

# CITY OF MARLBOROUGH MEETING POSTING

Meeting: **Planning Board**  
Date: **November 18, 2019**  
Time: **7:00 PM**  
Location: **Memorial Hall, 3<sup>rd</sup> Floor City Hall, 140 Main Street, Marlborough, MA**

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH

2019 NOV 14 P 3:21

Agenda Items to be Addressed:

- 1) **Meeting Minutes (None)**
- 2) **Chair's Business**
- 3) **Approval Not Required (None)**
- 4) **Public Hearings**
  - A. Council Order Number 19-1007738C, Proposed Zoning Amendment Section 650-8, 269 Mechanic Street. Proposed change from Limited Industrial to Residence B. (Assessor's Map 56, parcel 126, plus a small area behind the parcel within an easement area.) Attorney Michael Norris
- 5) **Subdivision Progress Reports (City Engineer- Updates and Discussion)**
  - A. Goodale Estates- Recording of Open Space Deed
- 6) **Preliminary/Open Space /Limited Development Subdivision Submissions (None)**
- 7) **Definitive Subdivision Submissions**
  - A. Definitive Subdivision Application: Richard and Joan Lavoie, 24 Clearview Drive and Richard Archibald, 18 Clearview Drive. Engineer: Robert Parente, 118 Deerfoot Rd., Southborough, MA 01772. Description of Property: 18 and 24 Clearview Drive, Marlborough, MA 01752
  - B. Definitive Subdivision Application: Marlborough/Northborough Land Realty Trust c/o The Gutierrez Company, 200 Summit Drive, Suite 400, Burnlington MA 01803. Engineer: Connorstone Engineering, Inc., 10 Southwest Cutoff, Suite 7, Northborough, MA 01532. Description of Property: Middlesex South Registry of Deeds Book 31932 Page 445. (Property described as 10.6 acres located at the northeast corner of Ames St. & Forest St.)
- 8) **Signs**
  - A. Communication from Code Enforcement Officer, Pam Wilderman, Re: Doble Engineering, 123 Felton St.
- 9) **Correspondence**
  - A. Invitation to Planning Board Members " The Branches " Grand Opening – Nov. 19
- 10) **Unfinished Business (None)**
- 11) **Calendar Updates**
- 12) **Public Notices of other Cities & Towns (See Electronic Agenda Packet)**
  - A. Town of Sudbury (3 Notices)
  - B. City of Framingham (13 Notices)

THE LISTING OF TOPICS THAT THE CHAIR REASONABLY ANTICIPATES WILL BE DISCUSSED AT THE MEETING IS NOT INTENDED AS A GUARANTEE OF THE TOPICS THAT WILL HAVE BEEN DISCUSSED. NOT ALL TOPICS LISTED MAY IN FACT BE DISCUSSED, AND OTHER TOPICS NOT LISTED MAY ALSO BE BROUGHT UP FOR DISCUSSION TO THE EXTENT PERMITTED BY LAW.

**CITY OF MARLBOROUGH  
PLANNING BOARD  
MARLBOROUGH, MASSACHUSETTS 01752**

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CITY OF MARLBOROUGH  
2019 OCT 23 A 9:23

**LEGAL NOTICE**

**Public Hearing –Proposed Zoning Map Amendment, Section 650-8 – Land off Mechanic Street, Map 56, Parcel 125.**

Notice is hereby given that the Planning Board of the City of Marlborough will hold a Public Hearing on **Monday, November 18, 2019 at 7:00 PM** in Memorial Hall, 3rd floor, City Hall, 140 Main Street, Marlborough, Massachusetts to amend the zoning map established by Section 650-8.

The materials are available for viewing in the Office of the City Clerk, City Hall, 140 Main Street, Marlborough, MA 01752, 508-460-3775 and the administrative offices of the Planning Board at 135 Neil St., Marlborough, MA 01752, 508-624-6910 x33200.

THAT, PURSUANT TO § 5 OF CHAPTER 40A OF THE GENERAL LAWS, THE CITY COUNCIL OF THE CITY OF MARLBOROUGH HEREBY ORDAINS THAT THE ZONING ORDINANCE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED BY AMENDING THE ZONING MAP, SECTION 650-8, AS FOLLOWS:

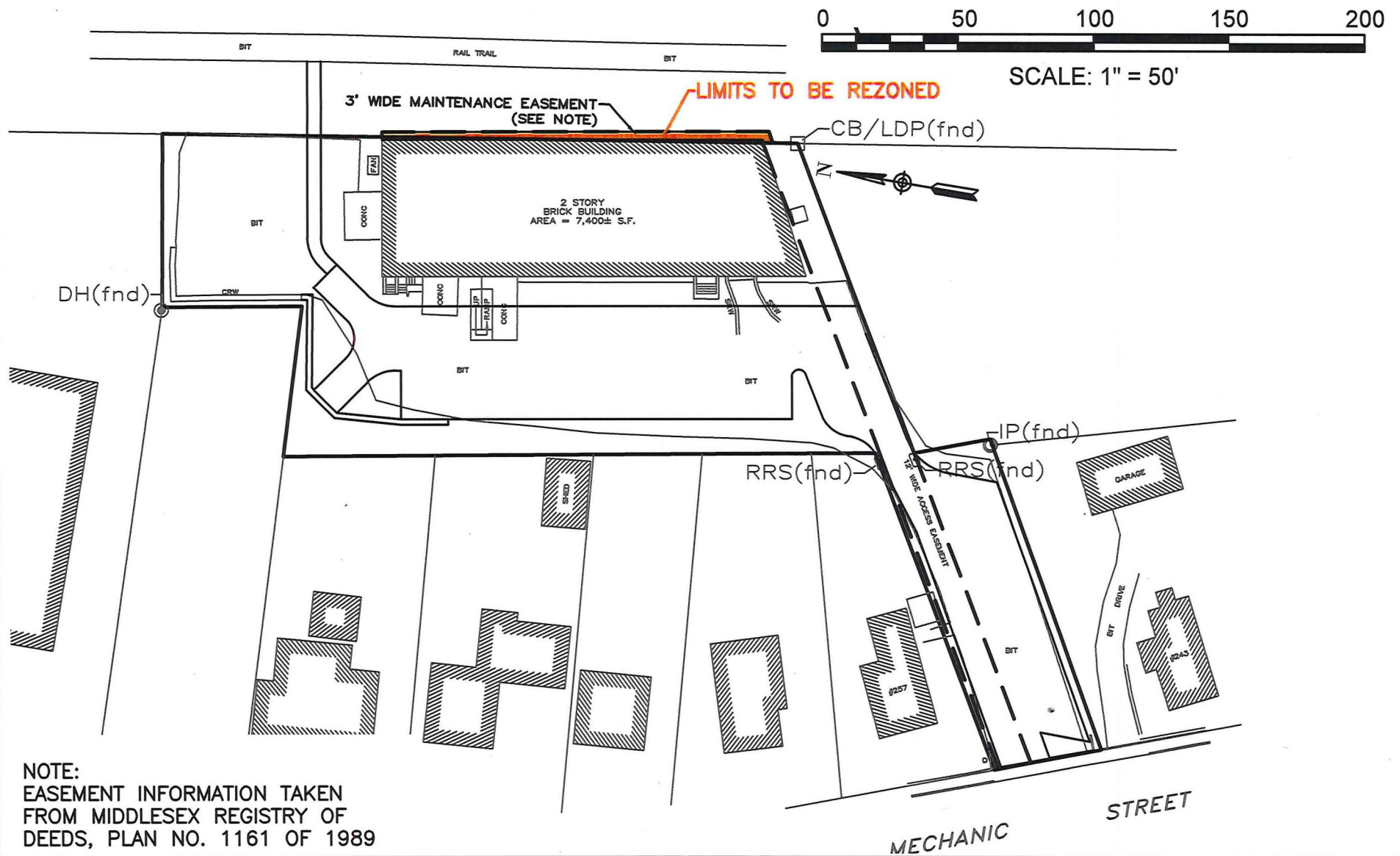
That rear land at 269 Mechanic Street currently owned by Carmi Greb, LLC on Assessors Map 56, Parcel 125 presently zoned Limited Industrial be rezoned as Residential B as it is contiguous to the Assessors Map 56, Parcels 131, 130, 129, 128, 127, and 123, that are all currently zoned Residential B and a parcel containing 432 s. f. to the rear of the building on land known as the Assabet River Rail Trail currently owned by the City of Marlborough be rezoned to Residential B. The area to the rear of Map 56, Parcel 125, being a rectangle parcel 4.40' on the northerly side to and 1.86' on the southerly side a distance of 142.39'.

***Per Order of the City Council  
#19-1007738C***

This Legal Advertisement will be published on [www.wickedlocal.com](http://www.wickedlocal.com) and <http://masspublicnotices.org>.

Marlborough Enterprise- 10-31-19, 11-07-19





PREPARED BY:



Engineering Design Consultants, Inc.

32 Turnpike Road  
Southborough, Massachusetts  
ph:(508) 480-0225 fax:(800)832-5781

TITLE:

REZONING EXHIBIT  
MECHANIC STREET GARDEN CONDOMINIUMS  
269 MECHANIC STREET  
MARLBOROUGH, MASSACHUSETTS

APPLICANT:

RENATO FONTES  
134 MAIN STREET - UNIT 7  
STONEHAM, MASSACHUSETTS 02180

FILE NO.:

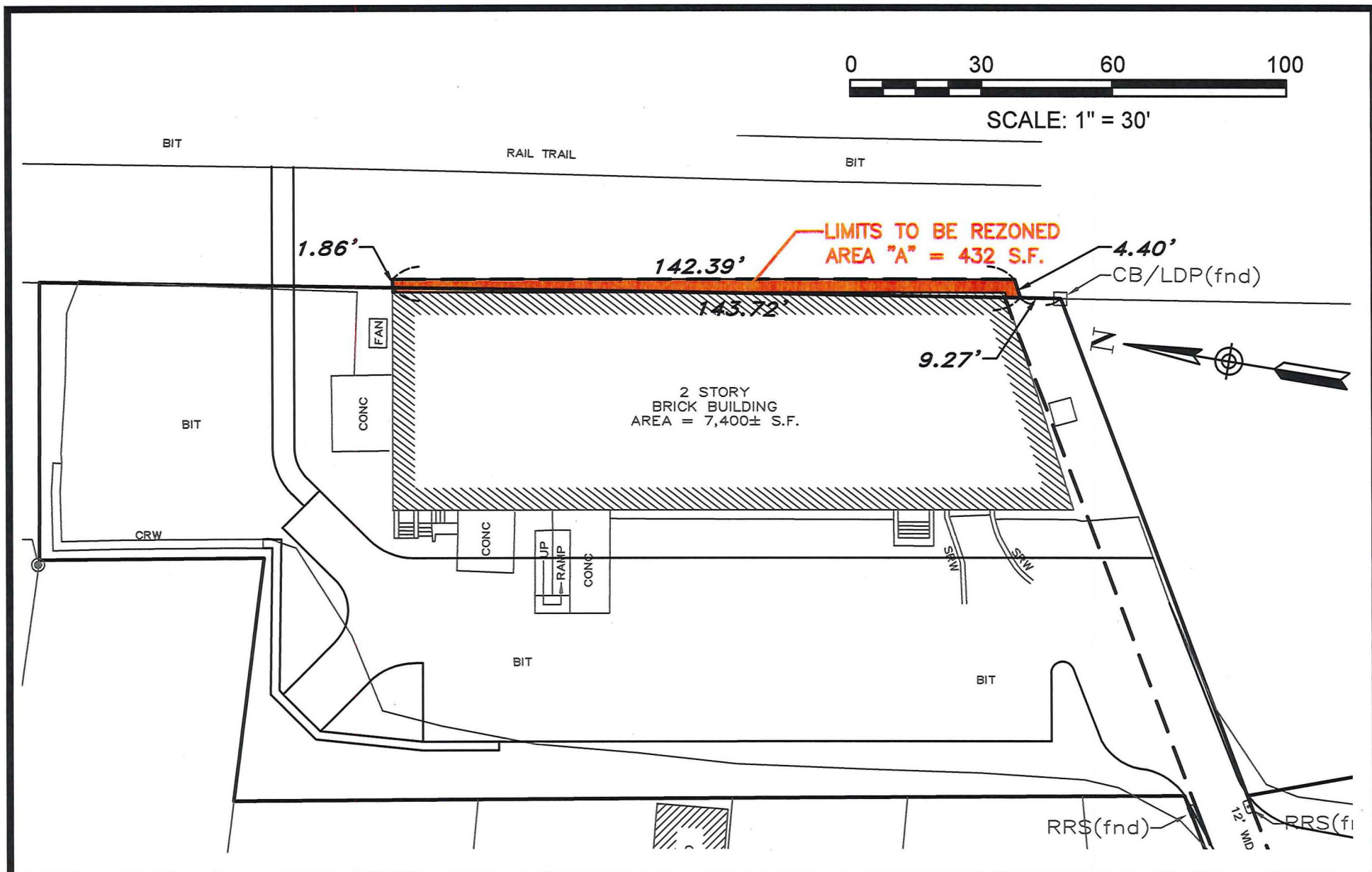
3645 SITE PLAN ZONING  
EXHIBIT  
PROPERTY EXHIBIT

DATE:

OCT. 1, 2019

PLAN NO.:

1 of 2



PREPARED BY:



Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
ph:(508) 480-0225 fax:(800)832-5781

TITLE:

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FILE NO.:

3645 SITE PLAN ZONING  
EXHIBIT  
PROPERTY EXHIBIT (2)

DATE:

OCT. 1, 2019

PLAN NO.:

2 of 2





2019 00178177  
Bk: 73647 Pg: 403 Doc: DEED  
Page: 1 of 2 11/14/2019 12:40 PM

5A  
Goodale Estates-  
Open Space Deed

SEP 23 2019

**QUITCLAIM DEED**

**NORTHBOROUGH CAPITAL PARTNERS, LLC**, a Rhode Island limited liability company with an address of 4 Courthouse Lane, Suite 16, Chelmsford, Massachusetts 01824 ("Grantor"), for consideration paid of ONE DOLLAR (\$1.00) receipt of which is hereby acknowledged, grants to the **CITY OF MARLBOROUGH**, a municipal corporation with an address of 140 Main Street, Marlborough, MA 01752 ("Grantee"), with QUITCLAIM COVENANTS, the following described property:

The land in Marlborough, County of Middlesex, Commonwealth of Massachusetts, shown as "OPEN SPACE" on Sheet 2 of 2 in a plan entitled "DEFINITIVE PROPERTY PLAN - GOODALE ESTATES - MARLBOROUGH, MA" Prepared for: Paul & Alex Ricciardi, 101 Adams Street, Quincy, MA 02189; Prepared by: Bruce Saluk, & Associates, Inc., 576 Boston Post Road East, Marlborough, MA 01752; Dated: July 19, 2016; Revised: September 22, 2016 and October 14, 2016, which plan is recorded in the Middlesex South District Registry of Deeds as Plan No. 1099 of 2016 (the "Plan") to which reference is made for a more particular description of said "OPEN SPACE" parcel.

Said Open Space parcel contains 5.06 acres, more or less, according to said Plan.

The Open Space parcel is conveyed as an open space parcel to the Grantee, in accordance with Condition 6.a of the "Certificate of Vote Definitive Subdivision Plan Goodale Estates Goodale Street" of the City of Marlborough Planning Board dated October 24, 2016 and recorded with said Registry in Book 68420, Page 373, under the provisions of M.G.L. c. 40, s. 8C, and is to be managed and controlled by the City of Marlborough Conservation Commission for the purposes of the promotion and development of natural resources, watershed protection, passive recreation, and conservation.

Being a portion of the same premises conveyed to the Grantor herein by Deed in Lieu of Foreclosure dated October 18, 2018 and recorded in Book 71768, Page 336 of the Middlesex South District Registry of Deeds, said premises transferred hereunder not being "all or substantially all" of the assets of Grantor. This is not a homestead property and Grantor hereby releases all other interests herein.

IN WITNESS WHEREOF, NORTHBOROUGH CAPITAL PARTNERS, LLC has caused this QUITCLAIM DEED to be executed by Kevin A. Gillis, a duly authorized Managing Director/Manager this 20<sup>th</sup> day of SEPTEMBER, 2019.

Northborough Capital Partners, LLC

By: 

Kevin A. Gillis,  
Managing Director/Manager

Jenks Lane, Marlborough

COMMONWEALTH OF MASSACHUSETTS

Middlesex ,ss.

September 20, 2019

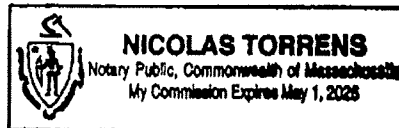
As of the above date, before me, the undersigned notary public, personally appeared Kevin A. Gillis, as Managing Director/Manager of Northborough Capital Partners, LLC, and proved to me through satisfactory evidence of identification, which was a copy of a state driver's license, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Nicolas Torrens  
Notary Public:

My commission expires: May 1, 2026

FOR REFERENCE ONLY:

Jenks Lane  
Marlborough, MA  
Middlesex County Plan 1099 of 2016



**RJP Construction and Engineering**

Bob Parente

P.O. Box 98 • Southboro, MA 01772 • 508-509-0891

November 12, 2019

Ms. Barbara Fenby  
Marlboro Planning Board  
City Hall  
Marlboro, Ma. 01752

Re: 18 &amp; 24 Clearview Drive

Dear Ms. Fenby and Board Members,

On behalf of Mr. Lavoie and Mr. Archibald, owners of the two properties at 18 and 24 Clearview Drive we hereby request a waiver of strict compliance with the City of Marlborough subdivision rules and regulations regarding this plan submission.

There are many requirements including a covenant or bond which will not be applicable to this submission as there are no new roads or structures proposed.

It our understanding that we are submitting the plan through the subdivision process in order that the Planning Board can review and approve the plan with house #18 having less than the required 100 feet of frontage now required in the A-3 zoning district. This plan shows 60' feet of frontage which has been more than adequate for the use of this property for the past 35 years.

Your consideration in this matter is greatly appreciated

Sincerely

Robert J. Parente, P.E., P.L.S.



APPENDIX C  
(Amended 11/19/74)

APPLICATION FOR APPROVAL OF DEFINITIVE PLAN

File one completed form with the Planning Board and one copy with the City Clerk in accordance with the requirements of Section III-B.

Marlborough, Massachusetts

Oct 17, 2019  
(Date)

PLANNING BOARD  
DATE 11-4-19  
AGENDA 11-18-19  
ACTION \_\_\_\_\_

RECEIVED  
CITY CLERK'S OFFICE  
CITY OF MARLBOROUGH  
2019 NOV - 4

To the Planning Board:

Paid Check #6270 \$600, Lavoie

The undersigned herewith submits the accompanying Definitive Plan of property located in the City of Marlborough for approval as a subdivision under the requirements of the Subdivision Control Law and the Rules and Regulations governing the Subdivision of Land of the Planning Board of the City of Marlborough.

Richard & Joan Lavoie  
1. Name and Record Owner of Land: Richard Archibald & Bonnie Lynn

24 Clearview Drive  
Address: 18 Clearview Drive (Amended 11/19/74)

2. Name of Subdivider: Richard & Joan Lavoie

Address: 24 Clearview Dr. Marlboro

3. Name of Engineer: Robert J. Parente

Address: 118 Deerfoot Rd, Southboro, Ma. 01772

4. Deed of property recorded in Middlesex South Registry of

Deeds Book \_\_\_\_\_ Page(s) \_\_\_\_\_

5. Location and description of property: Two existing homes

at 18 & 24 Clearview seeking to exchange  
parcels of land

6. Date of completion of ways, public utilities, and other

facilities: NOT APPLICABLE - Existing Public Street

x [Signature]  
Signature of Owner

24 CLEARVIEW DR.  
Address of Owner

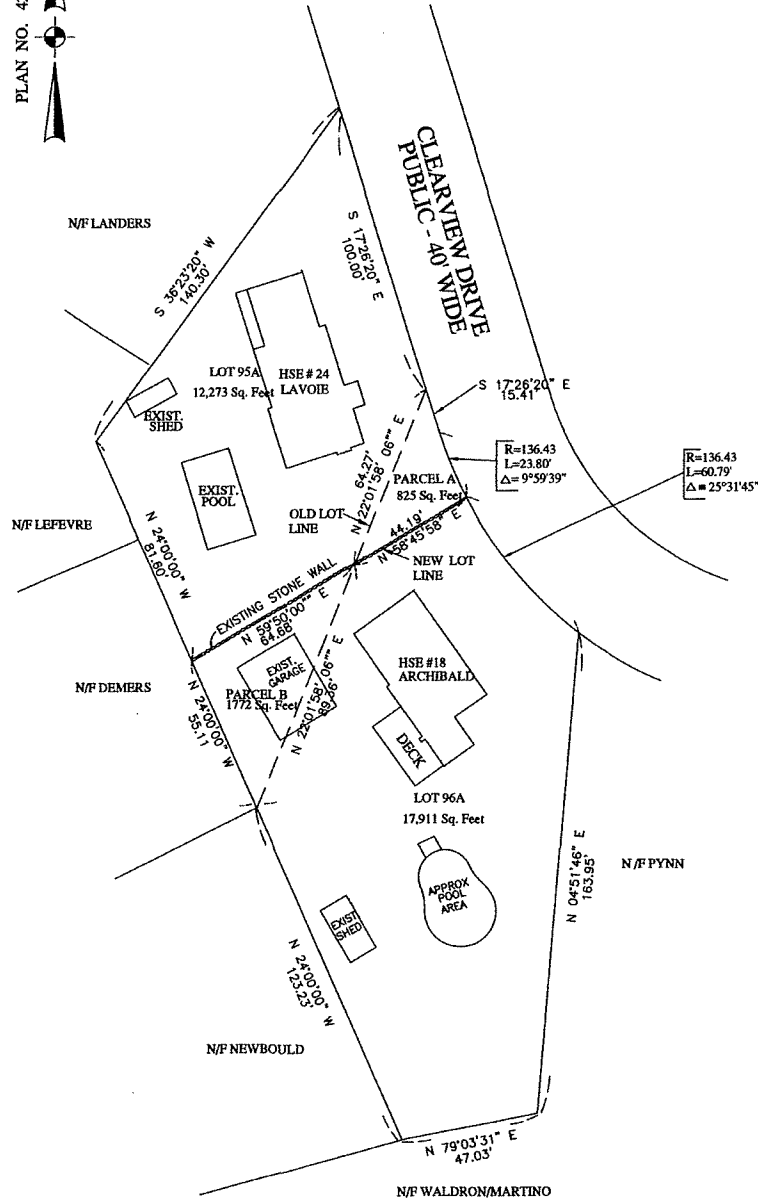
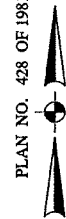
x [Signature]

24 CLEARVIEW DR.

x [Signature]

18 Clearview DR

PLAN NO. 428 OF 1981



#### WAIVER REQUESTS- LOT 95 A

THE PLANNING BOARD IS RESPONSIBLE FOR GRANTING A WAIVER FOR INSUFFICIENT FRONTAGE AND THE ZONING BOARD OF APPEALS IS RESPONSIBLE FOR GRANTING VARIANCES FOR LOT AREA, FRONTAGE AND LOT SHAPE.

ZONING DISTRICT- RESIDENCE A-3

ITEM		
LOT AREA:	12,500 SF	12,273 SF
LOT FRONTAGE :	100'	139.21'
LOT COVERAGE:	30% MAX	23%

#### WAIVER REQUESTS- LOT 96A

THE PLANNING BOARD IS RESPONSIBLE FOR GRANTING A WAIVER FOR INSUFFICIENT FRONTAGE AND THE ZONING BOARD OF APPEALS IS RESPONSIBLE FOR GRANTING VARIANCES FOR LOT AREA, FRONTAGE AND LOT SHAPE.

ZONING DISTRICT- RESIDENCE A-3

ITEM		
LOT AREA:	12,500 SF	17,911 SF
LOT FRONTAGE :	100'	60.79'
LOT COVERAGE:	30% MAX	21%

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

MARLBORO PLANNING BOARD

MEMBER

DATE

PLANNING BOARD ENDORSEMENT IS NOT A DETERMINATION AS TO CONFORMANCE WITH THE ZONING BYLAWS.

#### ZONING DATA

ZONING DISTRICT - A-3  
FRONTAGE REQUIRED- 100 FT  
LOT AREA REQUIRED- 12,500 SF  
FRONT YARD SETBACK- 20 FT  
SIDE YARD SETBACK- 15 FT  
REAR YARD SETBACK- 30 FT

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS IN THE COMMONWEALTH OF MASSACHUSETTS

*Robert J. Parente*

10/27/19



ROBERT J. PARENTE, PROF. LAND SURVEYOR DATE

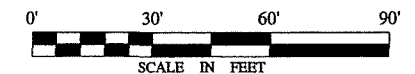
#### CERTIFICATE OF NO APPEAL

THIS IS TO CERTIFY THAT NOTICE FROM THE MARLBORO PLANNING BOARD OF APPROVAL OF THIS PLAN WAS RECEIVED BY ME ON HAS BEEN RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF THE NOTICE OF APPEAL.

CITY CLERK  
CITY OF MARLBOROUGH, MASSACHUSETTS

DATE

THE ORIGINAL LOT WAS CREATED PRIOR TO EXISTING ZONING REGULATIONS.  
NEW LOT 95A WILL REQUIRE A VARIANCE FOR LOT AREA TO 12,247 SF.  
THE ORIGINAL LOT WAS CREATED PRIOR TO EXISTING ZONING REGULATIONS.



#### LOCUS MAP

REGISTRY USE ONLY

### DEFINITIVE SUBDIVISION PLAN IN MARLBOROUGH, MASSACHUSETTS

PREPARED FOR: LOT 96- RICHARD D. ARCHIBALD & BONNIE LYNN DICENZO  
BOOK 54,696 PG. 596  
LOT 95- RICHARD AND JOAN LAVOIE  
BOOK 18,620 PG. 317

PREPARED BY: RJP CONSTRUCTION & ENGINEERING  
118 DEERFOOT ROAD, SOUTHBOROUGH MA  
DATE: OCTOBER 5, 2019 SCALE: 1" = 30'

# MARLBOROUGH ASSESSORS

11/1/19

*Anthony C. Amato*  
*William K. Silverstein*  
*David May*

## Abutters 18 & 24 Clearview Dr 500 ft MARLBOROUGH, MA

Map	Block	Lot	Unit	Owner's Name	Co_Owner's Name	Address	City	ST Zip	Parcel Location
71	1A			SWIFT CAROL ANN	S D SWIFT	102 HILDRETH ST	MARLBOROUGH	MA 01752	102 HILDRETH ST
72	1			DEOLIVEIRA LEIDIMAR V	JOSE C DEOLIVEIRA	110 ROUNDTOP RD	MARLBOROUGH	MA 01752	110 ROUNDTOP RD
72	2			TUCCELLI GEORGE J JR	LISA I TUCCELLI	111 ROUNDTOP RD	MARLBOROUGH	MA 01752	111 ROUNDTOP RD
72	3			RAMSEY BENJAMIN P	MILLY M RAMSEY	60 CLEARVIEW DR	MARLBOROUGH	MA 01752	60 CLEARVIEW DR
72	4			BYRNES KEEGAN		43 CLEARVIEW DR	MARLBOROUGH	MA 01752	43 CLEARVIEW DR
72	5			COLCORD JOANNE L	STEPHEN J COLCORD	175 PHELPS ST	MARLBOROUGH	MA 01752	175 PHELPS ST
72	6			OLEARY MATTHEW D	KELLY E OLEARY	165 PHELPS ST	MARLBOROUGH	MA 01752	165 PHELPS ST
72	7			HIPP JUSTIN	KRISTEN HIPP	157 PHELPS ST	MARLBOROUGH	MA 01752	157 PHELPS ST
72	8			WINSKE DAVID J TR	DEL RAY REALTY TRUST	181 BOSTON POST RD EAST S	MARLBOROUGH	MA 01752	149 PHELPS ST
72	20			DAROSA LUCIANO M	MARCIO CLERICI	158 PHELPS ST	MARLBOROUGH	MA 01752	158 PHELPS ST
72	21			NICHOLAS CORAL D		800 NORTH GEORGE ST	ROME	NY 13441	166 PHELPS ST
72	2A			ANTELL SUSAN A		68 CLEARVIEW DR	MARLBOROUGH	MA 01752	68 CLEARVIEW DR
72	2B			MAKER STEPHEN T TR	PATRICIA A MAKER TR	74 CLEARVIEW DR	MARLBOROUGH	MA 01752	74 CLEARVIEW DR
72	3A			GOERING BRADLEY K	ANNA C GOERING	103 ROUNDTOP RD	MARLBOROUGH	MA 01752	103 ROUNDTOP RD
72	3B			MOCKUS CATHERINE A LI EST		52 CLEARVIEW DR	MARLBOROUGH	MA 01752	52 CLEARVIEW DR
72	6A			HENDERSON ROGER JR	LAURA HENDERSON	53 CLEARVIEW DR	MARLBOROUGH	MA 01752	53 CLEARVIEW DR
72	7A			BARON RAYMOND F	JENNIFER H BARON	61 CLEARVIEW DR	MARLBOROUGH	MA 01752	61 CLEARVIEW DR
72	8A			GRAY JOHN G	ROBERTA A GRAY	69 CLEARVIEW DR	MARLBOROUGH	MA 01752	69 CLEARVIEW DR
84	1			SILVA MARIA A	JOSE M SILVA	24 VINAL ST	HUDSON	MA 01749	78 ROUNDTOP RD
84	2			PASSAMONTE ANTHONY		70 ROUNDTOP RD	MARLBOROUGH	MA 01752	70 ROUNDTOP RD
84	3			O'SHEA DOROTHY	STEVEN O'TOOLE	62 ROUNDTOP RD	MARLBOROUGH	MA 01752	62 ROUNDTOP RD
84	11			DUTTER TED C		40 SUNSHINE DR	MARLBOROUGH	MA 01752	40 SUNSHINE DR
84	12			JONES FRANCIS V JR	JOSEPHINE E JONES	48 SUNSHINE DR	MARLBOROUGH	MA 01752	48 SUNSHINE DR
84	13			SMITH CHARLES A TR	CAROL L SMITH TR	56 SUNSHINE DR	MARLBOROUGH	MA 01752	56 SUNSHINE DR
84	14			CORBETT SEAN P JR	SHAUNTEE G CORBETT	64 SUNSHINE DR	MARLBOROUGH	MA 01752	64 SUNSHINE DR
84	15			HERNANDEZ MARILYN	LUIS J HERNANDEZ	72 SUNSHINE DR	MARLBOROUGH	MA 01752	72 SUNSHINE DR
84	16			KALAGIAN JESSE J	DIANE M KALAGIAN	80 SUNSHINE DR	MARLBOROUGH	MA 01752	80 SUNSHINE DR
84	17			DAIGLE HELEN P	JOSEPH D COOK JR	88 SUNSHINE DR	MARLBOROUGH	MA 01752	88 SUNSHINE DR
84	18			ROBINSON ROBERT E	PATRICIA J ROBINSON	98 SUNSHINE DR	MARLBOROUGH	MA 01752	98 SUNSHINE DR
84	19			ZIMMERMAN SHAWN P	TARA K ZIMMERMAN	93 SUNSHINE DR	MARLBOROUGH	MA 01752	93 SUNSHINE DR
84	1A			FALLON MICHAEL C LI EST	CLAIRE F FALLON LI EST	88 ROUNDTOP RD	MARLBOROUGH	MA 01752	88 ROUNDTOP RD
84	20			EATON CHERYL D		35 CLEARVIEW DR	MARLBOROUGH	MA 01752	35 CLEARVIEW DR
84	21			HEFFERNAN MYLES FRANCIS		27 CLEARVIEW DR	MARLBOROUGH	MA 01752	27 CLEARVIEW DR



**Abutters 18 & 24 Clearview Dr 500 ft  
MARLBOROUGH, MA**

Map	Block	Lot	Unit	Owner's Name	Co_Owner's Name	Address	City	ST Zip	Parcel Location
84	22			SIBILIO-WINN SUZANNE	KATHLEEN ANN WINN	183 PHELPS ST	MARLBOROUGH	MA 01752	183 PHELPS ST
84	23			KNIERIM JOHN J	SANDRA ANGELINE	189 PHELPS ST	MARLBOROUGH	MA 01752	189 PHELPS ST
84	24			HOULE VICKI M		197 PHELPS ST	MARLBOROUGH	MA 01752	197 PHELPS ST
84	25			MILTON ROY A	CHARLENE M MILTON	15 CLEARVIEW DR	MARLBOROUGH	MA 01752	15 CLEARVIEW DR
84	27			DEMERS ROBERT J	LINDA J DEMERS	10 BIRCHWOOD DR	MARLBOROUGH	MA 01752	10 BIRCHWOOD DR
84	29			NEWBOULD PATRICIA A		20 BIRCHWOOD DR	MARLBOROUGH	MA 01752	20 BIRCHWOOD DR
84	30			PYNN BRAD Q	PAMELA L PYNN	14 CLEARVIEW DR	MARLBOROUGH	MA 01752	14 CLEARVIEW DR
84	31			BARTHE DAWN	JUSTEN BARTHE	8 CLEARVIEW DR	MARLBOROUGH	MA 01752	8 CLEARVIEW DR
84	33			WILCOX RICHARD L III	ELISANGELA F WILCOX	418 FARM RD	MARLBOROUGH	MA 01752	418 FARM RD
84	34			WALDRON BRIAN T	LISA MARTINO	26 BIRCHWOOD DR	MARLBOROUGH	MA 01752	26 BIRCHWOOD DR
84	35			EDWARDS JODI L	CHRISTOPHER A FORRANT	34 BIRCHWOOD DR	MARLBOROUGH	MA 01752	34 BIRCHWOOD DR
84	36			BEER ERNEST K S LI EST		42 BIRCHWOOD DR	MARLBOROUGH	MA 01752	42 BIRCHWOOD DR
84	37			MINNUCI WILLIAM H	RUTH E MINNUCI	41 BIRCHWOOD DR	MARLBOROUGH	MA 01752	41 BIRCHWOOD DR
84	38			GAUDET PAUL R JR	VERONICA C GAUDET	33 BIRCHWOOD DR	MARLBOROUGH	MA 01752	33 BIRCHWOOD DR
84	39			SILVA STENIO P		25 BIRCHWOOD DR	MARLBOROUGH	MA 01752	25 BIRCHWOOD DR
84	40			STEPHEN DALVA		19 BIRCHWOOD DR	MARLBOROUGH	MA 01752	19 BIRCHWOOD DR
84	41			CURLEY JOSEPH R	DIANNE M CURLEY	69 SUNSHINE DR	MARLBOROUGH	MA 01752	69 SUNSHINE DR
84	42			WALSH M JANE		61 SUNSHINE DR	MARLBOROUGH	MA 01752	61 SUNSHINE DR
84	43			MARTIN JANE E	THOMAS E MARTIN	53 SUNSHINE DR	MARLBOROUGH	MA 01752	53 SUNSHINE DR
84	44			TIIVAN PAUL A	COACHE PATRICE	47 SUNSHINE DR	MARLBOROUGH	MA 01752	47 SUNSHINE DR
84	45			CRONIN NORMAN D	LESLIE E IANNOTTA	37 SUNSHINE DR	MARLBOROUGH	MA 01752	37 SUNSHINE DR
84	55			SOARES ELIENE SILVA		385 FARM RD	MARLBOROUGH	MA 01752	385 FARM RD
84	56			HUGHES MICHAEL F		391 FARM RD	MARLBOROUGH	MA 01752	391 FARM RD
84	58			SAWIN CHERYL L	MARGARET KUZMICZ	20 DOVE RD	MARLBOROUGH	MA 01752	20 DOVE RD
84	67			CASTOLDI GINO	SANDRA CASTOLDI	3 FARMINGTON CIR	MARLBOROUGH	MA 01752	3 FARMINGTON CIR
84	103			LABRACHE RACHEL C TR	LABRACHE FAMILY TRUST	458 FARM RD	MARLBOROUGH	MA 01752	458 FARM RD
84	138			TODD DOUGLAS M JR	LAUREN L ROWE	86 ROBIN HOOD RD	MARLBOROUGH	MA 01752	86 ROBIN HOOD RD
84	139			DOMINGUES DUARTE	MARIA DOMINGUES	233 PHELPS ST	MARLBOROUGH	MA 01752	233 PHELPS ST
84	13A			GOLD BARBARA		65 ROUNDTOP RD	MARLBOROUGH	MA 01752	65 ROUNDTOP RD
84	140			EDWARDS LYNN	N/O ROBSON & LIVIA ANDRADE	225 PHELPS ST	MARLBOROUGH	MA 01752	225 PHELPS ST
84	141			JACKSON DEREK	LAUREN A JACKSON	219 PHELPS ST	MARLBOROUGH	MA 01752	219 PHELPS ST
84	144			BIGHAM JOAN M		392 FARM RD	MARLBOROUGH	MA 01752	392 FARM RD
84	145			VAN DOREN JEFF	KRISTEN VAN DOREN	33 BLAKE CIR	MARLBOROUGH	MA 01752	33 BLAKE CIR

**Abutters 18 & 24 Clearview Dr 500 ft  
MARLBOROUGH, MA**

Map	Block	Lot	Unit	Owner's Name	Co_Owner's Name	Address	City	ST Zip	Parcel Location
84	14A			GRANT RICHARD J	BERNADETTE C GRANT	71 ROUNDTOP RD	MARLBOROUGH	MA 01752	71 ROUNDTOP RD
84	151			CHAVES CRYSTAL	PHILIP DOHERTY	24 BLAKE CIR	MARLBOROUGH	MA 01752	24 BLAKE CIR
84	152			NELAKANTAM SURESH	SANDHYA HEMAKUMAR	36 BLAKE CIR	MARLBOROUGH	MA 01752	36 BLAKE CIR
84	153			CARRILLO EMILIO F JR	SYLVIA CARRILLO	37 BLAKE CIR	MARLBOROUGH	MA 01752	37 BLAKE CIR
84	154			PATTON-BOWE ANTONESIO	STACIA PATTON-BOWE	27 BLAKE CIR	MARLBOROUGH	MA 01752	27 BLAKE CIR
84	15A			SATO NOBUO		75 ROUNDTOP RD	MARLBOROUGH	MA 01752	75 ROUNDTOP RD
84	16A			PEDREROS JOHN CHARLES	FRANCINE J PEDREROS	87 ROUNDTOP RD	MARLBOROUGH	MA 01752	87 ROUNDTOP RD
84	18A			OSTERHOUDT GAIL N		95 ROUNDTOP RD	MARLBOROUGH	MA 01752	95 ROUNDTOP RD
84	19A			LEFEVRE MATTHEW P	ANTOINETTE D LEFEVRE	81 SUNSHINE DR	MARLBOROUGH	MA 01752	81 SUNSHINE DR
84	57A			ETRE BARBARA A		36 DOVE RD	MARLBOROUGH	MA 01752	36 DOVE RD
84	57B			THIER VELVALE K	PETER F THIER	48 DOVE RD	MARLBOROUGH	MA 01752	48 DOVE RD
84	67A			GLEDHILL RICHARD O	JODY A GLEDHILL	129 PHEASANT HILL RD	MARLBOROUGH	MA 01752	129 PHEASANT HILL RD
84	103A			JUMONVILLE JAMES M	DEUSUITA JUMONVILLE HELEN JUMONVILL	232 PHELPS ST	MARLBOROUGH	MA 01752	232 PHELPS ST
84	103B			CURTIS BRIAN CHRISTOPHER	AMANDA LYNNE CURTIS	224 PHELPS ST	MARLBOROUGH	MA 01752	224 PHELPS ST
84	103C			HIMLE T WAYNE	SHERRI GREENSTEIN HIMLE	212 PHELPS ST	MARLBOROUGH	MA 01752	212 PHELPS ST

**CONNORSTONE ENGINEERING, INC.**

10 SOUTHWEST CUTOFF, SUITE #7  
NORTHBOROUGH, MASSACHUSETTS 01532  
TEL: (508) 393-9727 • FAX: (508) 393-5242

Marlborough Planning Board  
Marlborough City Hall  
140 Main Street  
Marlborough, Ma 01752

October 24, 2019

**RE: Commonwealth Heights Definitive Subdivision**

Dear Members of the Board:

Please find the enclosed Application, Plans, and submittal documents for the proposed Definitive Subdivision Application known as 'Commonwealth Heights.' The subdivision consists of twenty three lots and a 1,072-foot long cul-de-sac.

The project was previously approved by the Board in 2005, with a few extensions granted through the Board. The project was started and some of the work was completed including the off-site drainage and utility improvements; and the on-site stormwater detention basins. The construction process was halted and the site has sat idle for several years. The applicant is now looking to re-permit the project and complete the work. The plans currently submitted are essentially identical to those originally approved except for the following minor revisions:

- Vertical granite curbing has been added to the roadway cross section (previously shown as sloped granite).
- Update sewer connection at Ames Street per VHB plan to reflect the as-built layout.
- Increased drywell size to meet current stormwater standards. e/contact information

The original design documentation has also been included for review. The updated sections are noted in the table of contents. If you have any questions or comments concerning this application please feel free to contact our office at 508-393-9727.

Sincerely,  
Connorstone Engineering, Inc.

Vito Colonna, PE

c. City Clerk  
Board of Health



**APPENDIX C**  
(Amended 11/19/74)

**APPLICATION FOR APPROVAL OF DEFINITIVE PLAN**

File one completed form with the Planning Board and one copy  
with the City Clerk in accordance with the requirements of  
Section III-B.

Marlborough, Massachusetts

October 24, 2019, REVISED 11/12/2019

(Date)

To the Planning Board:

The undersigned herewith submits the accompanying Definitive Plan of property located in the City of Marlborough for approval as a subdivision under the requirements of the Subdivision Control Law and the Rules and Regulations governing the Subdivision of Land of the Planning Board of the City of Marlborough.

1. Name and Record Owner of Land: Marlborough / Northborough Land Realty Trust

Address: c/o The Gutierrez Company, 200 Summit Dr. (Amended 11/19/74)  
Suite 400, Burlington, MA 01803

2. Name of Subdivider: (SAME)

Address: \_\_\_\_\_

3. Name of Engineer: Connorstone Engineering, Inc.

Address: 10 Southwest Cutoff, Suite 7, Northborough, MA 01532

4. Deed of property recorded in Middlesex South Registry of

Deeds Book 31932 Page(s) 445

5. Location and description of property: \_\_\_\_\_

10.6 Acres located at the northeast corner of Ames Street & Forest Street

6. Date of completion of ways, public utilities, and other

facilities: October 2021

Signature of Owner

Arthur Gutierrez, Jr.  
Trustee

c/o The Gutierrez Co. 200 Summit Dr.  
Address of Owner Suite 400

Burlington, MA 01803

**PLANNING BOARD**

DATE 11-24-19 (revised)

AGENDA 11-18-19

ACTION \_\_\_\_\_

Pd: Check #12 \$2644

Check #13 \$100

Marlborough/Northborough Realty LLC

**APPENDIX D  
(Amended 7/18/00)**

**PETITION FOR APPROVAL OF FINAL PLAN**

Date: 11/7/2019

City Clerk  
City Hall  
Marlborough, MA 01752

The undersigned petitioner desires to subdivide a parcel of land and to open in the City of Marlborough, as described on plot, ways or street for access to all lots of land within the parcel. Said parcel of land is described as follows:

**10.6 Acres located at the northeast corner of Ames Street & Forest Street**

All as more particularly described and bounded on a plot or plan filed herewith and made a part of this petition. The following are all of the mortgages and other liens or encumbrances on the whole or any part of the described property:

None.

The undersigned hereby applies for the approval of said plan by the Planning Board. The undersigned hereby covenants and agrees with the City of Marlborough upon the approval of said plan:

- a. to complete the ways as finally approved by the Board within 2 (months or years) from the date hereof;
- b. to install utilities in accordance with the Rules and Regulations of the Planning Board, the Commissioner of Public Works, Board of Health, and all general as well as Zoning Ordinances of said City, as are applicable to the installation of utilities within the limits of ways or streets;
- c. to complete and construct the said streets or ways in accordance with Section II (General Requirements) and the approved plan, profile, and cross-sections of same. All to be in accordance with the specifications provided for in said Rules and Regulations of the Board. Said plans, profiles, cross-sections, and construction specifications are specifically, by reference, incorporated herein and made a part of this petition. This petition shall be binding upon all heirs, executors, administrators, successor, grantees of the whole or part, and assigns of the undersigned.

  
\_\_\_\_\_  
Authorized Signature of Applicant

**PLANNING BOARD**

DATE 11-12-19  
AGENDA 11-18-19  
ACTION \_\_\_\_\_



DEFINITIVE SUBDIVISION PLAN  
OF  
"COMMONWEALTH HEIGHTS"  
IN  
MARLBOROUGH, MASSACHUSETTS

REFERENCES:  
ASSESSORS MAP 100, LOTS 24-26  
MAP 89, LOTS 80-99  
DEED BOOK 1228, PAGE 149  
Plan No. 453 of 1961  
Plan No. 1549 of 1968  
Plan No. 527 of 1941  
Plan No. 1527 of 1986  
Plan No. 437 of 1976  
Plan No. 198 of 1997  
Plan No. 1544 of 1968  
Plan No. 511 of 1984  
Plan No. 455 of 1961  
Plan No. 1174 of 1995  
L.C. Plan 30702A  
Plan No. 549 of 2007  
Plan No. 550 of 2007

Middlesex South  
Registry of Deeds

SITE ADDRESS: OFF FOREST STREET

2019 PLAN NOTE:  
THE PURPOSE OF THIS PLAN IS FOR RE-PERMITTING/APPROVAL OF  
THE COMMONWEALTH HEIGHTS SUBDIVISION PREVIOUSLY APPROVED  
BY THE CITY OF MARLBOROUGH PLANNING BOARD IN MAY OF 2006.

THE PREVIOUS SUBDIVISION APPROVAL EXPIRED.

THIS PLAN SET WILL SUPERCEDE THE PREVIOUS SUBDIVISION PLANS  
RECORDED AS PLANS 549 & 550 OF 2007 IN THE MIDDLESEX SOUTH  
REGISTRY OF DEEDS.

APPROVAL UNDER THE  
SUBDIVISION CONTROL LAW,  
IS REQUIRED.

MARLBOROUGH PLANNING BOARD

DATE: \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAN  
WAS PREPARED IN CONFORMANCE WITH  
THE RULES AND REGULATIONS OF THE  
REGISTERS OF DEEDS.

VAROUJAM H. HAGOPIAN, P.L.S. 49665



I, \_\_\_\_\_, CLERK OF THE CITY OF MARLBOROUGH  
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD  
OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN  
FOR TWENTY (20) DAYS THEREAFTER.

ZONED: RESIDENCE A-3  
AREA = 12,500 sf  
FRONTAGE = 100 feet  
SETBACKS: FRONT = 20 feet  
SIDE = 15 feet  
REAR = 30 feet

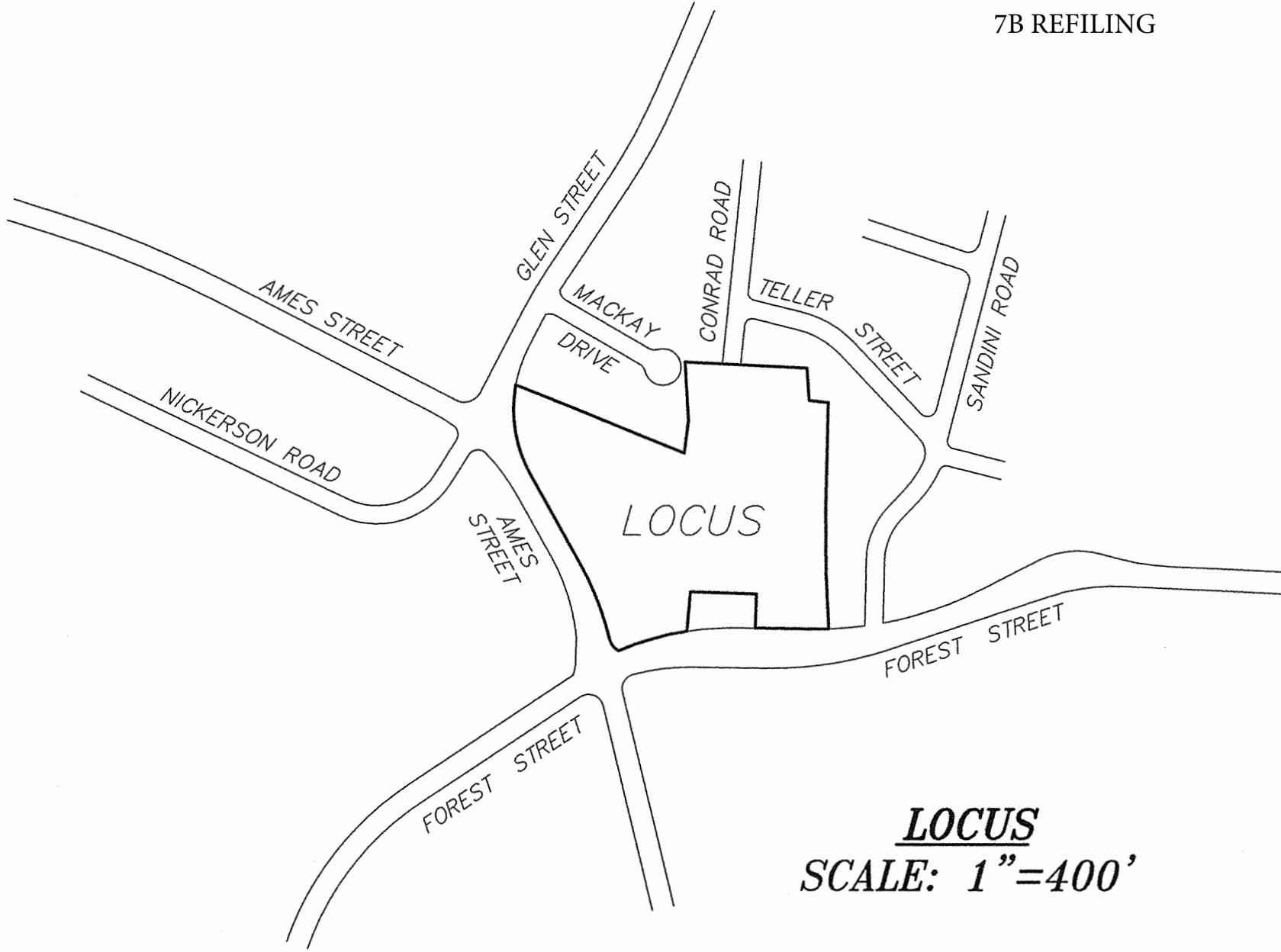
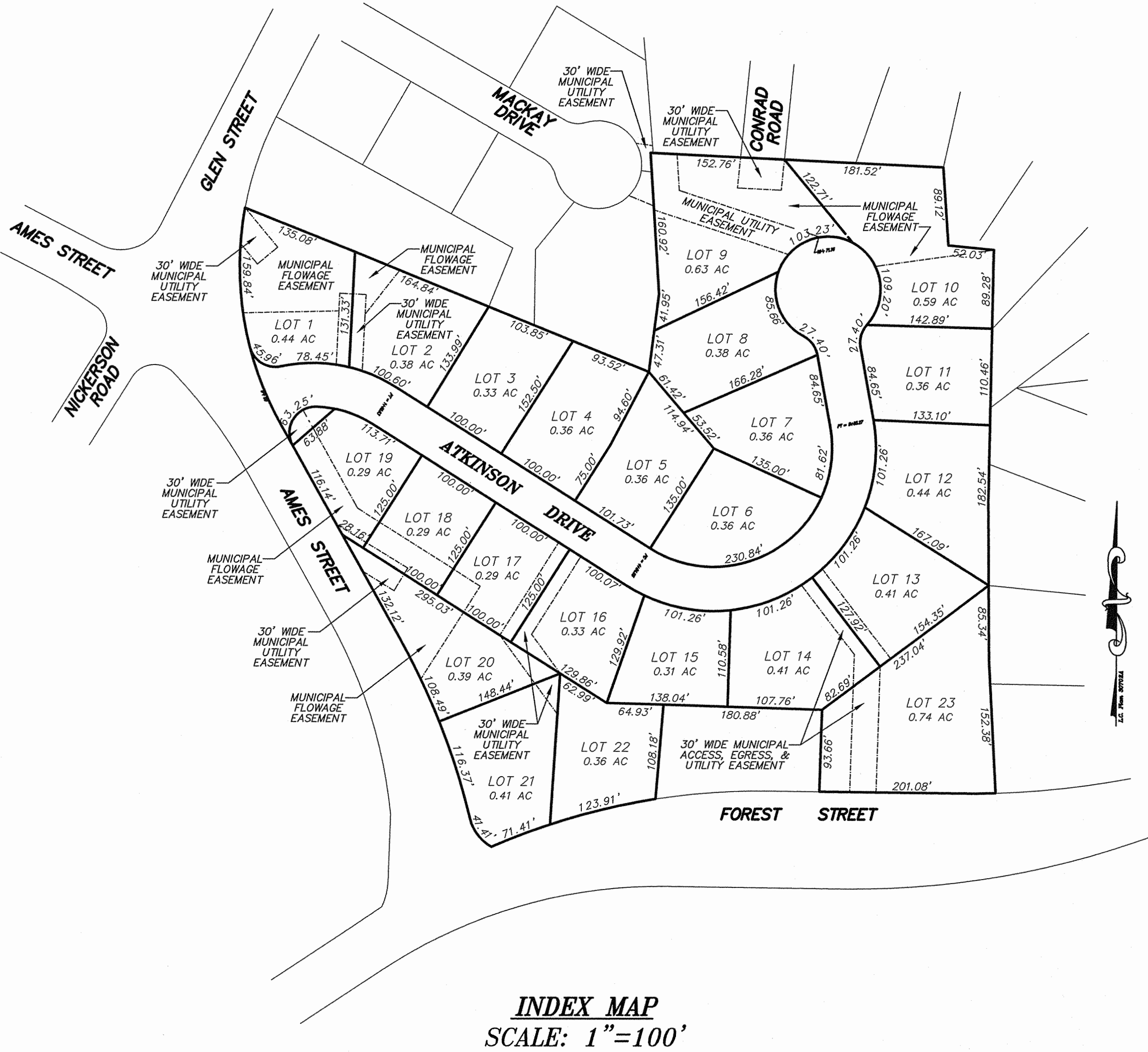


CONNORSTONE  
CONSULTING CIVIL ENGINEERS  
AND  
LAND SURVEYORS  
10 SOUTHWEST CUTOFF, SUITE 7  
NORTHBOROUGH, MASSACHUSETTS 01532  
PH. (508) 393 9727 FAX (508) 393 5242

DESIGNED BY: REM,TDP  
CHECKED BY: VHH  
COMPUTED BY: VHH  
FIELD SURVEY: BKK,VHH  
DRAWN BY: VHH  
SCALE: 1"=40'  
SHEET 1 OF 2

DEFINITIVE PLAN  
PLAN OF LAND  
OF  
COMMONWEALTH HEIGHTS  
IN  
MARLBOROUGH, MA.

REVISIONS  
OCTOBER 24, 2019



PLAN SUMMARY	
DESCRIPTION	SHEET
LOCUS / INDEX PLAN	1
PLAN OF LAND	2
CONSTRUCTION DRAWINGS	1-9

SITE SUMMARY  
TOTAL AREA = 10.60± Acres  
TOTAL LOT AREA = 9.23± Acres  
ROADWAY AREA = 1.37± Acres  
ROADWAY LENGTH = 1,071.16 Feet  
TOTAL LOTS = 23

OWNER  
MARLBOROUGH / NORTHBOROUGH  
LAND REALTY TRUST  
1 WALL STREET  
BURLINGTON, MA 01803  
PHONE: (781) 272 7000  
FAX: (781) 272 3130

SUBDIVIDER  
COMMONWEALTH HEIGHTS, LLC  
128 WEST MAIN STREET  
WILMINGTON, MA 01887  
PHONE: (978) 988 8060  
FAX: (978) 988 0181



PROJECT SUMMARY

1. TOTAL AREA OF ORIGINAL TRACT SHOWN ON THIS PLAN = 461,938 S.F.  
A. AREA IN LOTS 1-23 AND PARCEL "A" = 402,267 S.F.  
B. AREA IN STREET = 59,671 S.F.  
C. AREA IN EASEMENTS = 76,536 S.F.  
D. AREA RESERVED FOR PARKS, SCHOOLS, ETC. = 0 S.F.  
TOTAL AREA OF SUBDIVISION = 461,938 S.F.
2. STREETS:  
A. ROAD STA. 0+00 TO STA. 10+71.16 = 1071.16 L.F.
3. EASEMENTS:  
A. UTILITY EASEMENTS = 68,382 S.F.  
B. ACCESS, EGRESS, & UTILITY EASEMENTS = 8,154 S.F.

REFERENCES:  
ASSESSORS MAP 100, LOTS 24-26  
MAP 89, LOTS 80-99  
DEED BOOK 1228, PAGE 149

SITE ADDRESS: OFF FOREST STREET

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Plan No. 1549 of 1968  
Plan No. 527 of 1941  
Plan No. 1527 of 1986  
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Plan No. 511 of 1984  
Plan No. 455 of 1961  
Plan No. 1174 of 1995  
L.C. Plan 30702A  
Plan No. 549 of 2007  
Plan No. 550 of 2007

Middlesex South  
Registry of Deeds

APPROVAL UNDER THE  
SUBDIVISION CONTROL LAW,  
IS REQUIRED.

MARLBOROUGH PLANNING BOARD

DATE: \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAN  
WAS PREPARED IN CONFORMANCE WITH  
THE RULES AND REGULATIONS OF THE  
REGISTERS OF DEEDS.

VAROUJAN H. HAGOPIAN, P.L.S. 49665

I, \_\_\_\_\_, CLERK OF THE CITY OF MARLBOROUGH  
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD  
OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN  
FOR TWENTY (20) DAYS THEREAFTER.

DEFINITIVE PLAN

PLAN OF LAND  
OF  
COMMONWEALTH HEIGHTS  
IN  
MARLBOROUGH, MA.

**CONNORSTONE**  
CONSULTING CIVIL ENGINEERS  
AND  
LAND SURVEYORS  
10 SOUTHWEST CUTOFF, SUITE 7  
NORTHBOROUGH, MASSACHUSETTS 01532  
PH. (508) 393 9727 FAX (508) 393 5242



REVISIONS		
OCTOBER 24, 2019		
DESIGNED BY: REM,TDP		
CHECKED BY: VHH		
COMPUTED BY: VHH		
FIELD SURVEY: BKK,VHH		
DRAWN BY: VHH		
SCALE: 1"=40'		
SHEET 2 OF 2		

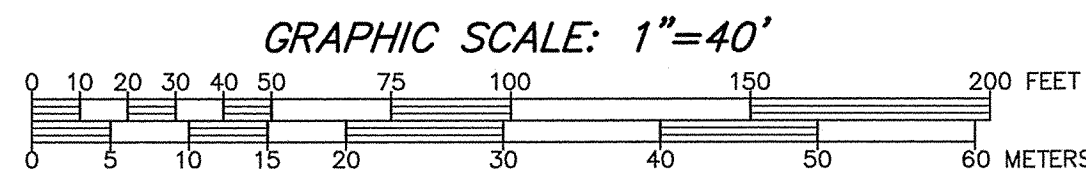
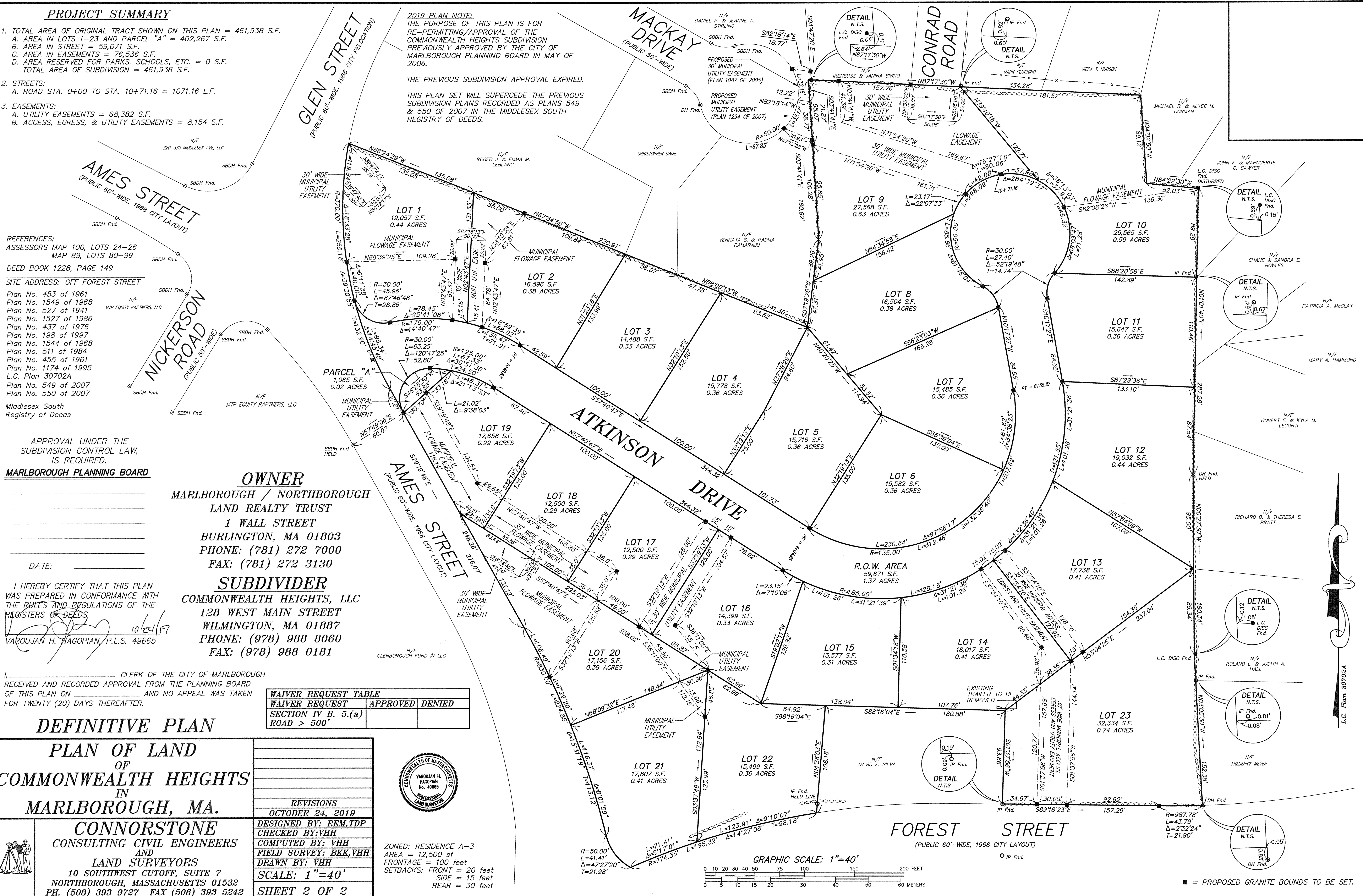


ZONED: RESIDENCE A-3  
AREA = 12,500 sf  
FRONTAGE = 100 feet  
SETBACKS: FRONT = 20 feet  
SIDE = 15 feet  
REAR = 30 feet

2019 PLAN NOTE:  
THE PURPOSE OF THIS PLAN IS FOR  
RE-PERMITTING/APPROVAL OF THE  
COMMONWEALTH HEIGHTS SUBDIVISION  
PREVIOUSLY APPROVED BY THE CITY OF  
MARLBOROUGH PLANNING BOARD IN MAY OF  
2006.

THE PREVIOUS SUBDIVISION APPROVAL EXPIRED.

THIS PLAN SET WILL SUPERCEDE THE PREVIOUS  
SUBDIVISION PLANS RECORDED AS PLANS 549  
& 550 OF 2007 IN THE MIDDLESEX SOUTH  
REGISTRY OF DEEDS.



■ = PROPOSED GRANITE BOUNDS TO BE SET.



ZONE: RESIDENCE A-3  
AREA = 12,500 sf  
FRONTAGE = 100 feet  
SETBACKS: FRONT = 20 feet  
SIDE = 15 feet  
REAR = 30 feet

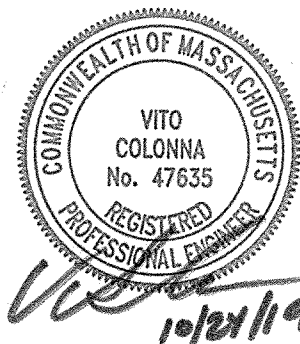
UTILITIES LEGEND  
UNDERDRAIN  
CABLE/UTILITIES  
GAS LINE  
SEWER LINE  
WATER LINE  
DRAIN LINE

LEGEND  
FLARED END  
PROPOSED DCB  
PROPOSED DMH  
UTILITY POLE  
WET FLAG #  
STONE WALL  
FINISH GRADE  
2' CONTOUR  
10' CONTOUR  
TREE LINE  
EXISTING DMH  
EXISTING DCB  
EXISTING SMH  
S/S=SEWER SERVICE  
W/S=WATER SERVICE  
C/U=CABLE UTILITIES  
W/S=WATER SERVICE  
G=GAS MAIN

APPROVAL UNDER THE  
SUBDIVISION CONTROL LAW,  
IS REQUIRED.

MARLBOROUGH PLANNING BOARD

DATE:



## OWNER

MARLBOROUGH / NORTHBOROUGH  
LAND REALTY TRUST

1 WALL STREET  
BURLINGTON, MA. 01803  
(781) 272-7000  
(781) 272-3130

## SUBDIVIDER

COMMONWEALTH HEIGHTS, LLC  
128 WEST MAIN STREET  
WILMINGTON, MA. 01887  
(978) 988-8060  
(978) 988-0181

## TOPOGRAPHICAL PLAN OF COMMONWEALTH HEIGHTS IN MARLBOROUGH, MA.

## CONNORSTONE

CONSULTING CIVIL ENGINEERS  
AND

LAND SURVEYORS  
10 SOUTHWEST CUTOFF, SUITE 7  
NORTHBOROUGH, MASSACHUSETTS 01532  
TEL: (508) 393-9727 FAX: (508) 393-5242

DESIGNED BY: REM,TDP

CHECKED BY: VC

COMPUTED BY: VHH

FIELD SURVEY: BKK

DRAWN BY: REM, VHH

SCALE: 1" = 40'

SHEET 1 OF 10

REVISIONS  
OCTOBER 24, 2019

NOTE:  
GEOTECHNICAL ENGINEER SHALL INSPECT  
AND CERTIFY THE CONSTRUCTION OF  
THE DETENTION BASIN IN ACCORDANCE  
WITH THE REQUIREMENTS OF THE MARLBORO DPW.

FOR REQUIRED MONUMENTATION, SEE PLAN OF LAND, SHEET  
2 OF 2, COMMONWEALTH HEIGHTS, DATED JUNE 6, 2005.

MILLING AND RESURFACING OF AMES STREET REQUIRED  
WITHIN 25 FEET OF ALL PAVEMENT CUTS. PAVEMENT  
MARKINGS SHALL BE REPLACED IN ACCORDANCE WITH THE  
MASSHIGHWAY STANDARD SPECIFICATIONS.

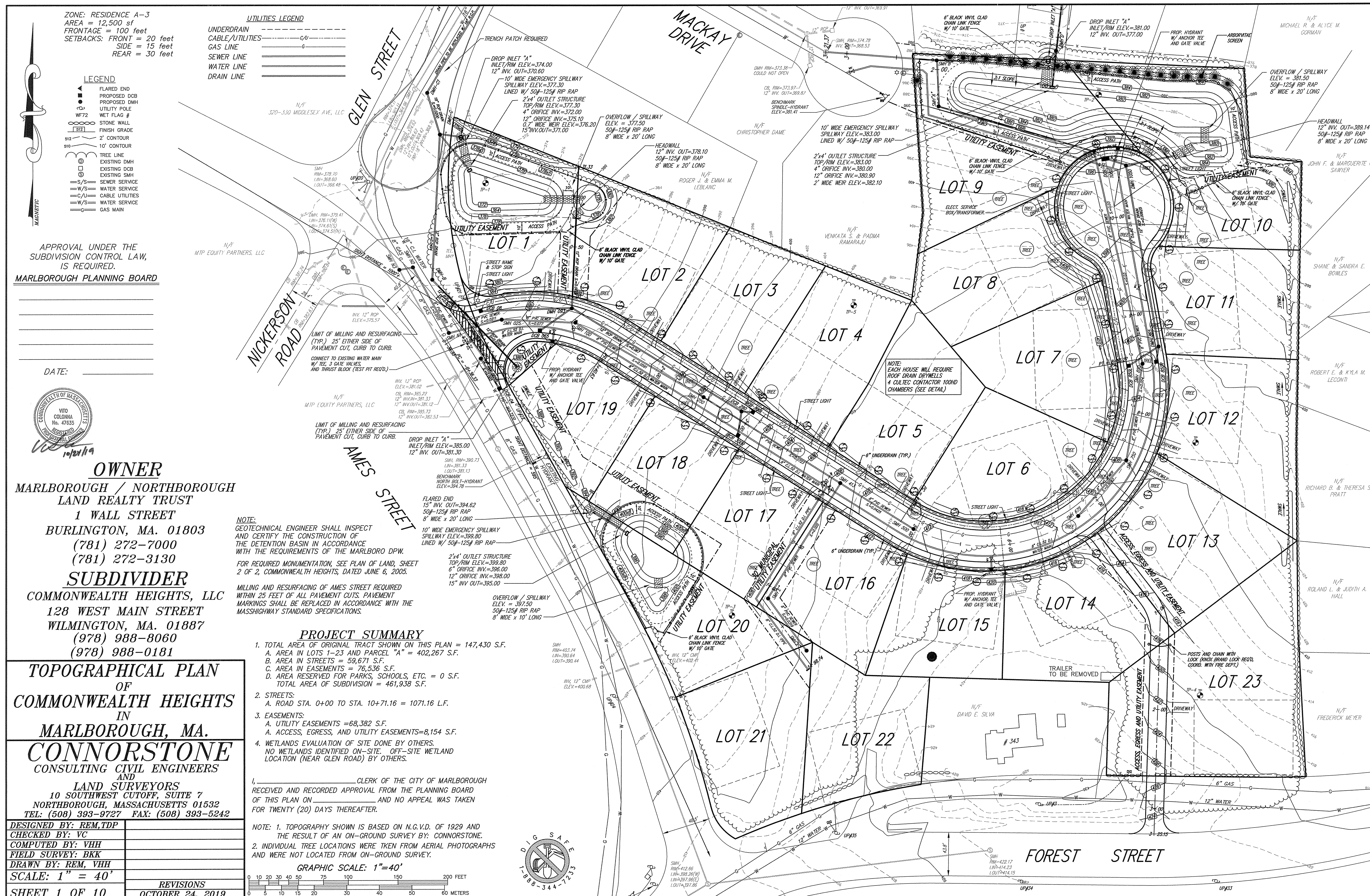
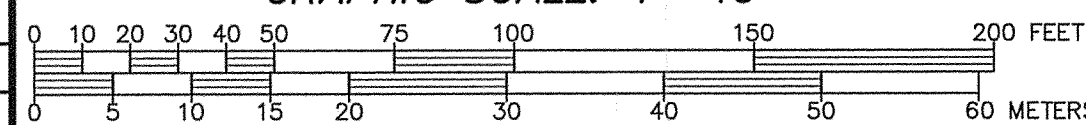
### PROJECT SUMMARY

- TOTAL AREA OF ORIGINAL TRACT SHOWN ON THIS PLAN = 147,430 S.F.  
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B. AREA IN STREETS = 59,671 S.F.  
C. AREA IN EASEMENTS = 76,536 S.F.  
D. AREA RESERVED FOR PARKS, SCHOOLS, ETC. = 0 S.F.  
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A. ROAD STA. 0+00 TO STA. 10+71.16 = 1071.16 L.F.
- EASEMENTS:  
A. UTILITY EASEMENTS = 68,382 S.F.  
A. ACCESS, EGRESS, AND UTILITY EASEMENTS = 8,154 S.F.
- WETLANDS EVALUATION OF SITE DONE BY OTHERS.  
NO WETLANDS IDENTIFIED ON-SITE. OFF-SITE WETLAND  
LOCATION (NEAR GLEN ROAD) BY OTHERS.

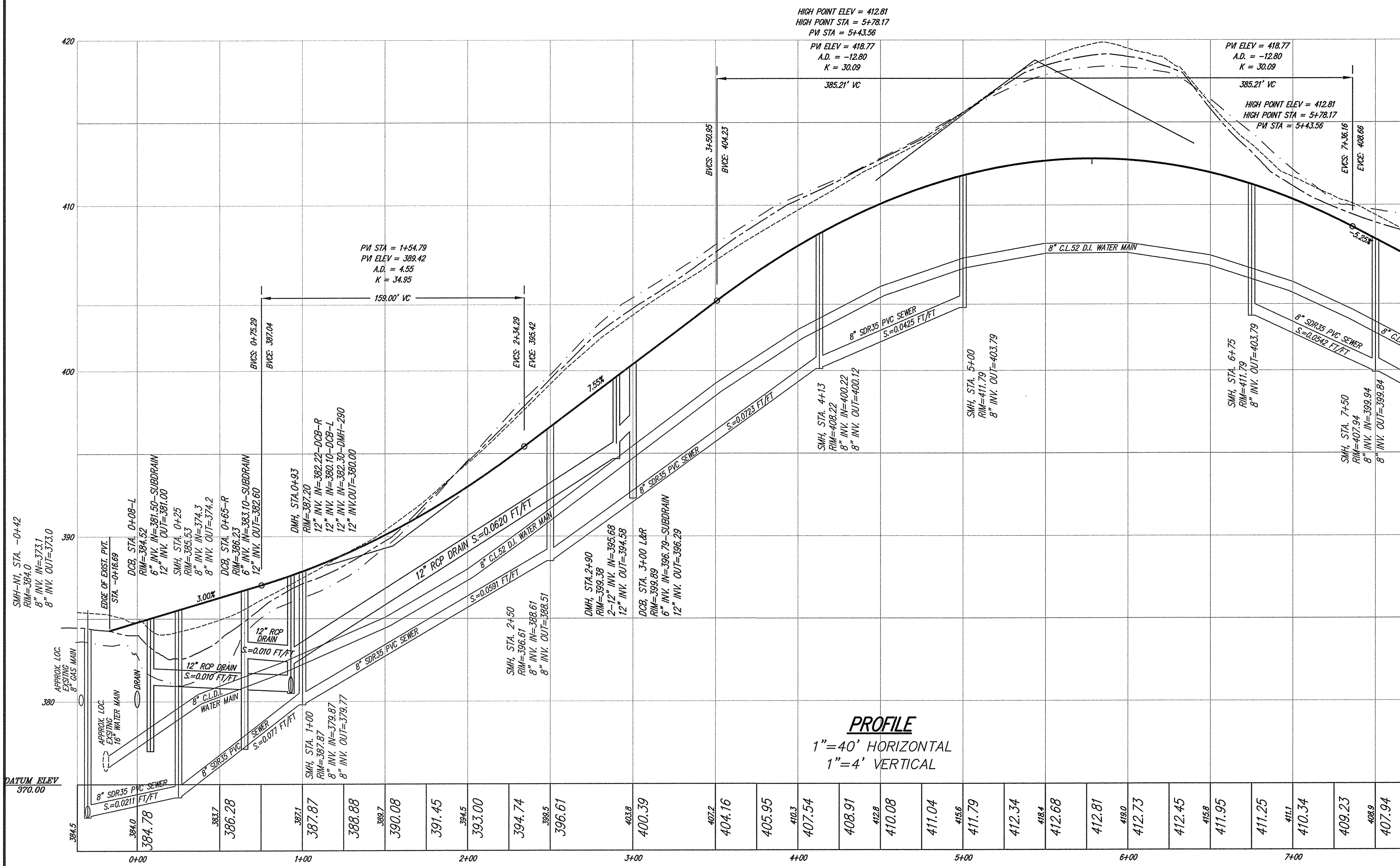
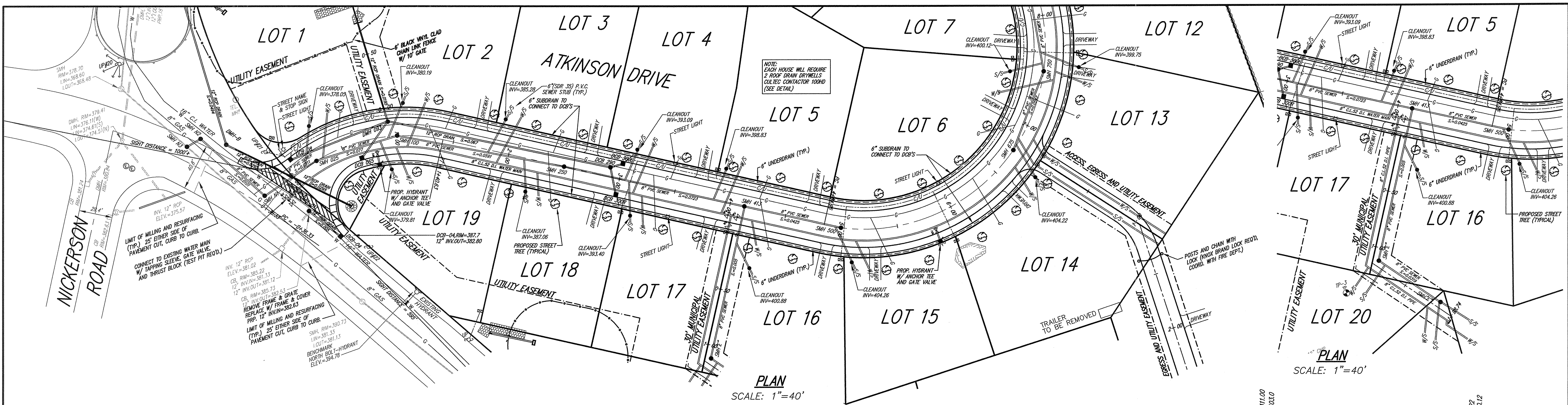
I, \_\_\_\_\_ CLERK OF THE CITY OF MARLBOROUGH  
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OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN  
FOR TWENTY (20) DAYS THEREAFTER.

NOTE: 1. TOPOGRAPHY SHOWN IS BASED ON N.G.V.D. OF 1929 AND  
THE RESULT OF AN ON-GROUND SURVEY BY: CONNORSTONE.  
2. INDIVIDUAL TREE LOCATIONS WERE TAKEN FROM AERIAL PHOTOGRAPHS  
AND WERE NOT LOCATED FROM ON-GROUND SURVEY.

GRAPHIC SCALE: 1"=40'







NOTE:  
CONTROLLED DENSITY FILL (CDF) SHALL  
BE REQUIRED FOR ALL TRENCH WORK AND/OR  
EXCAVATED AREAS LOCATED IN THE  
RIGHT-OF-WAY LAYOUT OF AMES STREET.

**UTILITIES LEGEND**

UNDERDRAIN	---
CABLE/UTILITIES	---
GAS LINE	---
SEWER LINE	---
WATER LINE	---
DRAIN LINE	---

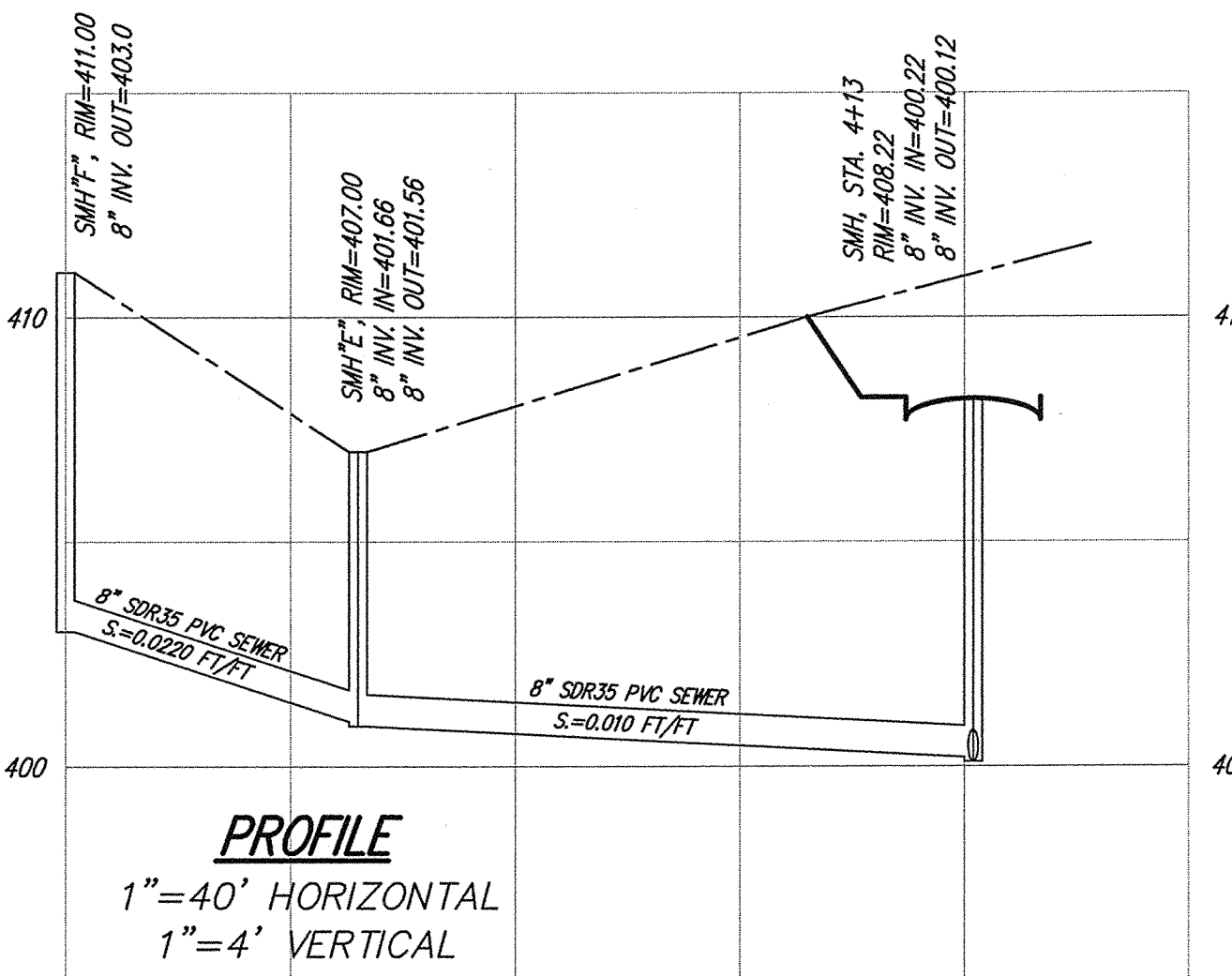
APPROVAL UNDER THE  
SUBDIVISION CONTROL LAW,  
IS REQUIRED.  
**MARLBOROUGH PLANNING BOARD**

DATE: \_\_\_\_\_

**OWNER**  
**MARLBOROUGH / NORTHBOROUGH**  
**LAND REALTY TRUST**  
**1 WALL STREET**  
**BURLINGTON, MA. 01803**  
**(781) 272-7000**  
**(781) 272-3130**  
**SUBDIVIDER**  
**COMMONWEALTH HEIGHTS, LLC**  
**128 WEST MAIN STREET**  
**WILMINGTON, MA. 01887**  
**(978) 988-8060**  
**(978) 988-0181**

I, \_\_\_\_\_, CLERK OF THE CITY OF MARLBOROUGH  
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD  
OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN  
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NOTE: TOPOGRAPHY SHOWN IS BASED ON N.G.V.D. OF 1929 AND  
THE RESULT OF AN ON-GROUND SURVEY BY: CONNORSTONE.



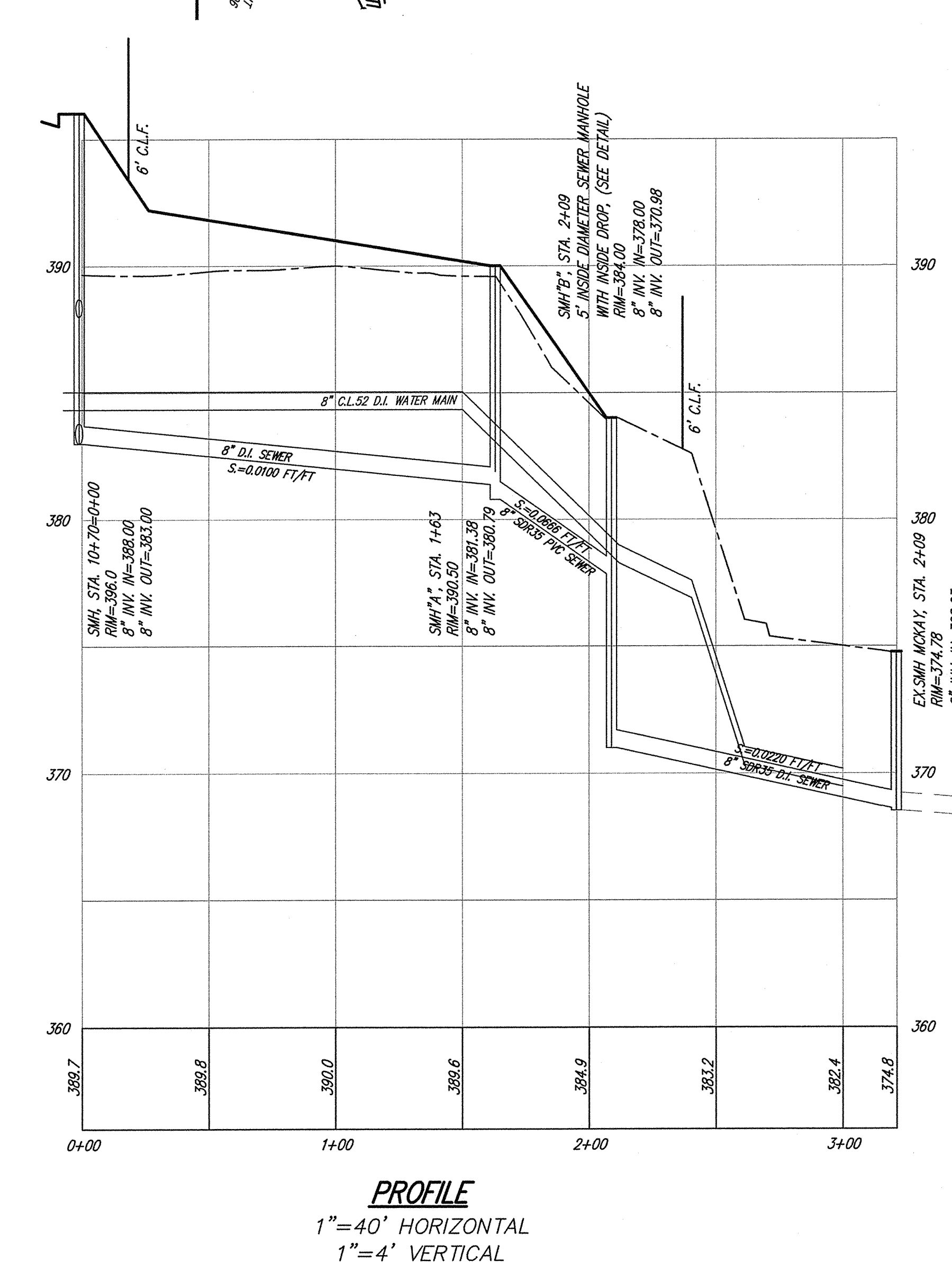
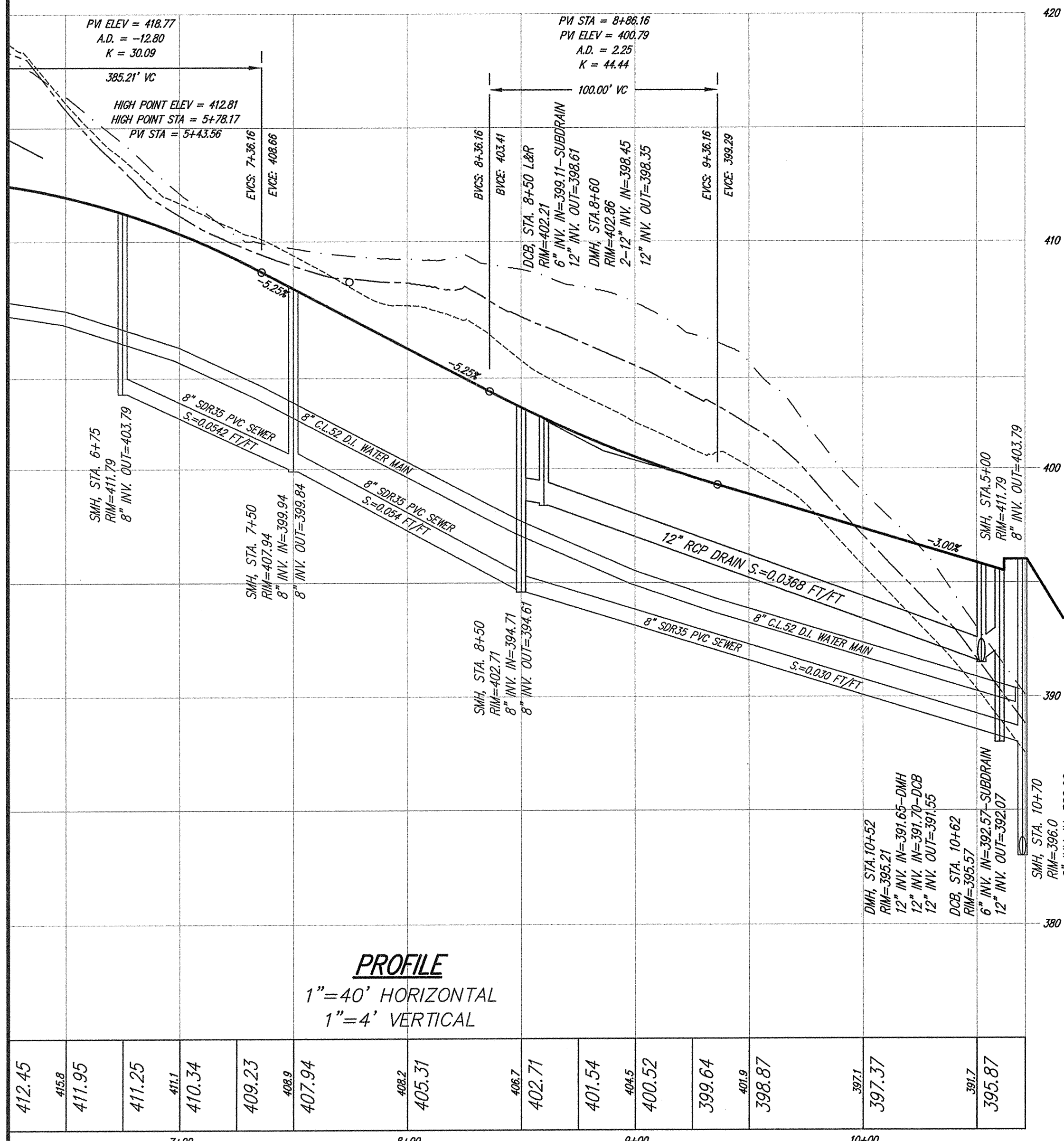
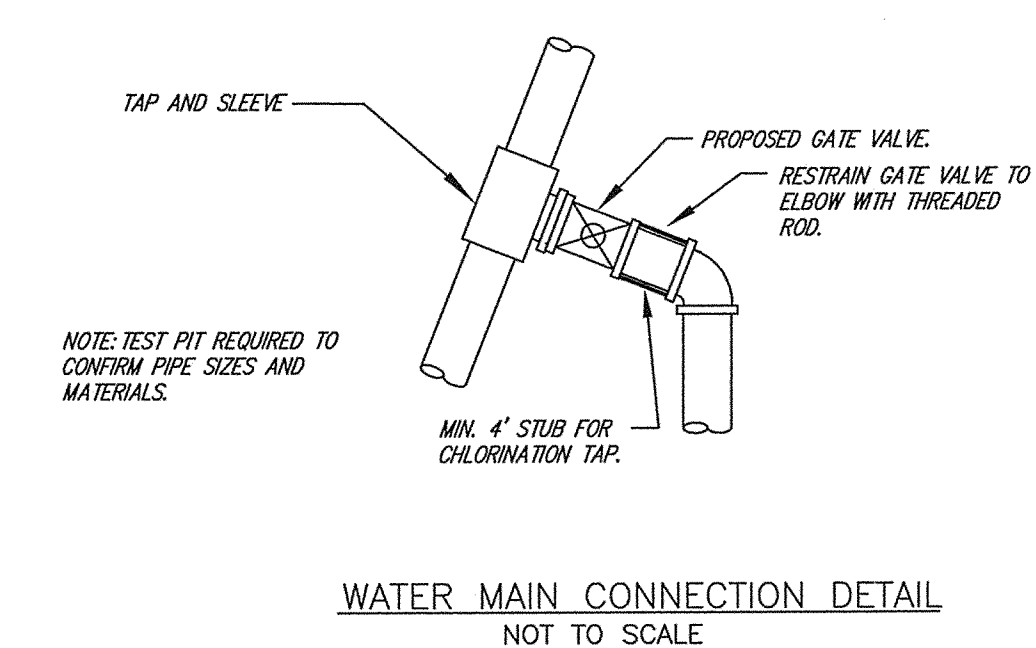
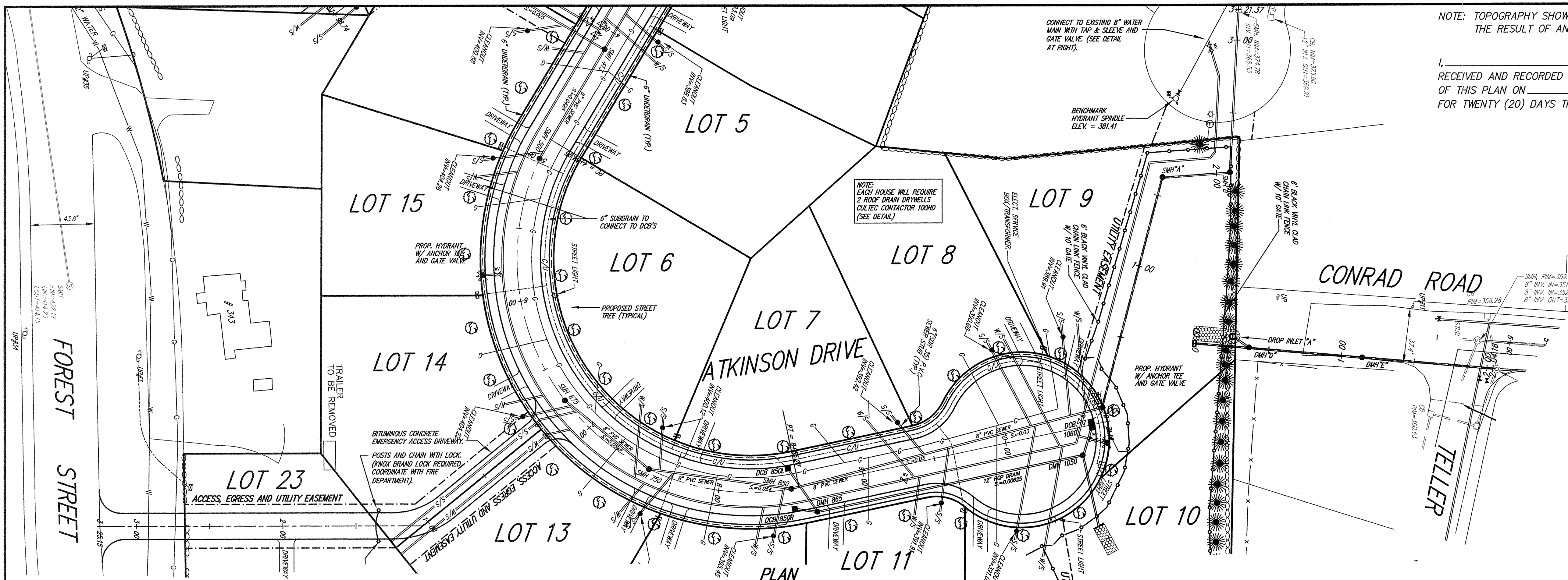
NOTE: CONNORSTONE DOES NOT WARRANT THE  
LOCATION OR CHARACTERISTICS OF UNDERGROUND  
UTILITIES OR OTHER SUBSURFACE CONDITIONS.



**PLAN AND PROFILE**  
**OF**  
**ATKINSON DRIVE**  
**IN**  
**MARLBOROUGH, MA.**  
**CONNORSTONE**  
**CONSULTING CIVIL ENGINEERS**  
**AND**  
**LAND SURVEYORS**  
**10 SOUTHWEST CUTOFF, SUITE 7**  
**NORTHBOROUGH, MASSACHUSETTS 01532**  
**TEL: (508) 393-9727 FAX: (508) 393-5242**

DESIGNED BY: REM, TDP	
CHECKED BY: VC	
COMPUTED BY: VHH	
FIELD SURVEY: BKK	
DRAWN BY: REM, VHH	
SCALE: AS SHOWN	
REVISIONS	
SHEET 2 OF 10	OCTOBER 24, 2019





**OWNER**  
MARLBOROUGH / NORTHBOROUGH  
LAND REALTY TRUST  
1 WALL STREET  
BURLINGTON, MA. 01803  
(781) 272-7000  
(781) 272-3130

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128 WEST MAIN STREET  
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**PLAN AND PROFILE**  
OF  
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DESIGNED BY: REM, TDP	
CHECKED BY: VC	
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FIELD SURVEY: BKK	
DRAWN BY: REM, VHH	
SCALE: AS SHOWN	
SHEET 3 OF 10	REVISIONS OCTOBER 24, 2019

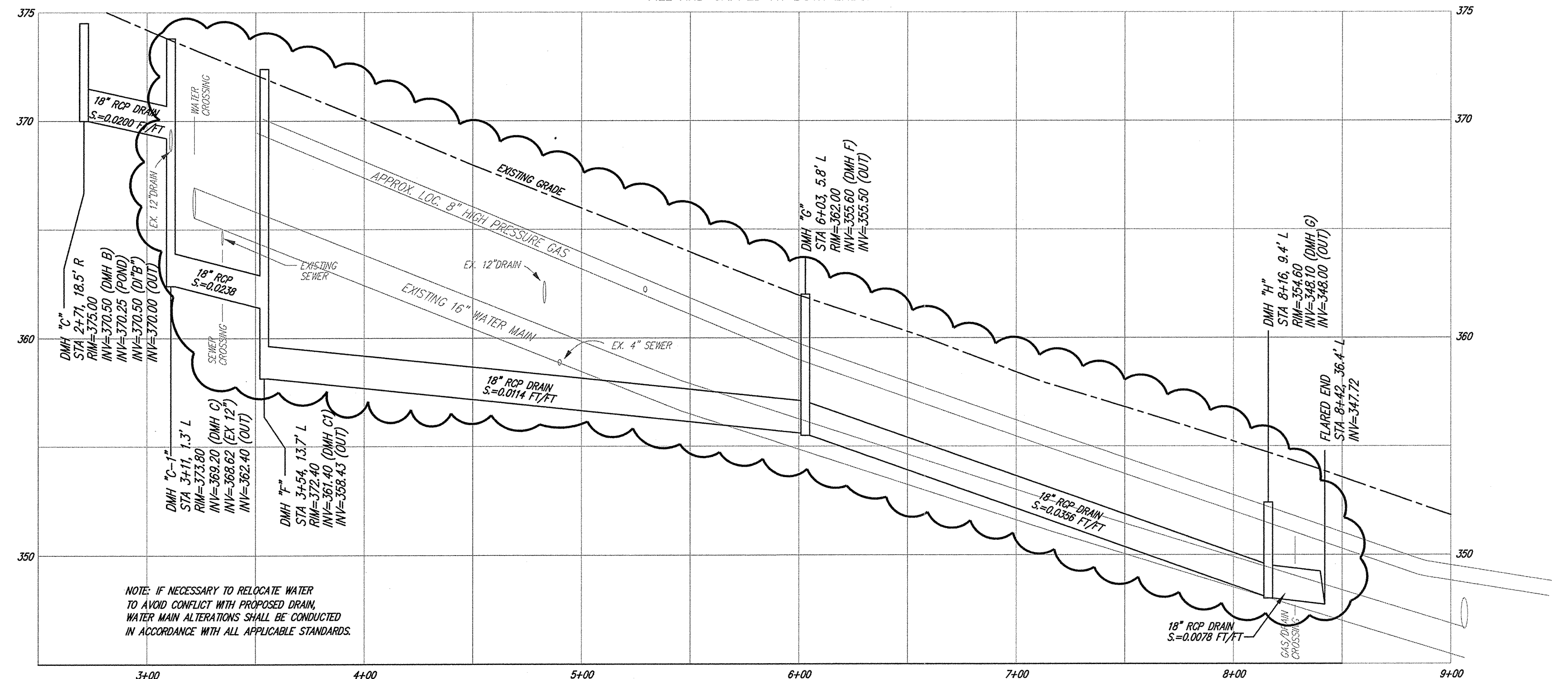
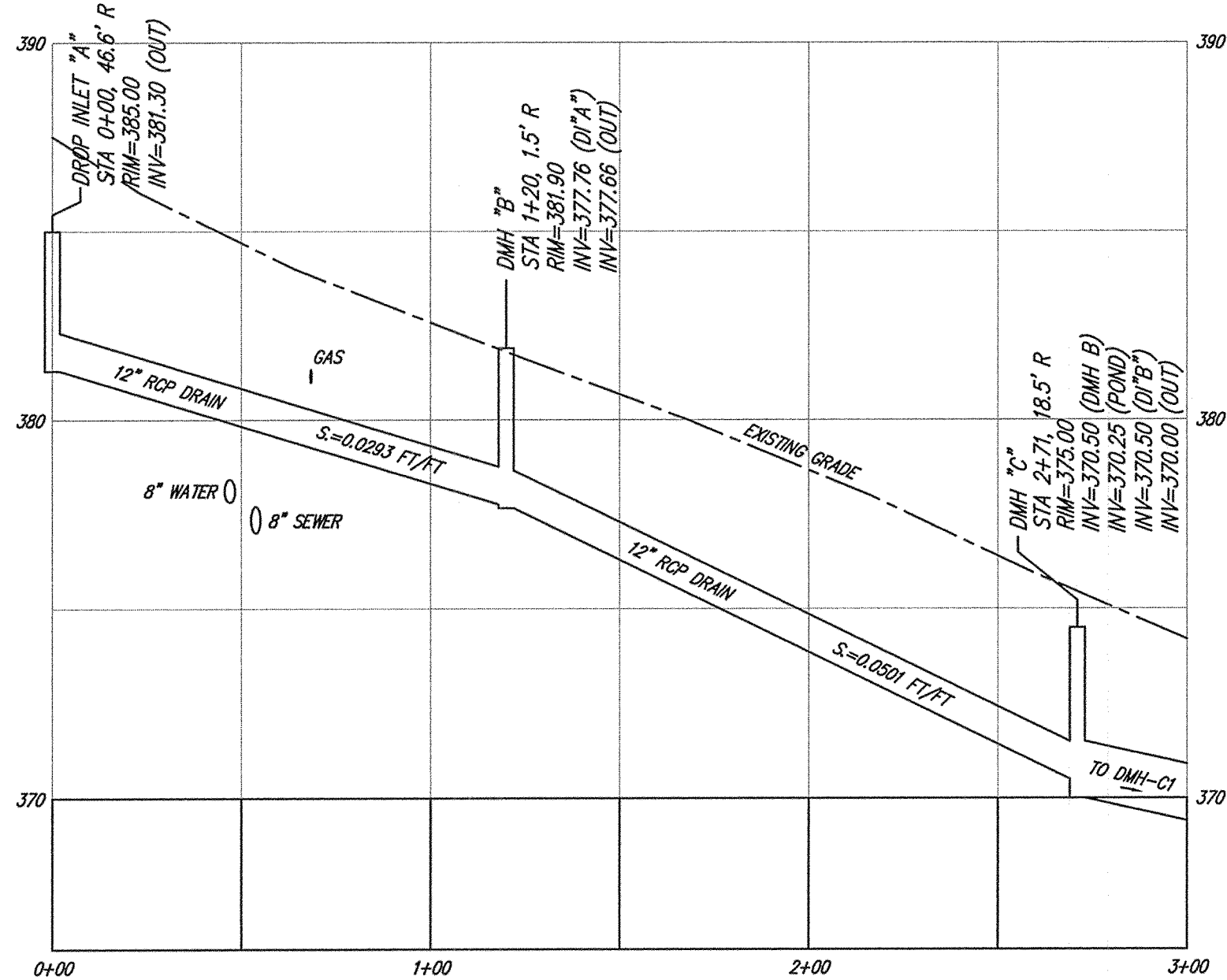
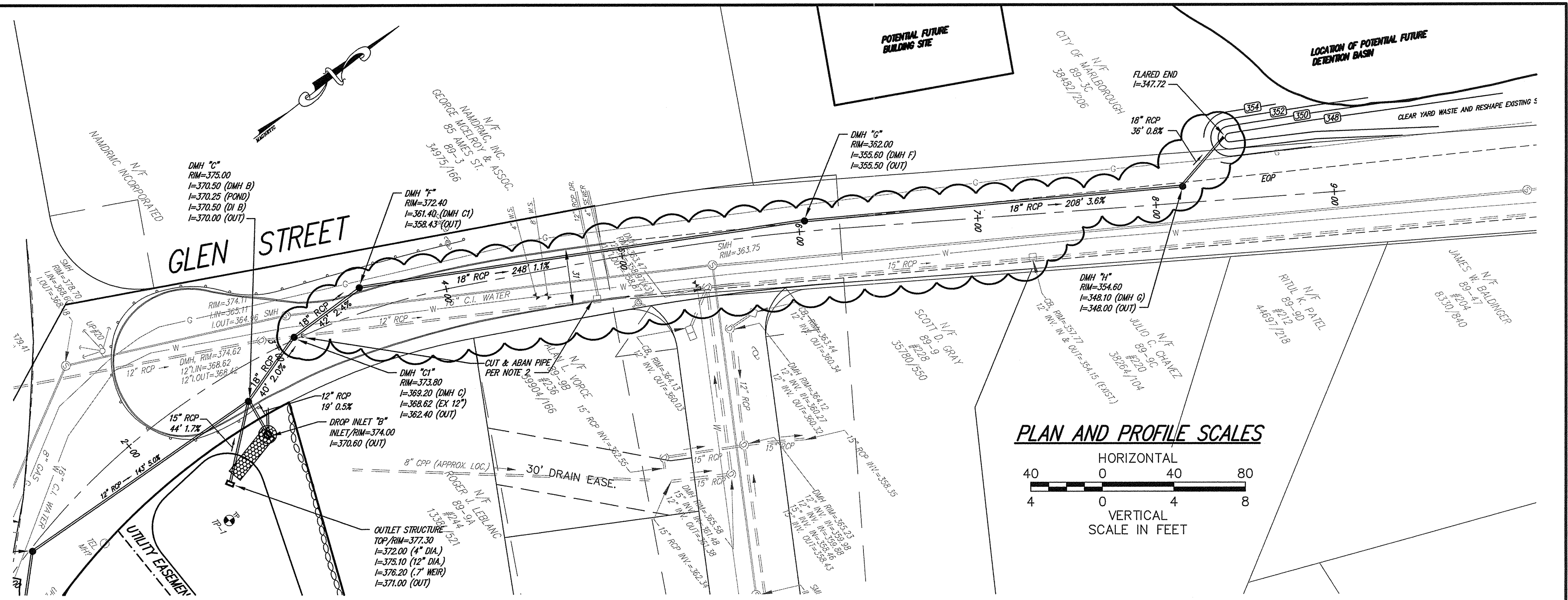
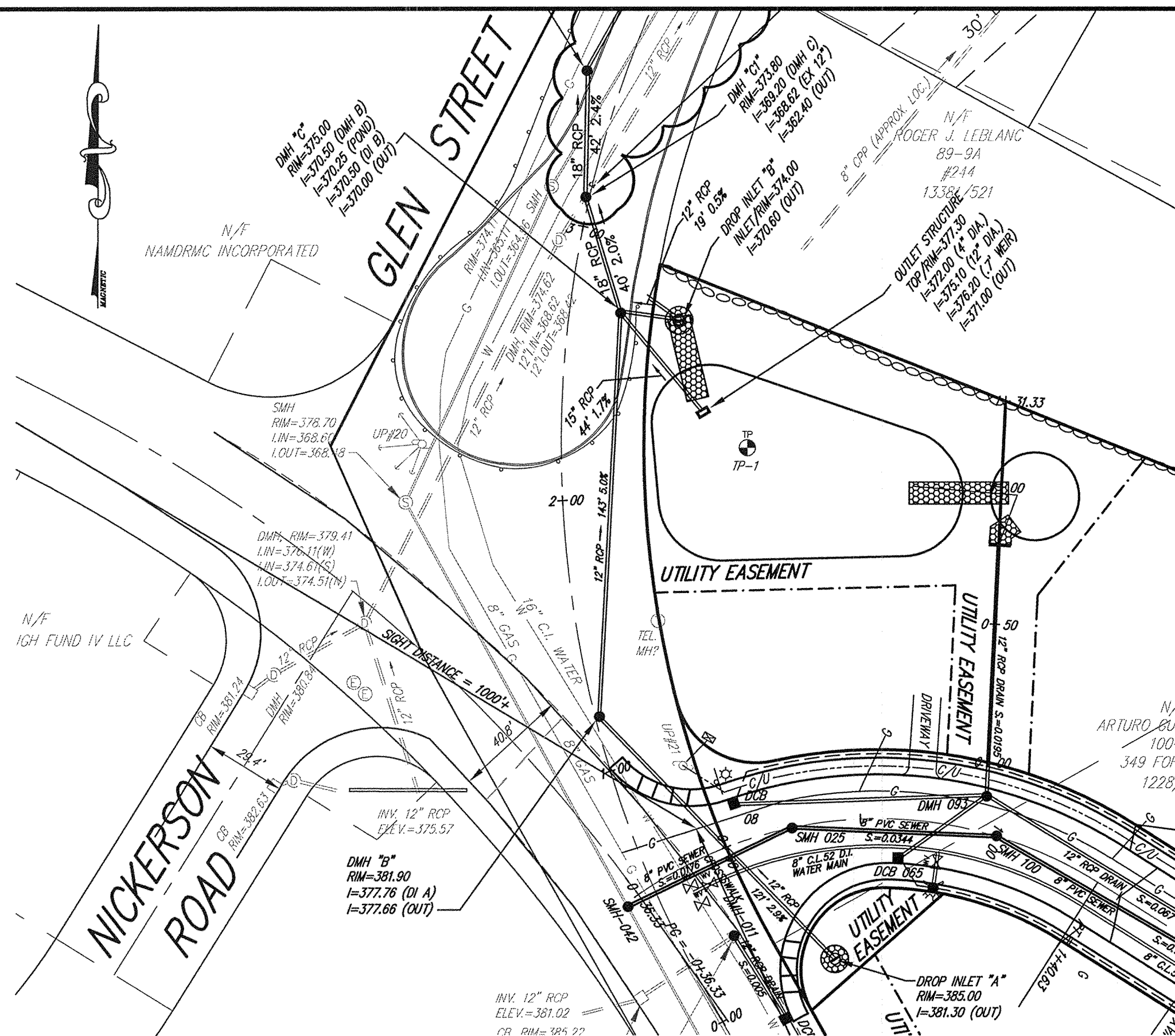


NOTE: SURVEY PERFORMED BY CONNORSTONE ENGINEERING IN FEBRUARY AND MARCH, 2005.

NOTE: CONNORSTONE DOES NOT WARRANT THE LOCATION OR CHARACTERISTICS OF UNDERGROUND UTILITIES OR OTHER SUBSURFACE CONDITIONS.





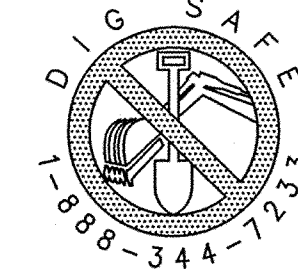


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**WILMINGTON, MA. 01887**  
**(978) 988-8060**  
**FAX (978) 988-0181**

NOTE: CONNORSTONE DOES NOT WARRANT THE LOCATION OR CHARACTERISTICS OF UNDERGROUND UTILITIES OR OTHER SUBSURFACE CONDITIONS.

- NOTES:**
- 1) TOPOGRAPHY SHOWN IS BASED ON N.G.V.D. OF 1929 AND THE RESULT OF AN ON-GROUND SURVEY BY CONNORSTONE AND FROM PLANS OF RECORD.
  - 2) PIPES TO BE ABANDONED SHALL BE FILLED WITH CONTROLLED DENSITY FILL AND PLUGGED AT BOTH THE UPSTREAM AND DOWNSTREAM ENDS WITH CONCRETE OR BRICK MASONRY.
  - 3) ALL PROPOSED TRENCHES SHALL BE SAWCUT IN NEAT, STRAIGHT LINES PRIOR TO EXCAVATION. ALL TRENCHES SHALL BE BACKFILLED AND RESURFACED TO MEET AND MATCH EXISTING GRADES.
  - 4) EACH PORTION OF DRAIN PIPE INSTALLATION SHALL BE INSTALLED WORKING FROM THE DOWNSTREAM END AND WORKING BACK TOWARDS THE SITE.
  - 5) THE CONTRACTOR SHALL COORDINATE WITH THE CITY ENGINEER REGARDING WORK IN THE PUBLIC RIGHT-OF-WAY.
  - 6) END THE END OF WORK EACH DAY, TRENCHES SHALL BE BACKFILLED AND PROTECTED TO THE SATISFACTION OF THE CITY ENGINEER.



**OFF SITE PLAN AND PROFILES**  
**OF**  
**COMMONWEALTH HEIGHTS**  
**IN**  
**MARLBOROUGH, MA.**  
**CONNORSTONE**  
**CONSULTING CIVIL ENGINEERS**  
**AND**  
**LAND SURVEYORS**  
**10 SOUTHWEST CUTOFF, SUITE 7**  
**NORTHBOROUGH, MASSACHUSETTS 01532**  
**TEL: (508) 393-9727 FAX: (508) 393-5242**

DESIGNED BY: REM,TDP	
CHECKED BY: VC	
COMPUTED BY: TDP	
FIELD SURVEY: BKK	
DRAWN BY: REM, TDP	
SCALE: AS SHOWN	
SHEET 4 OF 10	REVISIONS OCTOBER 24, 2019

APPROVAL UNDER THE  
 SUBDIVISION CONTROL LAW,  
 IS REQUIRED.  
**MARLBOROUGH PLANNING BOARD**

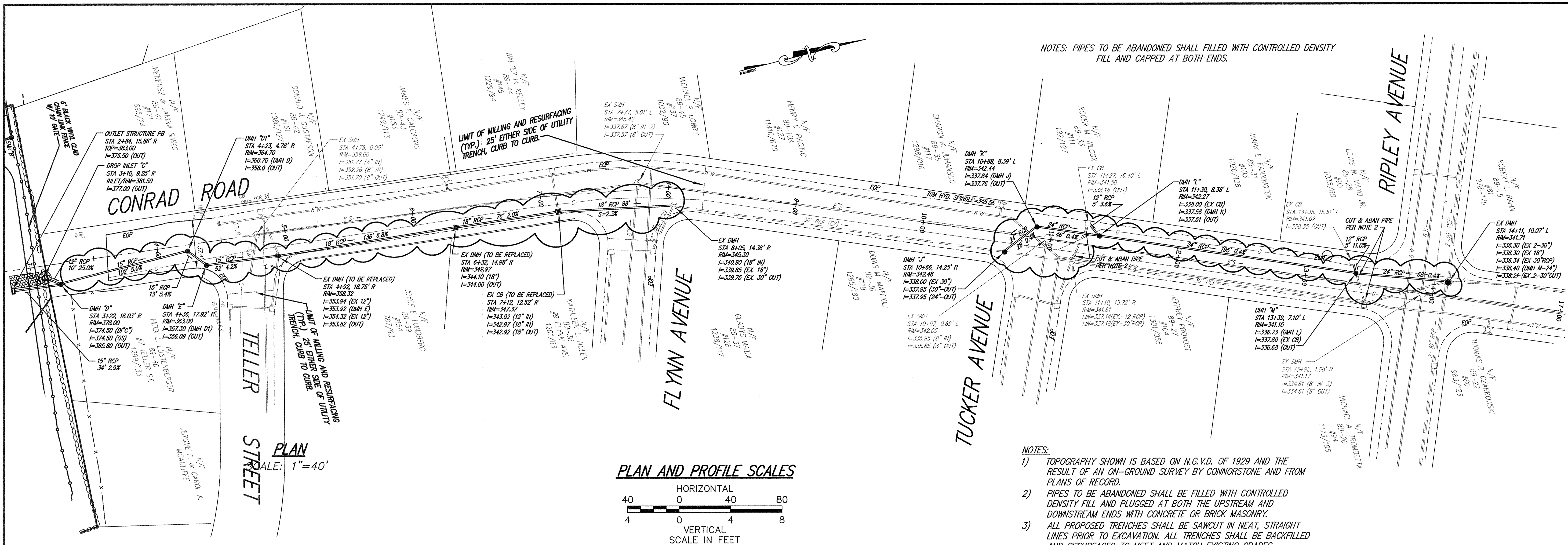
NOTE: TOPOGRAPHY SHOWN IS BASED ON N.G.V.D. OF 1929 AND THE RESULT OF AN ON-GROUND SURVEY BY: CONNORSTONE.

I, \_\_\_\_\_ CLERK OF THE CITY OF MARLBOROUGH  
 RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD  
 OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN  
 FOR TWENTY (20) DAYS THEREAFTER.

DATE: \_\_\_\_\_



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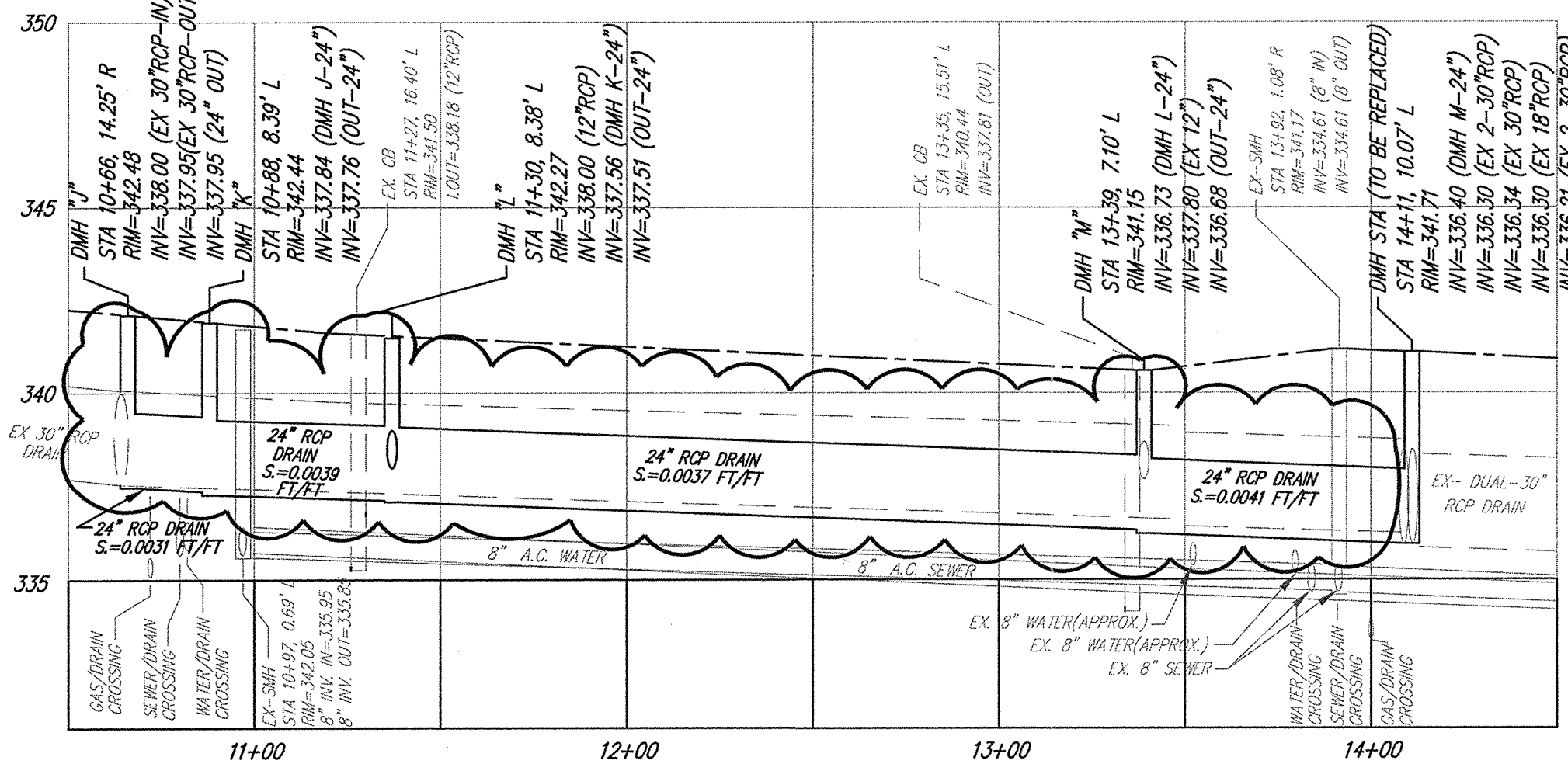
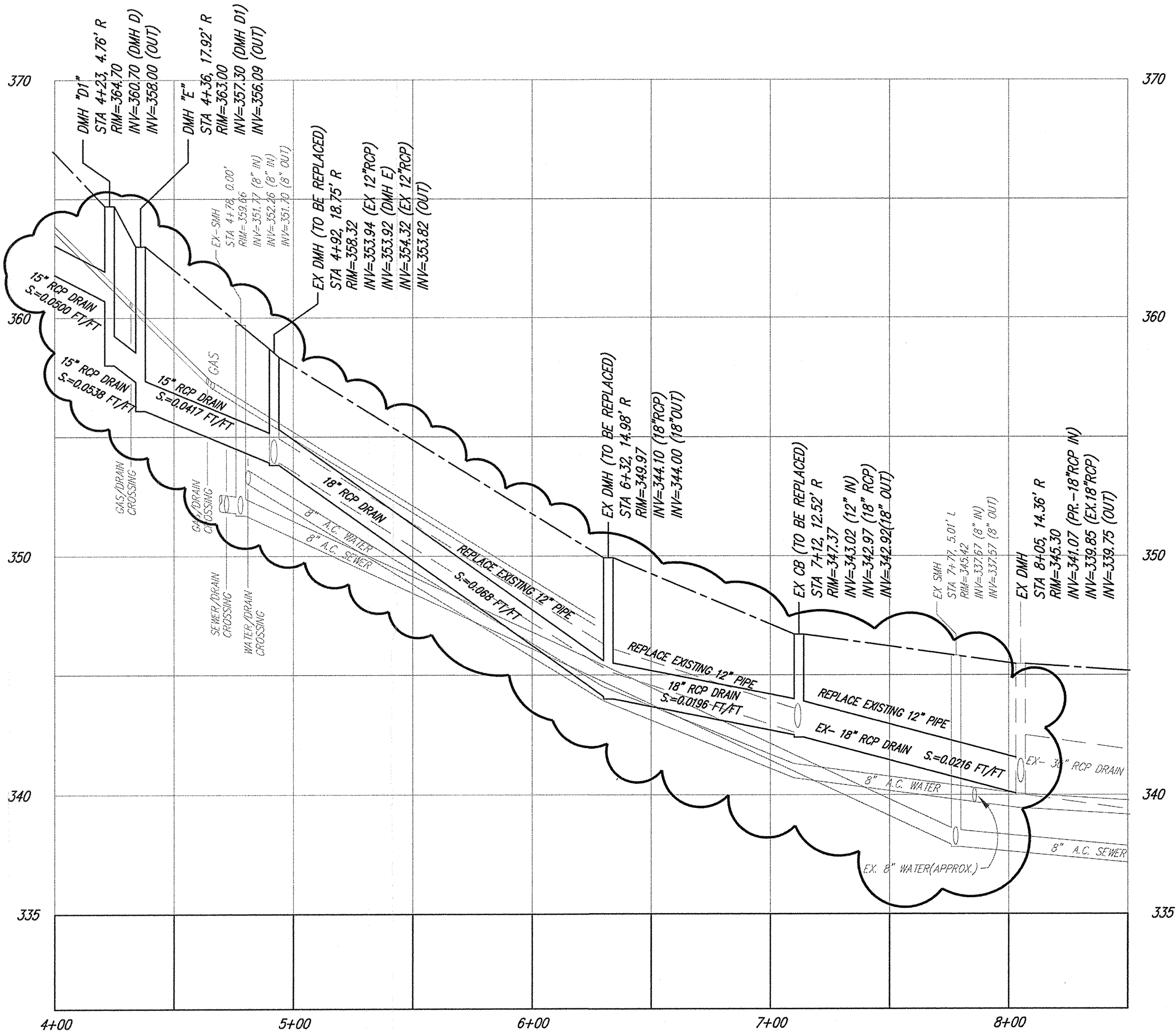
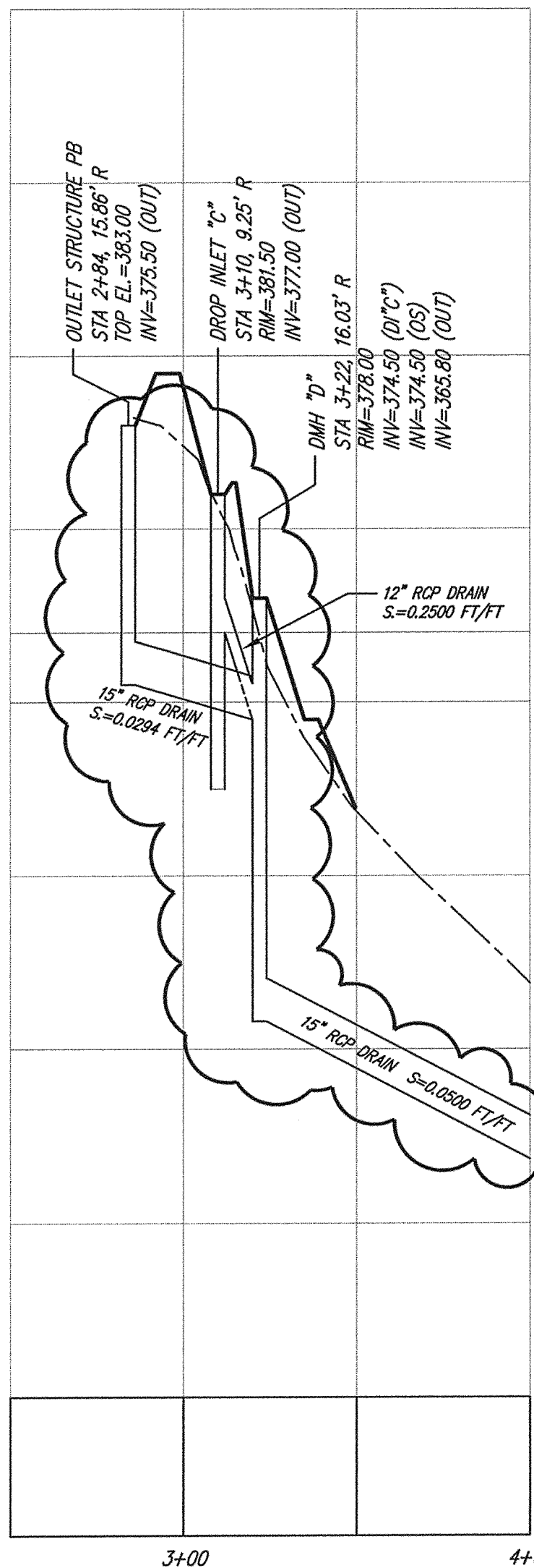
**OWNER**  
MARLBOROUGH / NORTHBOROUGH  
LAND REALTY TRUST  
1 WALL STREET  
BURLINGTON, MA. 01803  
(781) 272-7000  
FAX (781) 272-3130

**SUBDIVIDER**  
COMMONWEALTH HEIGHTS, LLC  
128 WEST STREET  
WILMINGTON, MA. 01887  
(978) 988-8060  
FAX (978) 988-0181

OFF SITE PLAN AND PROFILE  
OF  
CONRAD ROAD  
IN  
MARLBOROUGH, MA.

**CONNORSTONE**  
CONSULTING CIVIL ENGINEERS  
AND  
LAND SURVEYORS  
10 SOUTHWEST CUTOFF, SUITE 7  
NORTHBOROUGH, MASSACHUSETTS 01532

DESIGNED BY: REM,TDP	
CHECKED BY: VC	
COMPUTED BY: TDP	
FIELD SURVEY: BKK	
DRAWN BY: TDP	
SCALE: AS SHOWN	
SHEET 5 OF 10	REVISIONS OCTOBER 24, 2019



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MARLBOROUGH PLANNING BOARD

DATE: \_\_\_\_\_

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FOR TWENTY (20) DAYS THEREAFTER.



ZONE: RESIDENCE A-3  
AREA = 12,500 sf  
FRONTAGE = 100 feet  
SETBACKS: FRONT = 20 feet  
SIDE = 15 feet  
REAR = 30 feet

SOIL MANAGEMENT NOTES:  
THE FOLLOWING NOTES APPLY TO THE REMOVAL OF EXISTING CONTAMINATED SOILS ON-SITE IN ACCORDANCE WITH THE APPROVED SOIL MANAGEMENT PLAN PRIOR TO COMMENCING CONSTRUCTION OF THE SUBDIVISION.

1. A PRE-CONSTRUCTION MEETING SHALL BE HELD AT THE SITE AT LEAST SEVEN DAYS PRIOR TO THE START OF CONSTRUCTION, INCLUDING REPRESENTATIVES OF THE OWNERS, THE CONTRACTOR AND APPROPRIATE CITY OFFICIALS.
2. A LIST OF RESPONSIBLE PARTIES, AS CITED IN THE SOIL MANAGEMENT PLAN, WILL BE PROVIDED AT THE PRE-CONSTRUCTION MEETING.
3. APPROPRIATE FENCING WILL BE PROVIDED IN ACCORDANCE WITH THE SOIL MANAGEMENT PLAN. THE LOCATION OF THE FENCING WILL BE SHOWN ON A CONSTRUCTION SEQUENCING PLAN TO BE PROVIDED AT OR BEFORE THE PRE-CONSTRUCTION MEETING.
4. PRIOR TO CONSTRUCTION, THE SOIL MANAGEMENT PLAN FOR THE DEVONSHIRE SITE WILL BE PROVIDED, SUBJECT TO THE APPROVAL OF THE MARLBOROUGH BOARD OF HEALTH.
5. AIR QUALITY MONITORING LOCATIONS AND PROCEDURES WILL BE PROVIDED ON THE CONSTRUCTION SEQUENCING PLAN AND PROVIDED AT THE PRE-CONSTRUCTION MEETING.
6. THE HEALTH AND SAFETY PLAN WILL BE PROVIDED BY THE CONTRACTOR AND THE OWNER'S LICENSED SITE PROFESSIONAL AT THE PRE-CONSTRUCTION MEETING.
7. SUBJECT TO THE IMPLEMENTATION OF THE FINAL SOIL MANAGEMENT PLAN PREPARED FOR THE GUTIERREZ COMPANY AND BIRCHWOOD DEVELOPMENT, PREPARED BY ENVIRONMENTAL RISK GROUP DATED FEBRUARY 2006.

LEGEND

- TEMPORARY STUMP PILE
- TEMPORARY SEDIMENT BASIN
- PORTRA POTTY
- LOAM STOCKPILE
- MATERIAL STORAGE
- EXCESS MATERIAL
- CONSTRUCTION TRAILER

PHASING

1. CUT TREES WHERE REQUIRED.
2. INSTALL EROSION CONTROLS
3. CONSTRUCT TEMPORARY SEDIMENT BASINS.
4. REMOVE CONTAMINATED SOILS IN ACCORDANCE WITH APPROVED SOIL MANAGEMENT PLAN.
5. ROUGH GRADE ROADWAY
6. INSTALL DRAINAGE, SILT SACKS IN CATCH BASINS.
7. INSTALL REMAINING UNDERGROUND UTILITIES.
8. CONSTRUCT SIDEWALK AND ROAD TO BINDER.
9. LOAM AND SEED.
10. WHEN SITE IS STABILIZED, CONVERT TEMPORARY SEDIMENT BASIN TO TONAL CONSTRUCTED WETLAND.

DUST CONTROL: THE CONTRACTOR SHALL MAINTAIN ON SITE AN ADEQUATE WATER SUPPLY TO PREVENT THE GENERATION OF DUST.

NOISE ABATEMENT: ALL EQUIPMENT USED ON THE SITE SHALL BE EQUIPPED WITH MUFFLERS AND/OR OTHER NOISE CONTROLLING DEVICES AS REQUIRED BY STATE AND LOCAL REGULATIONS.

BLASTING: IF REQUIRED, BLASTING SHALL BE CONDUCTED IN ACCORDANCE WITH ALL LOCAL, FEDERAL AND STATE REGULATIONS, INCLUDING 527 CMR 13.

NOTES:  
1. EROSION CONTROLS TO BE SET IN PLACE PRIOR TO CONSTRUCTION TAKING PLACE.

2. ONCE CATCH BASINS HAVE BEEN INSTALLED, SILTSACK SHALL BE PLACED IN ALL CATCH BASINS.

EROSION CONTROL PLAN  
OF  
COMMONWEALTH HEIGHTS  
IN  
MARLBOROUGH, MA.

CONNORSTONE  
CONSULTING CIVIL ENGINEERS  
AND  
LAND SURVEYORS

10 SOUTHWEST CUTOFF, SUITE 7  
NORTHBOROUGH, MASSACHUSETTS 01532  
TEL: (508) 393-9727 FAX: (508) 393-5242

DESIGNED BY: REM,TDP  
CHECKED BY: VC  
COMPUTED BY: VHH  
FIELD SURVEY: BKK  
DRAWN BY: REM, VHH  
SCALE: 1" = 40'  
SHEET 6 OF 10

REVISIONS  
OCTOBER 24, 2019

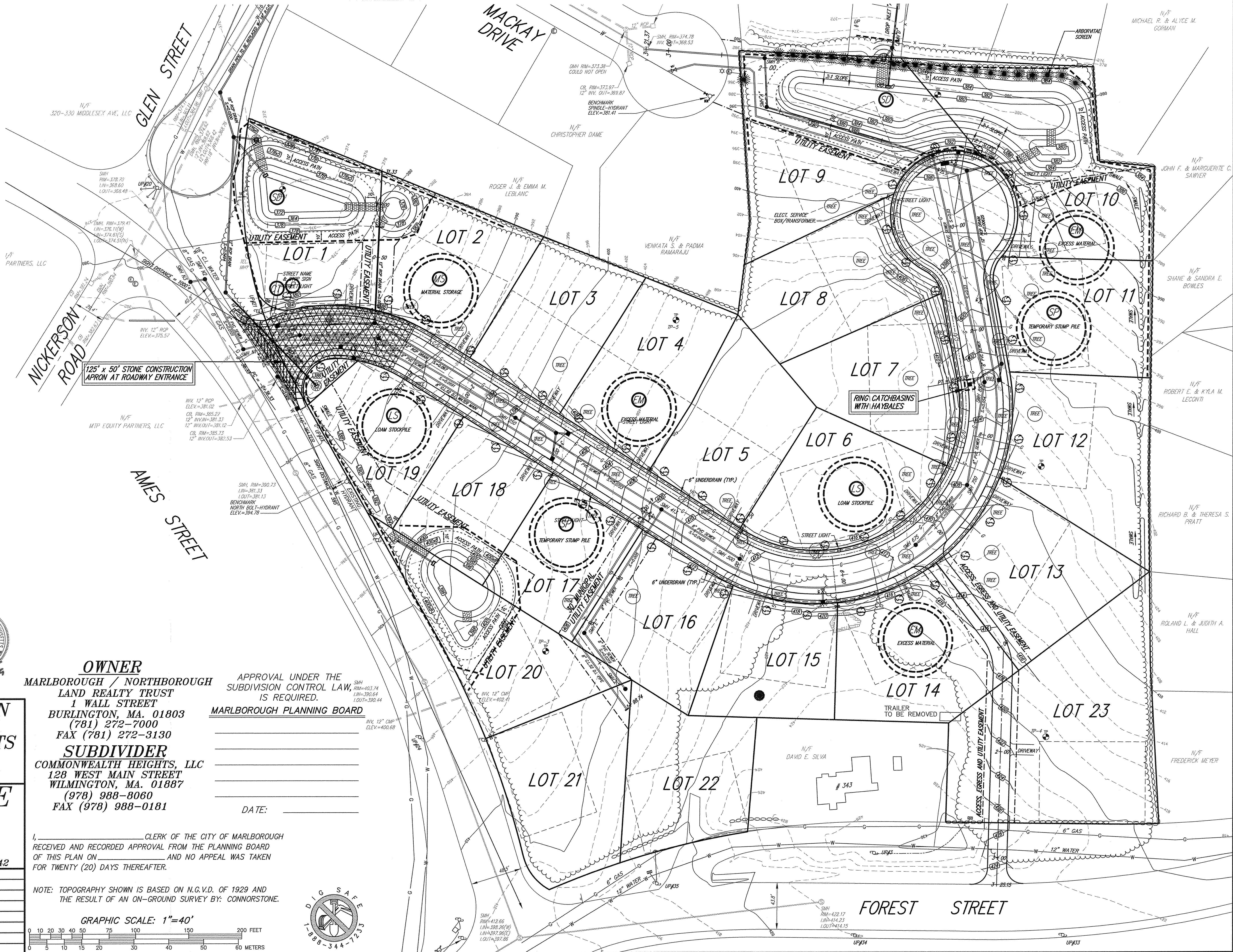
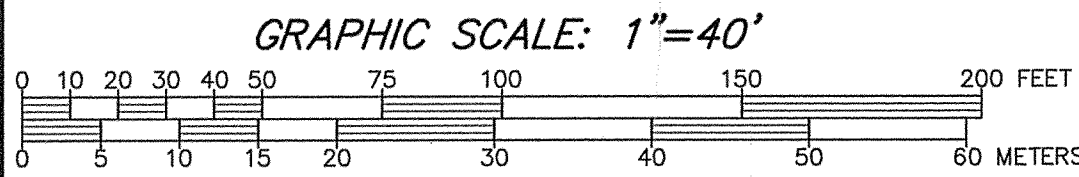
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MARLBOROUGH / NORTHBOROUGH  
LAND REALTY TRUST  
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(781) 272-7000  
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COMMONWEALTH HEIGHTS, LLC  
128 WEST MAIN STREET  
WILMINGTON, MA. 01887  
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MARLBOROUGH PLANNING BOARD

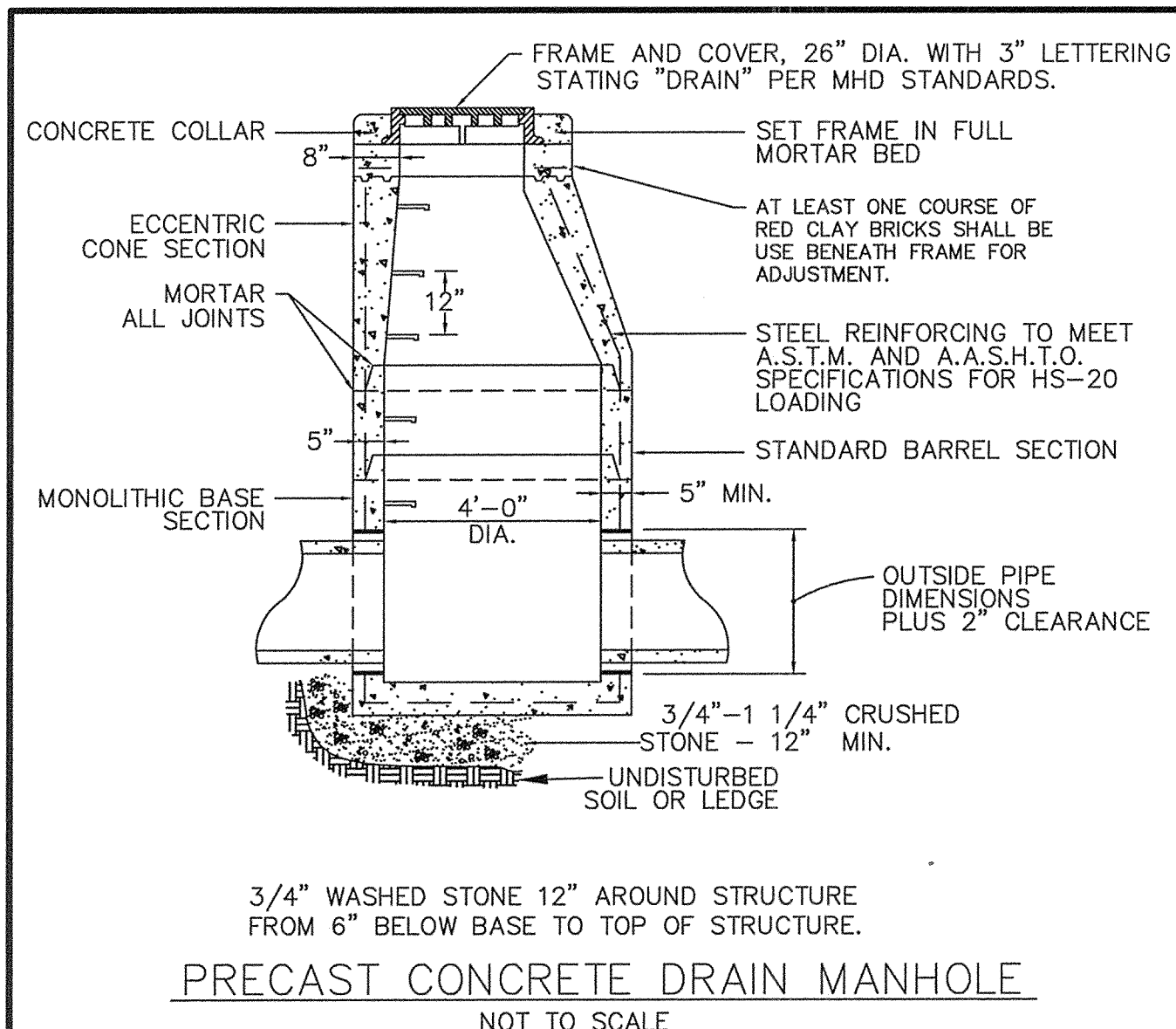
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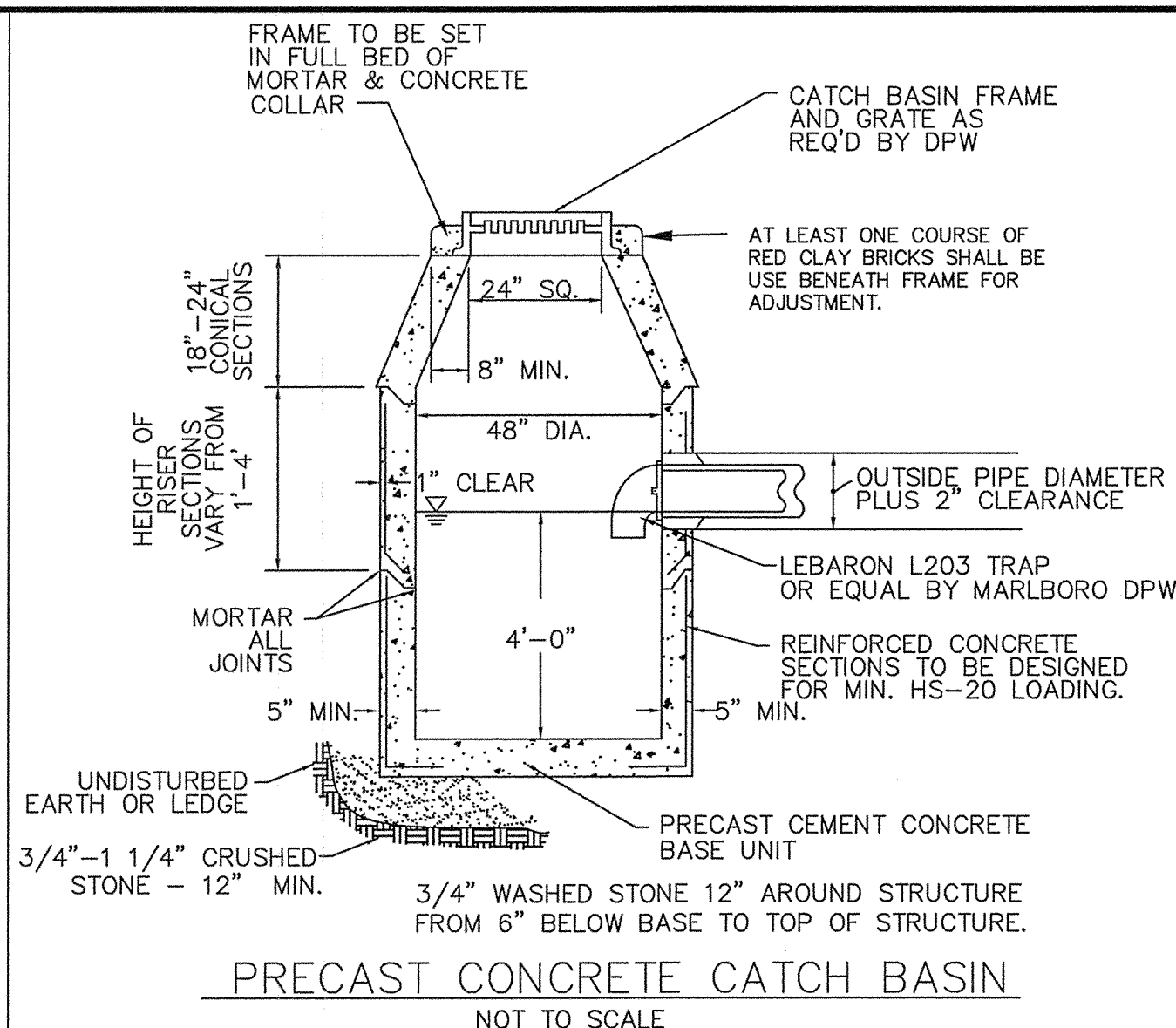
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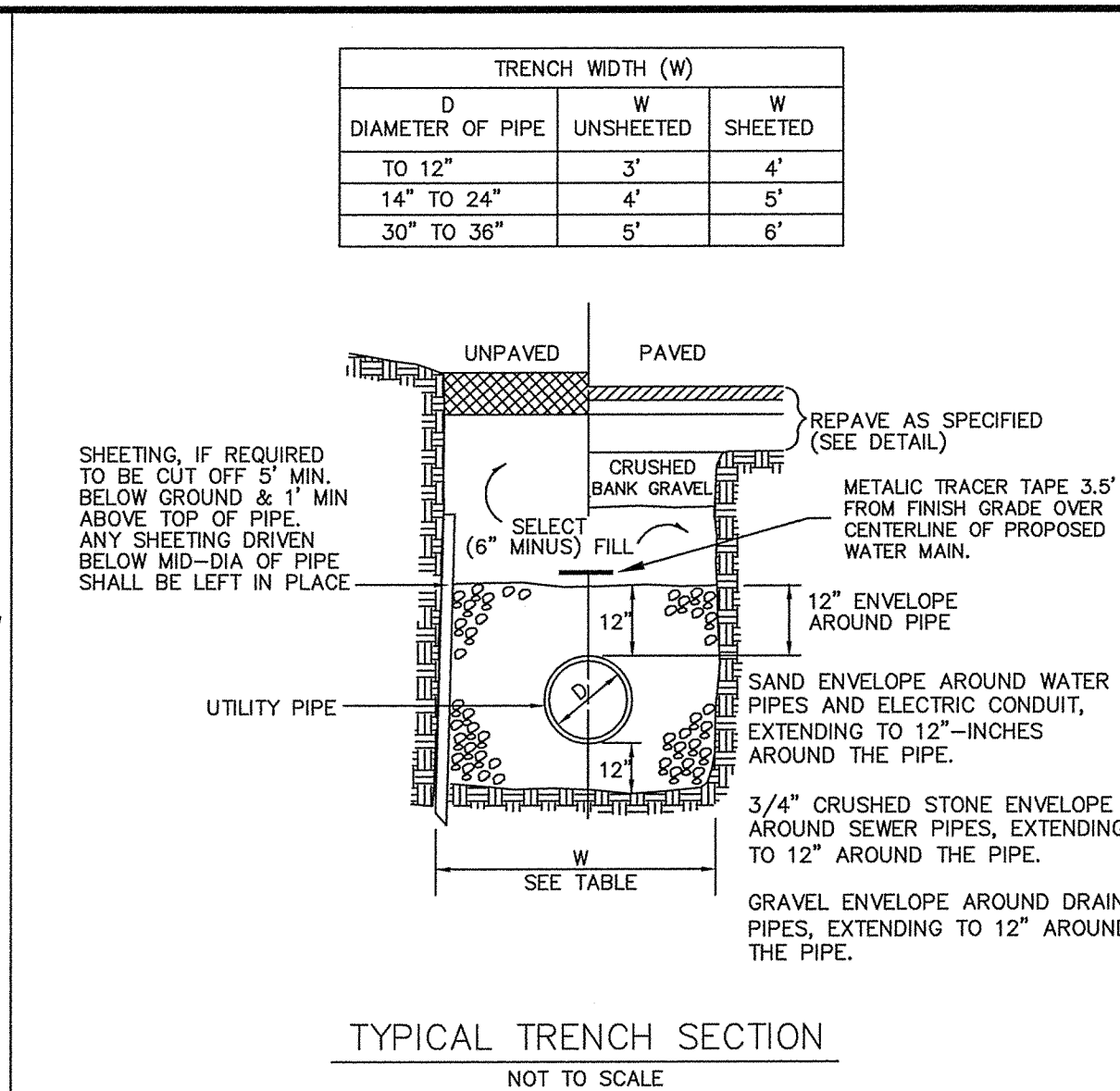




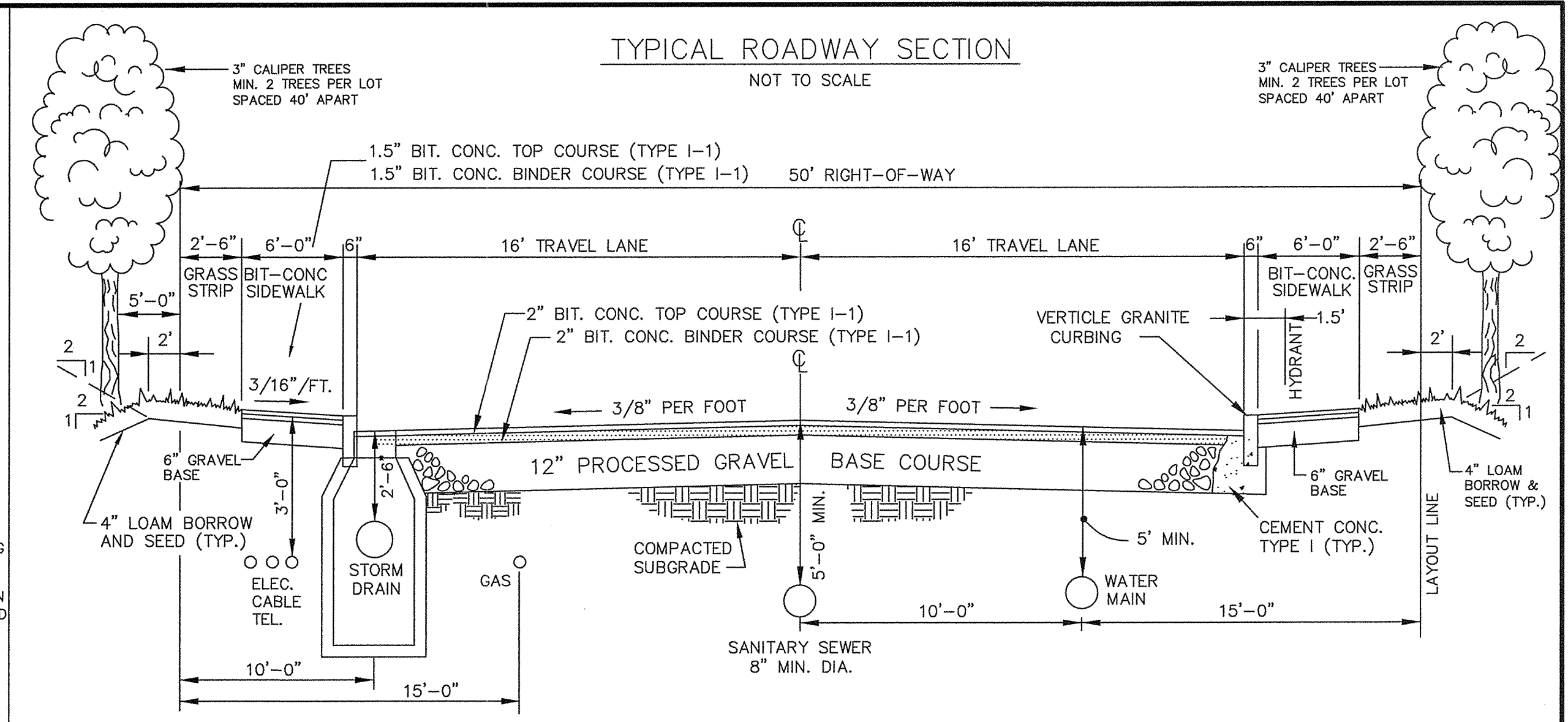
PRECAST CONCRETE DRAIN MANHOLE  
NOT TO SCALE



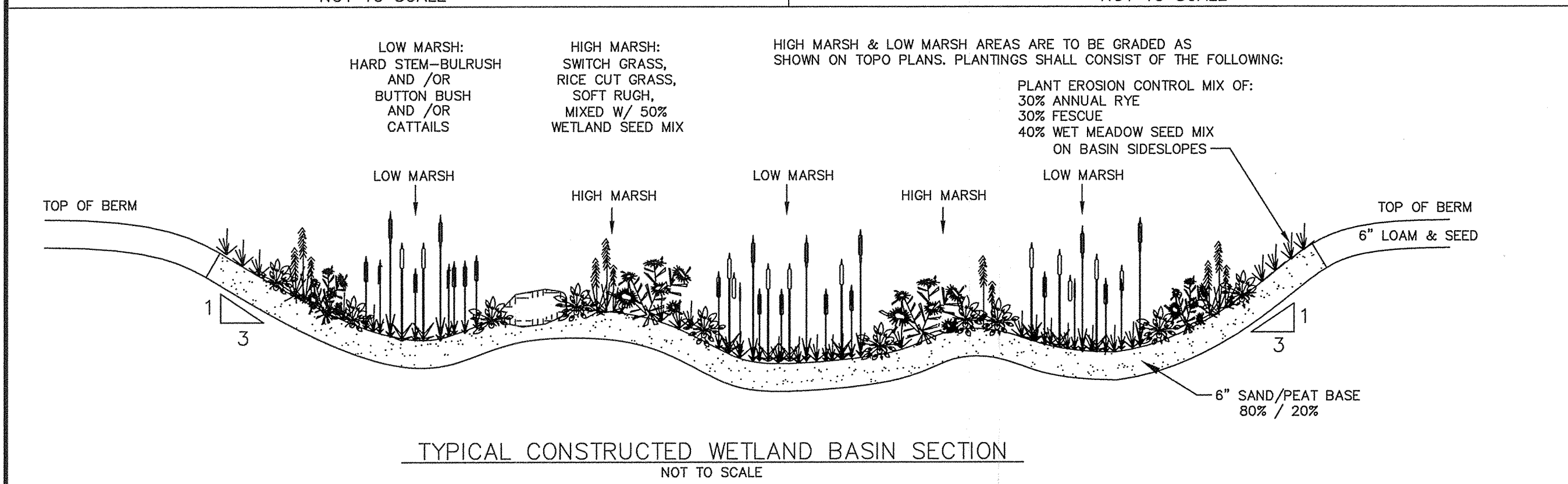
PRECAST CONCRETE CATCH BASIN  
NOT TO SCALE



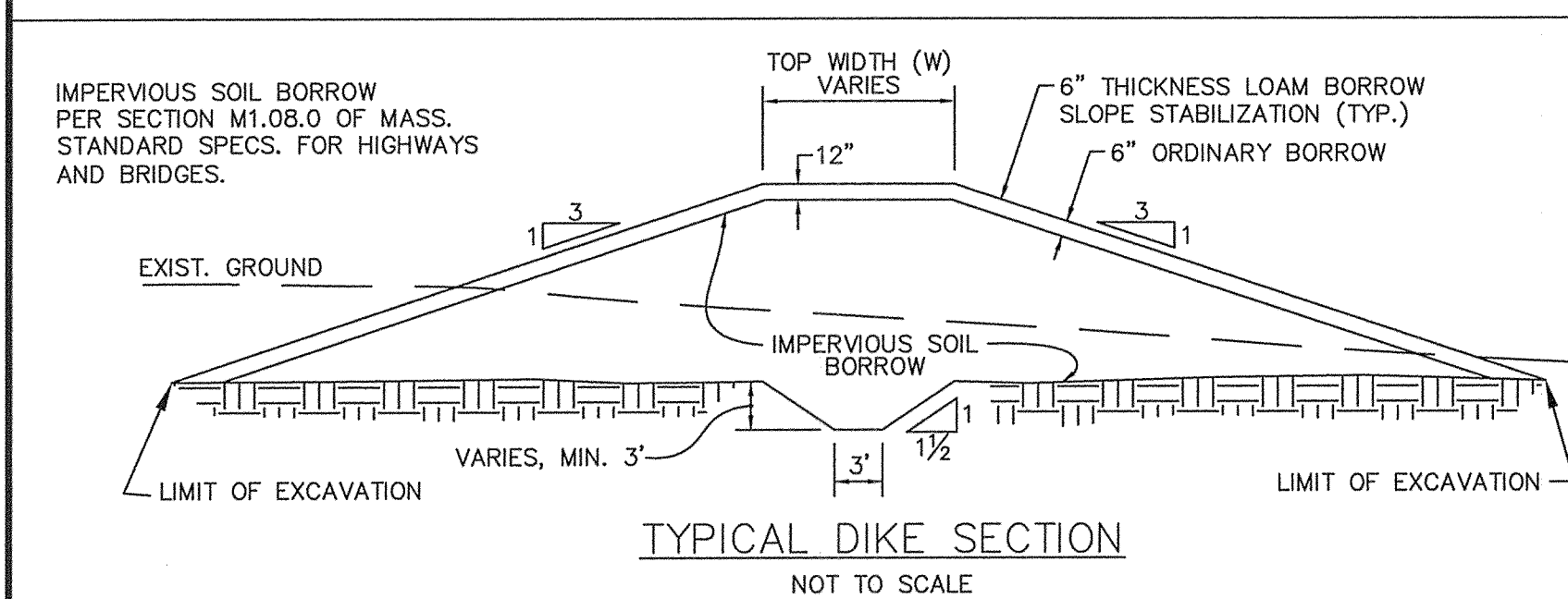
TYPICAL TRENCH SECTION  
NOT TO SCALE



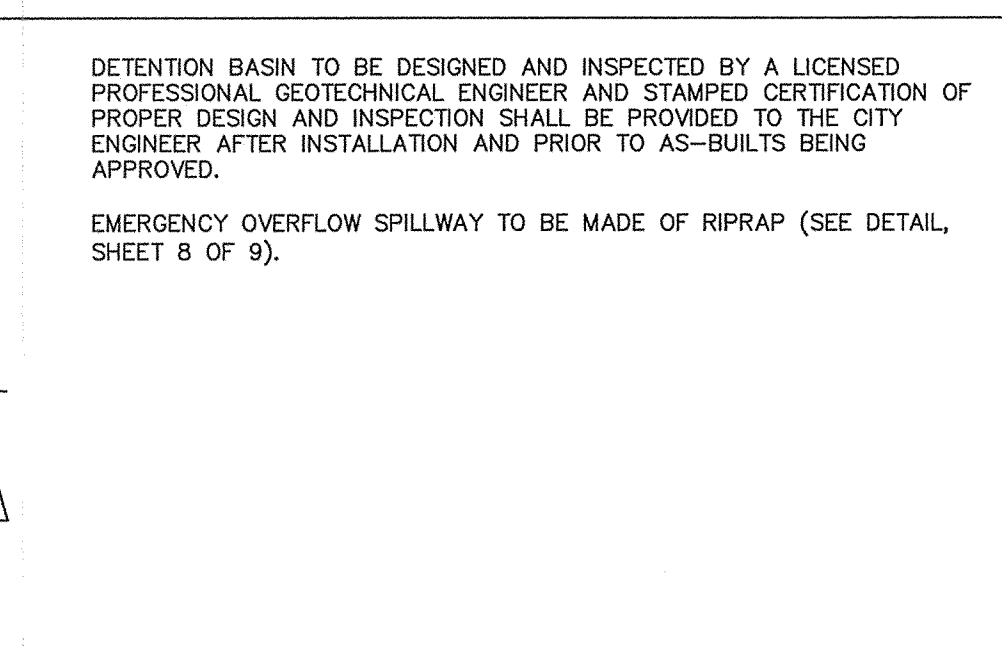
TYPICAL ROADWAY SECTION  
NOT TO SCALE



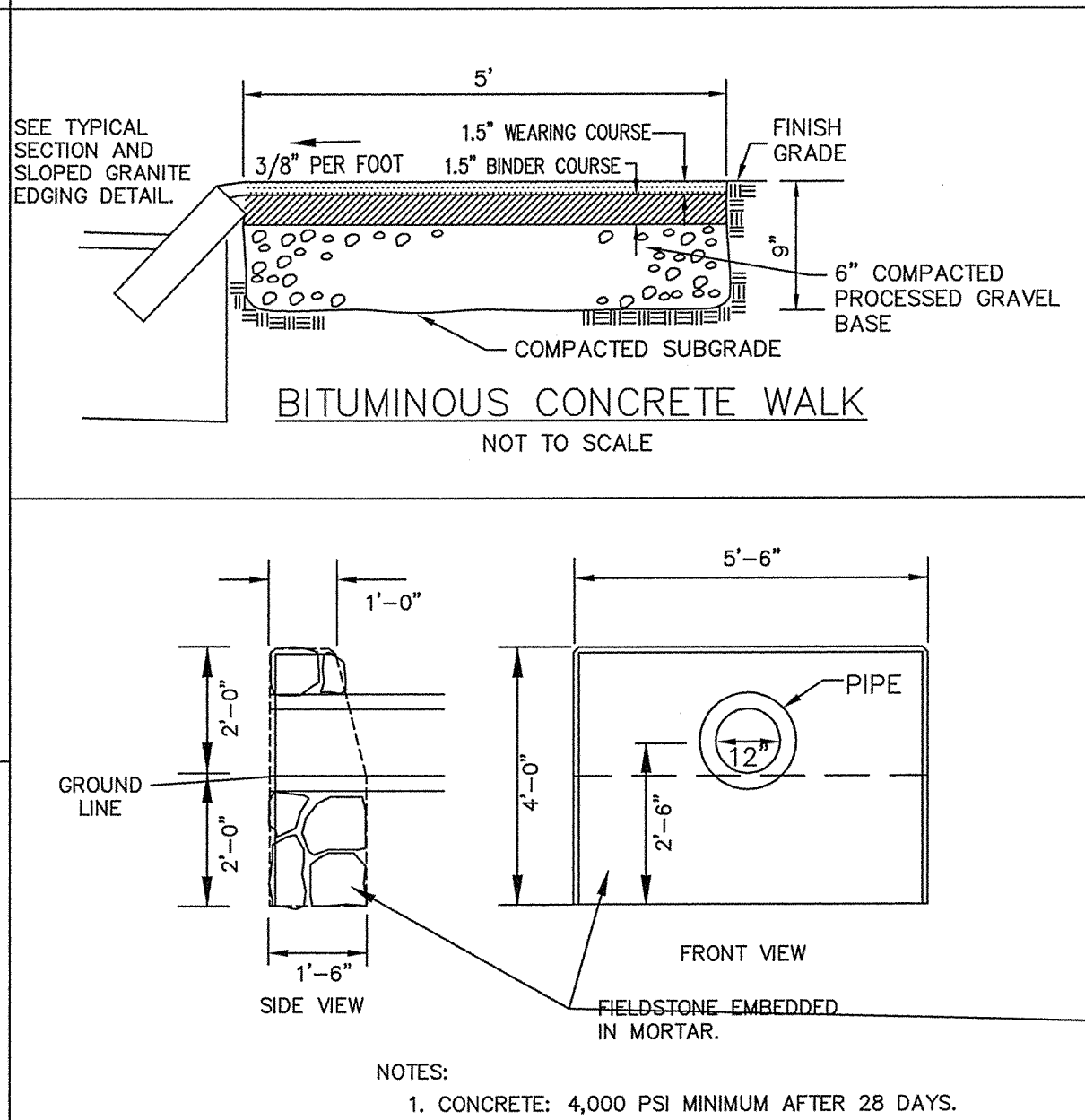
TYPICAL CONSTRUCTED WETLAND BASIN SECTION  
NOT TO SCALE



TYPICAL DIKE SECTION  
NOT TO SCALE



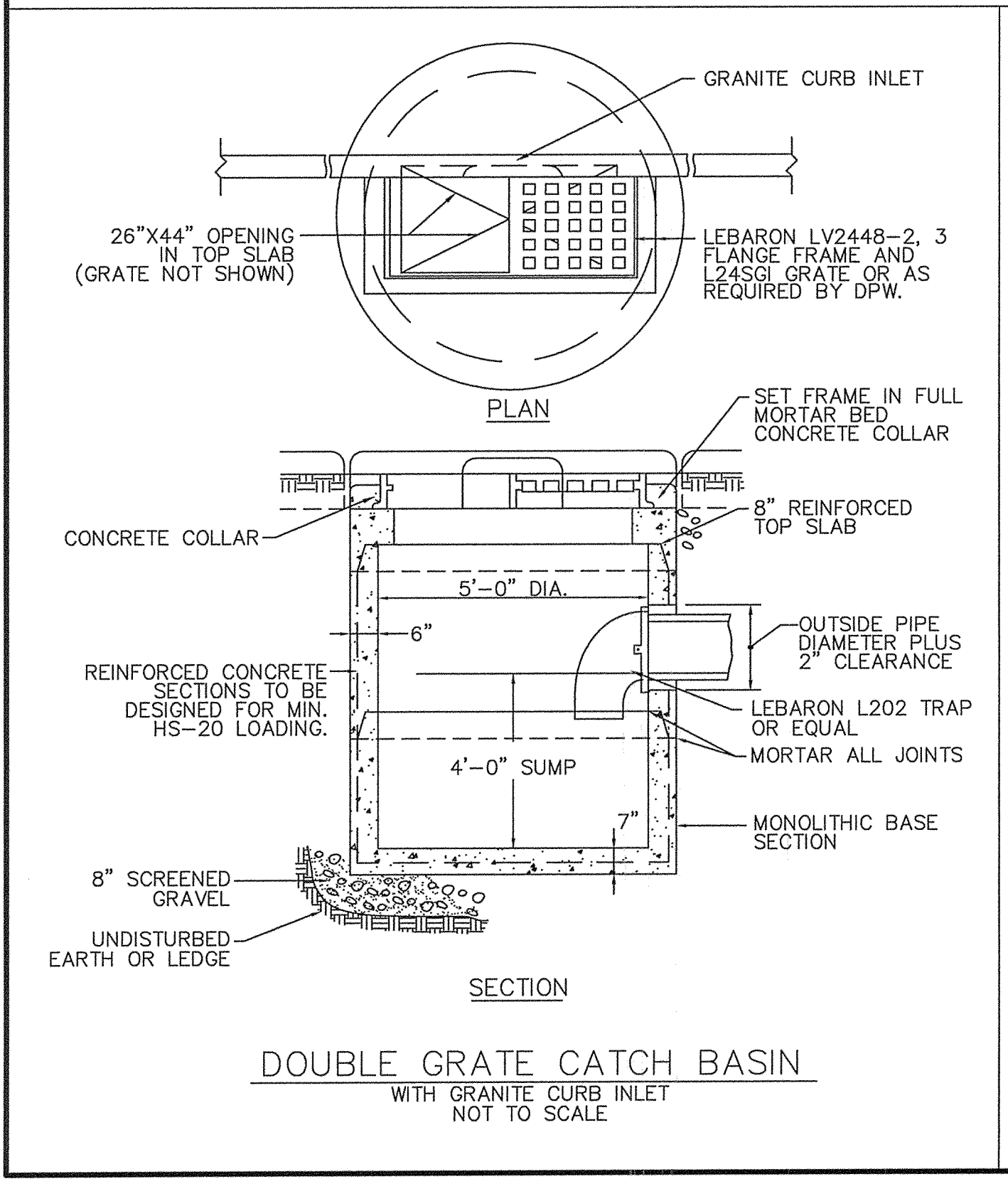
DETENTION BASIN TO BE DESIGNED AND INSPECTED BY A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER AND STAMPED CERTIFICATION OF PROPER DESIGN AND INSPECTION SHALL BE PROVIDED TO THE CITY ENGINEER AFTER INSTALLATION AND PRIOR TO AS-BUILTS BEING APPROVED.



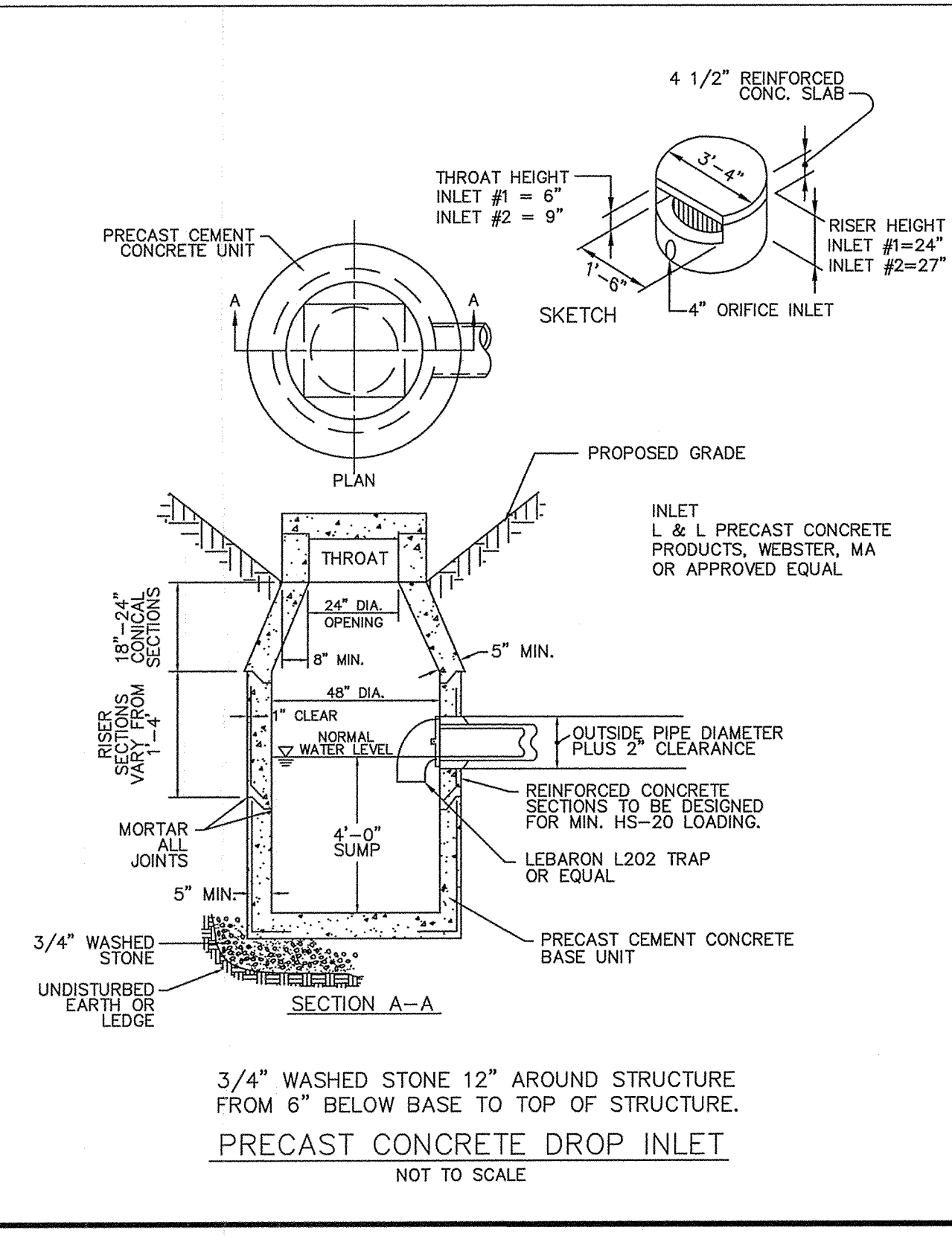
TYPICAL STONE MASONRY HEADWALL  
NOT TO SCALE

- GENERAL NOTES**
- CONNORSTONE ENGINEERING INC. DOES NOT WARRANT THE LOCATION OF UNDERGROUND UTILITIES OR CHARACTER OF THE GROUND.
  - THE CONTRACTOR SHALL CONTACT DIG SAFE: 1-800-344-7233, AND CITY OF MARLBORO DPW FOR UTILITY LOCATIONS PRIOR TO EXCAVATION. TEST PITS SHALL BE UTILIZED FOR UTILITY CONNECTIONS.
  - PROPOSED LAYOUTS OF GAS AND CABLE UTILITIES SHALL BE THE RESPONSIBILITY OF THE LOCAL UTILITY COMPANY.
  - ALL ROADWAY AND UTILITY CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH MHD OR LOCAL MUNICIPALITY STANDARDS, WHICHEVER IS MORE STRINGENT.
  - A 2' LEVELING AREA SHALL BE PROVIDED BEHIND THE SIDEWALK IN THE VICINITY OF PROPOSED MAILBOXES.
- SITE EROSION NOTES**
- PROPOSED ENTRANCE TIE-IN WITH AMES STREET SHALL BE TREATED WITH 3/4"-1 1/2" INCH CRUSHED STONE TO A DEPTH OF 12" FOR THE FIRST 75 FEET FROM EXISTING PAVED STREETS UNTIL READY FOR PAVEMENT.
  - SLOPE CUTS SHALL BE LOAMED AND SEEDED WITH EROSION CONTROL MIX AND COVERED WITH HAY MULCH OR GRASS CLIPPINGS, TO RETARD MOISTURE LOSS AS SOON AS POSSIBLE.
  - CATCH BASINS SHALL BE EQUIPPED WITH SILTSACKS UNTIL ALL VEGETATION IN IMMEDIATE AREA IS FULLY ESTABLISHED.
  - ANY AREAS EXPOSED SHALL BE LOAMED AND SEEDED NO LATER THAN FIRST WEEK OF OCTOBER.
  - CULVERT DISCHARGE PIPES SHALL HAVE 2' DOUBLE ROWS OF HAYBALES 5' APART AND 10' FROM THE OUTLETS.

- WETLAND EROSION NOTES**
- SNO FENCING SHALL BE PLACED ALONG ALL WETLAND AREAS NEAR CONSTRUCTION ACTIVITIES.
  - HAYBALES AND/OR SILT FENCING SHALL BE PLACED AS DIRECTED BY THE ENGINEER, MUNICIPAL AGENT, OR BOTANIST PRIOR TO ANY CONSTRUCTION ACTIVITIES.
  - ALL HAYBALE-SILT FENCING AREAS SHALL BE INSPECTED PERIODICALLY AND ACCUMULATED SILT REMOVED, HAYBALES & SILT FENCING REPLACED AND OTHERWISE MAINTAINED SO AS TO PREVENT SILTATION OF WETLAND AREAS.
  - IT MAY BE NECESSARY TO PROVIDE CRUSHED STONE ARMOR TO HAYBALE/SILT FENCING WHEN ANTICIPATED FLOWS ARE EXPECTED TO BE HEAVY OR FAST.
  - IN SOME AREAS HAYBALE/SILT FENCING STRUCTURES MAY HAVE TO BE DUPLICATED AT REGULAR INTERVALS UP GRADIENT OF WETLANDS.
  - ALL DETENTION BASINS SHALL BE OVER EXCAVATED AT AN AREA CLOSE TO THE LOW SPOT APPROXIMATELY 20'x20' AND 3' DEEP TO CATCH ANY SEDIMENT. AFTER AREA HAS BEEN COMPLETELY REVEGETATED THIS LOW SPOT SHALL BE FILLED AND SEEDED.
  - DEWATERING DISCHARGES SHALL NOT BE DIRECTED TOWARDS WETLAND AREAS. ALL DISCHARGES SHALL BE INTERCEPTED BY TWO HAYBALE CHECK DAMS SPACED 10' APART.
  - CATCH BASINS SHALL HAVE SILT SACKS INSTALLED UNTIL ALL VEGETATION IN IMMEDIATE AREA IS ESTABLISHED.



DOUBLE GRATE CATCH BASIN  
WITH GRANITE CURB INLET  
NOT TO SCALE



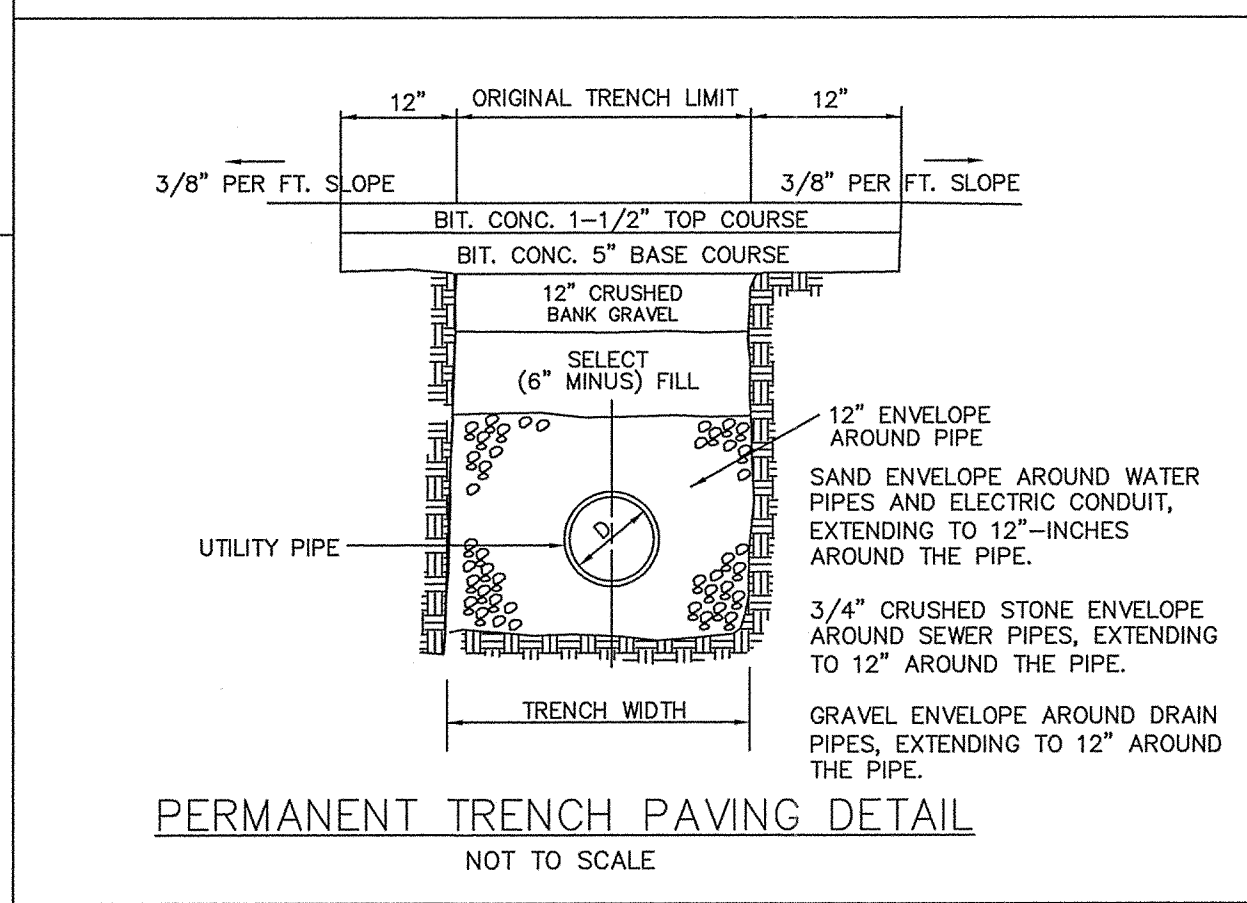
3/4" WASHED STONE 12" AROUND STRUCTURE FROM 6" BELOW BASE TO TOP OF STRUCTURE.  
PRECAST CONCRETE DROP INLET  
NOT TO SCALE

APPROVAL UNDER THE SUBDIVISION CONTROL LAW, IS REQUIRED.

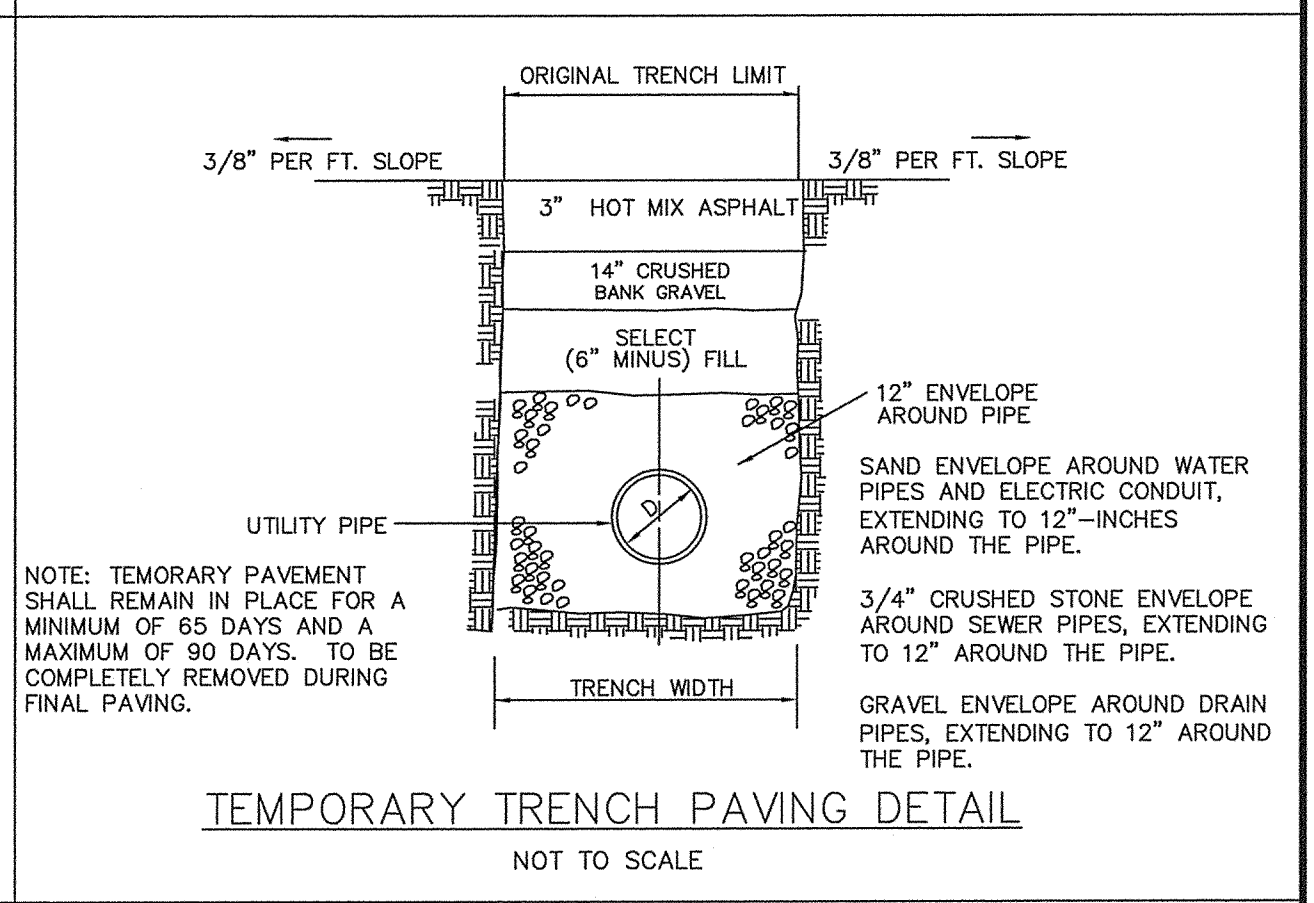
**MARLBOROUGH PLANNING BOARD**

DATE: \_\_\_\_\_

CLERK OF THE CITY OF MARLBOROUGH  
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN FOR TWENTY (20) DAYS THEREAFTER.



PERMANENT TRENCH PAVING DETAIL  
NOT TO SCALE



TEMPORARY TRENCH PAVING DETAIL  
NOT TO SCALE

**CONCORSTONE**  
CONSULTING CIVIL ENGINEERS  
AND  
LAND SURVEYORS  
10 SOUTHWEST CUTOFF, SUITE 7  
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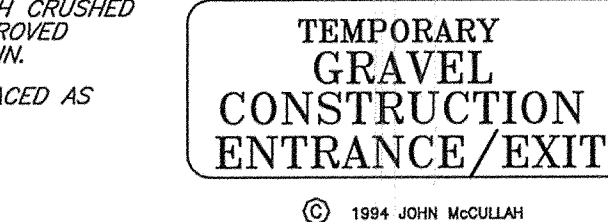
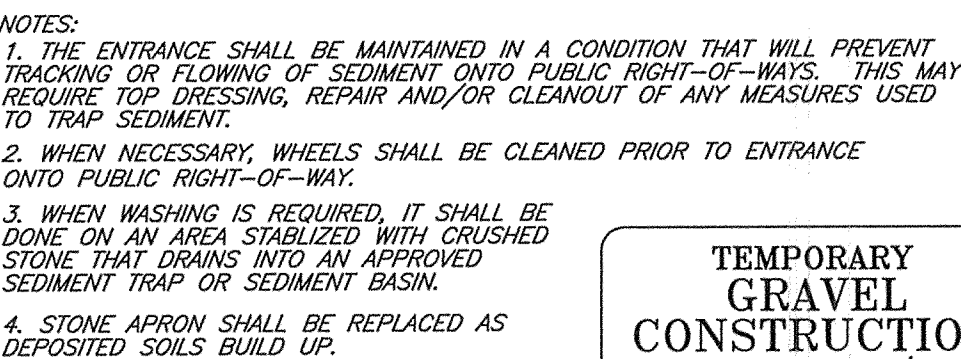
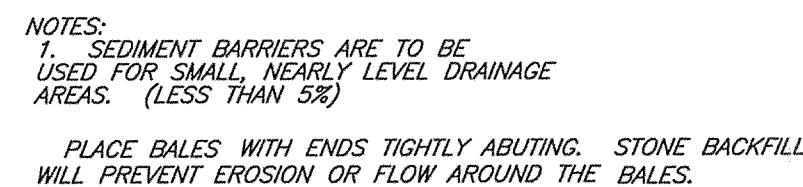
**OWNER**  
MARLBOROUGH / NORTHBOROUGH  
LAND REALTY TRUST  
1 WALL STREET  
BURLINGTON, MA. 01803  
(781) 272-7000

**DEFINITIVE PLAN**  
CONSTRUCTION DETAILS  
OF  
COMMONWEALTH HEIGHTS  
IN  
MARLBOROUGH, MA.

DESIGNED BY: REM, TDP  
CHECKED BY: VC  
COMPUTED BY: REM  
FIELD SURVEY: BKK  
DRAWN BY: REM  
SCALE: NONE  
SHEET 7 OF 10

REVISIONS  
OCTOBER 24, 2019





DESIGN DATA & GENERAL NOTES

- 1.) CHASE PRECAST CORP. PRODUCT #D1 42-MTA
- 2.) CONCRETE STRENGTH  $f'_c$  5,000 28 DAYS. DENSITY 150 PCF.
- 3.) CEMENT, PORTLAND TYPE I OR III PER ASTM C150-81
- 4.) ADMIXTURES & PLASTICIZERS PER ASTM C233-82.
- 5.) REINFORCING PER ASTM A615 GRADE 60. EPOXY COATED.
- 6.) DESIGN LOADING PER AASHTO HS20-44 AND ACI 318-83.
- 7.) CONFORMS TO MASS. TURNPIKE AUTHORITY STANDARDS.
- 8.) INTERIOR FINISH BY CONTRACTOR.
- 9.) APPROXIMATE WEIGHT: 10,500 LBS.. PROVIDE FIELD MASONRY

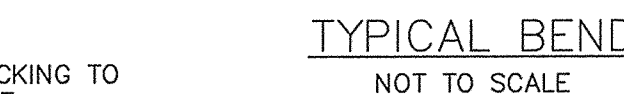
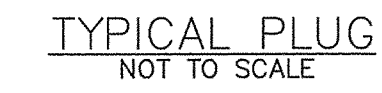
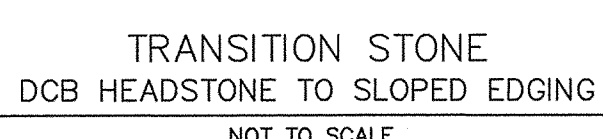
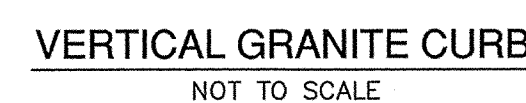
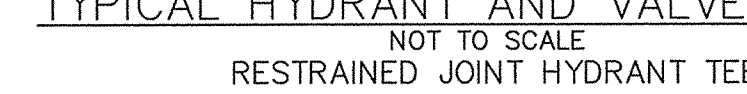
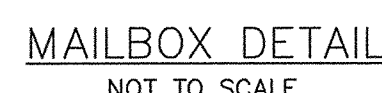
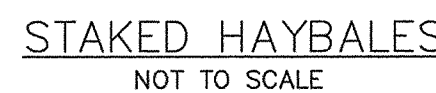
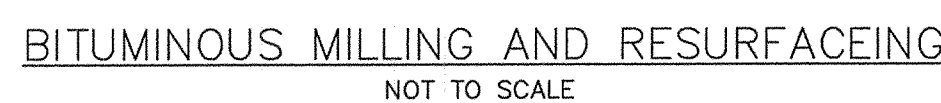
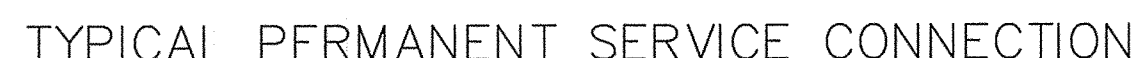
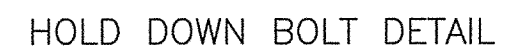
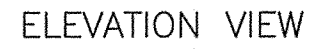
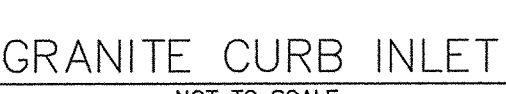


TABLE OF BEARING AREAS IN SQUARE FEET AGAINST UNDERSIZED MATERIAL FOR WATER MAIN FITTINGS			
SIZE OF MAIN (IN.)	45° BEND	TEES & PLUGS	22 1/2° BEND
8" OR LESS	8	10	8
10" & 12"	22	16	13

NOTE: POLYETHYLENE BARRIER REQUIRED BETWEEN PIPEFITTINGS AND CONCRETE.



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## DEFINITIVE PLAN

*CONSTRUCTION DETAILS  
OF  
COMMONWEALTH HEIGHTS  
IN  
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REVISIONS  
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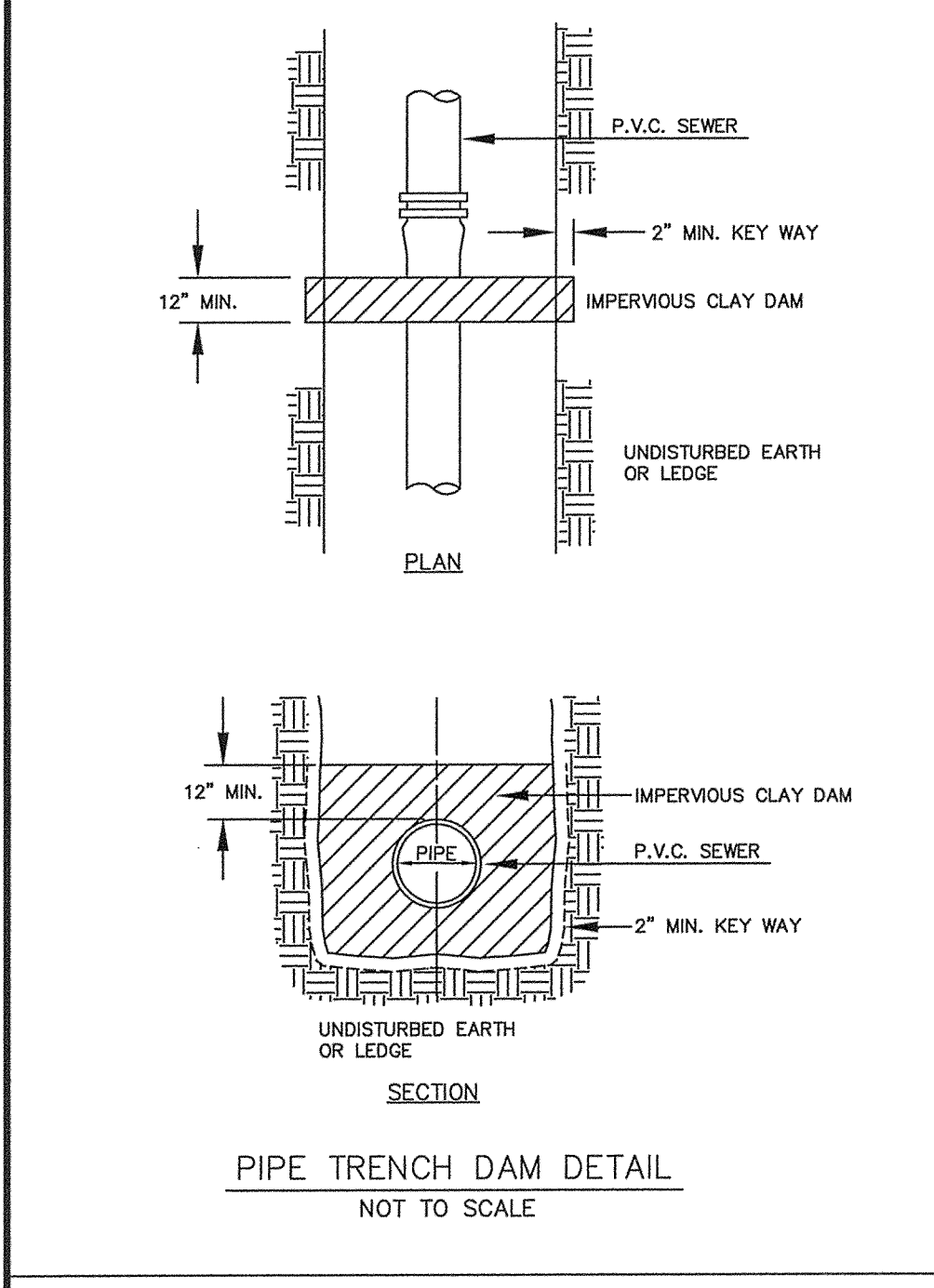
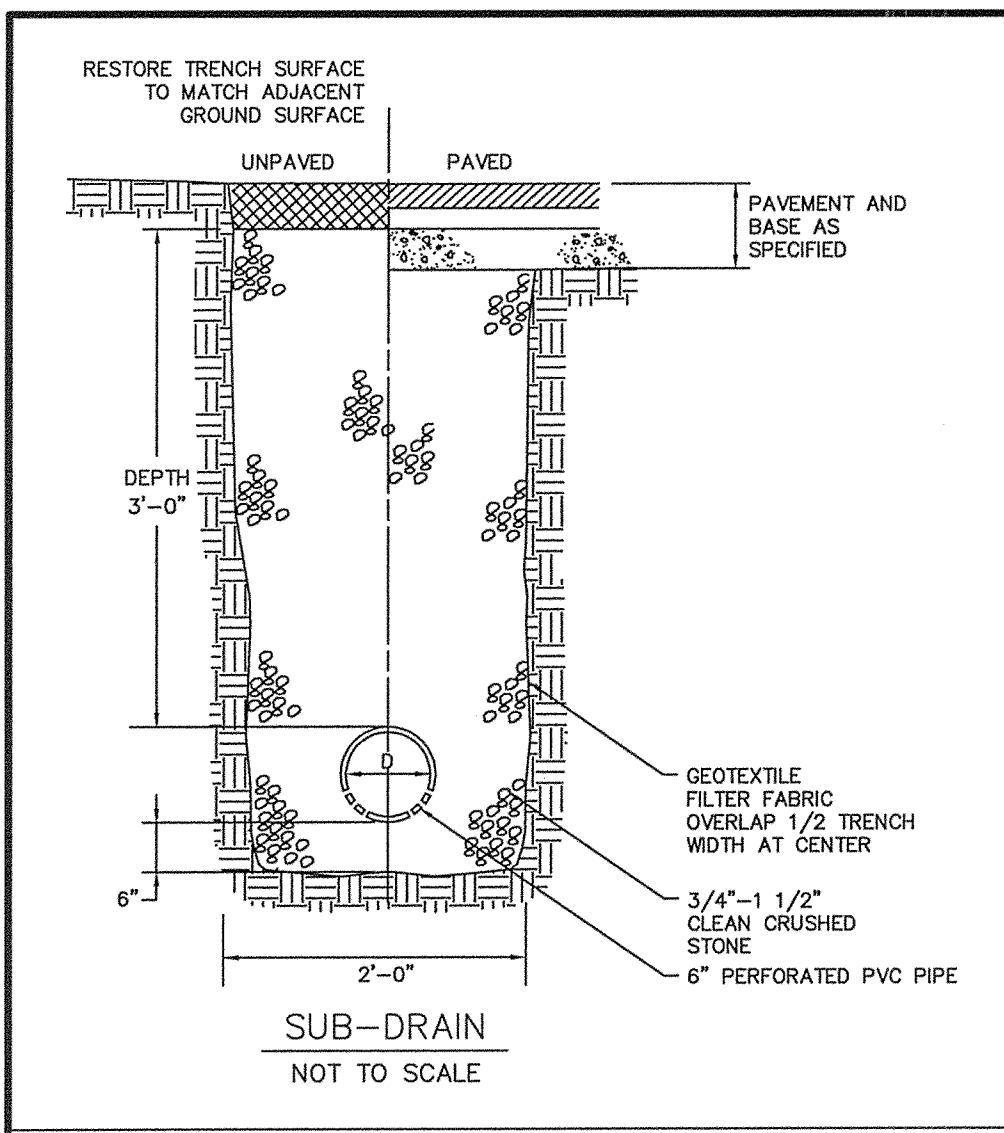
I, \_\_\_\_\_ CLERK OF THE CITY OF MARLBOROUGH  
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD  
OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN  
FOR TWENTY (20) DAYS THEREAFTER.

**CONNORSTONE**  
CONSULTING CIVIL ENGINEERS  
AND  
LAND SURVEYORS  
10 SOUTHWEST CUTOFF, SUITE 7  
NORTHBOROUGH, MASSACHUSETTS 01532  
TEL: (508) 393-9727 FAX: (508) 393-5242

DESIGNED BY: REM, TDF
CHECKED BY: VC
COMPUTED BY: REM
FIELD SURVEY: BKK
DRAWN BY: REM
SCALE: NONE
SHEET 8 OF 10







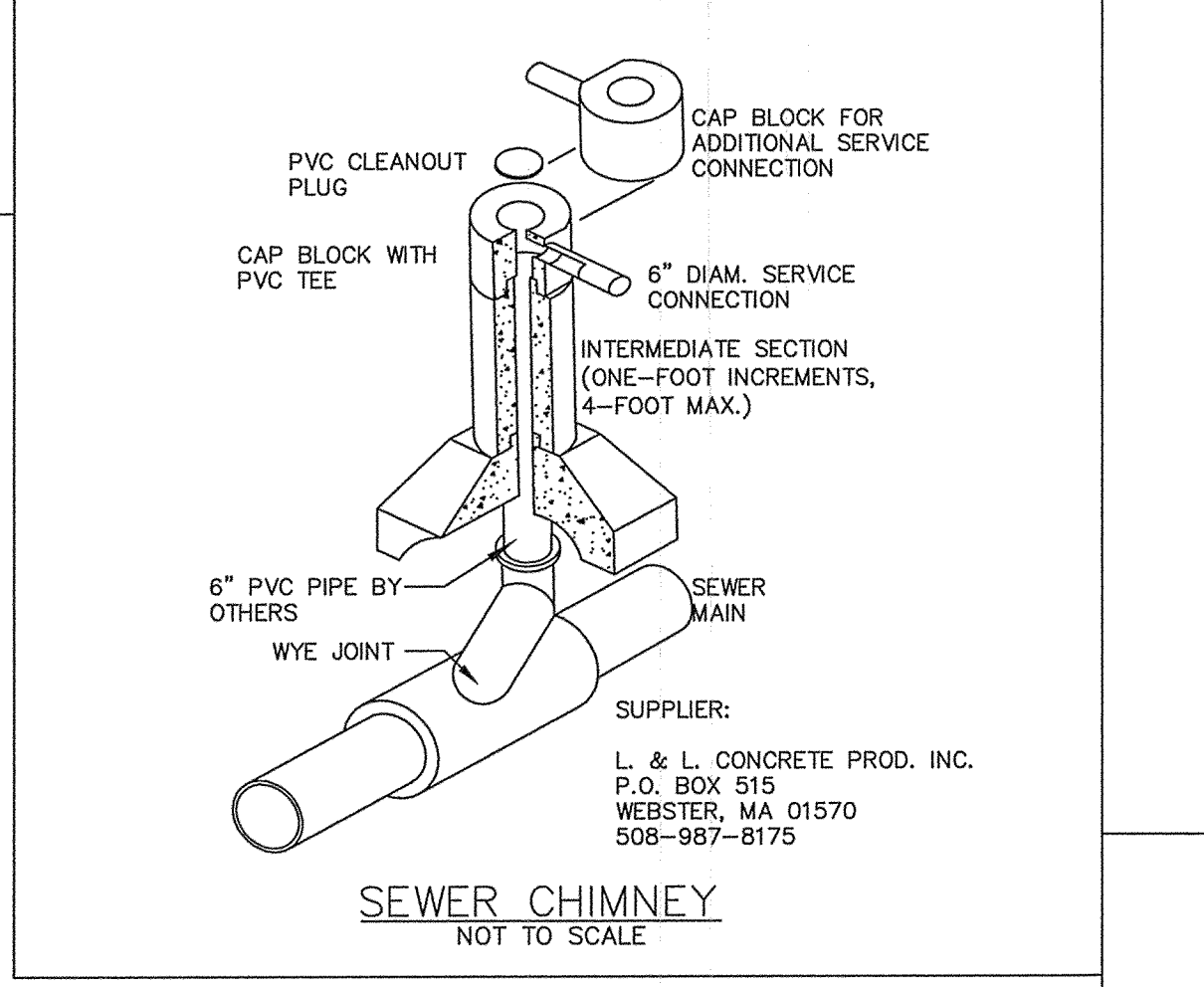
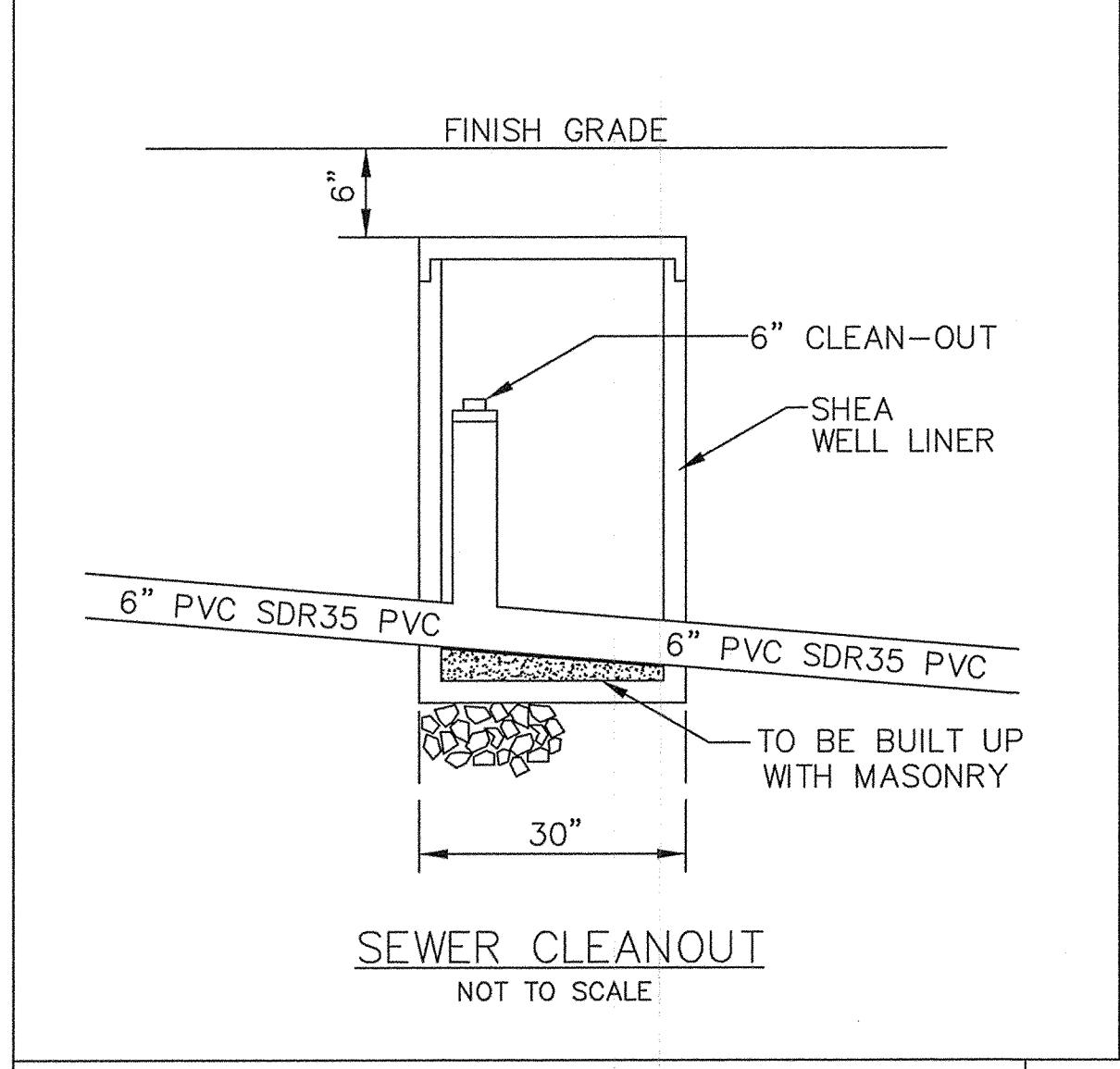
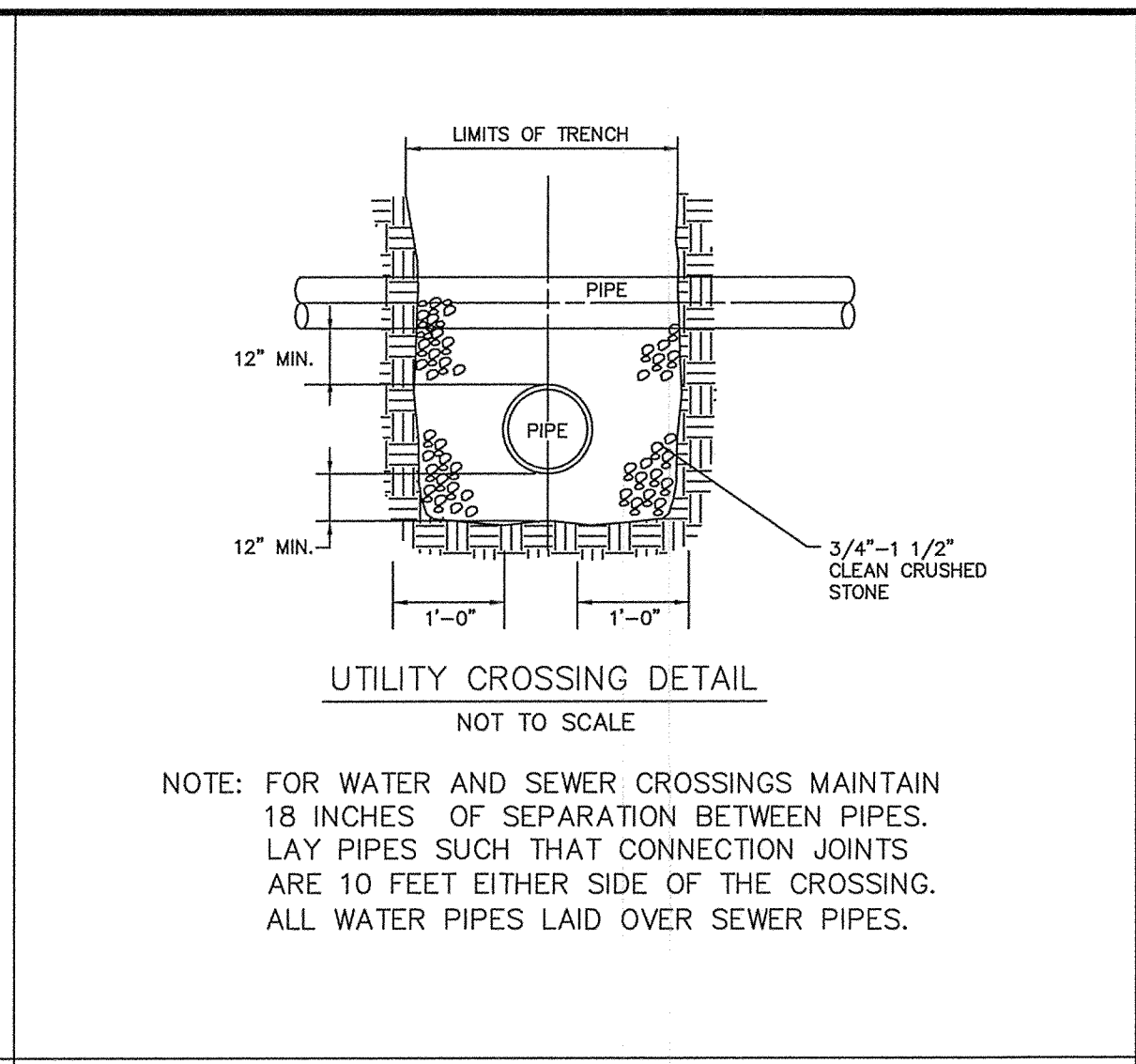
**OWNER**  
**MARLBOROUGH / NORTHBOROUGH**  
**LAND REALTY TRUST**  
**1 WALL STREET**  
**BURLINGTON, MA. 01803**

**SUBDIVIDER**  
**COMMONWEALTH HEIGHTS, LLC**  
**128 WEST STREET**  
**WILMINGTON, MA. 01887**

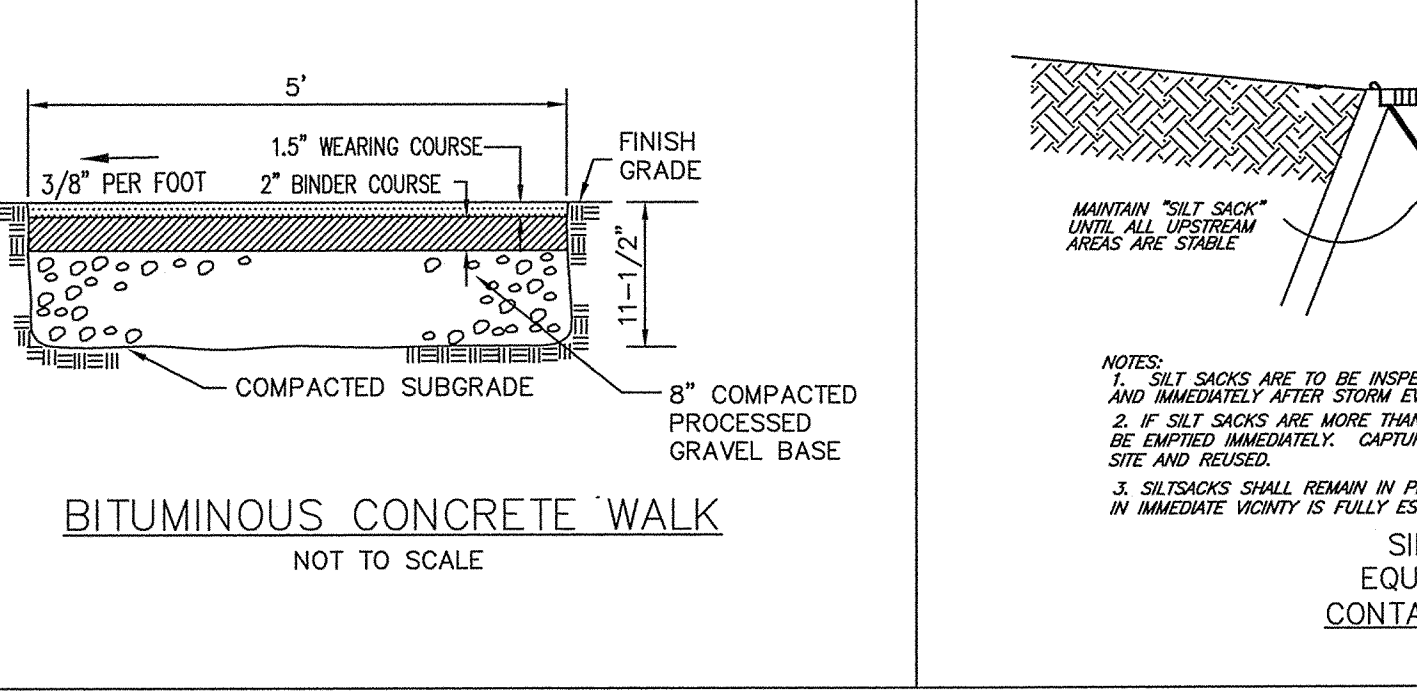
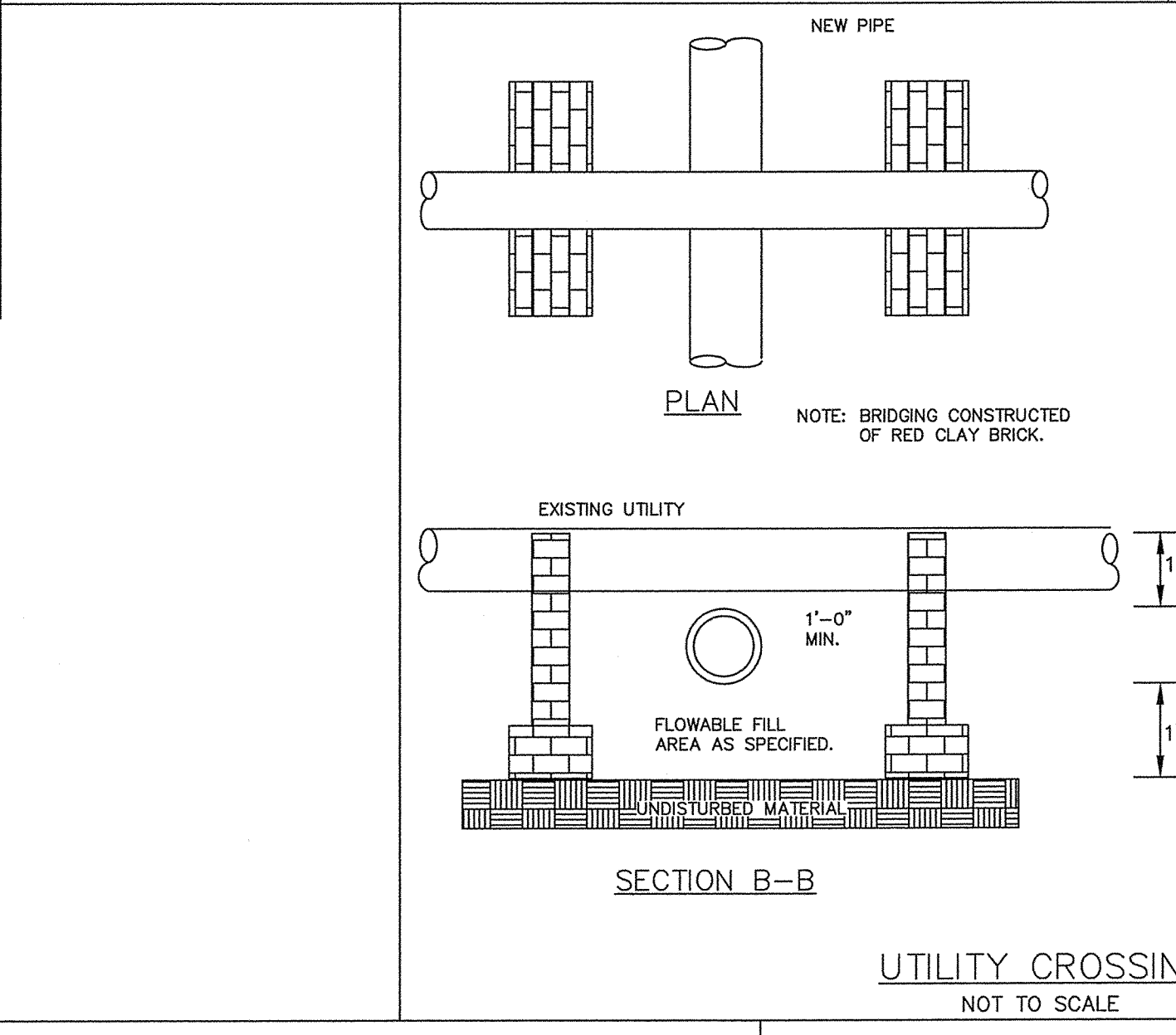
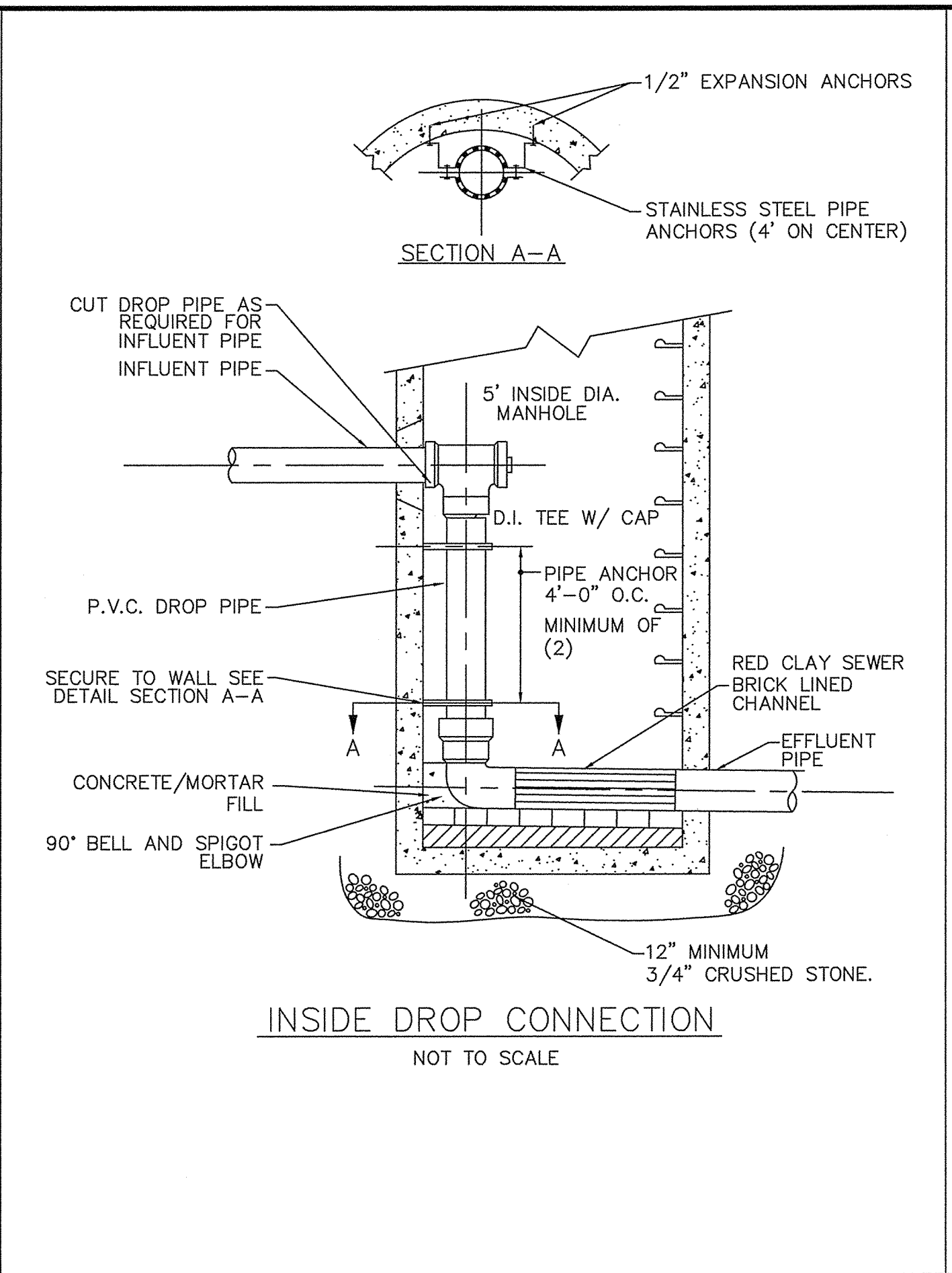
APPROVAL UNDER THE  
SUBDIVISION CONTROL LAW,  
IS REQUIRED.

**MARLBOROUGH PLANNING BOARD**

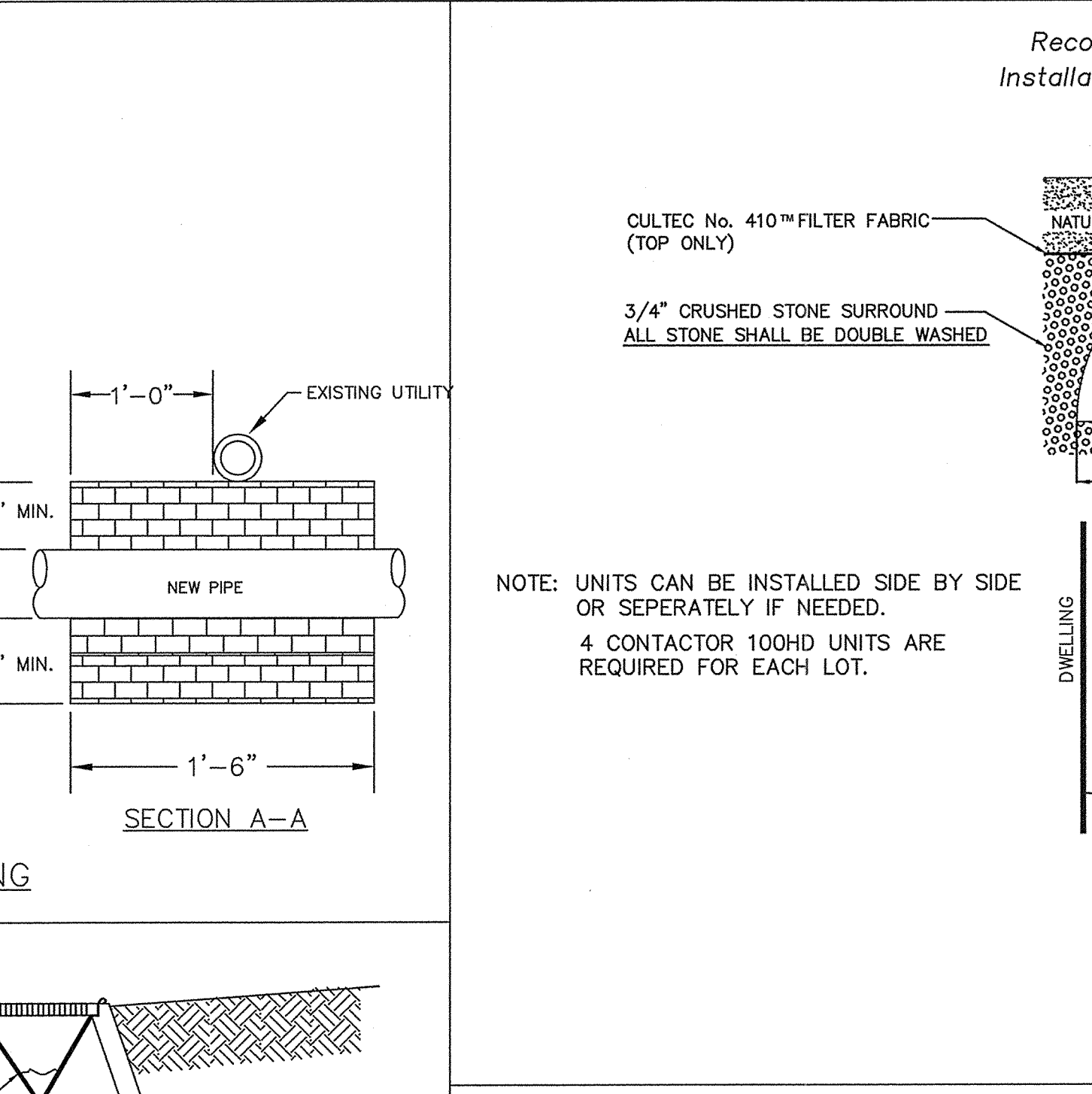
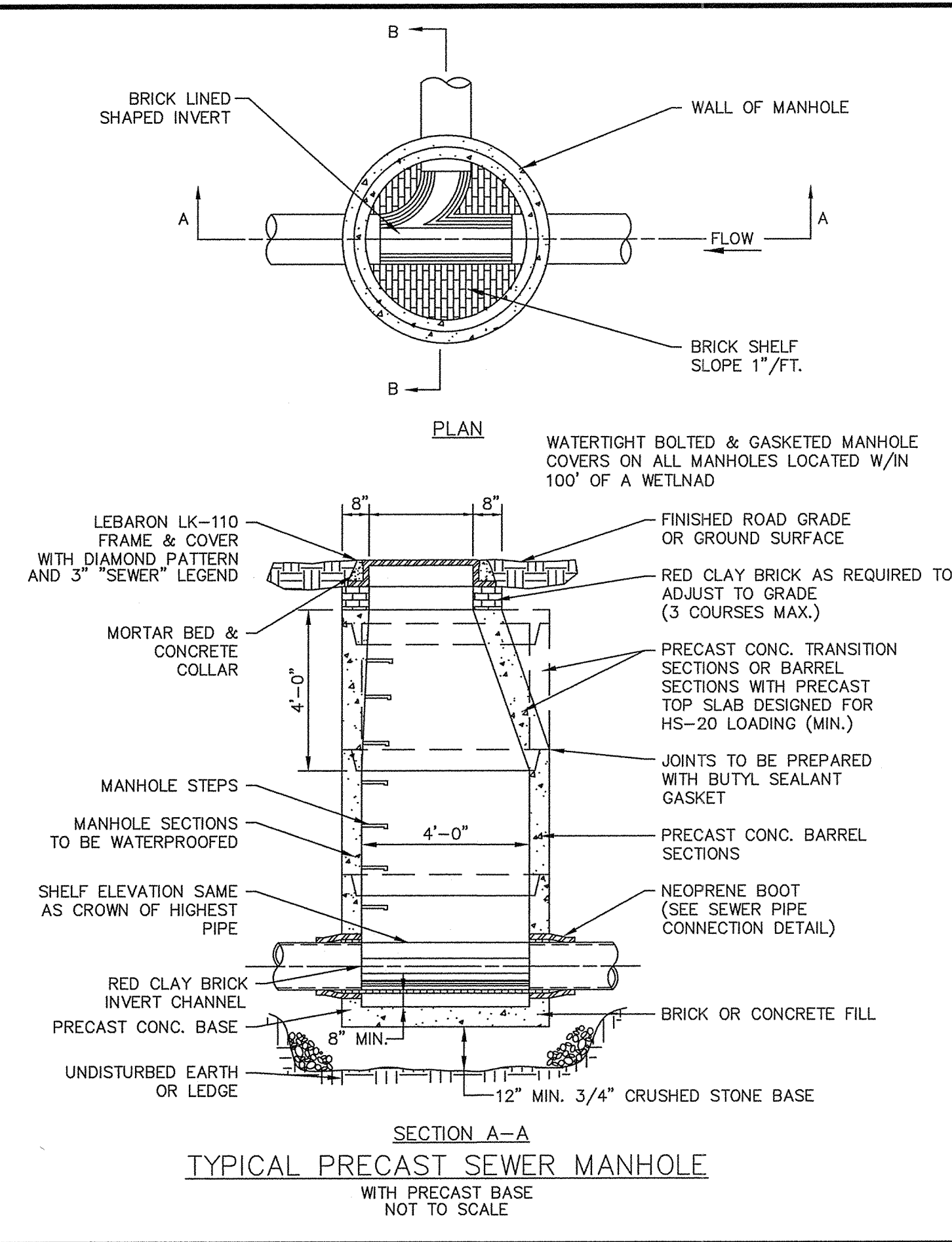
DATE: \_\_\_\_\_



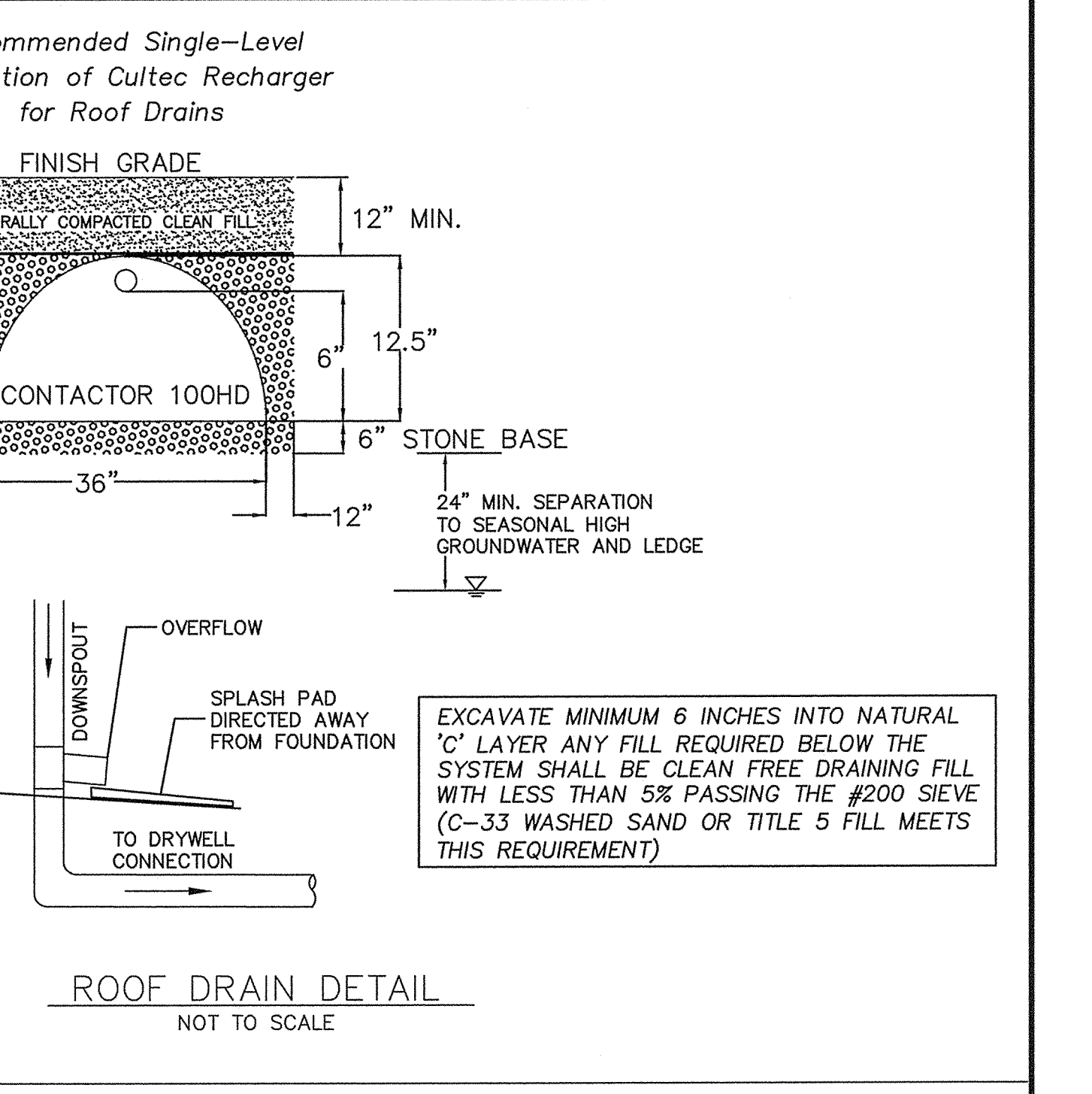
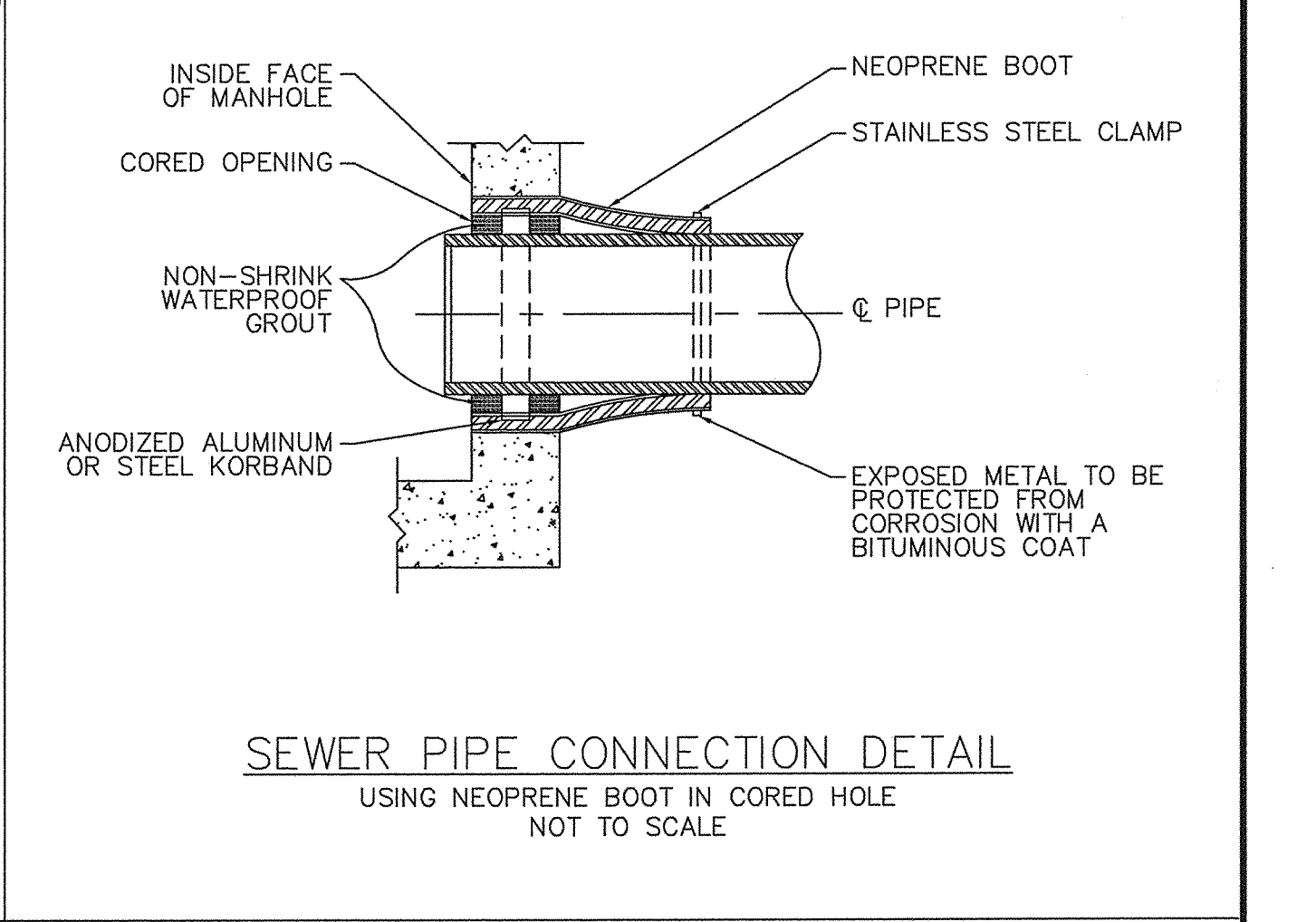
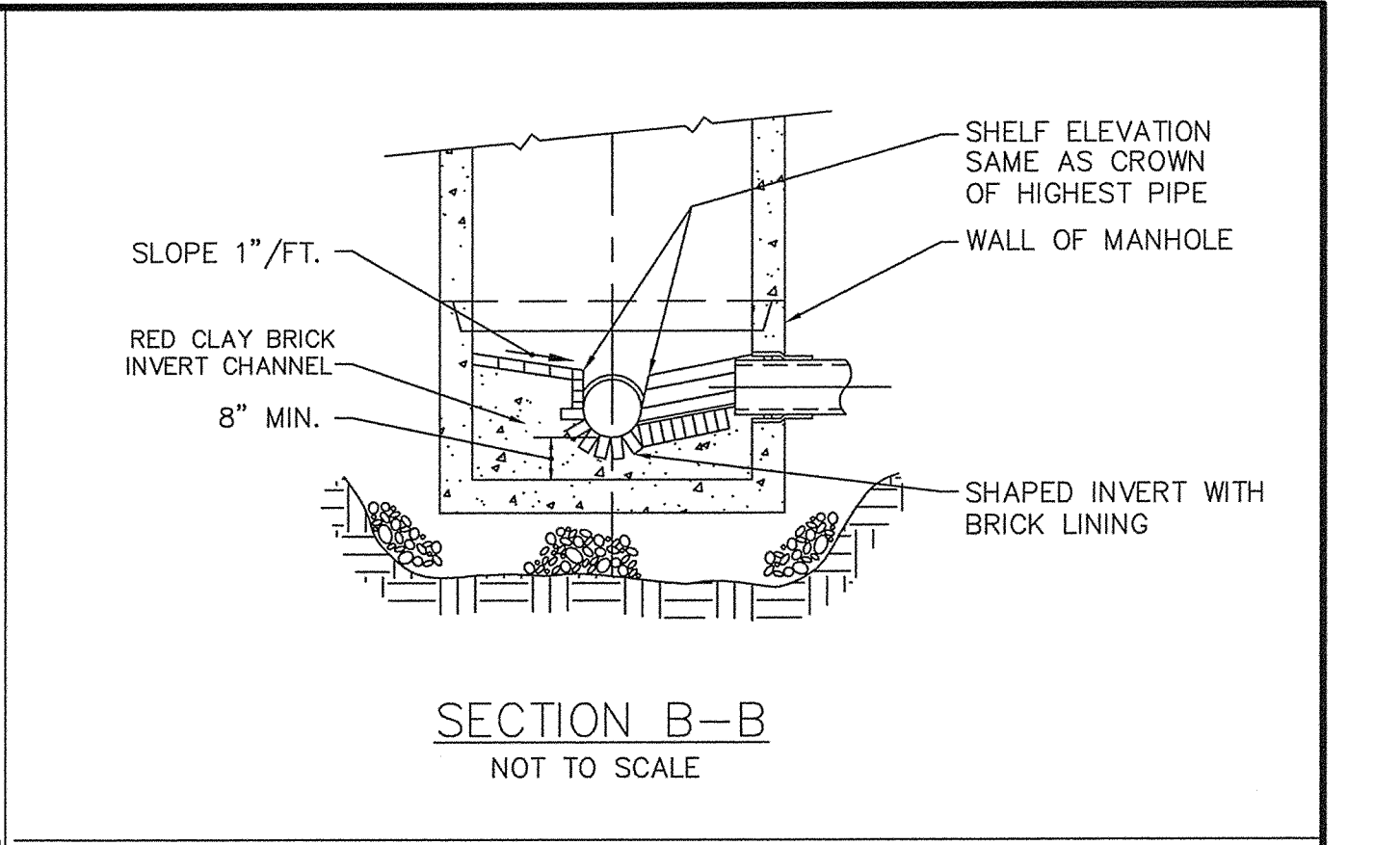
CLERK OF THE CITY OF MARLBOROUGH  
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD  
OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN  
FOR TWENTY (20) DAYS THEREAFTER.



**CONCORSTONE**  
**CONSULTING CIVIL ENGINEERS**  
**AND**  
**LAND SURVEYORS**  
**10 SOUTHWEST CUTOFF, SUITE 7**  
**NORTHBOROUGH, MASSACHUSETTS 01532**  
**TEL: (508) 393-9727 FAX: (508) 393-5242**

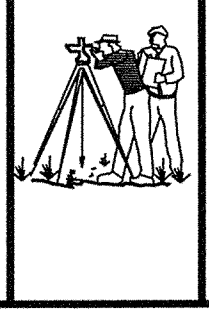
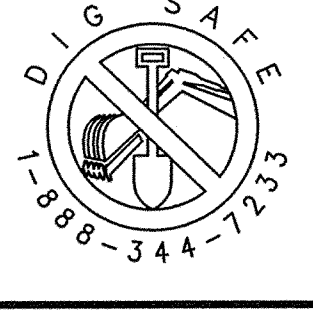
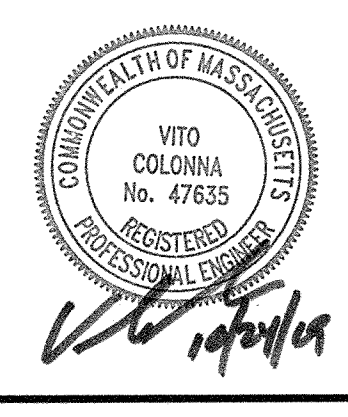


**SUBDIVIDER**  
**COMMONWEALTH HEIGHTS, LLC**  
**128 WEST MAIN STREET**  
**WILMINGTON, MA. 01887**  
**(978) 988-8060**



**OWNER**  
**MARLBOROUGH / NORTHBOROUGH**  
**LAND REALTY TRUST**  
**1 WALL STREET**  
**BURLINGTON, MA. 01803**  
**(781) 272-7000**

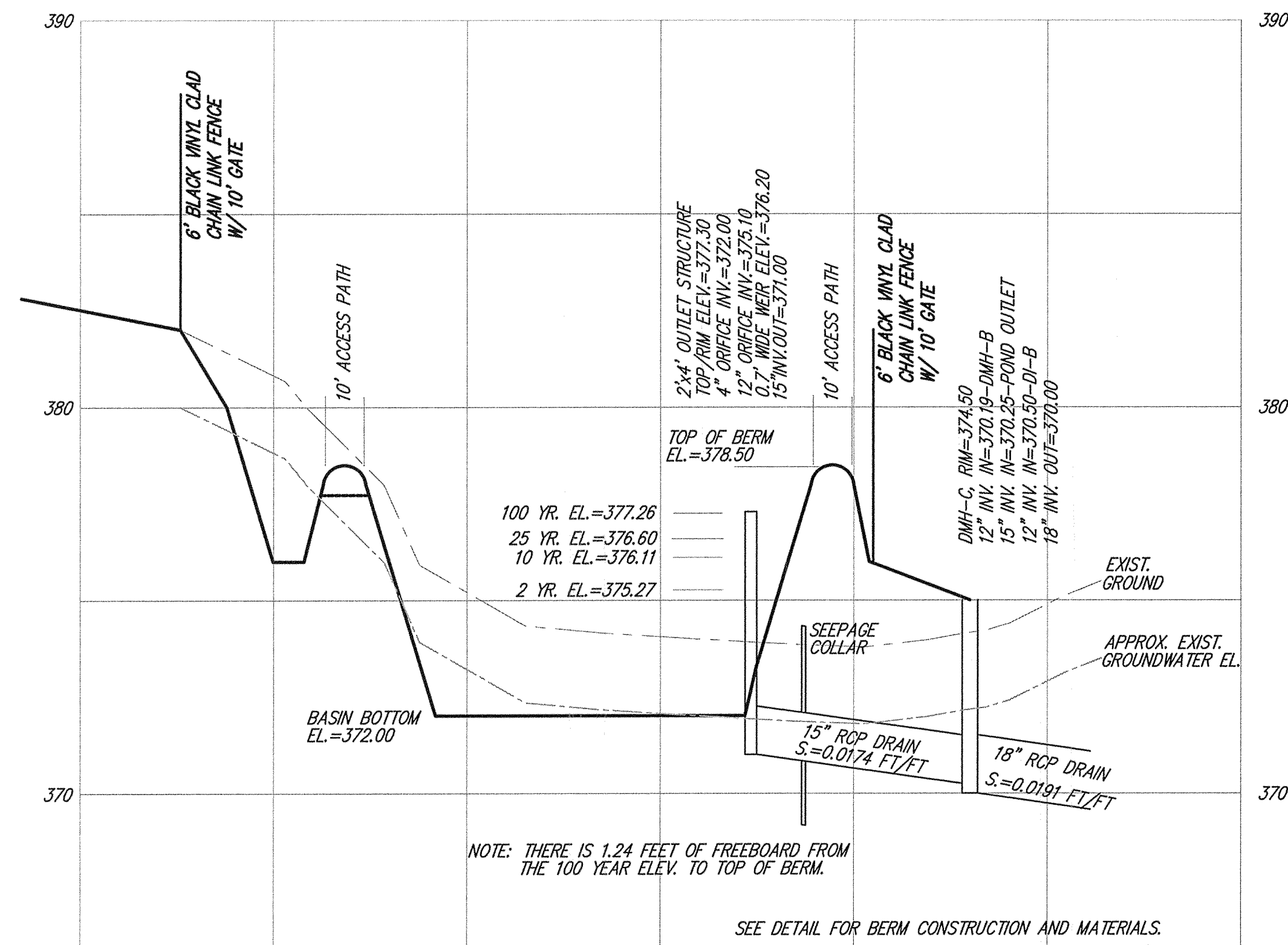
**DEFINITIVE PLAN**  
**CONSTRUCTION DETAILS**  
**OF**  
**COMMONWEALTH HEIGHTS**  
**IN**  
**MARLBOROUGH, MA.**



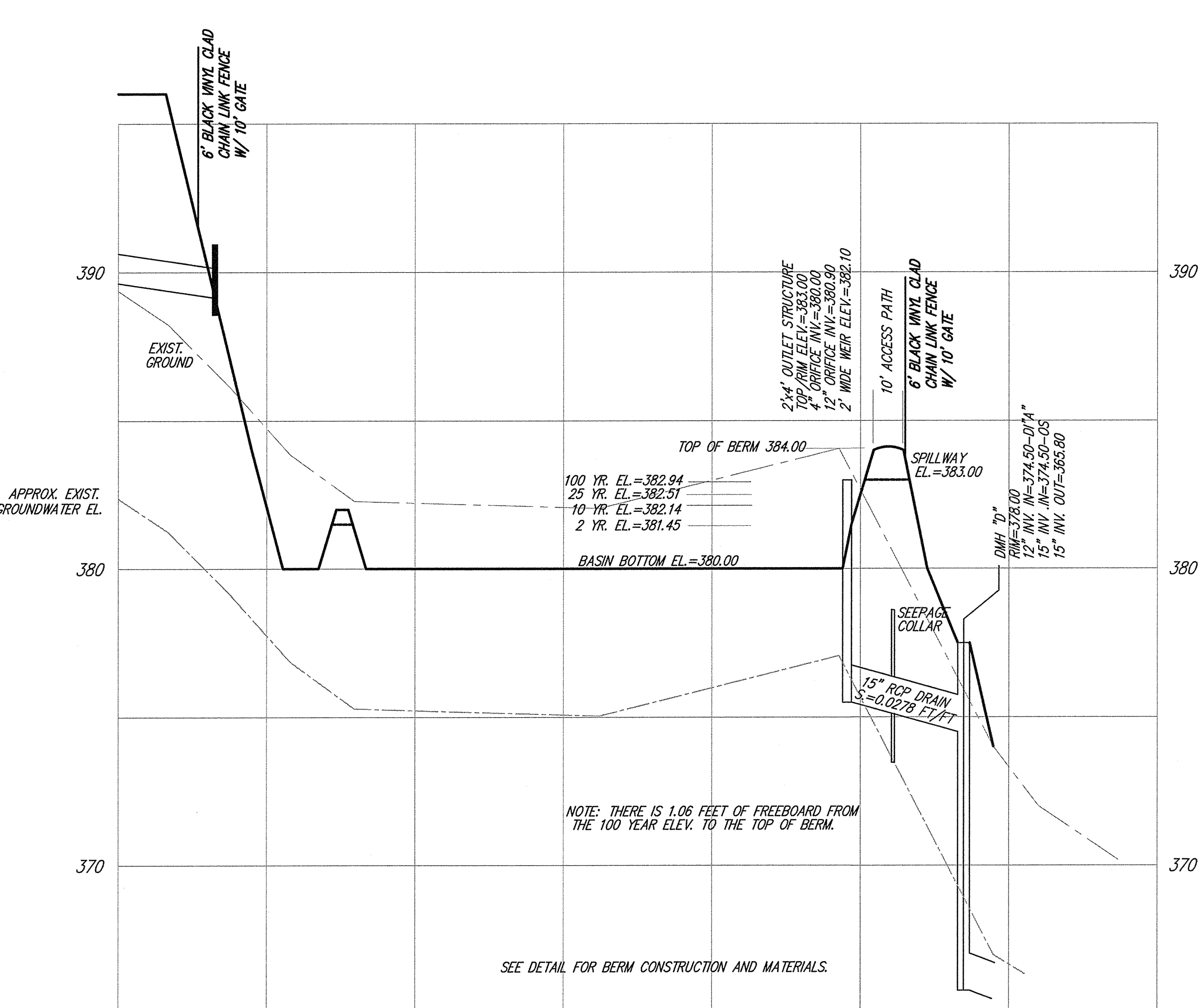
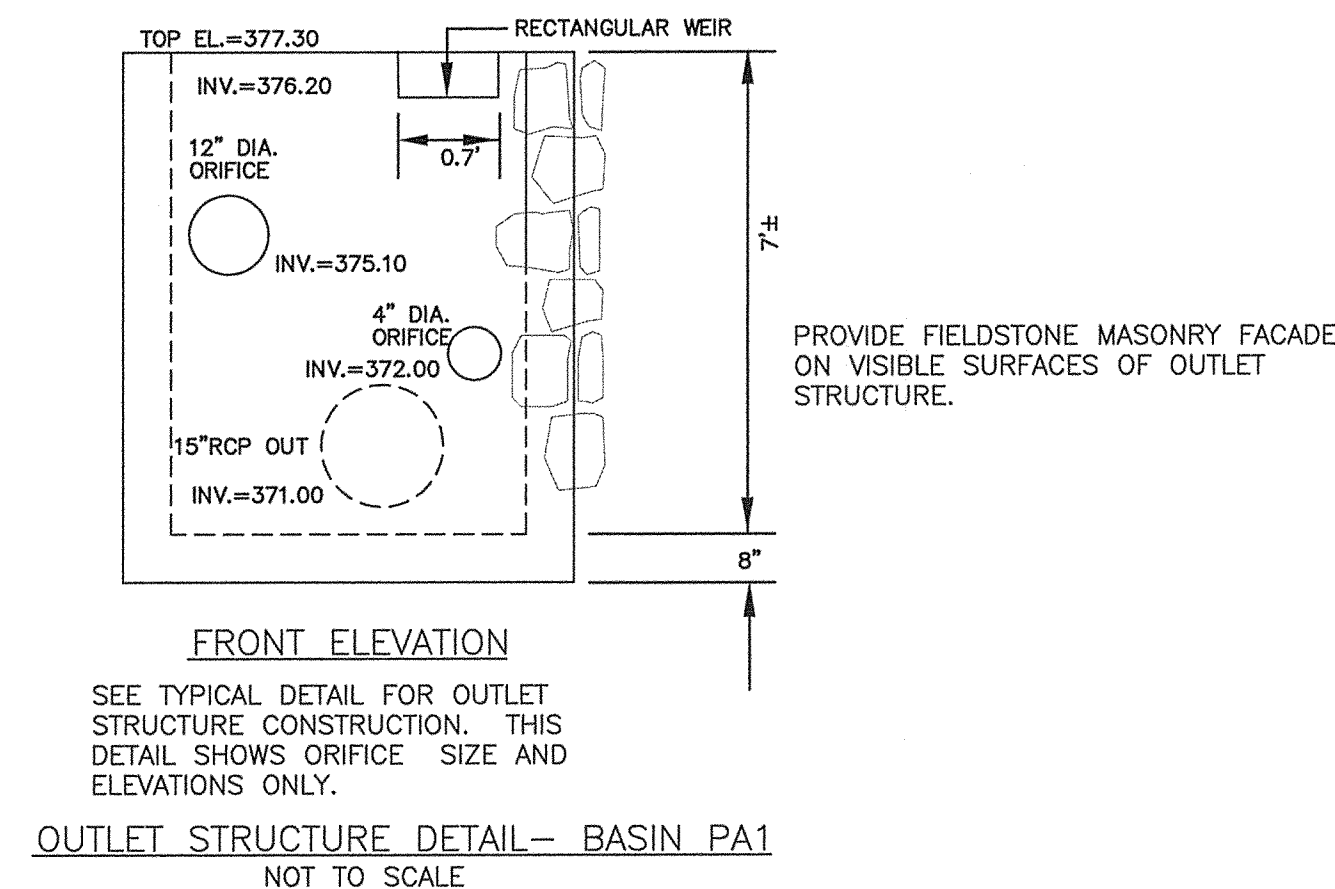
**DESIGNED BY: REM, TDP**  
**CHECKED BY: VC**  
**COMPUTED BY: REM**  
**FIELD SURVEY: BKK**  
**DRAWN BY: REM**  
**SCALE: NONE**  
**SHEET 9 OF 10**

REVISIONS
OCTOBER 24, 2019

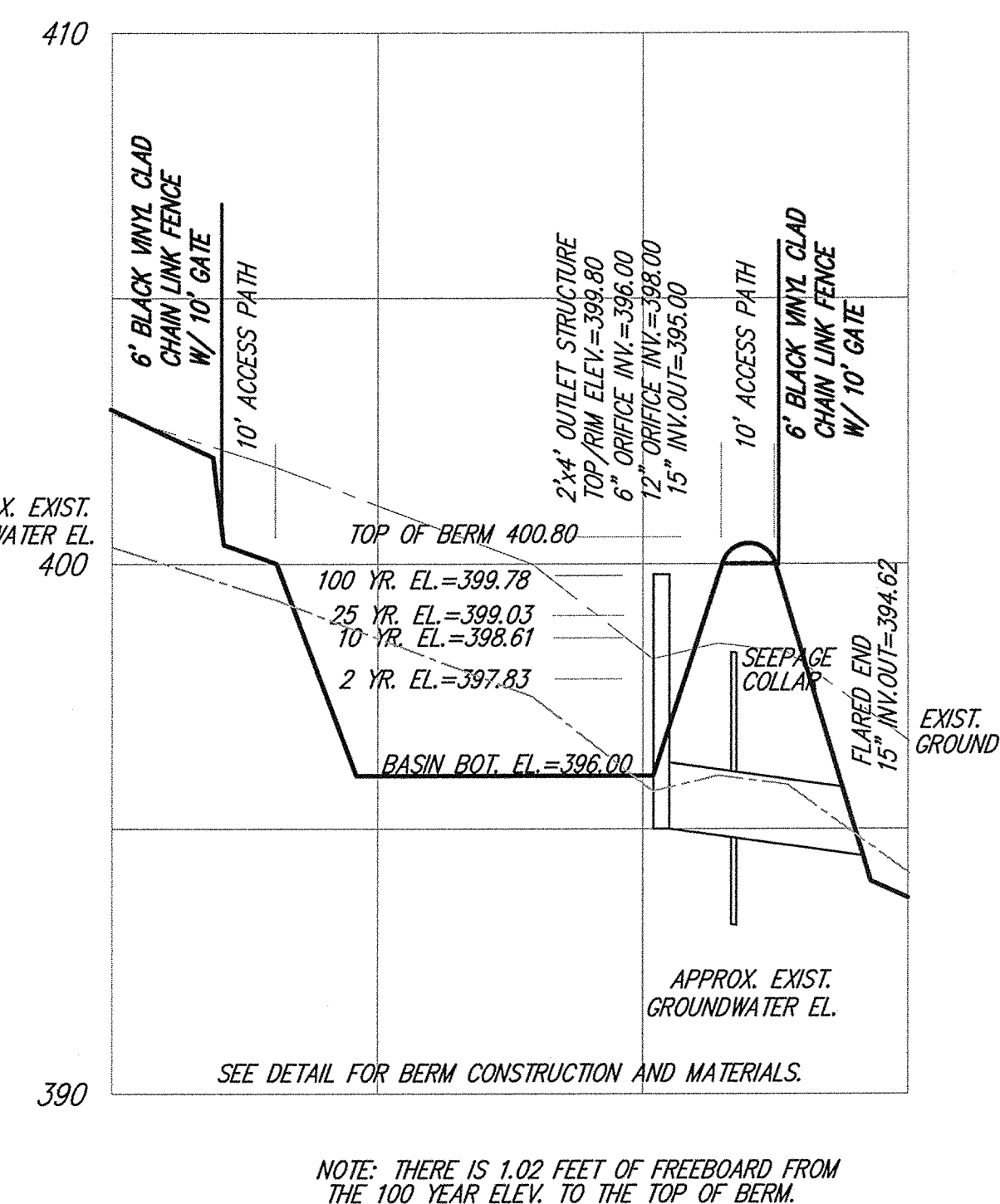
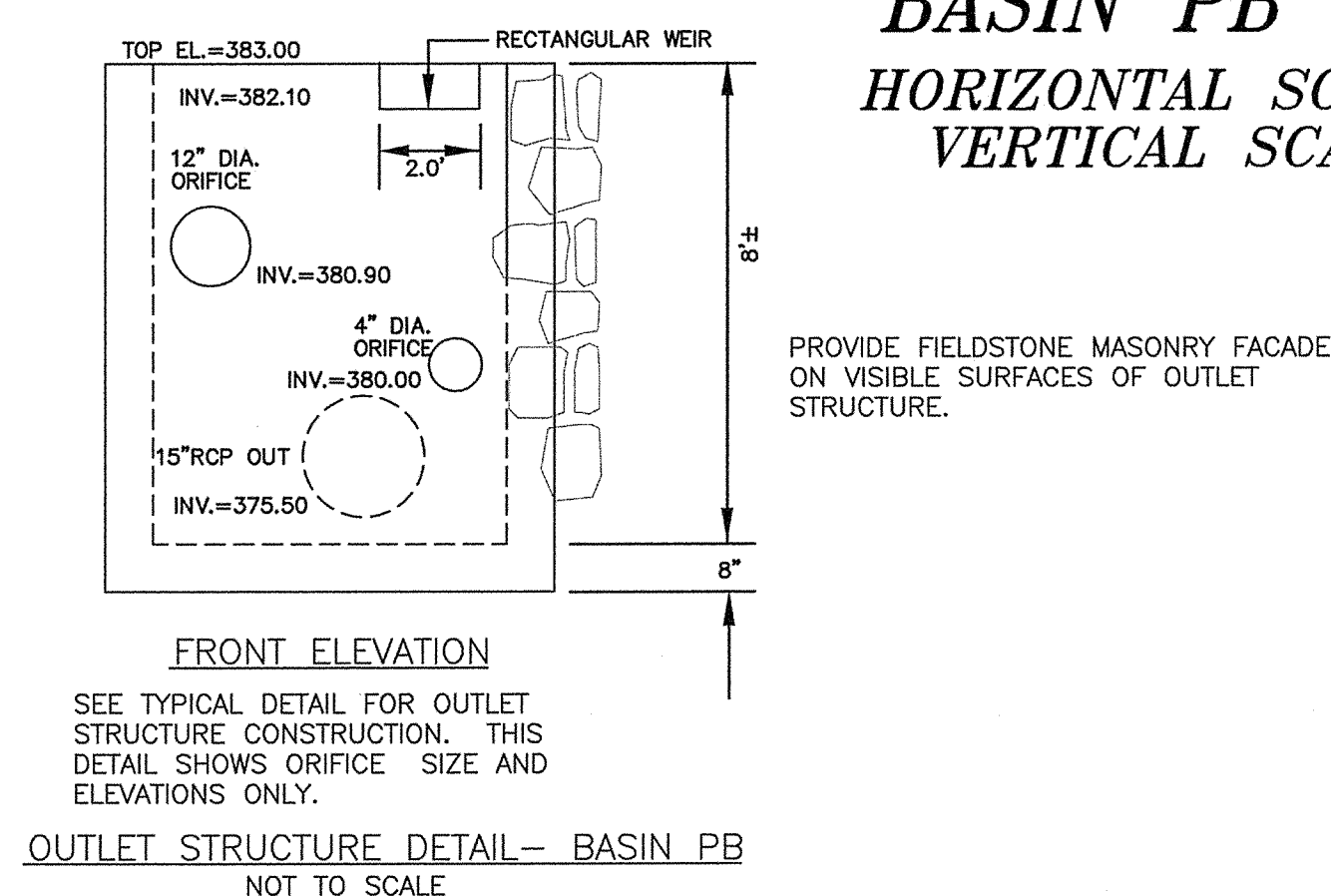




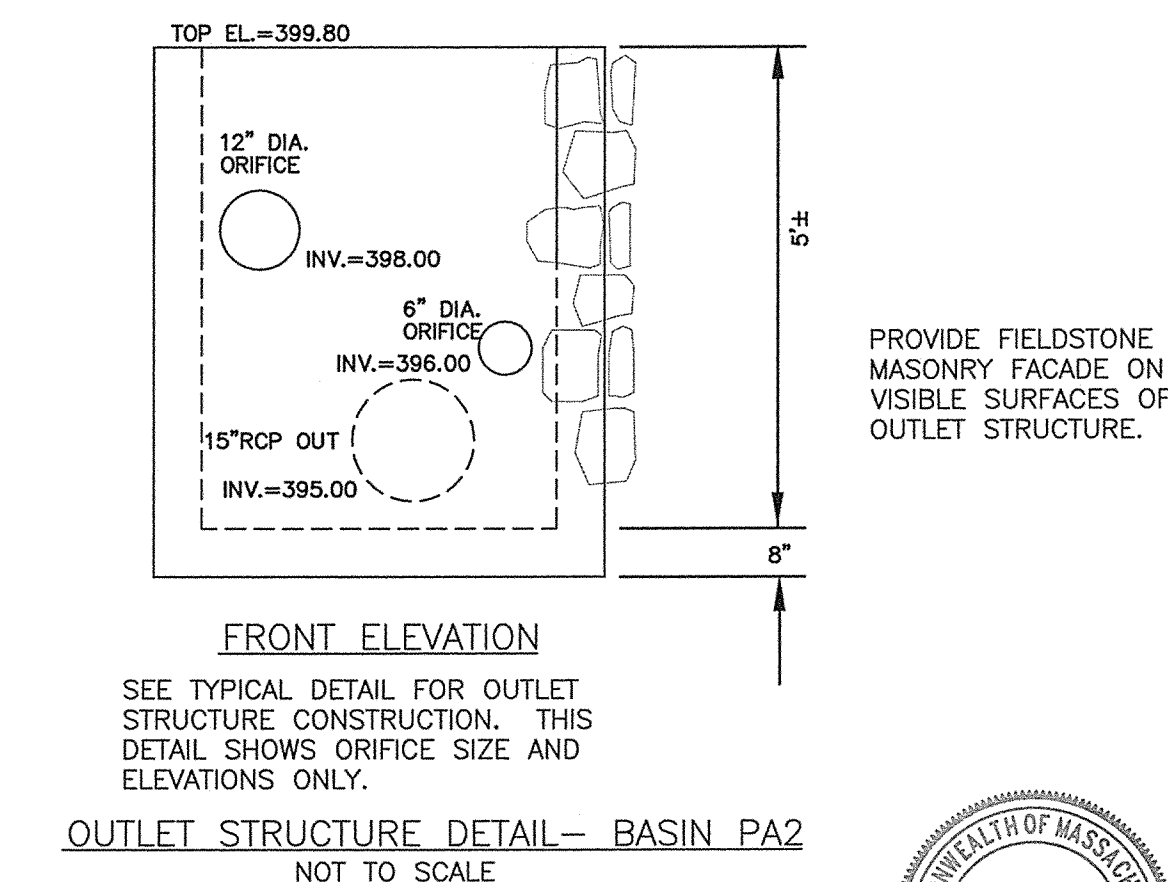
**BASIN PA1 SECTION**  
HORIZONTAL SCALE: 1"=30'  
VERTICAL SCALE: 1"=3'



**BASIN PB SECTION**  
HORIZONTAL SCALE: 1"=30'  
VERTICAL SCALE: 1"=3'



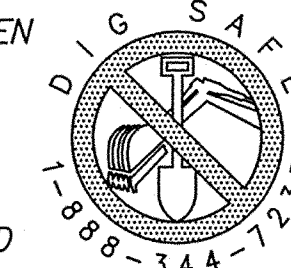
**BASIN PA2 SECTION**  
HORIZONTAL SCALE: 1"=30'  
VERTICAL SCALE: 1"=3'



APPROVAL UNDER THE  
SUBDIVISION CONTROL LAW,  
IS REQUIRED.  
**MARLBOROUGH PLANNING BOARD**

DATE: \_\_\_\_\_

I, \_\_\_\_\_ CLERK OF THE CITY OF MARLBOROUGH  
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD  
OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN  
FOR TWENTY (20) DAYS THEREAFTER.



NOTE: TOPOGRAPHY SHOWN IS BASED ON N.G.V.D. OF 1929 AND  
THE RESULT OF AN ON-GROUND SURVEY BY: CONNORSTONE.

**OWNER**  
**MARLBOROUGH / NORTHBOROUGH**  
**LAND REALTY TRUST**  
1 WALL STREET  
BURLINGTON, MA. 01803  
(781) 272-7000  
FAX (781) 272-3130

**SUBDIVIDER**  
**COMMONWEALTH HEIGHTS, LLC**  
128 WEST MAIN STREET  
WILMINGTON, MA. 01887  
(978) 988-8060  
FAX (978) 988-0181

**CONSTRUCTION DETAILS**  
OF  
**COMMONWEALTH HEIGHTS**  
IN  
**MARLBOROUGH, MA.**  
**CONNORSTONE**  
CONSULTING CIVIL ENGINEERS  
AND  
LAND SURVEYORS  
10 SOUTHWEST CUTOFF, SUITE 7  
NORTHBOROUGH, MASSACHUSETTS 01532  
TEL: (508) 393-9727 FAX: (508) 393-5242

DESIGNED BY: REM,TDP	
CHECKED BY: VC	
COMPUTED BY: VHH	
FIELD SURVEY: BKK	
DRAWN BY: REM, VHH	
SCALE: AS SHOWN	
SHEET 10 OF 10	REVISIONS OCTOBER 24, 2019

## ABUTTERS LIST

## MARLBOROUGH ASSESSORS

*Anthony C. Amato*  
*William K. Silverstein*  
*Paul May Jr.*

Abutters Gutierrez Parcels 89-80 thru 99, 100-24,25,26 500 ft  
 MARLBOROUGH, MA

Map	Block	Lot	Unit	Owner's Name	Co Owner's Name	Address	City	ST Zip	Parcel Location
89	3			320-330 MIDDLESEX AVENUE LLC		C/O JOHN DEVRIES	MARLBOROUGH	MA 01752	85 AMES ST
89	6			HTF EQUITY PARTNERS LLC		150 EAST 58TH ST STE 2000	NEW YORK	NY 10155	200 NICKERSON RD
89	9			GRAY SCOTT DAVID		228 GLEN ST	MARLBOROUGH	MA 01752	228 GLEN ST
89	37			MAIDA DAVID J		128 CONRAD RD	MARLBOROUGH	MA 01752	128 CONRAD RD
89	38			TAYLOR MICHELLE L		9 FLYNN AVE	MARLBOROUGH	MA 01752	9 FLYNN AVE
89	39			LUNDBERG JOYCE E		154 CONRAD RD	MARLBOROUGH	MA 01752	154 CONRAD RD
89	38			FAIRFIELD LIMITED PARTNERSHIP		5501 MOREHOUSE DR STE 200	SAN DIEGO	CA 92121	135-175 AMES ST
89	3C			CITY OF MARLBOROUGH		140 MAIN ST	MARLBOROUGH	MA 01752	GLEN ST
89	40			FLUCHINO MARK	DEVON FLUCHINO	7 TELLER ST	MARLBOROUGH	MA 01752	7 TELLER ST
89	41			SINKO IRENEUSZ	JANINA SINKO	171 CONRAD RD	MARLBOROUGH	MA 01752	171 CONRAD RD
89	42			SUAZO PABLO A	LORRAINE GONZALEZ SUAZO	161 CONRAD RD	MARLBOROUGH	MA 01752	161 CONRAD RD
89	43			PIRROTTA NICHOLAS	MELISSA PIRROTTA	153 CONRAD RD	MARLBOROUGH	MA 01752	153 CONRAD RD
89	44			KELLEY MARY ELLEN		145 CONRAD RD	MARLBOROUGH	MA 01752	145 CONRAD RD
89	45			LOWERY MICHAEL P	LUCIANNE G HACKER	137 CONRAD RD	MARLBOROUGH	MA 01752	137 CONRAD RD
89	46			CARPANEDA EDUARDO R	ANGELA CYNARA R CARPANEDA	198 GLEN ST	MARLBOROUGH	MA 01752	198 GLEN ST
89	47			KLUSACEK MARYELLEN CARLILE	MICHAEL KLUSACEK	204 GLEN ST	MARLBOROUGH	MA 01752	204 GLEN ST
89	53			FERRIS DIANE N	SEAN G FERRIS	14 FLYNN AVE	MARLBOROUGH	MA 01752	14 FLYNN AVE
89	54			US BANK NATIONAL ASSOC TR	JP MORGAN MTG ACQUISITION CORP	C/O OCWEN LOAN SERVICING	WEST PALM BEACH FL	33409	22 FLYNN AVE
89	55			VALADARES ROMULO	SIMONE D VALADARES	30 FLYNN AVE	MARLBOROUGH	MA 01752	30 FLYNN AVE
89	56			SABELLA JANE LI EST		17 FLYNN AVE	MARLBOROUGH	MA 01752	17 FLYNN AVE
89	57			OLSEN HELEN M	PAMELA H UZZI	25 FLYNN AVE	MARLBOROUGH	MA 01752	25 FLYNN AVE
89	58			MACPHEE DANA	JACOB RATLIFF	33 FLYNN AVE	MARLBOROUGH	MA 01752	33 FLYNN AVE
89	59			MORICH LORRAINE		41 FLYNN AVE	MARLBOROUGH	MA 01752	41 FLYNN AVE
89	60			GELSOMINI MICHAEL J		12 TELLER ST	MARLBOROUGH	MA 01752	12 TELLER ST
89	61			LEHARBRE MARC DARRELL		20 TELLER ST	MARLBOROUGH	MA 01752	20 TELLER ST
89	62			HERNANDEZ JUNIOR	SILVANA LUNA OTALVARO	28 TELLER ST	MARLBOROUGH	MA 01752	28 TELLER ST
89	63			HARDIMAN JOSEPH	KIM HARDIMAN	36 TELLER ST	MARLBOROUGH	MA 01752	36 TELLER ST
89	64			HUDSON VIEIRA T		17 TELLER ST	MARLBOROUGH	MA 01752	17 TELLER ST
89	65			GORMAN MICHAEL R	ALYCE M GORMAN	25 TELLER ST	MARLBOROUGH	MA 01752	25 TELLER ST
89	66			SANYER JOHN F	MARGUERITE C SANYER	33 TELLER ST	MARLBOROUGH	MA 01752	33 TELLER ST
89	67			BOWLES SHANE	SANDRA E BOWLES	41 TELLER ST	MARLBOROUGH	MA 01752	41 TELLER ST
89	68			MCCLAY PATRICIA A LI EST		49 TELLER ST	MARLBOROUGH	MA 01752	49 TELLER ST
89	69			HAMMOND MARY A		93 SANDINI RD	MARLBOROUGH	MA 01752	93 SANDINI RD
89	70			LECONTI ROBERT E	KYLA M LECONTI	101 SANDINI RD	MARLBOROUGH	MA 01752	101 SANDINI RD
89	71			PRATT RICHARD B	THERESA S PRATT	109 SANDINI RD	MARLBOROUGH	MA 01752	109 SANDINI RD
89	72			DAME CHRISTOPHER A	LISA S DAME	15 MACKAY DR	MARLBOROUGH	MA 01752	15 MACKAY DR
89	73			TZIMOULIS ARISTOTELIS	VALERIE A G TZIMOULIS	19 MACKAY DR	MARLBOROUGH	MA 01752	19 MACKAY DR
89	74			RAMARAJU VENKATA S	PADMA M RAMARAJU	27 MACKAY DR	MARLBOROUGH	MA 01752	27 MACKAY DR
89	75			STIRLING DANIEL P LI EST	JEANNE A STIRLING LI EST	20 MACKAY DR	MARLBOROUGH	MA 01752	20 MACKAY DR
89	76			SOSSAVI AKUETE W	AKOELE P SOSSAVI	12 MACKAY DR	MARLBOROUGH	MA 01752	12 MACKAY DR
89	83			GUTIERREZ ARTURO J TR	JOHN A CATALDO TR	200 WHEELER DR	BURLINGTON	MA 01803	37 ATKINSON DR
89	9A			LEBLANC ROGER J	EMMA M LEBLANC	244 GLEN ST	MARLBOROUGH	MA 01752	244 GLEN ST
89	9B			VORCE ALAN L	MARTHA A VORCE	236 GLEN ST	MARLBOROUGH	MA 01752	236 GLEN ST
89	9C			CHAVES JULIO C		220 GLEN ST	MARLBOROUGH	MA 01752	220 GLEN ST
89	9D			MCMALLY-SHAHBAZI LISA F		212 GLEN ST	MARLBOROUGH	MA 01752	212 GLEN ST
90	1			BRUSTER RICHARD C TR	N/O ANN RING	257 FOREST ST	MARLBOROUGH	MA 01752	257 FOREST ST

**Abutters Gutierrez Parcels 89-80 thru 99, 100-24,25,26 500 ft  
MARLBOROUGH, MA**

Map	Block	Lot	Unit	Owner's Name	Co Owner's Name	Address	City	ST Zip	Parcel Location
90	2			FORE KICKS II LIMITED PARTNERSHIP		190 ROLLING MEADOW DR	HOLLISTON	MA 01746	219 FOREST ST
90	1B			RODOLEWICZ JOHN III	VICTORIA A PAPSCOR	269 FOREST ST	MARLBOROUGH	MA 01752	269 FOREST ST
90	1C			JIMENEZ WILDER	LISBETH AMBROCIO	275 FOREST ST	MARLBOROUGH	MA 01752	275 FOREST ST
90	64			DALLIS DANA R		52 SANDINI RD	MARLBOROUGH	MA 01752	52 SANDINI RD
90	65			TESMER GREGORY M	MAUREEN M TESMER	58 SANDINI RD	MARLBOROUGH	MA 01752	58 SANDINI RD
90	66			WARD MICHAEL A	CATHERINE G WARD	68 SANDINI RD	MARLBOROUGH	MA 01752	68 SANDINI RD
90	67			AMATO MICHAEL A	NADINE M AMATO	74 SANDINI RD	MARLBOROUGH	MA 01752	74 SANDINI RD
90	68			BROZ ALFRED L	BEVERLY BROZ	50 TELLER ST	MARLBOROUGH	MA 01752	50 TELLER ST
90	69			WATERMAN DONNA J		55 TELLER ST	MARLBOROUGH	MA 01752	55 TELLER ST
90	70			PEREZ WILFREDO		90 SANDINI RD	MARLBOROUGH	MA 01752	90 SANDINI RD
90	71			JOHNSON LEONA E	CARL E JOHNSON	98 SANDINI RD	MARLBOROUGH	MA 01752	98 SANDINI RD
90	72			MCKENZIE KENNETH V SR		46 TELLER ST	MARLBOROUGH	MA 01752	46 TELLER ST
90	73			GARCIA THOMAS A		63 SANDINI RD	MARLBOROUGH	MA 01752	63 SANDINI RD
90	74			LAMATTINA DEIRDRE H		49 FLYNN AVE	MARLBOROUGH	MA 01752	49 FLYNN AVE
90	75			MIOLA VINCENT J	CATHERINE M MIOLA	48 FLYNN AVE	MARLBOROUGH	MA 01752	48 FLYNN AVE
90	76			PEREIRA HOMERO		38 FLYNN AVE	MARLBOROUGH	MA 01752	38 FLYNN AVE
100	1			ATLANTIC-MARLBORO REALTY III LLC		C/O ATLANTIC MANAGEMENT C	FRAMINGHAM	MA 01701	0 SIMARANO DR
100	10			FOSSILE GERALDINE TR	LINDA FOSSILE TR	424 SOUTH ST	MARLBOROUGH	MA 01752	384 FOREST ST
100	11			MTP EQUITY PARTNERS LLC		150 EAST 58TH ST STE 2000	NEW YORK	NY 10155	100 NICKERSON RD
100	15			SILVA DAVID E		343 FOREST ST	MARLBOROUGH	MA 01752	343 FOREST ST
100	16			HALL ROLAND L	JUDITH A HALL	117 SANDINI RD	MARLBOROUGH	MA 01752	117 SANDINI RD
100	17			MEYER FREDERICK W JR	SUSAN R WING	125 SANDINI RD	MARLBOROUGH	MA 01752	125 SANDINI RD
100	18			NESBITT ANTHONY T TR	MOLLY BRODEUR-NESBITT TR	112 SANDINI RD	MARLBOROUGH	MA 01752	112 SANDINI RD
100	21			BND REALTY LLC		410 FOREST ST	MARLBOROUGH	MA 01752	410 FOREST ST
100	23			ENQUIST BONI-ESTER	MARCUS V GIOTTO	295 FOREST ST	MARLBOROUGH	MA 01752	295 FOREST ST
101	2			ATLANTIC-MARLBORO REALTY III LLC	C/O ATLANTIC MANAGEMENT CORP	205 NEWBURY ST	FRAMINGHAM	MA 01701	200-230 FOREST ST
101	1A			STAFFORD JANICE H		287 FOREST ST	MARLBOROUGH	MA 01752	287 FOREST ST

## RELEASE DEED

METROPOLITAN LIFE INSURANCE COMPANY, a New York corporation, having its principal place of business at One Madison Avenue, New York, New York 10010, for consideration of Two Hundred Seventy Three Thousand Thirty Three Dollars and Forty Nine Cents (\$273,033.49) paid, releases all right, title and interest to ARTURO J. GUTIERREZ AND JOHN A. CATALDO, TRUSTEES OF MARLBOROUGH/NORTHBOROUGH LAND REALTY TRUST, under Declaration of Trust, dated October 12, 2000 and recorded herewith, with an address at One Wall Street, Burlington, Massachusetts 01803, certain real property, together with all improvements thereon and all appurtenances thereto, located in the City of Marlborough, County of Middlesex, Commonwealth of Massachusetts and more particularly described on Exhibit A attached hereto and made a part hereof.

The real property and improvements, if any, thereon conveyed hereby are not all, or substantially all, of the property of Metropolitan Life Insurance Company within the Commonwealth of Massachusetts.

IN WITNESS WHEREOF, METROPOLITAN LIFE INSURANCE COMPANY has executed this Release Deed on the 17<sup>th</sup> day of October, 2000.

METROPOLITAN LIFE INSURANCE COMPANY  
a New York corporation

By: W. Mark Keeney  
Name: W. Mark Keeney  
Title: Assistant Vice President

State of New York )  
) ss:  
County of New York )

BE IT REMEMBERED that on this 16<sup>th</sup> day of October, 2000, before me, the subscriber, a Notary Public of the State of New York, personally appeared W. Mark Keeney, an Assistant Vice-President of Metropolitan Life Insurance Company, who, I am satisfied, is the person who has executed the foregoing instrument on behalf of Metropolitan Life Insurance Company, pursuant to proper authorization of the Board of Directors of Metropolitan Life Insurance Company, and that said instrument is his free act and deed and the free act and deed of Metropolitan Life Insurance Company.

Nicole Bonadonna  
NOTARY PUBLIC

NICOLE BONADONNA  
Notary Public, State of New York  
No. 01805076751  
Qualified in Putnam County  
Commission Expires April 28, 2001

SEE PLAN IN RECORD BOOK 31932 PAGE 443

SEE PLAN IN RECORD BOOK 31932 PAGE 444

*Dup in l'd ct*

HAYES MEMORIAL DR  
LAKESIDE AVE  
BOND ST  
CRANE MEADOW DR  
NORTHBOROUGH MA

BOSTON POST RD  
TIMES ST  
BUTLETT  
FOREST

MSD 18/18/00 09:41:51 208 34.00

SEE PLAN IN RECORD BOOK 31932 PAGE 439  
PL # 1151  
SEE PLAN IN RECORD BOOK 31932 PAGE 440  
PL # 1158

SEE PLAN IN RECORD BOOK 31932 PAGE 441  
PL # 1157  
SEE PLAN IN RECORD BOOK 31932 PAGE 442  
PL # 1160  
SEE PLAN IN RECORD BOOK 31932 PAGE 443  
PL # 1161



A certain parcel of land situated at the northeasterly intersection of Forest Street and Ames Street, in the city of Marlborough, Middlesex County, Commonwealth of Massachusetts, shown as **Lot 14** on a Plan entitled "Plan of Land in Marlborough, Massachusetts, Prepared for: Metropolitan Life Insurance Company, Prepared by: Vanasse Hangen Brustlin, Inc., Date: September 19, 2000", recorded October 18, 2000 with the **Middlesex South Registry of Deeds as Plan No. 1154** of 2000, bounded and described according to said Plan as follows:

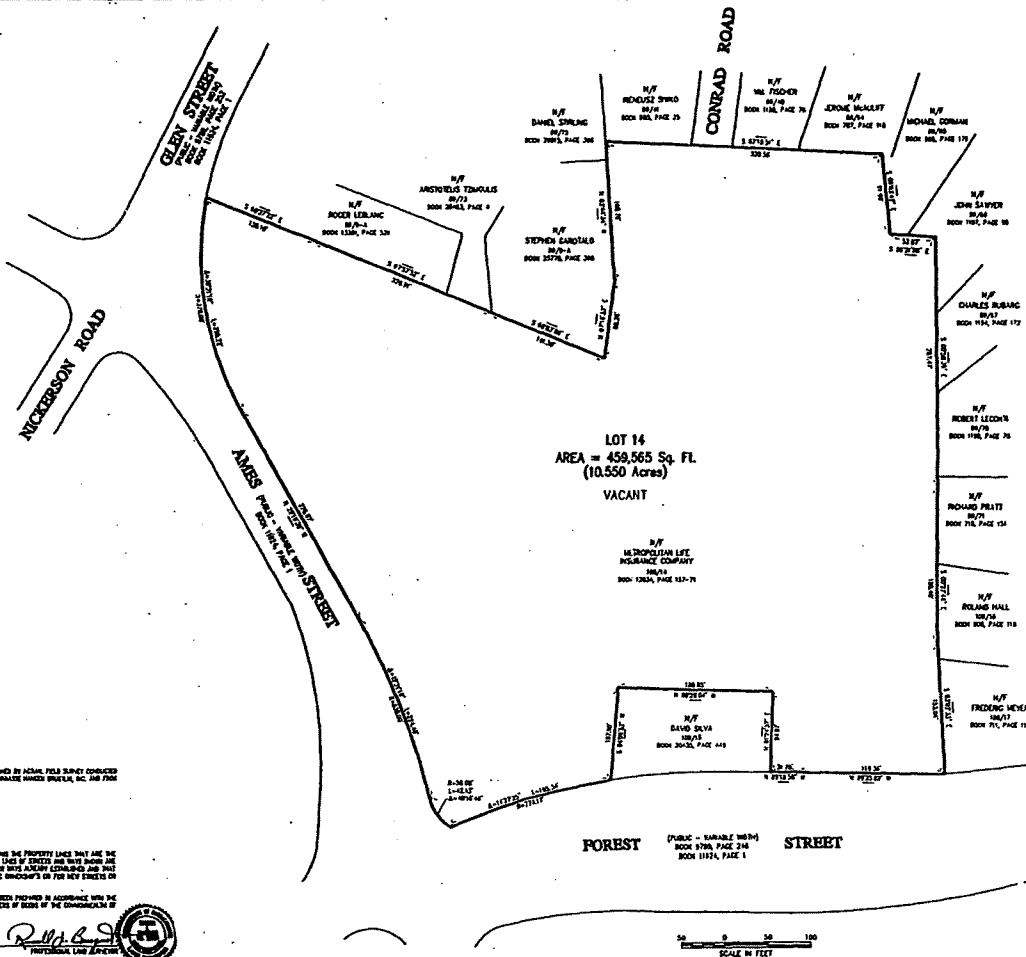
Beginning at a point on the northerly sideline of Forest Street and the easterly sideline of Ames Street; thence

Northwesterly	and curving to the right along the arc of a curve having a radius of fifty and no hundredths feet (50.00'), a length of forty two and thirteen hundredths feet (42.13') to a point; thence
Northwesterly	and curving to the left along the arc of a curve having a radius of eight hundred thirty and no hundredths feet (830.00'), a length of two hundred twenty-four and forty five hundredths feet (224.45') to a point; thence
N 29° 19'39" W	a distance of two hundred seventy six and seven hundredths feet (276.07') to a point; thence
Northwesterly	and curving to the right along the arc of a curve having a radius of three hundred seventy and no hundredths feet (370.00'), a length of two hundred fifty five and twenty-two hundredths feet (255.22') to a point; thence
S 68° 27'22" E	a distance of one hundred thirty five and sixteen hundredths feet (135.16') to a point; thence
S 67° 57'52" E	a distance of two hundred twenty and ninety-one hundredths feet (220.91') to a point; thence
S 68° 03'06" E	a distance of one hundred forty one and thirty hundredths feet (141.30') to a point; thence
N 07° 16'33" E	a distance of eighty nine and twenty-six hundredths feet (89.26') to a point; thence
N 03° 44'34" W	a distance of one hundred sixty and seventy-six hundredths feet (160.76') to a point; thence
S 87° 18'51" E	a distance of three hundred twenty and fifty-five hundredths feet (320.55') to a point; thence
S 06° 03'42" E	a distance of ninety one and ninety hundredths feet (91.90') to a point; thence
S 86° 21'06" E	a distance of fifty two and seven hundredths feet (52.07') to a point; thence
S 00° 58'39" E	a distance of two hundred eighty seven and forty-seven hundredths feet (287.47') to a point; thence
S 00° 27'44" E	a distance of one hundred eighty and forty hundredths feet (180.40') to a point; thence
S 03° 02'33" E	a distance of one hundred fifty three and four hundredths feet (153.04') to a point; thence
N 89° 25'02" W	a distance of one hundred sixty nine and thirty-six hundredths feet (169.36') to a point; thence
N 89° 18'50" W	a distance of thirty one and seventy hundredths feet (31.70') to a point; thence
N 01° 24'37" E	a distance of ninety four and seven hundredths feet (94.07') to a point; thence
N 88° 28'04" W	a distance of one hundred eighty and eighty-five hundredths feet (180.85') to a point; thence
S 04° 09'53" W	a distance of one hundred seven and ninety hundredths feet (107.90') to a point; thence
Southwesterly	and curving to the left along the arc of a curve having a radius of seven hundred seventy four and seventeen hundredths feet (774.17'), a length of one hundred ninety five and thirty-four hundredths feet (195.34') to a point of beginning.

For Seller's title see foreclosure deed and affidavit dated July 24, 1975, recorded in Book 12834, Page 157.



PREPARED FOR RECORDING USE ONLY



#### General Note

THE PROPERTY LINES SHOWN WERE DETERMINED BY Aerial Photo Survey CONDUCTED BY ROBERT L. BROWN AND MONITOR BY WALTER D. BROWN, JR. AND JOHN P. BROWN, JR. AND MONITOR BY WALTER D. BROWN, JR. AND JOHN P. BROWN, JR.

#### Certification

I HEREBY CERTIFY THAT THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES OF EXISTING OWNERSHIP, AND THE LINES OF EXISTING AND WERE BOUNDARY LINES OF PUBLIC OR PRIVATE STREETS OF THIS COMMONWEALTH AND THAT THE LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP OR FOR NEW STREETS OR BOTH AND SHOWN.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PROVIDED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE RECORDS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

WALTER D. BROWN, JR. PROFESSIONAL LAND SURVEYOR

### PLAN OF LAND IN MARLBOROUGH MASSACHUSETTS

PREPARED FOR METROPOLITAN LIFE INSURANCE COMPANY

PREPARED BY: Vorse-Hartman Associates, Inc.  
Transportation, Land Development &  
Environmental Services  
100 Walnut Street, P.O. Box 9126  
Boston, MA 02222-9126  
(617) 552-1776

SCALE: 1 inch = 50 feet DATE: September 18, 2008

1159 of 00

*City of Marlborough*  
*Commonwealth of Massachusetts*



Pamela A. Wilderman  
Ethan Lippitt  
Justin Gale  
Code Enforcement  
140 Main Street  
Marlborough, MA 01752  
Phone: (508) 460-3776 (x30201)  
Fax: (508) 460-3736  
Email: [pwilderman@marlborough-ma.gov](mailto:pwilderman@marlborough-ma.gov)  
[elippitt@marlborough-ma.gov](mailto:elippitt@marlborough-ma.gov)  
[jgale@marlborough-ma.gov](mailto:jgale@marlborough-ma.gov)

October 23, 2019

Barbara L. Fenby, Chairperson  
Marlborough Planning Board  
135 Neil Street  
Marlborough, MA 01752

RE: Sign Appeal  
Doble Engineering  
123 Felton Street

Dear Chairperson Fenby and Members:

Please be advised that while your variance request for the above referenced matter was denied, I find that I made an error on my original review of the application.

I didn't take into the account the size of the building; Chapter 526.9 (5) allows a bonus area for large buildings where a single business is occupying over 20,000 square feet on a single floor. Therefore, the total square footage of signage would be allowed and did not require a variance.

I apologize for the error and the time the Board may have spent on this issue.

Sincerely,

Pamela A. Wilderman  
Code Enforcement Officer

Cc: File

9A

**Please join us for an evening reception and tour.**

**Tuesday, November 19**

**4 - 7 p.m.**

*Opening remarks at 5:30 p.m.*

# Grand Opening

**The Branches of Marlboro**

421 Bolton Street, Marlboro MA

**RSVP to 508.841.3923 or email**

**RSVPMarlboro@benchmarkquality.com**

*Valet parking provided.*

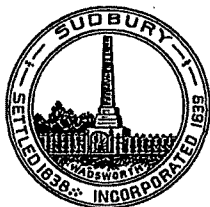




A Benchmark Community Living Experience

Raise your glass, enjoy seasonal specialties and tour Marlboro's newest senior lifestyle community. Help us welcome our newest community to the Benchmark family and experience how The Branches of Marlboro is making meaningful connections every day.

OCT 17 2019



# Town of Sudbury

## Zoning Board of Appeals

[appeals@sudbury.ma.us](mailto:appeals@sudbury.ma.us)[www.sudbury.ma.us/boardofappeals](http://www.sudbury.ma.us/boardofappeals)

Flynn Building  
278 Old Sudbury Road  
Sudbury, MA 01776  
978-639-3387  
Fax: 978-443-0756

### NOTICE OF PUBLIC HEARING

The Sudbury Zoning Board of Appeals will hold a Public Hearing on  
Monday, November 4, 2019 at 7:30 PM  
Lower Town Hall, 322 Concord Road, Sudbury, MA

On the following applications:

1. Public Hearing, Case 19-31 – Ethan Solomon of The Wilder Companies, Applicant, and Unison Realty Partners, Owner, seek to amend Special Permit 11-36 under the provisions of Sections 3261.a), 3265, 3265B, and 3290 of the Town of Sudbury Zoning Bylaw to modify the existing freestanding sign at **5-15 Concord Road**, Assessor's Map K08-0035, Village Business-1 Zoning District.

The applications are on file in the Town Clerk's Office and the Planning and Community Development Department.

Petitioners must be present or send an authorized representative.

ZONING BOARD OF APPEALS  
By: John Riordan, Chair

*To be advertised in the Sudbury Town Crier on October 17, 2019 and October 24, 2019.*

OCT 31 2019



# Town of Sudbury

## Community Preservation Committee

[cpc@sudbury.ma.us](mailto:cpc@sudbury.ma.us)

Flynn Building  
278 Old Sudbury Road  
Sudbury, MA 01776  
978-639-3387  
Fax: 978-443-0756  
[www.sudbury.ma.us/cpc](http://www.sudbury.ma.us/cpc)

### **TOWN OF SUDBURY NOTICE OF PUBLIC HEARINGS Community Preservation Committee**

The Sudbury Community Preservation Committee will hold two (2) Public Hearings pursuant to MGL Chapter 44B, Section 5(b)(1) to consider Fiscal Year 2021 applications for funding through the Community Preservation Act among the four categories of historic preservation, community housing, open space, and recreation projects. The Public Hearing dates are as follows:

Wednesday, November 20, 2019 at 7:00 p.m., Town Hall, 322 Concord Road, Sudbury, MA

Wednesday, December 4, 2019 at 7:00 p.m., Town Hall, 322 Concord Road, Sudbury, MA

A brief presentation will be given by invited applicants. At the above Public Hearings, any interested persons will have the opportunity to be heard. Written comments may also be submitted to the Planning and Community Development Department, Flynn Building, 278 Old Sudbury Road, Sudbury, MA 01776. Applications may be reviewed during regular business hours in the Planning and Community Development Department, Flynn Building, 278 Old Sudbury Road, Sudbury, MA. Meeting agendas and applications are also available online at: [www.sudbury.ma.us/cpc](http://www.sudbury.ma.us/cpc)

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To be published in the Sudbury Town Crier October 31, 2019 and November 7, 14, and 21, 2019



# Town of Sudbury

## Planning Board

[PlanningBoard@sudbury.ma.us](mailto:PlanningBoard@sudbury.ma.us)

Flynn Building  
278 Old Sudbury Road  
Sudbury, MA 01776  
978-639-3387  
Fax: 978-443-0756

[www.sudbury.ma.us/planning](http://www.sudbury.ma.us/planning)

### LEGAL NOTICE PUBLIC HEARING NOTICE SUDBURY PLANNING BOARD FOR THE MAY 4, 2020 ANNUAL TOWN MEETING

In accordance with the provisions of M.G.L. Chapter 40A, Section 5, the Sudbury Planning Board will hold a public hearing on **Wednesday, January 22, 2020 at 7:30 p.m.** in the Lower Town Hall, 322 Concord Road, Sudbury, Massachusetts concerning the following subjects on the Warrant for the May 4, 2020 Annual Town Meeting:

1. Amend the Zoning Bylaw by inserting a section regulating the installation of Solar Energy Systems.

A copy of the full text and maps of the proposed amendment can be viewed in the Planning and Community Development Department and Town Clerk's Office during normal business hours.

All those wishing to be heard on these matters should appear at the time and place designated above, or send written comments prior to the hearing to the Sudbury Planning Board at 278 Old Sudbury Road, Sudbury, MA 01776.

Stephen R. Garvin, Chair  
Sudbury Planning Board

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To be published in the Sudbury Town Crier on October 17, 2019 and October 24, 2019.  
To be sent to the Department of Housing & Community Development, the Metropolitan Area Planning Council, and abutting Towns.  
To be posted in Town Hall.

## ***Framingham Zoning Board of Appeals - Notice of Hearing*** 12B

Notice is hereby given that the Zoning Board of Appeals will hold a public hearing on **Wednesday, November 13, 2019** in the **Ablondi Room** of the Memorial Building, 150 Concord Street, Framingham, to consider:

19-28 | 7:15 PM

Petition of **Samantha Testa** for a **Variance** to build an addition to a single-family home within the required side setback, pursuant to §IV.E.2 of the Zoning By-Law, on the premises located at **14 Hadley Road**, Parcel ID: 027-76-3131-000, Zoning District: Single Residence (R-3).

Visit [www.FraminghamMA.gov/meetings](http://www.FraminghamMA.gov/meetings) for more information.

Legal notice can be found in the MetroWest Daily News or on [MassPublicNotices.org](http://MassPublicNotices.org).

*Philip R. Ottaviani, Jr., Chair*

*Office: 508-532-5456, ZBA@FraminghamMA.gov*

## ***Framingham Zoning Board of Appeals - Notice of Decision***

Notice is hereby given, that at the hearing on October 07, 2019, the following petitions were decided and the decisions were filed on **October 21, 2019**.

19-19 | GRANTED

Petition of **VTT Grant Street LLC** for **Special Permits** for two non-conforming duplexes, pursuant to §II.B.1.b. (Footnote 8) of the Zoning By-Law; **Variances** for lot area, front setback, side setback, pursuant to §IV.E.2; and a **Variance** for more than one principal building on a lot, pursuant to §IV.E.1 and §I.C; on the premises located at **115 Grant Street**, Parcel ID: 128-07-5970-000, Zoning District: General Residence (G).

*Any appeal from this decision shall be made pursuant to M.G.L.c. 40A §17 and must be filed within twenty (20) days after the date of filing of this decision in the Office of the City Clerk.*

*The full decision is available at: [www.FraminghamMA.gov/meetings](http://www.FraminghamMA.gov/meetings). Legal notice can be found in the MetroWest Daily News or on [MassPublicNotices.org](http://MassPublicNotices.org).*

*Philip R. Ottaviani, Jr., Chair*

*Office: 508-532-5456, ZBA@FraminghamMA.gov*

## ***Framingham Zoning Board of Appeals - Notice of Hearing***

Notice is hereby given that the Zoning Board of Appeals will hold a public hearing on **Wednesday, November 13, 2019** in the **Ablondi Room** of the Memorial Building, 150 Concord Street, Framingham, to consider:

19-30 | 7:45 PM

Petition of **David Ford & Susan Munter, Fredric W. Schelong, and John Savoca** to **Appeal** the issuance of a building permit for an amateur radio tower 80 feet in height within a residential zone, on the premises located at **273 Prospect Street** owned by **Prospect Street Realty Trust, Galina Filippova, Trustee**, Parcel ID: 080-67-3060-000, Zoning District: Single Residence (R-3).

Visit [www.FraminghamMA.gov/meetings](http://www.FraminghamMA.gov/meetings) for more information.

Legal notice can be found in the MetroWest Daily News or on [MassPublicNotices.org](http://MassPublicNotices.org).

*Philip R. Ottaviani, Jr., Chair*

*Office: 508-532-5456, ZBA@FraminghamMA.gov*



### ***Framingham Zoning Board of Appeals - Notice of Hearing***

Notice is hereby given that the Zoning Board of Appeals will hold a public hearing on **Wednesday, November 13, 2019** in the **Ablondi Room** of the Memorial Building, 150 Concord Street, Framingham, to consider:

19-29 | 7:30 PM

Petition of **Sirlei R. Evangelista** for a **Variance** to retain an accessory structure mistakenly built within the required side and rear setbacks, pursuant to §IV.E.2 of the Zoning By-Law, on the premises located at **37 Little Farms Road**, Parcel ID: 029-36-4825-000, Zoning District: Single Residence (R-3).

Visit [www.FraminghamMA.gov/meetings](http://www.FraminghamMA.gov/meetings) for more information.

Legal notice can be found in the MetroWest Daily News or on [MassPublicNotices.org](http://MassPublicNotices.org).

*Philip R. Ottaviani, Jr., Chair*

Office: 508-532-5456, [ZBA@FraminghamMA.gov](mailto:ZBA@FraminghamMA.gov)

### ***Framingham Zoning Board of Appeals - Notice of Hearing***

Notice is hereby given that the Zoning Board of Appeals will hold a public hearing on **Wednesday, November 13, 2019** in the **Ablondi Room** of the Memorial Building, 150 Concord Street, Framingham, to consider:

19-26 | 7:00 PM

Petition of **Holly L. Smith** for a **Variance** to install an eight-foot fence within the required side and rear setback where a maximum of six feet is allowed, pursuant to §IV.E.2 of the Zoning By-Law, on the premises located at **7 Tower Street**, Parcel ID: 089-14-3217-000, Zoning District: Business (B).

Visit [www.FraminghamMA.gov/meetings](http://www.FraminghamMA.gov/meetings) for more information.

Legal notice can be found in the MetroWest Daily News or on [MassPublicNotices.org](http://MassPublicNotices.org).

*Philip R. Ottaviani, Jr., Chair*

Office: 508-532-5456, [ZBA@FraminghamMA.gov](mailto:ZBA@FraminghamMA.gov)

Notice is hereby given that the Zoning Board of Appeals will hold a public hearing on **Wednesday, November 13, 2019** in the **Ablondi Room** of the Memorial Building, 150 Concord Street, Framingham, to consider:

19-27 | 7:00 PM

Petition of **Nova Farms, LLC** and **Beach Farm Real Estate Holdings, LLC** for a **Variance** to install an eight-foot fence within the required rear setback where a maximum of six feet is allowed, pursuant to §IV.E.2 of the Zoning By-Law, on the premises located at **1137 Worcester Road**, Parcel ID: 089-14-3154-000, Zoning District: Business (B) and Highway Corridor (HC) and Marijuana Retail (MRE) Overlays.

Visit [www.FraminghamMA.gov/meetings](http://www.FraminghamMA.gov/meetings) for more information.

Legal notice can be found in the MetroWest Daily News or on [MassPublicNotices.org](http://MassPublicNotices.org).

*Philip R. Ottaviani, Jr., Chair*

Office: 508-532-5456, [ZBA@FraminghamMA.gov](mailto:ZBA@FraminghamMA.gov)

## ***Framingham Zoning Board of Appeals - Notice of Decision***

Notice is hereby given, that at the hearing on October 07, 2019, the following petitions were decided and the decisions were filed on **October 21, 2019**.

19-22 | GRANTED

Petition of **Andrew Fyffe** for a **Finding**, pursuant to §I.D.5.b. of the Zoning By-Law, to expand a structure that is pre-existing nonconforming for lot coverage, landscaped open space, and more than one principal structure on one lot; and for a **Variance** to construct an addition within the required front yard setback, pursuant to §IV.E.2 of the Zoning By Law, on the premises located at **7 Lake Avenue**, Parcel ID: 140-62-3191-000, Zoning District: General Residence (G).

*Any appeal from this decision shall be made pursuant to M.G.L.c. 40A §17 and must be filed within twenty (20) days after the date of filing of this decision in the Office of the City Clerk.*

*The full decision is available at: [www.FraminghamMA.gov/meetings](http://www.FraminghamMA.gov/meetings). Legal notice can be found in the MetroWest Daily News or on [MassPublicNotices.org](http://MassPublicNotices.org).*

*Philip R. Ottaviani, Jr., Chair*

*Office: 508-532-5456, [ZBA@FraminghamMA.gov](mailto:ZBA@FraminghamMA.gov)*

## ***Framingham Zoning Board of Appeals - Notice of Decision***

Notice is hereby given, that at the hearing on October 07, 2019, the following petitions were decided and the decisions were filed on **October 21, 2019**.

19-23 | GRANTED

Petition of **Joshua Haveles** for a **Variance** to construct an addition within the required front yard setback, pursuant to §IV.E.2 of the Zoning By-Law, on the premises located at **7 Edgell Drive**, Parcel ID: 026-36-3821-000, Zoning District: Single Residence (R-3).

*Any appeal from this decision shall be made pursuant to M.G.L.c. 40A §17 and must be filed within twenty (20) days after the date of filing of this decision in the Office of the City Clerk.*

*The full decision is available at: [www.FraminghamMA.gov/meetings](http://www.FraminghamMA.gov/meetings). Legal notice can be found in the MetroWest Daily News or on [MassPublicNotices.org](http://MassPublicNotices.org).*

*Philip R. Ottaviani, Jr., Chair*

*Office: 508-532-5456, [ZBA@FraminghamMA.gov](mailto:ZBA@FraminghamMA.gov)*

## ***Framingham Zoning Board of Appeals - Notice of Decision***

Notice is hereby given, that at the hearing on October 07, 2019, the following petitions were decided and the decisions were filed on **October 21, 2019**.

19-20 | GRANTED

Petition of **Rimark, LLC** for a **Special Permit** for building in the Floodplain District, pursuant to §III.A.2.b of the Zoning By-Law, on the premises located at **556 Franklin Street**, Parcel ID: 110-41-8449-000, Zoning District: Single Residence (R-1).

*Any appeal from this decision shall be made pursuant to M.G.L.c. 40A §17 and must be filed within twenty (20) days after the date of filing of this decision in the Office of the City Clerk.*

*The full decision is available at: [www.FraminghamMA.gov/meetings](http://www.FraminghamMA.gov/meetings). Legal notice can be found in the MetroWest Daily News or on [MassPublicNotices.org](http://MassPublicNotices.org).*

*Philip R. Ottaviani, Jr., Chair*

*Office: 508-532-5456, [ZBA@FraminghamMA.gov](mailto:ZBA@FraminghamMA.gov)*



**FRAMINGHAM PLANNING BOARD**  
**NOTICE OF PUBLIC HEARING – 60 MANSFIELD STREET**  
**APPLICATION OF THE EDWIN OSORIO**

Pursuant to Article VI, Section 10 of the Framingham General By-Laws and M.G.L. Chapter 40, Section 15c, the Framingham Planning Board will hold a public hearing on Wednesday, October 30, 2019 at 7:00 p.m. in the Ablondi Room, Memorial Building, located at 150 Concord Street, Framingham, Massachusetts. The public hearing will be held to consider an application for a Scenic Roadway Modification Permit. The project includes the review of previously cut trees within the public right of way of a roadway designated as a scenic way. The property is located in the General Residential (G) Zoning District, with the Framingham Assessor's Parcel ID number: 000/121/08/8819. The application and plan submittal is available for review in the Planning Board Office, Room 205 of the Memorial Building and available online at [www.framinghamma.gov](http://www.framinghamma.gov) on the Planning Board Webpage. The legal notice can be found in the MetroWest Daily Newspaper and on the Massachusetts Newspaper Publishers Association's (MNPA) website.

***Christine Long, Chair, Framingham Planning Board***

Publish, MetroWest Daily Newspaper: Wednesday, October 16, 2019 and Monday, October 21, 2019

Por favor, póngase en contacto con nuestra oficina para asistencia de traducción.  
Entre em contato com nosso escritório para assistência com tradução.

**FRAMINGHAM PLANNING BOARD**  
**NOTICE OF PUBLIC HEARING – 770, 770R, 780 WATER STREET & 881 AND 883 EDGELL ROAD**  
**APPLICATION OF CENTERCORP RETAIL PROPERTIES, INC.**

Pursuant to Sections II.B, II.K, IV.B, IV.E, V.F, V.H, VI.E, and VI.F of the Framingham Zoning By-Laws and Article VI, Section 8 and Section 10 of the Framingham General By-Laws. The Framingham Planning Board will hold a public hearing on Wednesday, October 30, 2019 at 7:00 p.m. in the Ablondi Room, Memorial Building, located at 150 Concord Street, Framingham, Massachusetts. The public hearing will be held to consider the application for Major Site Plan Review, Special Permit for Land Disturbance and Stormwater Management, Special Permit for Off-street Parking Relief, Special Permit for Use, Public Way Access Permit, and Modification to a Scenic Roadway. The project includes the reconstruction of the property known as Nobscot Shopping Plaza, which will include the construction of three new structures (CVS Pharmacy, residential structure, and a mixed-use structure), reuse of a historic structure for commercial purposes, off-street parking, landscaping, stormwater management, and associated site improvements. The property is zoned Nobscot Village District (B-4) and listed as Framingham Assessor's Parcel ID: 037-34-9657; 037-34-9320; 037-34-5787; 037-34-5585; 034-34-5780. The application and plan submittal is available for review in the Planning Board Office, Room B14 of the Memorial Building and available online at [www.framinghamma.gov](http://www.framinghamma.gov) on the Planning Board Webpage. The legal notice can be found in the MetroWest Daily Newspaper and on the Massachusetts Newspaper Publishers Association's (MNPA) website.

***Christine Long, Chair, Framingham Planning Board***

Publish, MetroWest Daily Newspaper: Wednesday, October 16, 2019 and Monday, October 21, 2019

Por favor, póngase en contacto con nuestra oficina para asistencia de traducción.  
Entre em contato com nosso escritório para assistência com tradução.

**NOTICE OF DECISION – 79 BETHANY ROAD (AKA 77, 89, 97 BETHANY ROAD)**  
**APPLICATION OF THE CONGREGATION OF THE SISTERS OF ST. JOSEPH OF BOSTON**

The Applicant filed an application for Limited Site Plan Review under the Dover Amendment Uses, M.G.L. c. 40A, Section 3, notice of the opening public hearing was published in MetroWest Daily Newspaper on September 26, 2019 and September 30, 2019; and the legal ad was mailed to parties of interest pursuant to the Framingham Zoning By-Law and M.G.L. Chapter 40A. The Planning Board held public hearings for the project on October 10, 2019 and October 24, 2019. The project includes the installation of solar carports over an existing off-street parking lot and the creation of a new parking lot, in addition to associated site improvements. The property is zoned Single Family Residence (R-3) and listed as Framingham Assessor's Parcel ID: 139-42-2777-000. On October 24, 2019, the Planning Board **APPROVED** the application with conditions. The **DECISION** was filed in the office of the City Clerk on October 25, 2019. For additional information, please see the Planning Board's webpage at [www.framinghamma.gov](http://www.framinghamma.gov).

***Christine Long, Chair***

Any appeal from the Decision shall be made pursuant to G.L. Ch. 40A, Sec. 17 and must be filed within twenty (20) days after the date of filing of the Decision in the office of the Town Clerk. The Notice of Decision can be found in the MetroWest Daily Newspaper and on the Massachusetts Newspaper Publishers Association's (MNPA) website.

Por favor, póngase en contacto con nuestra oficina para asistencia de traducción.  
Entre em contato com nosso escritório para assistência com tradução.



## FRAMINGHAM PLANNING BOARD

### NOTICE OF DECISION – 60 MANSFIELD STREET

#### APPLICATION OF EDWIN OSORIO FOR A MODIFICATION TO A SCENIC ROADWAY

The Applicant filed an application for a Modification to a Scenic Roadway, notice of the opening public hearing was published in MetroWest Daily Newspaper on October 16, 2019 and October 21, 2019; and the legal ad was mailed to parties of interest pursuant to the Framingham Zoning By-Law and M.G.L. Chapter 40A. The Planning Board held a public hearing for the property on October 30, 2019. The project includes the review of previously cut tree within the public right of way of a roadway designated as a scenic way. The property is located in the General Residential (G) Zoning District, with the Framingham Assessor's Parcel ID number: 000/121/08/8819. On October 30, 2019, the Planning Board **APPROVED** the application with conditions. The **DECISION** was filed in the office of the City Clerk on October 31, 2019. For additional information, please see the Planning Board's webpage at

*Christine Long, Chair*

Any appeal from the Decision shall be made pursuant to G.L. Ch. 40A, Sec. 17 and must be filed within twenty (20) days after the date of filing of the Decision in the office of the City Clerk. The Notice of Decision can be found in the MetroWest Daily Newspaper and on the Massachusetts Newspaper Publishers Association's (MNPA) website.

Por favor, póngase en contacto con nuestra oficina para asistencia de traducción.  
Entre em contato com nosso escritório para assistência com tradução.