendment or rescission of ANR plans because they have been "endorsed," not "approved." Cassani v. Planning Board of Hull, 1 Mass. App. Ct. 451, 453-58 (1973).

⁷ Woodhouse, 2008 WL 331107, at *5 (discussing subdivision plan).

⁸ Twenty years ago, the City Clerk's office ceased to play a § 81O role in the submission of a plan to the Board. Statute 1994, c. 169 amended § 81O by removing the words "care of the city or town clerk" from the end of the first sentence of § 81O quoted on page 1 above.

⁹ Peters, 2012 WL 273714 at *4 (quoting Maini, 7 LCR at 264).

However, § 81T “lacks precision as to the timing of the filing of the notice.”¹⁰ So § 81T has been judicially interpreted as requiring that notice to the City Clerk must be filed “simultaneously with or, at least, very promptly after submission to the [planning] board,”¹¹ but in any event “after submission to the Planning Board, since the required notice must include the date of submission.”¹²

Note that this § 81T filing requirement is crucial in circumstances where a board may have failed to timely act on a plan, otherwise resulting in a constructive grant (for a subdivision plan) or a constructive endorsement (for an ANR plan). Thus, if the plan’s proponent has itself failed to file such a § 81T notice with the city or town clerk, that failure is fatal to the proponent’s claim of the constructive grant or constructive endorsement.¹³ Section 81T’s filing requirement serves the statutory purposes of providing aggrieved persons with “the definitive date from which an appeal is measured,” while at the same time “limiting the period during which an appeal may be taken” and precluding an “indefinite protraction of the appeal process.”¹⁴

Thank you for your attention to this matter.

Very truly yours,

/s/ Donald V. Rider, Jr.
Donald V. Rider, Jr.
City Solicitor

¹⁰ Korkuch v. Planning Board of Eastham, 26 Mass. App. Ct. 307, 308 (1988).

¹¹ Korkuch, 26 Mass. App. Ct. at 309.

¹² Peters, 2012 WL 273714 at * 6 (emphasis in original).

¹³ Korkuch, 26 Mass. App. Ct. at 309 (discussing ANR plan); Peters, 2012 WL 273714 at *4 (discussing ANR plan).

¹⁴ Korkuch, 26 Mass. App. Ct. at 309 (citations omitted).

FORM A

APPLICATION FOR ENDORSEMENT OF PLAN BELIEVED NOT TO REQUIRE APPROVAL

File one completed form with the Planning Board and then file a copy
with the City Clerk in accordance with the requirements of §A676-3.

Marlborough, Massachusetts

Note: Use as many sheets as necessary to fully describe all
of the properties affected in this plan submission.

Date: Aug 17, 2022

To the Marlborough Planning Board:

The undersigned, believing that the accompanying plan of their property in the City of Marlborough does not constitute a subdivision within the meaning of the Subdivision Control Law, herewith submit said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

- Name of Applicant: Dave Williams
Address: 1024 Hemenway St. Ext. Marlboro
Email: DHW6599@gmail.com Telephone: 508-330-6599
- Name of Owner (if different): Thirty Four Stevens Street Realty Trust
Address: c/o Dave Williams - 1024 Hemenway St Extension, Marlboro, Ma.
Email: _____ Telephone: 508-330-6599
- Name of Surveyor: Robert J. Parente
Address: 328 Desimone Dr., Marlboro, Ma. 01752
Email: RJPTEH2@verizon.net Telephone: 508-509-0891
- Property(ies) Information
Deed References (South Middlesex Registry of Deeds): Book 25304 PG 455, BK25304 PG 456
Book 25304 457.
Assessors Reference(s): Map: 57 Parcel: 235 & 236
Map: 57 Parcel: 237
Property Address(es): 34 Stevens St.
Property Description: Three parcels of land to be recombined to
make one lot.

5. Number of lots altered: 1 Number of lots created: 1Signature of Owner: Dave WilliamsPrint: David Williams, TrusteeAddress: 1024 Hemenway St. Ext.
Marlboro

Signature of Owner: _____

Print: _____

Address: _____

PLANNING BOARD
DATE 8/17/22
AGENDA 8/22/22
ACTION _____

DAVID H WILLIAMS
SUSAN E WILLIAMS

2277

53-9421/2113

8/16/2022

CHECK ARMOR
STAYS PROTECTED

PAY TO THE
ORDER OF

CITY OF MARLBOROUGH
One Hundred

\$ 100.-

DOLLARS



Photo
Safe
Deposit
Details on back



st. mary's credit union

P.O. BOX 729

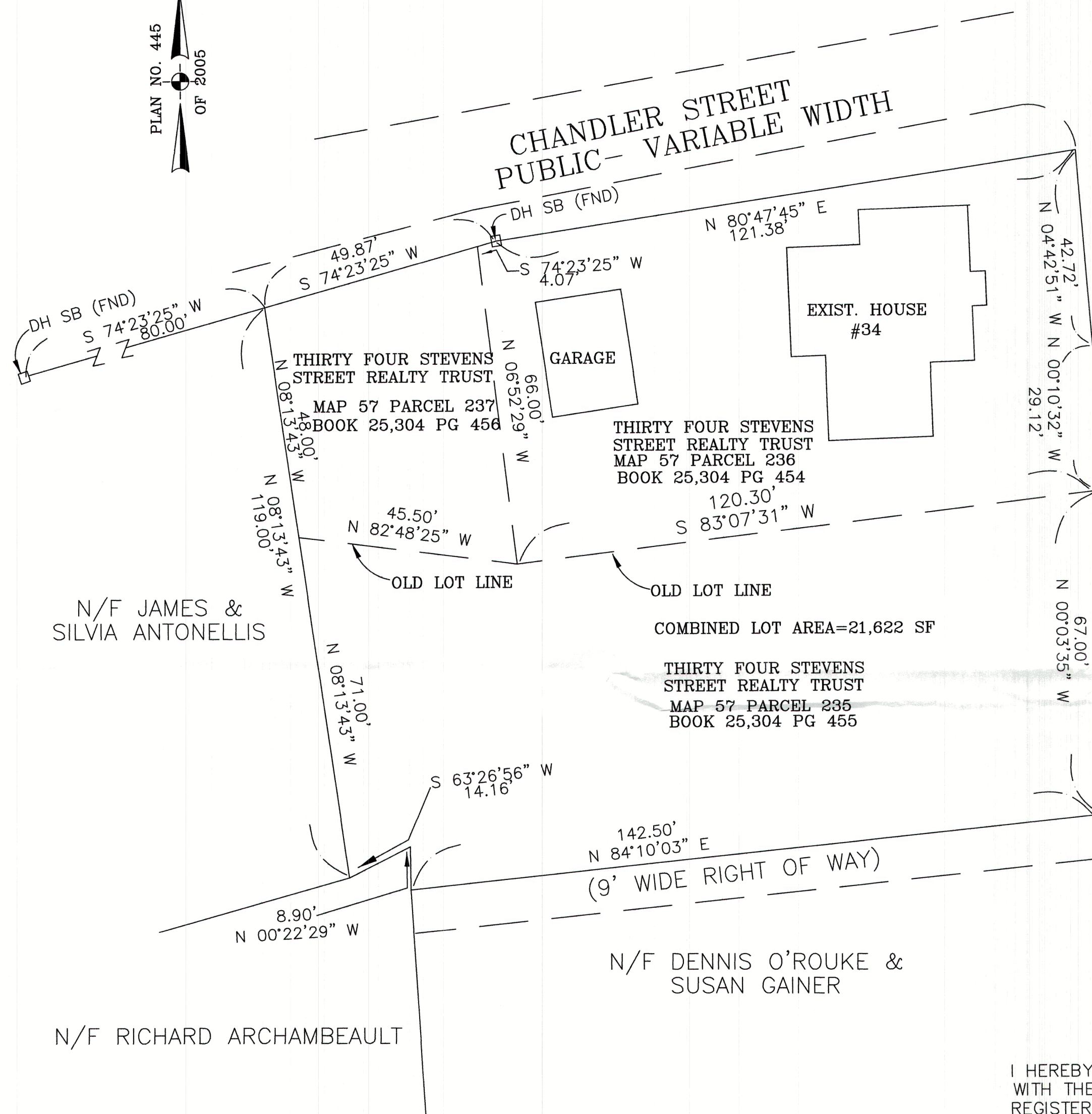
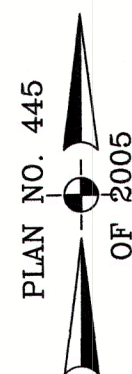
MARLBOROUGH, MASSACHUSETTS 01752

FOR

1

David H. Williams

Marlboro Cjerja



N/F JAMES &
SILVIA ANTONELLIS

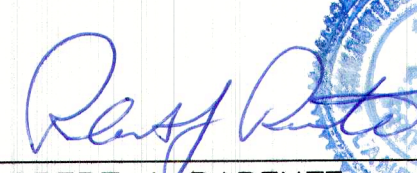
N/F RICHARD ARCHAMBEAULT

N/F DENNIS O'ROUKE &
SUSAN GAINER

REGISTRY USE ONLY

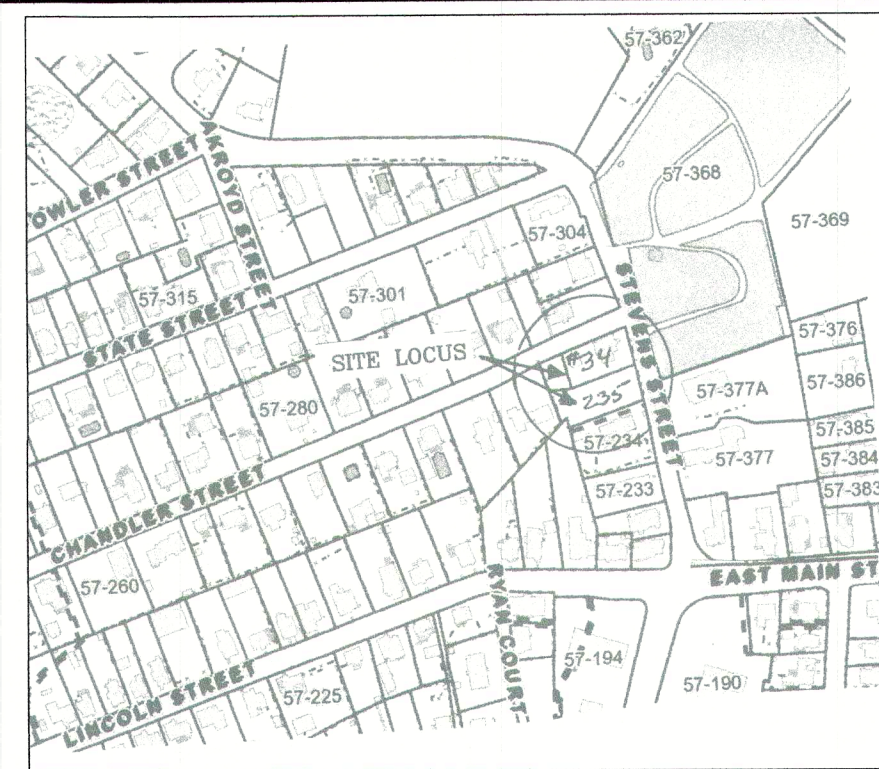
ZONING REQUIREMENTS
RES. A-3 ZONE
STREET FRONTAGE - 100' MINIMUM
LOT AREA - 18,000 SF MINIMUM
FRONT SETBACK - 30'
SIDE SETBACK - 15'
REAR SETBACK - 30'

I HEREBY CERTIFY THAT I HAVE CONFORMED
WITH THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS IN PREPARING THIS PLAN.


ROBERT J. PARENTE, P.L.S. #35,787



BAR SCALE



LOCUS MAP

ZONING DISTRICT - RES. A-3

APPROVAL UNDER THE SUBDIVISION CONTROL
LAW NOT REQUIRED.

MARLBOROUGH PLANNING BOARD

MEMBER _____

DATE: _____

NOTE:
THE PURPOSE OF THIS PLAN IS TO COMBINE THREE
PARCELS OF LAND IN TO ONE COMBINED LOT.
PARCELS ARE SHOWN ON MARLBORO ASSESSORS MAP 57
PARCELS 235, 236 AND 237.

PLAN OF LAND
IN
MARLBOROUGH, MASSACHUSETTS

OWNED BY: THIRTY FOUR STEVENS STREET REALTY TRUST
LOCATION : 34 STEVENS STREET
PREPARED BY: RJP CONSTRUCTION & ENGINEERING
328 DESIMONE DR. MARLBOROUGH, MA.
DATE: AUGUST 15, 2022 SCALE: 1"=20'

Katlyn Miller

From: Katlyn Miller
Sent: Friday, August 19, 2022 10:51 AM
To: Katlyn Miller
Subject: FW: Sudbury st update

-----Original Message-----

From: kcoservice <kcoservice@aol.com>
Sent: Tuesday, August 2, 2022 4:00 PM
To: Katlyn Miller <kmiller@marlborough-ma.gov>
Subject: Sudbury st update

Hi

Tree cutter do in later this week (weather permitting) Est 2 weeks to cut trees Then stump and strip.

That's the next 4 week forecast

Thx
Kevin O'Malley

Sent from my iPhone

-----Original Message-----

From: kcoservice <kcoservice@aol.com>
Sent: Wednesday, August 17, 2022 12:31 PM
To: Katlyn Miller <kmiller@marlborough-ma.gov>
Subject:

Cutter showed up

FYI

Sent from my iPhone



City of Marlborough
Department of Public Works

135 NEIL STREET
 MARLBOROUGH, MASSACHUSETTS 01752
 TEL. 508-624-6910
 *TDD 508-460-3610

SEAN M. DIVOLL, P.E.
 COMMISSIONER

August 18, 2022

Marlborough Planning Board

RE: Proposed Open Space Subdivision
 Stow Road

Chair Fenby and Board Members,

At its July 25 meeting the Board heard an informal presentation of the proposed Open Space Subdivision on the former 547 Stow Road property (Map 20, Parcel 4A). During the discussion the Board raised several questions and referred them to the Engineering Division for input. I offer the following in response to each of the questions:

- Question: Is there a portion of Stow Road which is owned in part by the abutting private property owners? Answer: No, but during the approval of the Robert Road subdivision in 1987, a strip of land on each of the lots that fronted on Stow Road was reserved, for future widening of Stow Road.
- Question: Is there sufficient area in the recently approved ANR lots on the subject parcel for a similar widening parcel? Answer: As they are currently configured, there is not sufficient area within the ANR lots to subdivide a parcel to be deeded for road widening. It may be possible to re-configure them to allow for it - the applicant's engineer would have to confirm.
- Question: Is Stow Road being paved? Answer: Yes, Stow Road will be resurfaced this year. The current schedule for the work is late September.

I will be attending your meeting on August 22 and can discuss these matters further. In the meantime, if you have any questions regarding the above, please do not hesitate to contact me at (508) 624-6910.

Sincerely,

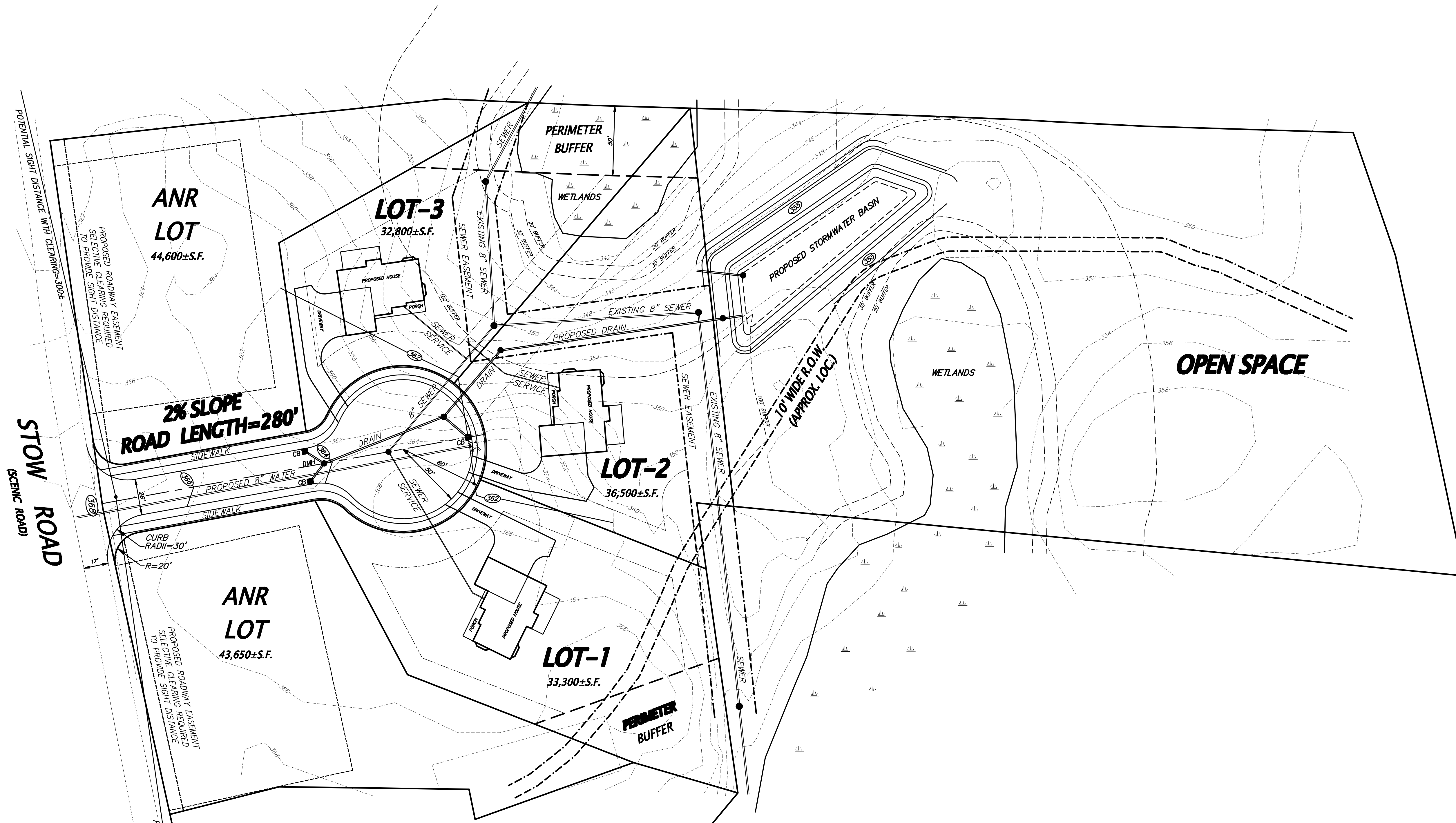
Thomas DiPersio, Jr., PE, PLS
 City Engineer

copy: Applicant and representative

THEODORE L. SCOTT, P.E.
 ASST. COMMISSIONER, OPERATIONS

CHRISTOPHER S. LAFRENIERE
 ASST. COMMISSIONER, UTILITIES

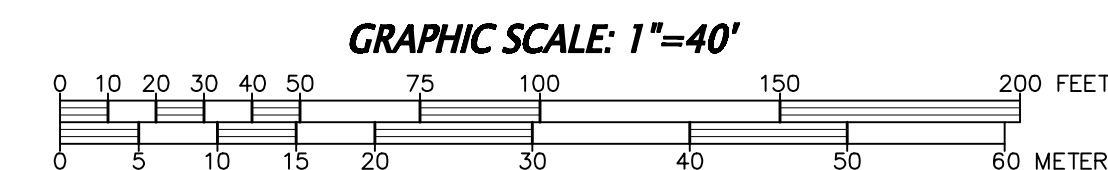
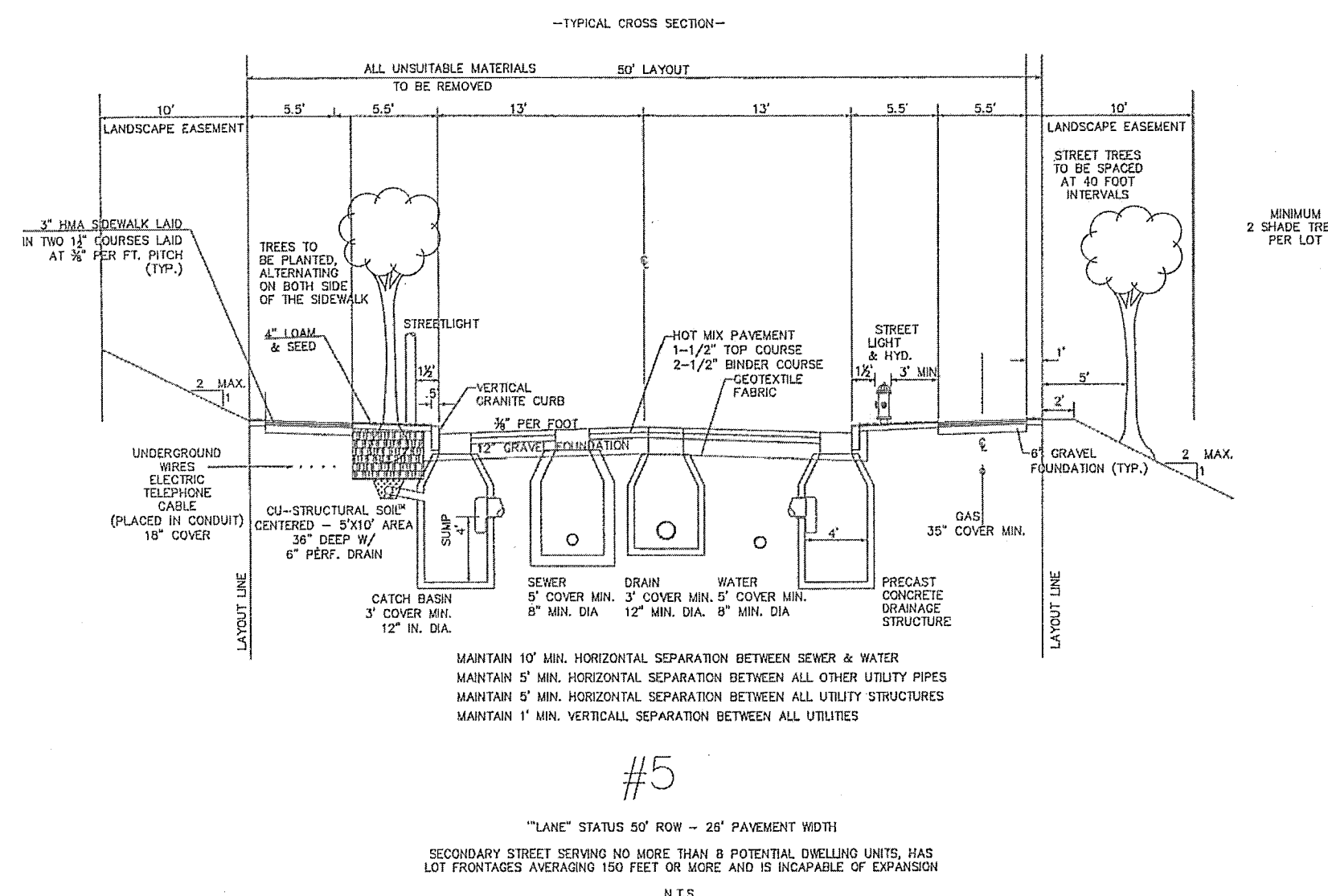
THOMAS DIPERSIO, JR. P.E., P.L.S.
 CITY ENGINEER



OPEN SPACE DEVELOPMENT

CLUSTER SITE AREA = 6.36 ± Acres
OPEN SPACE REQUIRED = 40% (2.55 Acres)
OPEN SPACE PROVIDED = 54% (3.46 Acres)
OPEN SPACE UPLAND = 3.16 Acres

ZONED: RURAL RESIDENCE RR
AREA = 20,000 sf
FRONTAGE = 70 feet
LOT WIDTH AT FRONT SETBACK = 90'
SETBACKS: FRONT = 25 feet
SIDE = 15 feet
REAR = 25 feet



PREPARED FOR:
KENDALL HOMES

**CONNORSTONE
ENGINEERING INC.**
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 WWW.CSEL.NET
SUDBURY, MASSACHUSETTS 01776
PHONE: 978-443-9566

**SKETCH PLAN OF LAND
OPEN SPACE DEVELOPMENT
STOW ROAD
IN
MARLBOROUGH, MA**

| | |
|---------------------|----------------|
| 7-7-22 | SIGHT DISTANCE |
| 6-20-22 | NEW HOUSES |
| REVISED: | DESCRIPTION: |
| DRAWN BY: REM | CHECK BY: VC |
| DATE: JUNE 13, 2022 | |
| SCALE: 1"=40' | SHEET 1 OF 1. |





City of Marlborough Planning Board

Administrative Office
135 Neil St.
Marlborough, MA 01752

7A.i
PLANNING BOARD

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2020 JUL 23 P 3:23
Barbara L. Fenby, Chair
Philip Hodge
Sean N. Fay
George LaVenture
Christopher Russ
Matthew Elder
Krista Holmi, Administrator
(508) 624-6910 x33200
kholmi@marlborough-ma.gov

Mr. Steven Kerrigan, City Clerk
City of Marlborough
140 Main St.
Marlborough, MA 01752

RE: Commonwealth Heights Definitive Subdivision Votes

Dear Mr. Kerrigan:

At its regularly scheduled meeting on 7/20/2020, the Planning Board took the following actions:

On a motion by Mr. Russ, seconded by Mr. Elder it was duly voted:

To accept and file the July 16, 2020 Commonwealth Heights Definitive Subdivision engineering review letter from Assistant City Engineer Collins. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Carried 6-0.

Waiver Votes:

- 1) On a motion by Mr. Fay, seconded by Mr. Elder, it was duly voted:
To grant a waiver of Section IV. Design Standard § 676-12 for a Road Greater than 500 Feet. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Carried 6-0.
- 2) On a motion by Mr. Russ, seconded by Mr. Elder, it was duly voted:
To grant a waiver of Section V. Required Improvements for an Approved Subdivision §A676-24, B2 to reduce pavement width from 32 feet to 28 feet. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Carried 6-0.
- 3) On a motion by Mr. Fay, seconded by Mr. Russ, it was duly voted:
To grant a waiver of Section V. Required Improvements for an Approved Subdivision §A676-26, A (1), to reduce the sidewalk width from 6 feet to 5 feet. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Carried 6-0.
- 4) On a motion by Mr. Fay, seconded by Mr. Elder, it was duly voted:
To grant a waiver of Section V. Required Improvements for an Approved Subdivision §A676-27, A, to allow for a grass strip between the granite curbing and the sidewalk. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Carried 6-0.
- 5) On a motion by Mr. Fay, seconded by Mr. Elder, it was duly voted:
To grant a waiver of Section V. Required Improvements for an Approved Subdivision §A676-28, A to allow for street tree plantings to be staggered Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Carried 6-0.

On a motion by Mr. LaVenture, seconded by Mr. Russ, it was duly voted:
To approve the following definitive subdivision plan with each of the five waivers granted:

Definitive Subdivision Plan of Commonwealth Heights in Marlborough, Massachusetts

Owner: Marlborough/Northborough Land Realty Trust

Subdivider: Commonwealth Heights, LLC

Prepared by: Connorstone Consulting Civil Engineers and Land Surveyors

Date: October 24, 2019 (Last revised 7-16-20)

Plan to be endorsed after the twenty (20) day appeal period, provided no appeal has been filed.

Sincerely,

A handwritten signature in cursive script, reading "Barbara L. Fenby".

Barbara L. Fenby
Chairperson

cc: City Engineer
Scott Weiss, The Gutierrez Company
Connorstone

From: Jason Grossfield
Sent: Thursday, August 18, 2022 9:27 AM
To: Katlyn Miller
Cc: Thomas DiPersio; Jeremy McManus
Subject: Question re: Public Hearing / Pettes Drive Definitive Plan

Dear Honorable Planning Board Members: You requested an opinion as to whether the revisions (primarily reducing the number of lots) to the above-referenced definitive plan application require a further public hearing. In my opinion, they do not.

It is my understanding the number of lots on the plan was reduced from six to five in order to comply with the City's zoning ordinance relative to lot shape. Prior to the close of the public hearing, the City Engineer's letter dated May 3, 2022 raised lot shape/configuration as an issue to be addressed by the applicant. As a public hearing to consider a definitive subdivision plan is quasi-judicial in nature (*McElderry v. Planning Bd. of Nantucket*, 431 Mass. 722, 726 (2000)), if requested, the Board may wish to consider affording any parties opposing the application an opportunity for rebuttal with respect to the changes made to the plan after the close of the hearing.

Please let me know if you have any questions.

Thank you,
-Jason

Jason D. Grossfield
City Solicitor
City of Marlborough
City Hall, 4th Floor
140 Main Street
Marlborough, MA 01752
T: (508) 460-3771
F: (508) 460-3698
jgrossfield@marlborough-ma.gov

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City of Marlborough
Department of Public Works

135 NEIL STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL. 508-624-6910
*TDD 508-460-3610

7B.ii

SEAN M. DIVOLL, P.E.
COMMISSIONER

August 18, 2022

Marlborough Planning Board

RE: Definitive Subdivision Plan
"Pettes Drive" (FKA "Colchester Drive"), Stevens Street

Chair Fenby and Board Members,

The Engineering Division has conducted a review of the updated Definitive Subdivision Plans entitled:
"Definitive Plan for Pettes Drive, Map 44, Lot 148, Marlborough, Massachusetts", Dated: March 11, 2022,
revised July 21, 2022

The plans were updated to address comments from the Engineering Division in a letter to the board dated May 3, 2022. Upon our review we can confirm that the majority of our comments have been addressed. At this time our outstanding issues with the plans are as follows:

- We do not approve of the proposed "curb inlet", to convey runoff from the roadway under the sidewalk into the basin. The grades should allow for a traditional catch basin at this location instead of the curb inlet.
- The proposed drainage overflow pipe from the infiltration basin should be moved to the north end of the basin and connected to the existing catch basin in Stevens Street, instead of the proposed drainage connection and piping in Stevens Street as they are shown on the plan.
- Bounds shall be set at all easement corners.
- Invert information and size is needed for the flared end sections.
- The proposed roadway should be referred to as "Parcel A" instead of "Lot A".
- The plan should contain a note stating that the exact locations of the proposed street trees shall be determined after site utilities are installed, and approved by the Marlborough DPW.
- Where possible, the sewer main should be moved to provide 5 feet separation from the drain.

These comments are generally minor in nature and we can work with the engineer in addressing them. I will be at your meeting on August 22 and can discuss further at that time. In the meantime if you have any questions regarding the above, please do not hesitate to contact me.

Sincerely,

Thomas D. Persio

Thomas DiPersio, Jr., PE, PLS
City Engineer

THEODORE L. SCOTT, P.E.
ASST. COMMISSIONER, OPERATIONS

CHRISTOPHER S. LAFRENIERE
ASST. COMMISSIONER, UTILITIES

THOMAS DIPERSIO, JR. P.E., P.L.S.
CITY ENGINEER

DEFINITIVE PLAN
FOR
PETTES DRIVE
MAP 44 LOT 148
MARLBOROUGH, MASSACHUSETTS
MIDDLESEX COUNTY
MARCH 11, 2022

APPROVED BY THE
MARLBOROUGH PLANNING BOARD

DATE:

REGISTRY USE ONLY:

GENERAL NOTES

- FOR ADDITIONAL PROPERTY LINE INFORMATION REFER TO THE DEED IN BOOK 9742, PAGE 362 RECORDED AT THE MIDDLESEX REGISTRY OF DEEDS.
- CITY OF MARLBOROUGH ASSESSOR'S MAP/LOT REFERENCE FOR THE PROJECT IS MAP 44, LOT 148.
- THE ZONING CLASSIFICATION FOR THIS PROJECT IS RESIDENTIAL ZONES A-2 AND A-3.
- THIS PLANSET IS INTENDED FOR PERMITTING REVIEW AND APPROVAL ONLY.

DRAWING INDEX

| | |
|-------|--------------------------|
| G-001 | TITLE SHEET |
| G-002 | ABUTTERS LIST |
| E-001 | EXISTING CONDITIONS PLAN |
| C-001 | LOTING PLAN |
| C-002 | GRADING AND UTILITY PLAN |
| C-003 | PLAN & PROFILE |
| C-004 | CONCEPTUAL SITE PLAN |
| C-005 | EROSION CONTROL PLAN |
| C-006 | DETAIL SHEET 1 OF 5 |
| C-007 | DETAIL SHEET 2 OF 5 |
| C-008 | DETAIL SHEET 3 OF 5 |
| C-009 | DETAIL SHEET 4 OF 5 |
| C-010 | DETAIL SHEET 5 OF 5 |

PREPARED FOR:

APPLICANT:

CHARLES BOURQUE
STEVENS STREET DEVELOPMENT LLC
131 BLACK BEAR DRIVE, SUITE 1912
WALTHAM, MA 02451

OWNER:

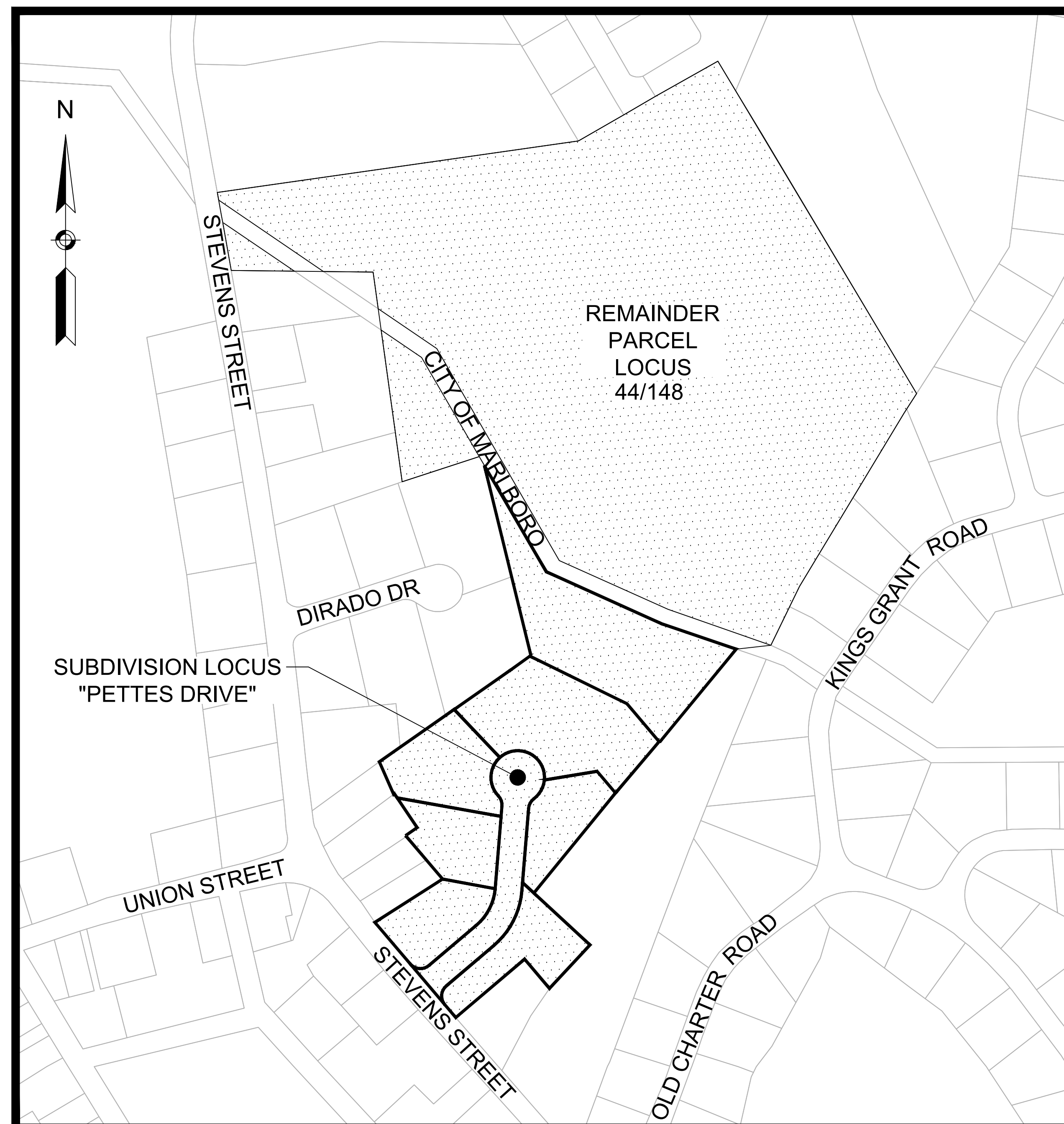
JAMES & REBECCA CHAOUSIS
283 BOLTON STREET
MARLBOROUGH, MA 01752

PREPARED BY:

CIVIL:



WSP USA
100 SUMMER STREET
BOSTON, MA 02110



PROJECT LOCUS

SCALE: 1" = 150'

ZONING
RESIDENTIAL CLASS A-2 & A-3

ZONING REQUIREMENTS

| | ZONE A-2 | ZONE A-3 |
|----------------------|-------------|-------------|
| MINIMUM LOT AREA | 18,000 S.F. | 12,500 S.F. |
| FRONTAGE | 120 FT. | 100 FT. |
| FRONT YARD | 30 FT. | 20 FT. |
| SIDE YARD | 15 FT. | 15 FT. |
| REAR YARD | 40 FT. | 30 FT. |
| MAXIMUM LOT COVERAGE | 30% | 30% |

PROPOSED LOTS ZONING COMPLIANCE

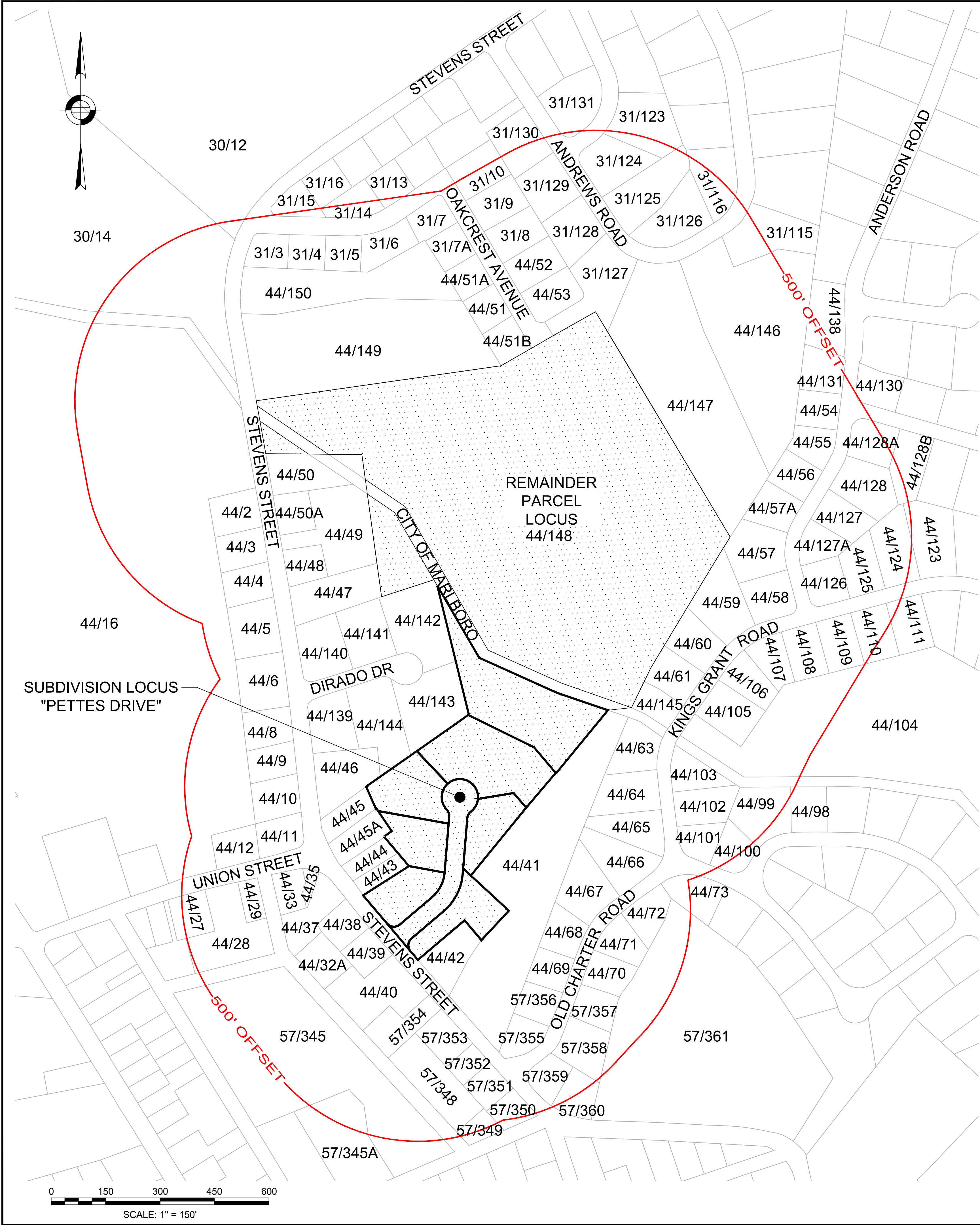
| | LOT 1 | LOT 2 | LOT 3 | LOT 4 | LOT 5 |
|-----------------------|--------------|--------------|--------------|--------------|--------------|
| ZONING CLASSIFICATION | A-2/A-3 | A-2 | A-2 | A-2 | A-2 |
| LOT AREA | 20,275± S.F. | 18,000± S.F. | 26,142± S.F. | 51,805± S.F. | 24,315± S.F. |
| FRONTAGE | 217± FT. | 131± FT. | 120± FT. | 120± FT. | 213± FT. |
| FRONT YARD | 30 FT. | 30 FT. | 30 FT. | 30 FT. | 30 FT. |
| SIDE YARD | 15 FT. | 15 FT. | 15 FT. | 15 FT. | 15 FT. |
| REAR YARD | 40 FT. | 40 FT. | 40 FT. | 40 FT. | 40 FT. |



| REVISIONS: | | | |
|------------|---------|--------------------------|-----|
| REV NO: | DATE: | DESCRIPTION: | BY: |
| 1 | 7/21/22 | PLANNING BOARD REVISIONS | NSB |
| | | | |
| | | | |

SHEET NUMBER:

G-001




ABUTTERS LIST

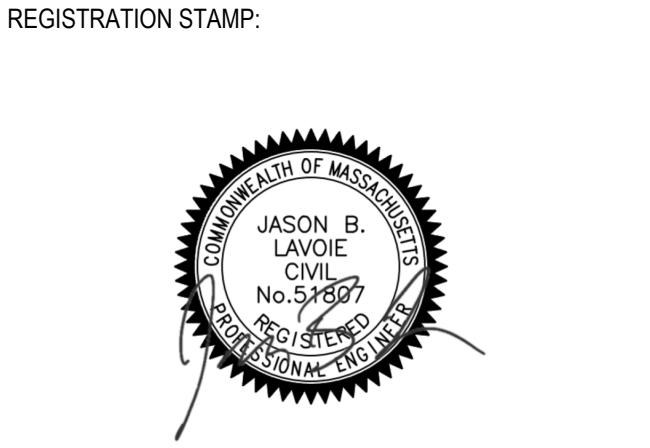
| PARCEL NUMBER | PROPERTY ADDRESS | OWNER'S NAME | PARCEL NUMBER | PROPERTY ADDRESS | OWNER'S NAME |
|---------------|-----------------------|------------------------------|---------------|---------------------|------------------------------|
| 30-12 | 431-441 BOLTON STREET | CITY OF MARLBOROUGH | 44-57A | 16 ANDERSON ROAD | LADRIE, BETHANY |
| 30-14 | BOLTON STREET | BSL MARLBORO DEVELOPMENT LLC | 44-58 | 68 KINGS GRANT ROAD | DEPAULA, DOUGLAS |
| 31-10 | 48 OAKCREST AVENUE | COMEAU, JOHN W TR | 44-59 | 56 KINGS GRANT ROAD | PETERS, MICHAEL R TR |
| 31-115 | 66 ANDREWS ROAD | GIROUX, JOSEPH R JR | 44-6 | 238 STEVENS STREET | MOVITZ, DAMON A |
| 31-116 | 59 ANDREWS ROAD | ALPERT, BETTINA P | 44-60 | 48 KINGS GRANT ROAD | MARTIN, THOMAS A |
| 31-117 | 45 ANDREWS ROAD | VENTURA, LISA | 44-61 | 40 KINGS GRANT ROAD | TAYLOR, PAUL R |
| 31-123 | 30 BAKER DRIVE | PIKUL, ANTHONY | 44-63 | 24 KINGS GRANT ROAD | OATES, LUANN M TR |
| 31-124 | 38 BAKER DRIVE | DING, WEI S | 44-64 | 16 KINGS GRANT ROAD | BROOKS, CATHERINE O |
| 31-125 | 103 ANDREWS ROAD | PIANTEDOSI, MICHAEL | 44-65 | 8 KINGS GRANT ROAD | RAMOS, ROWEL |
| 31-126 | 85 ANDREWS ROAD | LOGAN, EILEEN | 44-66 | 48 OLD CHARTER ROAD | SENECAL, PATRICIA A |
| 31-127 | 98 ANDREWS ROAD | MARTIN, CHRISTOPHER T | 44-67 | 42 OLD CHARTER ROAD | BENNETT, STEPHEN L |
| 31-128 | 108 ANDREWS ROAD | HAER, DONALD FREDRICK TR | 44-68 | 34 OLD CHARTER ROAD | HARTSHORN, KENNETH |
| 31-129 | 118 ANDREWS ROAD | LOSADA, RICARDO A | 44-69 | 26 OLD CHARTER ROAD | PLANTE, ROBERT B |
| 31-13 | 36 OAKCREST AVENUE | COOKE, JAMES L | 44-70 | 29 OLD CHARTER ROAD | NIMS, ROBERT E JR |
| 31-130 | 130 ANDREWS ROAD | PATNODE, JASON | 44-71 | 39 OLD CHARTER ROAD | CARREIRA, RAYMOND A |
| 31-131 | 25 BAKER DRIVE | SALITURO, FRANCESCO G TR | 44-72 | 47 OLD CHARTER ROAD | CHAVES, JOSEPH E |
| 31-14 | 24 OAKCREST AVENUE | LIRETTE, EDGAR J | 44-73 | 67 OLD CHARTER ROAD | CABRAL, MATTHEW S |
| 31-15 | 345 STEVENS STREET | HADDAD, MATTHEW | 44-8 | 224 STEVENS STREET | FREDETTE-GRAVES, ALYSON JANE |
| 31-16 | 353 STEVENS STREET | LEAVER, CHRISTOPHER R G | 44-9 | 218 STEVENS STREET | GASPARDI, DAVID P |
| 31-3 | 329 STEVENS STREET | MCCARTHY, MICHAEL K | 44-98 | 161 CLINTON STREET | SANTANA, MISSIAS L |
| 31-4 | 11 OAKCREST AVENUE | JOHNSON, CHRISTOPHER R W | 44-99 | 169 CLINTON STREET | AHERN, HAROLD M |
| 31-5 | 21 OAKCREST AVENUE | CAVICCHI, PAULINE M LI EST | 57-345 | 29 FOWLER STREET | DOUGLAS, PAUL C |
| 31-6 | 27 OAKCREST AVENUE | AYKANIAN, AARON S | 57-345A | 39 FOWLER STREET | COLOMBO, ROBERT A |
| 31-7 | 41 OAKCREST AVENUE | KEIGWIN, RICHARD P | 57-348 | HENRY STREET | TSARDOUNIS, GEORGE PETER TR |
| 31-7A | 57 OAKCREST AVENUE | BOOTH, SHELAGH | 57-349 | 15 FOWLER STREET | TSIANATELIS, MEROPI |
| 31-8 | 62 OAKCREST AVENUE | MCKEAN, JAIMIE A | 57-350 | 116 STEVENS STREET | BRECKEN, THOMAS F TR |
| 31-9 | 54 OAKCREST AVENUE | ADAMOWICZ, MATTHEW A | 57-351 | 132 STEVENS STREET | CHU, WILSON |
| 44-10 | 210 STEVENS STREET | TORRES, DIRIAN | 57-352 | 140 STEVENS STREET | CHU, VINCENT |
| 44-100 | 70 OLD CHARTER ROAD | CORMIER, DAVID P | 57-353 | 158 STEVENS STREET | MOHRAN, SUSAN J |
| 44-101 | 64 OLD CHARTER ROAD | DUQUETTE, GEORGE T | 57-354 | STEVENS STREET | MOHRAN, SUSAN J |
| 44-102 | 11 KINGS GRANT ROAD | SCANNELL, BRIAN M | 57-355 | 4 OLD CHARTER ROAD | DALEY, COLIN P |
| 44-103 | 19 KINGS GRANT ROAD | DIEHL, SCOTT | 57-356 | 18 OLD CHARTER ROAD | VATASOIU, LUMINITA |
| 44-104 | KINGS GRANT ROAD | CITY OF MARLBOROUGH | 57-357 | 19 OLD CHARTER ROAD | REGAN, TIMOTHY P |
| 44-105 | 39 KINGS GRANT ROAD | AUDEBRAND, EMLIEN | 57-358 | 11 OLD CHARTER ROAD | GRACEY, FAWN |
| 44-106 | 49 KINGS GRANT ROAD | ARROYO, MICHAEL | 57-359 | 3 OLD CHARTER ROAD | GRIFFIN, MARK E |
| 44-107 | 59 KINGS GRANT ROAD | BONINA, ROBERT P | 57-360 | 113 STEVENS STREET | HOUSE, DENNIS C |
| 44-108 | 65 KINGS GRANT ROAD | BELAIR REALTY LLC | 57-361 | STEVENS STREET | CITY OF MARLBOROUGH |
| 44-109 | 75 KINGS GRANT ROAD | DOULIN, BETTE ANN TR | | | |
| 44-11 | 1 UNION STREET | LOCKETT, ROSE N | | | |
| 44-110 | 83 KINGS GRANT ROAD | WOOD, MICHAEL R | | | |
| 44-111 | 91 KINGS GRANT ROAD | TESMER, BERNARD W | | | |
| 44-12 | 15 UNION STREET | GARCIA-PELLECE, CRISTOBAL D | | | |
| 44-123 | 100 KINGS GRANT ROAD | CANALE, BRIAN E | | | |
| 44-124 | 92 KINGS GRANT ROAD | LAMARCHE, RICHARD L TR | | | |
| 44-125 | 84 KINGS GRANT ROAD | GRIFFIN, CHARLES E | | | |
| 44-126 | 74 KINGS GRANT ROAD | SUMMERLIN, CYNTHIA | | | |
| 44-127 | 21 ANDERSON ROAD | CAMPBELL, DANIEL R | | | |
| 44-127A | 13 ANDERSON ROAD | GONEAU, KATHLEEN M | | | |
| 44-128 | 29 ANDERSON ROAD | COSTA, GILMA L | | | |
| 44-128A | 5 RIDGE ROAD | DENEEN, THOMAS S | | | |
| 44-128B | 13 RIDGE ROAD | WENZEL, LARRY A | | | |
| 44-130 | 6 RIDGE ROAD | HERRMANN, ROBERT W | | | |
| 44-131 | 48 ANDERSON ROAD | STRICKLAND, CHARLES N | | | |
| 44-138 | 68 ANDERSON ROAD | MORRISROE, EILEEN A | | | |
| 44-139 | 221 STEVENS STREET | MCCURLEY, PAUL G | | | |
| 44-140 | 239 STEVENS STREET | LOTHIAN, PETER A | | | |
| 44-141 | 16 DIRADO DRIVE | LADDEN, LINDA M | | | |
| 44-142 | 24 DIRADO DRIVE | TURCOTTE, BENJAMIN | | | |
| 44-143 | 23 DIRADO DRIVE | MELLACE, ANTHONY S | | | |
| 44-144 | 11 DIRADO DRIVE | CUTONE, JOHN O | | | |
| 44-145 | KINGS GRANT ROAD | CITY OF MARLBROUGH | | | |
| 44-146 | 80 ANDREWS ROAD | FINOCCHARIO, KRISTINE | | | |
| 44-147 | 88 ANDREWS ROAD | UTANO, NICHOLAS | | | |
| 44-149 | 309 STEVENS STREET | CHAOUSIS, JAMES | | | |
| 44-150 | 315 STEVENS STREET | CHAOUSIS, JAMES | | | |
| 44-16 | 25 UNION STREET | CITY OF MARLBROUGH | | | |
| 44-2 | 272 STEVENS STREET | GODFREY, KATHLEEN A | | | |
| 44-26 | UNION STREET | AGORITSAS, CATHLEEN M TR | | | |
| 44-27 | 30 UNION STREET | SHEAHAN, MICHAEL T | | | |
| 44-28 | 28 UNION STREET | ODONOVAN, SEAN | | | |
| 44-29 | 14 UNION STREET | REIS, RENATO | | | |
| 44-3 | 268 STEVENS STREET | MOREAU, LEIGH ANN | | | |
| 44-32A | HENRY STREET | PETERSON, EDWARD G | | | |
| 44-33 | 6 UNION STREET | GEARY, TIMOTHY F | | | |
| 44-37 | 186 STEVENS STREET | ZOUHARIS, DEMETRIOS | | | |
| 44-38 | 180 STEVENS STREET | COSTA, LUANA | | | |
| 44-39 | 172 STEVENS STREET | BARNUM, ROGER | | | |
| 44-4 | 258 STEVENS STREET | MCCABE, RALPH F LI EST | | | |
| 44-40 | 164 STEVENS STREET | FRASER, KYLE J | | | |
| 44-41 | 155 STEVENS STREET | SILVA BLANCA N LI EST | | | |
| 44-42 | 159 STEVENS STREET | STOURNARAS, JOHN | | | |
| 44-43 | 183 STEVENS STREET | DANGELO, ALEXANDER JR | | | |
| 44-44 | 187 STEVENS STREET | PALLY, ROSHIN KADANNA | | | |
| 44-45 | 193 STEVENS STREET | ELIZIARIO, BRYAN R | | | |
| 44-45A | 197 STEVENS STREET | REGO, MANUEL A | | | |
| 44-46 | 211 STEVENS STREET | WANG, ANGELA | | | |
| 44-47 | 255 STEVENS STREET | NASUTI JOSEPH TR | | | |
| 44-48 | 257 STEVENS STREET | LANE, THOMAS P | | | |
| 44-49 | 259 STEVENS STREET | SHERMAN, ERIKA J | | | |
| 44-5 | 250 STEVENS STREET | BALDELLI, THOMAS J | | | |
| 44-50 | 265 STEVENS STREET | SYLVESTER, THOMAS W | | | |
| 44-50A | 263 STEVENS STREET | VILLATORO, KAREN E | | | |
| 44-51 | 73 OAKCREST AVENUE | LACHAPPELLE, ROLAND R | | | |
| 44-51A | 65 OAKCREST AVENUE | GAUTHIER, ROBERT J | | | |
| 44-51B | 81 OAKCREST AVENUE | COGHETTO, GLEIFER | | | |
| 44-52 | 70 OAKCREST AVENUE | SHERMAN, JULIA P LI EST | | | |
| 44-53 | 78 OAKCREST AVENUE | GIONET, VINCENT R TR | | | |
| 44-54 | 40 ANDERSON ROAD | KAVALESKI, JOHN J JR | | | |
| 44-55 | 32 ANDERSON ROAD | NAVIN, MARIE F | | | |
| 44-56 | 24 ANDERSON ROAD | SIMONEAU, DANIEL R | | | |
| 44-57 | 12 ANDERSON ROAD | BAHMAD, MELISSA | | | |

APPROVED BY THE
MARLBOROUGH PLANNING BOARD

DATE:

PREPARED FOR:
CHARLES BOURQUE
131 BLACK BEAR DRIVE SUITE 1912
WALTHAM, MA 02451

PREPARED BY:

100 SUMMER STREET
BOSTON, MA 02110
617.426.7330



| REVISIONS: | | | |
|------------|---------|--------------------------|-----|
| REV NO. | DATE | DESCRIPTION | BY |
| 1 | 7/21/22 | PLANNING BOARD REVISIONS | NSB |
| | | | |
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| | | | |
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| | | | |
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REGISTRY USE ONLY:

PLAN TITLE:
PETTES DRIVE SUBDIVISION
ABUTTERS LIST
OF LAND IN MARLBOROUGH, MA
OWNED BY
JAMES CHAOUSIS

DISCIPLINE:
CIVIL

| DRAWN BY: | CHECKED BY: | APPROVED BY: |
|-----------|-------------|--------------|
| NB | JL | JL |

| SCALE: | DATE: |
|-----------|-----------|
| 1" = 150' | 3/11/2022 |

SHEET NUMBER:

G-002



APPROVED BY THE
MARLBOROUGH PLANNING BOARD

DATE:

LEGEND

- BMK BENCHMARK
- BOMO BOLT OVER MAIN OUTLET
- BIT BITUMINOUS PAVEMENT
- CONC CONCRETE PAVEMENT
- BC BITUMINOUS CURB
- GC GRANITE CURB
- LSA LANDSCAPED AREA
- FFE FINISHED FLOOR ELEVATION
- SRW STONE RETAINING WALL
- CRW CONCRETE RETAINING WALL
- BRW BLOCK RETAINING WALL
- SWL SOLID WHITE LINE
- DYL DOUBLE YELLOW LINE
- RC REINFORCED CONCRETE PIPE
- VC VITRIOUS CLAY PIPE
- PVC POLYVINYL CHLORIDE
- CA COATED ASBESTOUS PIPE
- DI DUCTILE CAST IRON PIPE
- INV. INVERT
- (R) RECORD INFORMATION
- NPV NO PIPES VISIBLE
- CNO COULD NOT OPEN
- CONCRETE BOUND WITH DRILL HOLE
- STONE BOUND WITH DRILL HOLE
- IRON PIPE FOUND
- IRON ROD FOUND
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- ELECTRIC BOX
- GAS VALVE
- WATER GATE
- WATER SHUT OFF
- FIRE HYDRANT
- GUY WIRE
- UTILITY POLE WITH RISER
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- DECIDUOUS TREE
- CONIFER TREE
- SHRUB
- SIGN (SINGLE POSTED)
- POST
- MAILBOX
- ABUTTERS LOT LINE
- PROPERTY LINE
- EASEMENT LINE
- ZONING LINE
- CHAIN LINK FENCE
- WOOD FENCE
- VINYL FENCE
- EDGE OF BROOK
- STONE WALL
- TREE LINE
- INTERMEDIATE CONTOURS
- INDEX CONTOURS

SURVEYORS NOTES

- THIS PLAN WAS PREPARED FROM AN ACTUAL ON THE GROUND FIELD SURVEY CONDUCTED BY WSP IN JUNE OF 2021.
- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, MASSACHUSETTS STATE PLANE MAINLAND COORDINATE SYSTEM AND WAS ESTABLISHED UTILIZING RTK GPS SURVEY TECHNIQUES.
- THE VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE VERTICAL DATUM NAVD88 AND WAS ESTABLISHED ON SITE UTILIZING RTK GPS SURVEY TECHNIQUES.
- THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE INFORMATION SHOWN HEREON. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF THE TITLE TO BOTH THE SUBJECT AND ADJOINING PARCELS SHOULD BE VERIFIED BY AN ACCURATE AND CURRENT TITLE REPORT. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT.
- THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON LABELED WITH AN (R) ARE FROM RECORD DOCUMENTS. ADDITIONAL FIELD INVESTIGATION WILL BE REQUIRED BY OTHERS TO DETERMINE THE ACTUAL PIPE SIZE(S) AND TYPE(S). GAS AND TELEPHONE RECORDS NOT YET RECIEVED.
- AREAS OF THIS PARCEL WITHIN 100 FEET OF STEVENS STREET IS IN ZONE A-3, WITH THE REMAINDER OF THE PARCEL IN ZONE A-2, WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS:

| | ZONE A-2 | ZONE A-3 |
|-----------------------|---------------|---------------|
| MINIMUM LOT AREA: | 18,000 S.F. | 12,500 S.F. |
| MINIMUM LOT FRONTAGE: | 120 FEET | 100 FEET |
| MINIMUM SIDE YARD: | 15 FEET | 15 FEET |
| MINIMUM FRONT YARD: | 30 FEET | 20 FEET |
| MINIMUM REAR YARD: | 40 FEET | 30 FEET |
| MAXIMUM HEIGHT: | 2 1/2 STORIES | 2 1/2 STORIES |
| MAXIMUM COVERAGE: | 30% | 30% |
- THIS PARCEL IS LOCATED WHOLLY WITHIN "ZONE X - AREA OF MINIMAL FLOOD HAZARD" AS SHOWN ON FIRM FLOOD MAP NUMBER 25017C0481F, EFFECTIVE DATE 7/7/2014.

GENERAL NOTES

- FOR ADDITIONAL PROPERTY LINE INFORMATION REFER TO THE DEED BOOK 9742, PAGE 362 RECORDED AT THE MIDDLESEX REGISTRY OF DEEDS.
- CITY OF MARLBOROUGH ASSESSOR'S MAP/LOT REFERENCE FOR THE PROJECT IS MAP 44, LOT 148.
- THE PLAN REFERENCES ARE RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS, SOUTHERN DISTRICT AS FOLLOWS: LAND COURT PLAN 19247-A, PLAN 1350 OF 1957, PLAN 688 OF 1959, PLAN 1346 OF 1967, PLAN 1557 OF 1968, PLAN 1560 OF 1968, PLAN 332 OF 1982, PLAN 1630 OF 1987 AND PLAN 467 OF 2018.
- THIS PLANSET IS INTENDED FOR PERMITTING REVIEW AND APPROVAL ONLY.

PREPARED FOR:
CHARLES BOURQUE
131 BLACK BEAR DRIVE SUITE 1912
WALTHAM, MA 02451

PREPARED BY:
wsp
100 SUMMER STREET
BOSTON, MA 02110
617.426.7330

CERTIFICATION:
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING AT THE REGISTRY OF DEEDS.

DAVID P. PRINCE
No. 52328
PROFESSIONAL LAND SURVEYOR

REVISIONS:

| REV NO. | DATE | DESCRIPTION | BY |
|---------|---------|--------------------------|-----|
| 1 | 7/21/22 | PLANNING BOARD REVISIONS | NSB |

REGISTRY USE ONLY:

PLAN TITLE:
PETTES DRIVE SUBDIVISION
EXISTING CONDITIONS PLAN
OF LAND IN MARLBOROUGH, MA
OWNED BY
JAMES CHAOUSIS

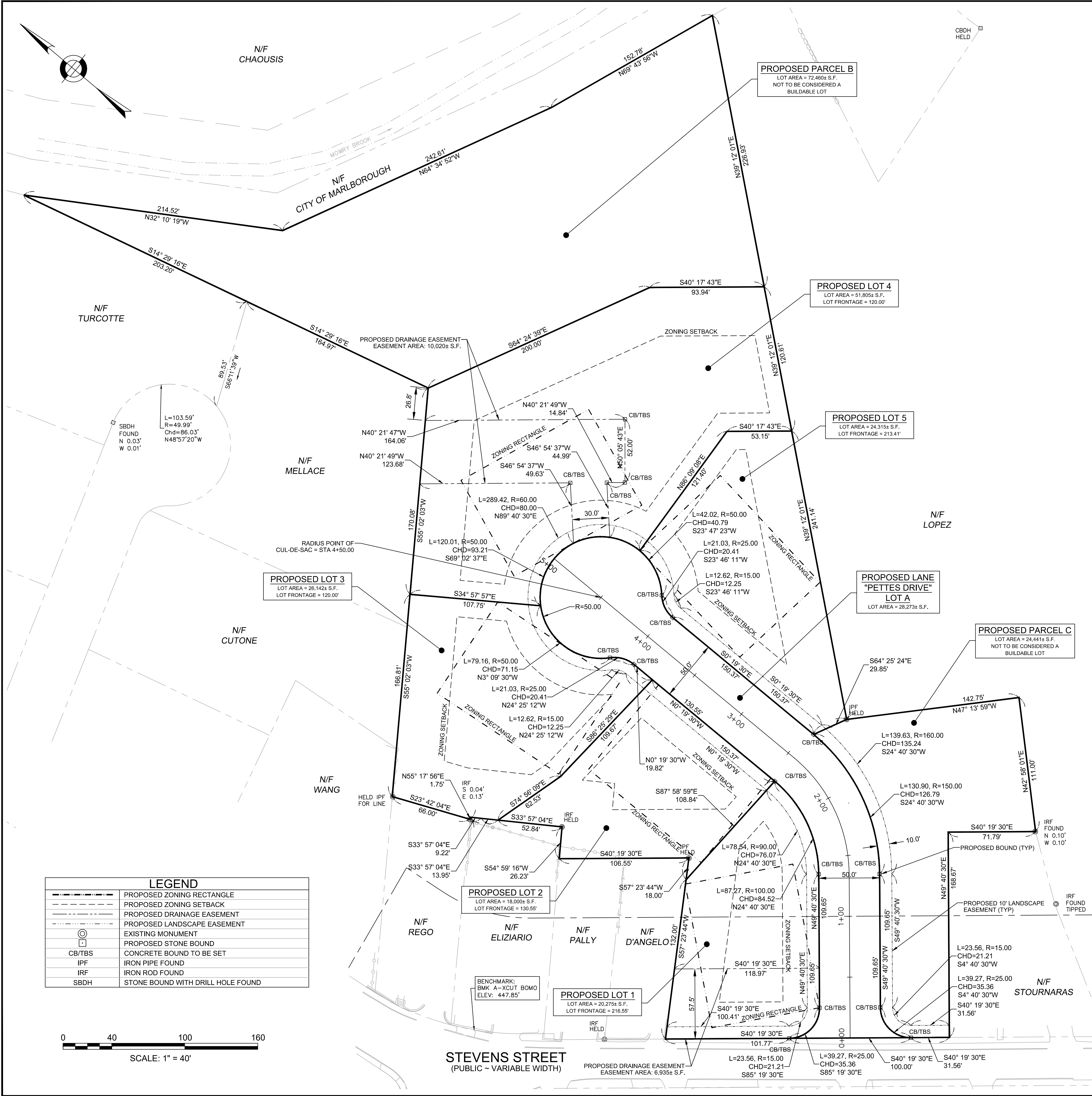
DISCIPLINE:
CIVIL

| | | |
|-----------|-------------|--------------|
| DRAWN BY: | CHECKED BY: | APPROVED BY: |
| NB | JL | JL |

SCALE:
1" = 40'

DATE:
3/11/2022

SHEET NUMBER:
E-001



APPROVED BY THE
MARLBOROUGH PLANNING BOARD

DATE:

PETTES DRIVE SUBDIVISION

SHEET NO. C-001

- TOTAL AREA OF ORIGINAL TRACT SHOWN ON THIS PLAN EQUALS 795,406 S.F.
1.a. AREA IN LOTS 1,2,3,4 & 5 EQUALS 140,537 S.F.
1.b. AREA IN STREETS EQUALS 28,273 S.F.
1.c. AREA IN EASEMENTS EQUALS 27,319 S.F.
1.d. AREA RESERVED FOR PARKS, SCHOOLS, ETC. EQUALS 96,901 S.F.
TOTAL AREA OF SUBDIVISION EQUALS 265,711 S.F.
TOTAL AREA REMAINING ON ORIGINAL TRACT EQUALS 529,695 S.F.
- STREETS:
PETTES DRIVE:
STATION 0+00.00 TO STATION 5+00.00
TOTAL AREA OF STREETS EQUALS 28,273 S.F.
- EASEMENTS:
DRAINAGE:
STATION 0+0.00 LT TO STATION 0+57.53 LT
STATION 4+76.00 RT TO STATION 4+95.82 RT
LANDSCAPE:
10' WIDE AROUND ENTIRE RIGHT OF WAY
TOTAL AREA OF EASEMENTS EQUALS 27,319 S.F.
- OTHER AREAS:
PARCEL B (NOT A BUILDABLE LOT) EQUALS 72,460 S.F.
PARCEL C (NOT A BUILDABLE LOT) EQUALS 24,441 S.F.

SURVEYORS NOTES

- THIS PLAN WAS PREPARED FROM AN ACTUAL ON THE GROUND FIELD SURVEY CONDUCTED BY WSP IN JUNE OF 2021.
- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, MASSACHUSETTS STATE PLANE MAINLAND COORDINATE SYSTEM AND WAS ESTABLISHED UTILIZING RTK GPS SURVEY TECHNIQUES.
- THE VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE VERTICAL DATUM NAVD88 AND WAS ESTABLISHED ON SITE UTILIZING RTK GPS SURVEY TECHNIQUES.
- THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE INFORMATION SHOWN HEREON. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF THE TITLE TO BOTH THE SUBJECT AND ADJOINING PARCELS SHOULD BE VERIFIED BY AN ACCURATE AND CURRENT TITLE REPORT. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT.
- THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON LABELED WITH AN (R) ARE FROM RECORD DOCUMENTS. ADDITIONAL FIELD INVESTIGATION WILL BE REQUIRED BY OTHERS TO DETERMINE THE ACTUAL PIPE SIZE(S) AND TYPE(S). GAS AND TELEPHONE RECORDS NOT YET RECEIVED.
- AREAS OF THIS PARCEL WITHIN 100 FEET OF STEVENS STREET IS IN ZONE A-3, WITH THE REMAINDER OF THE PARCEL IN ZONE A-2, WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS:

| | ZONE A-2 | ZONE A-3 |
|-----------------------|-------------|-------------|
| MINIMUM LOT AREA: | 18,000 S.F. | 12,500 S.F. |
| MINIMUM LOT FRONTAGE: | 120 FEET | 100 FEET |
| MINIMUM SIDE YARD: | 15 FEET | 15 FEET |
| MINIMUM FRONT YARD: | 30 FEET | 20 FEET |
| MINIMUM REAR YARD: | 40 FEET | 30 FEET |
| MAXIMUM HEIGHT: | 2½ STORIES | 2½ STORIES |
| MAXIMUM COVERAGE: | 30% | 30% |
- THIS PARCEL IS LOCATED WHOLLY WITHIN "ZONE X - AREA OF MINIMAL FLOOD HAZARD" AS SHOWN ON FIRM FLOOD MAP NUMBER 25017C0481F, EFFECTIVE DATE 7/7/2014.

GENERAL NOTES

- FOR ADDITIONAL PROPERTY LINE INFORMATION REFER TO THE DEED BOOK 9742, PAGE 362 RECORDED AT THE MIDDLESEX REGISTRY OF DEEDS.
- CITY OF MARLBOROUGH ASSESSOR'S MAP/LOT REFERENCE FOR THE PROJECT IS MAP 44, LOT 148.
- THE ZONING CLASSIFICATION FOR THIS PROJECT IS ZONE A-2 AND ZONE A-3.
- THE PLAN REFERENCES ARE RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS, SOUTHERN DISTRICT AS FOLLOWS: LAND COURT PLAN 19247-A, PLAN 1350 OF 1957, PLAN 688 OF 1959, PLAN 1346 OF 1967, PLAN 1557 OF 1968, PLAN 1560 OF 1968, PLAN 332 OF 1982, PLAN 1630 OF 1987 AND PLAN 467 OF 2018.
- LOT B IS NOT BE CONSIDERED A BUILDABLE LOT.
- THIS PLANSET IS INTENDED FOR PERMITTING REVIEW AND APPROVAL ONLY.

PREPARED FOR:
CHARLES BOURQUE
131 BLACK BEAR DRIVE SUITE 1912
WALTHAM, MA 02451

PREPARED BY:
wsp
100 SUMMER STREET
BOSTON, MA 02110
617.426.7330

CERTIFICATION:
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING AT THE REGISTRY OF DEEDS.

0212

| REVISIONS: | | | |
|------------|---------|--------------------------|-----|
| REV NO. | DATE | DESCRIPTION | BY |
| 1 | 7/21/22 | PLANNING BOARD REVISIONS | NSB |
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REGISTRY USE ONLY:

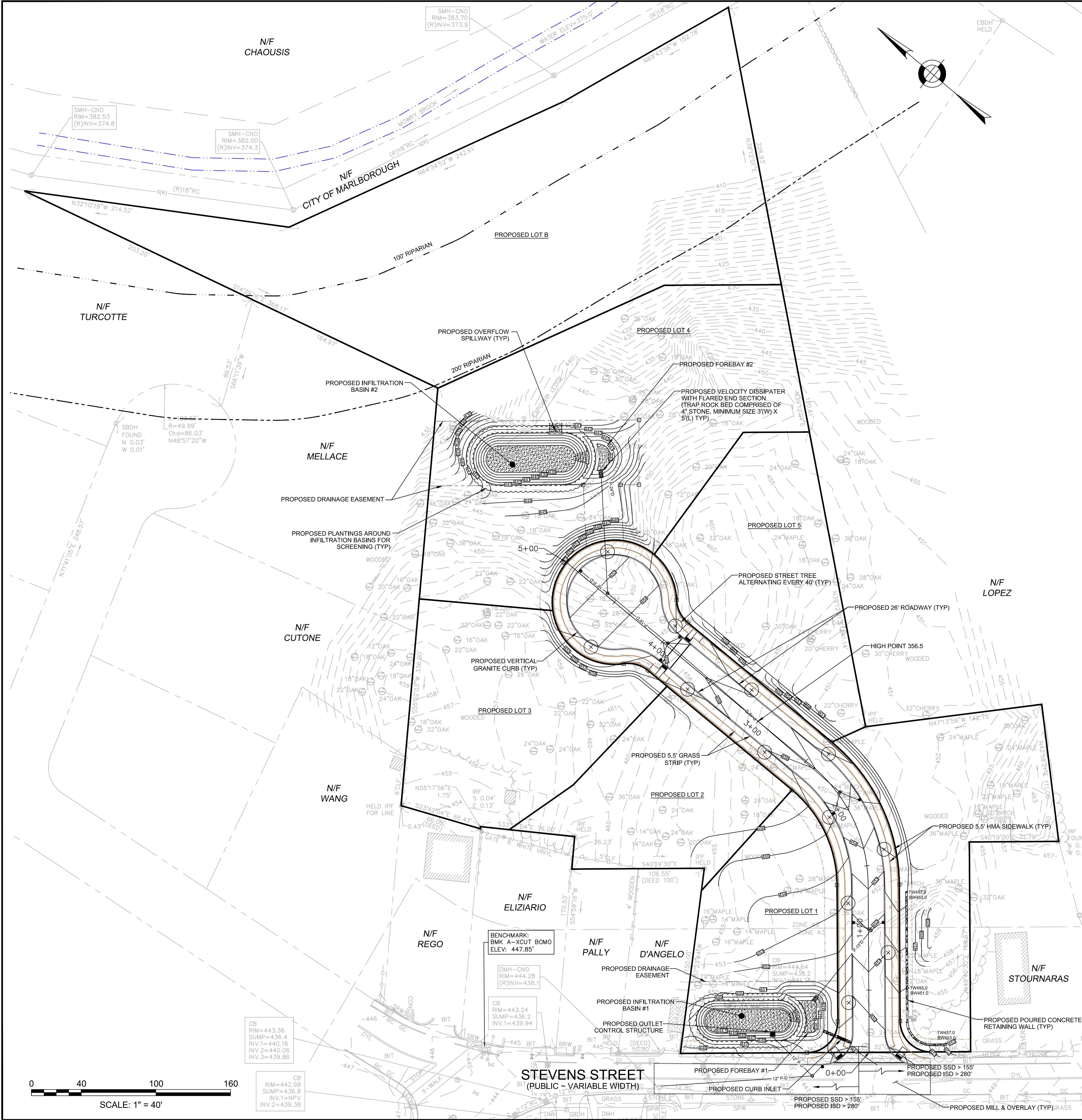
PLAN TITLE:
PETTES DRIVE SUBDIVISION
LOTTING PLAN
OF LAND IN MARLBOROUGH, MA
OWNED BY
JAMES CHAOUSIS

DISCIPLINE:
CIVIL

| | | |
|-----------|-------------|--------------|
| DRAWN BY: | CHECKED BY: | APPROVED BY: |
| NB | JL | JL |

| | |
|----------|-----------|
| SCALE: | DATE: |
| 1" = 40' | 3/11/2022 |

SHEET NUMBER:
C-001



APPROVED BY THE
MARLBOROUGH PLANNING BOARD

DATE:

UNCLASSIFIED EARTH
WORK VOLUME

PROPOSED CUT: 3,231± CY
PROPOSED FILL: 4,052± CY
NET FILL: 821± CY
(SEE GENERAL NOTE #8)

LEGEND

| | |
|-----------------------------|-------------------------------|
| 190 | EXISTING CONTOUR |
| 190 | PROPOSED CONTOUR |
| +190.0 | PROPOSED SPOT ELEVATION |
| S | EXISTING SEWER PIPE |
| W | EXISTING WATER SERVICE |
| G | EXISTING GAS SERVICE |
| UE | EXISTING UNDERGROUND ELECTRIC |
| UP | EXISTING UTILITY POLE |
| P-D | PROPOSED 12" DRAINAGE PIPE |
| EXISTING RETAINING WALL | EXISTING RETAINING WALL |
| EXISTING EDGE OF PAVEMENT | EXISTING EDGE OF PAVEMENT |
| PROPOSED RETAINING WALL | PROPOSED RETAINING WALL |
| PROPOSED EDGE OF ROAD | PROPOSED EDGE OF ROAD |
| PROPOSED EDGE OF SIDEWALK | PROPOSED EDGE OF SIDEWALK |
| PROPOSED LANDSCAPE EASEMENT | PROPOSED LANDSCAPE EASEMENT |
| PROPOSED DRAINAGE EASEMENT | PROPOSED DRAINAGE EASEMENT |

GENERAL NOTES

- FOR ADDITIONAL PROPERTY LINE INFORMATION REFER TO THE DEED BOOK 9742, PAGE 362 RECORDED AT THE MIDDLESEX REGISTRY OF DEEDS.
- CITY OF MARLBOROUGH ASSESSOR'S MAP/LOT REFERENCE FOR THE PROJECT IS MAP 44, LOT 148.
- THE ZONING CLASSIFICATION FOR THIS PROJECT IS ZONE A-2 AND ZONE A-3.
- THE PROJECT SITE DATUM IS BASED ON N.A.V.D. 88.
- THE PLANIMETRIC AND TOPOGRAPHIC SITE FEATURES SHOWN HEREON ARE BASED ON FIELD SURVEY WORK PERFORMED BY WSP USA, INC. IN JUNE 2021.
- ANY EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON DIG SAFE MARKINGS AND SHALL BE CONSIDERED APPROXIMATE.
- THE PROPOSED SUBDIVISION IS LOCATED WITHIN "ZONE X - AREA OF MINIMAL FLOOD HAZARD" AS SHOWN ON THE FIRM FLOOD MAP NUMBER 24017C0481F, EFFECTIVE DATE 7/7/2014.
- THE VOLUME DATA SHOWN HEREON IS APPROXIMATE AND INTENDED FOR DISCUSSION PURPOSES ONLY. INDIVIDUAL MATERIALS WERE NOT DIFFERENTIATED AND NO SWELLING OR SHRINK FACTORS WERE USED. FOR MORE SPECIFIC INFORMATION REGARDING CUT/FILL CALCULATIONS, CONTACT THE DESIGN ENGINEER.
- THIS PLANSET IS INTENDED FOR PERMITTING REVIEW AND APPROVAL ONLY.

PREPARED FOR:
CHARLES BOURQUE
131 BLACK BEAR DRIVE SUITE 1912
WALTHAM, MA 02451

PREPARED BY:



100 SUMMER STREET
BOSTON, MA 02110
617.426.7330

REGISTRATION STAMP:



REVISIONS:

| REV NO. | DATE | DESCRIPTION | BY |
|---------|---------|--------------------------|-----|
| 1 | 7/21/22 | PLANNING BOARD REVISIONS | NSB |

REGISTRY USE ONLY:

PLAN TITLE:

PETTES DRIVE SUBDIVISION
GRADING & DRAINAGE PLAN
OF LAND IN MARLBOROUGH, MA
OWNED BY
JAMES CHAOUSIS

DISCIPLINE:

CIVIL

DRAWN BY:

NB

CHECKED BY:

JL

APPROVED BY:

JL

SCALE:

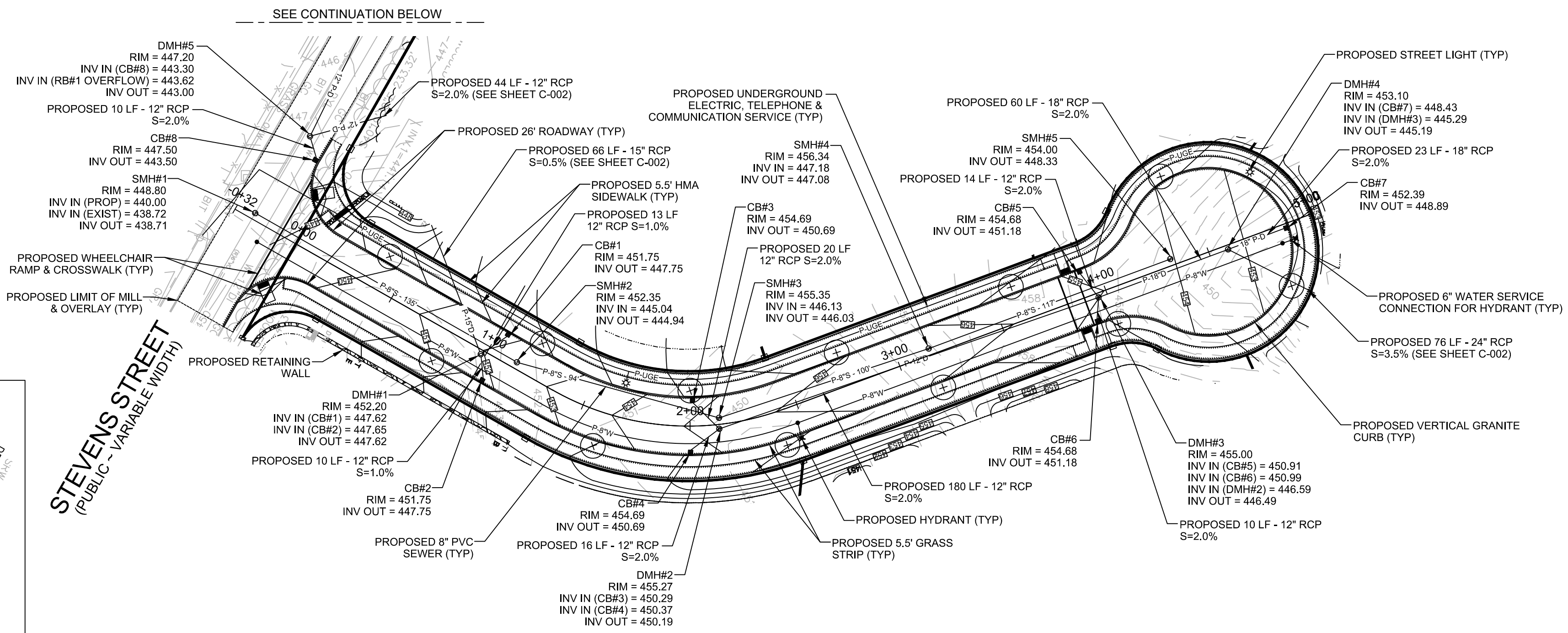
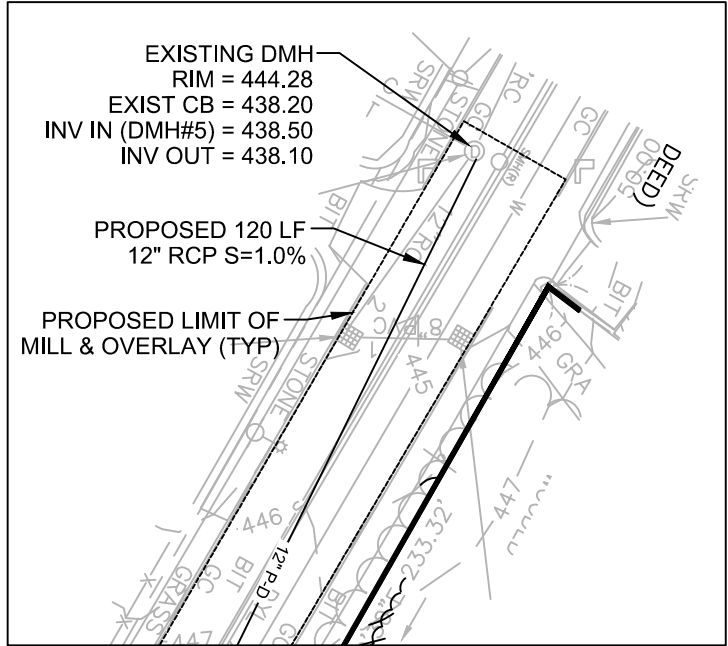
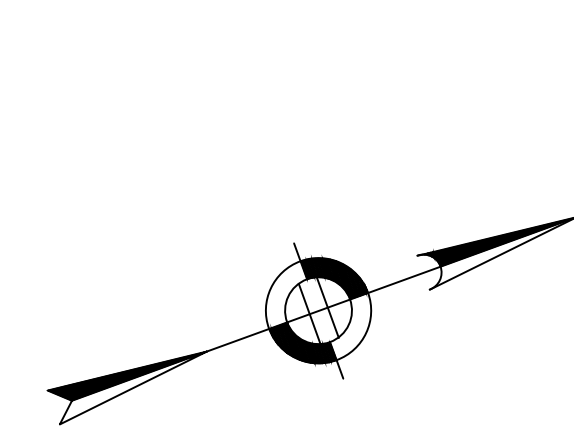
1" = 40'

DATE:

3/11/2022

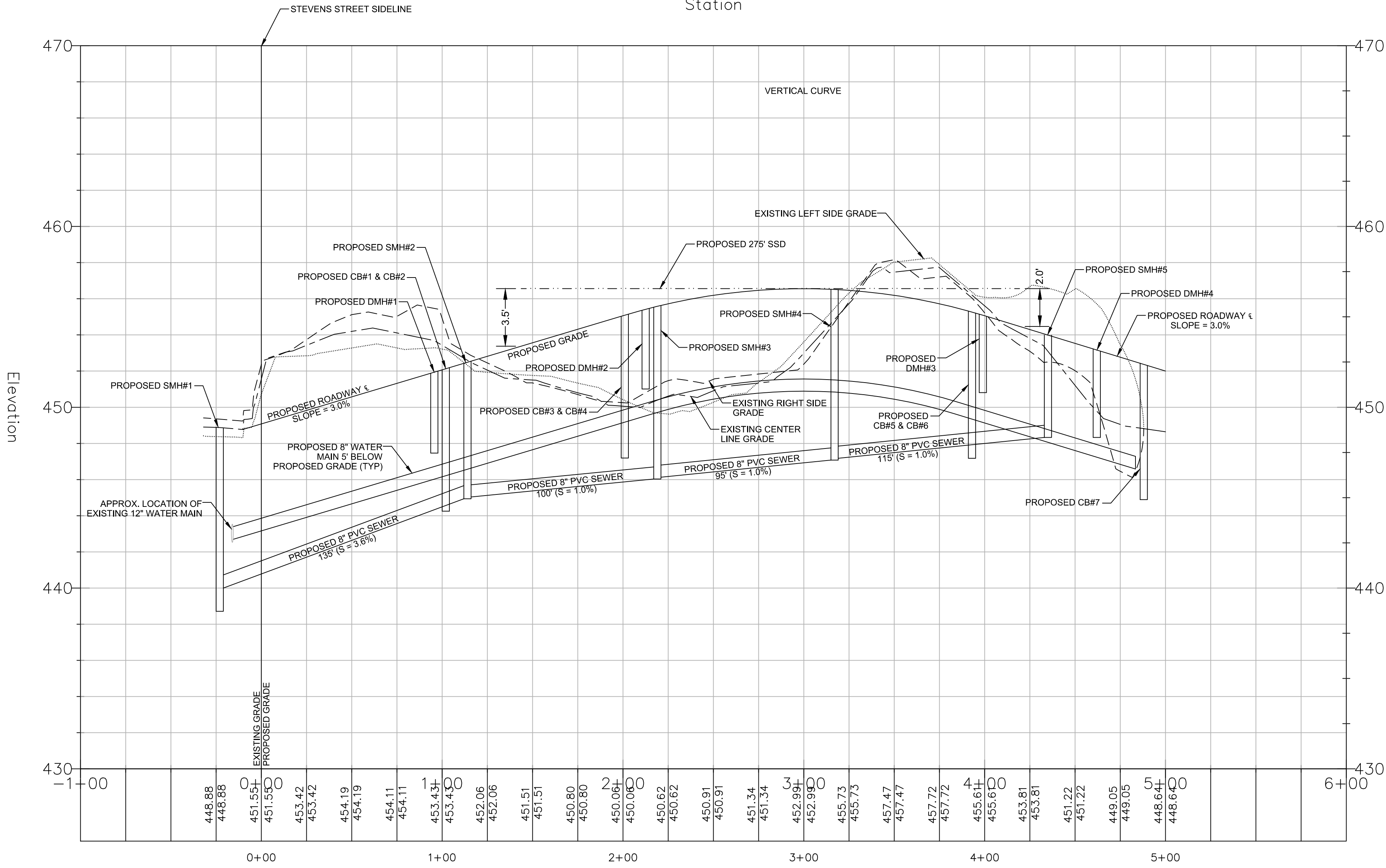
SHEET NUMBER:

C-002



PROPOSED ROADWAY PLAN VIEW

HORIZONTAL SCALE: 1"=40'



PROPOSED ROADWAY CENTERLINE PROFILE

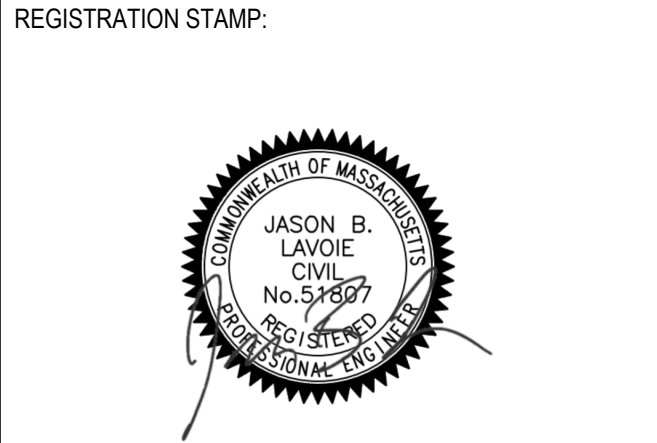
HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

APPROVED BY THE
MARLBOROUGH PLANNING BOARD

DATE:

PREPARED FOR:
CHARLES BOURQUE
131 BLACK BEAR DRIVE SUITE 1912
WALTHAM, MA 02451

PREPARED BY:
wsp
100 SUMMER STREET
BOSTON, MA 02110
617.426.7330



| REVISIONS: | | | |
|------------|---------|--------------------------|-----|
| REV NO. | DATE | DESCRIPTION | BY |
| 1 | 7/21/22 | PLANNING BOARD REVISIONS | NSB |
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REGISTRY USE ONLY:

PLAN TITLE:
PETTES DRIVE SUBDIVISION
UTILITY PLAN & PROFILE
OF LAND IN MARLBOROUGH, MA
OWNED BY
JAMES CHAOUSIS

DISCIPLINE:
CIVIL

| | | |
|-----------------|-------------------|--------------------|
| DRAWN BY: NB | CHECKED BY: JL | APPROVED BY: JL |
|-----------------|-------------------|--------------------|

| | |
|--------------------|--------------------|
| SCALE: AS NOTED | DATE: 3/11/2022 |
|--------------------|--------------------|

SHEET NUMBER:

C-003

| LEGEND | |
|----------|--|
| 190 | EXISTING CONTOUR |
| 190 | PROPOSED CONTOUR |
| +190.0 | PROPOSED SPOT ELEVATION |
| S | EXISTING SEWER PIPE |
| W | EXISTING WATER SERVICE |
| G | EXISTING GAS SERVICE |
| UE | EXISTING UNDERGROUND ELECTRIC |
| UP | EXISTING UTILITY POLE |
| P-W | PROPOSED 8" DUCTILE IRON WATER SERVICE |
| P-G | PROPOSED GAS SERVICE |
| P-UG | PROPOSED UNDERGROUND ELECTRIC SERVICE |
| P-D | PROPOSED 12" RCP DRAINAGE PIPE |
| P-S | PROPOSED 8" PVC SEWER PIPE |
| PROPOSED | EXISTING RETAINING WALL |
| PROPOSED | EXISTING EDGE OF PAVEMENT |
| PROPOSED | PROPOSED RETAINING WALL |
| PROPOSED | PROPOSED EDGE OF PAVEMENT |
| PROPOSED | EXISTING CENTER LINE PROFILE |
| PROPOSED | EXISTING LEFT SIDE PROFILE |
| PROPOSED | EXISTING RIGHT SIDE PROFILE |
| PROPOSED | PROPOSED STOPPING SIGHT DISTANCE |

GENERAL NOTES

- FOR ADDITIONAL PROPERTY LINE INFORMATION REFER TO THE DEED BOOK 9742, PAGE 362 RECORDED AT THE MIDDLESEX REGISTRY OF DEEDS.
- CITY OF MARLBOROUGH ASSESSOR'S MAP/LOT REFERENCE FOR THE PROJECT IS MAP 44, LOT 148.
- THE ZONING CLASSIFICATION FOR THIS PROJECT IS ZONE A-2 AND ZONE A-3.
- THE PROJECT SITE DATUM IS BASED ON N.A.V.D. 88.
- THIS PLANSET IS INTENDED FOR PERMITTING REVIEW AND APPROVAL ONLY.



APPROVED BY THE
MARLBOROUGH PLANNING BOARD

DATE:

| LEGEND | |
|-----------------------------|---------------------------------------|
| 190 | EXISTING CONTOUR |
| 190 | PROPOSED CONTOUR |
| +190.0 | PROPOSED SPOT ELEVATION |
| S | EXISTING SEWER PIPE |
| W | EXISTING WATER SERVICE |
| G | EXISTING GAS SERVICE |
| UE | EXISTING UNDERGROUND ELECTRIC |
| UP | EXISTING UTILITY POLE |
| P-D | PROPOSED DRAINAGE PIPE |
| P-S | PROPOSED SEWER PIPE |
| P-FM | PROPOSED FORCE MAIN |
| P-UGE | PROPOSED UNDERGROUND ELECTRIC SERVICE |
| EXISTING RETAINING WALL | EXISTING RETAINING WALL |
| EXISTING EDGE OF PAVEMENT | EXISTING EDGE OF PAVEMENT |
| PROPOSED RETAINING WALL | PROPOSED RETAINING WALL |
| PROPOSED EDGE OF PAVEMENT | PROPOSED EDGE OF PAVEMENT |
| PROPOSED LANDSCAPE EASEMENT | PROPOSED LANDSCAPE EASEMENT |
| PROPOSED DRAINAGE EASEMENT | PROPOSED DRAINAGE EASEMENT |

GENERAL NOTES

- FOR ADDITIONAL PROPERTY LINE INFORMATION REFER TO THE DEED BOOK 9742, PAGE 362 RECORDED AT THE MIDDLESEX REGISTRY OF DEEDS.
- CITY OF MARLBOROUGH ASSESSOR'S MAP/LOT REFERENCE FOR THE PROJECT IS MAP 44, LOT 148.
- THE ZONING CLASSIFICATION FOR THIS PROJECT IS ZONE A-2 AND ZONE A-3.
- THE PROJECT SITE DATUM IS BASED ON N.A.V.D. 88.
- THE PLANIMETRIC AND TOPOGRAPHIC SITE FEATURES SHOWN HEREON ARE BASED ON FIELD SURVEY WORK PERFORMED BY WSP USA, INC. IN JUNE 2021.
- ANY EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON DIG SAFE MARKINGS AND SHALL BE CONSIDERED APPROXIMATE.
- THE PROPOSED SUBDIVISION IS LOCATED WITHIN "ZONE X - AREA OF MINIMAL FLOOD HAZARD" AS SHOWN ON THE FIRM FLOOD MAP NUMBER 24017C0481F, EFFECTIVE DATE 7/7/2014.
- THE CONCEPTUAL HOUSES AND INFORMATION SHOWN HEREON IS FOR PRESENTATION PURPOSES ONLY.
- THIS PLANSET IS INTENDED FOR PERMITTING REVIEW AND APPROVAL ONLY.

PREPARED FOR:
CHARLES BOURQUE
131 BLACK BEAR DRIVE SUITE 1912
WALTHAM, MA 02451

PREPARED BY:



100 SUMMER STREET
BOSTON, MA 02110
617.426.7330

REGISTRATION STAMP:



REVISIONS:

| REV NO. | DATE | DESCRIPTION | BY |
|---------|------|-------------|----|
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REGISTRY USE ONLY:

PLAN TITLE:
PETTES DRIVE SUBDIVISION
CONCEPTUAL SITE PLAN
OF LAND IN MARLBOROUGH, MA
OWNED BY
JAMES CHAOUSIS

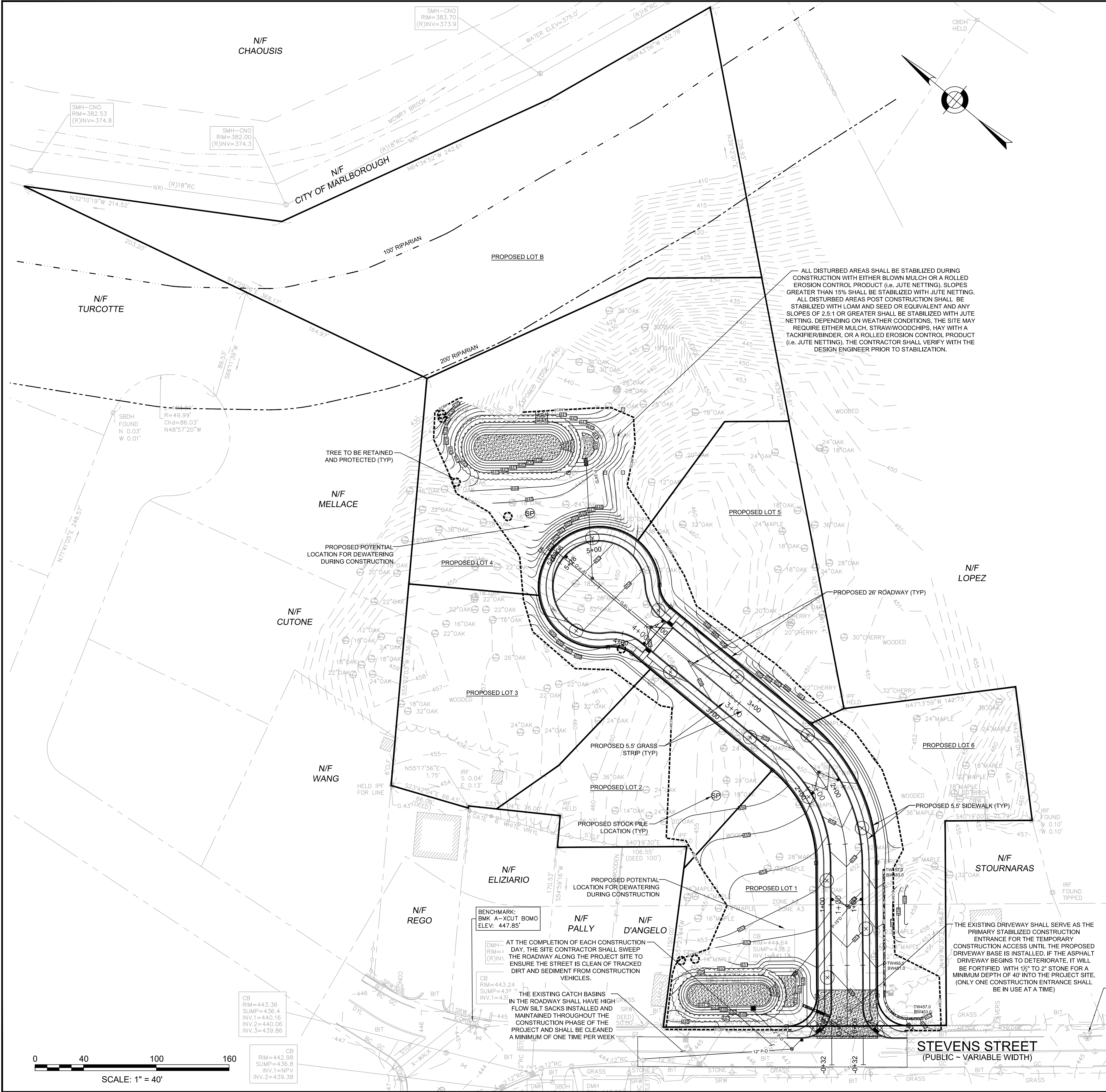
DISCIPLINE:
CIVIL

| DRAWN BY: | CHECKED BY: | APPROVED BY: |
|-----------|-------------|--------------|
| NB | JL | JL |

| SCALE: | DATE: |
|----------|-----------|
| 1" = 40' | 7/21/2022 |

SHEET NUMBER:

C-004



APPROVED BY THE
MARLBOROUGH PLANNING BOARD

DATE:

| LEGEND | |
|--------|-------------------------------------|
| | EXISTING CONTOUR |
| | PROPOSED CONTOUR |
| | PROPOSED SPOT ELEVATION |
| | EXISTING SEWER PIPE |
| | EXISTING WATER SERVICE |
| | EXISTING GAS SERVICE |
| | EXISTING UNDERGROUND ELECTRIC |
| | EXISTING UTILITY POLE |
| | PROPOSED 12" DRAINAGE PIPE |
| | EXISTING RETAINING WALL |
| | EXISTING EDGE OF PAVEMENT |
| | PROPOSED RETAINING WALL |
| | PROPOSED EDGE OF ROAD |
| | PROPOSED EROSION CONTROL BARRIER #1 |
| | PROPOSED POTENTIAL STOCK PILE AREA |

GENERAL NOTES

- FOR ADDITIONAL PROPERTY LINE INFORMATION REFER TO THE DEED BOOK 9742, PAGE 362 RECORDED AT THE MIDDLESEX REGISTRY OF DEEDS.
- CITY OF MARLBOROUGH ASSESSOR'S MAP/LOT REFERENCE FOR THE PROJECT IS MAP 44, LOT 148.
- THE ZONING CLASSIFICATION FOR THIS PROJECT IS ZONE A-2 AND ZONE A-3.
- THE PROJECT SITE DATUM IS BASED ON N.A.V.D. 88.
- THE PLANIMETRIC AND TOPOGRAPHIC SITE FEATURES SHOWN HEREON ARE BASED ON FIELD SURVEY WORK PERFORMED BY WSP USA, INC. IN JUNE 2021.
- ANY EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON DIG SAFE MARKINGS AND SHALL BE CONSIDERED APPROXIMATE.
- THE CONTRACTOR SHALL INSTALL TEMPORARY DRAINAGE SYSTEMS DURING CONSTRUCTION TO ENSURE THAT THERE IS NO INCREASE IN FLOODING TO ANY OF THE ABUTTERS OR WETLAND RESOURCES.
- THE PROPOSED SUBDIVISION IS LOCATED WITHIN "ZONE X - AREA OF MINIMAL FLOOD HAZARD" AS SHOWN ON THE FIRM FLOOD MAP NUMBER 24017C0481F, EFFECTIVE DATE 7/7/2014.
- THIS PLANSET IS INTENDED FOR PERMITTING REVIEW AND APPROVAL ONLY.

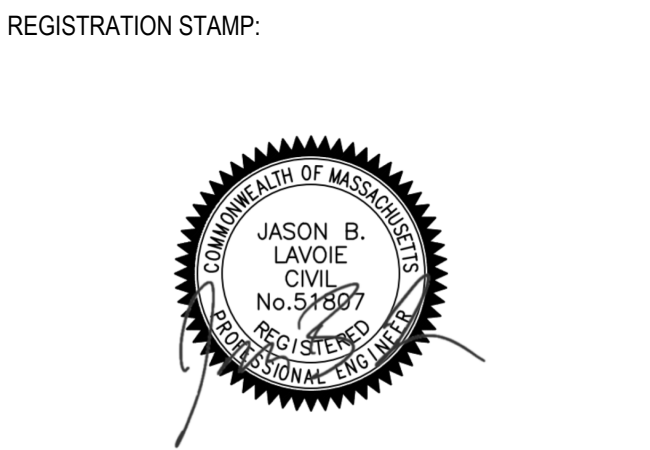
CONSTRUCTION NOTES

- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
- ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS. (REFER TO EROSION CONTROL PLAN FOR MORE DETAILS).
- ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
- THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
- ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT).
- ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BEING BACKFILLED.
- THE CITY SHALL BE NOTIFIED AT LEAST 24 HRS. PRIOR TO THE REQUIRED INSPECTIONS.

PREPARED FOR:
CHARLES BOURQUE
131 BLACK BEAR DRIVE SUITE 1912
WALTHAM, MA 02451

PREPARED BY:

100 SUMMER STREET
BOSTON, MA 02110
617.426.7330



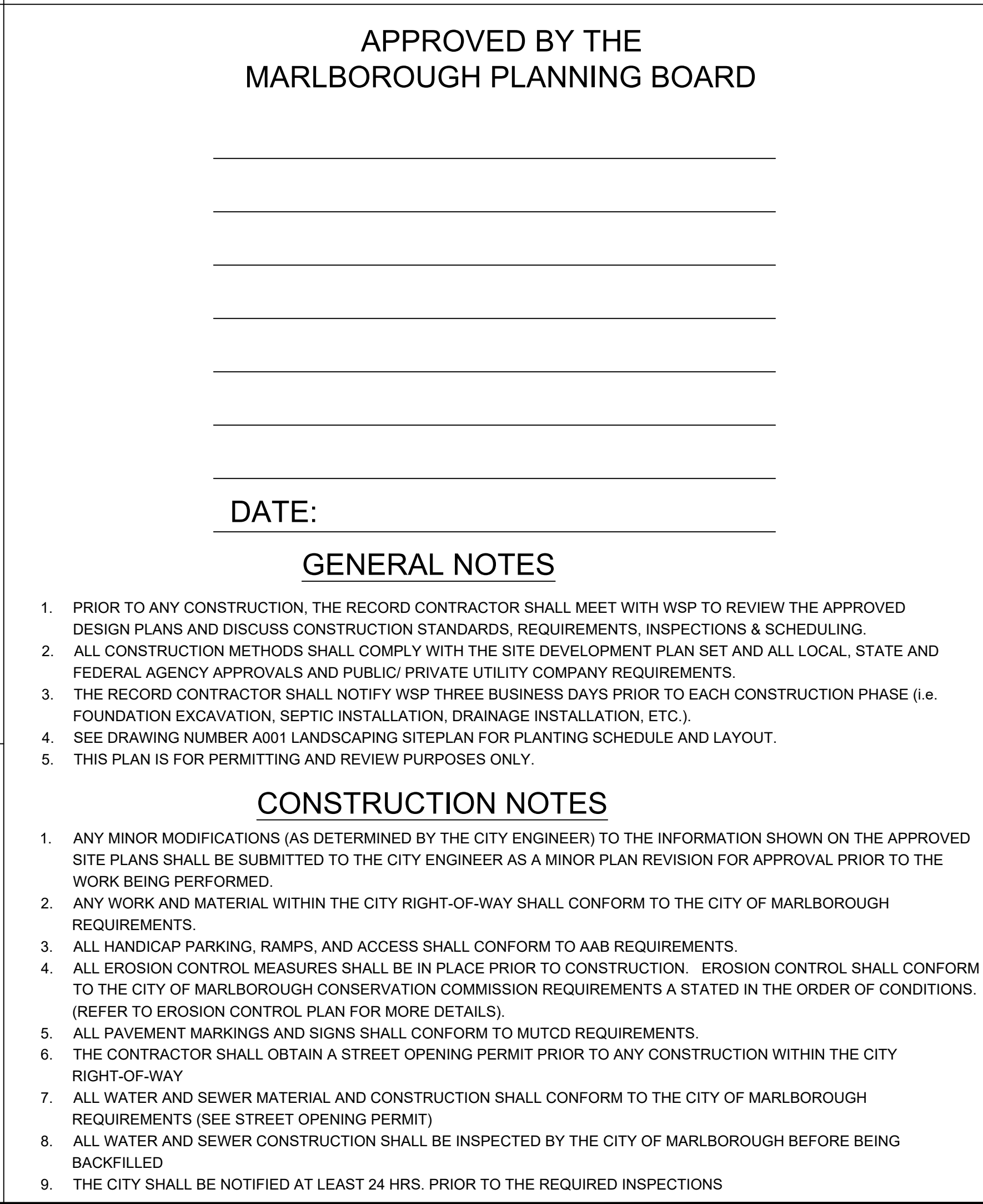
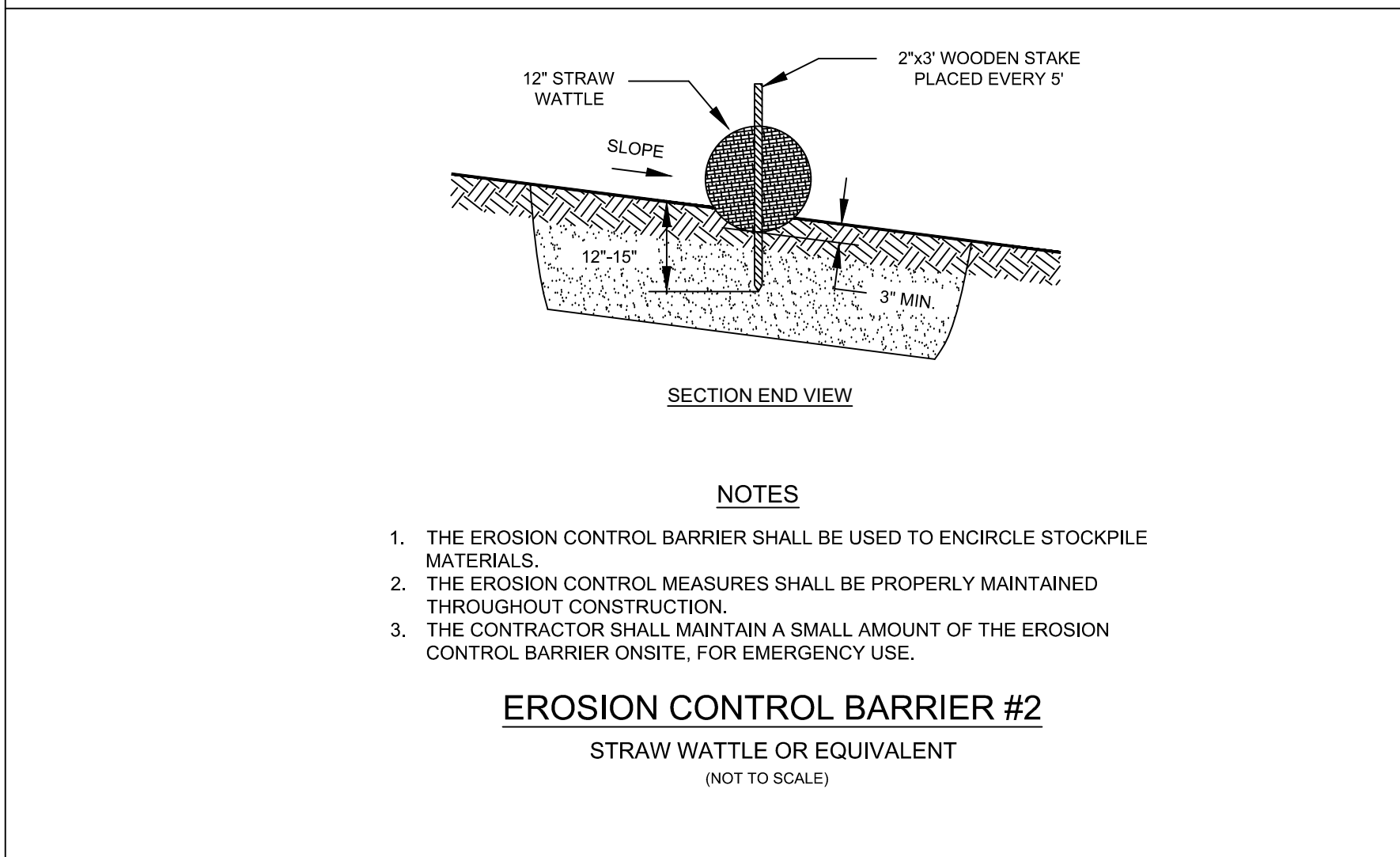
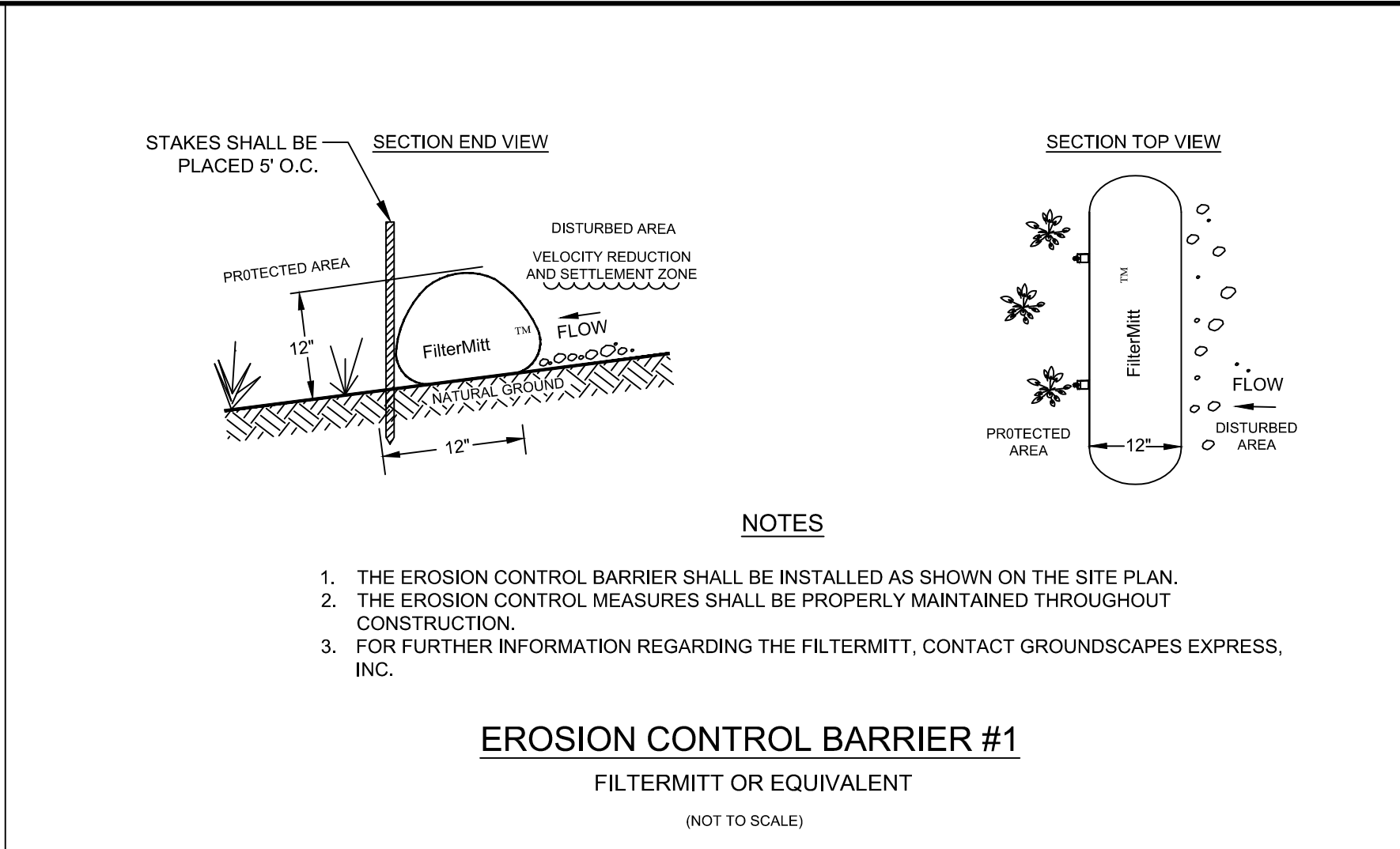
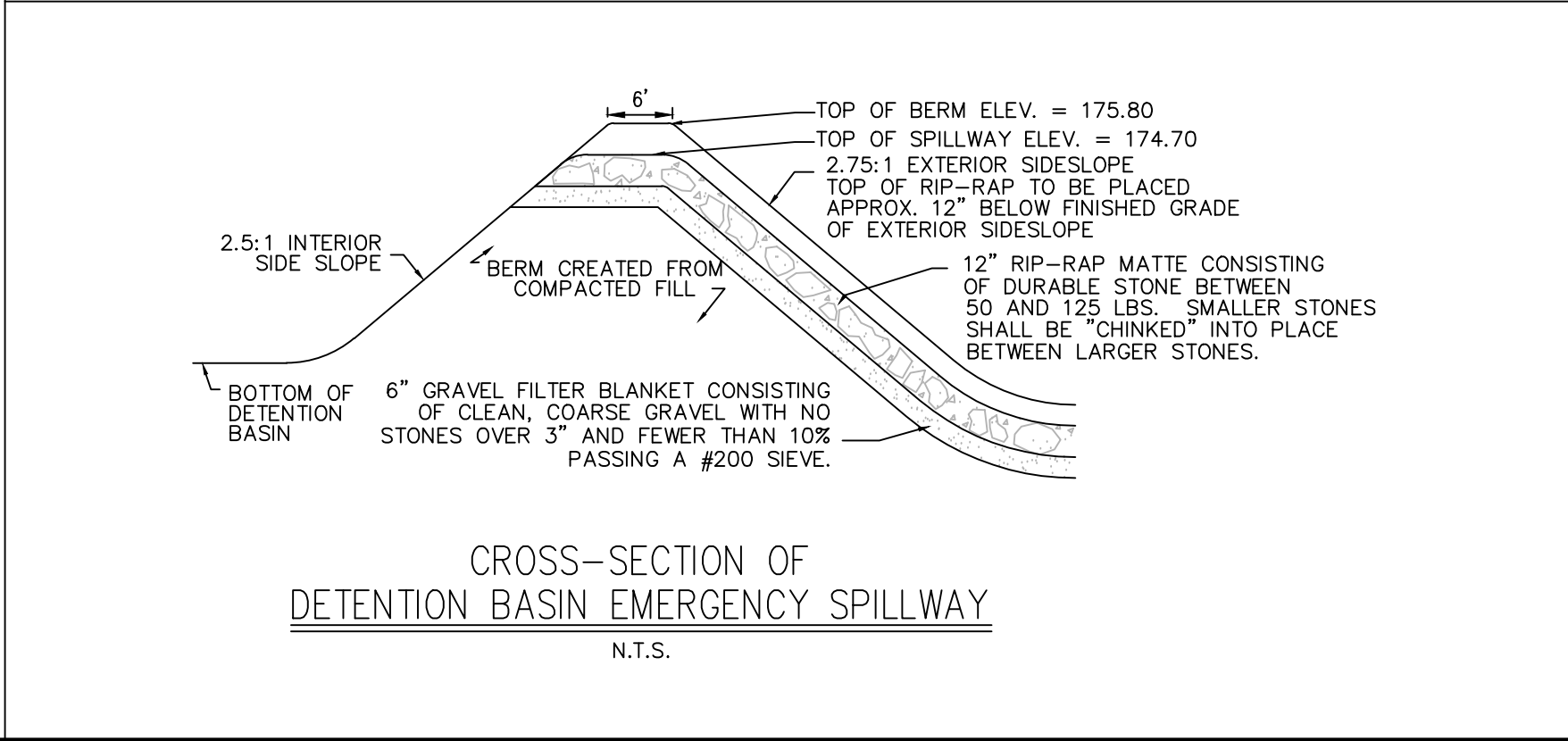
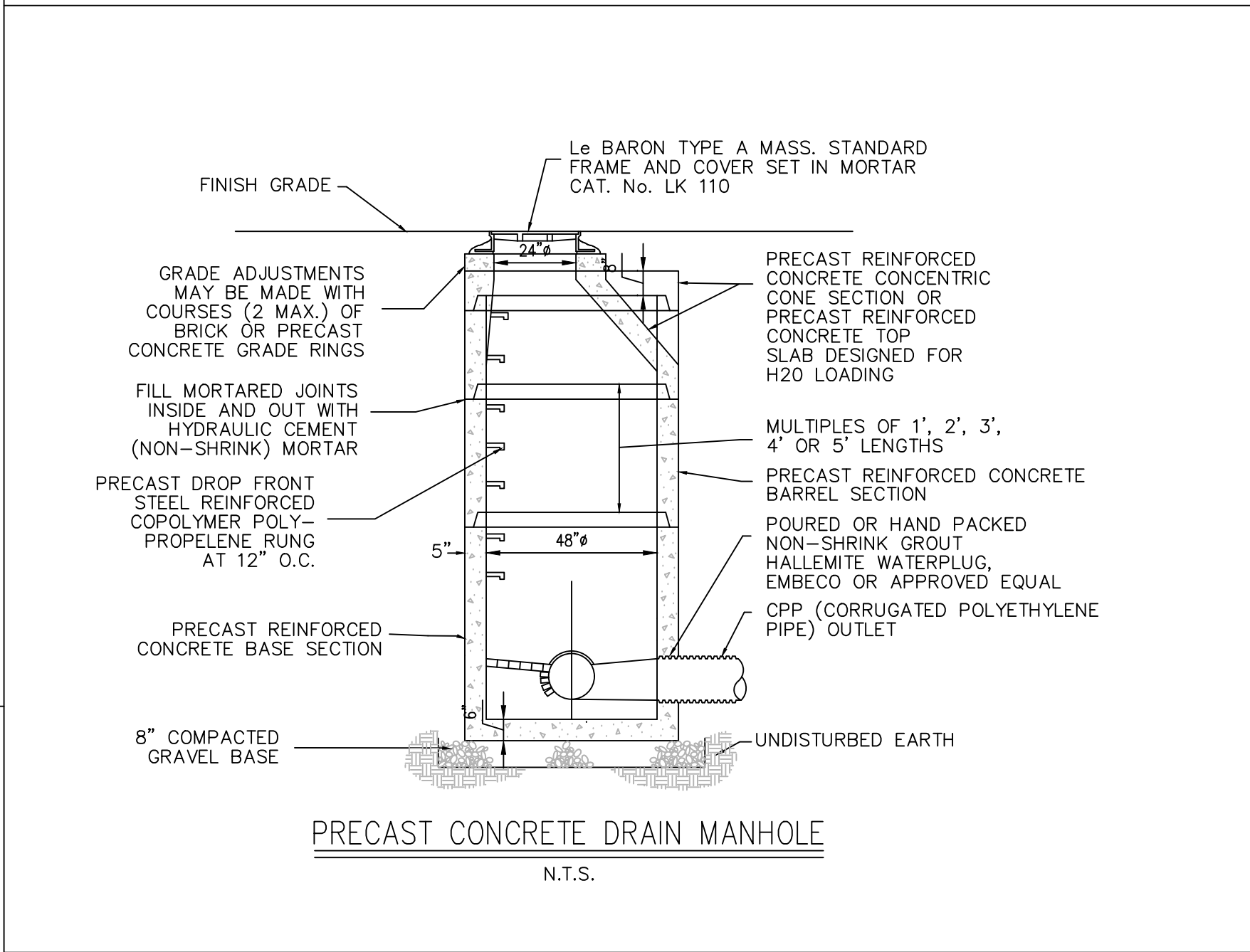
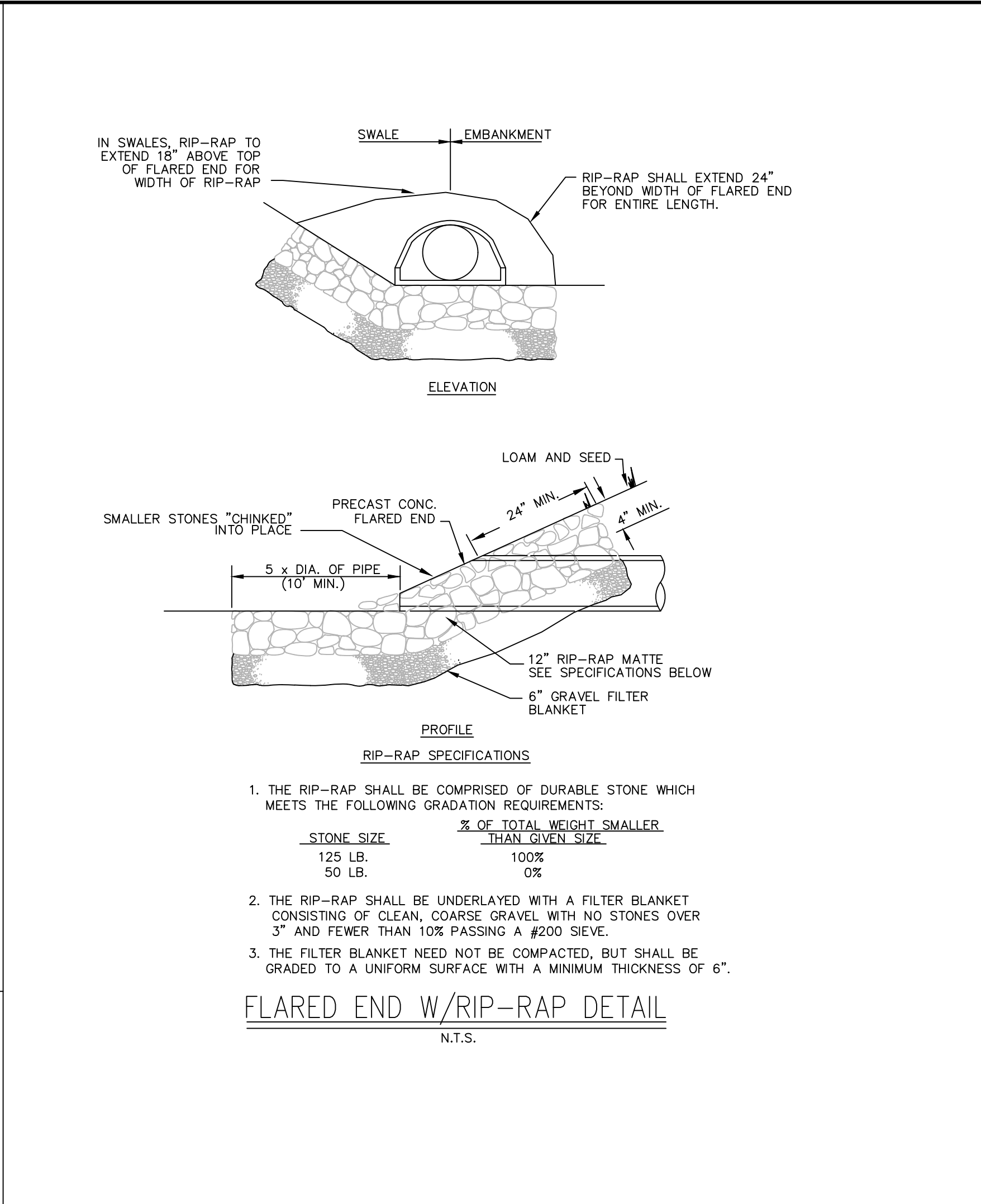
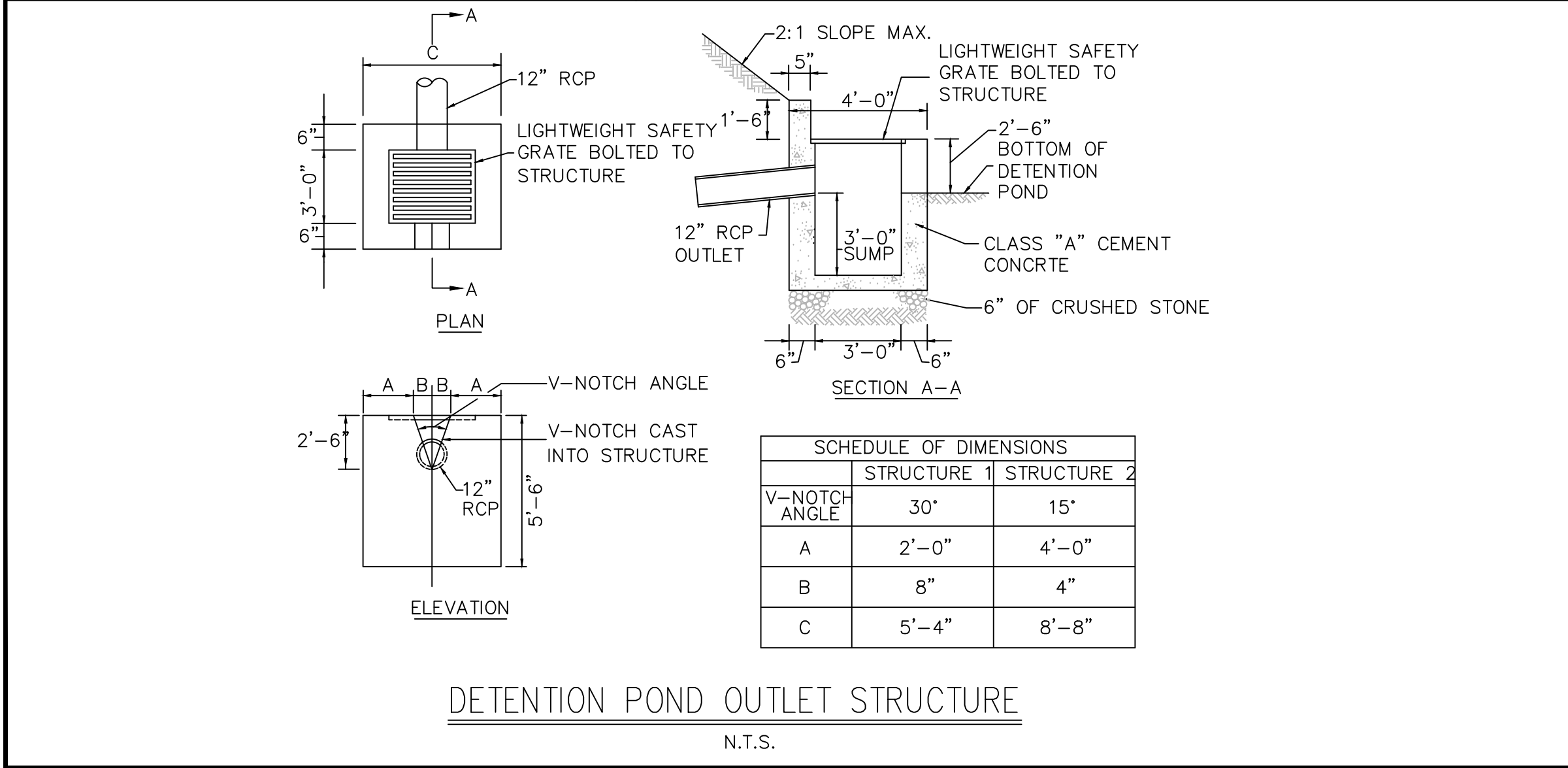
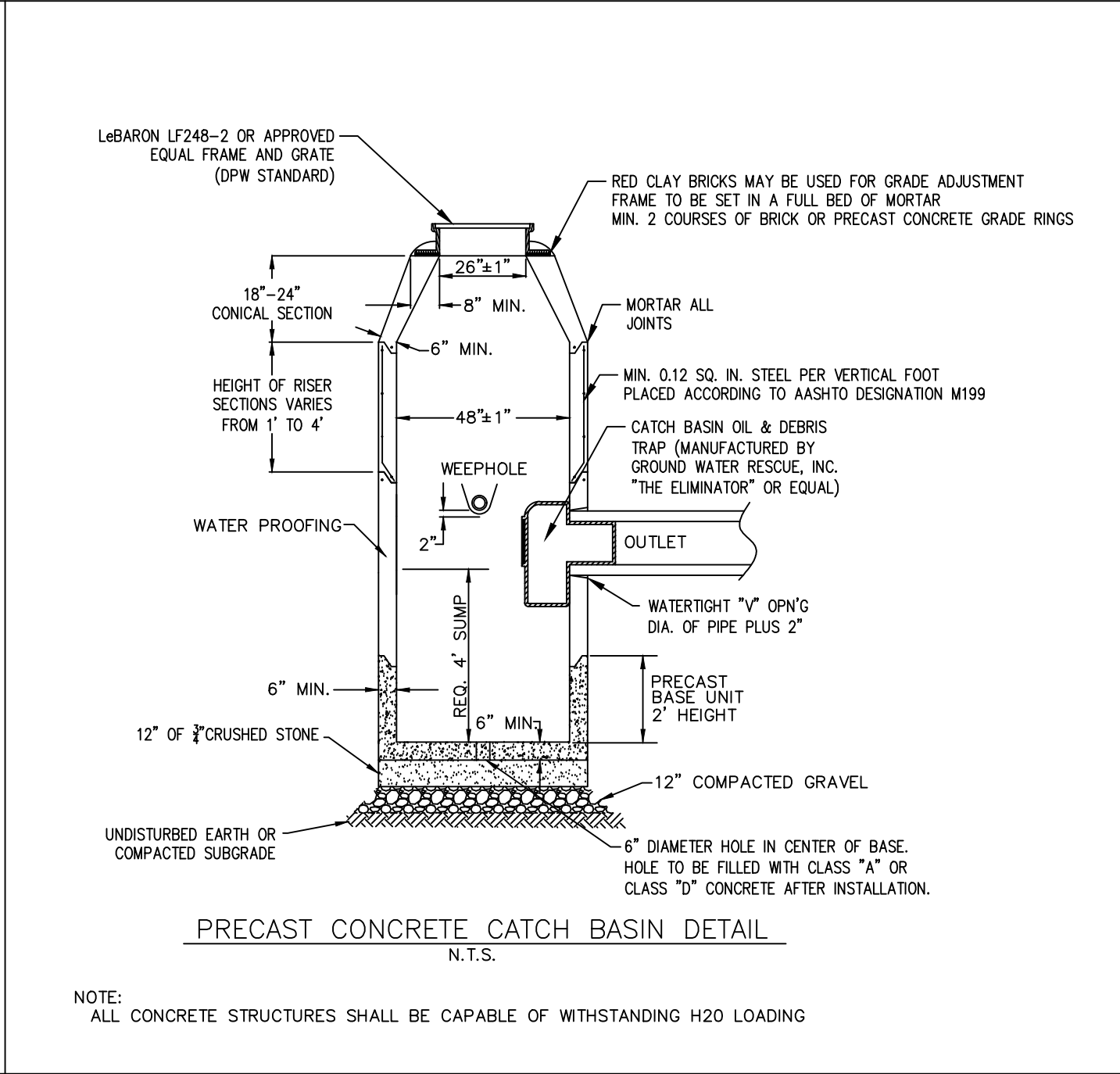
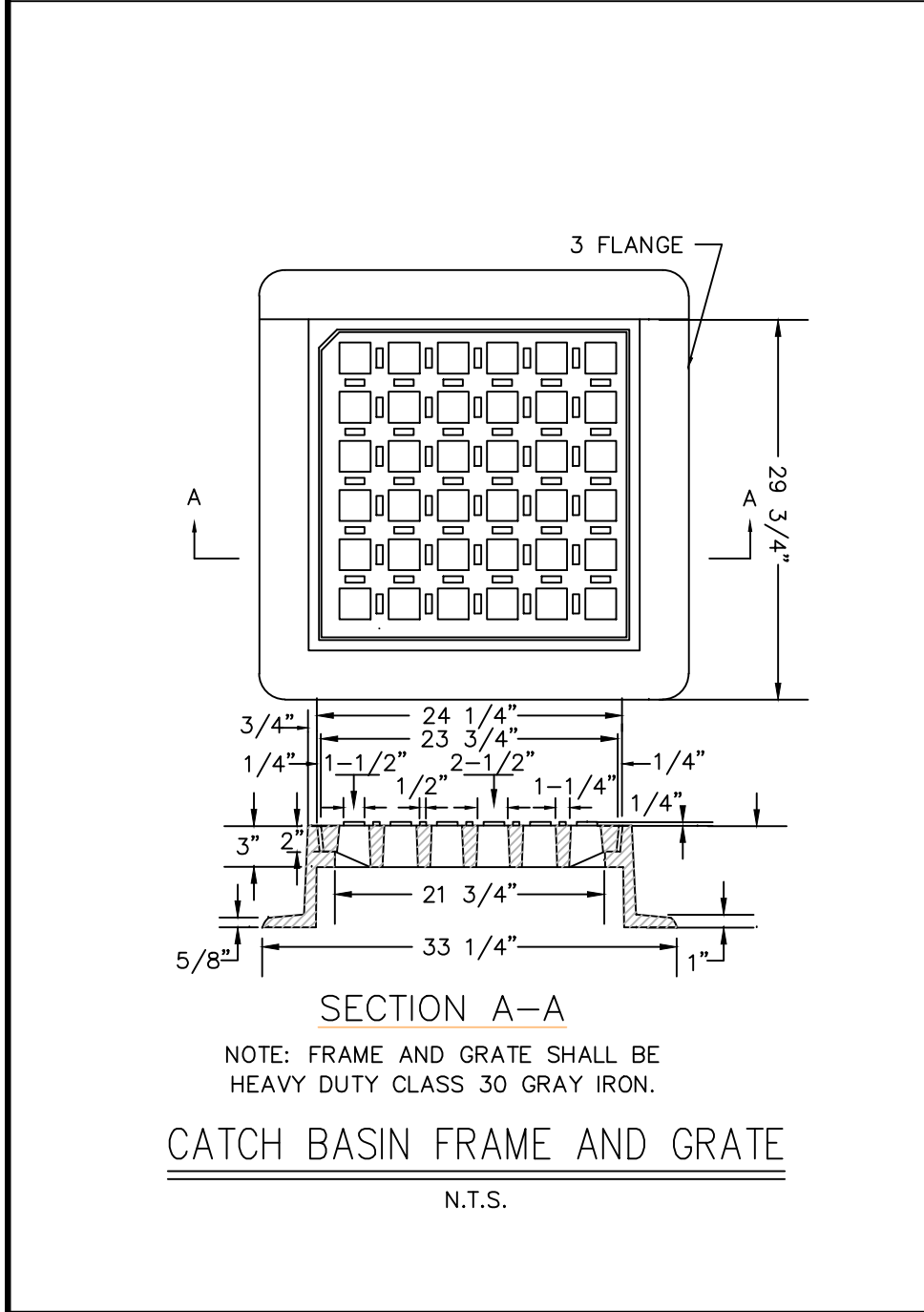
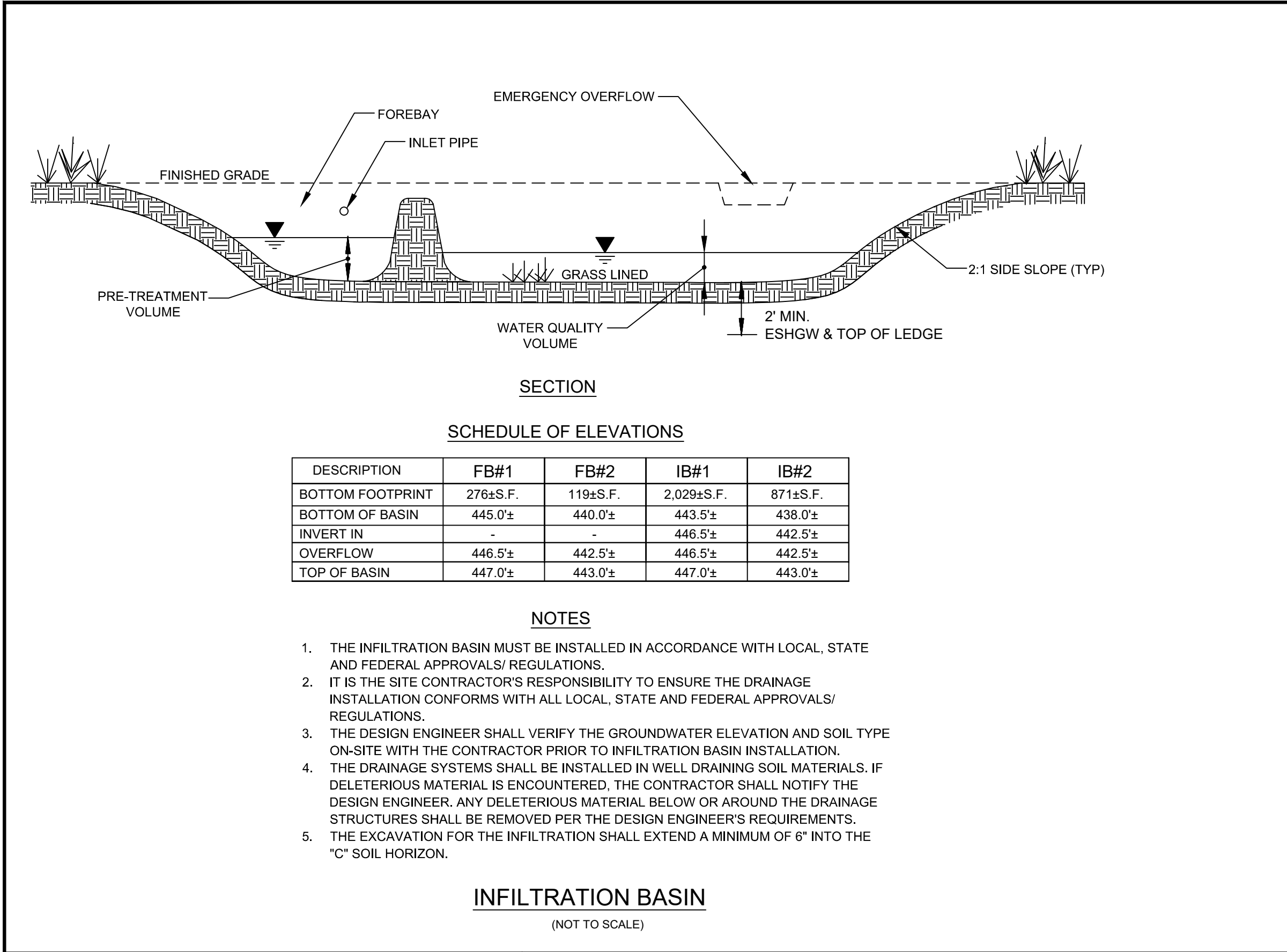
| REVISIONS: | | | |
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| REV NO. | DATE | DESCRIPTION | BY |
| 1 | 7/21/22 | PLANNING BOARD REVISIONS | NSB |
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REGISTRY USE ONLY:

PLAN TITLE:
PETTES DRIVE SUBDIVISION
EROSION CONTROL PLAN
OF LAND IN MARLBOROUGH, MA
OWNED BY
JAMES CHAOUSIS

| | | |
|----------------------|--------------------|--------------------|
| DISCIPLINE: CIVIL | | |
| DRAWN BY: NB | CHECKED BY: JL | APPROVED BY: JL |
| SCALE: 1" = 40' | DATE: 3/11/2022 | |

SHEET NUMBER:
C-005



PREPARED FOR:

CHARLES BOURQUE
131 BLACK BEAR DRIVE SUITE 1912
WALTHAM, MA 02451

PREPARED BY:

wsp
100 SUMMER STREET
BOSTON, MA 02110
617.426.7330

REGISTRATION STAMP:

REVISIONS:

| REV NO. | DATE: | DESCRIPTION: | BY: |
|---------|---------|--------------------------|-----|
| 1 | 7/21/22 | PLANNING BOARD REVISIONS | NSB |

REGISTRY USE ONLY:

PLAN TITLE:

PETTES DRIVE SUBDIVISION
DETAIL SHEET 1 OF 5
OF LAND IN MARLBOROUGH, MA
OWNED BY
JAMES CHAOUSIS

DISCIPLINE:

CIVIL

| DRAWN BY: | CHECKED BY: | APPROVED BY: |
|-----------|-------------|--------------|
| NB | JL | JL |

SCALE:

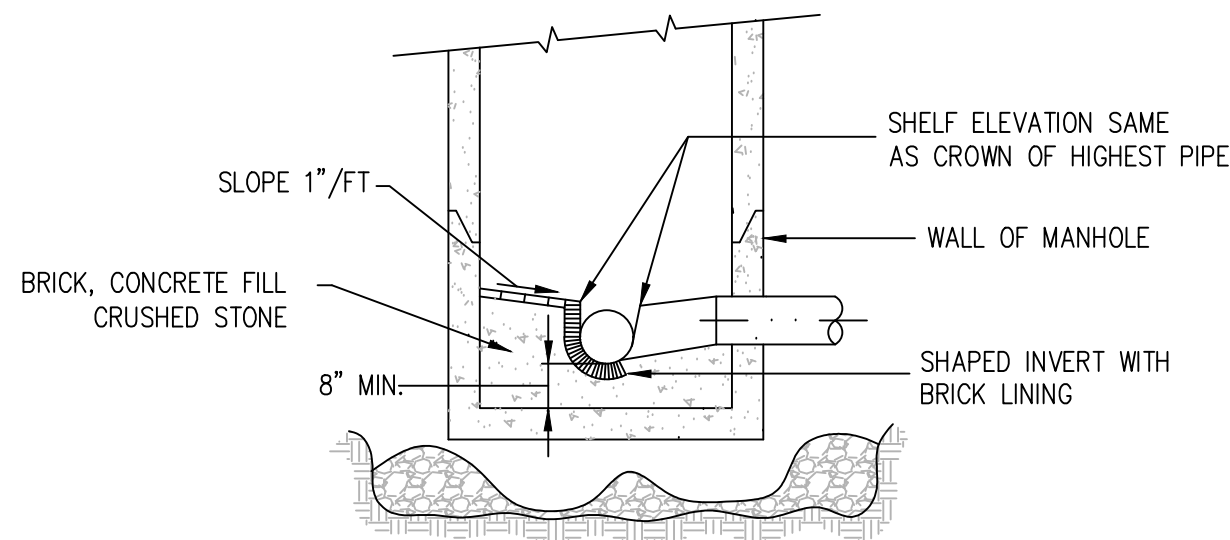
NTS

DATE:

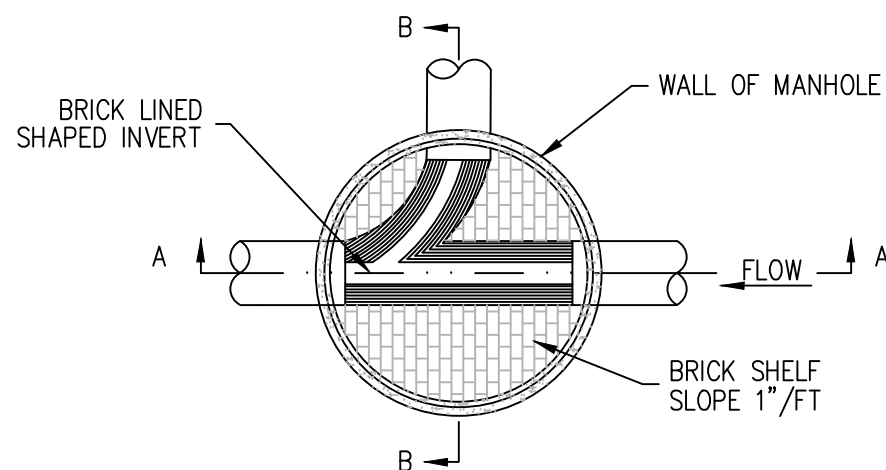
3/11/2022

SHEET NUMBER:

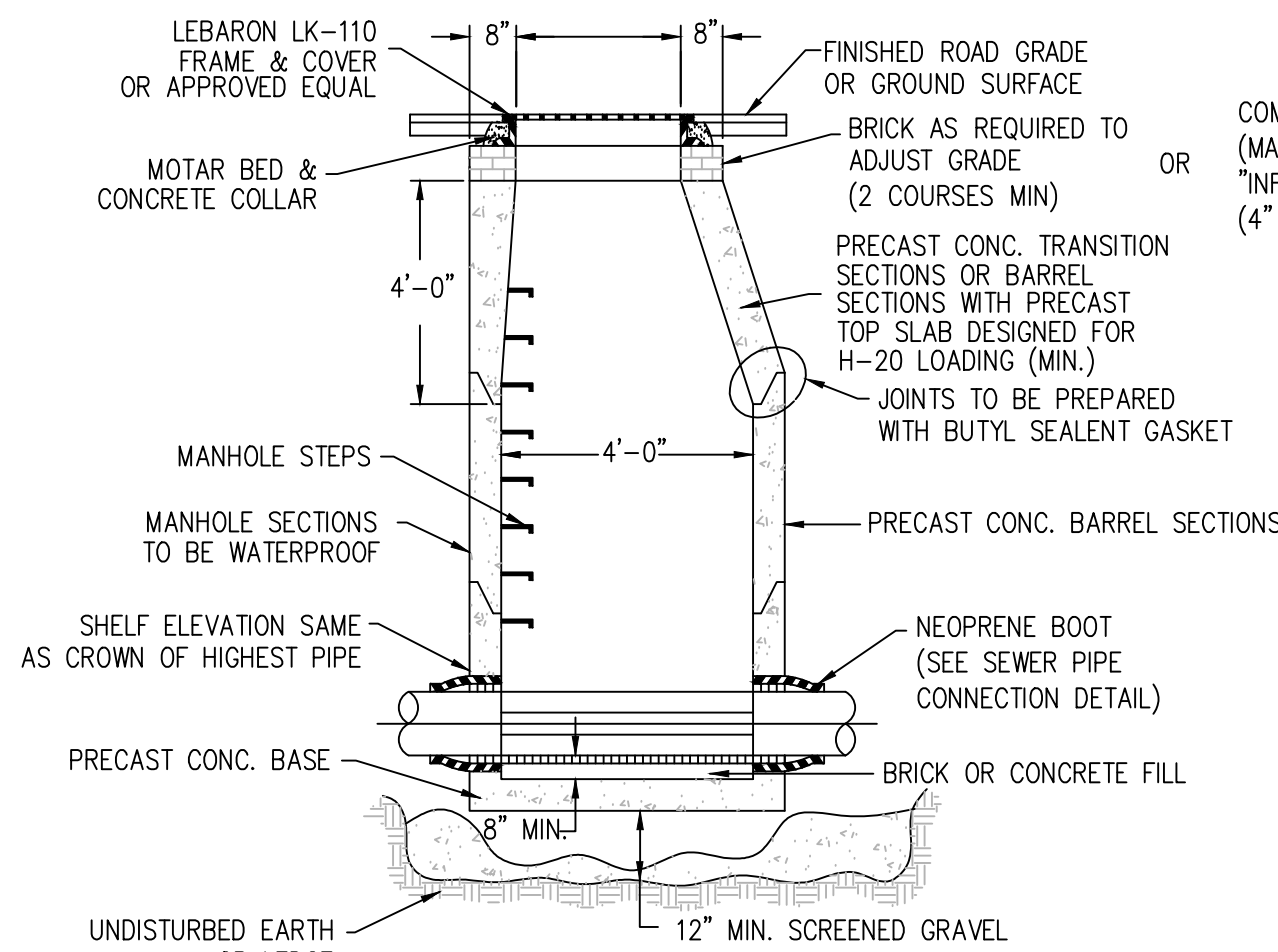
C-006



SECTION B-B



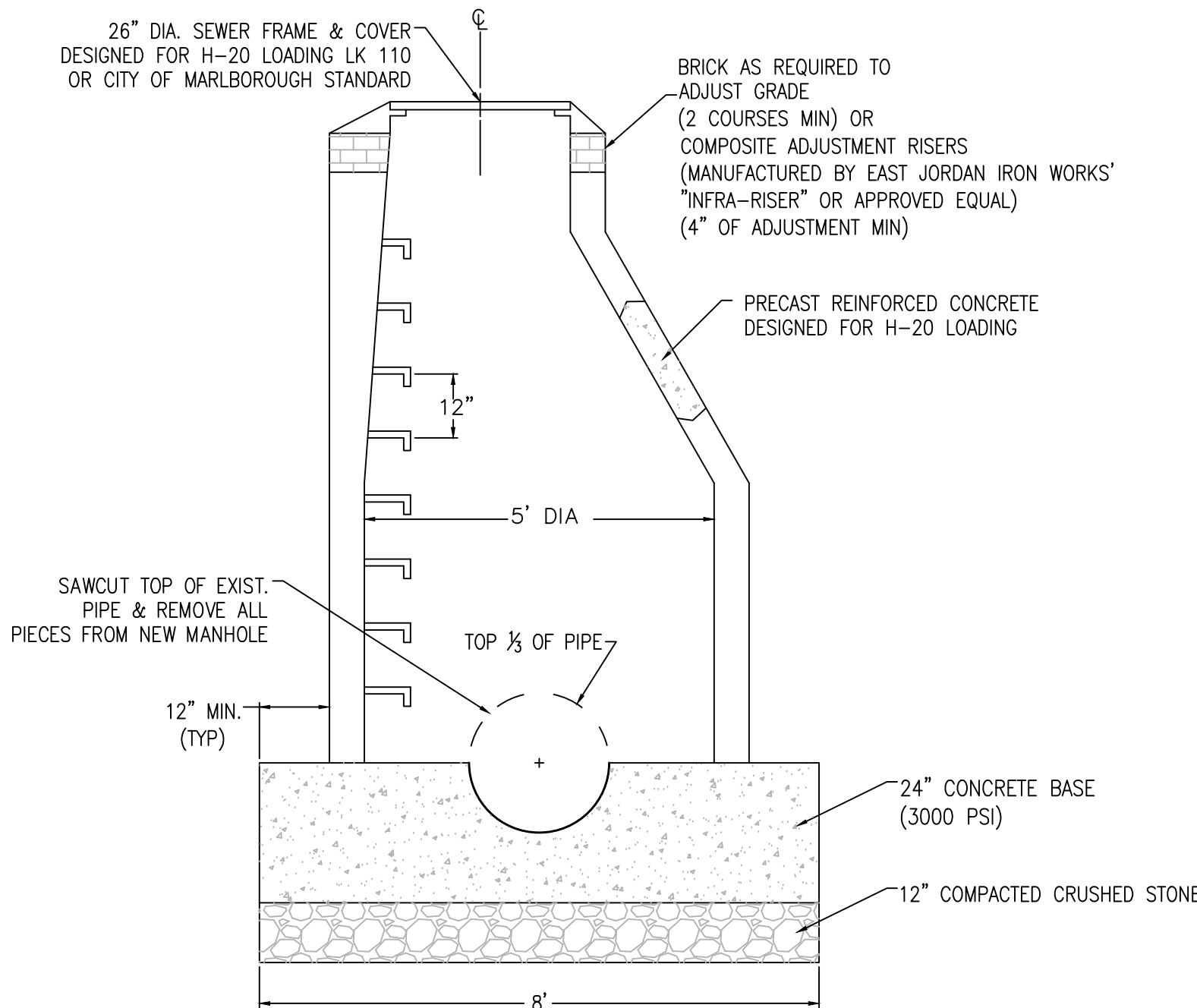
PLAN



SECTION A-A
PRECAST SEWER MANHOLE

N.T.S.

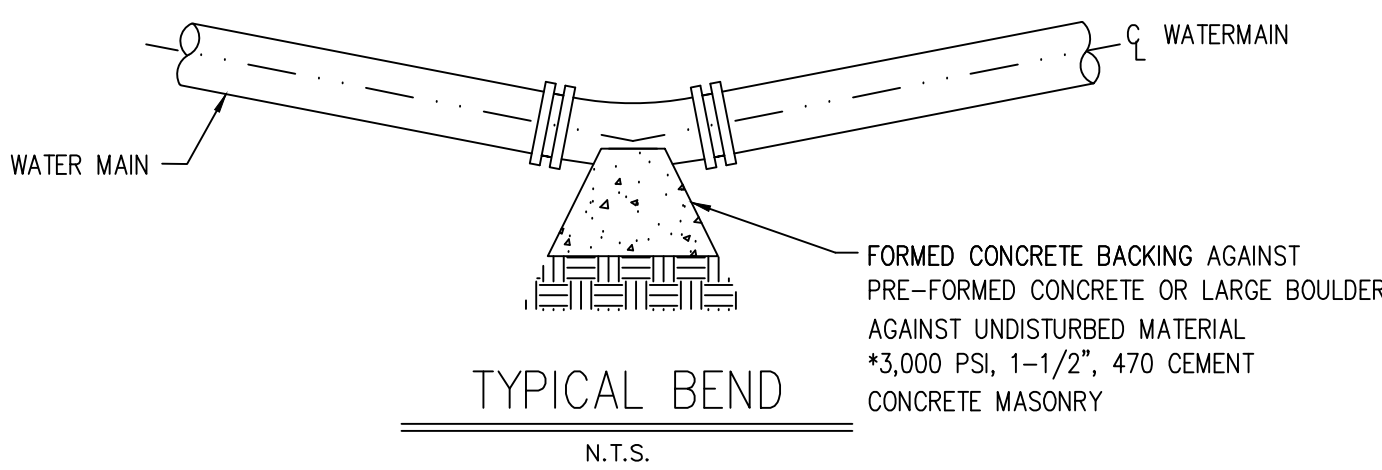
- NOTE:
1. LANDING PLATFORMS SHALL BE INSTALLED IN MANHOLES THAT ARE OVER TWENTY FEET (20') DEEP TO THE INVERT.



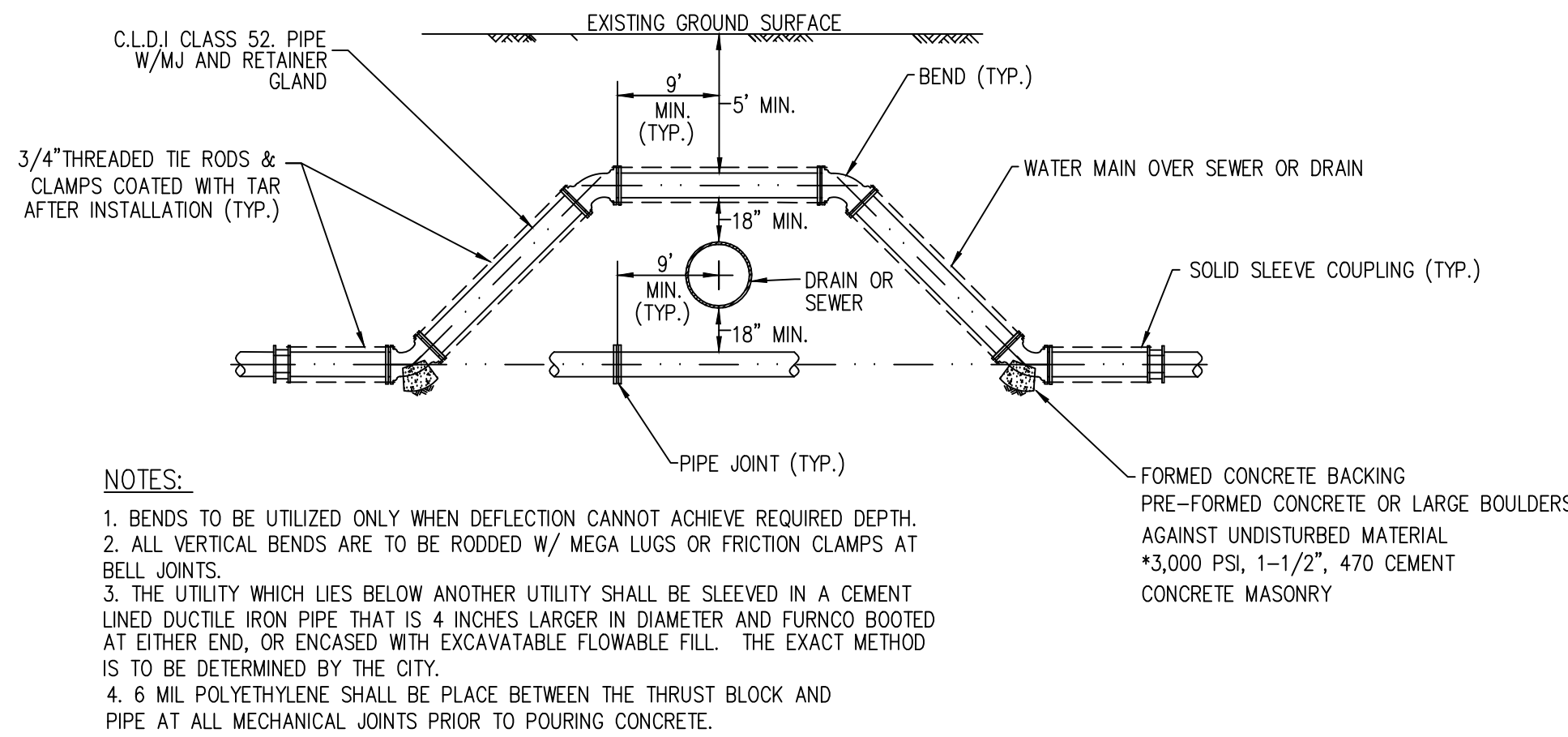
DOGHOUSE SEWER MANHOLE

N.T.S.

| TABLE OF BEARING AREAS IN SQUARE FEET AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS | | | |
|--|-----------------|--------------|--------------|
| SIZE OF MAIN (IN.) | 45° BEND (S.F.) | TEES & PLUGS | 22 1/2° BEND |
| 8" & LESS | 8 | 10 | 8 |
| 10" - 12" | 22 | 16 | 13 |



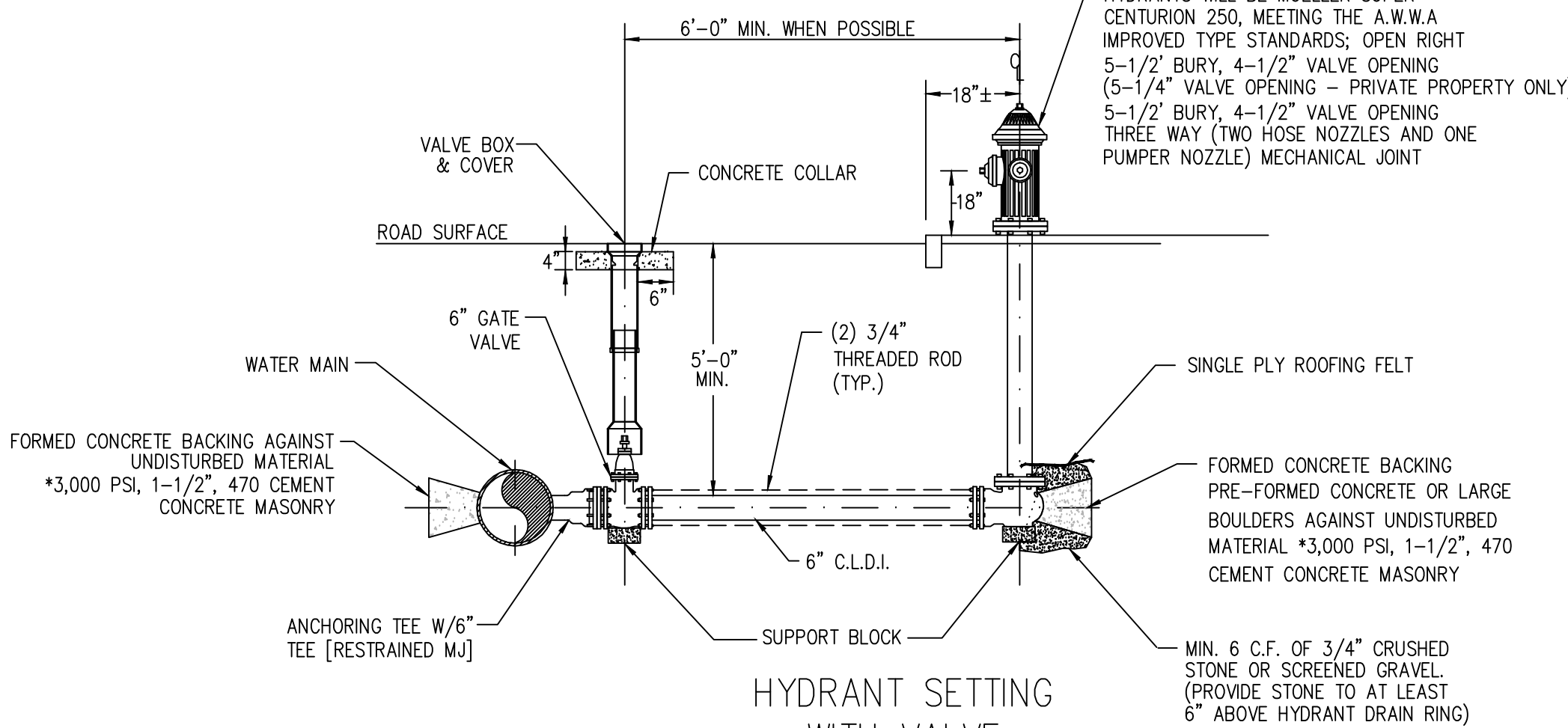
- NOTES:
1. PROVIDE RESTRAINTS FOR MECHANICAL JOINTS (MEGALUGS OR FRICTION CLAMPS).
 2. 6 MIL POLYETHYLENE SHALL BE PLACE BETWEEN THE THRUST BLOCK AND PIPE AT ALL MECHANICAL JOINTS PRIOR TO PORING CONCRETE.



- NOTES:
1. BENDS TO BE UTILIZED ONLY WHEN DEFLECTION CANNOT ACHIEVE REQUIRED DEPTH.
 2. ALL VERTICAL BENDS ARE TO BE RODDED W/ MEGA LUGS OR FRICTION CLAMPS AT BELL JOINTS.
 3. THE UTILITY WHICH LIES BELOW ANOTHER UTILITY SHALL BE SLEEVED IN A CEMENT LINED DUCTILE IRON PIPE THAT IS 4 INCHES LARGER IN DIAMETER AND FURNO BOOTED AT EITHER END, OR ENCASED WITH EXCAVATABLE FLOWABLE FILL. THE EXACT METHOD IS TO BE DETERMINED BY THE CITY.
 4. 6 MIL POLYETHYLENE SHALL BE PLACE BETWEEN THE THRUST BLOCK AND PIPE AT ALL MECHANICAL JOINTS PRIOR TO POURING CONCRETE.

WATER MAIN CROSSING
WITH SEWER OR DRAIN

N.T.S.



HYDRANT SETTING
WITH VALVE

N.T.S.

- NOTES:
1. PROVIDE HYDRANT AND VALVE JOINTS WITH MECHANICAL JOINTS (MEGALUG OR APPROVED EQUAL).
 2. SUPPORT BLOCKS TO BE PRESSURE TREATED WOOD OR CONCRETE MASONRY BLOCKS.
 3. ALL VALVES OPEN RIGHT.
 4. 6 MIL POLYETHYLENE SHALL BE PLACE BETWEEN THE THRUST BLOCK AND PIPE AT ALL MECHANICAL JOINTS PRIOR TO PORING CONCRETE.

APPROVED BY THE
MARLBOROUGH PLANNING BOARD

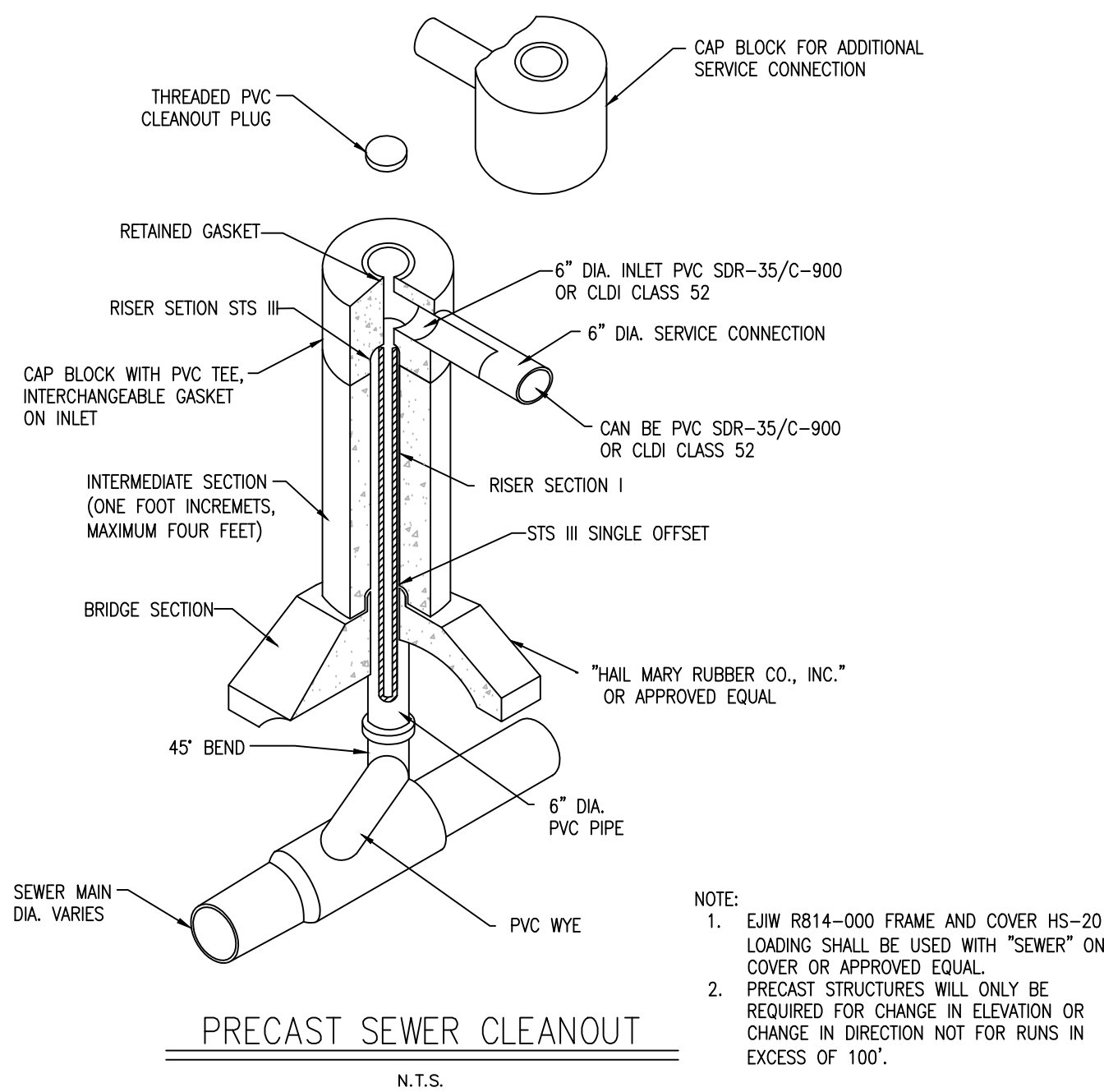
DATE: _____

GENERAL NOTES

1. PRIOR TO ANY CONSTRUCTION, THE RECORD CONTRACTOR SHALL MEET WITH WSP TO REVIEW THE APPROVED DESIGN PLANS AND DISCUSS CONSTRUCTION STANDARDS, REQUIREMENTS, INSPECTIONS & SCHEDULING.
2. ALL CONSTRUCTION METHODS SHALL COMPLY WITH THE SITE DEVELOPMENT PLAN SET AND ALL LOCAL, STATE AND FEDERAL AGENCY APPROVALS AND PUBLIC/ PRIVATE UTILITY COMPANY REQUIREMENTS.
3. THE RECORD CONTRACTOR SHALL NOTIFY WSP THREE BUSINESS DAYS PRIOR TO EACH CONSTRUCTION PHASE (i.e. FOUNDATION EXCAVATION, SEPTIC INSTALLATION, DRAINAGE INSTALLATION, ETC.).
4. SEE DRAWING NUMBER A001 LANDSCAPING SITEPLAN FOR PLANTING SCHEDULE AND LAYOUT.
5. THIS PLAN IS FOR PERMITTING AND REVIEW PURPOSES ONLY.

CONSTRUCTION NOTES

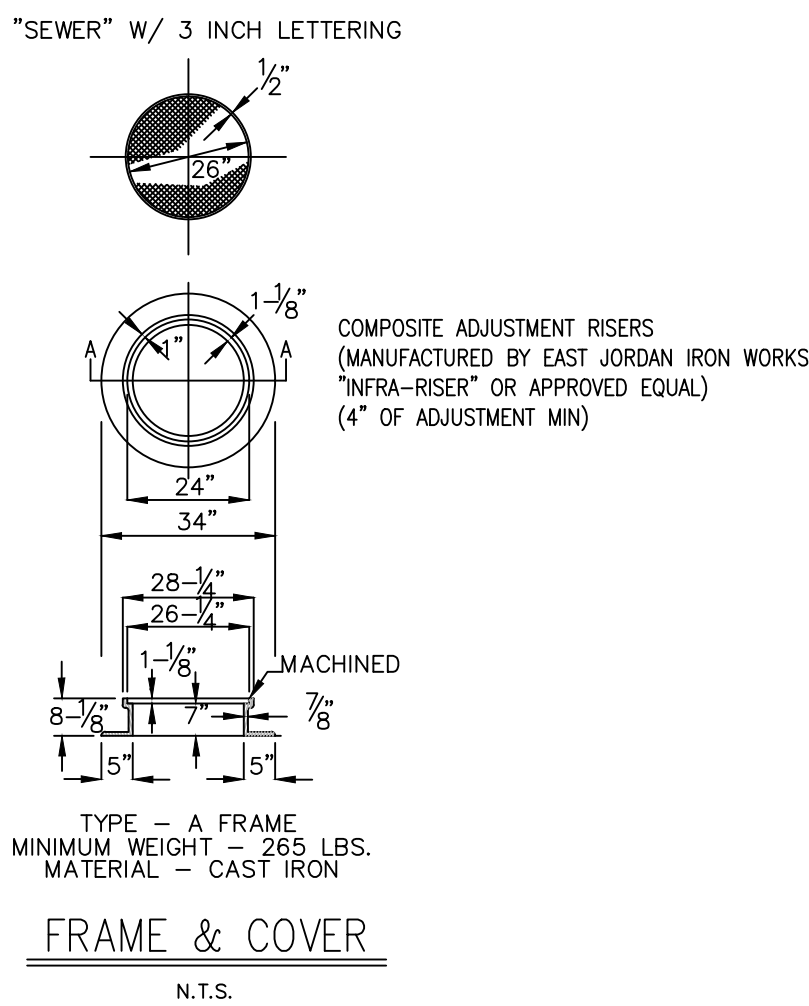
1. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
3. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB REQUIREMENTS.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS A STATED IN THE ORDER OF CONDITIONS. (REFER TO EROSION CONTROL PLAN FOR MORE DETAILS).
5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
6. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY
7. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT)
8. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BEING BACKFILLED
9. THE CITY SHALL BE NOTIFIED AT LEAST 24 HRS. PRIOR TO THE REQUIRED INSPECTIONS



PRECAST SEWER CLEANOUT

N.T.S.

- NOTE:
1. EIJM RB14-000 FRAME AND COVER HS-20 LOADING SHALL BE USED WITH "SEWER" ON COVER OR APPROVED EQUAL.
 2. PRECAST STRUCTURES WILL ONLY BE REQUIRED FOR CHANGE IN ELEVATION OR CHANGE IN DIRECTION NOT FOR RUNS IN EXCESS OF 100'.



FRAME & COVER

N.T.S.

PREPARED FOR:
CHARLES BOURQUE
131 BLACK BEAR DRIVE SUITE 1912
WALTHAM, MA 02451

PREPARED BY:
wsp
100 SUMMER STREET
BOSTON, MA 02110
617.426.7330



REVISIONS:

| REV NO. | DATE | DESCRIPTION | BY |
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| 1 | 7/21/22 | PLANNING BOARD REVISIONS | NSB |
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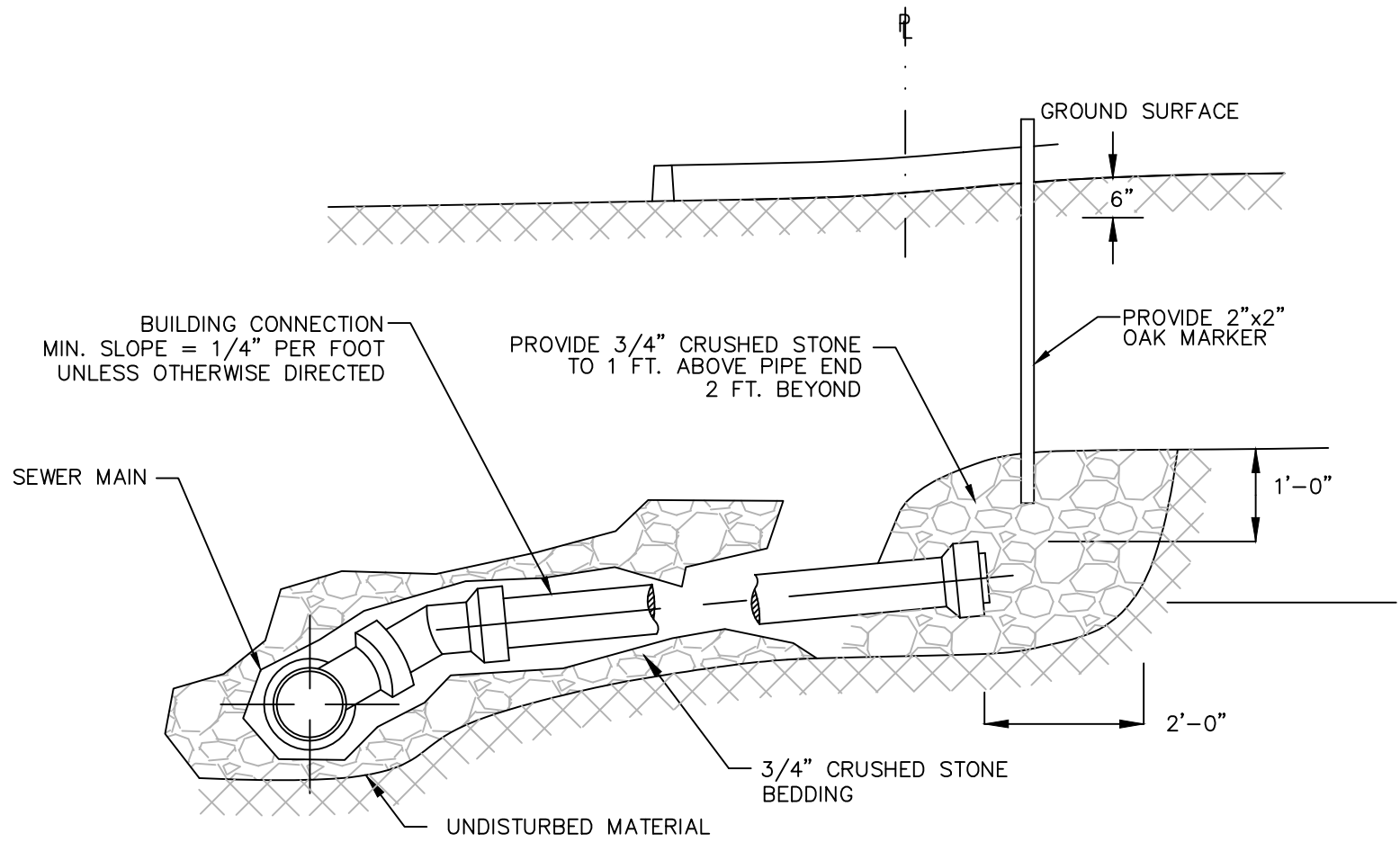
PLAN TITLE:
PETTES DRIVE SUBDIVISION
DETAIL SHEET 2 OF 5
OF LAND IN MARLBOROUGH, MA
OWNED BY
JAMES CHAOUSIS

DISCIPLINE:
CIVIL

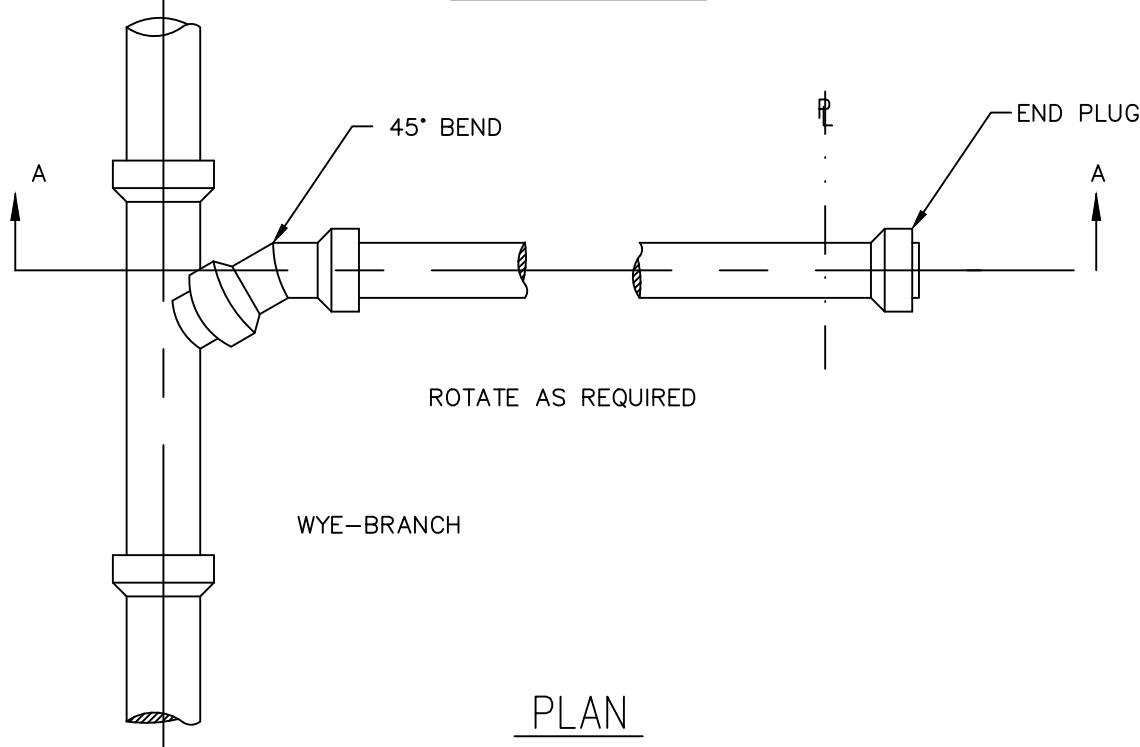
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| SCALE: NTS | DATE: 3/11/2022 |
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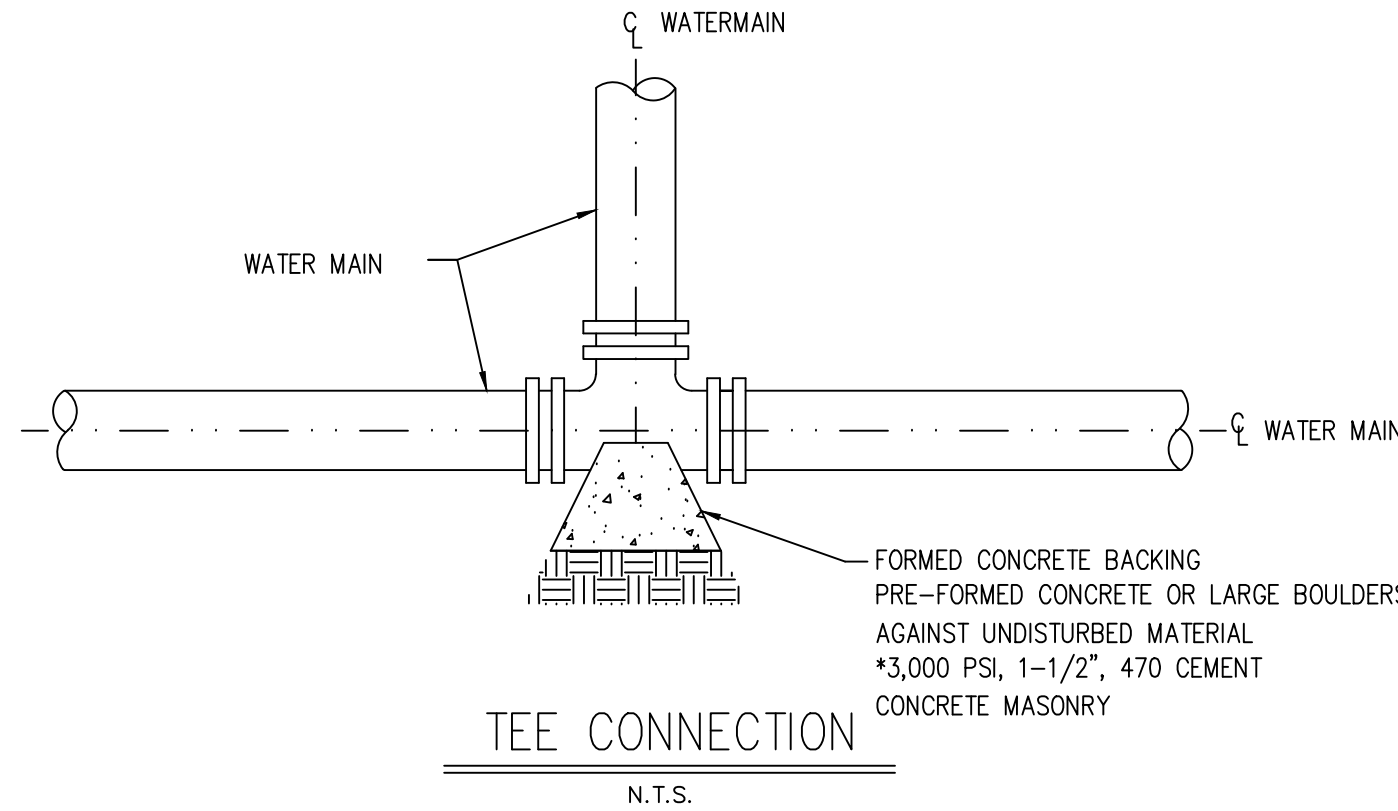
SHEET NUMBER:
C-007



SECTION A-A

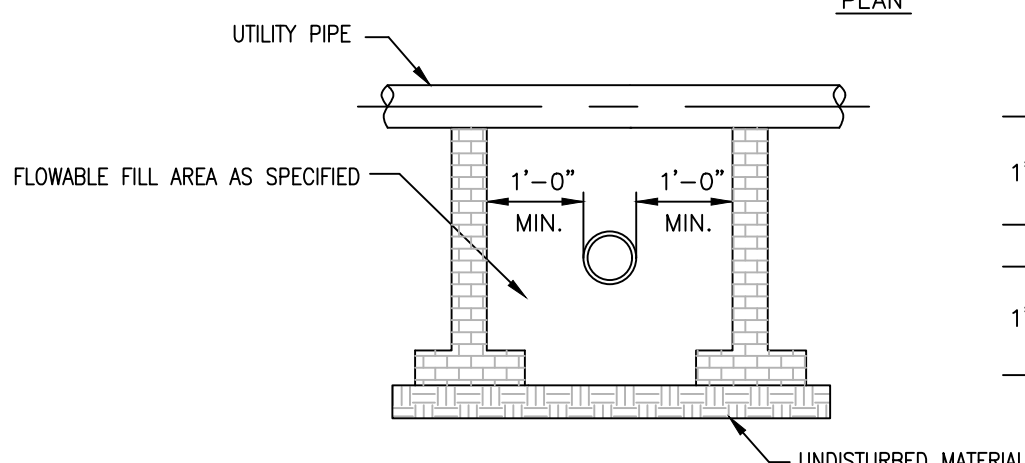
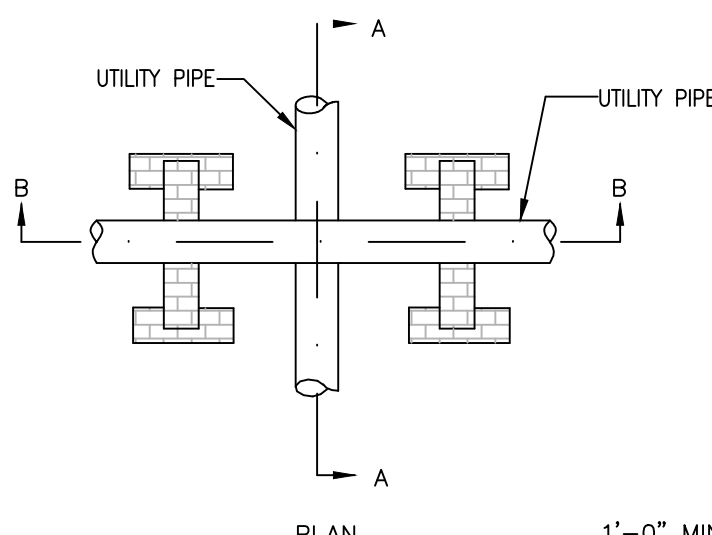


SEWER SERVICE CONNECTION
N.T.S.



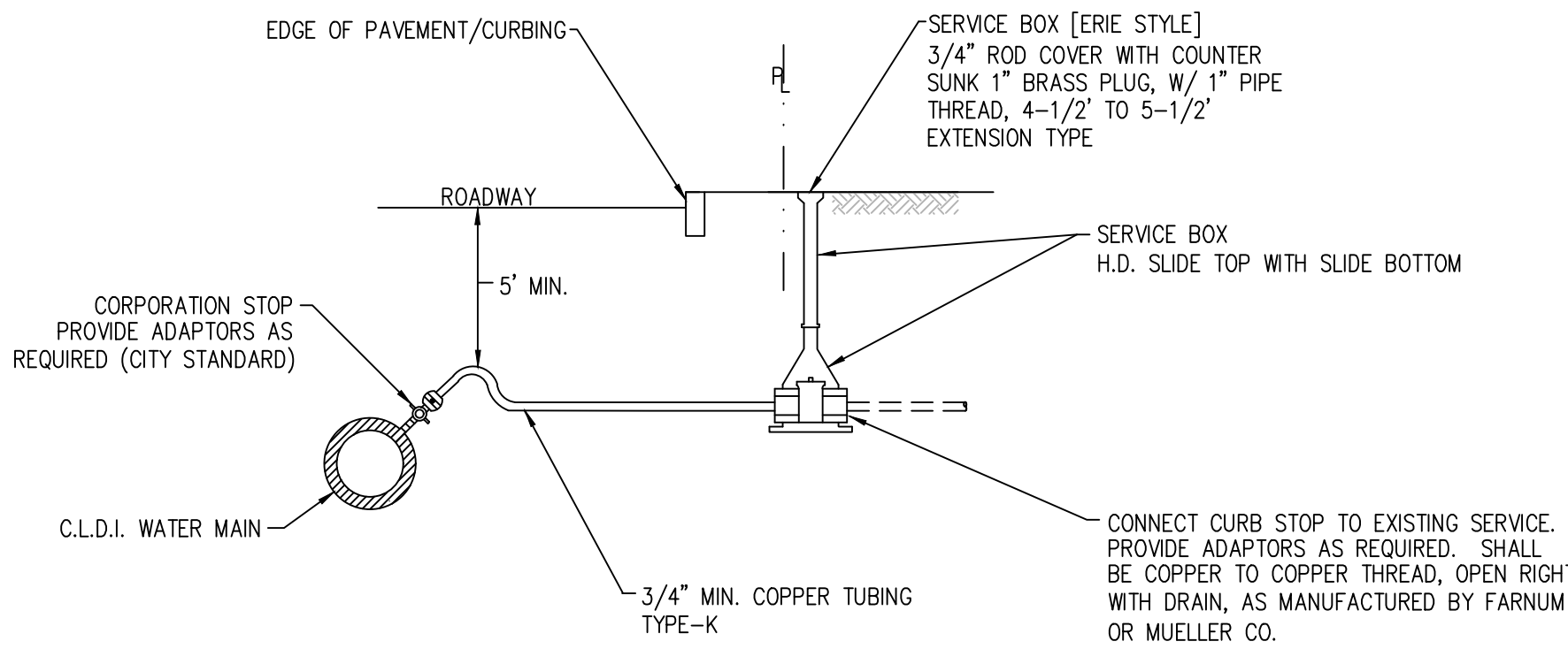
TEE CONNECTION
N.T.S.

- NOTES:
1. PROVIDE RESTRAINTS FOR MECHANICAL JOINTS (MEGALUGS OR FRICTION CLAMPS).
 2. 6 MIL POLYETHYLENE SHALL BE PLACE BETWEEN THE THRUST BLOCK AND PIPE AT ALL MECHANICAL JOINTS PRIOR TO PORING CONCRETE.



- NOTE:
1. RED CLAY BRICK OR SOLID CONCRETE BLOCK SHALL BE USED FOR CONSTRUCTION OF "BRIDGE".

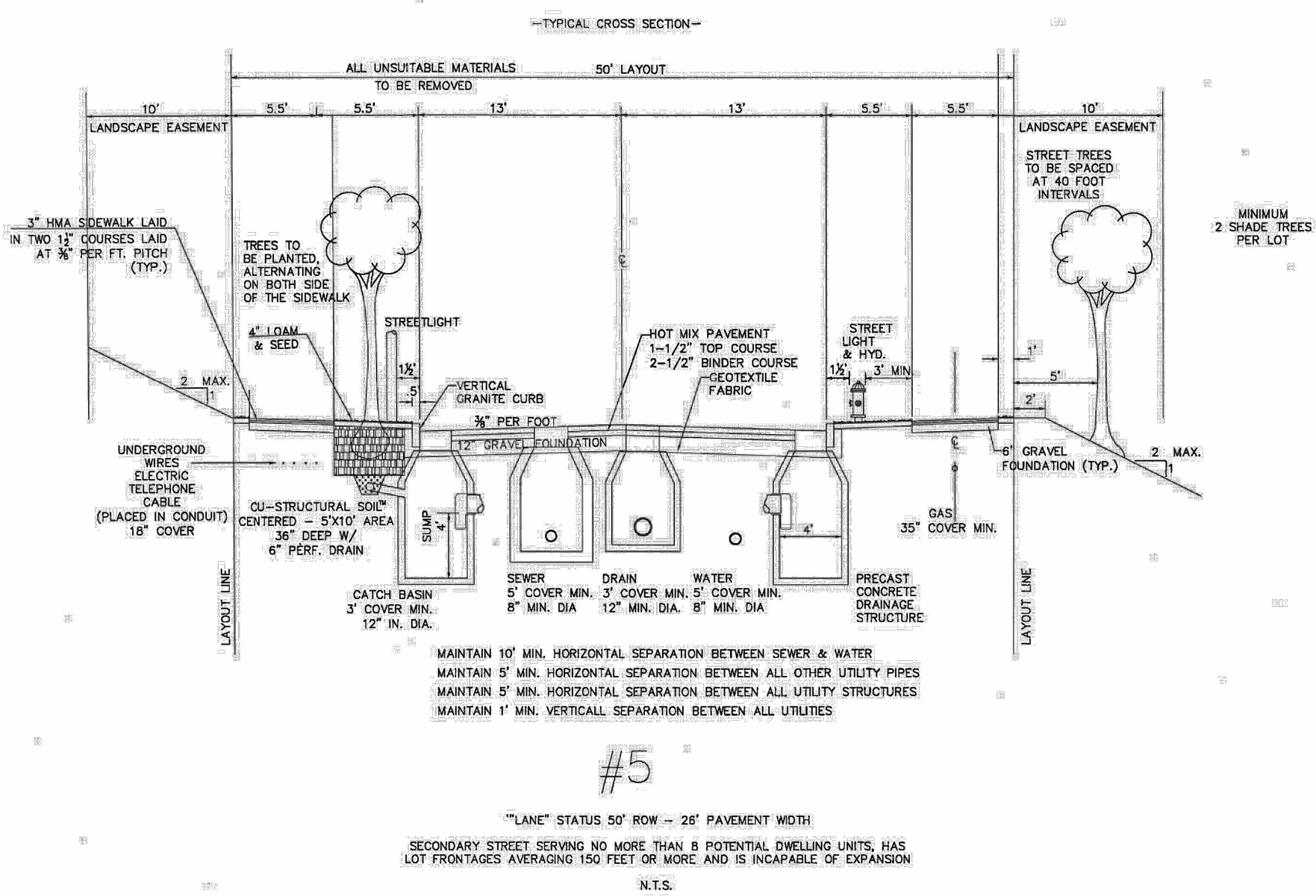
UTILITY CROSSING BRIDGE
N.T.S.



TYPICAL SERVICE CONNECTION
N.T.S.

NOTES:

1. FLUSH ALL NEW SERVICE LINES PRIOR TO CONNECTION.
2. UPON CONNECTION, REMOVE AND DISPOSE OF OLD SERVICE LINE FROM CORPORATION VALVE TO CURB STOP, CURB STOP AND BOX.
2. COPPER TUBING TYPE-K AND CURB STOP TO BE ENCASED IN 12" MIN. SAND.
3. ALL FITTINGS, CONNECTIONS, CORPORATIONS, CURB STOPS AND SERVICE APPURTENANCES SHALL BE SERVICE BRASS AS FOLLOWS: SERVICE BRASS SHALL CONFORM TO AWWA STANDARD C-800 (LATEST REVISION) AND PACK JOINT END CONNECTIONS SHALL CONSIST OF BUNA-N BEVELED GASKET FOR WATERTIGHT SEAL. AN INDEPENDENT, SPLIT-CLAMP LOCKING DEVICE OR STAINLESS STEEL BEVELED GRIPPER SHALL BE INCORPORATED IN THE DESIGN FOR ADDITIONAL RESTRAINT. FORD, MUELLER, OR RED HED SERVICE BRASS IS ACCEPTED WITHOUT SUBSTITUTE.



TYPICAL ROADWAY SECTION
(NOT TO SCALE)

APPROVED BY THE
MARLBOROUGH PLANNING BOARD

DATE: _____

GENERAL NOTES

1. PRIOR TO ANY CONSTRUCTION, THE RECORD CONTRACTOR SHALL MEET WITH WSP TO REVIEW THE APPROVED DESIGN PLANS AND DISCUSS CONSTRUCTION STANDARDS, REQUIREMENTS, INSPECTIONS & SCHEDULING.
2. ALL CONSTRUCTION METHODS SHALL COMPLY WITH THE SITE DEVELOPMENT PLAN SET AND ALL LOCAL, STATE AND FEDERAL AGENCY APPROVALS AND PUBLIC/ PRIVATE UTILITY COMPANY REQUIREMENTS.
3. THE RECORD CONTRACTOR SHALL NOTIFY WSP THREE BUSINESS DAYS PRIOR TO EACH CONSTRUCTION PHASE (I.E. FOUNDATION EXCAVATION, SEPTIC INSTALLATION, DRAINAGE INSTALLATION, ETC.).
4. SEE DRAWING NUMBER A001 LANDSCAPING SITEPLAN FOR PLANTING SCHEDULE AND LAYOUT.
5. THIS PLAN IS FOR PERMITTING AND REVIEW PURPOSES ONLY.

PREPARED FOR:
CHARLES BOURQUE
131 BLACK BEAR DRIVE SUITE 1912
WALTHAM, MA 02451

PREPARED BY:



100 SUMMER STREET
BOSTON, MA 02110
617.426.7330

REGISTRATION STAMP:



REVISIONS:

| REV NO. | DATE | DESCRIPTION | BY |
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| 1 | 7/21/22 | PLANNING BOARD REVISIONS | NSB |
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REGISTRY USE ONLY:

PLAN TITLE:

PETTES DRIVE SUBDIVISION
DETAIL SHEET 3 OF 5
OF LAND IN MARLBOROUGH, MA
OWNED BY
JAMES CHAOUSIS

DISCIPLINE:

CIVIL

DRAWN BY:

NB

CHECKED BY:

JL

APPROVED BY:

JL

SCALE:

NTS

DATE:

3/11/2022

SHEET NUMBER:

C-008

SOIL TESTING DATA

DATES OF TESTING: MARCH 28, 2022
TEST BY: JASON LAVOIE P.E., WSP USA
WITNESSED BY: UNWITNESSED

DEEP TEST HOLE DATA

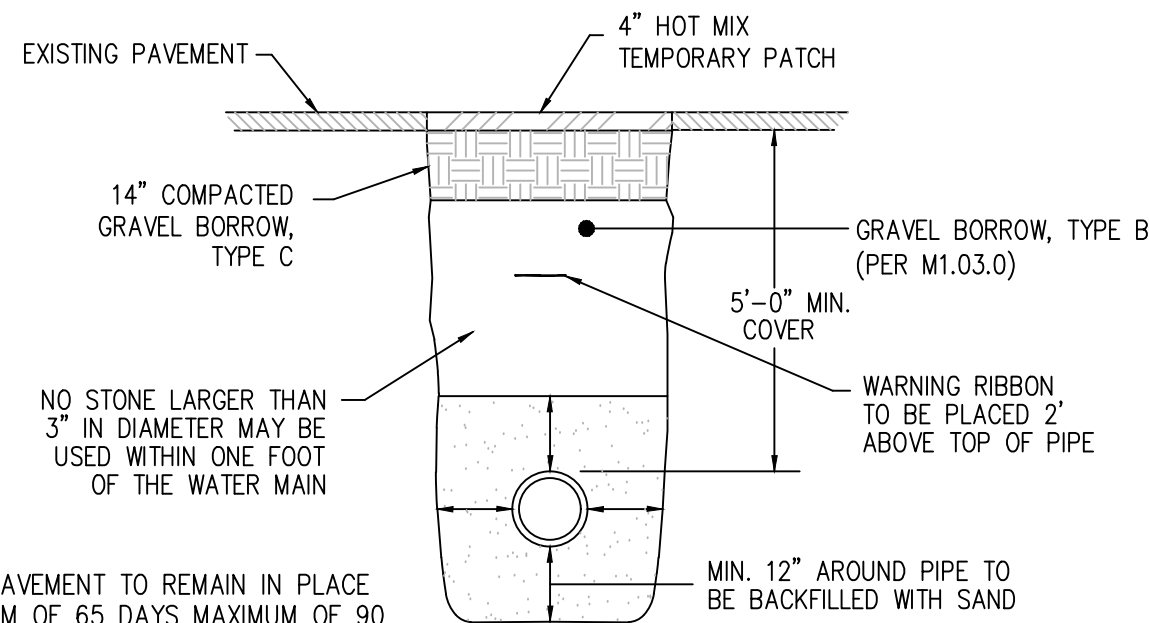
| DTH#W1 | | | | | |
|--------------------|--------------|------------|-------------|-----------------------|-------|
| DEPTH FROM SURFACE | SOIL HORIZON | SOIL COLOR | DESCRIPTION | PARENT MATERIAL: | TILL |
| 0.0'-0.7" | A | 10YR2/1 | SANDY LOAM | DEPTH TO BEDROCK: | >7.5' |
| 0.7'-2.7" | B | 10YR4/6 | SANDY LOAM | DEPTH TO GROUNDWATER: | |
| 3.0'-8.5" | C | 2.5Y5/4 | SANDY LOAM | MOTTLES: | N/A |
| | | | | STANDING: | N/A |
| | | | | WEEPING: | N/A |
| | | | | ESHGW: | 7.5' |

| DTH#W2 | | | | | |
|--------------------|--------------|------------|-------------|-----------------------|-------|
| DEPTH FROM SURFACE | SOIL HORIZON | SOIL COLOR | DESCRIPTION | PARENT MATERIAL: | TILL |
| 0.0'-0.7" | A | 10YR2/1 | SANDY LOAM | DEPTH TO BEDROCK: | >8.7' |
| 0.7'-2.7" | B | 10YR4/6 | SANDY LOAM | DEPTH TO GROUNDWATER: | |
| 3.0'-8.7" | C | 2.5Y5/4 | SANDY LOAM | MOTTLES: | 7.8' |
| | | | | STANDING: | N/A |
| | | | | WEEPING: | N/A |
| | | | | ESHGW: | 7.8' |

| DTH#W3 | | | | | |
|--------------------|--------------|------------|-----------------|-----------------------|-------|
| DEPTH FROM SURFACE | SOIL HORIZON | SOIL COLOR | DESCRIPTION | PARENT MATERIAL: | TILL |
| 0.0'-0.5" | A | 10YR2/1 | SANDY LOAM | DEPTH TO BEDROCK: | >7.5' |
| 0.5'-2.0" | B | 10YR4/6 | SANDY LOAM | DEPTH TO GROUNDWATER: | |
| 2.0'-5.7" | C1 | 2.5Y5/4 | FINE SANDY LOAM | MOTTLES: | N/A |
| 5.7'-7.5" | C2 | 2.5Y5/4 | SANDY LOAM | STANDING: | 7.5' |
| | | | | WEEPING: | 5.7' |
| | | | | ESHGW: | 5.7' |

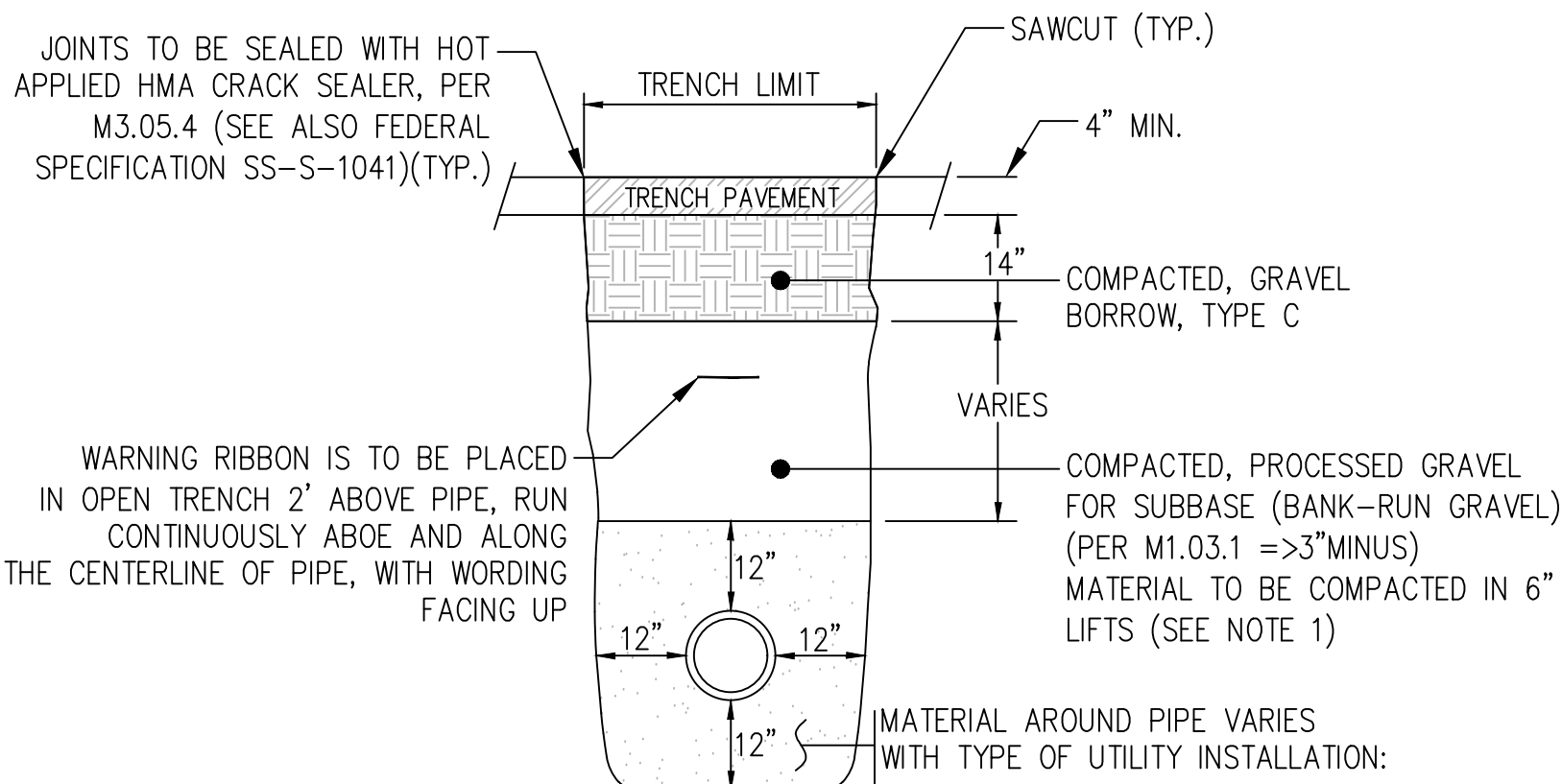
| DTH#W4 | | | | | |
|--------------------|--------------|------------|-------------|-----------------------|-------|
| DEPTH FROM SURFACE | SOIL HORIZON | SOIL COLOR | DESCRIPTION | PARENT MATERIAL: | TILL |
| 0.0'-0.5" | A | 10YR2/1 | SANDY LOAM | DEPTH TO BEDROCK: | >6.0' |
| 0.5'-2.0" | B | 10YR4/6 | SANDY LOAM | DEPTH TO GROUNDWATER: | |
| 2.0'-6.0" | C | 2.5Y5/4 | SANDY LOAM | MOTTLES: | N/A |
| | | | | STANDING: | N/A |
| | | | | WEEPING: | 5.7' |
| | | | | ESHGW: | 5.7' |

| DTH#W5 | | | | | |
|--------------------|--------------|------------|-------------|-----------------------|-------|
| DEPTH FROM SURFACE | SOIL HORIZON | SOIL COLOR | DESCRIPTION | PARENT MATERIAL: | TILL |
| 0.0'-1.0" | A | 10YR2/1 | SANDY LOAM | DEPTH TO BEDROCK: | >9.0' |
| 1.0'-2.5" | B | 10YR4/6 | SANDY LOAM | DEPTH TO GROUNDWATER: | |
| 2.5'-9.0" | C | 2.5Y5/4 | SANDY LOAM | MOTTLES: | 8.5' |
| | | | | STANDING: | N/A |
| | | | | WEEPING: | N/A |
| | | | | ESHGW: | 8.5' |



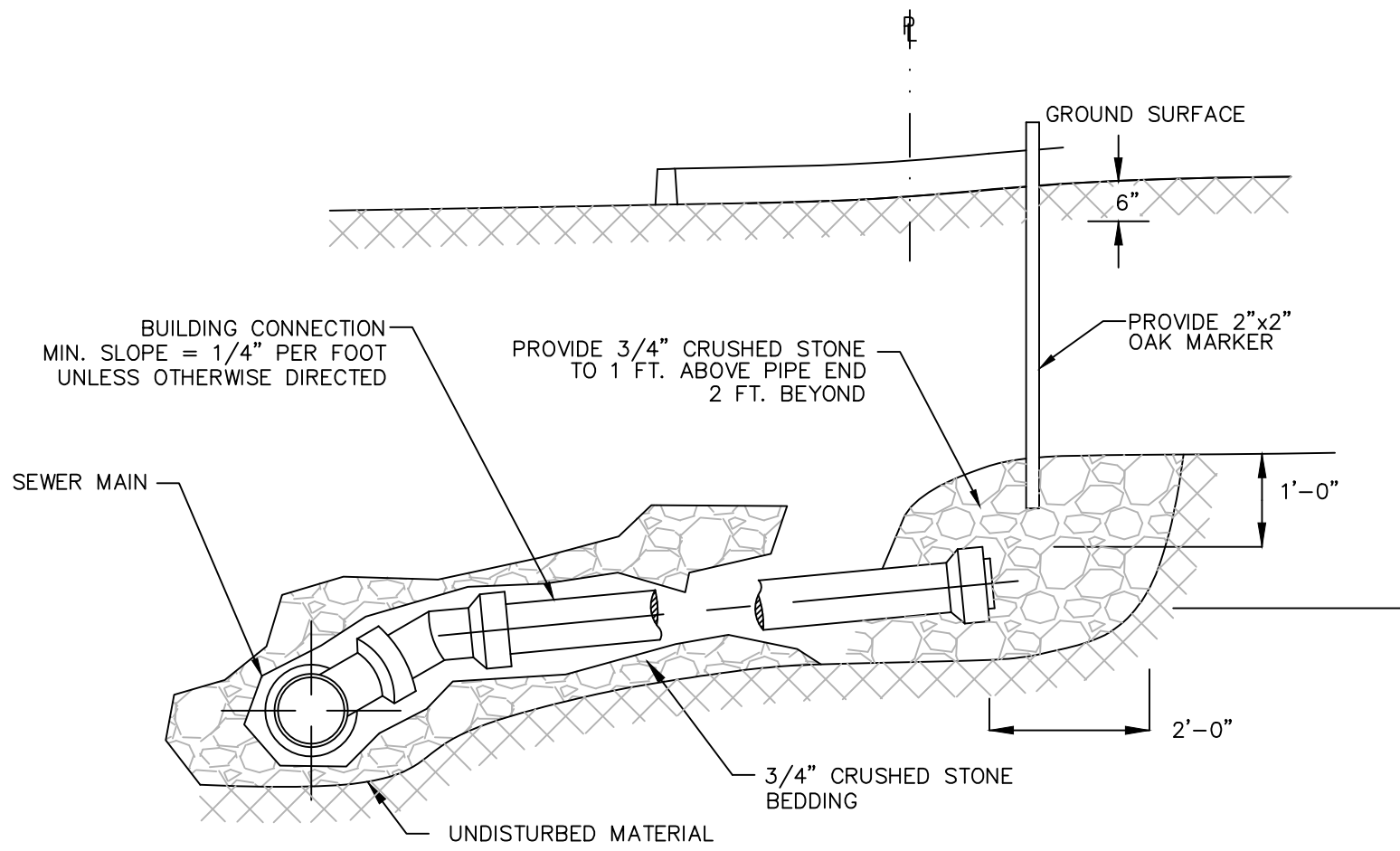
- NOTE:
- TEMPORARY PAVEMENT TO REMAIN IN PLACE FOR A MINIMUM OF 65 DAYS MAXIMUM OF 90 DAYS, TO BE COMPLETELY REMOVED DURING FINAL PAVING.
 - COMPACTION EQUIPMENT AND LIFT THICKNESS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS TO OBTAIN THE COMPACTION STANDARDS DESCRIBED IN THE CONSTRUCTION NOTES, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. IN PROXIMITY TO STRUCTURES, A JUMPING JACK COMPACTOR SHALL BE REQUIRED.

TYPICAL WATER TRENCH
N.T.S.

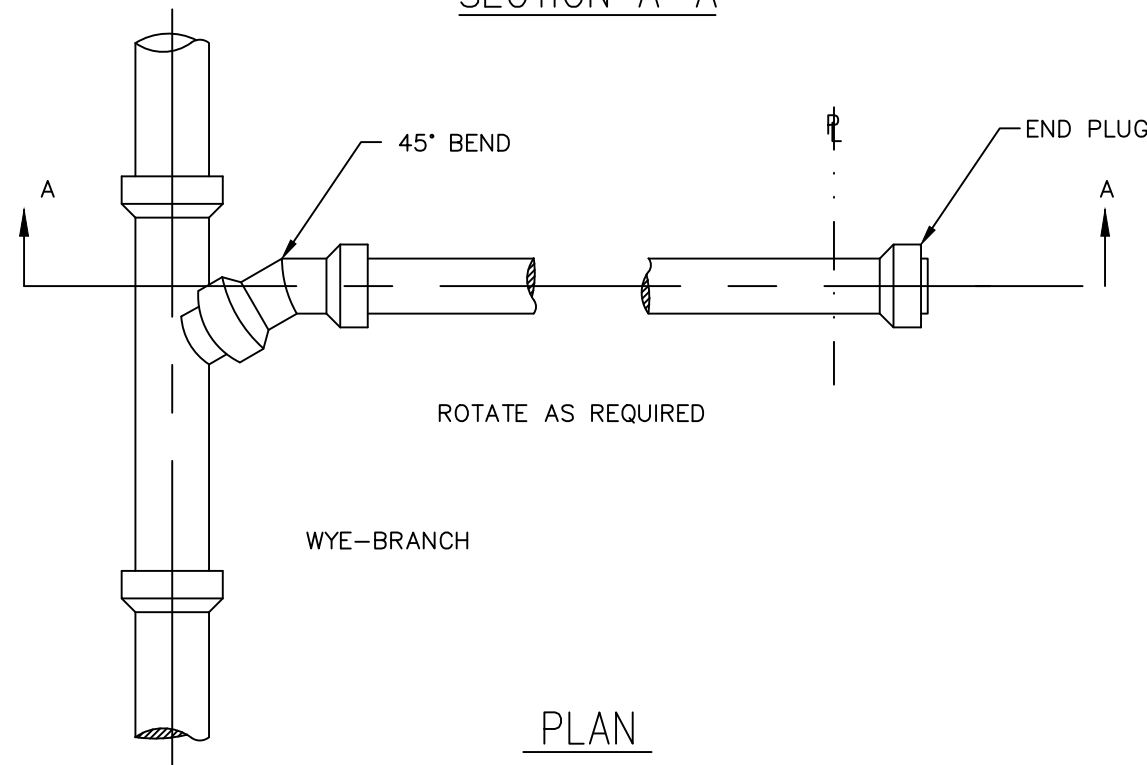


- NOTE:
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 - WATER MAIN PIPE IS TO HAVE MINIMUM COVER DEPTH OF 5 FEET FROM FINISHED SURFACE.
- SEWER-3/4" CRUSHED STONE (PER M2.01.0)
WATER-SAND BORROW, TYPE B (PER M1.04.0 => 3/8" MINUS)
DRAIN RCP-GRAVEL BORROW, TYPE C (PER M1.03.0 => 2" MINUS)
DRAIN CHDPE-GRAVEL BORROW, TYPE D (PER M1.03.0 => 1-1/2" MINUS)
DETAIL SHOWN AS TYPICAL

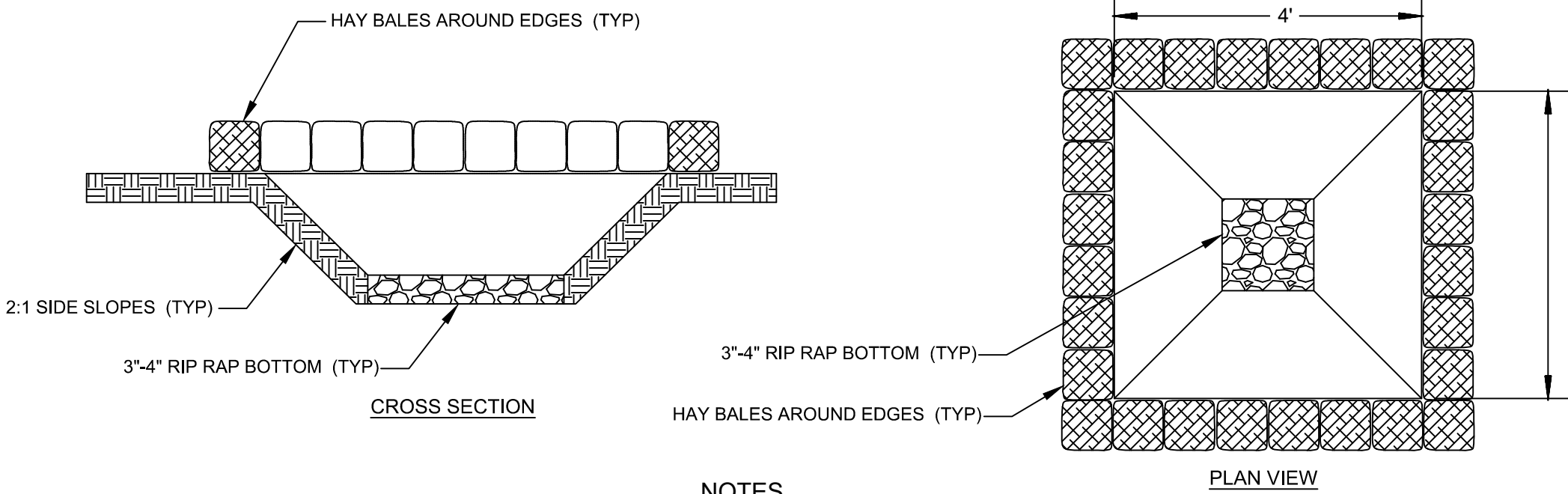
TYPICAL EXCAVATION TRENCH
N.T.S.



SECTION A-A



SEWER SERVICE CONNECTION
N.T.S.



- NOTES
- THE CITY OF MARLBOROUGH SHALL BE NOTIFIED WITHIN 48 HOURS OF ANY DEWATERING.
 - DEWATERING SYSTEM SHALL BE INSPECTED PRIOR TO USE.
 - DURING USE THE DEWATERING SYSTEM SHALL BE MONITORED AND MAINTAINED. AT THE END OF EACH DAY SEDIMENT AND DEBRIS SHALL BE REMOVED. IF HAYBALES BECOME DETERIORATED THEY SHALL BE REPLACED AS NEEDED.

DEWATERING DETAIL
(NOT TO SCALE)

APPROVED BY THE
MARLBOROUGH PLANNING BOARD

DATE:

GENERAL NOTES

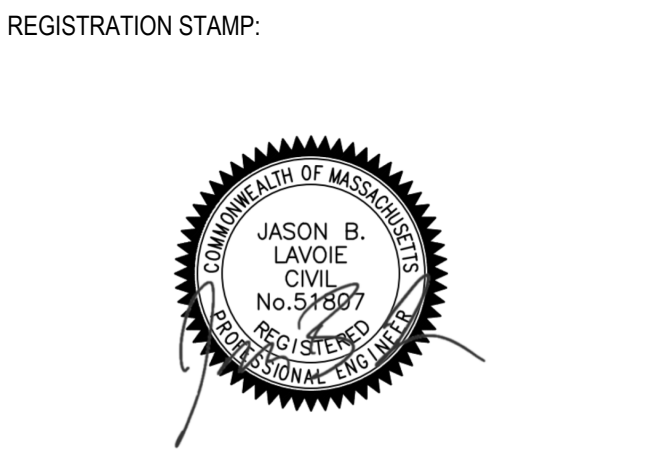
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- THIS PLAN IS FOR PERMITTING AND REVIEW PURPOSES ONLY.

CONSTRUCTION NOTES

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- ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
- ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB REQUIREMENTS.
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- ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
- THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY
- ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT)
- ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BEING BACKFILLED
- THE CITY SHALL BE NOTIFIED AT LEAST 24 HRS. PRIOR TO THE REQUIRED INSPECTIONS

PREPARED FOR:
CHARLES BOURQUE
131 BLACK BEAR DRIVE SUITE 1912
WALTHAM, MA 02451

PREPARED BY:
wsp
100 SUMMER STREET
BOSTON, MA 02110
617.426.7330



| REVISIONS: | | | |
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| REV NO. | DATE: | DESCRIPTION: | BY: |
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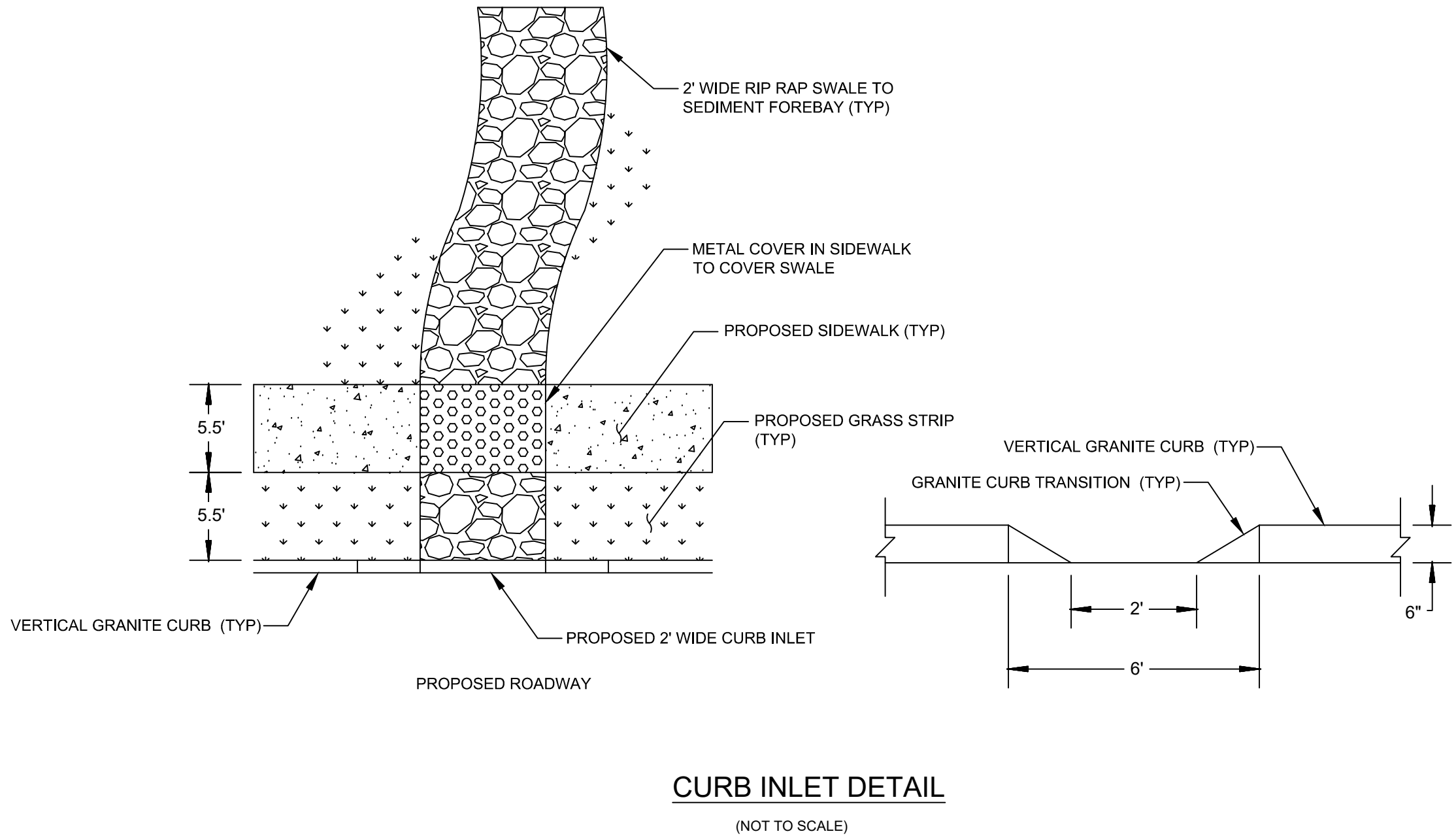
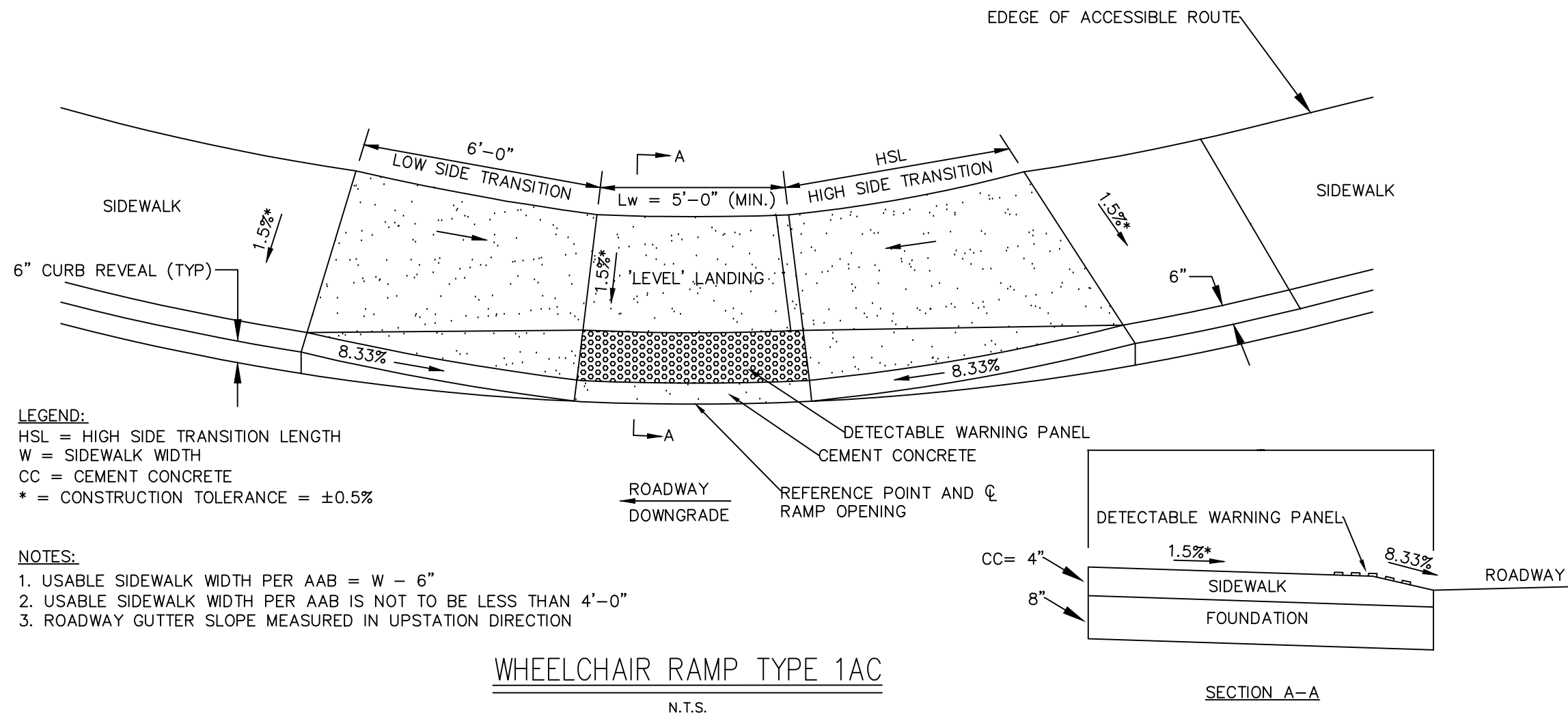
REGISTRY USE ONLY:

PLAN TITLE:
PETTES DRIVE SUBDIVISION
DETAIL SHEET 4 OF 5
OF LAND IN MARLBOROUGH, MA
OWNED BY
JAMES CHAOUSIS

| DISCIPLINE: | | |
|-------------|-------------|--------------|
| CIVIL | | |
| DRAWN BY: | CHECKED BY: | APPROVED BY: |
| NB | JL | JL |

| SCALE: | DATE: |
|--------|-----------|
| NTS | 7/21/2022 |

SHEET NUMBER:
C-009



APPROVED BY THE
MARLBOROUGH PLANNING BOARD

DATE: _____

GENERAL NOTES

1. PRIOR TO ANY CONSTRUCTION, THE RECORD CONTRACTOR SHALL MEET WITH WSP TO REVIEW THE APPROVED DESIGN PLANS AND DISCUSS CONSTRUCTION STANDARDS, REQUIREMENTS, INSPECTIONS & SCHEDULING.
2. ALL CONSTRUCTION METHODS SHALL COMPLY WITH THE SITE DEVELOPMENT PLAN SET AND ALL LOCAL, STATE AND FEDERAL AGENCY APPROVALS AND PUBLIC/ PRIVATE UTILITY COMPANY REQUIREMENTS.
3. THE RECORD CONTRACTOR SHALL NOTIFY WSP THREE BUSINESS DAYS PRIOR TO EACH CONSTRUCTION PHASE (i.e. FOUNDATION EXCAVATION, SEPTIC INSTALLATION, DRAINAGE INSTALLATION, ETC.).
4. SEE DRAWING NUMBER A001 LANDSCAPING SITEPLAN FOR PLANTING SCHEDULE AND LAYOUT.
5. THIS PLAN IS FOR PERMITTING AND REVIEW PURPOSES ONLY.

CONSTRUCTION NOTES

1. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
3. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB REQUIREMENTS.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS A STATED IN THE ORDER OF CONDITIONS. (REFER TO EROSION CONTROL PLAN FOR MORE DETAILS).
5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
6. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY
7. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT)
8. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BEING BACKFILLED
9. THE CITY SHALL BE NOTIFIED AT LEAST 24 HRS. PRIOR TO THE REQUIRED INSPECTIONS

PREPARED FOR:
CHARLES BOURQUE
131 BLACK BEAR DRIVE SUITE 1912
WALTHAM, MA 02451

PREPARED BY:

100 SUMMER STREET
BOSTON, MA 02110
617.426.7330

REGISTRATION STAMP:

REVISIONS:

| REV NO. | DATE | DESCRIPTION | BY |
|---------|------|-------------|----|
| | | | |
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REGISTRY USE ONLY:

PLAN TITLE:
PETTES DRIVE SUBDIVISION
DETAIL SHEET 5 OF 5
OF LAND IN MARLBOROUGH, MA
OWNED BY
JAMES CHAOUSIS

DISCIPLINE:
CIVIL

DRAWN BY:
NB

CHECKED BY:
JL

APPROVED BY:
JL

SCALE:
NTS

DATE:
7/21/2022

SHEET NUMBER:

C-010

August 1, 2022

VIA EMAIL

Town of Marlborough Planning Board
c/o Katlyn Miller
140 Main Street
Marlborough, MA 01752
kmiller@marlborough-ma.gov

*Re: Raising Cane's Chicken Fingers - Sign Application
141 Boston Post Road West (Route 20), Marlborough, Massachusetts*

Dear Members of the Planning Board:

This letter is to being submitted in relation to the application of Raising Cane's Chicken Fingers ("Raising Cane's") for signage approval pursuant to Chapter 526 of the Code of the City of Marlborough ("Sign Ordinance") for its location at 141 Boston Post Road West (the "Property").

On July 25, the Board considered Raising Cane's request for the approval of a variance to allow for four wall signs, canopy lettering, and two proposed artistic murals - one showing a heart and one showing a dog wearing sunglasses. The Board voted to approve the canopy lettering, but two motions for approval related to the artistic murals resulted in a 3-3 vote, and the motions therefore did not carry.

In response to feedback from the Board, Raising Cane's has prepared a revised Brand Book that removes the larger of the two murals showing a heart design. Raising Cane's now seeks a variance only in relation to approval of a banner which includes an image of a dog wearing sunglasses.

The Building Inspector has determined that the total allowable sign area at the Property is 150 square feet. The four proposed flat wall signs bearing the Raising Cane's logo and "One Love" canopy letters have a total combined sign area of under 146 square feet. Raising Cane's hereby requests a variance to allow for inclusion of the 32 square foot banner, as shown on the attached Brand Book, which will result in the grant of 28 square feet of additional sign area.

Raising Cane's maintains that the circumstances at the Property, including the distance of the restaurant from the street, the presence of other buildings within sight lines, the speed of traffic along Route 20, and the configuration of the building with surrounding parking and drive through lanes, are unique and not contemplated by the Sign Ordinance. The relief requested is minimal and may be granted without substantial derogation of the intent of the Sign Ordinance. Raising Cane's

Fletcher Tilton

FletcherTilton.com

therefore submits that this an appropriate case for a variance to issue per the provision of the Sign Ordinance.

Thank you for your attention to this matter.

Very truly yours,

A handwritten signature in blue ink, reading "M. Brangwynne", with a stylized flourish at the end.

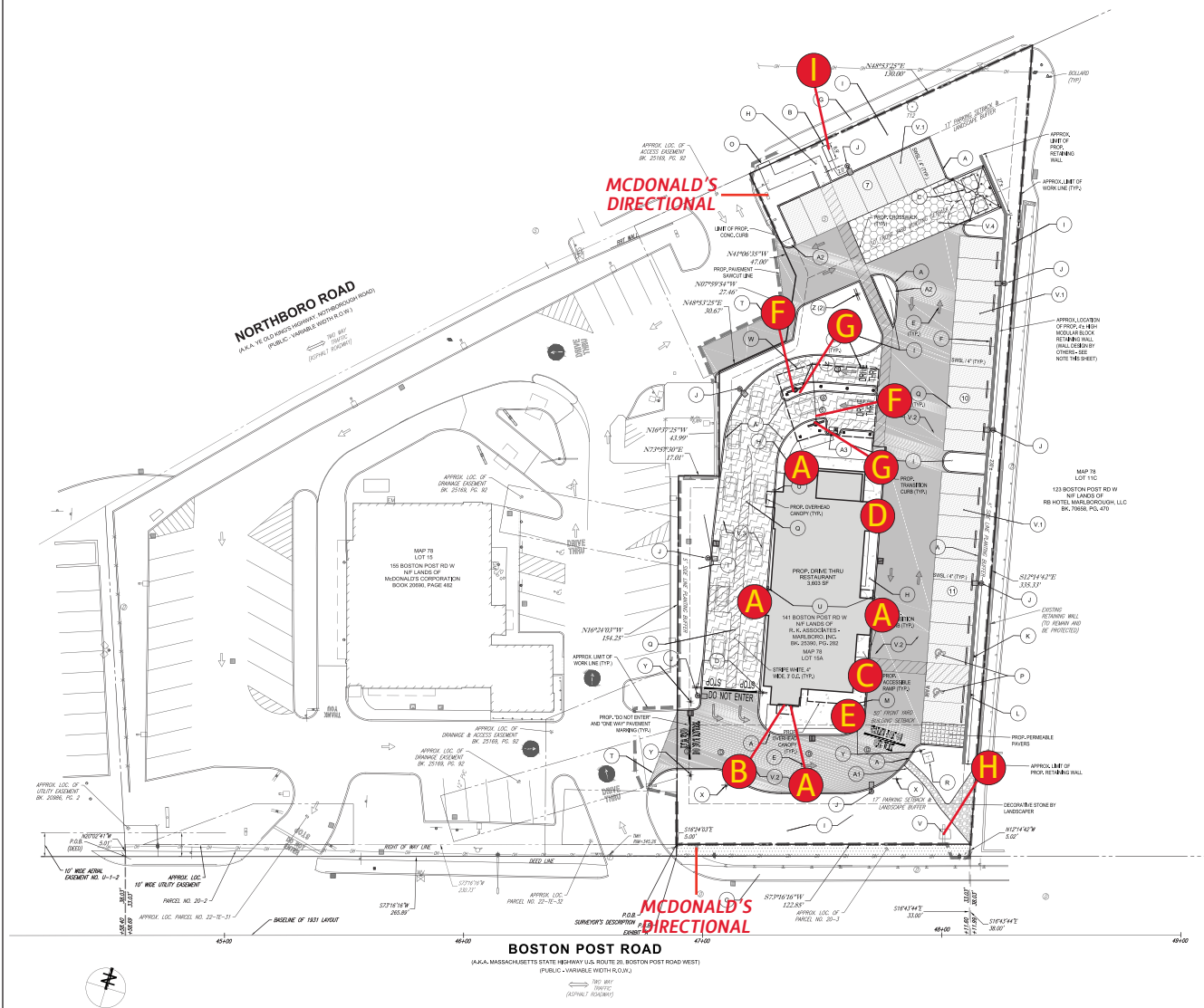
Michael E. Brangwynne
FLETCHERTILTON PC
12 Post Office Square, 6th Floor
Boston, MA 02109
P: 617-336-2281 | F: 617-336-4481
Email: mbrangwynne@fletcherilton.com



141 Boston Post Rd W/RC0622
Marlborough, MA 01752
07/28/2022

| DRAWING REVISIONS | | |
|-------------------|----|---|
| DATE | PM | CHANGE |
| 9/15/20 | SH | Updated siteplan & elevations, removed speaker post |
| 9/15/20 | SH | Updated siteplan |
| 4/27/21 | SH | Updated to monument |
| 7/26/21 | SH | Updated elevations |
| 1/11/22 | SH | Updated siteplan & added speaker posts |
| 2/23/22 | SH | Changed to red dog |
| 6/21/22 | SH | Changed to OLH |
| 7/28/22 | SH | Removed OLH |
| | | |
| | | |

SITEMAP



| | QTY. | CODE | DESCRIPTION |
|---|------|--------|---------------------------|
|  | 4 | WS-8FT | 4x8 Wall Sign |
|  | 1 | ONS | Open Sign |
|  | 1 | CFNS | Chicken Fingers Neon Sign |
|  | 1 | RD-1 | Red Dog |
|  | 1 | CAN | One Love Canopy Letters |
|  | 2 | DTMB | DT Menuboard |
|  | 2 | DTSP | Speaker Post |
|  | 1 | EPYLON | Existing Pylon |
|  | 1 | MON | Monument |

| | | |
|--|-------------------------------------|-------------------------------------|
| No development or LL restrictions noted as of 8/24/2020 | YES | NO |
| Reuse existing pylon sign and replace face | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| EMC would be subject to engineering and would require Special permit from City Council | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Possibly allowed 2nd sign off Northboro if defined as part of Cane's entrance, NTE 25 SF | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Allowed 143.25 SF of building signage. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Mural counts as signage, cannot be painted or posted on building, must be digital print | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| One Love Heart and Blue Dog w/o copy are subject to review as art | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Window sign lighting is subject to review | <input type="checkbox"/> | <input checked="" type="checkbox"/> |



Location: Marlborough, MA

AGI Rep: S. Holmes

Site ID: RC0622

AGI PM: Scott Rogers

Date: 08/25/2020

Drawn by: M. Folden

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Code Check Form

☐ Stand Alone☐ Multi-TenantCustomer Name : Raising Cane's Parcel #: _____

Business: _____

Project Name : RC0622 Boston Post & NorthboroRe-zoning Required/Recommended: Yes ☐ No ☐Address: 141 Boston Post Rd WJurisdiction: City of MarlboroughCity: Marlborough State: MA Zip: 01752Contact Name: Pam WildermanDev.name: _____ Within PUD or CUP: Yes ☐ No ☐Phone: (508) 460-3776Master Sign Program (MSP) or Development Criteria: Yes ☐ No ☐E-Mail: pwilderman@marlborough-ma.gov

Ground Signs- Pylon (Pole) & Monument

☐ - N/AAre ground signs allowed? Yes ☐ No ☐ If No, Tenant ☐ Pylon/Pole ☐ Monument ☐ Minimum frontage to qualify: 60 ft.Number of signs allowed: 1/parcel w/ frontage & own entrance Distance to adjacent ground sign on same lot: 100 ft. Surrounding Lot: _____Maximum SF Allowed: 50 SF Formula for area calculation: 0.5sf/1lf of facade Wind Load: _____Minimum setback: on property, not over ROW Maximum Overall Height: 15ft + 1ft for each 10ft of sign area, max 30ft Visibility Triangle: 25ftBerm Allowed? Yes ☐ No ☐ How is height measured? from ground levelRequired base covering: N/A How many faces count toward sign area ? 1

Illumination/ Lighting Restrictions: _____

Design restrictions for sign: Building setback must be 30ft from public way. If between 10 and 30 ft allowed sign at 50% allowable SF and height.EMC - Can there be animation? Yes ☐ No ☐ Does it have to be static? Yes ☐ No ☐ Can price be displayed? Yes ☐ No ☐Color restrictions: SPECIAL PERMIT REQUIRED from City Council. sunrise to sunset-background 1 color with contrasting color for text. Sunset to sunrise, background single dark color with contrasting text. 350 nits sunset to sunrise, 6000 nits sunrise to sunset.Rate of change restrictions: Hold Time: 60 seconds, change 0.3 seconds. Must be 100ft from any other EMC.City Council may impose additional restrictions.EMC SF restrictions: 25% of freestanding sign NTE 24sf, must be installed on lower 1/2 of sign, auto dimmer required.Placement or residential restrictions: 200ft from residential

Notes: EMC: No blinking, flashing, fluttering lights or change of light intensity, brightness or color. No grow, xray, melt, scroll, write on, travel, inverse, roll, twinkle, snow, rotate, flash, blink, move, spin, wave, rumble or animation. ALL OTHER SIGNAGE ON PROPERTY MUST BE COMPLIANT WITH CODE
 Bonus for message board: must be integral part of design, allowed 33% increase, min. 15 SF, max. 50 SF
 Bonus for street number: 1sf/10sf of sign area, minimum 4sf, max 10sf.
 If multiple street entrances with driveways spaced more than 250 ft apart, allowed secondary sign 25sf. Not allowed on lots with nonconforming signs and entire site must meet landscaping requirements: 15ft wide landscape strip along street frontage, not IN ROW, must be protected by 6" vertical curbing in heavily traveled areas. Curb openings to public street max 30ft wide.

Wall Signs

☐ - N/ANumber of signs allowed: not regulated SF based on: Street Frontage ☐ Building Frontage ☐ % of wall area ☐Aggregate building SF allowed: See formula Maximum Projection: 14" Lighting Restrictions: _____Maximum SF allowed per sign: N/A Formula for area calculation: 1.5 SF/LF of facade attached to max.100 SF (1 frontage), 1SF/LF for 2nd frontage max. 150 SFMaximum mounting height: N/A Max. Letter Height: N/A Max Logo Height: nN/A Max. Sign Width: 7/8 width of facadeCan sign project above the roof line? Yes ☐ No ☐ If yes, how much? _____Does this elevation require street frontage? Yes ☐ No ☐ Is area transferable to another elevation? Yes ☐ No ☐How is sign measured? ☐ Box ☐ Geo Shape ☐ Other: smallest rectangle or circle around signDesign restrictions? ☐ Raceway allowed _____

Notes: If business has frontage on more than 1 public street or public entrance on more than one facade
 Allowed additional 1sf/1lf of sign area for on the additional facade. Max aggregate= 150 sf. Can only use 2 frontages max.

Drive - Through's/ Address

☐ - N/AMenu boards allowed? Yes ☐ No ☐ Quantity allowed? _____ Size restriction? _____ Height restriction? _____Are Pre-sell boards allowed? Yes ☐ No ☐ Size restriction? _____ Height restriction? _____Are SED's required? Yes ☐ No ☐ Are menu awnings/ drive-thru canopy allowed? Yes ☐ No ☐Address Number required? Yes ☐ No ☐ SF: _____ Illuminated? Yes ☐ No ☐ Restrictions? _____

Notes: Building permit required for menu boards, if digital, City Council must issue special permits

Location: Marlborough, MAAGI Rep: S. HolmesSite ID: RC0622AGI PM: Scott RogersDate: 08/25/2020Drawn by: M. Folden

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Specialized Signs

☐ - N/A

Painted Commercial mural allowed on walls? Yes ☐ No ☐ If no, allowed painted on substrate? Yes ☐ No ☐ If no, digital print? Yes ☐ No ☐

Quantity allowed? _____ Size restriction? _____ Count towards signs sq. ft.? Yes ☐ No ☐

Graphics without branding/ Pin-Mounted Art allowed on walls? Yes ☐ No ☐ Can it be painted? Yes ☐ No ☐ Count towards signs sq.ft.? Yes ☐ No ☐

Quantity allowed? _____ Size restriction? Subject to review

Permanent banners allowed? Yes ☐ No ☐ If no, allowed flat sign on substrate? Yes ☐ No ☐ Does copy count in SF? Yes ☐ No ☐

Quantity allowed? _____ Size restriction? Subject to review Does it require a frame? Yes ☐ No ☐

Can Commercial flags be attached to building parapet? Yes ☐ No ☐ Restrictions on Qty. size/height/projection on roof? _____

Interior illuminated window signs (Neon) allowed? Yes ☐ No ☐ If no, are LED signs allowed? Yes ☐ No ☐ Restrictions? Subject to review, NTE 50%

Is shield white LED lighting allowed around the building parapet / roof? Yes ☐ No ☐ Restrictions? _____

Notes:

Permanent Window Signs: 50% of window or door attached to max no sign permit required. Lighting is subject to review.

Banner is fabric or similar material w/ no enclosing framework.

No sign can be painted or posted on the exterior surface of any wall, must be affixed to substantial intermediary removable surface.

Directionals/ Regulatory

Are directionals allowed? Yes ☐ No ☐ Are permits required? Yes ☐ No ☐

Number of signs allowed? not regulated

Maximum SF allowed: 4sf Maximum overall height: 4ft

Notes:

25% of sign max for business identification
No permit required if not visible from public street or another lot
Subject to approval of City dept. coordinating site plan approval.

Directionals count towards allowed SF: Yes ☐ No ☐ Are interior lot directionals restricted? Yes ☐ No ☐ Name/ Logos allowed? Yes ☐ No ☐

Temporary Signage

| | Yes <input type="checkbox"/> | No <input type="checkbox"/> | Setback: | SF: | Height: | Permit Required? | Time Allowed: |
|--------------------------------|------------------------------|-----------------------------|--|---|--------------------------|--------------------------|---|
| Banner: | <input type="checkbox"/> | <input type="checkbox"/> | _____ | <u>1sf/1lf of facade, max 50sf</u> | <u>20ft-wall mounted</u> | <input type="checkbox"/> | <u>90 days/calendar year-3 events max</u> |
| Feather Sign: | <input type="checkbox"/> | <input type="checkbox"/> | _____ | _____ | _____ | <input type="checkbox"/> | <u>Prohibited</u> |
| Inflatable: | <input type="checkbox"/> | <input type="checkbox"/> | _____ | _____ | _____ | <input type="checkbox"/> | <u>Prohibited</u> |
| Vehicle: | <input type="checkbox"/> | <input type="checkbox"/> | _____ | _____ | _____ | <input type="checkbox"/> | _____ |
| Flag (Non-commercial) | <input type="checkbox"/> | <input type="checkbox"/> | <u>5ft from lot line, 50ft from free</u> | <u>30sf, allowed 1, must be on a pole</u> | <u>20ft max for pole</u> | <input type="checkbox"/> | <u>N/A</u> |
| Ground Yard Sign (Commercial): | <input type="checkbox"/> | <input type="checkbox"/> | _____ | _____ | _____ | <input type="checkbox"/> | _____ |
| String Lights: | <input type="checkbox"/> | <input type="checkbox"/> | Restrictions: _____ | _____ | _____ | <input type="checkbox"/> | <u>Prohibited</u> |

Notes:

NO permit required for temporary window signs. 75% of window or door area attached to max. 14 days max,
Building permit required for any flagpoles
Banner: 1/street frontage if applicable. Aggregate all NTE 100sf.
Vehicle signs count a signage if vehicle is not in regular use. Follow temp sign regulations.

Open-for-business signs, promotional flags and window signs do not need permits.



Location: Marlborough, MA

Site ID: RC0622

Date: 08/25/2020

AGI Rep: S. Holmes

AGI PM: Scott Rogers

Drawn by: M. Folden



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Construction Sign

Max # allowed?: 1 Max Height?: cannot block vision Timeframe allowed? during construction
 Max SF: 32sf Setbacks?: on property Logo/Copy Restrictions? must be relevant to project
 Indirect Illumination Allowed? no
 Preferred mounting method (no building yet): can be wall mounted or freestanding
 Other restrictions? no permit required

Construction Fence Wrap

Are fence wraps allowed: Yes ☐ No ☐ Max SF: _____ Timeframe allowed? _____
 Max Height: _____ Logo/Copy Restrictions? _____
 Other restrictions? _____



Construction Banner



Construction Fence Wrap

Now Hiring Banner(s)

Max # allowed?: Banner: 1/street frontage if applicable. Agency Max Height: 20ft-wall mounted Time frame allowed? 90 days per calendar year-3 events max
 Max SF: 1sf/1lf of facade, max 50sf Setbacks?: on property Logo/Copy Restrictions?: none
 Preferred mounting method: wall mounted Indirect Illumination Allowed? yes-sheilded
 Other restrictions?: Banners allowed attached to freestanding signs: 1 at a time. 6 sf or 2ft X width of permanent sign frame. Attached under signs to poles



Now Hiring Banner



Now Hiring Banner

Notes:



Location: Marlborough, MA

Site ID: RC0622

Date: 08/25/2020

AGI Rep: S. Holmes

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Permit Requirements

Permits can be applied for by: Mail ☐ Authorized Agent ☐ In Person ☐ Online ☐ Review Board: Yes ☐ No ☐

License Required: Business ☐ Contractors ☐ Contact: _____

Signature Required on Application: Owner ☐ Agent ☐ Designer ☐ Phone Number: _____

Documents Required (Sign): Site Plan ☐ Elevations ☐ Sign Details ☐ Sealed Engineering ☐ Additional Professional Seals ☐

Number of Document Copies: 3- 2 paper, 1 electronic 3- 2 paper, 1 electronic 3- 2 paper, 1 electronic _____

Documents Required (Banner): Site Plan ☐ Banner Details ☐ Number of Document Copies (Banner): _____

Document Size: _____ ☐ In Color? Cost of Permit (Sign): \$35 + \$1/sf over 50sf Cost of Permit (Banner): \$10 for each permit

Length of time to secure permit: 2-3 weeks Other permit costs / fees: \$25 application fee

When does the time frame permitted start (Banner)? From time of permit approval ☐ Time the banner is placed ☐ Other ☐ date range on permit

Current IBC used by municipality : 2015 with MA amendments Any code to reference: Building code ☐ Electrical Code ☐ Energy code ☐

If electrical permit is required for ONLY the hook up of the sign, is a licensed electrician required to come in person? Yes ☐ No ☐

Are permits required to be obtained in person? If not, what is the process: no, can email to Pam Wilderman

How long are permits good for: 6 months

Notes:

Application:
https://www.marlborough-ma.gov/sites/g/files/vyhlf3411f/uploads/sign_permit_application.pdf
 Wiring Permit required for all illuminated signs
 Site plan requirements: building, driveways, location, dimensions and sqft of all proposed signs, location of entrances to business, LF of facades with entrances
 LOA required fro permitting

Variance Procedures

Are variances allowed? Yes ☐ No ☐ Likelihood of a variance being approved: poor % Approved: _____ # Approved last year: _____

Variance can be applied for by: Mail ☐ Authorized Agent ☐ Business ☐ Contractors ☐

Signature required on application: Owner ☐ Agent ☐ Lawyer ☐ Must attend variance hearing: Owner ☐ Agent ☐ Lawyer ☐

Documents required: Site Plan ☐ Elevations ☐ Sign Details ☐ Sealed Engineering ☐ Addit. Professional Seals ☐ Document Color : Color ☐ B/W ☐

Quantity Required: 8 8 8 _____ Certified Plot plan Document size: no larger than 11 x 17

Length of time to secure variance: 3 months- must submit denial letter Cost of variance: \$375 + notifications

Can variances be granted during the site plan approval process? Yes ☐ No ☐

If yes, what board & is it different from the standard variance process? _____

Notes:

Meetings: Tuesdays as needed

Application:
https://www.marlborough-ma.gov/sites/g/files/vyhlf3411f/uploads/zba-form-full_zba_application_packet.pdf



Location: Marlborough, MA

Site ID: RC0622

Date: 08/25/2020

AGI Rep: S. Holmes

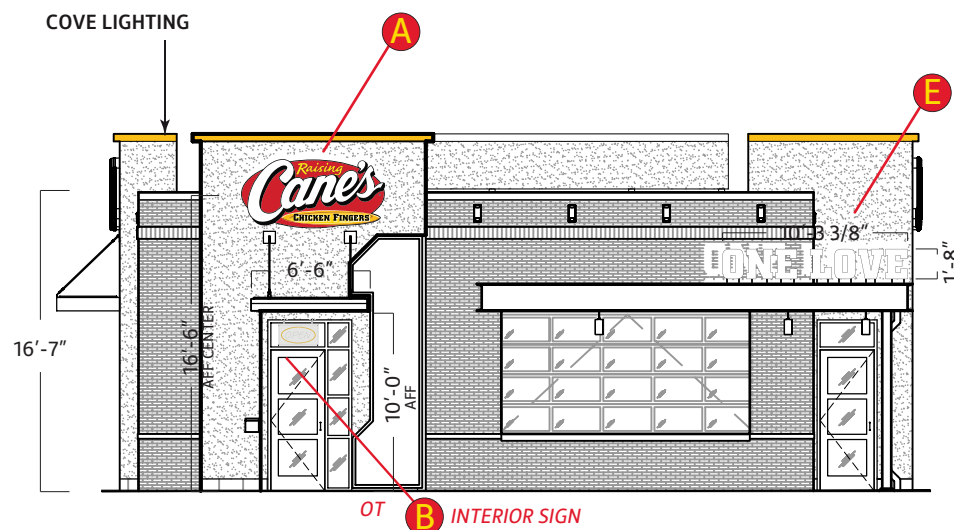
AGI PM: Scott Rogers

Drawn by: M. Folden



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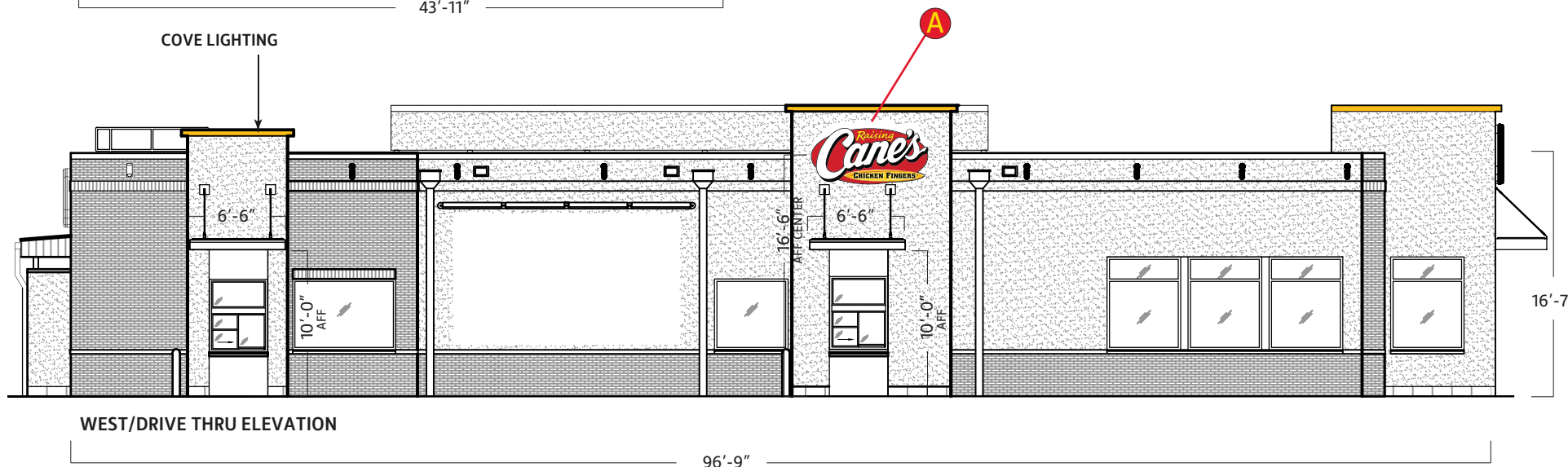
ELEVATIONS



SOUTH (SECONDARY FRONTAGE)/FRONT ELEVATION

ALLOWED 43.92 SF

43'-11"



WEST/DRIVE THRU ELEVATION

96'-9"

| | QTY. | CODE | DESCRIPTION |
|---|------|--------|---------------------------|
| A | 4 | WS-8FT | 4x8 Wall Sign |
| B | 1 | ONS | Open Sign |
| C | 1 | CFNS | Chicken Fingers Neon Sign |
| D | 1 | RD-1 | Red Dog |
| E | 1 | CAN | One Love Canopy Letters |
| F | 2 | DTMB | DT Menuboard |
| G | 2 | DTSP | Speaker Post |
| H | 1 | EPYLON | Existing Pylon |
| I | 1 | MON | Monument |

Scale: 3/32"=1'



Location: Marlborough, MA

AGI Rep: S. Holmes

Site ID: RC0622

AGI PM: Scott Rogers

Date: 08/25/2020

Drawn by: M. Folden

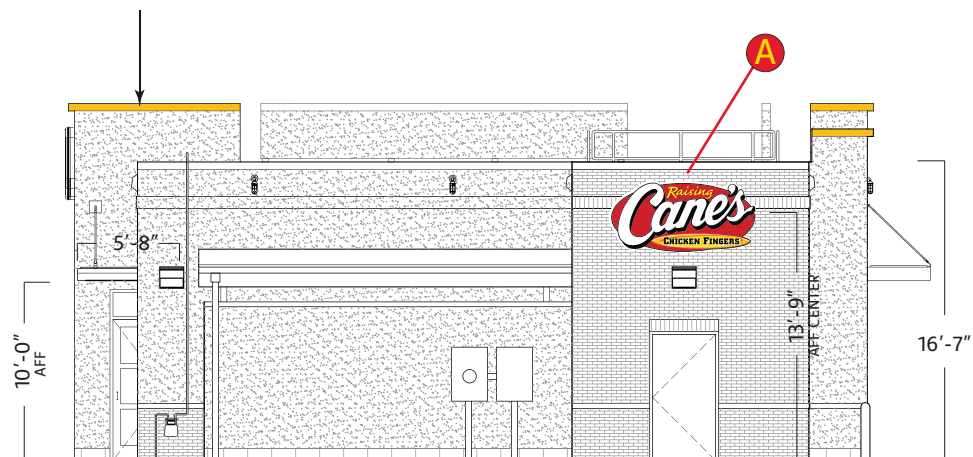
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PAGE 7



ELEVATIONS

COVE LIGHTING

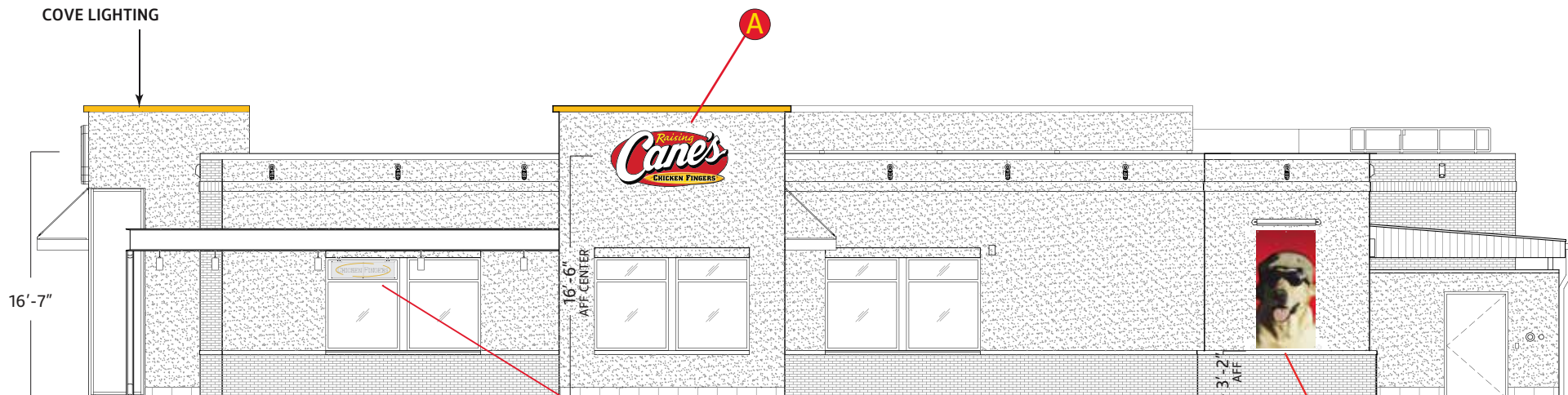


NORTH/REAR ELEVATION

43'-11"

| | QTY. | CODE | DESCRIPTION |
|----------|------|--------|---------------------------|
| A | 4 | WS-8FT | 4x8 Wall Sign |
| B | 1 | ONS | Open Sign |
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| H | 1 | EPYLON | Existing Pylon |
| I | 1 | MON | Monument |

COVE LIGHTING



EAST (PRIMARY FRONTAGE)/SIDE ENTRY ELEVATION
ALLOWED 99.75 SF

INTERIOR SIGN

ON SUBSTRATE

96'-9"

Scale: 3/32"=1'



Location: Marlborough, MA

AGI Rep: S. Holmes

Site ID: RC0622

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Date: 08/25/2020

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PAGE 8





Location: Marlborough, MA

AGI Rep: S. Holmes

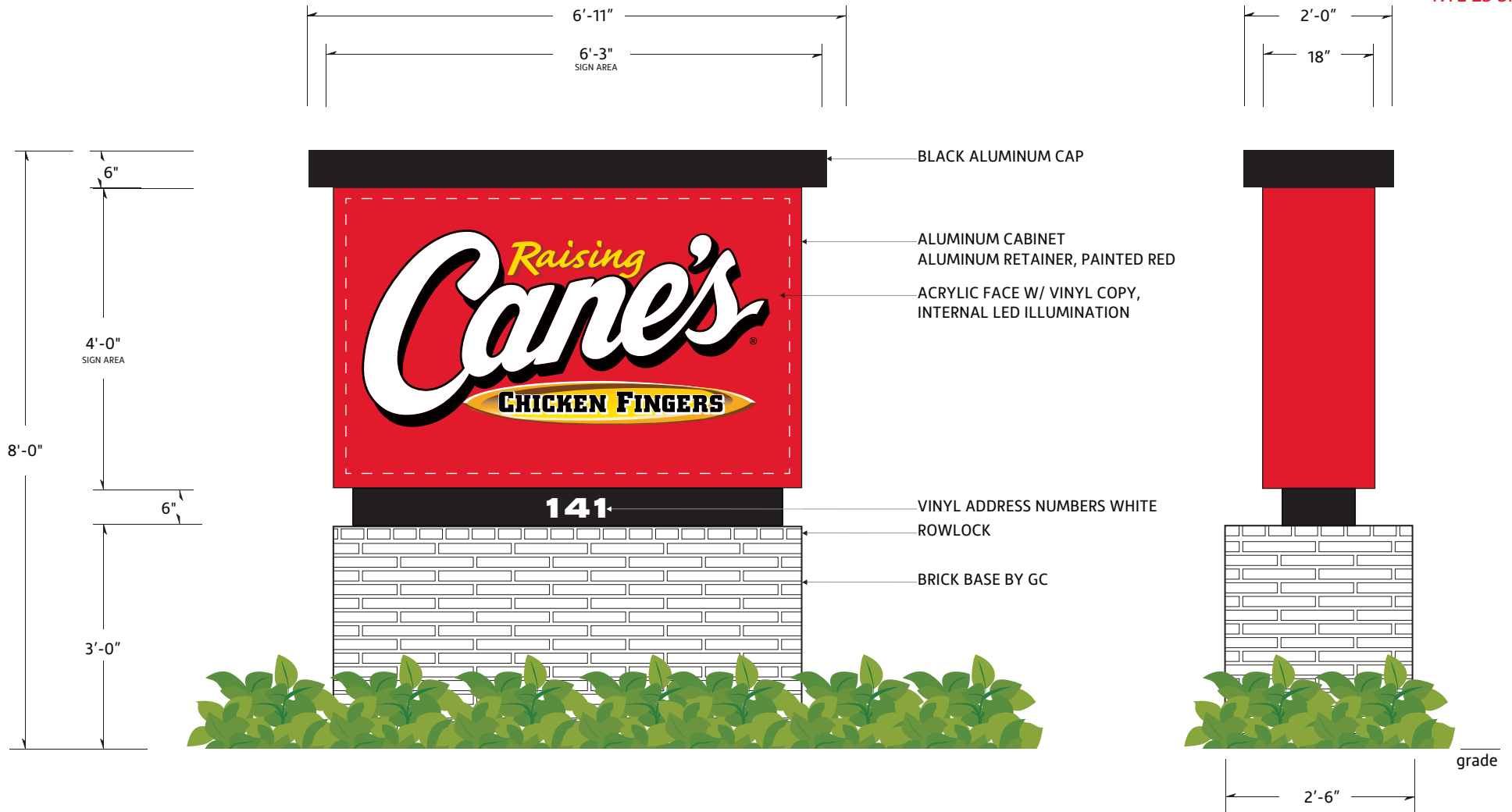
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AGI PM: Scott Rogers

Date: 08/25/2020

Drawn by: M. Folden

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Scale: 1/2"=1'



Location: Marlborough, MA

AGI Rep: S. Holmes

Site ID: RC0622

AGI PM: Scott Rogers

Date: 08/25/2020

Drawn by: M. Folden

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COPY & DROP SHADOW ARE AS FOLLOWS: 'RAISING' IS FIRST SURFACE APPLIED TRANSLUCENT VINYL 3M #3630-015 'YELLOW', DROP SHADOW IS FIRST SURFACE APPLIED TRANSLUCENT VINYL 3M #3630-53 'CARDINAL RED'

BORDER IS PAINTED 'BLACK'

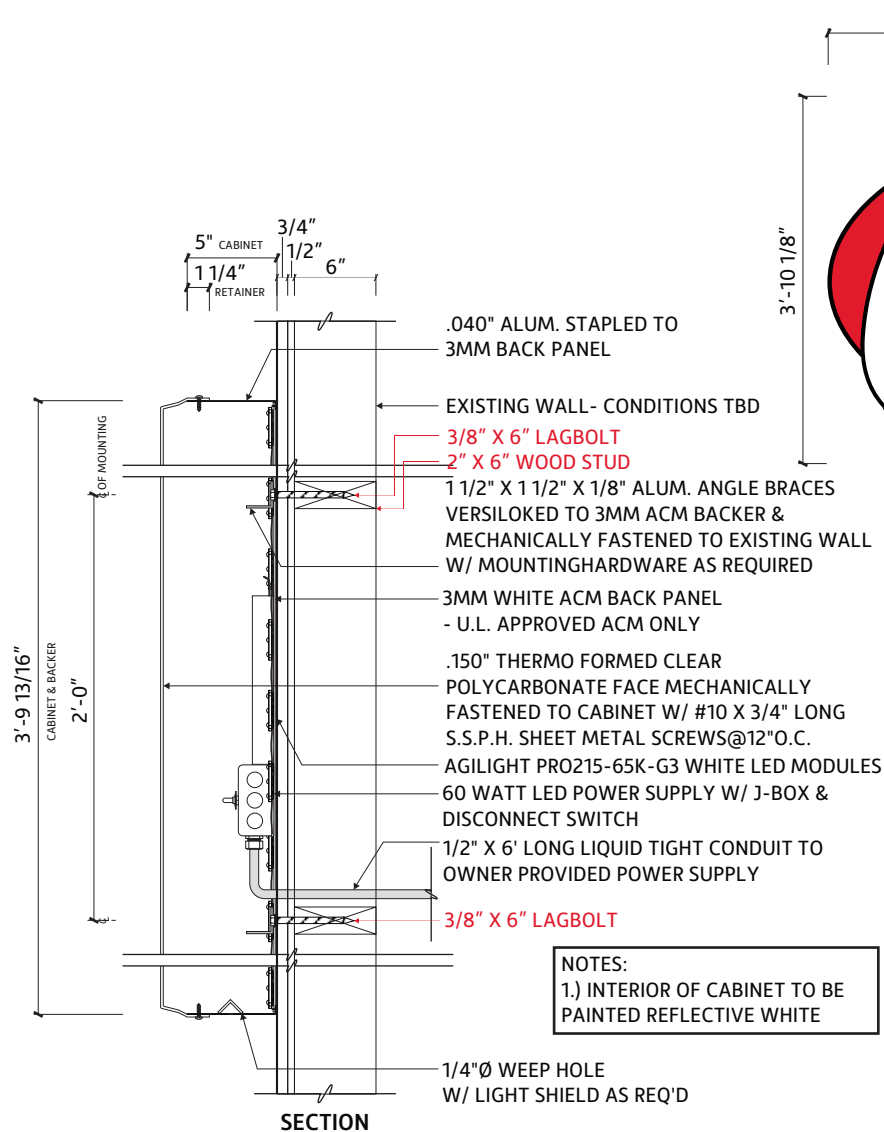
BACKGROUND IS SURFACE APPLIED TRANSLUCENT VINYL 3M #3630-73 'RED'

.150" THERMO FORMED CLEAR POLYCARBONATE FACE REGISTER MARK IS PAINTED 'BLACK'

DOUBLE EMBOSSED LETTERS ARE PAINTED SECOND SURFACE 'WHITE'

EMBOSS AROUND LETTERS IS PAINTED SECOND SURFACE 'BLACK'

EMBOSSED SURFBOARD IS AS FOLLOWS:
-SIDES ARE PAINTED TO MATCH PANTONE #109C 'YELLOW'
-GRAPHICS ARE SECOND SURFACE APPLIED DIGITAL PRINT



NOTES:

1.) INTERIOR OF CABINET TO BE PAINTED REFLECTIVE WHITE



FRONT ELEVATION

24.14

Square Footage

ELECTRICAL DATA

| | |
|----------|-----|
| VOLTAGE | 120 |
| AMPERAGE | 1.8 |

COLOR CHART

| | |
|--|----------------------------|
| | 3M #3630-15 'YELLOW' |
| | 3M #3630-73 'RED' |
| | 3M #3630-53 'CARDINAL RED' |



Location: Marlborough, MA

AGI Rep: S. Holmes

Site ID: RC0622

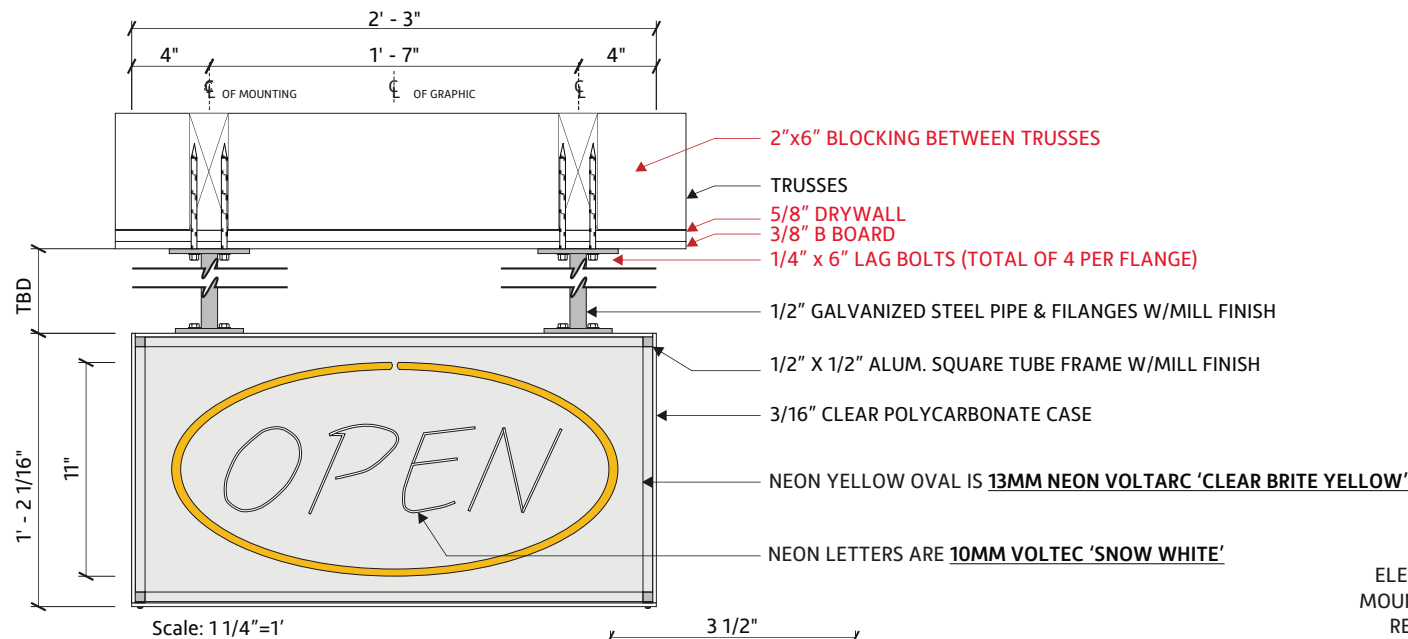
AGI PM: Scott Rogers

Date: 08/25/2020

Drawn by: M. Folden

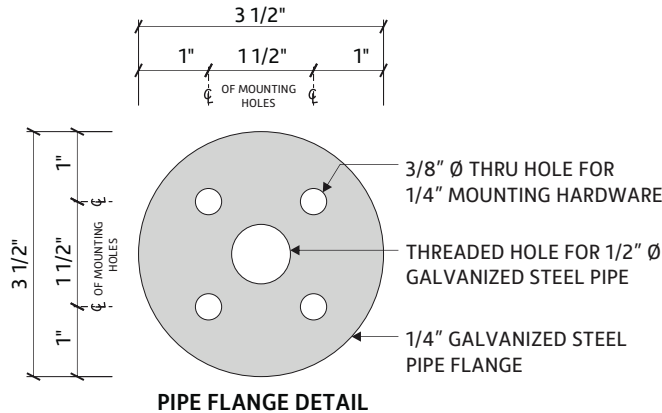
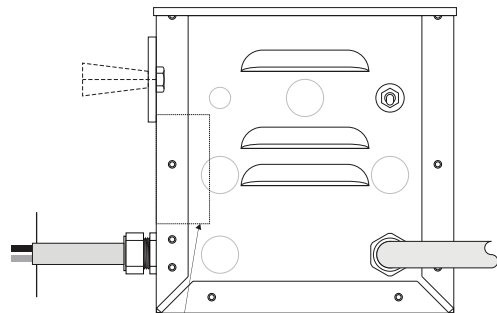
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B

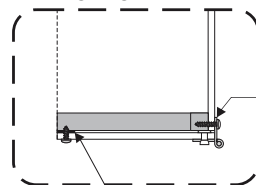


NOTES:

- 1.) TRANSFORMER IS MOUNTED REMOTELY
 - 2.) CONNECT 14 GA GROUND WIRE TO EACH MOUNTING FLANGE & TO GROUND LUG PROVIDED BY TRANSFORMER.
- CONNECT TRANSFORMER GROUND TO SERVICE GROUND AT PANEL BOX



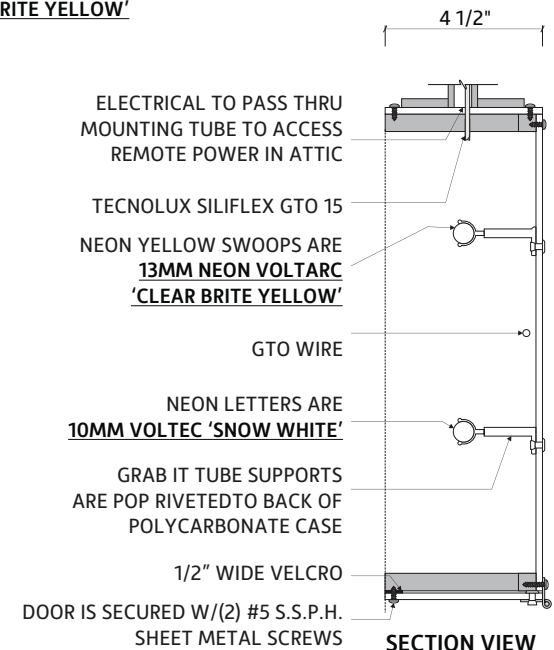
BLOW UP DETAIL



CUTSHEET

ONS(H)

INTERIOR SIGN
PIPE LENGTH TO BE VERIFIED



ELECTRICAL DATA

| | |
|----------|-----|
| VOLTAGE | 120 |
| AMPERAGE | 2.1 |



Location: Marlborough, MA

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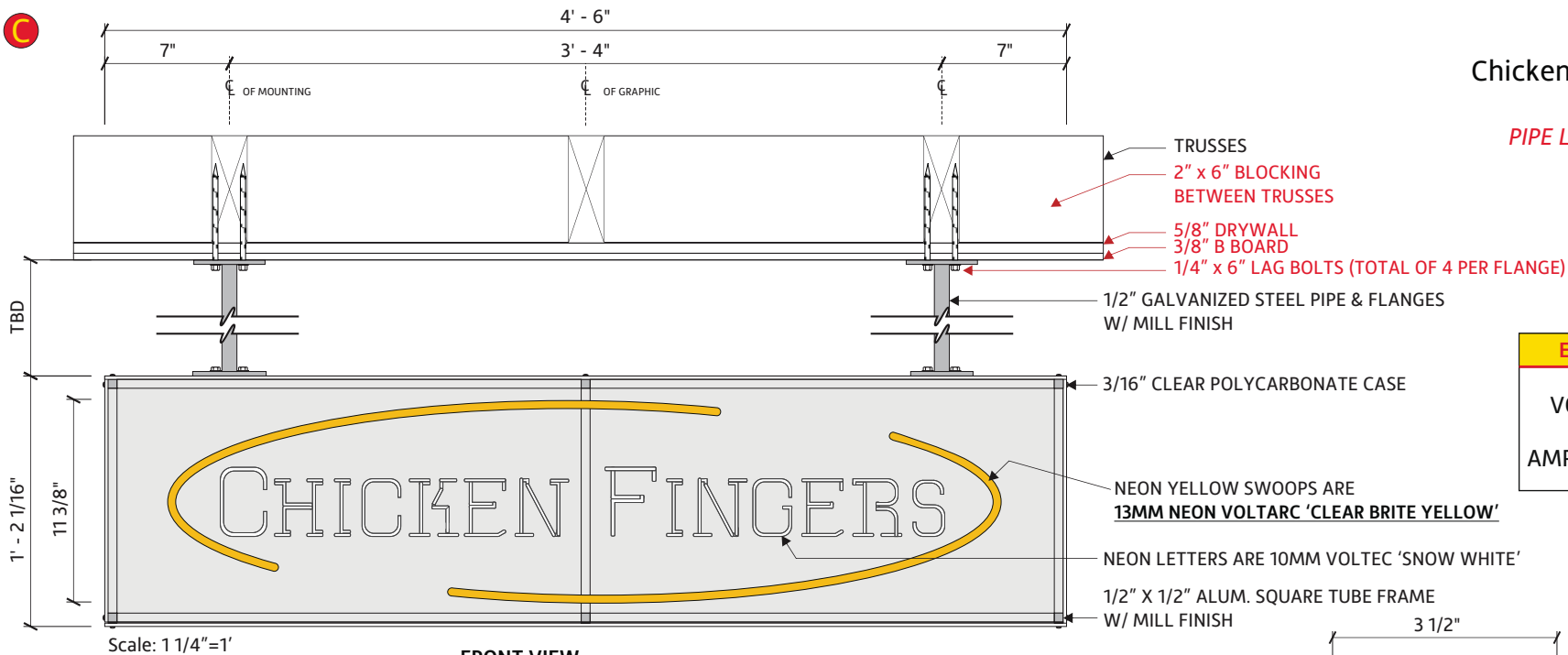




CUTSHEET

Chicken Fingers Neon Sign

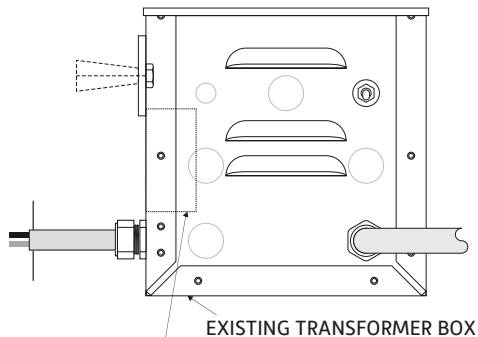
INTERIOR SIGN
PIPE LENGTH TO BE VERIFIED



ELECTRICAL DATA

| | |
|----------|-----|
| VOLTAGE | 120 |
| AMPERAGE | 2.1 |

NOTES:
1.) TRANSFORMER IS MOUNTED REMOTELY IN ATTIC. TRANSFORMERS ARE TO BE ELECTRONIC.



LIGHTING COMPONENTS
LC-2-12-3-C (2,000-12,000V 30 MA)
MOUNTED IN REMOVE TRANSFORMER BOX

FRONT VIEW

ELECTRICAL TO PASS THRU MOUNTING TUBE TO ACCESS REMOTE POWER IN ATTIC

TECNOLUX SILIFLEX GTO 15
NEON YELLOW SWOOPS ARE **13MM NEON VOLTARC 'CLEAR BRITE YELLOW'**

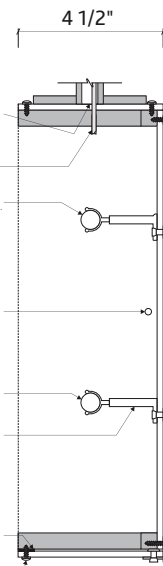
GTO WIRE

NEON LETTERS ARE **10MM VOLTEC 'SNOW WHITE'**

GRAB IT TUBE SUPPORTS ARE POP RIVETED TO BACK OF POLYCARBONATE CASE

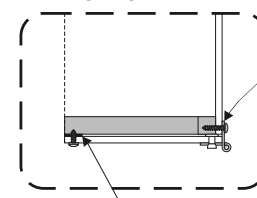
1/2" WIDE VELCRO

DOOR IS SECURED W/(2) #5 S.S.P.H. SHEET METAL SCREWS

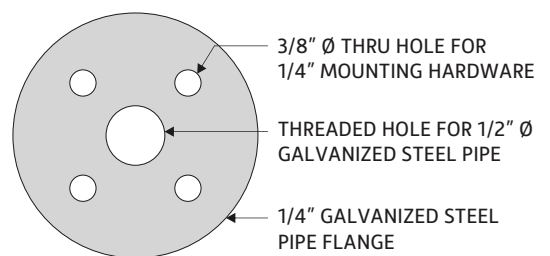
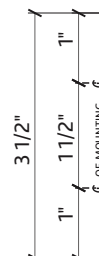
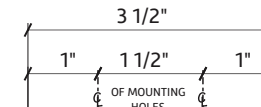


SECTION VIEW

BLOW UP DETAIL



(3) STRIPS OF 1/2" WIDE BLACK VELCRO TO CLOSE POLYCARBONATE DOOR @ TUBE FRAME
-DOOR IS SECURED W/ (2) #6 S.S.P.H. SHEET METAL SCREWS



PIPE FLANGE DETAIL

1 1/2" CONTINUOUS PIANO HINGE IS POP RIVETED TO POLYCARBONATE BOTTOM & MECHANICALLY FASTENED TO POLYCARBONATE BACKER & ALUM. TUBE FRAME 2/ #6 S.S.P.H. SHEET METAL SCREWS



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D

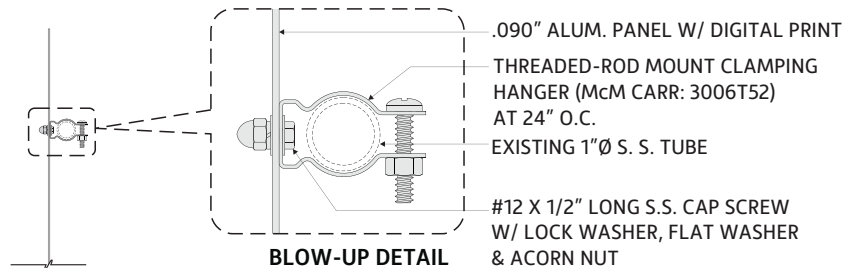
CUTSHEET

Red Dog on Substrate

REQUIRES VARIANCE



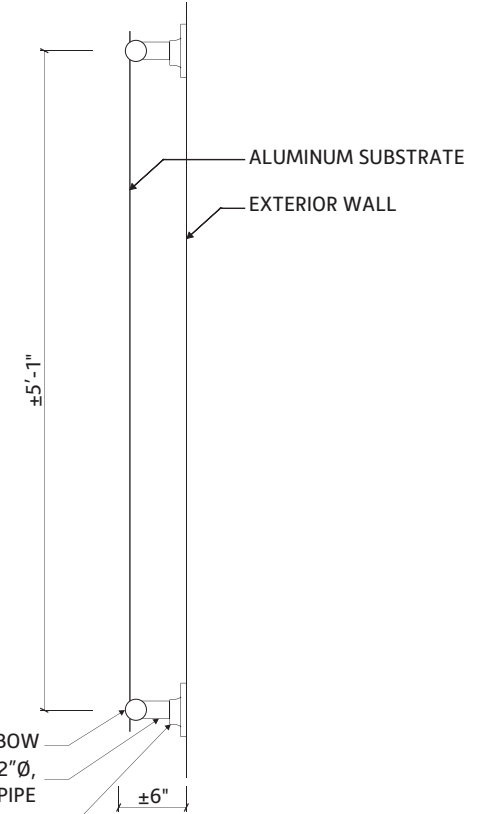
THIS IS A DIGITAL PRINT ON ALUMINUM SUBSTRATE AND RIGID.



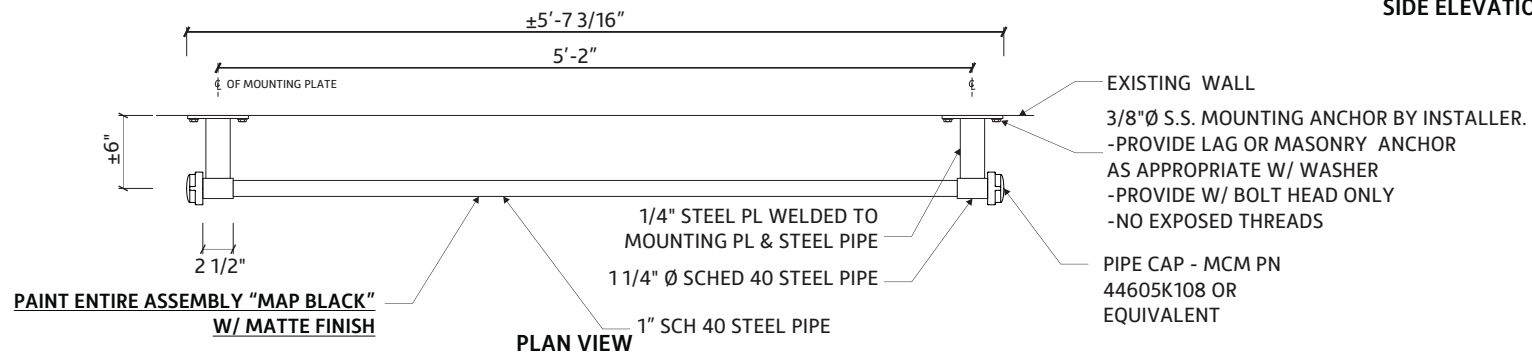
SIDE VIEW

32.00

Square Footage



SIDE ELEVATION



PLAN VIEW



Location: Marlborough, MA

AGI Rep: S. Holmes

Site ID: RC0622

AGI PM: Scott Rogers

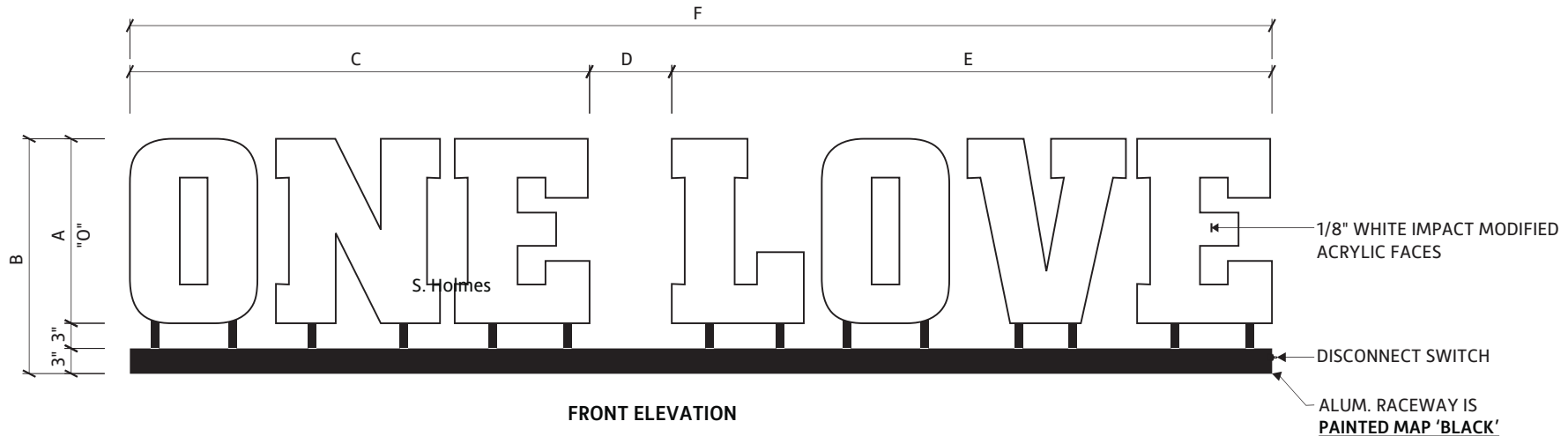
Date: 08/25/2020

Drawn by: M. Folden

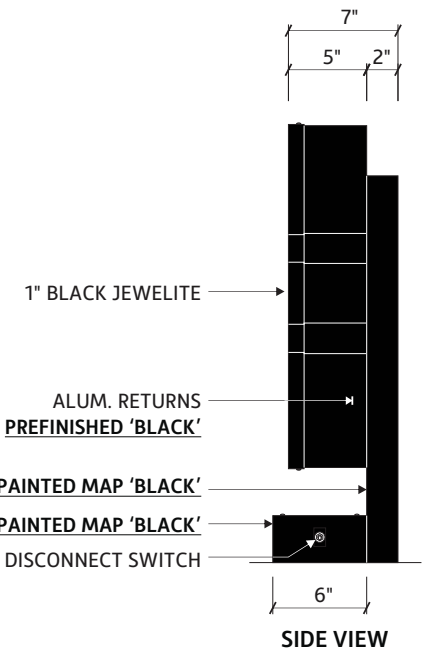
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| SIGN SIZE | A | B | C | D | E | F | SF |
|-----------|-----|--------------|--------------|-----------|-------------|-------------|-------|
| OL-16 | 16" | ±1'-10 9/16" | ±3'-3 13/16" | ±7 1/8" | ±4'-4" | ±8'-3" | 11.22 |
| OL-18 | 18" | 2'-0" | ±3'-8 13/16" | ±8" | ±4'-10 1/2" | ±9'-3 3/8" | 14.75 |
| OL-20 | 20" | 2'-2" | ±4'-1 13/16" | ±8 15/16" | ±5'-5" | ±10'-3 3/8" | 17.57 |
| OL-22 | 22" | 2'-4" | ±4'-6 3/4" | ±9 13/16" | ±5'-11 1/2" | ±11'-4 1/8" | 21.31 |



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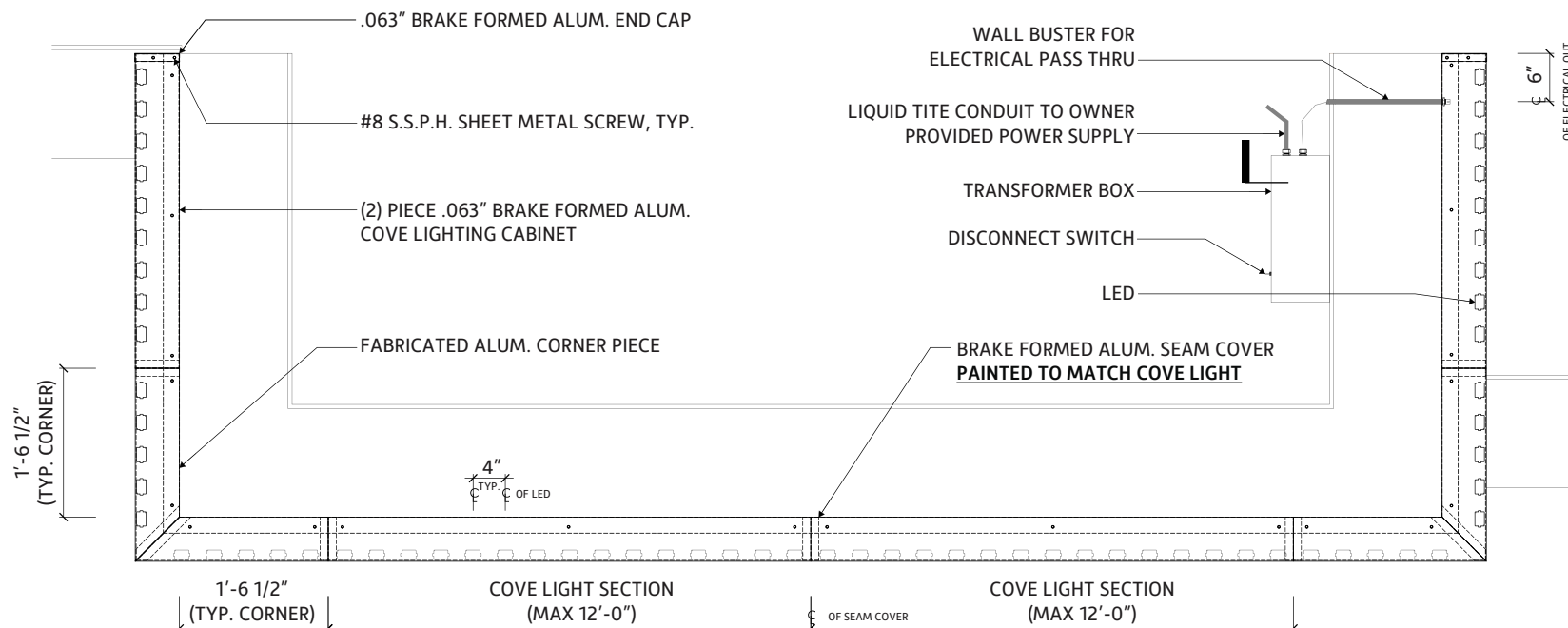
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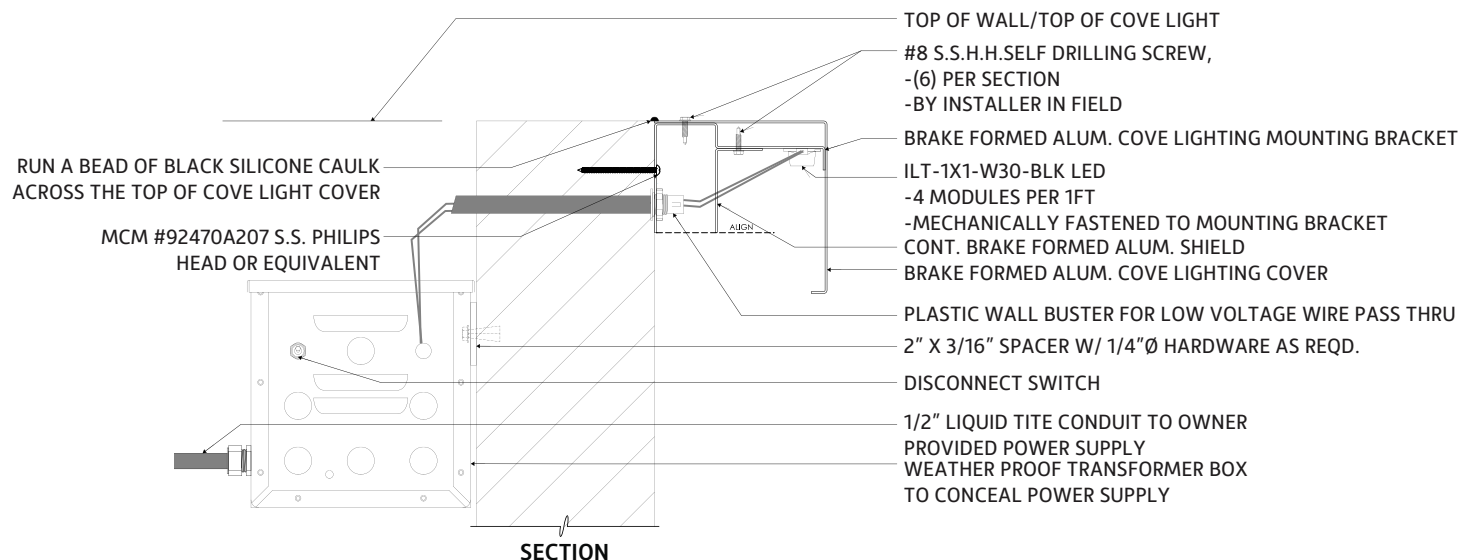
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CUTSHEET

Cove Lighting ILT



STRUCTURAL PLAN VIEW



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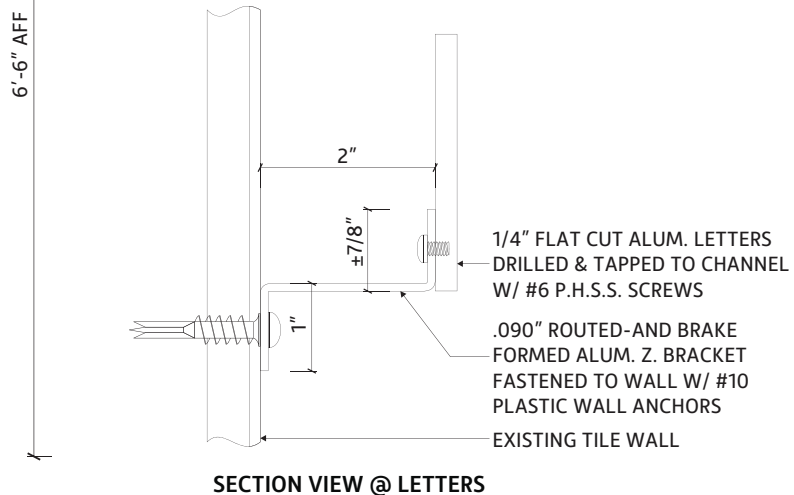
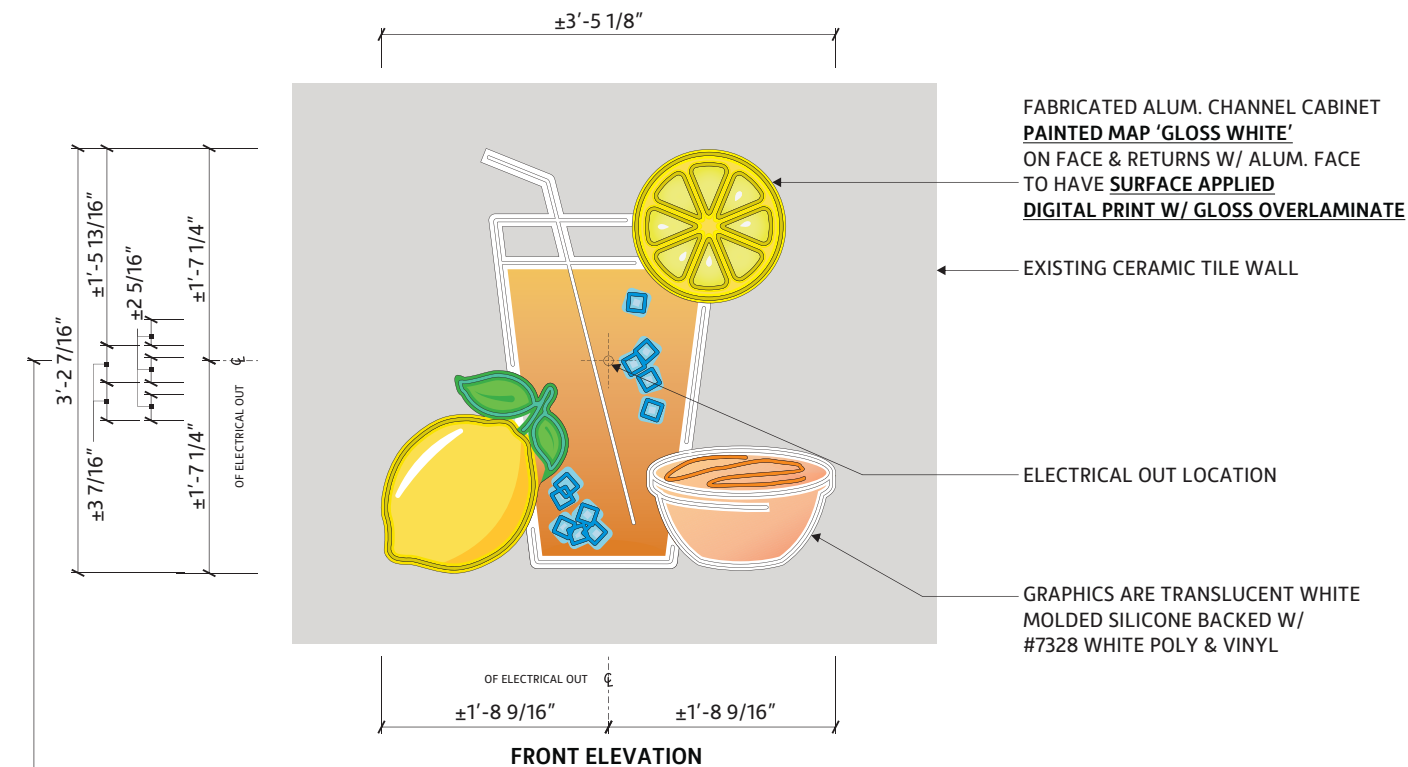
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CUTSHEET

Lemonade Sign

INTERIOR SIGN



INTERIOR ELEVATION PLACEMENT
Scale: 1/8"=1'



Location: Marlborough, MA

Site ID: RC0622

Date: 08/25/2020

AGI Rep: S. Holmes

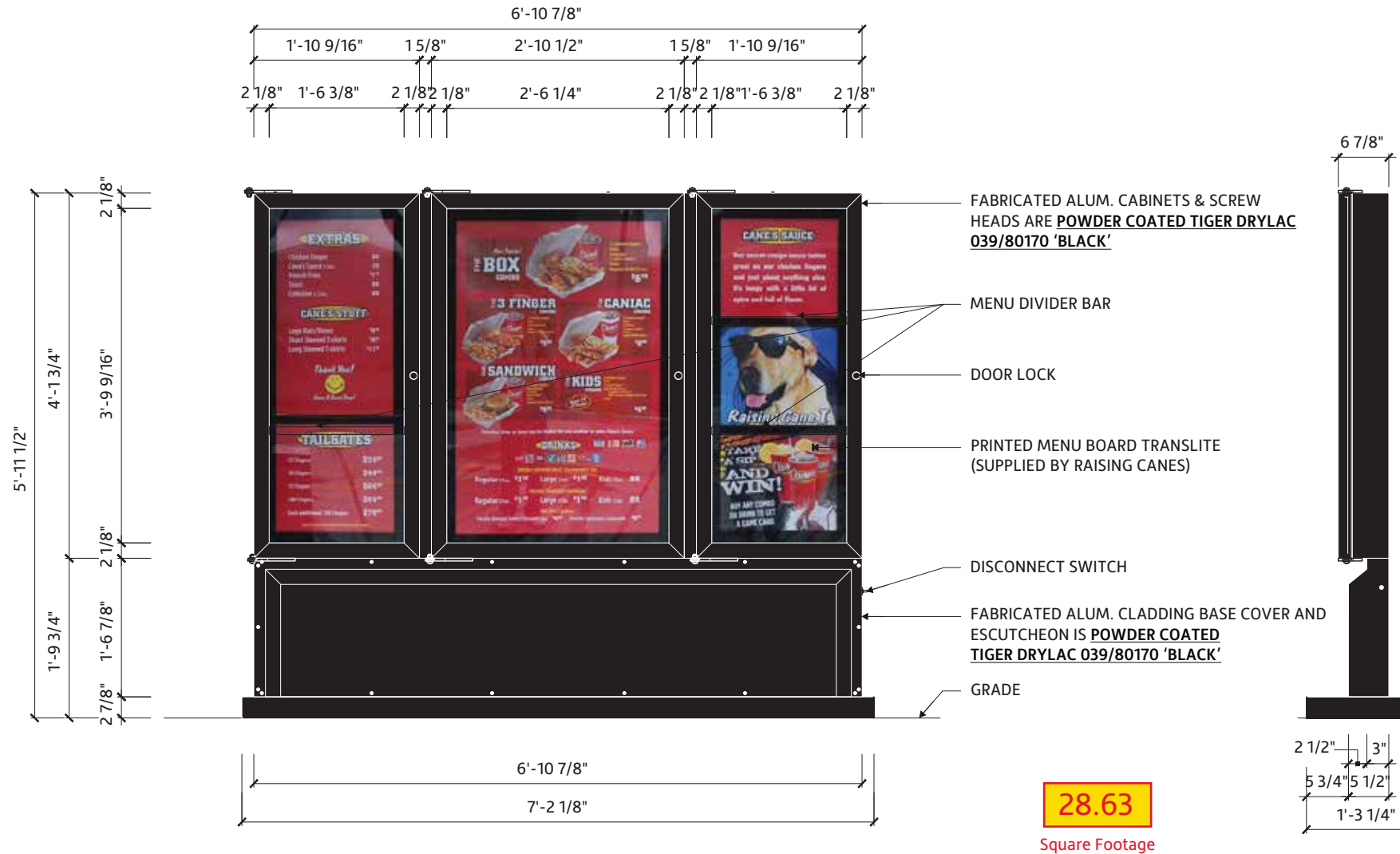
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Location: Marlborough, MA

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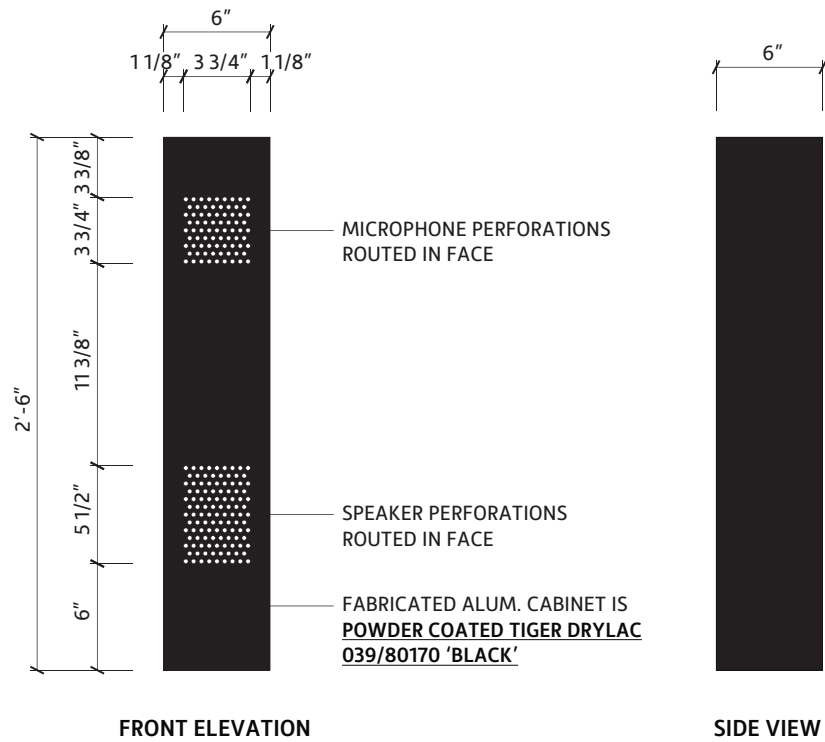
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SURROUNDING SITE PHOTOS



Location: Marlborough, MA

Site ID: RC0622

Date: 08/25/2020

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SURROUNDING SITE PHOTOS



NO IMAGE

NO IMAGE

NO IMAGE

NO IMAGE

NO IMAGE

NO IMAGE



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City of Marlborough
Planning Board

Administrative Offices
135 Neil St.
Marlborough, MA 01752

PLANNING BOARD

Barbara L. Fenby, Chair
Philip Hodge
Sean N. Fay
George LaVenture
Christopher Russ
Matthew Elder
William Fowler

Katlyn Miller, Administrator
(508) 624-6910 x33200
kmiller@marlborough-ma.gov

MEMO

Date: August 19, 2022
To: Record
From: Marlborough Planning Board
Re: Zoning Standards

The Marlborough Planning Board uses the following criteria in evaluating proposed zoning changes:

- Is the proposed change in keeping with the character of the neighborhood?
- Does the proposed change impact the neighbors?
- Does the proposed change benefit the City, or provide a use not permitted elsewhere?
- Is the proposed change in keeping with the intent and purposes of the City's zoning ordinances?

Sincerely,

Barbara L. Fenby
Chairperson

PLANNING BOARD

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Sean N. Fay
George LaVenture
Christopher Russ
Matthew Elder
William Fowler

Katlyn Miller, Administrator
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kmiller@marlborough-ma.gov



City of Marlborough

Planning Board

Administrative Offices
135 Neil St.
Marlborough, MA 01752

MEMO

Date: August 19, 2022
To: Record
From: Marlborough Planning Board
Re: Waiver Standards

The Marlborough Planning Board uses the following criteria when evaluating Planning Board Regulation waiver requests:

- Has the Applicant and Development Team demonstrated that construction of the project in full compliance with the regulations is possible (with no waivers)?
- Has the Board received sufficient input from the Applicant, Development Team and Public regarding the nature and purpose of the request?
- Has the Board received favorable guidance from the City Engineer, along with a favorable recommendation from Code Enforcement officer if needed?
- Has the Board determined that approval of the requested waivers is in the best interest of the Public, and is consistent with the intent and purpose of the subdivision Control Law and The Planning Boards Rules and Regulations?

Sincerely,

Barbara L. Fenby
Chairperson