

## CITY OF MARLBOROUGH MEETING POSTING

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CITY OF MARLBOROUGH

Meeting: **Planning Board**  
Date: **December 21, 2020**  
Time: **7:00 PM**  
Location: **REMOTE MEETING NOTICE**

2020 DEC 17 A 11:48

In accordance with the March 12, 2020 Executive Order issued by Governor Baker modifying certain requirements of the Open Meeting Law, the City of Marlborough Planning Board will hold a remote meeting on Monday, December 21, 2020 at 7:00 pm. The public may access the meeting by clicking on the link provided in the Planning Board calendar on the Planning Board Website <https://www.marlborough-ma.gov/planning-board> or by dialing in using the following phone number and conference ID : **+1 617-433-9462** United States, Boston (Toll) Conference ID: 172 817 047#

### 1. Meeting Minutes

A. December 07, 2020

### 2. Chair's Business (None)

### 3. Approval Not Required

- A. Engineering Review Letter: ANR Application – 107 South Street/119 South Street/Mt. Pleasant Street **(Vote)**  
Applicant: Matthew Jackson, PO Box 586, Marlborough MA 01752  
Engineer/Land Surveyor: Dillis & Roy, 1 Main St., Suite 1, Lunenburg, MA 01462  
Deed References: Middlesex Registry of Deeds Book 54715, Page 491 (107 South) and Book 65389, Page 260 (119 South)  
Location and Description: 107 South St- Accessor's Map-Parcel 81-86 and 119 South St. – Accessor's Map-Parcel 81-85.
- B. 181 Boston Post Road (Winske) – Request for re-endorsement, Plan of Land Dated September 28, 2020, Revised October 15, 2020 Communication from Robert J. Parente, Representative.  
Engineering Review Letter **(Vote)**

### 4. Public Hearings (None)

### 5. Subdivision Progress Reports

- A. Goodale Estates
- i) Request for Reduction of Performance Bond, Draft Second Amendment to Performance Agreement **(Vote)**
  - ii) Communication from Solicitor Grossfield - Second Amendment to the Performance Agreement – **(Vote)**

### 6. Preliminary/Open Space /Limited Development Subdivision (None)

### 7. Definitive Subdivision Submissions (None)

### 8. Signs (None)

### 9. Correspondence (None)

### 10. Unfinished Business

- A. Ongoing review - Definitive Subdivision Application - 76 Broad St. 4-Lot Subdivision  
Applicant: W.R.E., LLC, 319 Stow Road, Marlborough, MA 01752  
Engineer: Hancock Associates, 315 Elm St., Marlborough, MA 01752. Robert DiBenedetto, Representative.  
(Note: Submission Date: 09-09-20, **Decision Due: Meeting Prior to January 22, 2021**)
- B. Communication from Assistant City Solicitor Piques re: 2 South Bolton St.- Request by Attorney Aykanian
- C. Working group discussion – Planning Board Rules and Regulations
- a. Forms, Fees, Cross-Section – Update
  - b. Assignment of next tasks

### 11. Calendar Updates

### 12) Public Notices of other Cities & Towns (None)

THE LISTING OF TOPICS THAT THE CHAIR REASONABLY ANTICIPATES WILL BE DISCUSSED AT THE MEETING IS NOT INTENDED AS A GUARANTEE OF THE TOPICS THAT WILL HAVE BEEN DISCUSSED. NOT ALL TOPICS LISTED MAY IN FACT BE DISCUSSED, AND OTHER TOPICS NOT LISTED MAY ALSO BE BROUGHT UP FOR DISCUSSION TO THE EXTENT PERMITTED BY LAW.

**MINUTES**  
**MARLBOROUGH PLANNING BOARD**  
**MARLBOROUGH, MA 01752**

1A

**Call to Order**

**December 07, 2020**

The **remote meeting** of the Marlborough Planning Board was called to order at 7:00 pm. Members present- Barbara Fenby, Matt Elder, Sean Fay, Phil Hodge, George LaVenture and Chris Russ. Meeting support provided by City Engineer, Thomas DiPersio, and Planning Board Administrator, Krista Holmi.

**1. Meeting Minutes**

**A. November 16, 2020**

On a motion by Mr. LaVenture, seconded by Mr. Elder, the Board voted to accept and file the November 16, 2020 meeting minutes as amended. Item 8A amended to include more detail re: denial of the sign variance request. Yea: Elder, Fay, Hodge, LaVenture, Russ and Fenby. Nay: 0. Motion carried.

**2. Chair's Business (None)**

**3. Approval Not Required**

**A. ANR Application - 107/119 South Street/Mt. Pleasant Street**

Applicant: Matthew Jackson, PO Box 586, Marlborough MA 01752

Engineer/Land Surveyor: Dillis & Roy, 1 Main St., Suite 1, Lunenburg, MA 01462

Deed References: Middlesex Registry of Deeds Book 54715, Page 491 (107 South- Owner, Chamberlin) and Book 65389, Page 260 (119 South-Owner, Silva)

Location and Description: 107 South St- Accessor's Map-Parcel 81-86 and 119 South St. – Accessor's Map-Parcel 81-85.

Seth Donahoe of Dillis & Roy joined the remote meeting to present the plan. The purpose of the plan is to subdivide parcels to the rear of #107 South Street and #119 South Street, to create a third lot with frontage on Mount Pleasant St. The lots are within the A3 zoning district. All contain the required area and frontage for this zone. The two parcels A and B will be combined to create a new lot 2 on the referenced plan. On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to refer the matter to Engineering. Yea: Elder, Fay, Hodge, LaVenture, Russ and Fenby. Nay: 0. Motion carried.

**4. Public Hearings (None)**

**5. Subdivision Progress Reports**

**A. Goodale Estates - Communication from Kevin Gillis re: Extension of Approval**

Mr. LaVenture read the November 9, 2020 subdivision extension request letter from developer Kevin Gillis into the record. Mr. Gillis submitted the following items: correspondence from the Collector's Office that taxes for Jenks Ln. are paid and verification from Code Enforcement that the site has no current blight concerns. A brief emailed construction schedule was discussed, but not included in the packet. Mr. LaVenture read the Dec. 3 emailed letter from Mr. Gillis's surety company verifying that the performance bond (#5419402), will automatically renew for successive one-year terms through the completion of obligations required by the Agreement. Mr. Gillis intends to request a reduced bond amount based on items completed to date. The surety requests that the Board clarify the dollar value of accepted work and the dollar value remaining. Once the surety has the Obligee's letter, they will reduce the current bond by a rider to reflect the new amount. Mr. Gillis requests an additional year to complete the final paving and tree planting, consistent with the City's preference to wait until major construction is completed on the lots. Chair Fenby asked City Engineer DiPersio to confirm that the one-year extension request is consistent with the work remaining. Mr. DiPersio questioned the full-year extension request Mr. Gillis stated that he is uncertain of the builders' schedules.

The end of year provides a cushion to ensure that final paving occurs after major lot construction. Mr. DiPersio cautioned Mr. Gillis of the Board's authority to enforce any necessary repairs or repaving of the binder course after two years. Mr. Gillis was unaware and will work to ensure that the final course is paved before the binder is two years old. Mr. DiPersio also mentioned neighbor feedback indicating that additional cleanup is necessary along Goodale. Mr. Gillis thought that had been addressed, but he will attend to any outstanding items. Mr. Gillis also commented that the berm has greatly reduced runoff. Mr. DiPersio wants to make note of the clean-up requirement and does not want the issue forgotten. Mr. Fay asked how the site held up during our two recent storm events. Mr. DiPersio said it did well. Mr. Fay has previously recommended more limited extensions with progress milestones; however, the subdivision progress has been steady, and he sees a value in the planned extension to complete the final paving and landscaping after lot development. On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to accept and file the correspondence and to extend the time for completion until December 31, 2021, with the understanding that any washouts are corrected and that the schedule progresses within Engineering's approved timeline. Yea: Elder, Fay, Hodge, LaVenture, Russ and Fenby. Nay:0. Motion carried.

Mr. LaVenture read the December 2, 2020 email communication from Mr. Gillis regarding his request for bond reduction. A bonding estimate and Draft Second Amendment to Subdivision Performance Agreement Secured by Surety Bond were provided. Mr. Fay asked the City Engineer if the reduced bond amount was is enough to cover the cost of any rework on the binder course. Mr. DiPersio answered yes. There is also an additional contingency. On a motion by Mr. Fay, seconded by Mr. LaVenture, the Board voted to accept and file all correspondence, refer the matter of the bond estimate to the Engineering Division, and refer the Draft Performance Agreement revision to Legal. Ms. Fenby requests that the City's attorney and the developer's attorney coordinate the review of the Performance Agreement and prepare the document for a vote at the next meeting, December 21. Yea: Eder, Fay, Hodge, LaVenture, Russ, Fenby. Nay:0. Motion carried.

**6. Preliminary/Open Space /Limited Development Subdivision (None)**

**7. Definitive Subdivision Submissions (None)**

**8. Signs (None)**

**9. Correspondence (None)**

**10. Unfinished Business (None)**

**A. Definitive Subdivision Application - 76 Broad St. 4-Lot Subdivision**

Applicant: W.R.E., LLC, 319 Stow Road, Marlborough, MA 01752

Engineer: Hancock Associates, 315 Elm St., Marlborough, MA 01752. Robert DiBenedetto, Representative.

(Note: Submission Date: 09-09-20, **Decision Due: Meeting Prior to January 22, 2021**)

The City's Engineering Division and Hancock continue the technical review and response process. There is nothing to share today, but the Board can anticipate a plan set incorporating the Engineering Division's comments at the next meeting.

**B. Communication from Assistant City Solicitor Piques regarding modification of plan notations (Sem Aykanian -2 S. Bolton/74 Main St.)**

Mr. LaVenture read the December 2, 2020 email correspondence from Assistant City Solicitor Piques into the record. A C S Piques stated that he is awaiting a legal interpretation from the applicant on whether the Board can act on this matter. On a motion by Mr. Fay, seconded by Mr. LaVenture, the Board voted to accept and file the correspondence. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Motion carried. Mr. Fay requests a place holder be added to the December 21 agenda

C. Working group discussion – Planning Board Rules and Regulations,

i) Forms and Cross-Sections Discussion

Mr. LaVenture provided an overview of the proposed process to update elements of the Planning Board's Rules and Regulations. The working group will break down the review into sections, providing the Board an opportunity to comment. The idea is to obtain a general "blessing" from the Board and move forward to other sections. The formal review and votes will take place under statutory requirements, including a public hearing on any proposed changes.

The Board systematically reviewed the existing Planning Board forms and proposed changes.

Proposed updates to the new forms include the following:

**FORMS: (Appendices A-E)**

- References change to Surveyor/Engineer
- In addition to Registry of Deeds Book and Page, include a place for any Land Court references. Mr. Fay will provide additional reference language to Ms. Holmi/Engineering.
- Adding a reference to Assessor's Map and Parcel is OK, but also leave the Location and Description of Property.
- After consideration of alternate language, new ANR forms should have a place to indicate the number of described lots on the plan. (This reference is, in part, how ANR fees are determined.)
- Application forms should have a place to reference the associated plan title block name.
- Board members expressed that if a land plan has multiple owners, all owners should sign. Same for multiple applicants.  
(During review of the ANR form, Mr. DiPersio commented that ANR plans do not convey any land, but board members expressed that all owners of affected land should sign.)
- Include owner's address(es)
- Add references to zoning district(s)
- For preliminary and definitive subdivisions- in addition to roadway length, include # of proposed lots on the application. Also add the Surveyor's name and contact info.
- Form in Appendix F should include the Engineer's name and contact info.
- Add references that applicant is responsible for all expenses including abutter mailings and advertising (public hearing). Additional research is necessary to determine who must perform the mailing.
- There was a consensus that any of the preceding additions be added to other forms, as appropriate.

**CROSS-SECTIONS-APPENDIX F:**

- Remove "plan view from each cross-section  
City Engineer DiPersio expressed that the "plan view" following each cross-section is not necessary. He recommends that this view be removed from each cross-section. The Board agrees.
- Reduce the # of standard cross-sections to three options. All alternate cross-sections will require waivers. City Engineer DiPersio recommends **3 Standard Cross-Sections**
  1. **Secondary Residential Street**  
The Board will need to determine a minimum standard pavement width. (32' currently) Mr. DiPersio stated current standards range between 28-30' for secondary roadways.
  2. **Major Street (Residential with 50' ROW and Commercial with 60' ROW)**

### 3. Lane

Standard pavement width is 26' for a lane. The Board may consider reducing the standard ROW from 50' to perhaps 45'. 40' is a bit tight, stated Mr. DiPersio.

- On the first page of Appendix F remove the first two sentences of item number 7.

#### **INSPECTION FORM – APPENDIX G:**

This form is not currently used but would be valuable in documenting inspections.

- Include a spot for notes or to document a referral to an appropriate department for follow up.

#### **DRAINAGE DESIGN – APPENDIX H:**

- Eliminate this appendix.  
The (dated) information included on this sheet is included as a component of the Subdivision Rules and Regulations. This sheet is not necessary.

#### **SELECT DETAIL SECTIONS – APPENDIX I (WHEELCHAIR RAMPS/MAILBOXES)**

- Eliminate these random detail sheets.  
Mr. DiPersio indicates that all necessary details are provided to the applicant for inclusion on their plan sets. Having just two of the many available detail sheets is odd.

#### ii. Assignment of next tasks

##### **SUBDIVISION REGULATIONS FEE SCHEDULE – APPENDIX K**

Mr. LaVenture stated that a review of fees will be on a coming agenda. Mr. LaVenture and Mr. Russ added to a comparative fee structure spreadsheet for Marlborough and surrounding and similarly sized communities. Mr. LaVenture explained that after removing the outliers on the low and high end, a quick look at Marlborough's fees (last updated in 1991) indicates they are roughly half of our neighbors and counterparts.

The working group subcommittee (members LaVenture and Russ), along with Engineering and Planning Board Administration will meet to discuss fair and equitable fees before December 21 and report back with initial recommendations.

City Engineer DiPersio will have proposed standard cross-sections by either Dec. 21 or early in the new year.

#### **11. Calendar Updates**

- A. Goodale Estates extension of approval (time for completion) of the subdivision from December 31, 2020, to December 31, 2021.

#### **12. Public Notices of other Cities & Towns (See Electronic Packet)**

- A. City of Framingham (2 Notices)

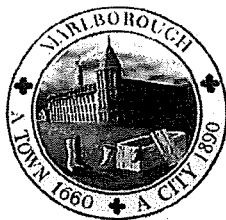
On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to accept and all file items 10C and 12. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Motion carried.

On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to adjourn the meeting.  
Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Motion carried.

Respectfully submitted,

/kih

George LaVenture/Clerk



*City of Marlborough*  
**Department of Public Works**

135 NEIL STREET  
MARLBOROUGH, MASSACHUSETTS 01752  
TEL. 508-624-6910  
\*TDD 508-460-3610

SEAN M. DIVOLL, P.E.  
COMMISSIONER

December 16, 2020

Dr. Barbara L. Fenby, Chairwoman - Marlborough Planning Board  
c/o Krista Holmi - Planning Board Administrator  
135 Neil Street  
Marlborough, MA 01752

**RE: ANR - 107 & 119 South Street**

Dear Dr. Fenby:

Pursuant to the request from the Planning Board on December 7, 2020, our office has reviewed the following plan:

PLAN OF LAND  
IN  
MARLBOROUGH, MASSACHUSETTS

Owned by:  
Donald A. Chamberlain  
107 South Street, Marlborough, MA  
and  
Neto Joao N. Silva & Rosilene Gomes De Avelis Nogueira  
119 South Street, Marlborough, MA

Prepared by:  
Dillis & Roy Civil Design Group  
1 Main Street, Lunenburg, MA 01462

Date: December 1, 2020

The property at #107 South Street, shown on Marlborough Assessor's as Map 81 Parcel 86, contains 30,499 square feet, with a total of 97.51 feet of frontage on South Street and a total of 258.29 feet of frontage on Mount Pleasant Street.

The property at #119 South Street, shown on Marlborough Assessor's as Map 81 Parcel 85, contains 28,883 square feet, with 103± feet of frontage on South Street.

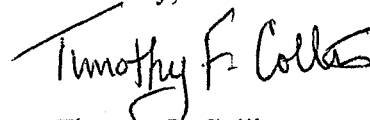
The purpose of this plan is to subdivide parcels to the rear of #107 South Street and #119 South Street to create a third lot, behind #107 South Street, with frontage on Mount Pleasant Street. This third lot is created in the following manner:

- A 14,242 square foot parcel, with 100.00 feet of frontage on Mount Pleasant Street, shown as Parcel A, is subdivided out of the property at #107 South Street, leaving a 16,257 square foot parcel of land with a total of 255.80 feet of frontage on South Street and Mount Pleasant Street. This parcel is shown on the plan as Lot 1.
- A 2,791 square foot parcel of land, shown as Parcel B, is subdivided out of the southeast corner of the property at #119 South Street, leaving a 26, 092± square foot parcel of land shown on the plan as "REMAINING LAND" for #119 South Street. The frontage along South Street remains unchanged.
- Parcel A and B are combined, to create a third parcel of land, shown as Lot 2, containing 17, 026 square feet in area and having 100.00 feet of frontage along Mount Pleasant Street.

Lot 2 has the required area, the required frontage, and meets the Lot Shape requirements for a buildable lot in a Residence A-3 Zone. After conducting a site visit to the subject property, I have determined that the proposed Lot 2 does have present adequate access off Mount Pleasant Street. Lot #1 (#107 South Street) and the property at #119 South Street have the required area and frontage to remain as buildable lots.

Should you have any question regarding the above, please do not hesitate to contact me at (508) 624-6910.

Sincerely,



Timothy F. Collins  
Assistant City Engineer

xc: Sean M. Divoll, P.E. – DPW Commissioner  
Thomas DiPersio, Jr., P.E., P.L.S. – City Engineer  
Dillis & Roy Civil Design Group

**RJP Construction and Engineering**

Bob Parente

P.O. Box 98 • Southboro, MA 01772 • 508-509-0891

Dec. 14, 2020

Marlboro Planning Board  
City Hall  
Marlboro, Ma. 01752

Re: ANR Plan – 181 Boston Post Rd

Dear Ms. Fenby &amp; Board Members,

On Oct. 19, 2020 the Marlboro Planning Board endorsed an Approval Not Required plan for Post Road Mobile Homes & Sales Inc. Upon a subsequent review of the plan it was apparent that some of the new lot corner pins that were installed during the survey were not labelled on the plan.

After a recent discussion with the City Engineering Dept. the labels have been added and new mylars have been prepared. We are hereby requesting a re-endorsement of the new mylars (upon review by the Engineering Dept.) so that the plan can be recorded at the Registry of Deeds.

Your attention in this matter is greatly appreciated.

Sincerely

Robert J. Parente P.L.S.





*City of Marlborough*  
**Department of Public Works**

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SEAN M. DIVOLL, P.E.  
 COMMISSIONER

December 16, 2020

Dr. Barbara L. Fenby, Chairwoman - Marlborough Planning Board  
 c/o Krista Holmi - Planning Board Administrator  
 135 Neil Street  
 Marlborough, MA 01752

**RE: ANR re-submittal - Post Road Trailer Park and Sales Inc. (Winske)**  
**181 Boston Post Road - East and 100 Phelps Street**

Dear Dr. Fenby:

On October 19, 2020, the Marlborough Planning Board voted to endorse the following plan:

PLAN OF LAND  
 IN  
 MARLBOROUGH, MASSACHUSETTS

Owned by:  
 Post Road Trailer Park & Sales, Inc.

Location:  
 181 Boston Post Road - East & Phelps Street

Prepared by:  
 RJP Construction & Engineering  
 21 Chapin Street, Northborough, MA

Date: September 28, 2020 (Revised October 15, 2020)

as a plan, where under the subdivision control law, approval was not required.

The plan, that was endorsed by the Planning Board, but has not yet been recorded, divided three combined parcels into two lots:

- Lot 1, containing 11.82 acres and a total of 203.38 feet of frontage along Phelps Street, and
- Lot 2, containing 75,348 square feet and having a total of 273.57 feet of frontage along Boston Post Road - East.
- The plan also contained an Access & Utility Easement off Boston Post Road - East, over Lot 2 for the benefit of Lot 1.

ANR – Post Road Mobile Homes &amp; Sales, Inc.

Page 2

Subsequent to the plan being endorsed by the Planning Board, the engineer discovered that new lot corner pins were installed during the property survey that were not labelled on the plan and while making changes to include the plan monumentation to this plan, the Engineer made minor corrections to a bearing and length in one of the property lines, which resulted in the following changes to the area for Lot 1 and Lot 2:

- Lot 1 - area changed from 11.8178 acres to 11.8127 acres, a change of -0.0051 acres.
- Lot 2 - area changed from 75,523 square feet to 75,522 square feet, a change of -1 square foot.

The purpose of this plan, dated December 9, 2020, is to add this updated information to the plan.

The lot shape and frontage for Lots 1 and 2 have not changed from the original ANR plan that was endorsed on October 19, 2020, and the corrected areas do not have an impact on the endorsement of this plan.

Should you have any question regarding the above, please do not hesitate to contact me at (508) 624-6910.

Sincerely,



Timothy F. Collins  
Assistant City Engineer

xc: Sean M. Divoll, P.E. – DPW Commissioner  
Thomas DiPersio, Jr., P.E., P.L.S. – City Engineer  
Post Road Trailer Park & Sales, Inc.





*City of Marlborough*  
**Department of Public Works**

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TEL. 508-624-6910  
\*TDD 508-460-3610

SEAN M. DIVOLL, P.E.  
COMMISSIONER

December 16, 2020

Dr. Barbara L. Fenby, Chairwoman - Marlborough Planning Board  
c/o Krista Holmi - Planning Board Administrator  
135 Neil Street  
Marlborough, MA 01752

**RE: Goodale Estates - Bond Reduction**

Dear Dr. Fenby:

Pursuant to the request from the Planning Board on December 7, 2020, the Engineering Division has reviewed the status of the construction for the completion of the roadway at the above-referenced subdivision.

As of this date, the following work will need to be completed, and has been scheduled by the developer:

- Paving of roadway (top course - scheduled for late-June 2020)
- Installation of roadway bounds - scheduled for September 2020
- Installation of street trees - scheduled for September 2020
- Installation of street signs\* and line painting
- As-Built Plans need to be developed - scheduled for September 2021
- Acceptance Plans will be developed during the One-Year Maintenance Period
- Miscellaneous Clean-up will take place after the One-Year Maintenance Period.

\* street signs and street lighting are required prior to house occupancy.

The status of the bond to secure the completion of the subdivision is as follows:

- It was determined, in December of 2019, that the initial cost to construct the subdivision was approximately \$700,000.00.
- At that time, with some of work to construct the subdivision having been completed, it was also determined that the cost to complete the subdivision was \$352,000.00.
- On June 21, 2020 the bond being held to secure the completion of the subdivision was reduced to \$205,000.00, a reduction of \$147,000.00.
- Given the quantity of work required to complete the subdivision and based on the cost to complete this work (based on MassDOT weighted bid prices for roadway construction), I have determined the cost to complete the remaining work for this subdivision is \$123,000.00, a reduction of \$82,000.00.

Based on the cost of the work completed to date, security in the amount of \$123,000.00 should be posted to secure the completion of the above referenced subdivision. Refer to the attached estimate breakdown for details. This bond amount should not be reduced any further until such time as the final course of pavement has been added to the base course of pavement. Paving of the base course took place on November 9, 2019. In accordance with the Planning Board Rules and Regulations, should the paving of the final course of pavement take place after November 9, 2021 (2 years from the application of the binder course), the City may require that the pavement be tested to ensure that the final condition of the street pavement is acceptable to the City of Marlborough.

Should you have any question regarding the above, please do not hesitate to contact me at (508) 624-6910.

Sincerely,



Timothy E. Collins  
Assistant City Engineer

xc: Sean M. Divoll, P.E. – DPW Commissioner  
Thomas DiPersio, Jr., P.E., P.L.S. – City Engineer  
Kevin Gillis - Northborough Capital Partners, LLC,

**CITY OF MARLBOROUGH, MASSACHUSETTS  
ESTIMATE FOR BONDING PURPOSES**

5A-3

SUBDIVISION:										DATES
GOODALE ESTATES										2019
JENKS LANE										12/04/19
										11/30/20
ITEM	DESCRIPTION	UNIT	TOTAL QTY.	UNIT COST	TOTAL COST	QTY. LAST EST.	QTY. THIS EST.	TOTAL COST TO DATE	% COMPLETE	
Earth Work										
	Clearing, grubbing	AC.	0	\$15,000.00	\$0.00	0		COMPLETED	100.00%	
	Excavation	C.Y.	0	\$25.00	\$0.00	0		COMPLETED	100.00%	
	Sub-base	C.Y.	0	\$35.00	\$0.00	0		COMPLETED	100.00%	
	Ledge excavation	C.Y.	0	\$50.00	\$0.00	0		COMPLETED	100.00%	
Water										
1	Hydrants (Incl. gate)	EA.	1	\$7,250.00	\$7,250.00	1	1	\$7,250.00	100.00%	
2	Gates	EA.	1	\$2,300.00	\$2,300.00	1	1	\$2,300.00	100.00%	
3	3/4-in. Copper service (complete)	L.F.	375	\$100.00	\$37,500.00	275	375	\$37,500.00	100.00%	
4	Corporation and Curb Stop	EA.	7	\$1,200.00	\$8,400.00	7	7	\$8,400.00	100.00%	
5	8-in. CL52 DI main	L.F.	490	\$120.00	\$58,800.00	490	490	\$58,800.00	100.00%	
6	6-in. CL52 DI hydrant branch	L.F.	10	\$90.00	\$900.00	10	10	\$900.00	100.00%	
Sewer										
7	6 in. Service (stub at property line)	L.F.	330	\$90.00	\$29,700.00	283	330	\$29,700.00	100.00%	
8	8-in. PVC main	L.F.	460	\$100.00	\$46,000.00	460	460	\$46,000.00	100.00%	
	8-in. CL52 DI main	L.F.	0	\$0.00	\$0.00			\$0.00	#DIV/0!	
	10-in. CL52 DI main	L.F.	0	\$100.00	\$0.00			\$0.00	#DIV/0!	
9	Sewer manhole	EA.	3	\$5,850.00	\$17,550.00	3	3	\$17,550.00	100.00%	
	Sewer manhole - 5' inside dia	EA.	0	\$0.00	\$0.00			\$0.00	#DIV/0!	
	Force main - 24-in	L.F.	0	\$0.00	\$0.00			\$0.00	#DIV/0!	
Drainage										
10	Catch basin	EA.	4	\$5,350.00	\$21,400.00	4	4	\$21,400.00	100.00%	
11	Drain manhole	EA.	2	\$5,350.00	\$10,700.00	2	2	\$10,700.00	100.00%	
	Drain manhole - 5' inside dia	EA.	0	\$0.00	\$0.00			\$0.00	#DIV/0!	
12	Drop inlet	EA.	1	\$3,200.00	\$3,200.00	1	1	\$3,200.00	100.00%	
	Outlet inlet	EA.	0	\$1,500.00	\$0.00			\$0.00	#DIV/0!	
	Box culvert	L.F.	0	\$250.00	\$0.00			\$0.00	#DIV/0!	
	6-in. D.I.	L.F.	0	\$100.00	\$0.00			\$0.00	#DIV/0!	
13	12-in. RCP	L.F.	61	\$100.00	\$6,100.00	61	61	\$6,100.00	100.00%	
	12-in. RCP Flared end	EA.	0	\$750.00	\$0.00			\$0.00	#DIV/0!	
14	15-in. RCP	L.F.	174	\$110.00	\$19,140.00	174	174	\$19,140.00	100.00%	
15	15-in. RCP Flared end	EA.	1	\$1,200.00	\$1,200.00	1	1	\$1,200.00	100.00%	
16	18-in. RCP	L.F.	40	\$115.00	\$4,600.00	40	40	\$4,600.00	100.00%	
	18-in. RCP Flared end	EA.	0	\$900.00	\$0.00			\$0.00	#DIV/0!	
	21-in. RCP	L.F.	0	\$100.00	\$0.00			\$0.00	#DIV/0!	
	21-in. RCP Flared end	EA.	0	\$950.00	\$0.00			\$0.00	#DIV/0!	
	24-in. RCP	L.F.	0	\$140.00	\$0.00			\$0.00	#DIV/0!	
	24-in. RCP Flared end	EA.	0	\$1,000.00	\$0.00			\$0.00	#DIV/0!	
	30-in. RCP	L.F.	0	\$150.00	\$0.00			\$0.00	#DIV/0!	
	30-in. RCP Flared end	EA.	0	\$1,200.00	\$0.00			\$0.00	#DIV/0!	
	36-in. RCP	L.F.	0	\$125.00	\$0.00			\$0.00	#DIV/0!	
	36-in. RCP Flared end	EA.	0	\$1,700.00	\$0.00			\$0.00	#DIV/0!	
17	Headwalls	C.Y.	11	\$700.00	\$7,700.00	11	11	\$7,700.00	100.00%	
18	Detention basins	C.Y.	2250	\$40.00	\$90,000.00	2000	2250	\$90,000.00	100.00%	
	Water Quality Structure	EA.	0	\$3,000.00	\$0.00			\$0.00	#DIV/0!	
	Outlet Control structure	L.S.	0	\$2,500.00	\$0.00			\$0.00	#DIV/0!	
19	Rip-Rap	C.Y.	110	\$75.00	\$8,250.00	110	110	\$8,250.00	100.00%	
	6-in. Under Drain	L.F.	0	\$25.00	\$0.00			\$0.00	#DIV/0!	
	12-in. Under Drain	L.F.	0	\$40.00	\$0.00			\$0.00	#DIV/0!	
20	Black Vinyl Clad Fence, Post & Gate	L.F.	540	\$60.00	\$32,400.00	0	540	\$32,400.00	100.00%	
Roadway/Layout										
21	Gravel base	C.Y.	650	\$45.00	\$29,250.00	650	650	\$29,250.00	100.00%	
22	Blt. Conc. Pavement	Ton	470	\$130.00	\$61,100.00	293.75	293.75	\$38,187.50	62.50%	
23	Granite curbing	L.F.	950	\$60.00	\$57,000.00	950	950	\$57,000.00	100.00%	
	Blt Conc base	L.F.	0	\$0.00	\$0.00			\$0.00	#DIV/0!	
24	Sidewalk gravel	C.Y.	10	\$45.00	\$450.00	0	10	\$450.00	100.00%	
25	Sidewalk pavement	Ton	70	\$175.00	\$12,250.00	0	70	\$12,250.00	100.00%	
26	Misc. clean up	L.S.	1	\$10,000.00	\$10,000.00	0		\$0.00	0.00%	
27	Adj. Structures	EA.	9	\$350.00	\$3,150.00	0		\$0.00	0.00%	
28	Granite (stone) bounds	EA.	8	\$600.00	\$4,800.00	0		\$0.00	0.00%	
	Guardrail	L.F.	0	\$25.00	\$0.00			\$0.00	#DIV/0!	
29	Roadside trees	EA.	28	\$500.00	\$14,000.00	0		\$0.00	0.00%	
30	Street signs w/ breakaway posts	EA.	1	\$150.00	\$150.00	0	1	\$150.00	100.00%	
31	Street lighting	EA.	1	\$3,000.00	\$3,000.00	1	1	\$3,000.00	100.00%	
32	Elec/Tel/Cable	L.F.	760	\$50.00	\$38,000.00	760	760	\$38,000.00	100.00%	
33	Gas	L.F.	475	\$45.00	\$21,375.00	0	475	\$21,375.00	100.00%	
34	As-built plans	EA.	1	\$2,500.00	\$2,500.00	0		\$0.00	0.00%	
35	Acceptance plans	EA.	1	\$2,500.00	\$2,500.00	0		\$0.00	0.00%	
36	Field stone masonry wall	C.Y.	20	\$600.00	\$12,000.00	20	20	\$12,000.00	100.00%	
TOTAL					\$684,615.00			\$624,752.50		

**CITY OF MARLBOROUGH, MASSACHUSETTS  
ESTIMATE FOR BONDING PURPOSES**

5A-4

<b>SUBDIVISION:</b>			
<b>GOODALE ESTATES</b>		<b>BOND NO.</b>	MassDOT Weighted Bid Prices:
<b>JENKS LANE</b>		<b>REDUCTION 3</b>	INITIAL DATE OF BOND:
			DATE :

<b>DATES</b>
2019
12/04/19
11/30/20

TOTAL COST TO COMPLETE SUBDIVISION:	\$684,615.00
TOTAL COST OF WORK COMPLETED TO DATE:	\$624,752.50
TOTAL COST OF WORK REMAINING:	\$59,862.50
10% RETAINAGE	\$62,475.25
	\$122,337.75
<b>TOTAL BOND FIGURE, THIS ESTIMATE:</b>	<b>\$123,000.00</b>

**SUMMARY TABLE**

BOND NO. REDUCTION 3

GOODALE ESTATES

JENKS LANE

**BOND AMOUNT FOR:**

INITIAL BOND	4-Dec-19	\$720,000.00	
REDUCTION 1	4-Dec-19	\$352,000.00	
REDUCTION 2	21-Jun-20	\$205,000.00	
REDUCTION 3	30-Nov-20	\$123,000.00	23.30%

Reduced by: \$82,000.00

**WORK REMAINING**

ITEM	DESCRIPTION	UNIT	TOTAL QTY.	UNIT COST	TOTAL COST	QTY. LAST EST.	QTY. THIS EST.	TOTAL COST TO DATE	% COMPLETE
22	Bit. Conc. Pavement	Ton	470	\$130.00	\$61,100.00	0	293.75	\$38,187.50	62.50%
26	Misc. clean up	L.S.	1	\$10,000.00	\$10,000.00	0	0	\$0.00	0.00%
27	Adj. Structures	E.A.	9	\$350.00	\$3,150.00	0	0	\$0.00	0.00%
28	Granite (stone) bounds	E.A.	8	\$600.00	\$4,800.00	0	0	\$0.00	0.00%
29	Roadside trees	E.A.	28	\$500.00	\$14,000.00	0	0	\$0.00	0.00%
30	Street signs w/ breakaway posts	E.A.	1	\$150.00	\$150.00	0	0	\$0.00	0.00%
34	As-built plans	E.A.	1	\$2,500.00	\$2,500.00	0	0	\$0.00	0.00%
35	Acceptance plans	E.A.	1	\$2,500.00	\$2,500.00	0	0	\$0.00	0.00%

**Krista Holmi**

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**From:** Jason Grossfield  
**Sent:** Wednesday, December 16, 2020 4:56 PM  
**To:** Krista Holmi  
**Subject:** Goodale Estates - Second Amendment to Subdivision Performance Agreement Secured by Surety Bond  
**Attachments:** Second Amendment to Performance Agr by Bond - jdj edit 12-10-20 clean.docx

Dear Honorable Planning Board Members:

As requested, I have reviewed the above-referenced proposed form of amendment, and have placed the attached document in proper legal form. Please contact me with any questions.

Thank you,  
-Jason

Jason D. Grossfield  
City Solicitor  
City of Marlborough  
City Hall, 4th Floor  
140 Main Street  
Marlborough, MA 01752  
T: (508) 460-3771  
F: (508) 460-3698  
[jgrossfield@marlborough-ma.gov](mailto:jgrossfield@marlborough-ma.gov)

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**SECOND AMENDMENT TO SUBDIVISION PERFORMANCE**  
**AGREEMENT SECURED BY SURETY BOND**  
**GOODALE ESTATES SUBDIVISION**

This SECOND AMENDMENT TO AGREEMENT made this \_\_\_ day of December, 2020 between **NORTHBOROUGH CAPITAL PARTNERS, LLC**, acting by and through Kevin Gillis as Manager, successor in interest to Valre Realty Trust (the "Developer"), and the **CITY OF MARLBOROUGH**, a municipal corporation duly organized by law, acting by and through its duly authorized Planning Board (the "City" or "Planning Board").

WITNESSETH

WHEREAS, on February 4, 2020, the Developer and Planning Board entered into that certain Subdivision Performance Agreement Secured by Surety Bond ("Agreement"), which was amended pursuant to that certain First Amendment to Agreement, dated June 22, 2020, which among other things, extended the "Completion Date", as defined in the Agreement, to December 31, 2020; and

WHEREAS, the Developer requested an extension to the completion date and the Planning Board has authorized same.

NOW THEREFORE, in consideration of the promises exchanged herein and other adequate consideration, the sufficiency of which is hereby acknowledged, it is hereby mutually agreed as follows:

1. The parties extend the Completion Date in the Agreement from December 31, 2020 to **DECEMBER 31, 2021**. Attached hereto is evidence that the Security is extended in accordance with this Amendment to reflect the new Completion Date.
2. All other terms of the Agreement remain unchanged and in full force and effect.

IN WITNESS WHEREOF, the Parties hereto have caused this Agreement to be signed by their duly authorized representatives on the date first written above.

CITY OF MARLBOROUGH

NORTHBOROUGH CAPITAL PARTNERS, LLC

By its Planning Board

By: \_\_\_\_\_

Barbara Fenby, Chair

By: \_\_\_\_\_

Kevin A. Gillis, Manager

Duly Authorized

As authorized by vote of the Planning Board on \_\_\_\_\_

5A-7  
20

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

On this \_\_\_\_ day of \_\_\_\_\_, 2020, before me, the undersigned notary public, Barbara Fenby, as Chair of the City of Marlborough Planning Board, personally appeared, proved to me through satisfactory evidence of identification, which was:

\_\_\_\_\_, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose as the voluntary act of the City of Marlborough Planning Board.

\_\_\_\_\_  
Notary Public

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

[seal]

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

On this \_\_\_\_ day of \_\_\_\_\_, 2020, before me, the undersigned notary public, Kevin A. Gillis personally appeared, proved to be through satisfactory evidence of identification, which was \_\_\_\_\_, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose as the voluntary act of Northborough Capital Partners, LLC

\_\_\_\_\_  
Notary Public

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

# **HANCOCK ASSOCIATES**

Surveyors | Engineers | Scientists

December 16, 2020

Marlborough Planning Board  
Dr. Barbara L. Fenby, Chair  
c/o Ms. Krista Holmi, Administrator  
135 Neil Street, 2<sup>nd</sup> Floor  
Marlborough, MA 01752

Subject: Four-Lot Subdivision, 76 Broad Street, Marlborough, MA  
**Response to Engineering Division review comments**

Dear Dr. Fenby,

On behalf of the applicant W.R.E., LLC, Hancock Associates has reviewed the Memorandum prepared by Marlborough DPW Engineering Division, dated 11/12/2020, regarding the Definitive Subdivision plan set for the proposed four-lot subdivision at 76 Broad Street. The Engineering Division comments are reproduced (page 3), with the Hancock responses in **bold**. A revised plan set (including a revised Existing Conditions plan) has been submitted.

The **following revisions** were made to the design and plan set in addition to those revisions related to the Engineering comments:

- A Waiver Request list has been added to the Title Sheet (C1). The list is reproduced on page 2.
- The proposed sidewalk has been shifted away from the granite curbing and reduced to 5.5 feet in width, creating a 3-ft landscaping strip on either side of the proposed roadway (C5-C8). The landscaping strip allows snow plows to place snow off the road and not bury the sidewalks. This revision was discussed with City Engineer Thomas DiPersio.
- The land comprising Parcels D, E and F has been added to the proposed right-of-way. A proposed retaining wall has been slightly shifted into this area to allow a more uniform landscaping strip. Street trees have been added, which allows additional street trees to be planted as part of this subdivision. This revision was discussed with Assistant City Engineer Timothy Collins.

**Requested Waivers**

**§A676-12. Streets. B. Alignment (5)** [30' ROW roundings] – Instead of a complete 30' radius, the proposed roundings end at the abutting properties. The proposed roadway and sidewalk do not cross the property corners. Easements A and B are removed. This waiver was discussed and approved during the previous Planning Board hearing.

**§A676-12. Street. C. Width. (1) (a)** [Min 50' width] – The minimum width is 49.2 feet at Station 1+75, at the first small bend in the right-of-way roadway. Easement C is removed. The proposed sidewalk is placed outside of the abutting property. This item was discussed during the previous Planning Board meeting as it pertained to the removal of the Easements A, B and C.

**§A676-12. Street. D. Grade. (3)** [Vertical curves] – The grade break at the proposed crosswalk is greater than 1% (from 2% to 4.9%). This item was discussed with City Engineer Thomas DiPersio, and it was agreed that a waiver from the required vertical curve at this location would be in the best interest of the public.

**§A676-20. Sidewalks, grass plots, trees.** – The proposed sidewalk is shifted away from the granite curbing and reduced to 5.5 feet in width, creating a 3-ft landscaping strip on either side of the proposed roadway. This item was discussed with City Engineer Thomas DiPersio.

Street trees are proposed in the landscaping strip in sections outside of the proposed lots. Street trees are also proposed in the additional right-of-way at the southeastern end of the roadway, to match the required tree count for this length of roadway. This item was discussed with Assistant City Engineer Timothy Collins.

**§A676-23. General. A.** [Street acceptance] – The proposed roadway deviates from the standard cross-section in Appendix F as described in waiver request §A676-20.

**§A676-24. Street and roadway. B.** [30' curb radius] – Instead of a curb radius that matches the required ROW rounding radius of 30' (per §A676-12B), the proposed curb radii are chosen to ensure the proposed sidewalk is outside the abutting properties. The west (#84 Broad) curb radius is 25 feet. The east (#70-72 Broad) curb radius is 22 feet. This item was discussed in general terms with City Engineer Thomas DiPersio.

**§A676-28. Trees. A.** [Tree location] – Street trees are proposed in the landscaping strip in sections outside of the proposed lots. Street trees are also proposed in the additional right-of-way at the southeastern end of the roadway, to match the required tree count for this length of roadway (24 trees). Two trees are placed within the proposed lots, but not at 40-ft intervals. This item was discussed with Assistant City Engineer Timothy Collins.

## **Comments and Responses**

### **General Notes:**

A note shall be provided on the plans indicating that the proposed individual site development on each of the lots (grading, house location, driveway location, etc.) is shown schematically only on these plans, and that information will be shown on separate individual Site Plans which shall be submitted for approval.

**Response: This note has been added to the Notes, References and Legend sheet (C2).**

The roadway should have a street name. The next veteran on the list to be used to names streets, parks and municipal buildings is Pettes - after Thomas Pettes, Civil War veteran.

**Response: The proposed roadway name has been updated on all relevant sheets.**

### **Title Sheet:**

- "Planning" is misspelled in the plan references section.

**Response: The Title Sheet (C1) has been revised.**

### **Existing Conditions Plan**

- Remove the metes and bounds, the lot designations and the areas for Lots 1, 2, and 3 and replace their identifying information with Registry Book & Page and Assessor's Map & Parcel.

**Response: The Existing Conditions Plan (EC) has been revised.**

- The dimensions shown in the Detail view of the iron pipes found near the eastern corner of the Phillipo property shown on this sheet are different than the dimensions shown on the Lotting Plan.

**Response: This discrepancy between these sheets (EC & DS) has been corrected.**

- There is an extraneous, dimensioned line off of the northeast property line of Lot 3.

**Response: The Existing Conditions Plan (EC) has been revised.**

- This plan shows "Lots 1, 2, and 3" off of Lincoln Street, will be changing in area. However the Lotting Plan is not clear where the changes in lot lines will occur. It is also confusing that these lots are numbered 1-3, and there are new "Lots 1-3" on the Lotting Plan.

**Response: The Existing Conditions Plan (EC) has been revised to correctly depict Lots 1, 2, and 3 off Lincoln Street as existing lots.**

- "Lot 3" will be increasing in area from 5,909 to 10,997 square feet. This lot appears to be owned by Alex DaSilva. Is this owner intended to be part of the project?

**Response: The Existing Conditions Plan (EC) has been revised to correctly depict Lot 3 off Lincoln Street as an existing lot. There is no proposed increase in area for this lot. The current owner of Lot 3 is not part of this project.**

- If these lots are not changing as part of this plan, then remove the metes and bounds, the lot designations and the areas for them, and replace their identifying information with Registry Book & Page and Assessor's Map & Parcel.

**Response: The Existing Conditions Plan (EC) has been revised.**

Lotting Plan

- Remove the text "6 FT SIDEWALK" from the proposed roadway

**Response: The Lotting Plan (DS) has been revised.**

- This sheet should contain a note stating that "Parcels D, E, F, G, H" are not to be considered separate building lots, and indicate the disposition of said parcels. The Layout and Materials Plan states that the parcels are to be deeded to the abutters.

**Response: A note has been added to the Lotting Plan (DS).**

Please note: §A676-[[12 Streets]] A. Location (4) states:

*"Reserve strips prohibiting access to streets or adjoining property shall not be permitted, except where, in the opinion of the Planning Board, such strips shall be in the public interest".*

Furthermore, §A676-[[12 Streets]] B. Alignment, (5) states:

*"Property lines at street intersections shall have a radius equal to 30 feet at intersections involving a major street and 25 feet at other intersections".*

The plan proposes to use easements to achieve this alignment requirement. The use of an easement to meet this requirement would require a variance from the Planning Board. If Parcels G & H were to become part of the abutting/existing Broad Street parcels, the additional frontage on the new roadway would allow for the reduction in frontage for the two parcels that currently have their legal frontage on Broad Street. A ANR plan depicting these changes in property line and increasing the property line frontage to be compliant with current zoning, can be submitted to and endorsed by the Marlborough Planning Board prior to endorsing the Definitive Subdivision Plan – this should protect from a zoning violation for insufficient frontage. Parcels D, E & F could likewise be deeded to the abutters.

**Response: At the Planning Board 11/16/2020 meeting, the Board members voted to waive bylaw §A676-12.B.(5), thereby avoiding the need for the proposed easements. All relevant sheets have been revised.**

- A Landscape Easement for street trees should be shown. Given the small lots size and multiple utility connected that would be required for each of the building lots, a Landscape Plan should be provided to determine if trees can be planted at 40-foot intervals with at least 2 trees per lot. If this unattainable, then a variance under [§A676-28] Trees; will be required.

**Response: We respectfully request a waiver from bylaw §A676-28.A (see Requested Waivers, page 2). A Landscape Plan has been added to the plan set (C12).**

- The dimensions shown in the Detail view of the iron pipes found near the eastern corner of the Phillipo property shown on this sheet are different than the dimensions shown on the Existing Conditions Sheet.

**Response: This discrepancy between these sheets (EC & DS) has been corrected.**

**Layout & Materials Plan**

- The proposed lots are located in a Residence C Zone, which allows for up to a 3-family house, with 3 stories in height, on lots containing at least 10,000 square feet and an additional unit allowed for each 2,000 square feet of area above the initial 10,000 square feet in area. The developer has stated to the board that his intention is to build only 2-family dwellings. A note indicating this should be put on the plan.

**Response: A note has been added to the Notes, Reference and Legend sheet (C2) and the Layout & Materials Plan (C5).**

- Zoning Tabulation Chart - remove the front yard setback, rear yard setback, side yard setback and lot coverage for the proposed lots from the chart. These figures would be determined when each individual lot is developed.

**Response: The Zoning Tabulation table has been revised (C5).**

- The plan should note the proposed sidewalks as "bituminous concrete", and the proposed wheelchair ramps as "cement concrete".

**Response: The Layout & Materials plan (C5) has been revised.**

- The plan should note that the proposed sidewalks and curbing at the roundings at Broad Street shall "meet existing" within Broad Street.

**Response: The Layout & Materials plan (C5) has been revised.**

- The plan should note the limits of final trench repair within Broad Street limits.

**Response: The Layout & Materials plan (C5) has been revised.**

**Grading & Drainage Plan**

- Remove the "existing trees" from the roadway.

**Response: The Grading and Drainage Plan (C6) has been revised.**

- A detail should be provided for the proposed retaining wall. The interlocking precast concrete blocks used for the wall shall be at least 2,000 lbs. each.

**Response: A detail has been added to the Details Sheet 2 (C11).**

- A detail should be provided for the proposed "3-chamber oil/grit separator". This structure shall have 24" cast iron covers to grade over each of the chambers.

**Response: A detail has been added to the Details Sheet 2 (C11). The callout for the oil/grit separator on the Grading and Drainage Plan (C6) has been revised.**

- The proposed 1:1 embankment for the detention basin should include filter fabric beneath the rip rap.

**Response: The Detention Pond Embankment detail on the Grading and Drainage Plan (C6) has been revised.**

- A fence shall be constructed along the top of the retaining wall. A detail shall be provided.

**Response: The Grading and Drainage Plan (C6) has been revised. A detail has been added to the Details Sheet 2 (C11).**

- The existing pavement driveways at 84 Broad Street and 70-72 Broad Street are going to be cut to provide for the new roadway and grading. What is proposed for the new sloped area between the driveways and the back of the new sidewalk? The plan seems to indicate a retaining wall may be constructed. A berm may also be needed along the new edge of driveways.

**Response: Pervious areas between the proposed back of sidewalk and new parking lot edges at #70-72 Broad and #84 Broad shall be pitched towards the sidewalk. These areas shall be loamed and seeded, and the maximum slope shall be 3:1 (horz:vert).**

**For the #84 Broad property, a retaining wall (4-ft max) is proposed where the vertical gradient is too great.**

**The Landscape Plan (C12) depicts the proposed landscaping.**



- Provide a note indicating that the proposed driveways for #70-#72 Broad Street and #84 Broad Street are shown schematically only, and that the driveways, if constructed, must meet the §650-49 Driveways and curb cuts (3) Grades (c), which states:

*"Outside street layout. No driveway outside the street right-of-way shall exceed a positive or negative grade of 3% for a distance at least 15 feet, and 12% for a distance of at least 40 feet from the street right-of-way. Beyond said 40 feet, the grade of a minor driveway shall not exceed 15%, but major driveways shall in no case exceed a grade of 12%."*

**Response: The Grading and Drainage Plan (C6) has been revised to depict grades in accordance with Bylaw §650-49(3)(c). A note has been added to this sheet.**

#### Utility Plan

- The water main proposed should be an 8" ductile iron water main.

**Response: The Utility Plan (C7) has been revised.**

- The connection to the main in Broad Street should specify 10"x8" tapping sleeve and gate valve.

**Response: The Utility Plan (C7) has been revised.**

- The Utility Plan should show the baseline for the road for easier interpretation of the Plan & Profile Plan.

**Response: The Utility Plan (C7) has been revised.**

#### Plan and Profile

- §A676-12 Design guidelines D. Grade, (3) states:

*"Where changes in grade exceed 1%, reasonable vertical curves, as required by the Commissioner of Public Works, will be provided, and where a grade is 5% or greater within 150 feet of the intersection of street right-of-way lines, there shall be provided a levelling area of at least 75 feet with a maximum grade of 3%."*

There is a grade change from 2% to 4%, where a vertical curve is required for this transition.

**Response: We respectfully request a waiver from bylaw §A676-11.D(3) (see Requested Waivers, page 2) to allow a grade change from 2% to 4.9%.**

To provide a shallower cross slope for the proposed crosswalk, a center-line grade of 2% is proposed from the upgradient edge of crosswalk to the existing gutter line in Broad Street. The proposed crosswalk is about 10 feet away from the Broad Street gutter line, moving pedestrians away from the thru traffic. The 2% cross slope would make the crosswalk more in line with ADA and MAAB standards. This item was discussed with City Engineer Thomas DiPersio.

- The Plan and Profile Plan should show the following:
  - Stationing at all drainage structures and sewer structures (need to draw in OGS1 to scale)
  - Final grades along vertical curves at 20-foot intervals
  - Type of [pipes] proposed for drainage and sewer

**Response: The Plan and Profile (C8) has been revised.**

- A hydrant should be added to the end of the cul-de-sac for water main flushing. The proposed hydrant should be relocated to the other side of the crest in the roadway, at the same elevation as proposed.

**Response: The Utility Plan (C7) and the Plan and Profile (C8) have been revised.**

- Remove the "existing trees" from the roadway.

**Response: The Plan and Profile (C8) has been revised.**

**Erosion and Sediment Control Plan**

- The location and/or the configuration of the proposed temporary sediment basin should be revised to account for the fill that will be installed at the end of the roadway.

**Response: The Erosion and Sediment Control Plan (C9) has been revised.**

- A second "v-shaped swale" should be constructed and maintained on the west side of the proposed roadway cul-de-sac, as is shown on the east side.

**Response: The Erosion and Sediment Control Plan (C9) has been revised.**

- A second row of haybales and silt fence should be constructed below the first temporary basin, given the steepness of the slope at the rear of the property and the sites proximity to Lake Williams.

**Response: The Erosion and Sediment Control Plan (C9) has been revised.**

Please do not hesitate to contact our office should you have any questions or concerns.

Regards,  
Hancock Associates



Robert M. DiBenedetto, PE  
Project Manager

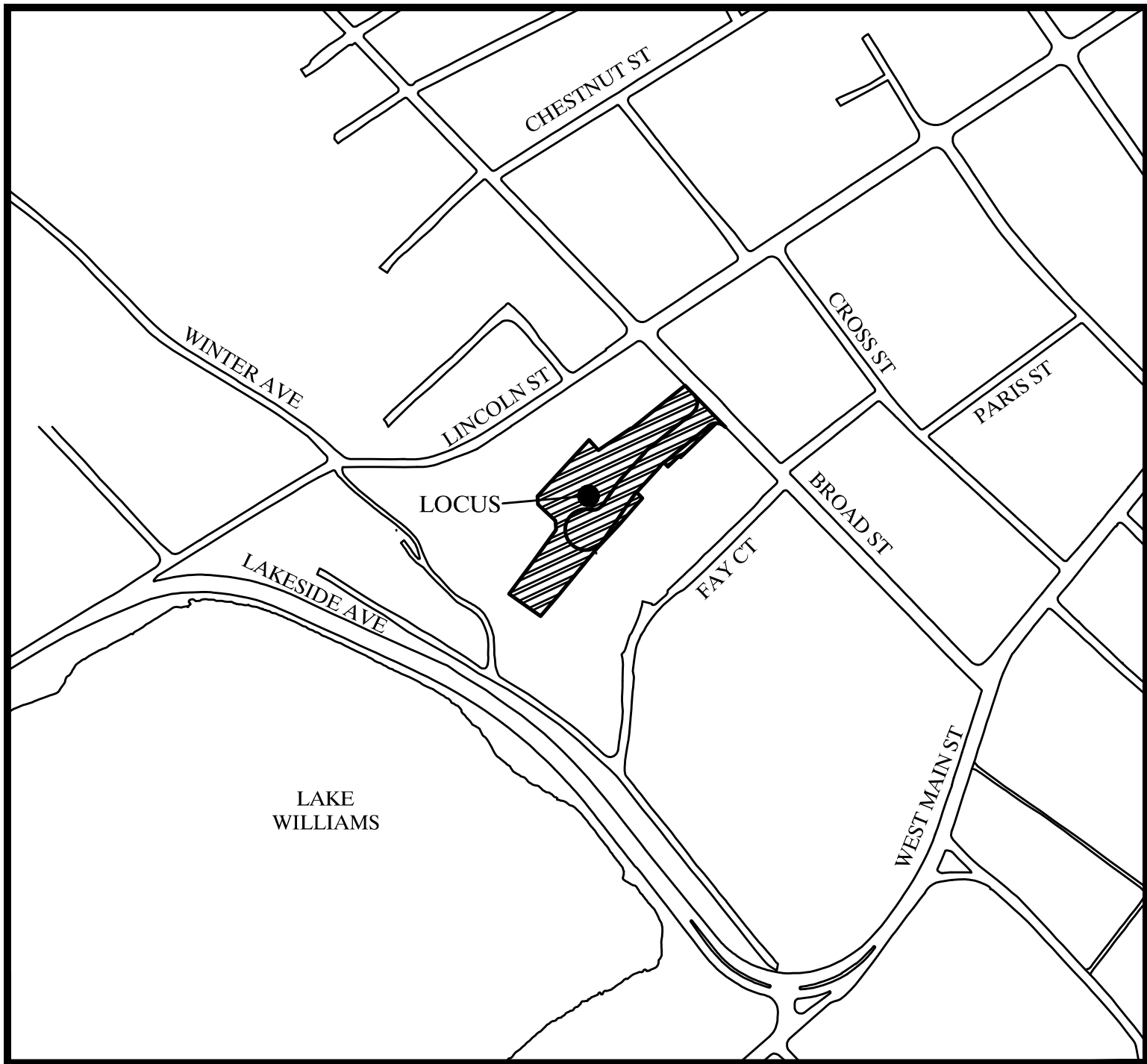
DEFINITIVE SUBDIVISION PLAN

RESIDENTIAL SUBDIVISION & SITE DEVELOPMENT

76 Broad Street  
Marlborough, Massachusetts 01752

FOR

W.R.E., LLC



LOCUS MAP  
SCALE: 1"=APPROX. 350'

ASSESSORS:

MAP 68 LOT 123  
MAP 68 LOT 122  
MAP 80 LOT 52  
MAP 80 LOT 47

REFERENCES:

DEED BOOK 52361, PAGE 362  
DEED BOOK 59406, PAGE 1  
DEED BOOK 72215, PAGE 98  
DEED BOOK 72215, PAGE 106  
PLAN 998 OF 2018

ZONING

RC - RESIDENCE C DISTRICT  
WATER SUPPLY DISTRICT ZONES A & B

SHEET INDEX

SHEET 1	C1	TITLE SHEET
SHEET 2	C2	NOTES AND LEGEND
SHEET 3	EC	EXISTING CONDITIONS
SHEET 4	DS	DEFINITIVE PLAN OF LAND
SHEET 5	C5	LAYOUT AND MATERIALS PLAN
SHEET 6	C6	GRADING AND DRAINAGE PLAN
SHEET 7	C7	UTILITIES PLAN
SHEET 8	C8	PLAN AND PROFILE
SHEET 9	C9	EROSION AND SEDIMENTATION CONTROL PLAN
SHEET 10	C10	SITE DETAILS SHEET 1 OF 2
SHEET 11	C11	SITE DETAILS SHEET 2 OF 2
SHEET 12	C12	LANDSCAPE PLAN

REVISION UPDATES

- 1 - REMOVED SHEET C12
- 2 - ADDED C12-LANDSCAPE PLAN
- REVISED ASSESSORS TABLE
- REVISED REFERENCES TABLE
- ADDED WAIVER LIST

WAIVER REQUEST LIST:

- §A676-12.B.5: "PROPERTY LINES AT STREET INTERSECTIONS SHALL HAVE A RADIUS EQUAL TO 30 FEET AT INTERSECTIONS INVOLVING A MAJOR STREET AND 25 FEET AT OTHER INTERSECTIONS."  
PROPOSED: RIGHT-OF-WAY LINES AS SHOWN ON "LOTING PLAN".
- §A676-12.C.1.a: "THE MINIMUM WIDTH OF RIGHTS-OF-WAY SHALL BE AS FOLLOWS:" "SECONDARY STREETS: 50 FEET."  
PROPOSED: RIGHT-OF-WAY WIDTH OF 49.2 FEET AT STA1+75. RIGHT-OF-WAY LINES AS SHOWN ON "LOTING PLAN".
- §A676-12.D.3: "WHERE CHANGES IN GRADE EXCEED 1%, REASONABLE VERTICAL CURVES, AS REQUIRED BY THE COMMISSIONER OF PUBLIC WORKS, WILL BE PROVIDED..."  
PROPOSED: GRADE BREAK AT PROPOSED CROSSWALK FROM 2% TO 4.9%.
- §A676-20: "SEE CROSS SECTIONS IN APPENDIX F" "TYPICAL CROSS SECTION #1: SECONDARY RESIDENTIAL STREET".  
PROPOSED: 3' LANDSCAPING STRIP BETWEEN CURB AND SIDEWALK. SIDEWALK WITH NO CURB REDUCED TO 5.5-FOOT WIDTH. VARIED TREE LOCATIONS.
- §A676-23.A: "NO STREET OF WAY THROUGH PRIVATE PROPERTY SHALL BE ACCEPTED BY THE CITY UNLESS THE SAME BE PREVIOUSLY CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE STANDARD CROSS SECTION (SEE APPENDIX F)..."  
PROPOSED: RIGHT-OF-WAY DEVIATES FROM STANDARD CROSS-SECTION. SEE ITEM 4 ABOVE..
- §A676-24.B: "ROADWAYS SHALL BE CONSTRUCTED FOR THE FULL LENGTH OF ALL STREETS WITHIN THE SUBDIVISION AND SHALL HAVE THE SAME CURB RADIUS REQUIRED IN §A676-12B ABOVE." (30 FEET)  
PROPOSED: CURB RADIUS AT WESTERN CORNER OF INTERSECTION = 25 FEET. CURB RADIUS AT EASTERN CORNER OF INTERSECTION = 22 FEET.
- §A676-28.A: "STREET TREES OF A SPECIES APPROVED BY THE CITY FORESTER SHALL BE PLANTED ON EACH SIDE OF EACH STREET IN A SUBDIVISION, EXCEPT WHERE THE DEFINITIVE PLAN SHOWED TREES TO BE RETAINED WHICH ARE HEALTHY AND ADEQUATE. SUCH TREES SHALL BE LOCATED OUTSIDE OF THE RIGHT-OF-WAY AS SHOWN IN THE PROFILE AND STANDARD CROSS SECTION PLANS, APPENDIX F, APPROXIMATELY AT FORTY-FOOT INTERVALS, AND SHALL BE AT LEAST 12 FEET IN HEIGHT AND A MINIMUM OF THREE-INCH CALIPER."  
PROPOSED: STREET TREES AS SHOWN ON "LANDSCAPE PLAN".

RECORD OWNER:

W.R.E., LLC  
319 Stow Road  
Marlborough, MA

APPLICANT:

W.R.E., LLC  
319 Stow Road  
Marlborough, MA

APPROVAL UNDER THE SUBDIVISION  
CONTROL LAW REQUIRED.

MARLBOROUGH PLANNING BOARD

DATE: \_\_\_\_\_

I CERTIFY THAT THIS PLAN CONFORMS TO THE  
RULES AND REGULATIONS OF THE REGISTERS  
OF DEEDS.

\_\_\_\_\_  
DATE PROFESSIONAL LAND SURVEYOR  
FOR REGISTRY USE

Site Plan

for  
A Four-Lot Subdivision

Map 68 Lot 123  
76 Broad Street  
Marlborough, MA 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road  
Marlborough, MA 01752

HANCOCK  
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752  
VOICE (508) 460-1111, FAX (508) 460-1121  
WWW.HANCOCKASSOCIATES.COM

2	DJR	RD	12/16/20	PLAN UPDATES	
1	RD	JP	10/29/20	PLAN UPDATES	
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION	
DATE: 9/9/2020 DESIGN BY: RD/DJR					
SCALE: AS NOTED DRAWN BY: DJR					
APPROVED BY: RD/CHECK BY: JP					

TITLE  
SHEET

PLOT DATE: Dec-16, 2020 9:20 am

DWG: 13820DF R2.dwg

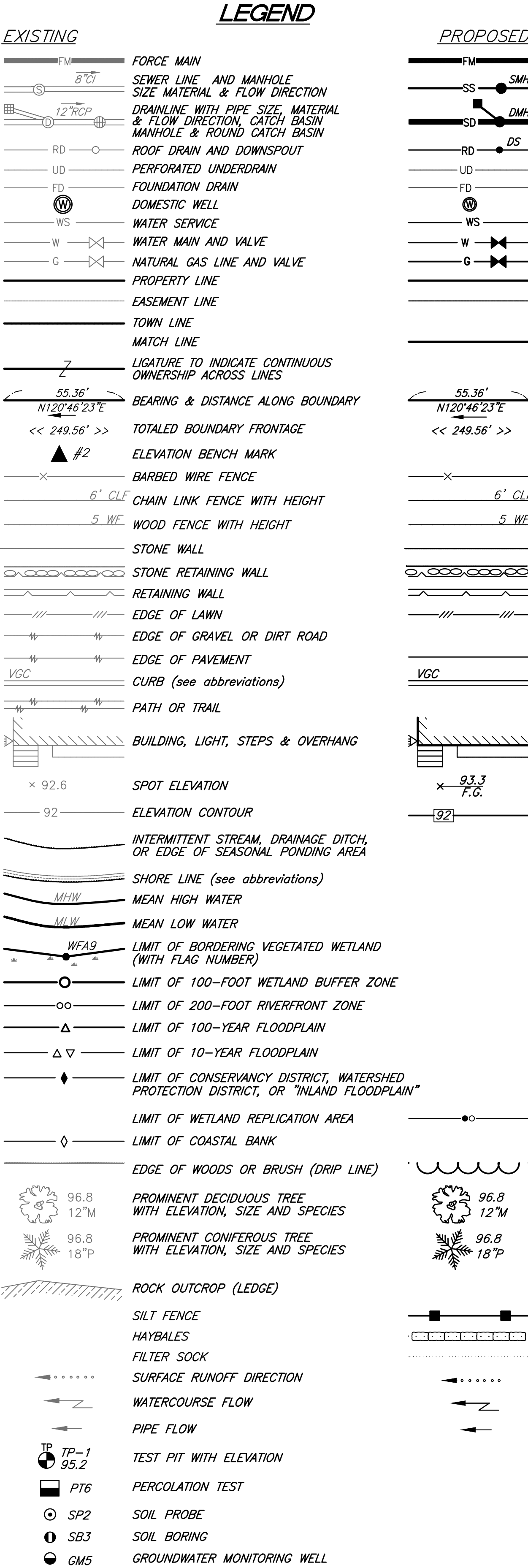
LAYOUT: TS

SHEET: 1 OF 12

PROJECT NO.:

C1

13820





MAP 68, LOT 122 & 123  
MAP 80, LOTS 47 & 52

**ZONING:**  
RC RESIDENCE C  
WATER SUPPLY DISTRICT ZONES A & B

RC RESIDENCE C  
WATER SUPPLY DISTRICT ZONES A & B

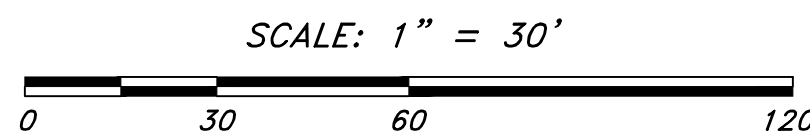
DEED BOOK 59406, PAGE 1 (#70 BROAD)  
DEED BOOK 52361, PAGE 362 (#84 BROAD)  
DEED BOOK 72215, PAGE 98 (#574 LINCOLN)  
DEED BOOK 72215, PAGE 106 (#76 BROAD)  
PLAN 998 OF 2018

(M68, L123) 76 BROAD STREET  
W.R.E. LLC  
319 STOW ROAD  
MARLBOROUGH, MA 01752

(M80, L52) 70-72 BROAD STREET  
70-72 BROAD STREET REALTY TRUST  
250 STOW ROAD  
MARLBOROUGH, MA 01752

(M80, L47) 574 LINCOLN STREET  
WHITE LIVING TRUST  
319 STOW ROAD  
MARLBOROUGH, MA 01752

(M68, L122) 84 BROAD STREET  
84 BROAD STREET LLC  
1 TURNER RIDGE ROAD  
MARLBOROUGH, MA 01752



- 1) PROJECT SOURCE BENCHMARK IS BASED ON A CHISELED CROSS IN THE MIDDLE RIVET IN THE BASE PLATE OF THE MOST SOUTHEAST LEG OF THE MARLBOROUGH WATER TOWER, KNOWN AS 68-F 32 C. ELEVATION IS PURPORTED TO BE ON NGVD29 DATUM.
- 2) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 3) THE LOCATION OF UNDERGROUND STORAGE TANKS, IF ANY, ARE UNKNOWN.
- 4) THIS TOPOGRAPHIC SURVEY WAS PREPARED TO MEET NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1"=30' HORIZONTALLY AND A 2 FOOT CONTOUR INTERVAL VERTICALLY. ANY REPRODUCTIONS OR RE-SCALING MAY EFFECT THE MAP ACCURACY.

234

**SURFACE CONTOUR**

**STONE WALL**

**EDGE OF PAVEMENT**

**CHAIN LINK FENCE**

**WOOD FENCE**

26.75  
26.25

**CURB WITH TOP AND BOTTOM CURB ELEVATION**

**EDGE OF WOODED AREA**

8" DI

**SEWERLINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION**

12" RCP  
D

**DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, MANHOLE & ROUND CATCHBASIN**

× 232.6	SPOT ELEVATION
CI	CAST IRON
VC	VITRIFIED CLAY
SMH	SEWER MANHOLE
DMH	DRAIN MANHOLE
CB	CB
□	CATCH BASIN
(FD)	FOUND
(R)	RECORD
(R/H)	RECORD AND HELD
DH	DRILL HOLE
I.PIPE	IRON PIPE
CB	CONCRETE BOUND
BIT.	BITUMINOUS
BM	BENCHMARK
BC	BITUMINOUS CURB
P	PLASTIC
CRW	CONCRETE RETAINING WALL
WRW	WOOD RETAINING WALL
WP	WOOD PORCH
NTS	NOT TO SCALE
CW	CONCRETE WALK

#76 BROAD  
STREET

#560, #566, #568 & # 574  
Marlborough, Massachusetts 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road  
Marlborough, Massachusetts 01752

HANCOCK  
ASSOCIATES

Civil Engineers

Land Surveyors

Landscape Architects

Environmental  
Consultants

315 Elm Street, Marlborough, MA 01752  
Voice (508) 460-1111, Fax (508) 460-1121  
[www.hancockassociates.com](http://www.hancockassociates.com)

NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION
DATE: 12/16/20				DRAWN BY: CMC/RD	
SCALE: 1" = 30'				CHECK BY: JDE	

# EXISTING CONDITIONS PLAN

PLOT DATE: Dec 16, 2020 9:48 am

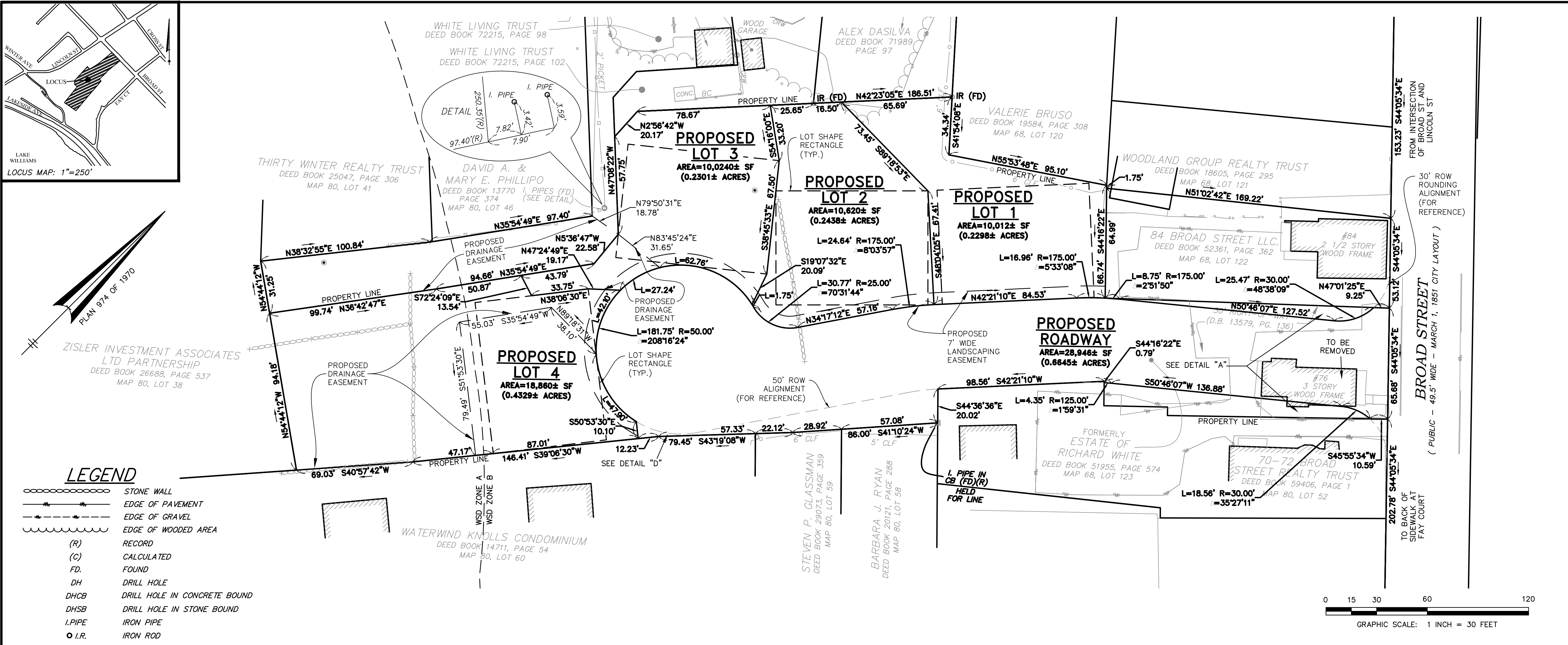
DWG: 13820-SV-2 R2.dwg

LAYOUT: EC

PROJECT NO.

EC

13820



# Lotting Plan

for  
A Four-Lot Subdivision

Map 68 Lot 123  
76 Broad Street  
Marlborough, MA 01752

PREPARED FOR:

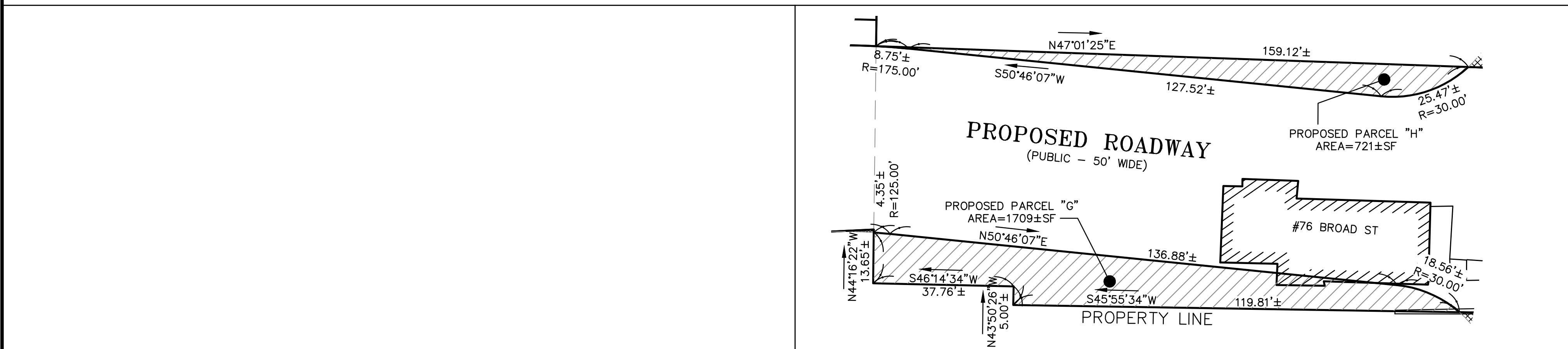
## W.R.E., LLC

319 Stow Road  
Marlborough, MA 01752

## HANCOCK ASSOCIATES

Civil Engineers  
Land Surveyors  
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752  
VOICE (508) 460-1111, FAX (508) 460-1121  
WWW.HANCOCKASSOCIATES.COM



**ASSESSORS:**  
MAP 68, LOT 122 & 123  
MAP 80, LOTS 47 & 52

**REFERENCES:**  
DEED BOOK 59406, PAGE 1 (#70 BROAD)  
DEED BOOK 52361, PAGE 362 (#84 BROAD)  
DEED BOOK 72215, PAGE 98 (#574 LINCOLN)  
DEED BOOK 72215, PAGE 106 (#76 BROAD)  
PLAN 998 OF 2018

**RECORD OWNER:**  
76 BROAD STREET  
W.R.E., LLC  
319 STOW ROAD  
MARLBOROUGH, MA 01752

**NOTES:**  
1) THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED REVISED LOT LINES, EASEMENTS, PARCELS, AND ROADWAY.  
2) PARCELS G AND H ARE NOT TO BE CONSIDERED SEPARATE BUILDING LOTS. PARCEL G IS TO BE DEEDED TO #70-72 BROAD AND PARCEL H TO #84 BROAD.  
3) THIS LOTTING PLAN IS SHEET 4 OF 11 IN DEFINITIVE SUBDIVISION PLAN SET.  
4) SEE SHEET 1 OF DEFINITIVE SUBDIVISION PLAN SET IN TOWN FILE FOR REQUESTED AND APPROVED WAIVERS.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE: \_\_\_\_\_ PROFESSIONAL LAND SURVEYOR  
FOR REGISTRY USE

APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED.

MARLBOROUGH PLANNING BOARD

DATE: \_\_\_\_\_

## DEFINITIVE SUBDIVISION PLAN

PLOT DATE: Dec 16, 2020 9:57 am  
DWG: 13820-DS R2.dwg  
LAYOUT: DS  
SHEET: 1 OF 1  
PROJECT NO.: 13820

# DS



Site Plan

for  
A Four-Lot Subdivision

Map 68 Lot 123  
76 Broad Street  
Marlborough, MA 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road  
Marlborough, MA 01752

HANCOCK  
ASSOCIATES

Civil Engineers

Land Surveyors

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ZONING TABULATION (RESIDENCE C)

ITEM	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4
MIN. LOT AREA	10,000 SF	10,012 SF	10,620 SF	10,024 SF	18,860 SF
MIN. LOT FRONTAGE	90'	101'	114'	90'	90'
MAX. BUILDING HEIGHT	3 STORIES	3 STORIES OR LESS	3 STORIES OR LESS	3 STORIES OR LESS	3 STORIES OR LESS

LAYOUT AND MATERIALS NOTES

1. THE PROPOSED SITE DEVELOPMENT FOR ALL PROPOSED LOTS ARE SHOWN SCHEMATICALLY ONLY. INDIVIDUAL SITE PLANS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO DEVELOPMENT OF PROPOSED LOTS. EACH LOT PROPOSED SHALL CONTAIN UP TO ONE (1) TWO-FAMILY DWELLING PER LOT MAXIMUM.

2. THE PROPOSED LOTS ARE LOCATED IN A RESIDENCE C ZONE, WHICH ALLOWS FOR UP TO A THREE-FAMILY HOUSE, WITH THREE STORIES IN HEIGHT, ON LOTS CONTAINING AT LEAST 10,000 SQUARE FEET AND AN ADDITIONAL UNIT ALLOWED FOR EACH 2,000 SQUARE FEET OF AREA ABOVE THE INITIAL 10,000 SQUARE FEET IN AREA. THE DEVELOPER HAS STATED TO THE BOARD HIS INTENTION TO BUILD ONLY TWO-FAMILY DWELLINGS.

ABBREVIATIONS

BF	BASEMENT FLOOR (ELEVATION)	ISO	ISOLATOR (ROW)
LF	LINEAR FEET	LF	LINEAR FEET
MF	MANIFOLD	MF	MANIFOLD
PROP	PROPOSED	PROP	PROPOSED
R	RIM	R	RIM
R3'	3' RADIUS	R3'	3' RADIUS
S	SLOPE	S	SLOPE
SMH	SEWER MANHOLE	SMH	SEWER MANHOLE
TW	TOP OF WALL	TW	TOP OF WALL
TYP	TYPICAL	TYP	TYPICAL
VGC	VERTICAL GRANITE CURB	VGC	VERTICAL GRANITE CURB
WSD	WATER SUPPLY PROTECTION DISTRICT	WSD	WATER SUPPLY PROTECTION DISTRICT
X1	CROSSING 1	X1	CROSSING 1

REVISION UPDATES	
1	- REVISED BASINS
	- REVISED DRAINAGE EASEMENT
	- ADDED ABBREVIATIONS
2	- REVISED SIDEWALKS AND SAWCUTS
	- REVISED ZONING TABULATION AND NOTE ADDED
	- LANDSCAPE EASEMENT ADDED

LAYOUT &  
MATERIALS  
PLAN

C5

13820



# Site Plan

for  
A Four-Lot Subdivision

Map 68 Lot 123  
76 Broad Street  
Marlborough, MA 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road  
Marlborough, MA 01752

HANCOCK  
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## GRADING AND DRAINAGE NOTES

1. THE PROPOSED DRIVEWAYS FOR #70-#72 BROAD STREET AND #84 BROAD STREET ARE SHOWN SCHEMATICALLY ONLY. CONSTRUCTED DRIVEWAYS MUST MEET §650-49 OF THE ZONING ORDINANCE WHICH STATES:  
"OUTSIDE STREET LAYOUT. NO DRIVEWAY OUTSIDE THE STREET RIGHT-OF-WAY SHALL EXCEED A POSITIVE OR NEGATIVE GRADE OF 3% FOR A DISTANCE AT LEAST 15 FEET. AND 12% FOR A DISTANCE OF AT LEAST 40 FEET FROM THE STREET RIGHT-OF-WAY. BEYOND SAID 40 FEET, THE GRADE OF A MINOR DRIVEWAY SHALL NOT EXCEED 15% BUT MAJOR DRIVEWAYS SHALL IN NO CASE EXCEED A GRADE OF 12%."

### REVISION UPDATES

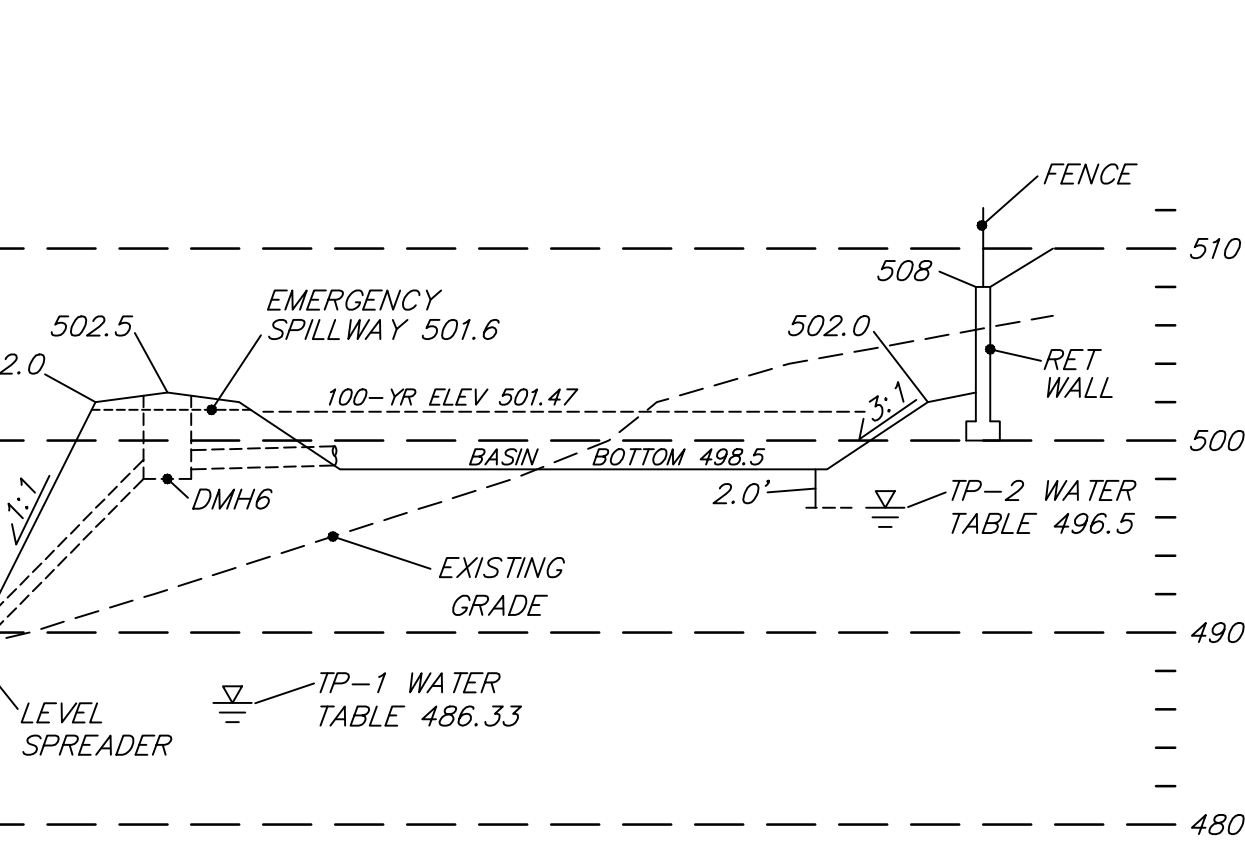
- 1 - REPLACED CHAMBERS W/ DETENTION POND  
- ADDED OIL/GRIT SEPARATOR  
- REVISED DMH LOCATIONS  
- LOWERED STORM DRAINS DUE TO SEWER CROSSINGS  
- ADDED DETENTION POND DETAIL  
- ADDED BASIN CROSS-SECTION  
- ADDED CROSSING TABLE  
- ADDED ABBREVIATIONS
- 2 - REVISED SIDEWALKS  
- REVISED GRADING FOR ABUTTER DRIVEWAYS  
- ADDED AND REVISED NOTES

## ABBREVIATIONS

BF	BASEMENT FLOOR (ELEVATION)	ISO	ISOLATOR (ROW)
BW	BOTTOM	LF	LINEAR FEET
CB	BOTTOM OF WALL	MF	MANIFOLD
DMH	CATCH BASIN	PROP	PROPOSED
EX	DRAIN MANHOLE	R	RIM
FIN	EXISTING FINISHED FLOOR	R3'	3' RADIUS
FF	FINISH FLOOR (ELEVATION)	S	SLOPE
HDPE	HIGH-DENSITY POLYETHYLENE (PIPE)	SMH	SEWER MANHOLE
I.D.	DIAMETER	TW	TOP OF WALL
INV	INVERT	TYP	TYPICAL
		VGC	VERTICAL GRANITE CURB
		WSD	WATER SUPPLY
		X1	CROSSING 1

## CROSSING TABLE

CROSSING	X1	X2	X3	X4	X5	X6	X7
6" SS:	513.5	513.4	512.2	512.2	511.8	512.2	513.1
12" SD:	508.3	508.7	509.3	509.9	511.1	511.1	511.1
OFFSET:	3.5'±	3.0'±	2.1'±	1.1'±	0.3'±	0.7'±	1.3'±



## SECTION A-A

SCALE: 20' HORZ, 10' VERT

NOTE: SEE DETAILS SHEET 2 FOR RETAINING WALL & FENCE DETAIL.

## EMBANKMENT MATERIALS

LOCATION	MATERIAL	MAX PARTICLE SIZE (IN)	LOOSE LIFT THICKNESS (IN)	COMPACTION REQUIREMENT (% MOD [1])
KEY	NATIVE PARENT SOIL [2]	6	12 MAX	92 [3]
EMBANKMENT	NATIVE PARENT SOIL [2]	6	12 MAX	92 [3]
LOAM COVER	NATIVE TOPSOIL	1	8 MIN	80
IMPERVIOUS CORE	SOIL WITH AT LEAST 30% CLAY AND SILT CONTENT	6	12 MAX	92 [3]

[1] MDD: MAXIMUM DRY DENSITY.

[2] ACCEPTABLE TO ENGINEER.

[3] COMPACT TO TEST AVERAGE OF 92%, NO TEST LESS THAN 90%.

## DETENTION POND EMBANKMENT

TYPICAL CROSS SECTION  
NOT TO SCALE

TEST PIT 1 (TP-1)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES	NOTES
0"-12"	Ap	LOAMY SAND	NONE	
12"-39"	Bw	LOAMY SAND	NONE	
39"-86"	C	LOAMY FINE SAND	NONE	SOME GRAVEL, COBBLES, SOME BOULDERS DEEP.
SURFACE ELEVATION = 493.5, NO GROUNDWATER OBSERVED, NO REFUSAL ESHW = 486.33 BASED ON MAX. DEPTH = 86"				
TEST PIT 2 (TP-2)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES	NOTES
0"-12"	Ap	LOAMY SAND	NONE	
12"-39"	Bw	LOAMY SAND	NONE	
39"-114"	C	LOAMY FINE SAND	NONE	SOME GRAVEL, COBBLES, BOULDERS.
SURFACE ELEVATION = 506.0, NO GROUNDWATER OBSERVED, NO REFUSAL ESHW = 496.5 BASED ON MAX. DEPTH = 114"				
TEST PIT 3 (TP-3)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES	NOTES
0"-12"	Ap	LOAMY SAND	NONE	
12"-24"	Bw	LOAMY SAND	NONE	
24"-96"	C	LOAMY FINE SAND	NONE	SOME GRAVEL, COBBLES, LARGE BOULDERS.
SURFACE ELEVATION = 520.0, NO GROUNDWATER OBSERVED, NO REFUSAL ESHW = 513.0 BASED ON REFUSAL AT 108"				
TEST PIT 4 (TP-4)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES	NOTES
0"-12"	Ap	LOAMY SAND	NONE	
12"-18"	Bw	LOAMY SAND	NONE	
18"-108"	C	LOAMY SAND	NONE	SOME GRAVEL, COBBLES, BOULDERS.
SURFACE ELEVATION = 522.0, NO GROUNDWATER OBSERVED, REFUSAL AT 108" ESHW = 513.0 BASED ON REFUSAL AT 108"				
TEST PIT 5 (TP-5)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES	NOTES
0"-12"	Ap	LOAMY SAND	NONE	
12"-18"	Bw	LOAMY SAND	NONE	
18"-72"	C	LOAMY SAND	42"	SOME GRAVEL, COBBLES, BOULDERS.
SURFACE ELEVATION = 523.5, NO GROUNDWATER OBSERVED, NO REFUSAL ESHW = 520.0 BASED ON REDOX AT 42"				

SOIL EVALUATION WAS PERFORMED BY HANCOCK ASSOCIATES ON AUGUST 6TH 2020.  
EVALUATOR: ROBERT DIBENEDETTO S.E. #14044



Site Plan

for  
A Four-Lot Subdivision

Map 68 Lot 123  
76 Broad Street  
Marlborough, MA 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road  
Marlborough, MA 01752

HANCOCK  
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2	DJR	RD	12/16/20	PLAN UPDATES
1	RD	JP	10/29/20	PLAN UPDATES
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE: 9/9/2020 DESIGN BY: RD/DJR				
SCALE: 1"=30' DRAWN BY: DJR				
APPROVED BY: RD/CHECK BY: JP				

UTILITY PLAN

PLOT DATE: Dec 16, 2020 9:26 am

DWG: 13820DF R2.dwg

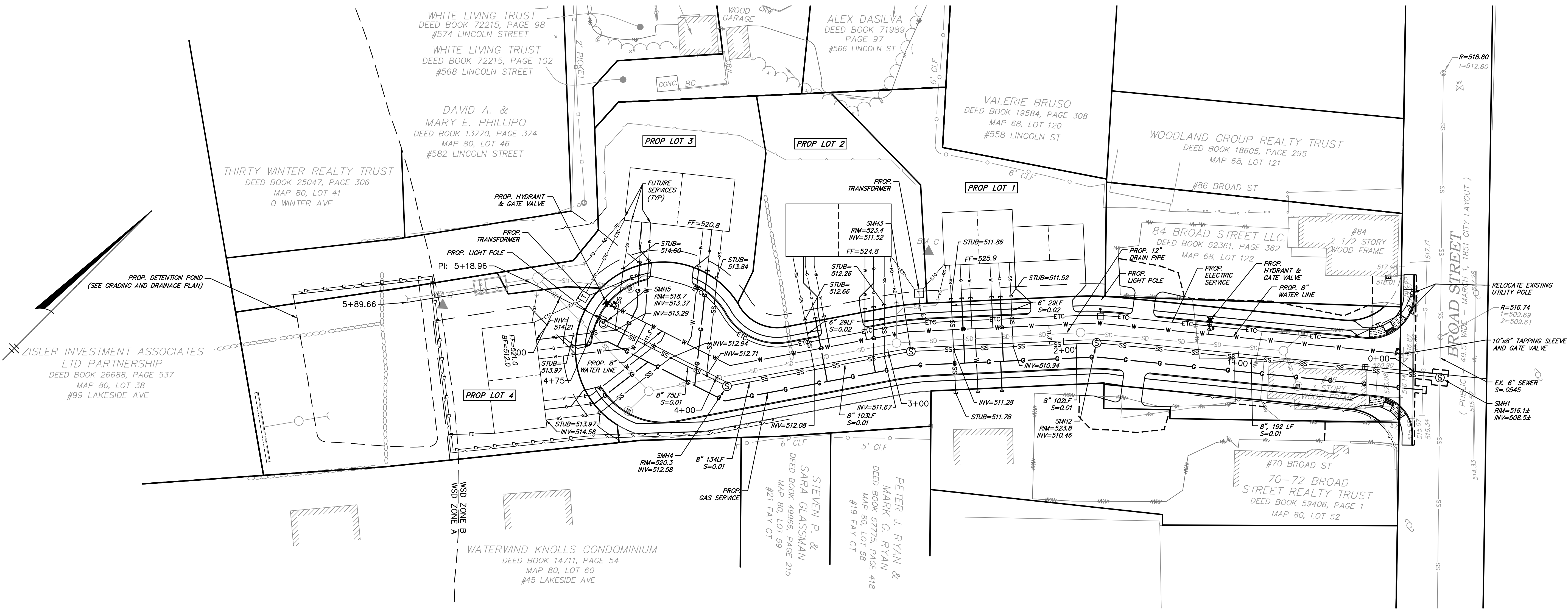
LAYOUT: UT

SHEET: 7 OF 12

PROJECT NO.:

13820

C7



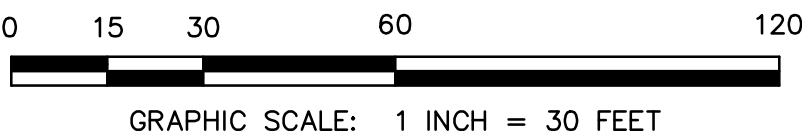
ABBREVIATIONS

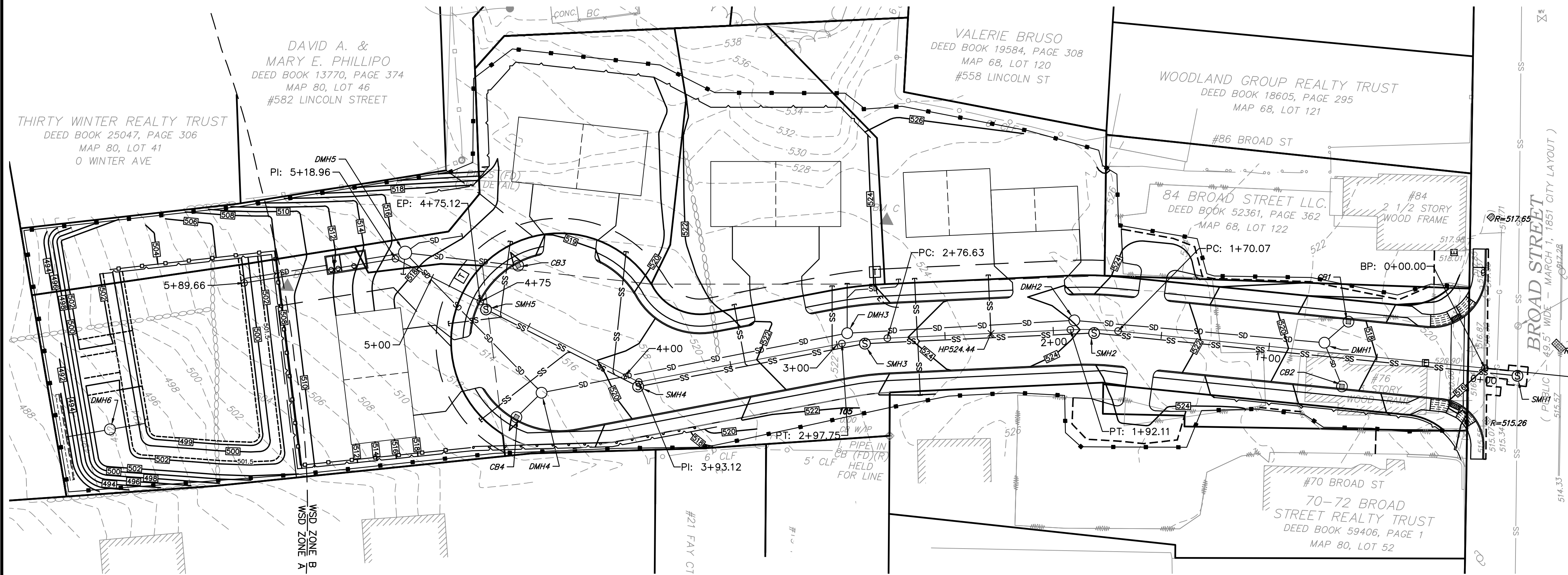
BF	BASEMENT FLOOR (ELEVATION)	ISO	ISOLATOR (ROW)
BOT	BOTTOM	LF	LINEAR FEET
BW	BOTTOM OF WALL	MF	MANIFOLD
CB	CATCH BASIN	PROP	PROPOSED
DMH	DRAIN MANHOLE	R	RIM
EX	EXISTING	R3'	3' RADIUS
FIN	FINISHED	S	SLOPE
FF	FINISH FLOOR (ELEVATION)	SMH	SEWER MANHOLE
HDPE	HIGH-DENSITY POLYETHYLENE (PIPE)	TW	TOP OF WALL
I.D.	DIAMETER	TYP	TYPICAL
INV	INVERT	VGC	VERTICAL GRANITE CURB
		WSD	WATER SUPPLY PROTECTION DISTRICT CROSSING 1
		X1	CROSSING 1

UTILITY NOTES

1. ALL DRAIN PIPES WILL BE HDPE UNLESS OTHERWISE NOTED.
2. ALL SEWER PIPES WILL BE PVC SDR35 UNLESS OTHERWISE NOTED.
3. ALL WATER LINES WILL BE 8" CEMENT LINED DUCTILE IRON CLASS 52 UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL TEST PIT CROSSINGS TO VERIFY MINIMUM 12" CLEARANCE BETWEEN PIPES. IF POTENTIAL FOR CONFLICT EXISTS, CONTACT THE ENGINEER TO DETERMINE COURSE OF ACTION.
5. CONTRACTOR SHALL ADJUST GRADES OF MANHOLES, GATE VALVES AND HYDRANTS PER ELEVATION SHOWN ON GRADING PLAN.

REVISION UPDATES
1 - ADDED SEWER SERVICE INFORMATION
- ADDED ABBREVIATIONS
2 - REVISED WATERLINE NOTES, ADDED HYDRANTS
- ADDED STATIONING





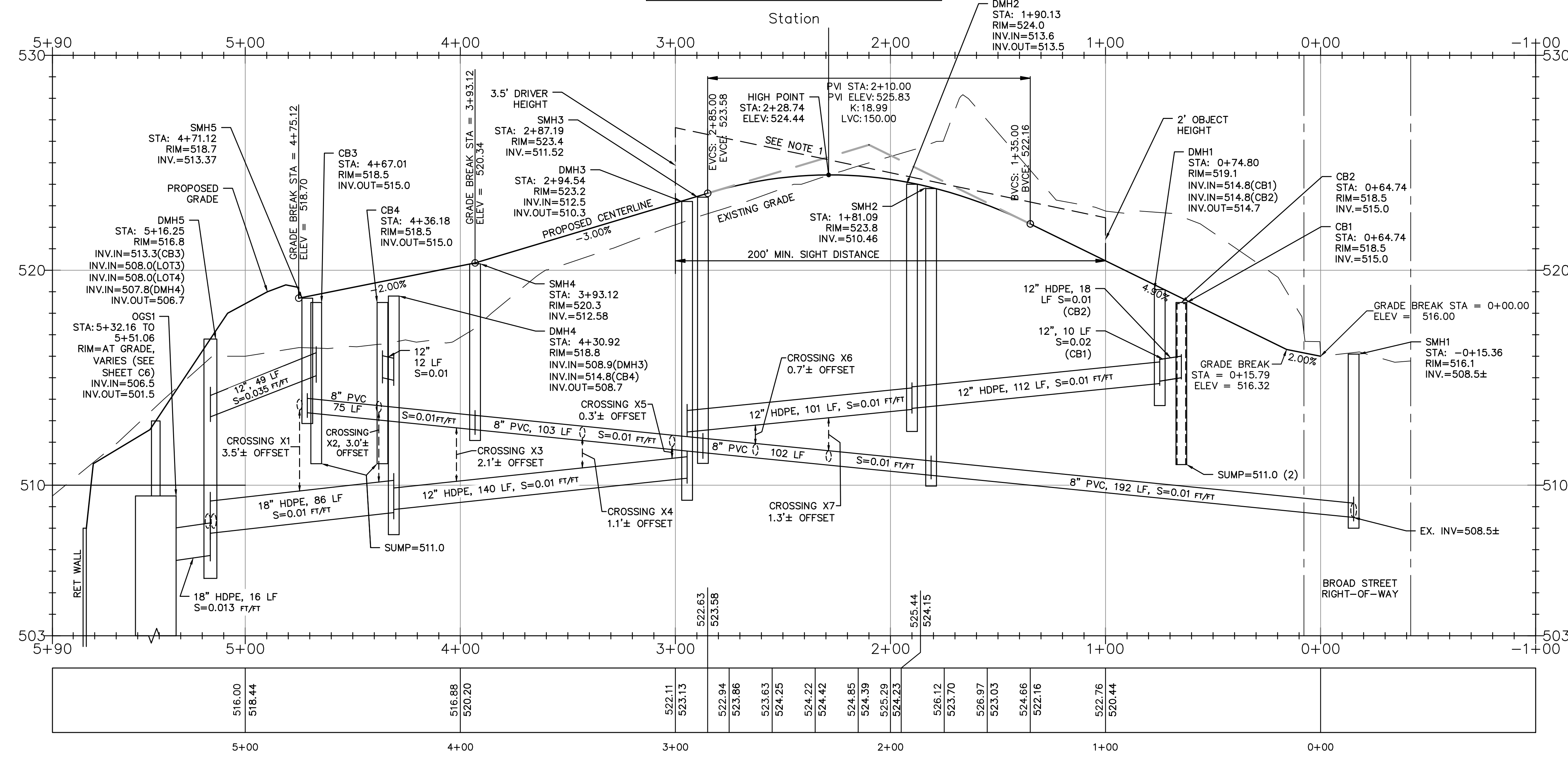
### ABBREVIATIONS

BF	BASEMENT FLOOR (ELEVATION)	ISO	ISOLATOR (ROW)
BOT	BOTTOM	LF	LINEAR FEET
BW	BOTTOM OF WALL	MF	MANIFOLD
CB	CATCH BASIN	PROP	PROPOSED
DMH	DRAIN MANHOLE	R	RIM
EX	EXISTING	R3'	3' RADIUS
FIN	FINISHED FLOOR (ELEVATION)	S	SLOPE
HDPE	HIGH-DENSITY POLYETHYLENE (PIPE)	SMH	SEWER MANHOLE
I.D.	DIAMETER	TW	TOP OF WALL
INV	INVERT	TYP	TYPICAL
		VGC	VERTICAL GRANITE CURB
		WSD	WATER SUPPLY PROTECTION DISTRICT CROSSING 1
		X1	

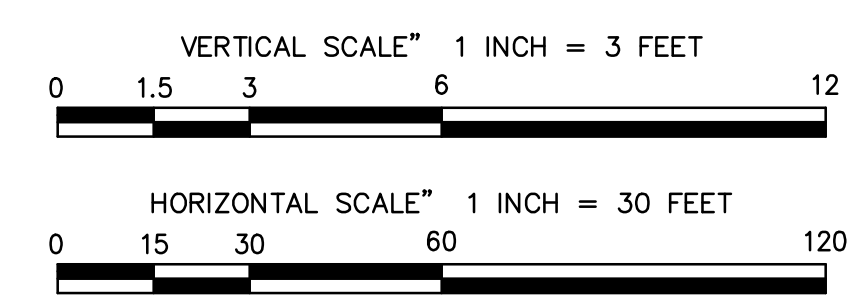
### NOTES

1. PER SECTION A676-12 OF THE MARLBOROUGH SUBDIVISION REGULATIONS, A MINIMUM SIGHT DISTANCE OF 200 FEET IS REQUIRED. PER AASHTO STANDARDS, THE HEIGHT OF THE DRIVER'S EYE IS 3.5 FEET ABOVE THE ROADWAY AND THE OBJECT HEIGHT IS 2 FEET ABOVE THE ROADWAY SURFACE. THE PROPOSED ROADWAY PROVIDES A SIGHT DISTANCE OF AT LEAST 200 FEET.

### PETTES ROAD PROFILE



REVISION UPDATES	
1	SHIFTED DMH'S
2	REVISED BASIN STRUCTURES
3	ADDED CROSSINGS
4	ADDED STATIONING, FINAL GRADES ON VERTICAL CURVE, ADDED PIPE MATERIAL NOTE



## Site Plan

for  
A Four-Lot Subdivision

Map 68 Lot 123  
76 Broad Street  
Marlborough, MA 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road  
Marlborough, MA 01752

HANCOCK  
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752  
VOICE (508) 460-1111, FAX (508) 460-1121  
WWW.HANCOCKASSOCIATES.COM

NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
2	DJR	RD	12/16/20	PLAN UPDATES
1	RD	JP	10/29/20	PLAN UPDATES
DATE: 9/9/2020 DESIGN BY: RD/DJR SCALE: 1"=30' DRAWN BY: DJR APPROVED BY: RD/CHECK BY: JP				

## PLAN AND PROFILE

PLOT DATE: Dec 16, 2020 9:37 am

DWG: 13820DF R2.dwg

LAYOUT: PP

SHEET: 8 OF 12

PROJECT NO.:

C8

13820



Site Plan

for  
A Four-Lot Subdivision

Map 68 Lot 123  
76 Broad Street  
Marlborough, MA 01752

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EROSION AND  
SEDIMENT  
CONTROL PLAN

PLOT DATE: Dec 16, 2020 9:39 am

DWG: 13820DF R2.dwg

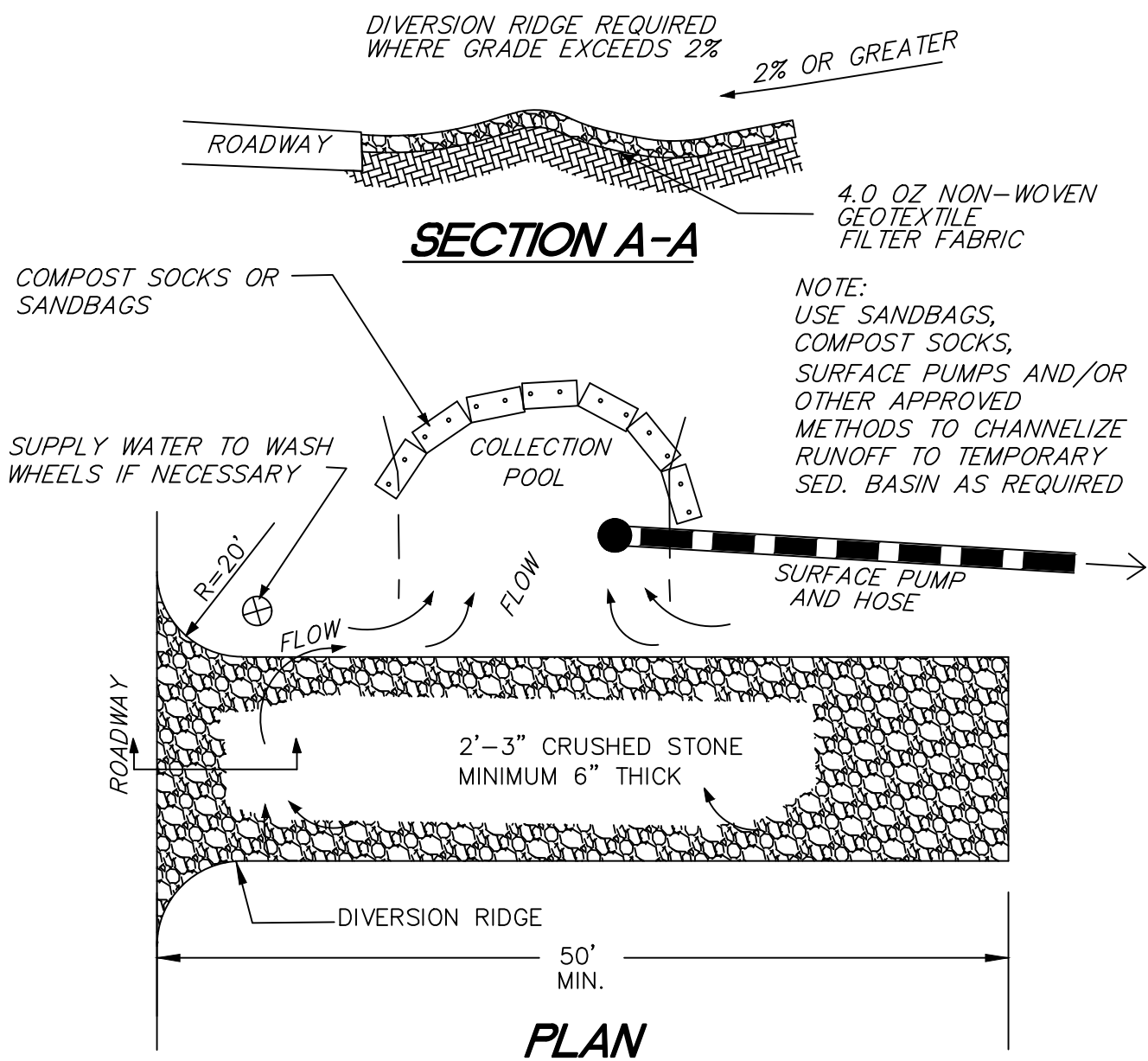
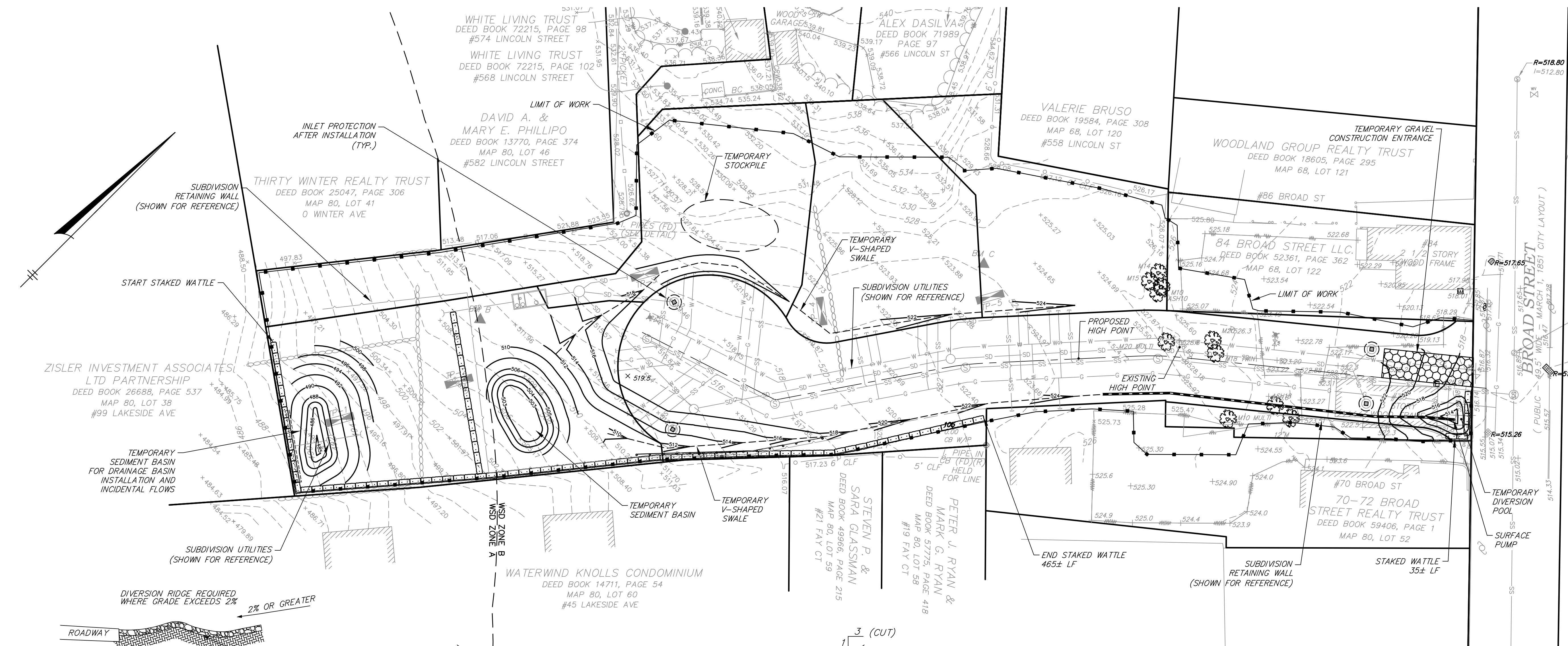
LAYOUT: ESC

SHEET: 9 OF 12

PROJECT NO.:

13820

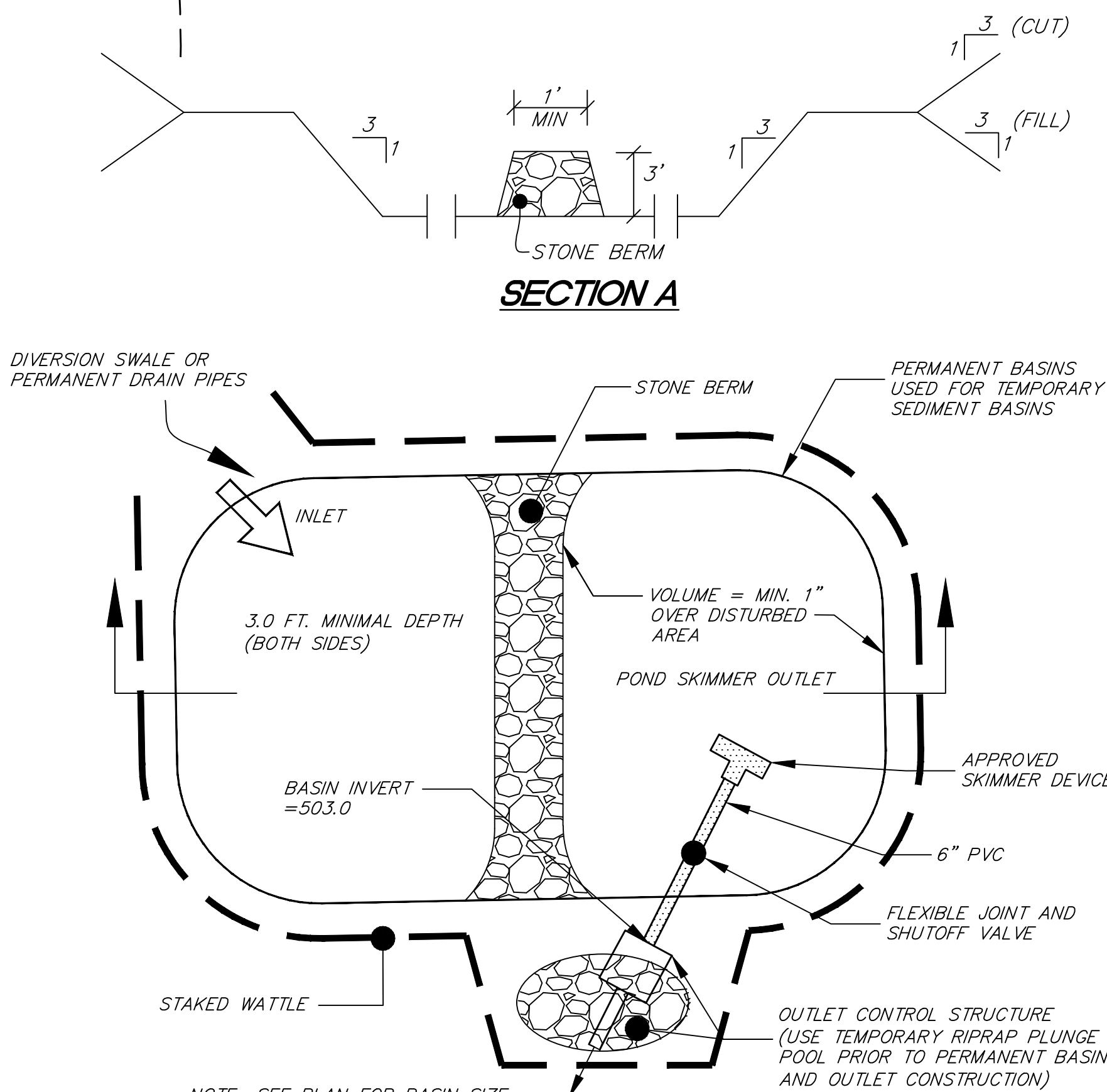
C9



- CONSTRUCTION ENTRANCE**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL  
CONSTRUCTION  
ENTRANCE/EXIT

NOT TO SCALE



NOTE: SEE PLAN FOR BASIN SIZE

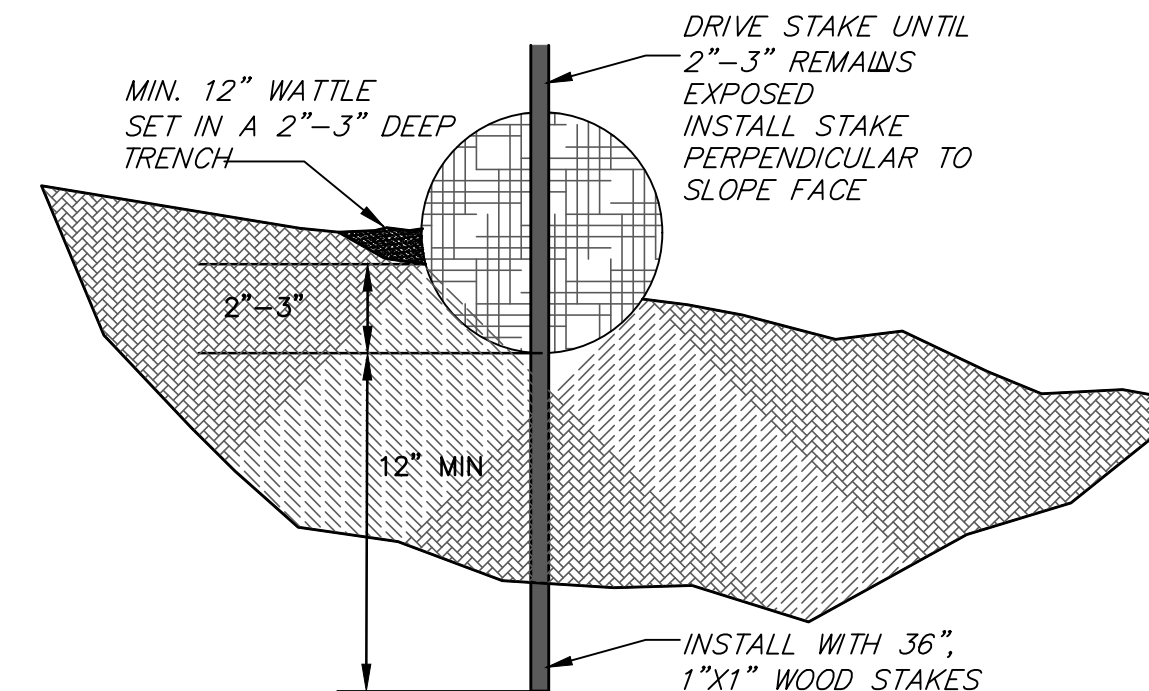
TEMPORARY SEDIMENT BASIN

NOT TO SCALE

SEDIMENT BASIN CALCULATION

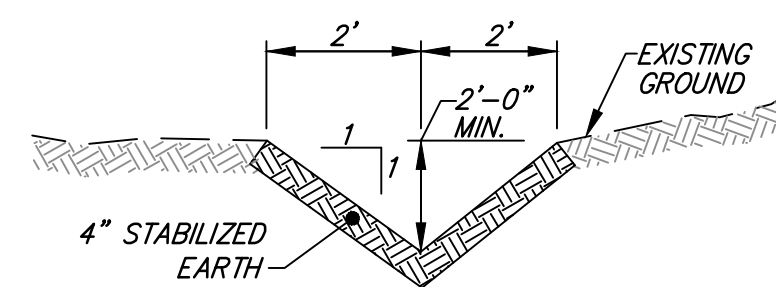
BASIN SIZING BASED ON 3,600 CF PER 1 ACRE OF UPSTREAM DRAINAGE AREA

UPSTREAM AREA = 24,280 SF = 0.6 ACRES  
MIN REQUIRED VOLUME = 0.6 AC x 3,600 CF/AC = 2,160 CF  
BASIN DIMENSIONS: 1,400 SF TOP AREA  
1' DEPTH, 3:1 SIDE SLOPES  
PROVIDED VOLUME: 2,600 CF SHOWN



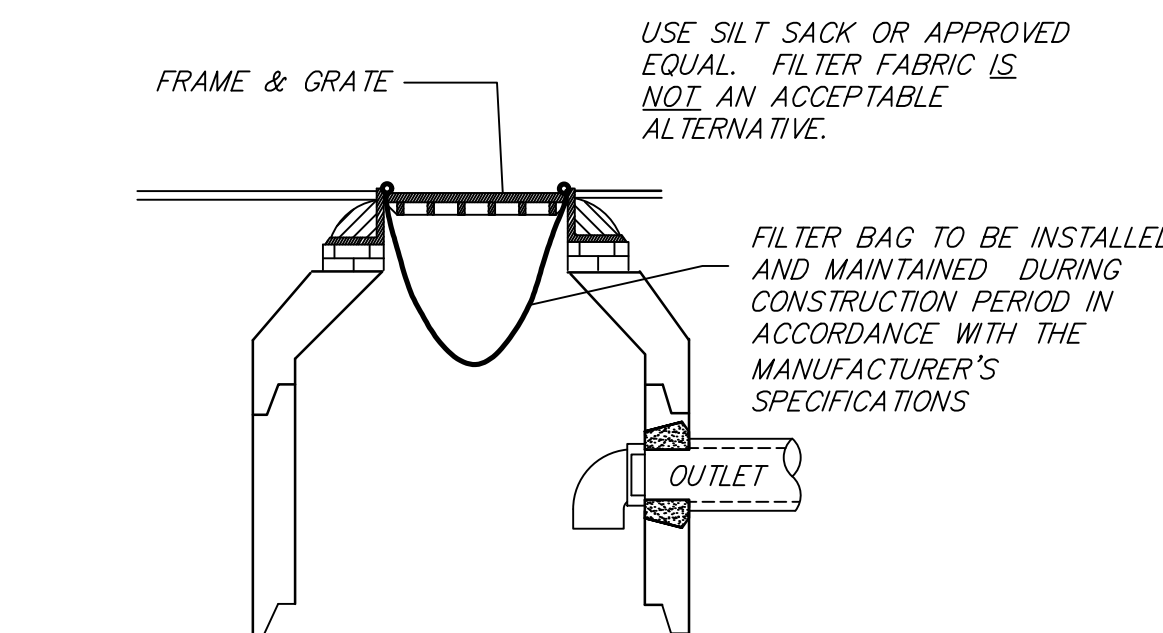
STAKED WATTLE INSTALLATION

NOT TO SCALE



V-SHAPED SWALE

NOT TO SCALE



CATCH BASIN FILTER BAG  
(INLET PROTECTION)

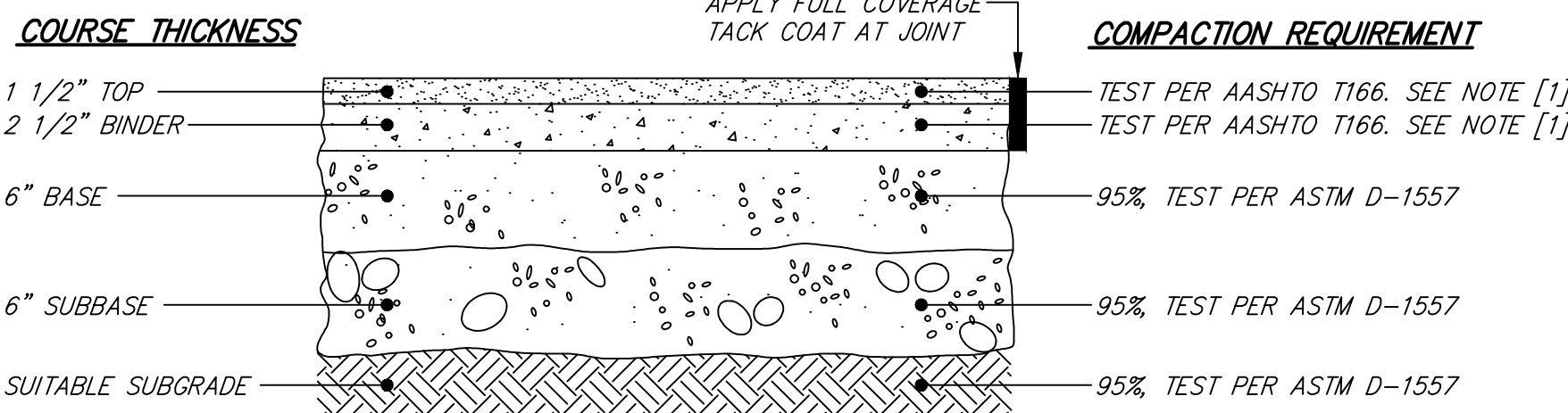
TYPICAL CROSS SECTION - NOT TO SCALE

REVISION UPDATES

- 1 - REDUCED CONSTRUCTION ENTRANCE WIDTH  
- ADDED DIVERSION POOL, SURFACE PUMP  
- ADDED BASIN AT REAR OF SITE  
- REVISED CONSTRUCTION ENTRANCE DETAIL  
- ADDED SWALE DETAIL
- 2 - REVISED TEMPORARY SEDIMENT BASIN  
LOCATION, ADDED SWALE, ADDED EROSION  
CONTROL

GRAPHIC SCALE: 1 INCH = 30 FEET



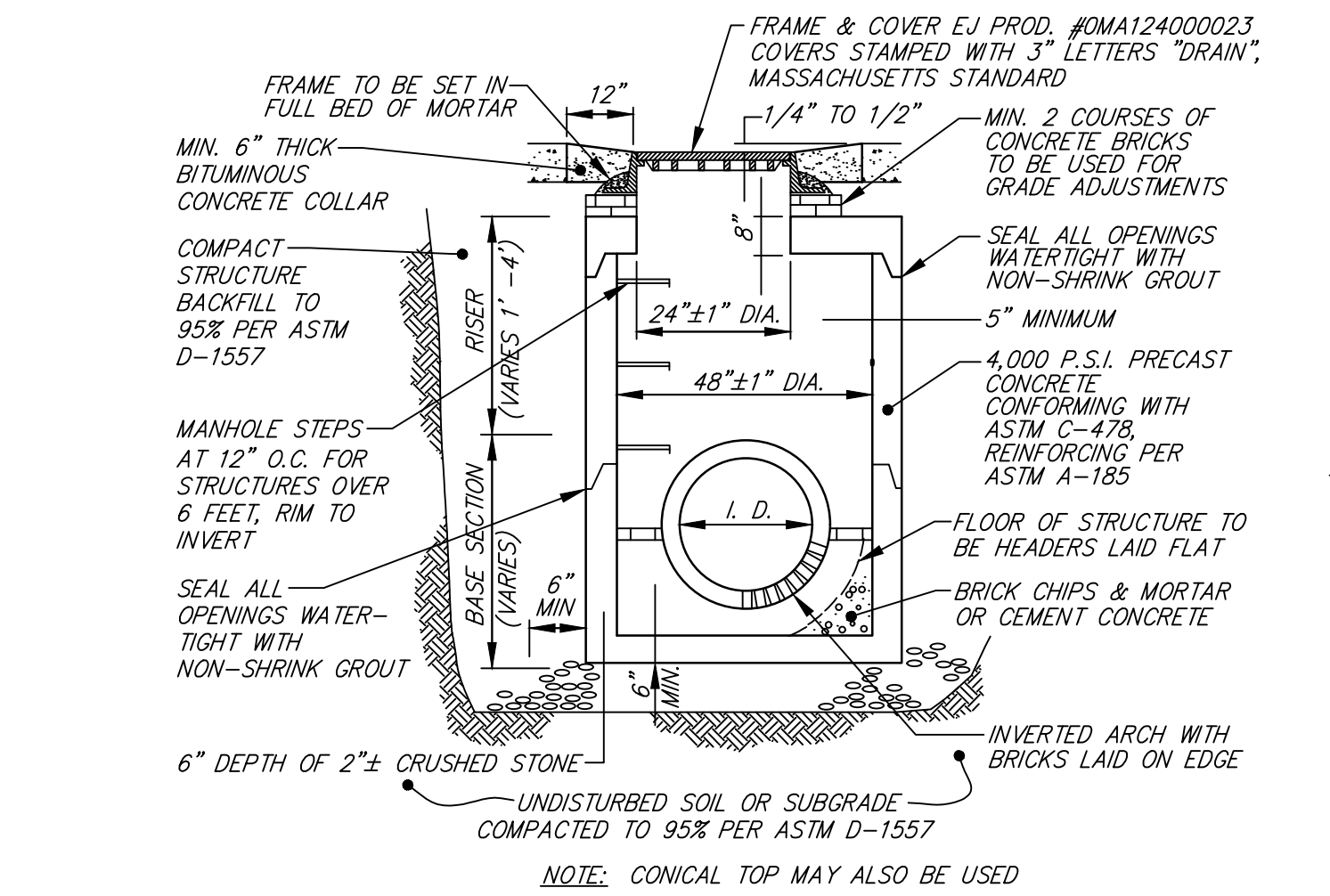


NOTES:  
[1] COMPACT TO TEST AVERAGE OF 96%, NO TEST LOWER THAN 94%

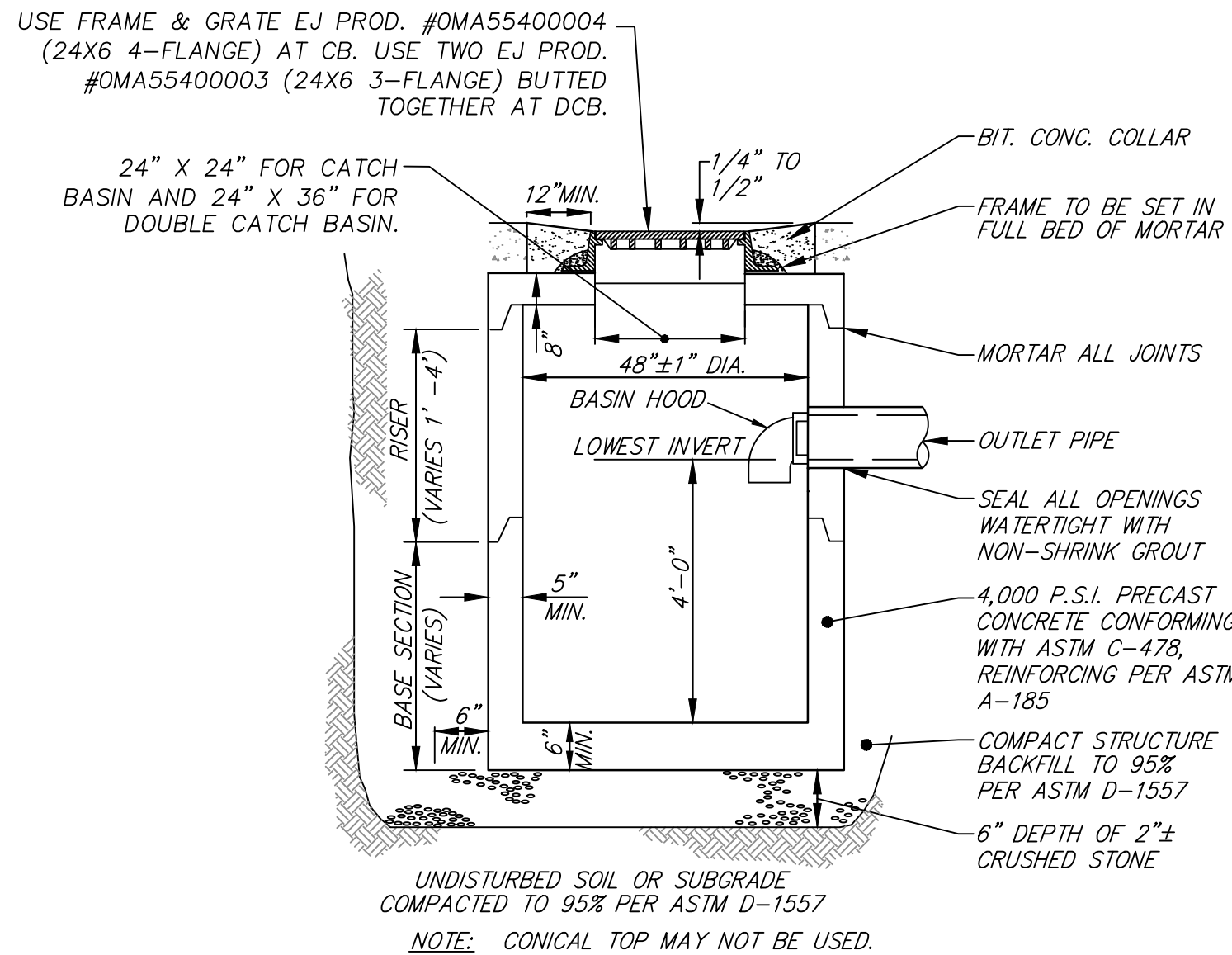
MATERIAL	SPECIFICATION	MAXIMUM AGGREGATE OR PARTICLE SIZE (IN.)
TOP - BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1/2
BINDER - BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1
BASE - DENSE GRADED CRUSHED STONE	MHD M2.01.7	1 1/2
SUBBASE - GRAVEL BORROW	MHD M1.03.0 TYPE C	2

**BITUMINOUS CONCRETE PAVEMENT**  
TYPICAL CROSS SECTION  
NOT TO SCALE

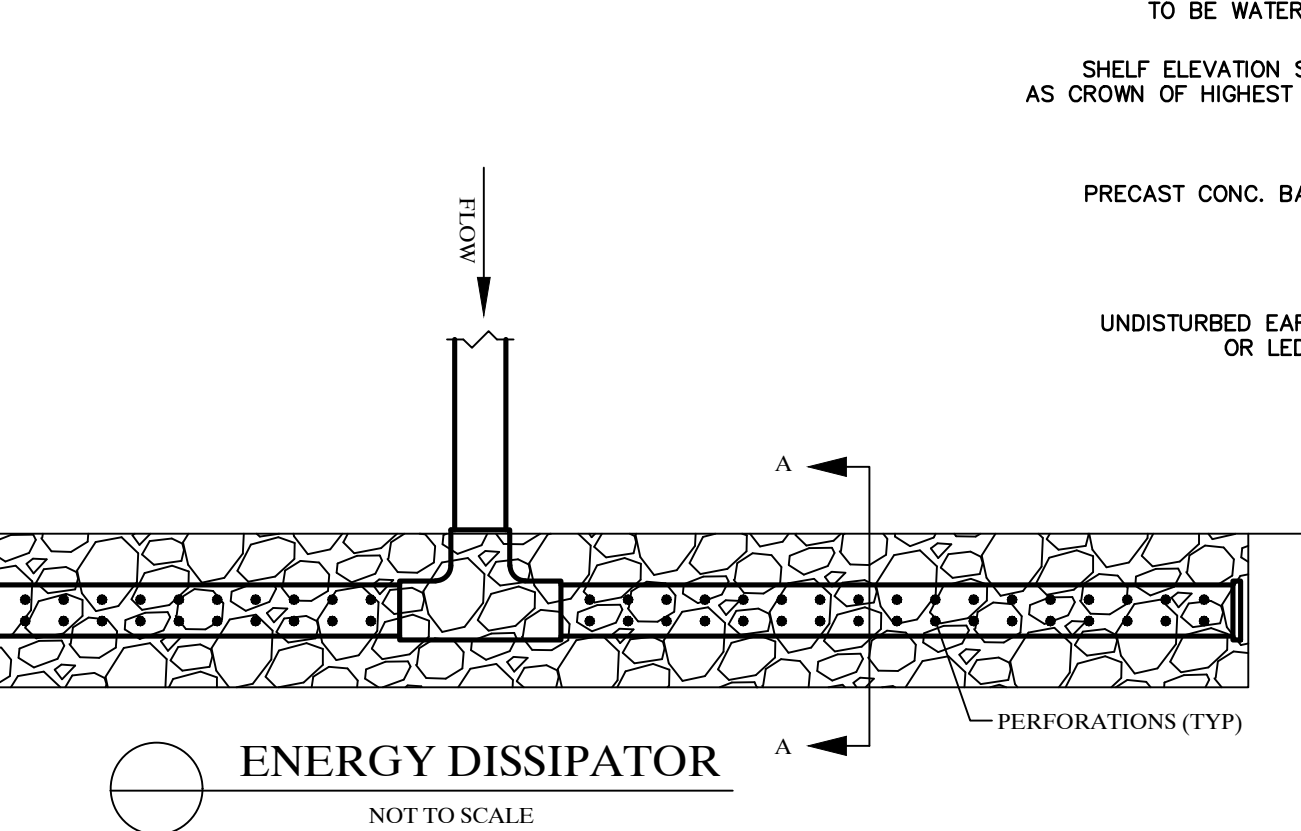
**VERTICAL GRANITE CURB (VGC)**  
CROSS SECTION  
NOT TO SCALE



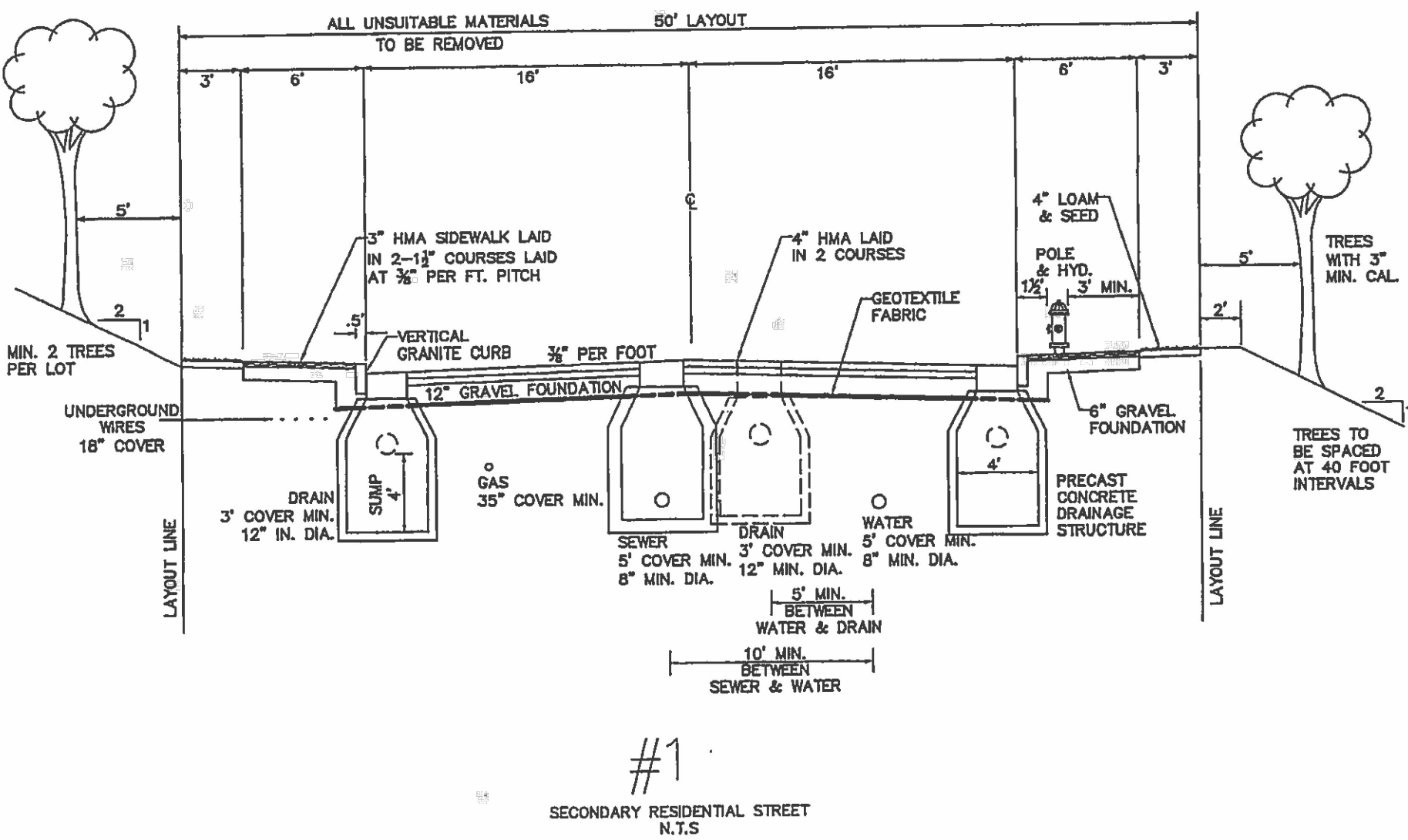
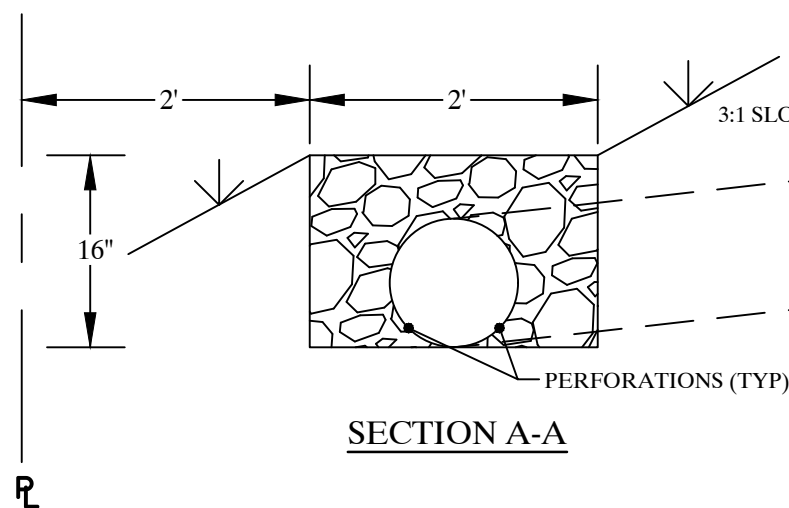
**DRAIN MANHOLE (DMH)**  
TYPICAL CROSS SECTION  
NOT TO SCALE



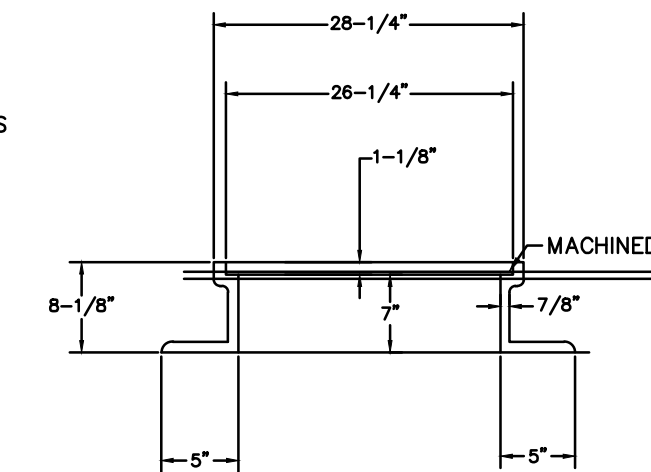
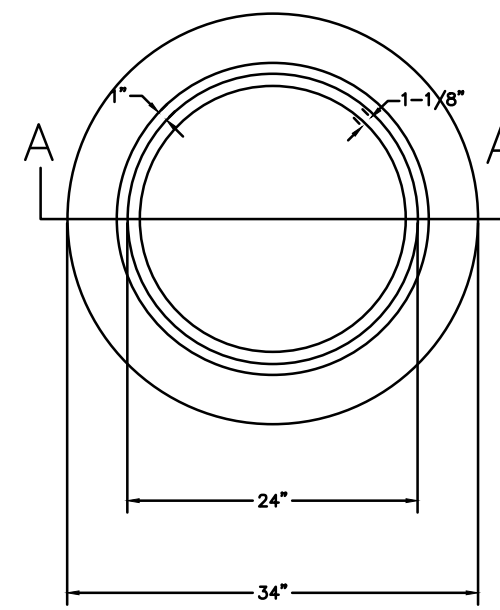
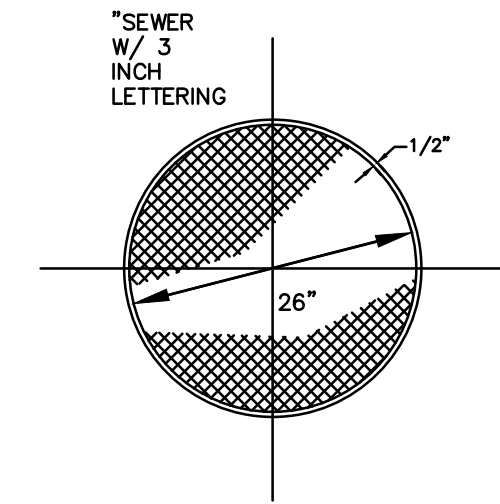
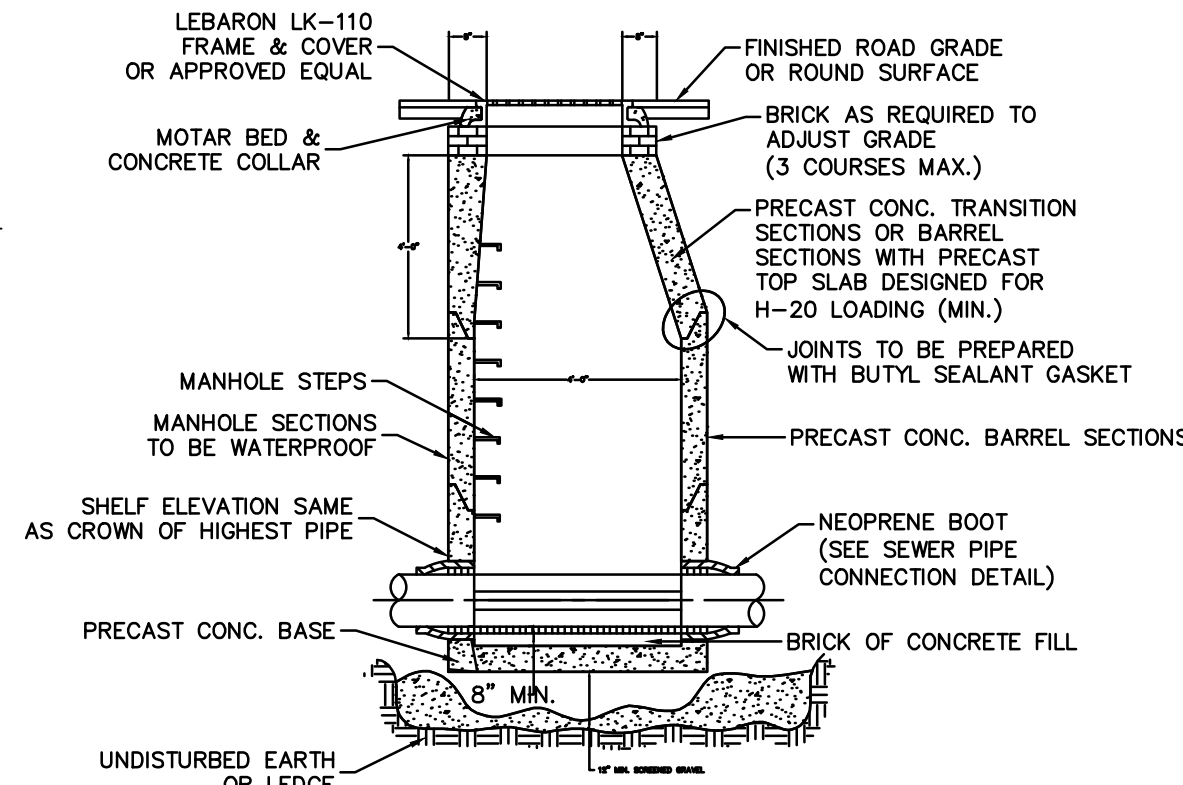
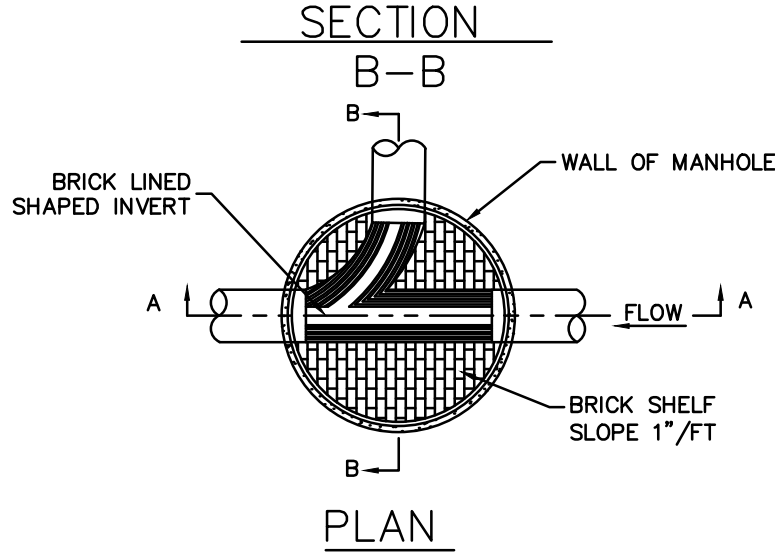
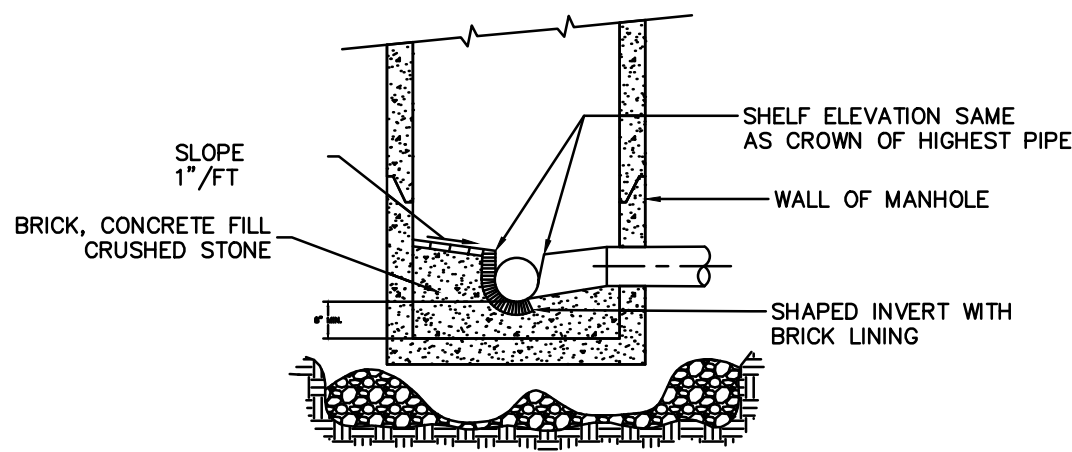
**CATCH BASIN (CB) AND DOUBLE CATCH BASIN (DCB) WITH HOOD**  
TYPICAL CROSS SECTION  
NOT TO SCALE



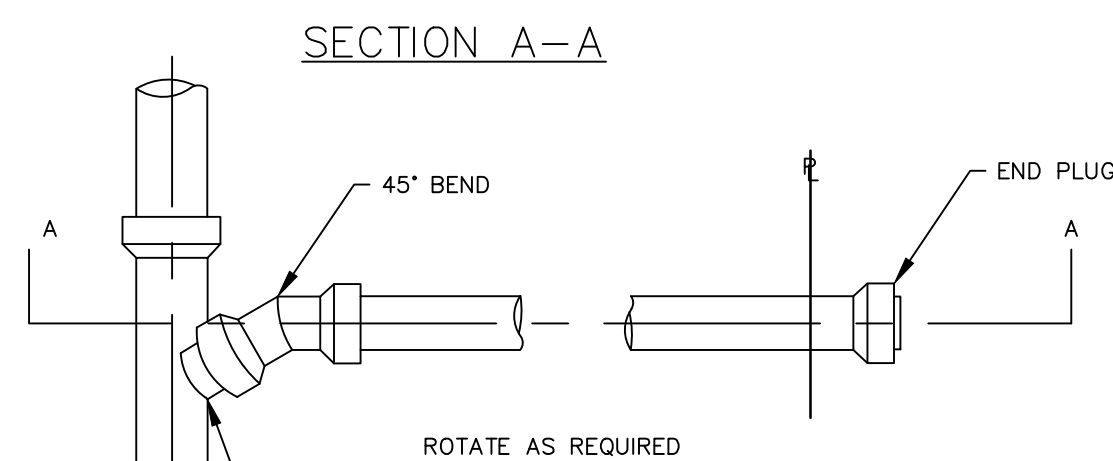
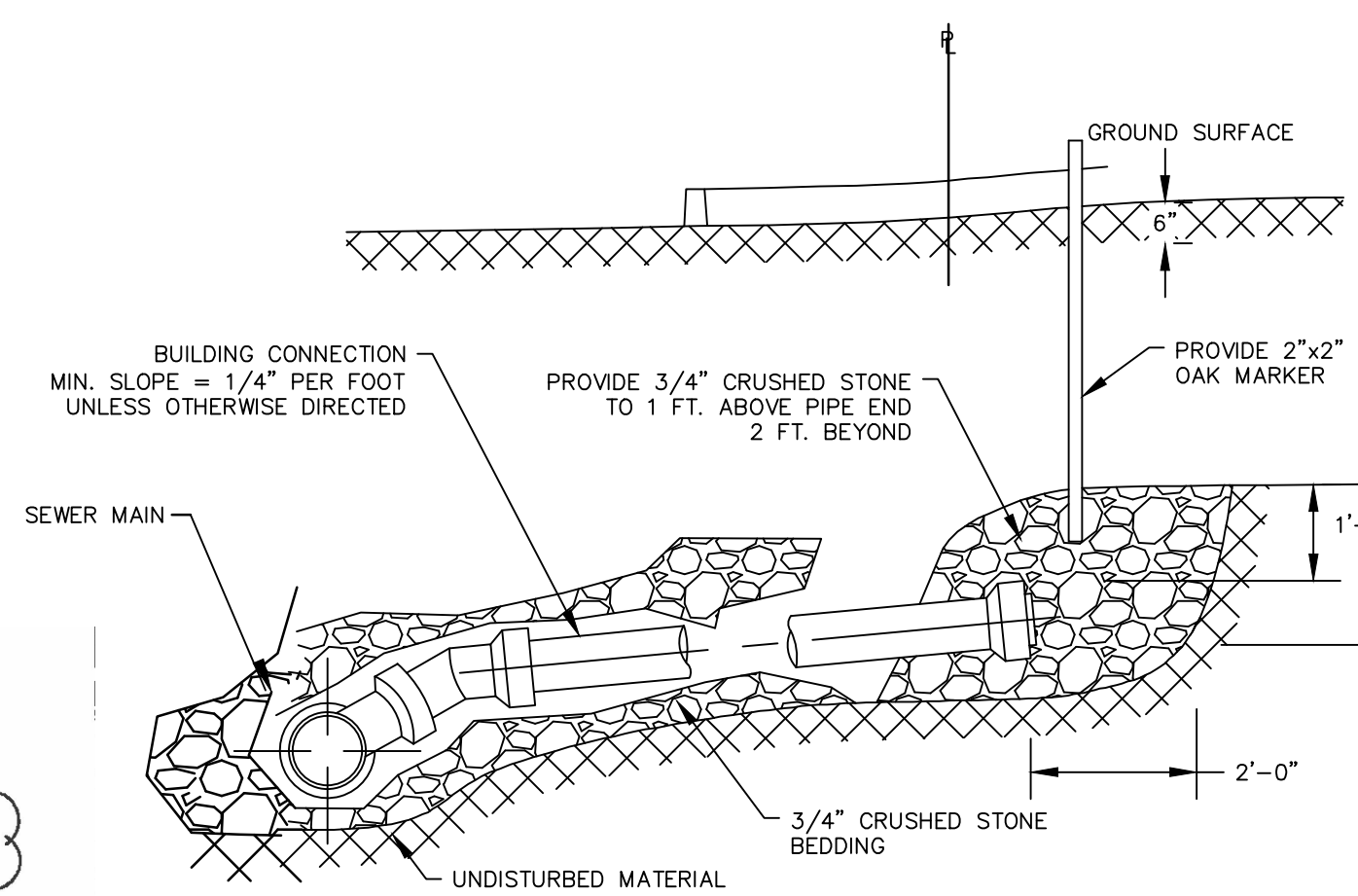
- NOTES:
- PERFORATED PIPE SHALL BE 12" HDPE OR APPROVED EQUAL.
  - PERFORATIONS SHALL BE EVENLY SPACED ALONG TWO ROWS RUNNING THE LENGTH OF THE LINE, ONE ON EACH SIDE, MIDWAY BETWEEN THE INVERT AND CENTER-LINE THAT SEPARATES THE UPPER AND LOWER HALVES OF THE PIPE. PERFORATIONS SHALL BE APPROXIMATELY 1/2" IN DIAMETER. PIPE SHALL HAVE ENDS CAPPED.
  - GRAVEL BED: 40' LONG, 2' WIDE, 16" DEEP. PIPE SHALL BE CENTERED HORIZONTALLY WITHIN BED.



**CITY OF MARLBOROUGH**  
**TYPICAL ROAD CROSS SECTION**  
TYPICAL CROSS SECTION  
NOT TO SCALE



**CITY OF MARLBOROUGH**  
**STANDARD DETAIL**  
**FRAME & COVER**  
N.T.S.



**CITY OF MARLBOROUGH**  
**STANDARD DETAIL**  
**SEWER SERVICE CONNECTION**  
N.T.S.

**CITY OF MARLBOROUGH SEWER NOTES**

THE FOLLOWING DESCRIBES MATERIALS AND METHODS OF INSTALLATION OF SEWER MAINS IN GENERAL. ALL WORK SHALL CONFORM TO THE CITY OF MARLBOROUGH MUNICIPAL REQUIREMENTS.

**MAIN INSTALLATION**

ALL GRAVITY MAINS WILL BE A MINIMUM OF EIGHT INCHES IN DIAMETER; ALL LATERAL INTERCEPTORS, TRUNKLINES, ETC. WILL BE EITHER POLYVINYL CHLORIDE (PVC) OR DUCTILE IRON. THE CLASS OF THE PIPE WILL ACCOMMODATE THE FIELD CONDITIONS, I.E., PVC PIPE SHALL MEET OR EXCEED THE ASTM D-3034, SDR 35 REQUIREMENTS. PVC PIPE SHALL NOT BE USED FOR PIPES WITH DIAMETERS GREATER THAN 15 INCHES UNLESS EXPRESSLY APPROVED IN WRITING BY THE COMMISSIONER OF PUBLIC WORKS. PVC PIPE SHALL NOT BE USED WHEN THE DEPTH EXCEEDS 10 FEET. FOR DEPTHS OF SEWERS EXCEEDING 10 FEET, CLASS 52 DUCTILE IRON SHALL BE USED. WHEN THE COVER IS FIVE FEET OR LESS UNDER A ROADWAY, THE CLASS AND TYPE OF PIPE WILL BE SPECIFIED BY THE DEPARTMENT OF PUBLIC WORKS. THE SLOPE OF THE SEWER SHALL NOT BE LESS THAN 1% OR EXCEED 9%. ALL SIZES OF ALL PIPE WILL HAVE AS THEIR MINIMUM SLOPE THAT SLOPE WHICH YIELDS THE SCOURING VELOCITY FOR THE PARTICULAR DIAMETER PIPE. WARNING RIBBON SHALL BE USED IN THE INSTALLATION OF ANY SEWER MAIN. SAID RIBBON SHALL BE GREEN IN COLOR AND IMPRINTED WITH THE WORDS "CAUTION SEWER LINE BELOW", OR WORDS OF SIMILAR INTENT, AND SHALL BE METALLIC TO PROVIDE FUTURE LOCATING WITH INDUCTIVE TAPE LOCATORS. DEPTH OF BURIAL SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS STANDARDS, EXCEPT THAT BURIAL SHALL NOT BE AT A DEPTH LESS THAN 18 INCHES NOR A DEPTH GREATER THAN 48 INCHES.

**MANHOLES**

DISTANCE BETWEEN ANY TWO MANHOLES SHALL NOT EXCEED 300 FEET. ANY TWO SEWER TWO SEWER LINES ENTERING A MANHOLE OR A STRUCTURE WITH A DIFFERENCE IN ELEVATION OF 18 INCHES AN INSIDE DROP SHALL BE PROVIDED. THE INSIDE DROP IN A MANHOLE SHALL NOT EXCEED 5 FEET IN CHANGE OF ELEVATION. ANY MANHOLE THAT IS REQUIRED TO HAVE AN INSIDE DROP SHALL BE A 5 FOOT INSIDE DIAMETER MANHOLE. MANHOLES SHALL BE PRECAST CONCRETE AND PRECAST SECTIONS WILL BE MADE WATER-TIGHT BY O-RING JOINTS OR APPROVED EQUAL. CONNECTIONS TO MANHOLES SHALL BE CORED AND MADE WITH A FLEXIBLE MANHOLE BOOT. THE EXTERIOR OF ALL MANHOLES SHALL BE COMPLETELY COVERED WITH A BITUMINOUS WATERPROOFING. ALL SEWER MANHOLES WILL HAVE A BRICK TABLE CONSTRUCTED IN THEIR BASE TO MEET ALL INCOMING AND OUTGOING PIPES SO THAT FLOW IS CHANNELLED SMOOTHLY FROM ONE POINT TO ANOTHER. ALL BRICKS USED FOR MANHOLE INVERTS WILL BE A HARD-BURNED SEWER BRICK TO MEET ASTM C32-69 GRADE SS. BRICKWORK WILL ALSO BE USED BETWEEN THE MANHOLE STRUCTURE AND RING AND RING COVER TO GIVE THE DESIRED GRADE. HOWEVER, THE BRICKWORK IN THIS AREA WILL NEVER EXCEED EIGHT INCHES. THIS BRICKWORK CAN BE WITH A COMMON BRICK.

**THRUST BLOCKS**

THRUST BLOCKS WILL BE USED ON ANY FORCE MAIN SECTIONS WHERE CALED FOR BY THE DEPARTMENT OF PUBLIC WORKS. THE THRUST BLOCK SHALL CONSIST OF A FORMED CONCRETE BLOCKING AGAINST UNDISTURBED MATERIAL, POURED IN PLACE WITH 3,000 PSI, 1-1/2", 470 CEMENT CONCRETE MASONRY

**INSPECTIONS**

INSPECTIONS WILL BE PROVIDED BY THE CITY OF MARLBOROUGH ONLY ON A LIMITED OR PART-TIME BASIS. BEFORE ANY BACKFILLING IS DONE, THE DEPARTMENT OF PUBLIC WORKS' WATER & SEWER DIVISION WILL BE NOTIFIED 24 HOURS IN ADVANCED, A CITY REPRESENTATIVE WILL INSPECT THE COMPLETED WORK. IF THE DEPARTMENT OF PUBLIC WORKS FEELS THAT INSUFFICIENT WORKMANSHIP AND CARE IS BEING TAKEN DURING THE INSTALLATION, A PERSON WILL BE ASSIGNED FROM THE DEPARTMENT OF PUBLIC WORKS ON A FULL-TIME BASIS. THE CONTRACTOR OR OWNER WILL BEAR THE COST OF THIS INSPECTOR.

**CONNECTIONS**

MAIN-TO-MAIN CONNECTIONS WILL ONLY BE MADE BY USE IF A MANHOLE AS SPECIFIED IN THE MARLBOROUGH CITY CODE 510-198(2). IN THE CASE OF A TAP OF A SEWER TO-MAIN THE USE OF A TAPPING SADDLE AS APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. CHIMNEYS WILL BE EMPLOYED ON THE MAIN WHEREVER A SERVICE IS NEEDED WHEN THE DEPTH OF THE MAIN EXCEEDS EIGHT FEET. THIS SHALL BE EXCEPTED WHEN THE ELEVATION OF THE CONNECTION AT THE BUILDING DOES NOT ALLOW THE USE OF A CHIMNEY. ALL CHIMNEYS WILL BE PRECAST STRUCTURES. ALL WYE-BRANCHES WILL BE PROVIDED WITH THE PROPER END CAPS UNTIL SUCH TIME THE COMPLETED TIE-IN IS MADE. THE CONNECTIONS OF BUILDING SEWERS INTO PUBLIC SEWER SHALL BE MADE AT THE WYE OR AT BENCH LEVEL IN THE MANHOLE. IF A WYE-BRANCH OR MANHOLE IS UNAVAILABLE, A CONNECTION MAY BE MADE BY TAPPING THE EXISTING SEWER BY AN APPROVED METHOD. THIS MAY CONSIST OF CUTTING OUT A PORTION OF THE SEWER MAIN AND INSTALLING A "WYE" AT THE MAIN AND RECONNECTING THE EXISTING MAIN WITH THE NEW PIPE AND PROPER COUPLINGS AS APPROVED BY INSPECTOR. NO PERSON SHALL MAKE A CONNECTION OF FOUNDATION DRAINS, SUMP PUMP OR OTHER SOURCES OF SURFACE RUNOFF OR GROUNDWATER TO A BUILDING SEWER OR BUILDING DRAIN WHICH IS DIRECTLY OR INDIRECTLY TO A PUBLIC SEWER. ALL SEWERS SHALL BE TESTED BEFORE ANY CONNECTIONS ARE MADE TO BUILDINGS.

**BUILDING SEWERS**

THE SIZE AND SLOPE OF THE BUILDING SEWER SHALL BE SUBJECT TO THE APPROVAL OF THE COMMISSIONER BUT IN NO EVENT SHALL THE DIAMETER LESS THAN SIX INCHES. THE SLOPE OF SUCH PIPE SHALL NOT BE LESS THAN 1% OR GREATER THAN 9%. THE BUILDING SEWER SHALL BE LAID AT THE UNIFORM GRADE AND IN A STRAIGHT LINE ALIGNMENT INSOFAR AS POSSIBLE. CHANGES IN DIRECTION SHALL BE MADE ONLY WITH BENDS, SWEPS, MANHOLES OR PRECAST CLEAN-OUTS AS APPROVED BY THE COMMISSIONER. CLEANOUTS SHALL BE LOCATED ON THE EXTERIOR SIDE OF THE BUILDING SERVICE AND SHALL BE IN A PLACE THAT IS ACCESSIBLE FOR MAINTENANCE BY THE DEPARTMENT OF PUBLIC WORKS OR OTHERS. WARNING RIBBON SHALL BE USED IN THE INSTALLATION OF ANY SERVICE PIPE. SAID RIBBON SHALL BE GREEN IN COLOR AND IMPRINTED WITH THE WORDS "CAUTION SEWER LINE BELOW", OR WORDS OF SIMILAR INTENT, AND SHALL BE METALLIC TO PROVIDE FUTURE LOCATING WITH INDUCTIVE TAPE LOCATORS. DEPTH OF BURIAL SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS STANDARDS, EXCEPT THAT BURIAL SHALL NOT BE AT A DEPTH LESS THAN 18 INCHES NOR A DEPTH GREATER THAN 48 INCHES. THE SEWERS SHALL BE TESTED BEFORE ANY CONNECTIONS ARE MADE TO BUILDINGS. WHERE APPLICABLE ENTRANCE FEES IN ACCORDANCE WITH THE MARLBOROUGH CITY CODE SECTION 510-4 "BUILDING SEWER CONNECTIONS" SHALL BE PAID PRIOR TO ANY WORK.

**TESTING**

TESTING SHALL CONFORM TO CITY OF MARLBOROUGH REQUIREMENTS.

**REVISION UPDATES**

- 1 - SMALL REVISION TO ENERGY DISSIPATOR DETAIL
- 2 - NO CHANGES THIS SHEET

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for  
**A Four-Lot Subdivision**

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1	RD	JP	10/29/20	PLAN UPDATES
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 9/9/2020 DESIGN BY: RD/DJR  
SCALE: 1"=30' DRAWN BY: DJR  
APPROVED BY: RD/CHECK BY: JP

**DETAILS**  
**SHEET 1**

PLST DATE: Dec 16, 2020 9:39 am

DWG: 13820DF R2.dwg

LAYOUT: DET1

SHEET: 10 OF 12

PROJECT NO.:

**C10**

13820



CITY OF MARLBOROUGH WATER SPECIFICATIONS

THE FOLLOWING DESCRIBED MATERIALS AND METHODS OF INSTALLATION OF WATER MAINS IN GENERAL SHALL CONFORM TO THE 1988 STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES. ALL SUBSEQUENT SUPPLEMENTAL SPECIFICATIONS IN THE PARTICULAR CONTRACT AND IN ACCORDANCE WITH THE MOST RECENT A.W.W.A. STANDARDS.

MAIN INSTALLATION:

ALL MAINS WILL BE A MINIMUM OF EIGHT INCH DUCTILE IRON PIPE, CLASS 52, CEMENT LINED MECHANICAL JOINT OR PUSH-ON JOINT IN ACCORDANCE WITH A.W.W.A. STANDARDS. ALL MAINS OVER EIGHT (8) INCHES IN DIAMETER WILL BE DUCTILE IRON CLASS 52, INCLUDING NIPPLE PIECES. ALL HYDRANT BRANCHES SHALL BE SIX (6) INCH DUCTILE IRON CLASS 52. ALL INTERSECTIONS OF MAINS WILL BE GATED IN THEIR RESPECTIVE DIRECTIONS. NO MAIN GATE WILL EXTEND OVER ONE THOUSAND (1,000) FEET OF EACH OTHER OR SO SPACED AT THE DIRECTION OF THE DEPARTMENT OF PUBLIC WORKS OR FIRE CHIEF. ALL HYDRANTS WILL BE GATED, ALL TAPS TO THE EXISTING PUBLIC SYSTEM WILL SPECIFY A TAPPING SLEEVE AND GATE VALVE. EXCAVATION WILL BE TO A DEPTH THAT PROVIDES A MINIMUM OF FIVE (5) FEET OF COVER OVER THE PIPE. IF THE EXCAVATION IS IN LEDGE, A MINIMUM OF 12 INCH SPACING AROUND THE PIPE WILL BE REQUIRED TO ALLOW FOR SELECTED BACKFILL MATERIAL (SEE TRENCHING DETAILS). IT WILL BE AT THE DISCRETION OF THE DEPARTMENT OF PUBLIC WORKS AS TO THE TYPE OF BEDDING USED AND WILL DEPEND ON THE FIELD CONDITIONS. IN ANY EVENT, IT WILL BE EITHER CRUSHED BANK GRAVEL, SAND BORROW, OR THREE-FOURTHS INCH STONE. NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER MAY BE USED WITHIN THE FIRST FOOT OF BACKFILL OVER THE PIPE. ONCE THE PIPE HAS SUFFICIENT COVER WITH THE SELECTED MATERIAL, NORMAL BACKFILLING MAY PROCEED WITH CARE. JOINTING OF PUSH-ON OR TYTON JOINT CAST IRON WILL BE WITH THE USE OF A COME-ALONG OR BAR. IF A BAR IS USED, A BLOCK OF WOOD WILL BE USED BETWEEN IT AND THE PIPE. THE APPLICABLE HAVING A BACKLIE/EXCAVATOR SET LARGER DIAMETER PIPE. A BLOCK OF WOOD WILL BE INSERTED BETWEEN THE BUCKET AND THE PIPE; IN NO EVENT WILL THERE BE A METAL-TO-METAL DRIVING FORCE TO SET THE PIPE. IF THIS IS NOT STRICTLY COMPLIES WITH THE LENGTH OF THE PIPE WILL BE REMOVED AND A NEW ONE USED IN ITS PLACE.

MAIN GATE VALVES AND BOXES:

MAIN GATE VALVES SHALL BE OPEN RIGHT, IRON BODY, BRONZED MOUNTED, DOUBLE DISC, NON-RISING STEM AS MANUFACTURED BY MUELLER CO. OR APPROVED EQUAL. MAIN GATE BOXES SHALL BE CAST-IRON, SLIDE TYPE WITH ADJUSTMENT AT LEAST SIX (6) INCHES OF ADJUSTMENT AND AT LEAST FIVE (5) FEET LONG. THE COVERS SHALL BE FLUSH, CLOSE-FITTING WITH THE LETTER "W" OR THE WORD "WATER" CAST INTO THE COVER.

THRUST BLOCKS

ALL PLUGS, CAPS, TEES, BENDS AND HYDRANTS SHALL BE PROVIDED WITH A CONCRETE THRUST BLOCK TO PREVENT MOVEMENT. THE THRUST BLOCK SHALL CONSIST OF A FORMED CONCRETE BACKING AGAINST INDISTURBED MATERIAL, POURED IN PLACE WITH 3,000 PSI, 1-1/2", 470 CEMENT CONCRETE MASONRY.

INSPECTIONS

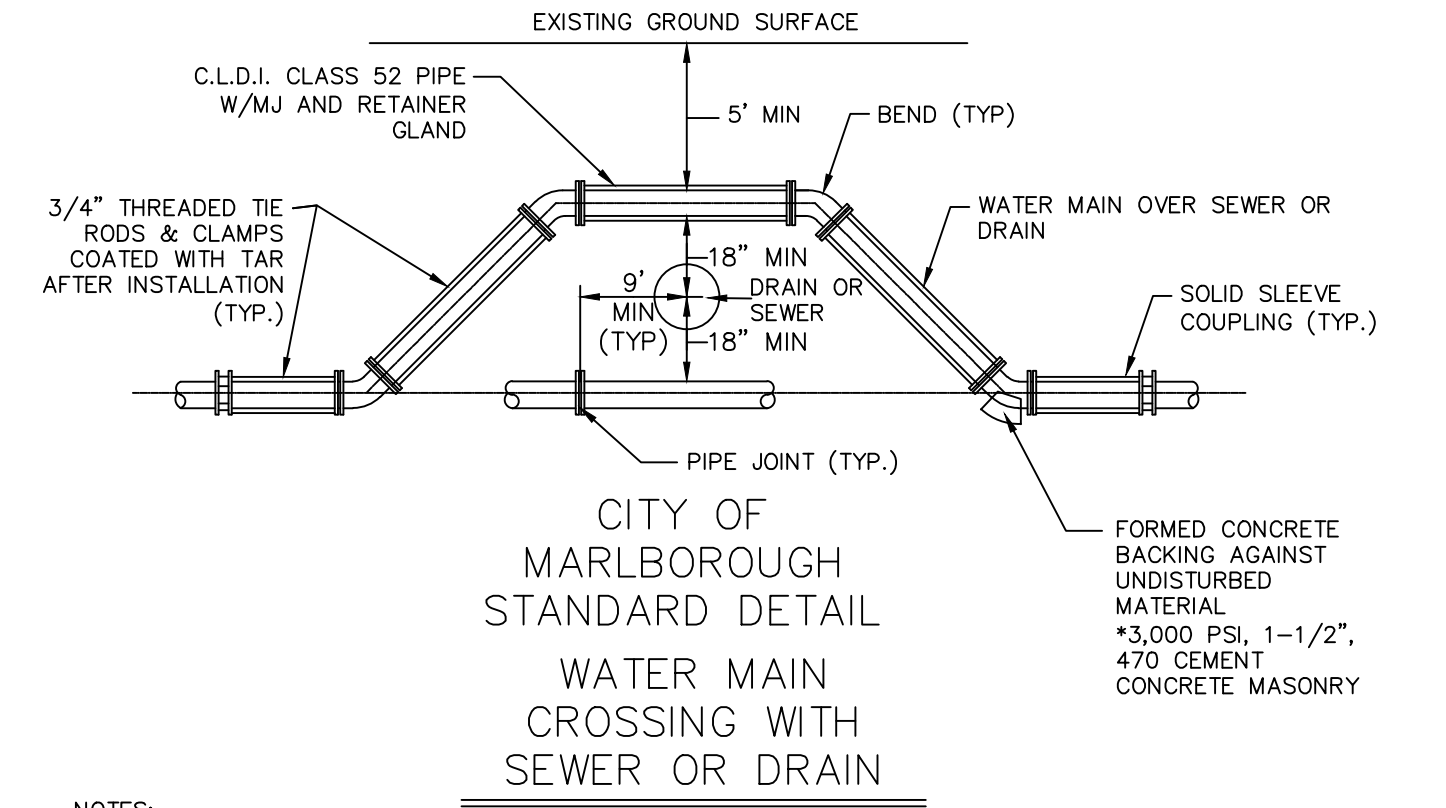
INSPECTION WILL BE PROVIDED BY THE CITY OF MARLBOROUGH WATER AND SEWER INSPECTOR. BEFORE ANY BACKFILLING IS DONE, THE DEPARTMENT OF PUBLIC WORKS WATER DIVISION WILL BE NOTIFIED TWENTY-FOUR (24) HOURS IN ADVANCE, AND A CITY OF MARLBOROUGH WATER AND SEWER INSPECTOR WILL INSPECT THE COMPLETED WORK. THIS METHOD OF OPERATION WILL BE USED FOR HYDRANT INSTALLATION, MAIN TAPS, SERVICE TAPS, TESTING, ETC. IF THE DEPARTMENT OF PUBLIC WORKS FEELS THAT INSUFFICIENT WORKSMANSHIP AND CARE IS BEING TAKEN IN THE INSTALLATION, THIS WORK MAY BE TERMINATED UNTIL FURTHER APPROVAL FOR THE CITY ENGINEER.

CONNECTIONS

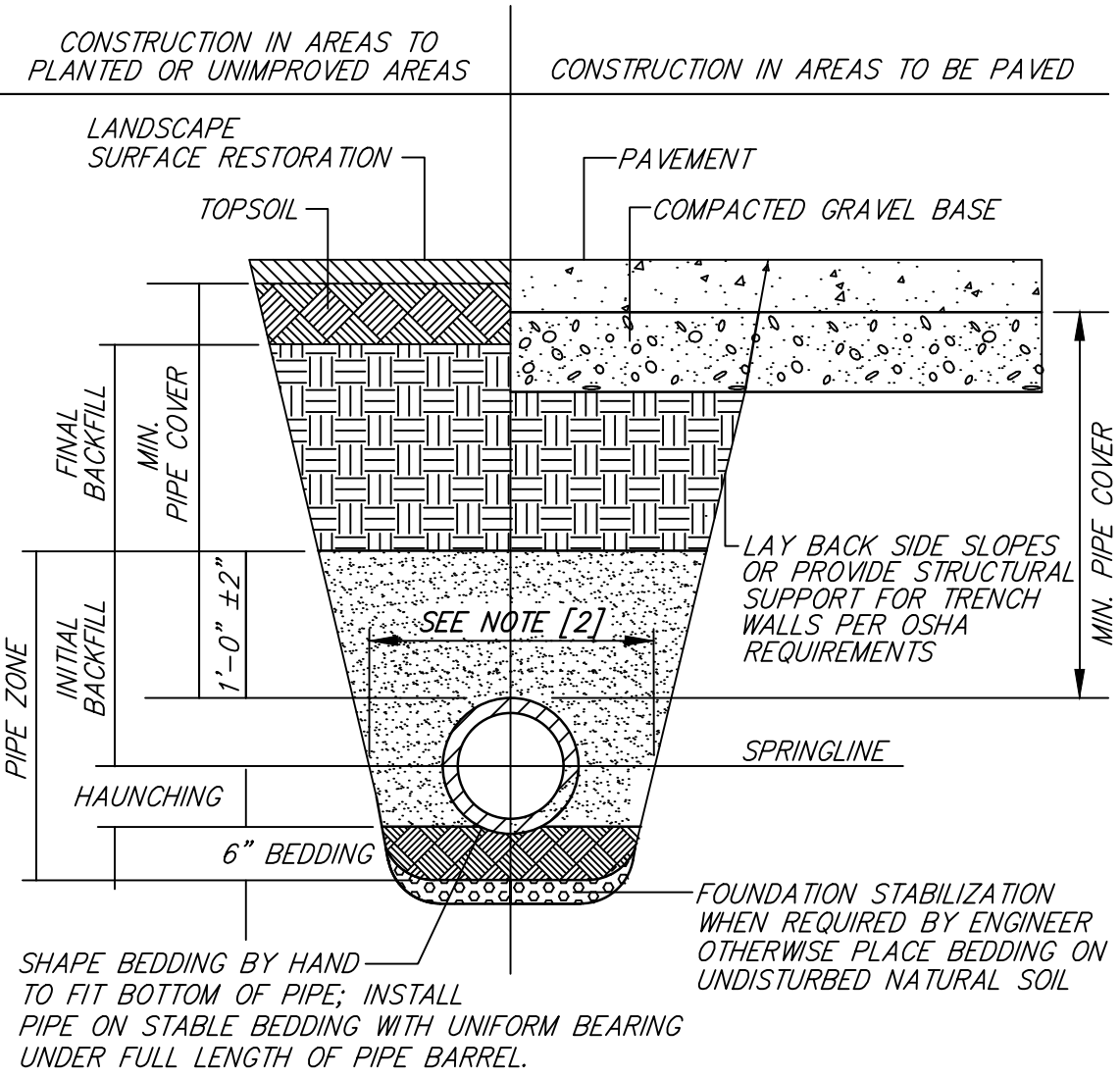
SERVICE CONNECTIONS SHALL HAVE A MINIMUM SIZE OF THREE-FOURTHS (3/4) INCH IN DIAMETER. ALL SERVICE PIPES SHALL BE TYPE K COPPER TUBING. ANY SERVICE PIPE LARGER THAN TWO (2) INCHES AND LESS THAN EIGHT (8) INCHES IN DIAMETER SHALL BE DUCTILE IRON CLASS 52, CEMENT LINED MECHANICAL JOINT OR PUSH-ON JOINT IN ACCORDANCE WITH A.W.W.A. STANDARDS. ALL NEW MAIN CONNECTIONS WILL BE MADE BY WAY OF DIRECT WET TAP. THE USE OF A TWO-STRAP CORPORATION SADDLE SHALL ONLY BE USED WITH APPROVAL OF ENGINEER (TYPE, SMITH-BLAIR OR MUELLER). A CURB STOP AND BOX SHALL BE COPPER TO COPPER THREAD, OPEN RIGHT, WITH DRAIN, AS MANUFACTURED BY FARNUM OR MUELLER. ANY SERVICE ONE (1) INCH OR GREATER SHALL EMPLOY AN ORISEAL CURB WITH DRIP. THE SERVICE SHALL BE INSTALLED AT 90° FROM THE ROAD, UNLESS OTHERWISE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. UNDER NO CIRCUMSTANCES WILL ANY INVERTED KEY CURBS BE INSTALLED IN ANY WATER SYSTEM IN THE CITY OF MARLBOROUGH. THE CURB BOX OR SERVICE BOX SHALL BE FOUR SAND-ONE-HALF (4 1/2) TO FIVE-AND-ONE-HALF (5 1/2) FEET, EXTENSION-TYPE, THREE-FOURTHS INCH ROD, AND COVER FOR SERVICES SHALL BE FIVE (5) FEET ZERO (0) INCHES. A SAND BACKFILL MATERIAL WILL BE CAREFULLY PLACED AROUND THE SERVICE PIPE TO PROTECT IT FROM NORMAL BACKFILL AND COMPACTION.

TESTING

THE CONTRACTOR SHALL HIRE AN INDEPENDENT TESTING FIRM THAT SPECIALIZES IN WATER LINE TESTING AND DISINFECTIONS OF WATER DISTRIBUTION SYSTEMS APPROVED BY THE CITY ENGINEER. THE CONTRACTOR SHALL FURNISH A WATER METER PRESSURE GAUGE, TESTING PLUGS, PUMPS, PIPE CONNECTIONS AND OTHER REQUIRED APPARATUS. THE SECTION OF PIPE TO BE TESTED WILL BE COMPLETELY FILLED WITH WATER AND AIR BLOWN OFF THROUGH A HIGH POINT, SUCH AS A HYDRANT. THE SECTION UNDER TEST WILL BE MAINTAINED FULL AND UNDER PRESSURE AT 200 LBS. FOR A PERIOD OF ONE (1) HOUR. THE LINE SHALL BE FILLED AND TESTED WITHIN ONE (1) TO THREE (3) DAYS AFTER FILLING. ANY FAILURE OF THE VARIOUS PIPELINES, STRUCTURES, VALVES, HYDRANTS AND RELATED ACCESSORIES THAT OCCURS BEFORE FINAL ACCEPTANCE OF THE WORK SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR. A SUCCESSFUL WATER PRESSURE TEST IS NOT TO BE INTERPRETED AS FINAL ACCEPTANCE. THE PRESURE AND LEAKAGE TEST SHALL CONSIST OF FIRST RAISING THE WATER PRESSURES (BASED ON ELEVATION) TO A PRESSURE IN POUNDS PER SQUARE INCH NUMERICALLY EQUAL TO THE PRESSURE RATING OF THE PIPE, WHILE MAINTAINING THIS PRESSURE, THE CONTRACTOR SHALL MAKE A LEAKAGE TEST BY CONTINUING THE FLOW OF WATER INTO THE PIPE. IF THE AVERAGE LEAKAGE DURING A TWO-HOUR PERIOD EXCEEDS A RATE OF TEN (10) GALLONS PER INCH OF DIAMETER PER TWENTY-FOUR (24) HOUR PER MILE OF PIPELINE, THE SECTION WILL BE CONSIDERED AS HAVING FAILED THE TEST. AFTER TESTING THE PIPELINE IS TO BE DISINFECTED WITH A CHLORINE CONCENTRATION OF APPROXIMATELY FIFTY (50) PARTS PER MILLION PRIOR TO BEING PLACED IN SERVICE. THE INTRODUCTION OF THIS SHLORINE SHALL BE ACCOMPLISHED BY PUMPING OR SIPHONING A CALCIUM HYDROCHLORIDE SOLUTION INTO THE MAIN. THE CHLORINATION WATER IS TO REMAIN IN THE NEW PIPELINE FOR A PERIOD OF TWENTY-FOUR (24) HOURS. DURING THIS PERIOD, PROPER PRECAUTIONS ARE TO BE TAKEN TO PREVENT THIS SHLORINATED WATER FROM FLOWING BACK INTO THE EXISTING SYSTEM. AFTER CHLORINATION AND DE-CHLORINATION A MINIMUM OF (2) BACTERIA SAMPLES ARE TO BE TAKEN TWENTY-FOUR (24) HOURS APART.



NOTES:  
1. BENDS TO BE UTILIZED ONLY WHEN DEFLECTION CANNOT ACHIEVE REQUIRED DEPTH.  
2. ALL TEES, GATES AND BENDS ARE TO BE RODDED W/ MEGA LUGS OR FRICTION CLAMPS AT BELL JOINTS.



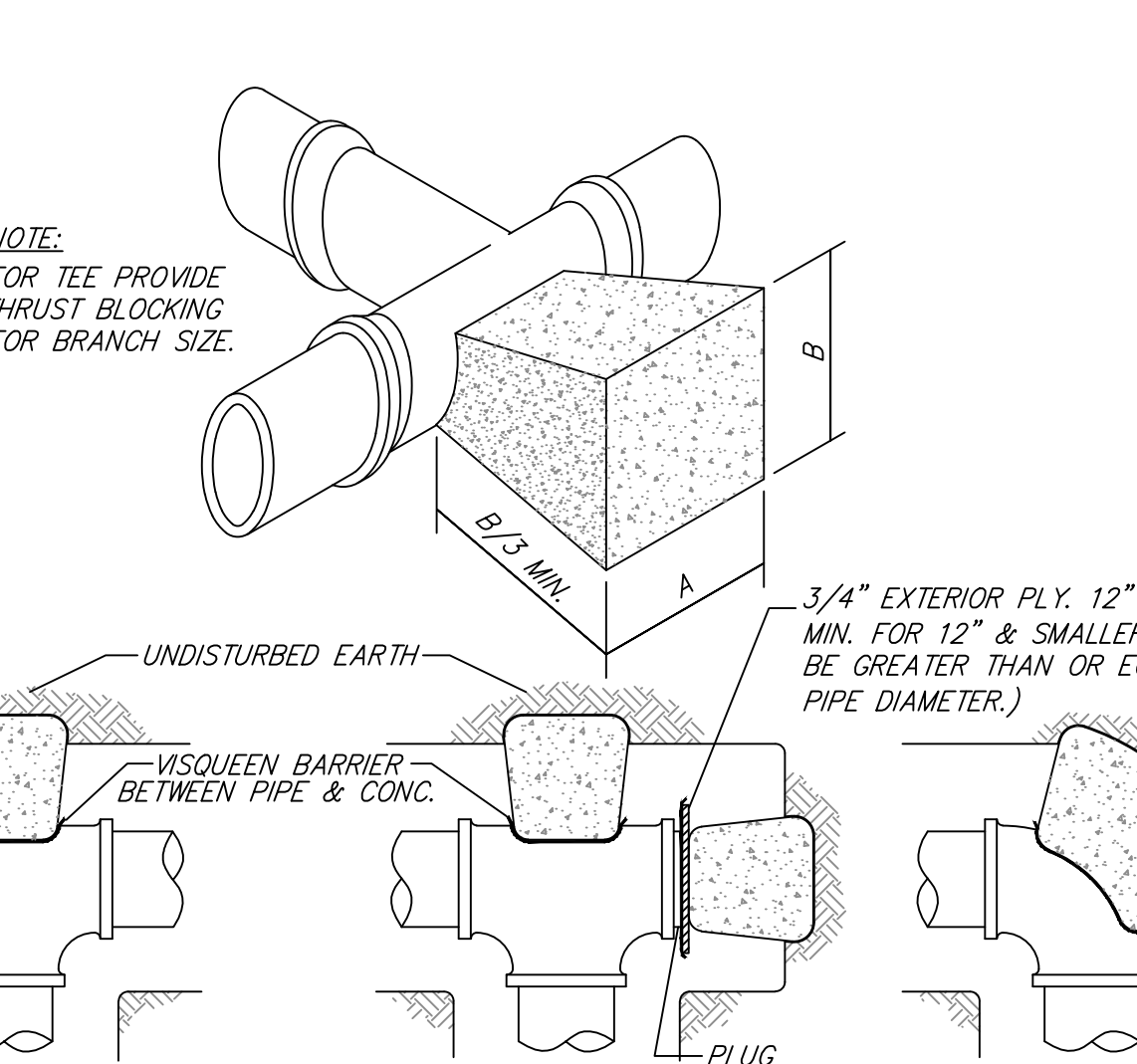
FOUNDATION, BEDDING, & BACKFILL MATERIALS		
PIPE MATERIAL	HDP, PVC	RC, DI
FOUNDATION STABILIZATION	[6]	[6]
BEDDING	[1]	[1]
HAUNCHING	[1]	[1]
INITIAL BACKFILL	[1]	[1]
FINAL BACKFILL	[4]	[4]
MIN. PIPE COVER	[5]	[5]

PIPE I.D.	WIDTH
LESS THAN 21"	O.D. + 12"
21" TO 42"	O.D. + 24"
GREATER THAN 42"	O.D. + 30"

- [3] INSTALL PIPE IN CENTER OF TRENCH.  
[4] IN PLANTED OR UNIMPROVED AREAS, USE ON-SITE EXCAVATED MATERIAL FOR FINAL BACKFILL. COMPACT TO 95% PER ASTM D-1557. IN PAVED AREAS, OBTAIN ENGINEER APPROVAL OF ON-SITE EXCAVATED MATERIALS FOR USE AS FINAL BACKFILL.  
[5] MINIMUM COVER OVER TOP OF PIPE:

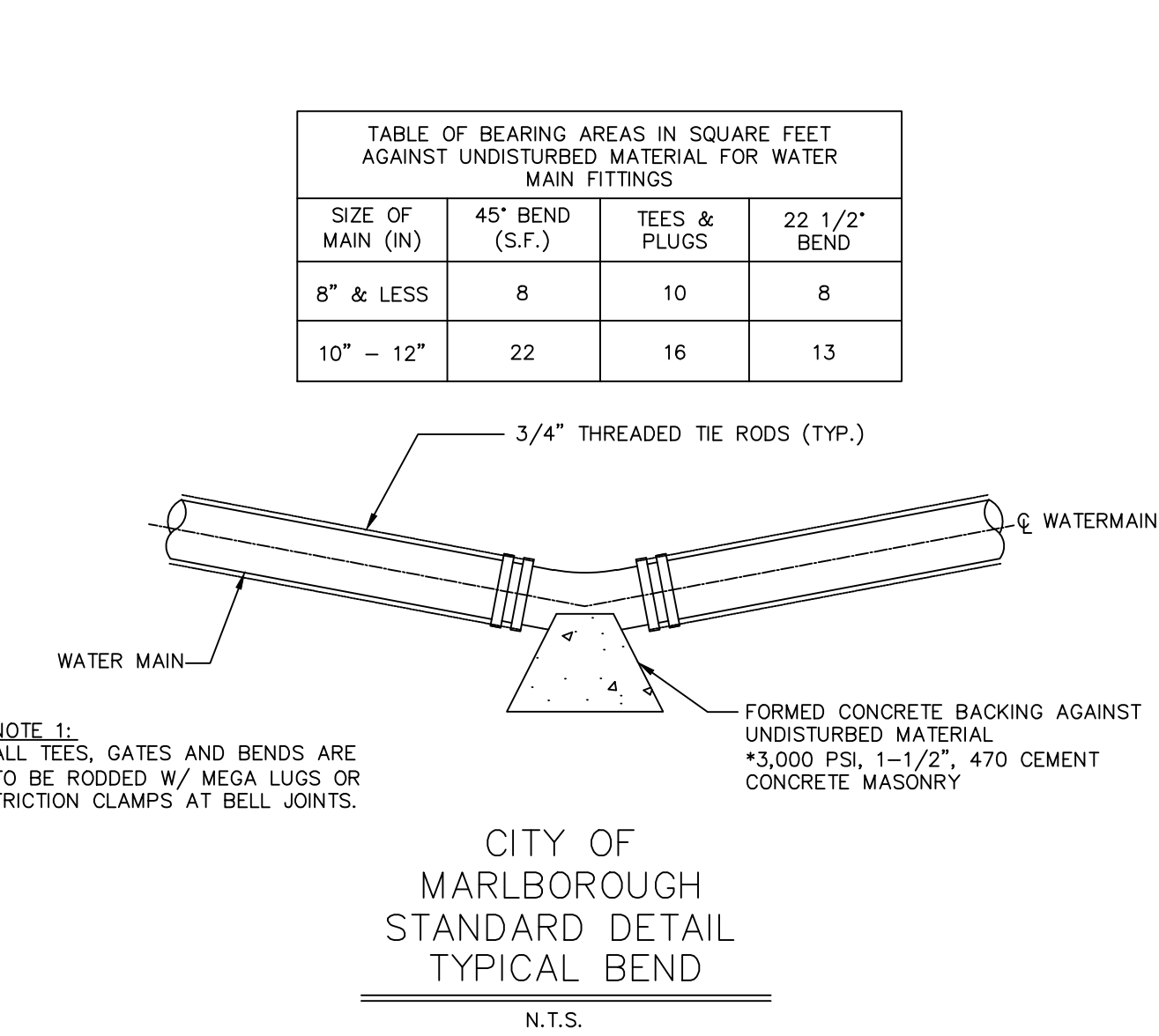
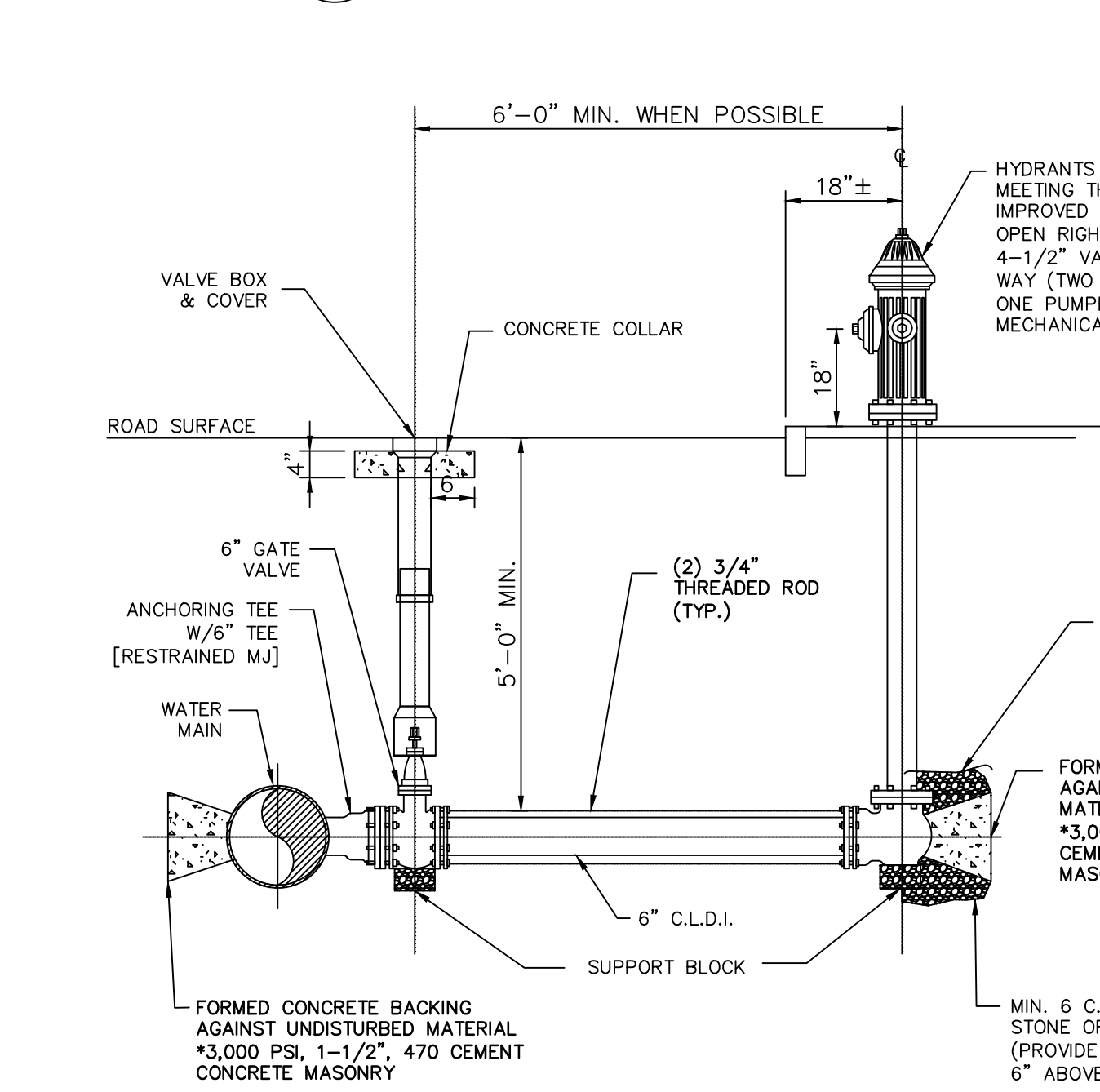
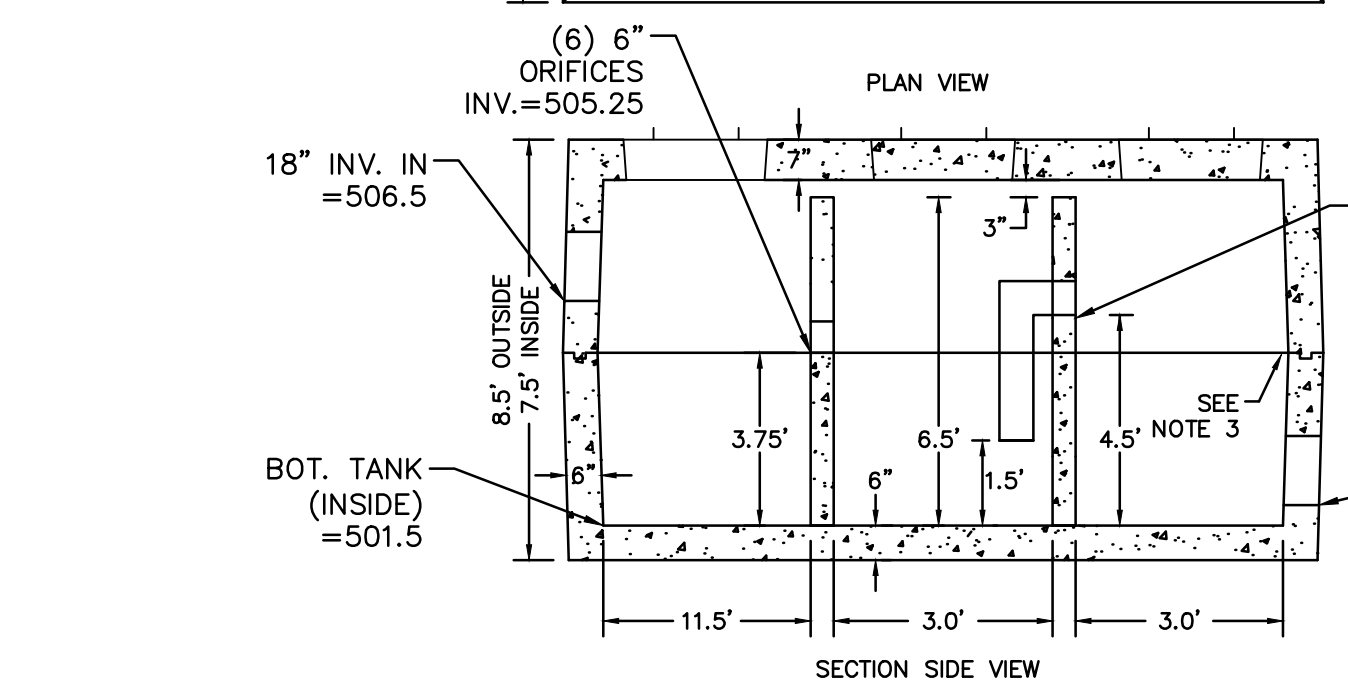
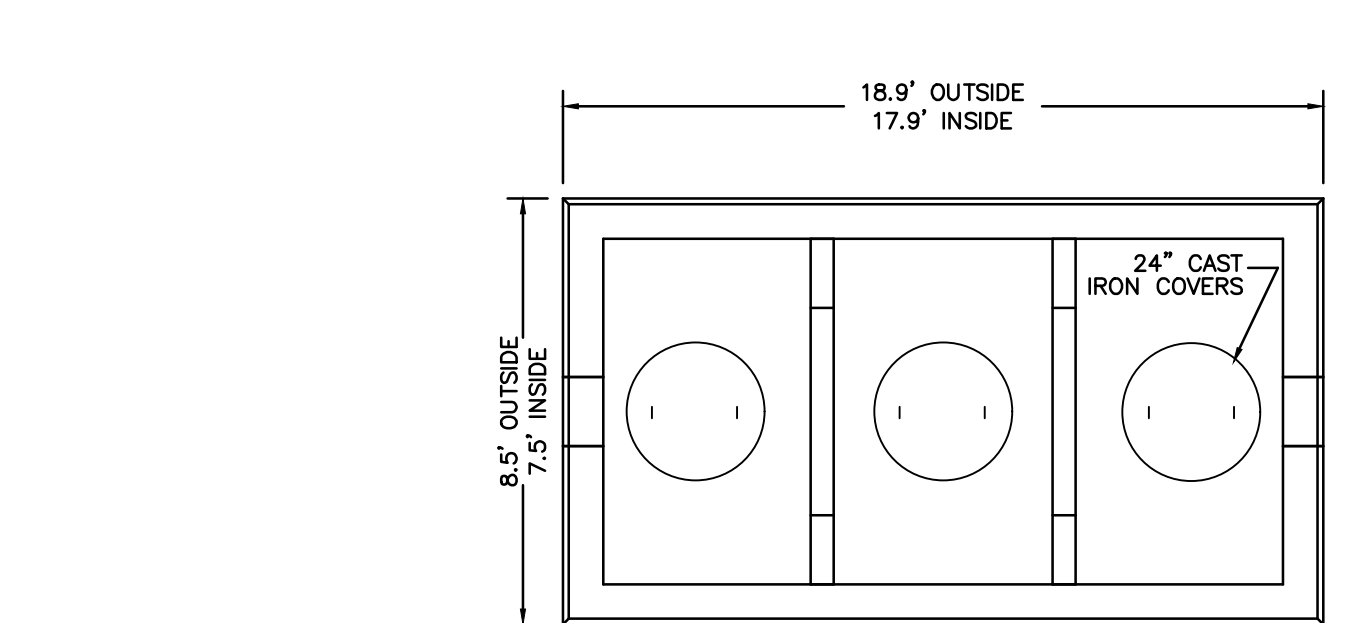
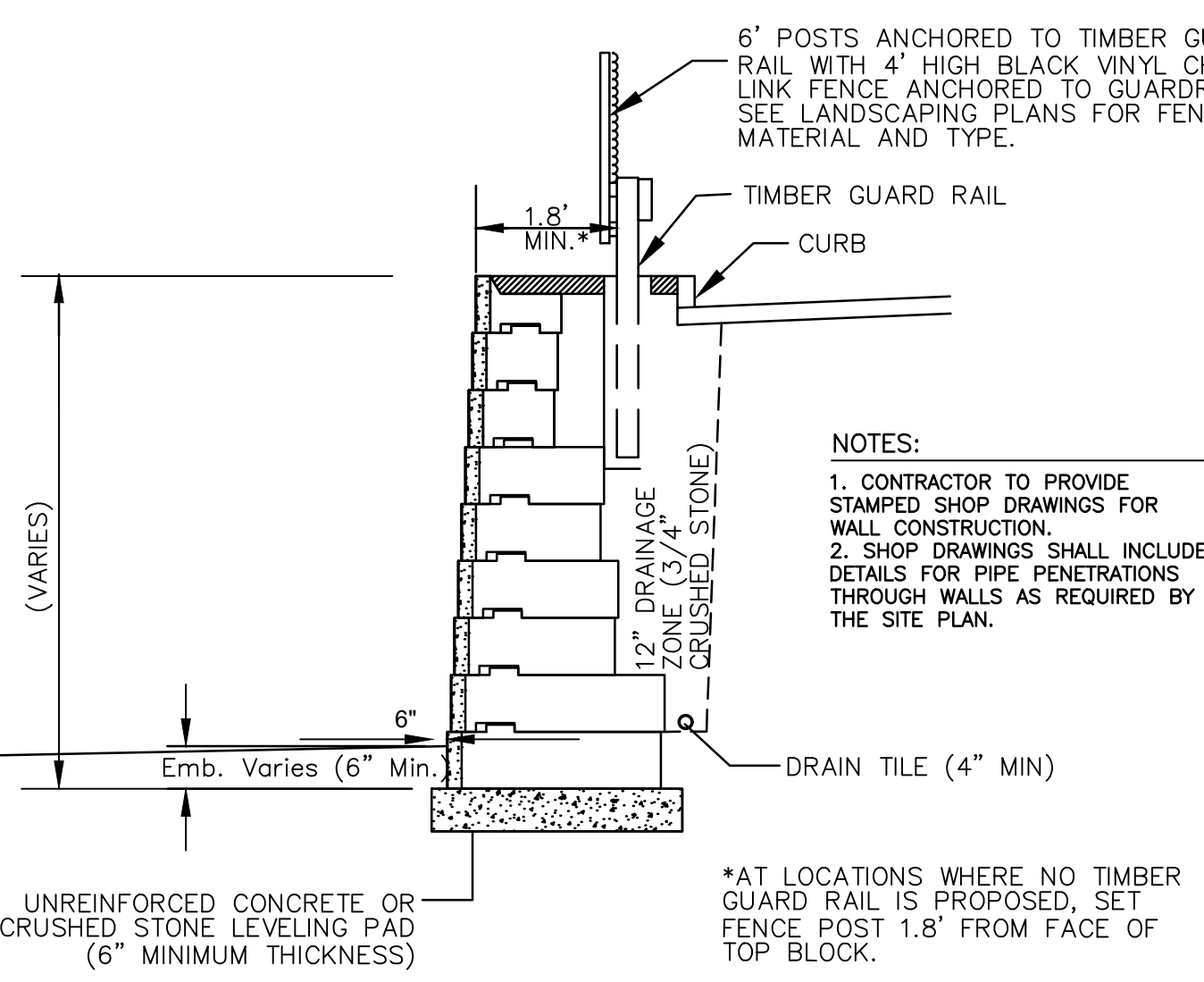
PIPE MATERIAL	HDP, PVC	RC, DI
WATER	5'-0"	5'-0"
SEWER	4'-0"	4'-0"
DRAIN	1'-6"	1'-0"

- [6] FOR FOUNDATION STABILIZATION, USE 2"± CRUSHED STONE.

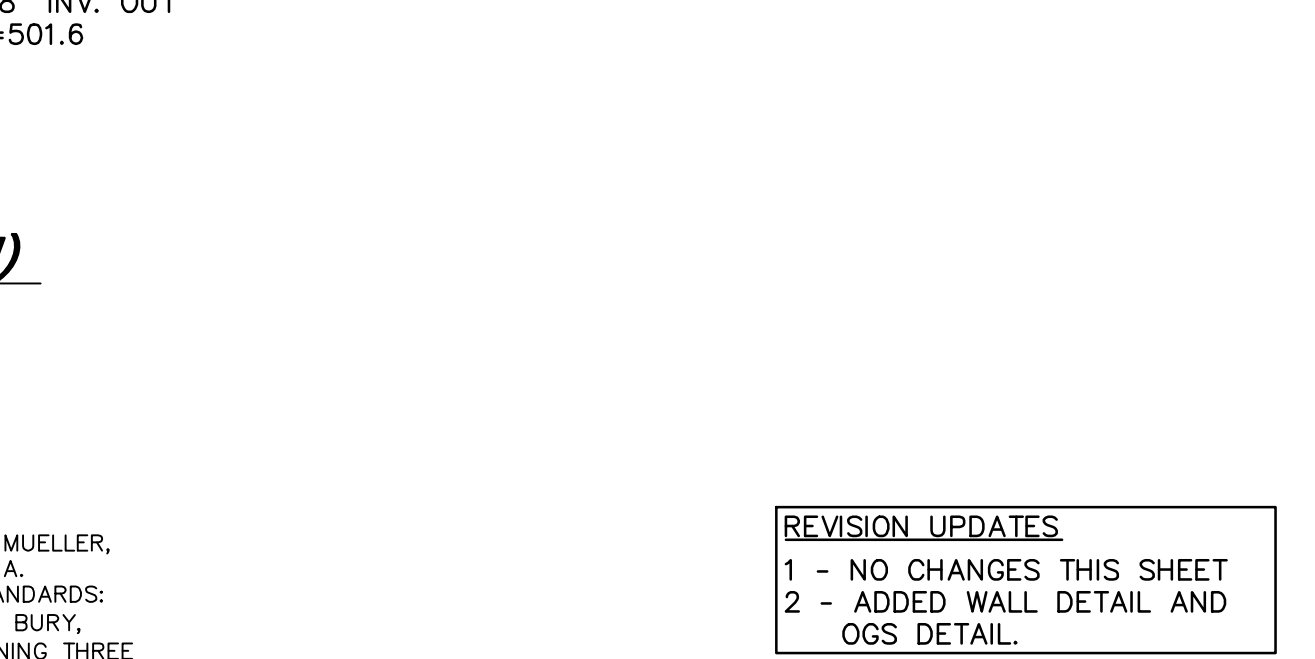


DIMENSION FOR THRUST BLOCKING									
FITTING SIZES	TEES & PLUGS		90° BENDS		45° BENDS & "Y"s		22 1/2° BENDS		
	A	B	A	B	A	B	A	B	
4"	1'-6"	1'-6"	1'-6"	1'-9"	1'-3"	0'-6"	1'-0"	0'-6"	
6"	2'-0"	1'-0"	2'-0"	2'-0"	1'-3"	1'-6"	1'-0"	1'-5"	
8"	2'-0"	1'-6"	2'-3"	2'-3"	1'-8"	1'-8"	1'-0"	1'-3"	
10"	2'-6"	2'-3"	2'-9"	2'-10"	2'-3"	1'-10"	1'-3"	2'-0"	
12"	3'-0"	2'-9"	3'-6"	3'-3"	2'-6"	2'-4"	2'-0"	1'-6"	
14"	3'-5"	3'-0"	4'-0"	3'-8"	3'-6"	2'-4"	2'-0"	2'-3"	

1. THIS TABLE IS BASED ON 200 P.S.I. MAIN PRESSURE AND 2000 P.S.F. SOIL-BEARING PRESSURE. ADJUST BEARING AREAS IN ACCORDANCE WITH SOIL CONDITIONS AND PRESSURES ENCOUNTERED.  
2. USE VISQUEEN BARRIER BETWEEN PIPE AND CONCRETE AS SHOWN IN DETAIL ABOVE.  
3. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.  
4. BLOCKING SIZE/FREQUENCY SHALL BE INCREASED IF REQUIRED BY ENGINEER.



- NOTES:  
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.  
2. DESIGNED FOR H-20 LOADING. ALSO AVAILABLE IN H-10 LOADING WITH 3" WALL.  
3. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.



REVISION UPDATES			
1	- NO CHANGES THIS SHEET		
2	- ADDED WALL DETAIL AND OGS DETAIL.		

- NOTES:  
1. PROVIDE HYDRANT AND VALVE JOINTS WITH MECHANICAL JOINTS (MEGALUG OR APPROVED EQUAL).  
2. SUPPORT BLOCKS TO BE PRESSURE TREATED WOOD OR CONCRETE MASONRY BLOCKS.  
3. ALL VALVES OPEN RIGHT.

# Site Plan

for  
*A Four-Lot Subdivision*

Map 68 Lot 123  
76 Broad Street  
Marlborough, MA 01752

PREPARED FOR:

## W.R.E., LLC

319 Stow Road  
Marlborough, MA 01752

## HANCOCK ASSOCIATES

Civil Engineers  
Land Surveyors  
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752  
VOICE (508) 460-1111, FAX (508) 460-1121  
WWW.HANCOCKASSOCIATES.COM

2	DJR	RD	12/16/20	PLAN UPDATES	
1	RD	JP	10/29/20	PLAN UPDATES	
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION	
DATE:		9/9/2020		DESIGN BY:	RD/DJR
SCALE:		1"=30'		DRAWN BY:	DJR
APPROVED BY:		RD		CHECK BY:	JP

## DETAILS SHEET 2

PLIST DATE: Dec 16, 2020 9:39 am

DWG: 13820DF R2.dwg

LAYOUT: DET2

SHEET: 11 OF 12

PROJECT NO.:

C11

13820

Site Plan

for  
A Four-Lot Subdivision

Map 68 Lot 123  
76 Broad Street  
Marlborough, MA 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road  
Marlborough, MA 01752

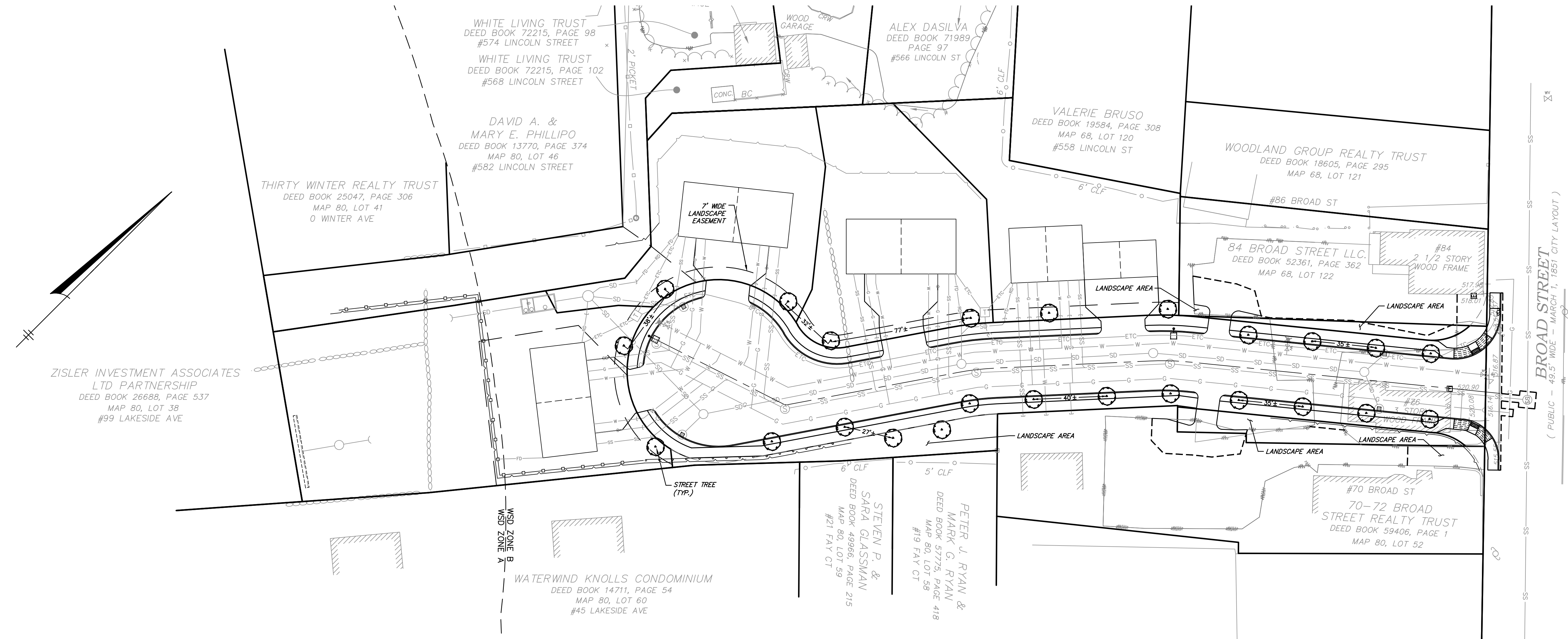
HANCOCK  
ASSOCIATES

Civil Engineers

Land Surveyors

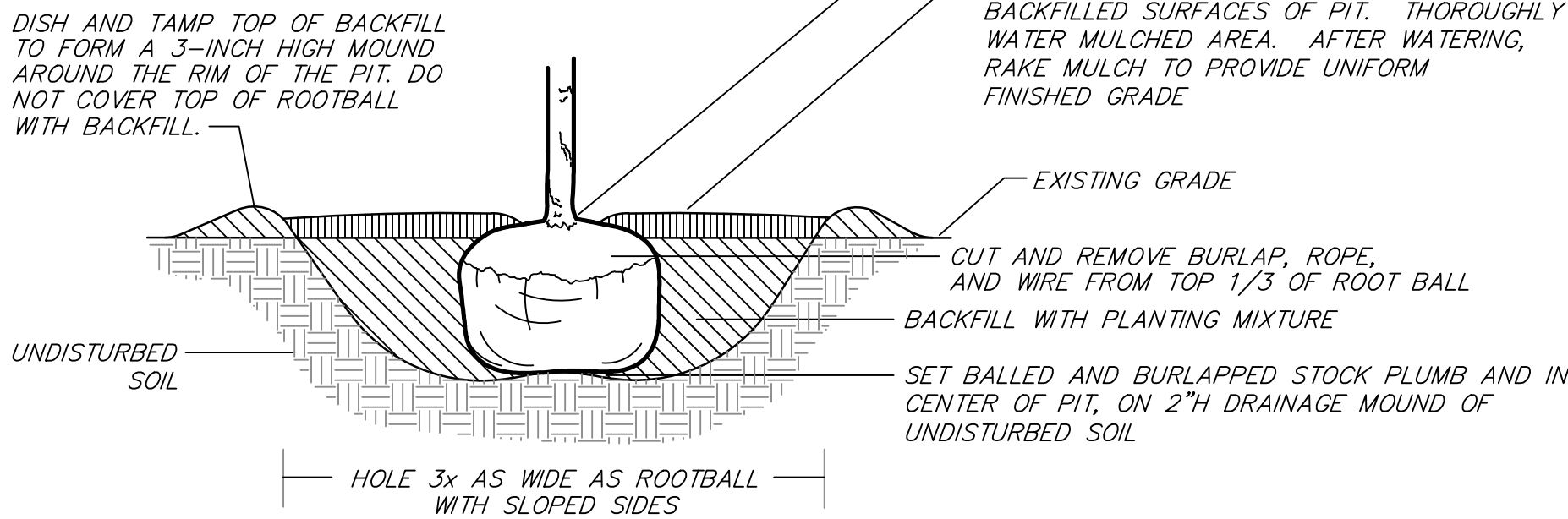
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752  
VOICE (508) 460-1111, FAX (508) 460-1121  
WWW.HANCOCKASSOCIATES.COM



TYPICAL TREE PLANTING DETAIL NOTES:

- \* HOLE TO BE DUG NO DEEPER THAN THE ROOTBALL AS MEASURED FROM THE TRUNK FLARE TO THE BOTTOM OF THE ROOTBALL.
- \* MULCH SHALL NOT BE PILED AGAINST THE TRUNK OR BASE OF TREE UNDER ANY CIRCUMSTANCES. MULCH LAYER SHOULD TAPER DOWN TOWARD TRUNK AS INDICATED.
- \* DO NOT USE PLANTING STOCK IF ROOTBALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING PROCESS.
- \* PLACE BACKFILL AROUND ROOTBALL IN LAYERS, TAMPING TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROX. 1/2 BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE IS ABSORBED. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF BACKFILL.



TYPICAL TREE PLANTING DETAIL  
NOT TO SCALE

STREET TREE CALCULATION

PER MARLBOROUGH SUBDIVISION RULES & REGULATIONS §A676-28:  
TREES SHALL BE LOCATED APPROXIMATELY AT FORTY-FOOT INTERVALS.

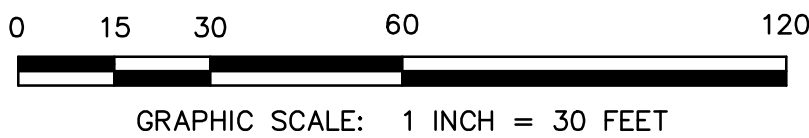
APPROXIMATE LENGTH OF ROADWAY PERIMETER = 960 ± FT.

REQUIRED STREET TREES = 960 / 40 = 24 TREES.

TREES PROVIDED = 24 TREES. SEE PLAN VIEW THIS SHEET.

NOTE: PROPOSED TREE LOCATIONS DO NOT CONFORM TO §A676-28.A OF THE ZONING ORDINANCE. A WAIVER IS REQUESTED, SEE TITLE SHEET.

REVISION UPDATES  
2 - LANDSCAPING PLAN ADDED



LANDSCAPING  
PLAN

PLOT DATE: Dec 16, 2020 9:40 am

DWG: 13820DF R2.dwg

LAYOUT: LA

SHEET: 12 OF 12

PROJECT NO.:

C12

13820



# City of Marlborough

## Legal Department

140 MAIN STREET  
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LEGAL@MARLBOROUGH-MA.GOV

JASON D. GROSSFIELD  
CITY SOLICITOR

JASON M. PIQUES  
ASSISTANT CITY SOLICITOR

HEATHER H. GUTIERREZ  
PARALEGAL

December 17, 2020

Planning Board  
135 Neil Street  
Marlborough, MA 01752  
kholmi@marlborough-ma.gov

Re: 2 South Bolton Street / 74 Main Street  
ANR Plan No. 528 of 1985 in Middlesex South Registry recorded May 8, 1985

Dear Dr. Fenby and Members of the Planning Board:

You requested we review a "Release of Plan Restriction"<sup>1</sup> request relative to the above-referenced previously endorsed plan deemed not to require approval under the subdivision control law ("ANR Plan"). In my opinion, as there is no statutory authority for the Planning Board to "release" or amend the prior ANR Plan, the submittal of a new plan for the Board's consideration would be necessary.

The "powers of a planning board to amend or rescind its actions with respect to subdivision plans are set out in G.L. c. 41, s 81W."<sup>2</sup> "Section 81W only authorizes rescission with respect to plans which have previously received planning board approval" An endorsement under 81P that such approval is not required "is not regarded as an 'approval' as that term is used in the Subdivision Control Law."<sup>3</sup> Therefore, in my opinion, the power to amend under s. 81W is not applicable to the notation on the ANR Plan, and a new plan would be subject to independent review by the Planning Board based upon an application made to the Board.<sup>4</sup>

Please do not hesitate to contact me if you have any additional questions.

Respectfully,

/s/ Jay Piques

Jay Piques

Assistant City Solicitor

cc: Jason Grossfield, City Solicitor

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<sup>1</sup> The subject of the petitioner's request is the following note on the ANR Plan: "Note: Parcel 22B not to be considered a building lot. To be deeded to and used with adjoining land of Marlborough Knights of Columbus Building Corp. now or formerly".

<sup>2</sup> *Cassani v. Planning Bd. of Hull*, 1 Mass. App. Ct. 451, 453 (1973)

<sup>3</sup> Id.

<sup>4</sup> See e.g., *SMI Inv'rs (Delaware), Inc. v. Planning Bd. of Tisbury*, 18 Mass. App. Ct. 408, 412 (1984) (new ANR plan subject to separate review by board, including evaluating prior subdivision plan approval condition)