

CITY OF MARLBOROUGH MEETING POSTING

Meeting: **Planning Board**
Date: **November 02, 2020**
Time: **7:00 PM**
Location: **REMOTE MEETING NOTICE**

2020 OCT 29 P 4:15

In accordance with the March 12, 2020 Executive Order issued by Governor Baker modifying certain requirements of the Open Meeting Law, the City of Marlborough Planning Board will hold a remote meeting on Monday, November 02, 2020 at 7:00 pm. The public may access the meeting by clicking on the link provided in the Planning Board calendar on the Planning Board Website <https://www.marlbrough-ma.gov/planning-board> or by dialing in using the following phone number and conference ID : **+1 617-433-9462** United States, Boston (Toll) Conference ID: 590 521 461#
Agenda Items to be Addressed:

- 1) **Meeting Minutes**
 - A. October 19, 2020
- 2) **Chair's Business (None)**
- 3) **Approval Not Required**
 - A. Applicant: Marlborough Economic Development Corp. (Thomas DiPersio, Representative)
Surveyor: City of Marlborough DPW, Engineering Division
Deed: Middlesex South Registry of Deeds Book 75849 Page 245
Location: 481 Elm St. City of Marlborough Assessor's Map 67, Parcel 4.
- 4) **Public Hearings**
 - A. Preliminary Subdivision Public Hearing – Stevens St.
Applicant: The Charles Company, LLC – Kevin O'Leary, Representative
Engineer: The Jillson Company
Recorded Deed: Book 9742, Page 362
Location: 0 Stevens Street – City Assessor's Map 44, Parcel 148 (Portion Abutting Stevens St.)
 - B. Continued Public Hearing – Definitive Subdivision Application - 76 Broad St. 4-Lot Subdivision
Applicant: W.R.E., LLC, 319 Stow Road, Marlborough, MA 01752
Engineer: Hancock Associates, 315 Elm St., Marlborough, MA 01752. Robert DiBenedetto, Representative.
Recorded Deed: Middlesex South Registry of Deeds Book 72215, Pages 106-107
Location and Description of Property: 76 Broad St., Assessor's Parcel 68-123, 1.86 acres
(Note: Submission Date: 09-09-20, Decision Due: Meeting Prior to January 22, 2021)
- 5) **Subdivision Progress Reports (None)**
- 6) **Preliminary/Open Space /Limited Development Subdivision Submissions (None)**
- 7) **Definitive Subdivision Submissions (None)**
- 8) **Signs (None)**
- 9) **Informal Discussion (None)**
- 10) **Unfinished Business**
 - A. Working Group Discussion – Rules and Regulations
- 11) **Calendar Updates**
- 12) **Public Notices of other Cities & Towns (None)**

THE LISTING OF TOPICS THAT THE CHAIR REASONABLY ANTICIPATES WILL BE DISCUSSED AT THE MEETING IS NOT INTENDED AS A GUARANTEE OF THE TOPICS THAT WILL HAVE BEEN DISCUSSED. NOT ALL TOPICS LISTED MAY IN FACT BE DISCUSSED, AND OTHER TOPICS NOT LISTED MAY ALSO BE BROUGHT UP FOR DISCUSSION TO THE EXTENT PERMITTED BY LAW.

MINUTES
MARLBOROUGH PLANNING BOARD
MARLBOROUGH, MA 01752

1A

-1

Call to Order

October 19, 2020

The **remote meeting** of the Marlborough Planning Board was called to order at 7:00 pm. Members present- Barbara Fenby, Matt Elder, Sean Fay, Phil Hodge, George LaVenture and Chris Russ. City Engineer, Thomas DiPersio, and Planning Board Administrator, Krista Holmi, also participated in the remote meeting.

1. Meeting Minutes

- A. September 21, 2020
- B. October 5, 2020

On a motion by Mr. Russ, seconded by Mr. LaVenture, the Board voted to accept and file the September 21, 2020 meeting minutes (with item 3A motion amendment) and to accept and file the October 5, 2020 meeting minutes. Yea: Hodge, LaVenture, Russ and Fenby. Nay: O. Motion carried. Mr. Elder and Mr. Fay abstained from the vote.

2. Chair's Business

- A. Working Group Update – Rules and Regulations

Chair Fenby informed the Board that the Metropolitan Area Planning Council (MAPC) prepared a scope of service based on its interpretation of the desired updates to the City of Marlborough Planning Board Rules and Regulations. The working group has scheduled a meeting on Thursday, October 22 to review the scope of service. The group will meet, evaluate priorities and report out the post-meeting objectives.

3. Approval Not Required

- A. Engineering Review Letter - ANR Application: Post Road Trailer Park & Sales, Inc.
(Post Road Mobile Home Park & Sales, Inc.)
Land Surveyor: RJP Construction & Engineering.

Location: 181 Boston Post Road & Phelps Street. Middlesex South Registry of Deeds Book 11449 Page 675, City Assessor's Map 72, Parcel 29.

Mr. LaVenture read the 10-15-20 Engineering review letter from Assistant City Engineer Collins into the record. Mr. Collins confirmed that Lots 1 and 2 have adequate area, the required frontage, meet the Lot Shape requirement and have present adequate access for buildable lots within their respective zoning boundaries. Chair Fenby asked for confirmation from the City Engineer that the recommended plan updates were incorporated into the mylars. Mr. DiPersio confirmed that the changes were complete on the referenced plan. (Rev. 10-15-20)

On a motion by Mr. LaVenture, seconded by Mr. Russ, the Board voted to accept and file the correspondence and to endorse the referenced plan as approval not required under the subdivision control law. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: O. Carried 6-0.

4. Public Hearings

- A. 76 Broad St. 4-Lot Subdivision

Applicant: W.R.E., LLC, 319 Stow Road, Marlborough, MA 01752

Engineer: Hancock Associates, 315 Elm St., Marlborough, MA 01752. Robert DiBenedetto, Project Engineer, Representative.

Recorded Deed: Middlesex South Registry of Deeds Book 72215, Pages 106-107

Location and Description of Property: 76 Broad St., Assessor's Parcel 68-123, 1.86 acres

Chair Fenby opened the public hearing. Mr. LaVenture read the public hearing notice into the record. Chairperson Fenby provided instructions to those in attendance. The hearing was conducted in the following stages: 1) Presentation 2) Those speaking in favor 3) Those in opposition 4) Comments and questions from Board members

Presentation:

Robert DiBenedetto of Hancock Associates represents the applicant, W.R.E., LLC. The proposed plan is a four-lot subdivision located at 76 Broad St. He provided an overview of the submitted documents on the agenda, which included a summary letter, a second letter: Narrative for No Comparative Impact Analysis and a third letter from Attorney Sandra Austin: Proposed Subdivision 76 Broad street by W.R.E., LLC; Easement/Right of Way.

The plan set was displayed. Mr. DiBenedetto provided an overview of existing conditions and the proposed lotting plan. The roadway will consist of a dead-end way and creates the necessary frontage for four building lots. The lotting plan shows the conceptual plans for a 2-family home on each of the four lots. A detailed site plan will be submitted in a different project phase prior to home construction. The grading and drainage plan details the proposed drainage structures. Mr. Benedetto anticipates several changes to the proposed drainage system. The drainage system revisions, he explained, have no impact on the submitted stormwater analysis. There will be two additional temporary sediment basins added to the low points at the end of the right of way. One basin near the rear side to capture any potential water runoff and a second diversion pool closer to the construction entrance.

Chair Fenby requested the Mr. LaVenture read the three applicant submittal letters into the record. Mr. DiBenedetto's summary letter included a list of proposed plan revisions including shifting of drain manholes away from proposed sewer manholes, adjusting storm drain inverts in the roadway to avoid conflicts with sewer pipes and revising proposed drainage easements to reflect minor shifts in proposed infiltration systems. Once Hancock receives all City department comments, the revisions will be incorporated into the revised plan set.

The second letter- Narrative for No Comparative Impact Analysis, was revised to include references to the project zoning (Residence C- RC) and lot area. Mr. DiBenedetto's letter reiterates the applicant's intention to build a total of 8 units, which is under the 10 units required to complete a Comparative Impact Analysis.

The third letter- Proposed Subdivision 76 Broad Street by W.R.E., LLC, Easement/Right of Way was written by the applicant's counsel, Attorney Sandra Austin. The letter details her legal opinion as to whether the law provides a developer the ability to develop small portions of the roadway over easements on abutting property in its right-of-way for a subdivision road. Her analysis concluded that W.R.E., LLC may utilize the easements to meet the roadway rounding requirements of the Subdivision Regulations. She stated that no waivers are required, since the Subdivision Regulations do not require fee ownership for the Way.

Mr. LaVenture also read communications from both the Conservation Commission and the Board of Health into the record. The 10-05-20 letter from Conservation Commission Chair, Ed Clancy, outlines the Commissions comments following its 10-01-20 review of the proposed plan. The items noted in the letter include the following: 1) Wetlands: There are no wetlands near the project; therefore, Conservation Commission review is not required. 2) Drainage: Since the project drains into Lake Williams, the drainage design must meet the higher water quality standards of the Water Supply Protection District. The applicant should ensure that the infiltration system won't have any groundwater impact on any downhill properties. 3) Erosion Controls: Due to the heavy concentration of silty till soil, the Commission recommends that the applicant prepare a full construction sequencing and erosion control plan. Temporary detention basins will be needed to ensure the integrity of the critical infiltration system. The Commission notes that the southern end of the site and the eastern edge along the Waterwind Knolls Condominium complex are critical areas to control runoff to ensure no impact to Lake Williams or the Waterwind Knolls development. 4) Preservation of Woodland Buffers – To the extent possible, the Commission recommends preservation of as many large trees as possible.

Trees provide cooling and shade and dissipate the effects of storm events. If trees must be removed, the Commission recommends that new trees be required to be planted along these edges once the property has been graded in addition to planting trees along the roadway and cul-de-sac.

In his October 14, 2020 emailed communication to the Planning Board, Board of Health (BOH) Director, John Garside, indicated the Board of Health reviewed the Definitive Subdivision Plan for 76 Broad St. The BOH is not opposed to the issuance of subdivision approval following the City Engineer's review of the stormwater drainage design and calculations.

Those Speaking in Favor:

No person spoke in favor of the proposed development.

Those Speaking Against:

Mr. LaVenture read the October 18, 2020 email communication from Valerie Bruso – 558 Lincoln St. and Mary and David Phillippo, 582 Lincoln St. into the record. The letter details several concerns they have for the project. Ms. Bruso and Ms. Phillippo joined the meeting remotely to elaborate on their concerns about drainage, erosion and the replacement of greenery. They also asked whether the applicant intended to rent or sell the 2-family properties. The applicant's counsel confirmed that Mr. White intended to rent the properties. Ms. Bruso and Ms. Phillippo expressed their opposition to the proposed rental of the properties based on existing rental properties owned by the applicant. Alice Wertheimer, a Waterwind Knolls resident at 45 Lakeside Ave., also expressed drainage concerns. She stated that a huge amount of water pours out of the woods and freezes over. She asked for assurances that the east side of the property receive scrutiny for potential drainage issues affecting downhill neighbors. Project Engineer DiBenedetto acknowledged that while the area of impervious surfaces on the site would obviously increase, runoff would be directed to catch basins and infiltration structures. He stated that the addition of these design elements would reduce the property runoff. Major storm events could over-burden the structures, but the drainage off the site would still be less than its current state.

Questions and Comments from Board Members:

Mr. Russ asked about grading over the drainage basins. Mr. DiBenedetto described the project slope characteristics for the Board.

Mr. DiPersio asked for Mr. DiBenedetto to provide an overview of the disposition of the various parcels shown on the plan. Mr. DiBenedetto provided the following overview: Details A-F describe the parcels. Detail A-Easement A (Parcel H) is the northwest proposed rounding easement at 84 Broad St., Detail B-Easement B (Parcel G) is the proposed easement at 70-72 Broad St. Detail C-Easement C (Parcel C) is a small sliver created to ensure the right-of-way has the proper dimensions on the curve. Detail D (Parcels D, E, F) pertain to other abutters on the southeast portion of the right-of-way. These parcels are to be deeded to abutting properties, providing frontage on the right-of-way. Mr. DiPersio asked whether it has been considered to have the rounding easements (parcels G and H) be deeded to the developer. Mr. DiBenedetto said that the area and frontage of the Broad St. abutters would be not be adequate to do so. Mr. DiPersio suggested that the frontage and area could be recovered by utilizing the deeded property along the right-of-way, thus eliminating the need for the permanent rounding easements. Mr. DiBenedetto would like to investigate this opportunity in further detail.

Mr. Fay asked Attorney Austin whether her client was committing to build only 2-family homes. Attorney Austin confirmed that her client has communicated this intent and has never suggested other densities, and she was unsure whether the site's zoning could support 3-family residences. Mr. DiBenedetto offered that lots 1,2 and 3 are large enough to support 3-family dwellings, and lot 4 is large enough to support up to a 7-family dwelling.

Mr. DiBenedetto also stated that his client's intent is to only build 2-family units on the property. Mr. White (the applicant) joined the meeting to unequivocally state that he will only build 2-family homes on the property. Mr. Fay was satisfied with Mr. White's statement to the Board. Mr. Fay asked Attorney Austin if there were any waivers proposed for this development. It was confirmed that should the City Solicitor affirm that a waiver was not required for the easements on the roundings, there were no other planned waivers. Mr. Fay offered that if the City thought a waiver was required, the applicant could request a waiver from the Board.

Chair Fenby asked for a motion to accept and file all related correspondence and to make the necessary referrals. On an amended motion by Mr. Elder, seconded by Mr. Fay, the Board voted to accept and file the correspondences and refer Attorney Austin's letter to the Legal Dept. for review and comment and to refer the definitive subdivision plan to Engineering for review and comment. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Carried 6-0. There was a request by one of the abutters to continue the public hearing. After some discussion, it was decided to leave the public hearing open and continue the public hearing to the next meeting, November 2.

5. Subdivision Progress Reports

A. Subdivision Status Report - City Engineer DiPersio- Goodale Update

Mr. DiPersio confirmed that Eversource finished the gas main installation. There were storm events resulting in dirty runoff from the gas trench and house lots. The site was cleaned.

6. Preliminary/Open Space /Limited Development Subdivision Submissions (None)

7. Definitive Subdivision Submissions (None)

8. Signs (None)

9. Informal Discussion (None)

10. Unfinished Business (None)

11. Calendar Updates

It was confirmed that the public hearing advertisement and abutter notices were completed for the Stevens St. preliminary plan.

November 2, 2020 – Public Hearing on the preliminary subdivision plan on Stevens St.

November 2, 2020 – Continued Public hearing – 76 Broad St. Definitive Subdivision Application

12. Public Notices of other Cities & Towns

A. Town of Sudbury (3 Notices)

B. City of Framingham (13 Notices)

C. Town of Southborough (2 Notices)

On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to accept and file the notices.

Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Carried 6-0.

On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to adjourn the meeting.

Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Carried 6-0.

Respectfully submitted,

/kih

George LaVenture/Clerk

APPENDIX A

APPLICATION FOR ENDORSEMENT OF
PLAN BELIEVED NOT TO REQUIRE APPROVAL

File one completed form with the Planning Board and one
copy with the City Clerk in accordance with the
requirements of Section II-B.

Marlborough, Massachusetts

October 29, 2020

(Date)

To the Planning Board:

The undersigned, believing that the accompanying plan of his property in the
City of Marlborough does not constitute a subdivision within the meaning of the
Subdivision Control Law, herewith submit said plan for a determination and
endorsement that Planning Board approval under the Subdivision Control Law is
not required.

Marlborough Economic Development Corp.

1. Name of Applicant

Address

91 Main Street, Marlborough, MA 01752

2. Name of Engineer

City of Marlborough DPW, Engineering Division

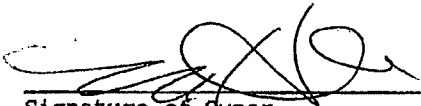
Address

135 Neil Street, Marlborough, MA 01752

3. Deed of Property recorded in Middlesex Registry of
Deeds Book 75849 Page(s) 245

4. Location and description of property:

Property known as 481 Elm Street, and referred to by City of Marlborough Assessors as Map 67, Parcel 4


Signature of OwnerAddress: 91 Main Street,
MarlboroughContact email address: MHarris@marlboroughedc.comContact phone number: 508-229-2010

CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY
WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

Thomas D. Perry
PROFESSIONAL LAND SURVEYOR

10/28/20
DATE



FOR REGISTRY USE



N/F
ERULLA, LLC
100 LOCKE DRIVE
(ASSESSOR MAP 54, LOT 14)

"PARCEL A"
34,722± s.f.

N/F
SAFFLOWER, LLC
40 LOCKE DRIVE
(ASSESSOR MAP 67, LOT 95)

"LOT 1"
10,511± s.f.

N/F
DAVID C. BROWER &
JEANNE M. DOUGLASS
475 ELM STREET
(ASSESSOR MAP 67, LOT 3)

EX. HOUSE
2.6 M.F.
4401

BIGELOW STREET
(PUBLIC, VARIABLE WIDTH)

ELM STREET
(PUBLIC, VARIABLE WIDTH)

0 20 40 80 160

SCALE: 1"=40'

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW
NOT REQUIRED

CITY OF MARLBOROUGH PLANNING BOARD

DATE: _____

NO DETERMINATION AS TO
COMPLIANCE WITH ZONING
REQUIREMENTS HAS BEEN
MADE OR INTENDED

MARLBOROUGH ASSESSORS REFERENCE: MAP 67 PCL. 4

DEED REFERENCE: MCRD BOOK 75489, PAGE 245

PLAN REFERENCES: MCRD PLAN NO. 137 OF 1972
MCRD PLAN NO. 152 OF 1980
MCRD PLAN NO. 399 OF 1997

MARLBOROUGH ZONING DISTRICT: RESIDENCE A-2
REQUIREMENTS:
AREA=18,000 S.F.
FRONTAGE=120 FT.

NOTE:

PARCEL A IS FOR DESCRIPTIVE PURPOSES ONLY AND IS
NOT TO BE CONSIDERED A SEPARATE BUILDING LOT.

CITY OF
MARLBOROUGH



DEPARTMENT OF
PUBLIC
WORKS

Engineering Division
135 Neil Street
Marlborough, MA 01752
p. (508) 624-6910

www.marlbrough-ma.gov

REVISIONS

No.	Date	Description
1.		

Drawn By: _____ Designed By: _____ Checked By: _____ Approved By: _____

PLAN OF LAND IN MARLBOROUGH, MA

PREPARED BY: CITY OF MARLBOROUGH
DEPARTMENT OF PUBLIC WORKS
ENGINEERING DIVISION

OWNED BY: MARLBOROUGH
ECONOMIC DEVELOPMENT
CORPORATION
91 MAIN STREET, STE. 204
MARLBOROUGH, MA 01752

Contract No:

Sheet No:

Date:
10-28-2020

1 of 1

Scale:
1"=40'



City of Marlborough Planning Board

Administrative Office
135 Neil St.
Marlborough, MA 01752

PLANNING BOARD

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2020 OCT 14 A 9:00
Barbara L. Fenby, Chair
Philip Hodge
Sean N. Fay
George LaVenture
Christopher Russ
Matthew Elder
Krista Holmi, Administrator
(508) 624-6910 x33200
kholmi@marlborough-ma.gov

PUBLIC HEARING NOTICE- Marlborough Planning Board

Pursuant to MGL c. 41 Section 81T, the Marlborough Planning Board will hold a Public Hearing via **remote participation** at 7:00 pm on Monday, November 2, 2020, to consider the application for approval of a Preliminary Subdivision Plan. The project consists of a 500-foot roadway and 4 single-family house lots.

Project Owner: Rebecca L. Chaousis (Marlborough, MA) & Amy M. Aldrich Goebel (Worcester, MA)
Project Applicant: The Charles Company, Inc., Waltham, MA
Project Engineer: The Jillson Company, Inc., Needham Heights, MA
Location: 18.8 Acres on the east side of Stevens Street. Property Recorded in the Middlesex South Registry of Deeds Book 9742 page 362 (excepting Lot 1, as shown on Plan 467 of 2018 and Lot 2 & 3, as shown on Plan 479 of 2020 and listed as Assessor's Map 44 Parcel 148.

A plan of the proposed subdivision and application is on file at the Administrative Office of the Planning Board, 135 Neil St., 2nd Floor, Marlborough, MA 01752 (508) 624-6910 x33200 and the Office of the City Clerk, 140 Main St., Marlborough, MA 01752. (508) 460-3775. All interested parties are invited to comment in writing or may present any relevant information for the Board's consideration at the Public Hearing on November 2, 2020. Instructions for joining this meeting will be available on the 11-02-20 Planning Board agenda:

Website <https://www.marlborough-ma.gov/planning-board>

This legal notice shall also be posted by the local newspaper on the Massachusetts Newspaper Publishers Association's ("MNPA") website (masspublicnotices.org).

THIS IS AN IMPORTANT NOTICE. PLEASE GET IT TRANSLATED.

Este é um aviso importante. Por favor, traduza-o.

Este es un aviso importante. Por favor, consígalo traducido.

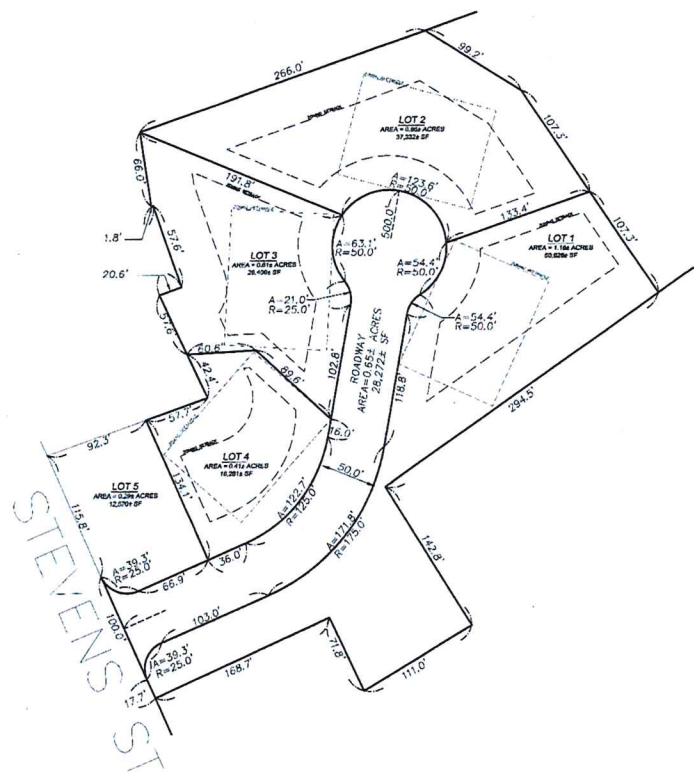
Questa é una notizia molto importante. Per piacere falla tradurre.

C'est important. Veuillez faire traduire.

LOTING PLAN

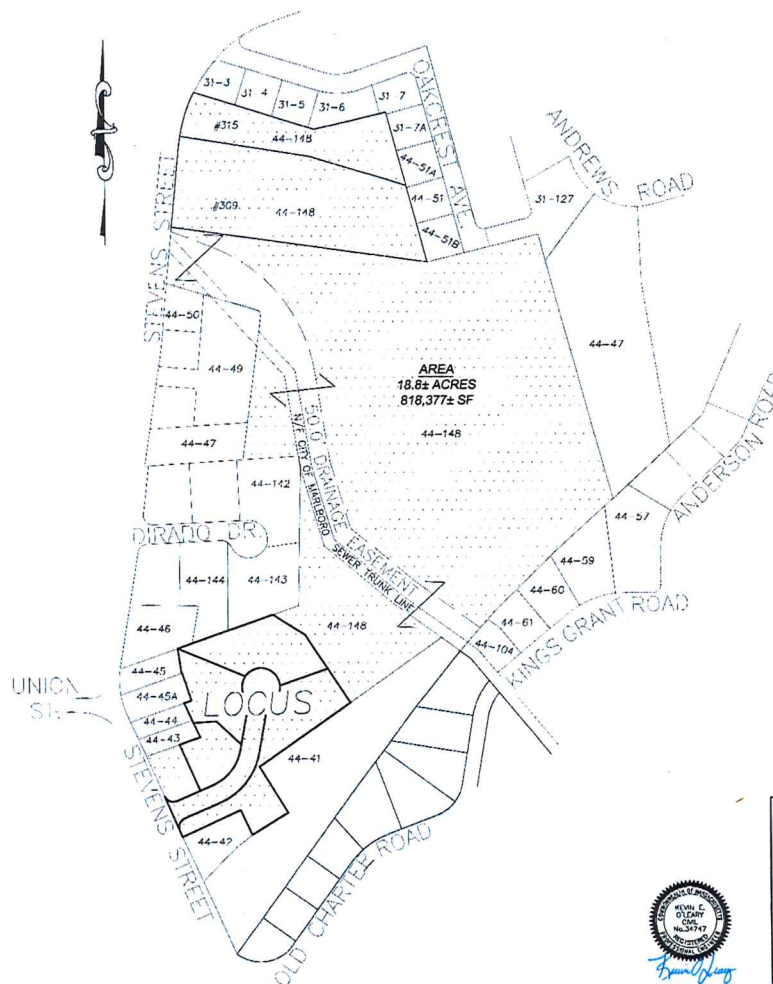
(SCALE: 1" = 50')

TOTAL SUBDIVISION AREA =
(LOTS 1-4 PLUS ROADWAY)



LOCUS MAP

(SCALE: 1" = 150')



Parcel Number	Property Address	Owner Name
31-127	88 ANDREWS RD	MARTIN CHRISTOPHER T
31-3	328 STEVENS ST	MCCARTHY MICHAEL K
31-4	11 OAKCREST AVE	JOHNSON CHRISTOPHER W
31-5	21 OAKCREST AVE	CAVICH PAULINE M L IEST
31-6	27 OAKCREST AVE	AYKANIAN MARY L IEST
31-7	41 OAKCREST AVE	KEIGHAN RICHARD P
31-7A	57 OAKCREST AVE	BOOTH SHELAGH
44-142	24 DRADO DR	VACHON THOMAS J
44-143	23 DRADO DR	MELLAGE ANTHONY S
44-144	11 DRADO DR	CUTONE JOHN O
44-145	KINGS GRANT RD	CITY OF MARLBOROUGH
44-147	88 ANDREWS RD	UTANO NICHOLAS
44-141	155 STEVENS ST	SILVA BLANCA N L IEST
44-142	159 STEVENS ST	STOURNARAS JOHN
44-143	163 STEVENS ST	DANGELO ALEXANDER JR
44-144	187 STEVENS ST	PALLY ROSHIN KADANNA
44-145	197 STEVENS ST	REGO MANUEL A
44-146	193 STEVENS ST	ELDIARIO BRYAN R
44-147	211 STEVENS ST	WANG ANGELA
44-148	255 STEVENS ST	NASUTI JOSEPH TR
44-149	259 STEVENS ST	SHERMAN ERKA J
44-150	265 STEVENS ST	SYLVESTER THOMAS W
44-151	73 OAKCREST AVE	LACHAPPELLE ROLAND R
44-151A	85 OAKCREST AVE	GAUTHER ROBERT J
44-151B	81 OAKCREST AVE	SECRETARY OF VETERANS AFFAIRS
44-57	12 ANDERSON RD	BAHMAD MELISSA
44-58	58 KINGS GRANT RD	PETERS MICHAEL R TR
44-59	48 KINGS GRANT RD	MARTIN THOMAS A
44-60	40 KINGS GRANT RD	TAYLOR PAUL R

"PRELIMINARY SUBDIVISION PLAN"

LAND IN

MARLBOROUGH, MASS.

APPLICANT: THE CHARLES COMPANY, LLC
131 BLACK BEAR DR. S-1912
WALTHAM, MA 02451

OWNERS: REBECCA L. CHAUSIS
AMY M. ALDRICH GOLBEL

SCALE: 1" = 150' DATE: 11 SEPTEMBER 2020

PREPARED BY: THE JILLSON COMPANY, INC.

32 FREMONT STREET
NEEDHAM HEIGHTS, MA 02494
(781)-420-5940
www.JILLSONCOMPANY.com





City of Marlborough Conservation Commission

140 Main Street
Marlborough, Massachusetts 01752
Tel. (508) 460-3768 Facsimile (508) 460-3747

Stevens Street Preliminary Plan Conservation Comments

Edward Clancy – Chairman
Allan White
David Williams
Dennis Demers
John Skarin
Karin Paquin
William Dunbar
Priscilla Ryder Conservation Officer

Memorandum

To: Barbara Fenby, Chairwomen
Planning Board

From: Ed Clancy, Chairman Marlborough Conservation Commission

Date: October 5, 2020

RE: Preliminary Subdivision Plan – Stevens St.

The Conservation Commission is in receipt of and reviewed, at our Oct. 1, 2020 meeting, the following plan:

“Preliminary Subdivision Plan” Land in Marlborough, MA

Applicant: The Charles Company, LLC

Owner: Rebecca L Chaousis and Amy M. Aldrich Goebel

Dated: 11 September 2020

Prepared by: The Jillson Company, Inc.

The Commission provides the following comments:

1. The project appears to be about 200' from the wetland at the bottom of the steep slope, therefore, no wetland filing for this subdivision is required. We were pleased to see that no work was proposed on the steepest part of the slope.
2. This property is known to have ledge on a large portion of the lot. The drainage design for the property will need to be sure to locate the ledge prior to design so the system will work properly. We are aware this is a preliminary design and the drainage is not yet shown.
3. The Commission has received some concerns from neighbors on Dirado Dr. regarding wet basements and want to ensure that the drainage design for the subdivision doesn't compound the current problems.
4. The land that remains beyond the 4 lots shown on this subdivision and the three ANR lots on Stevens St. is almost entirely wetland. The Commission recommends that the owners agree to either convey this remaining property to the city for conservation purposes or place a Conservation Restriction on this property to ensure it will be protected from any further development or encroachment. If you or the developer need further information on how to proceed with either of these options, please contact Priscilla Ryder Conservation Officer.

If you have any questions on the above, please let me know.

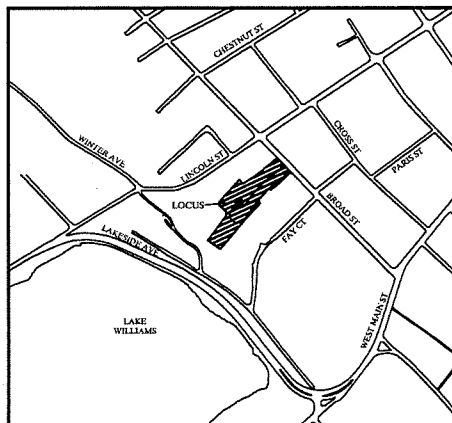
Cc: Tom DiPersio, City Engineer
Jeff Cooke, Building Commissioner

DEFINITIVE SUBDIVISION PLAN

RESIDENTIAL SUBDIVISION & SITE DEVELOPMENT

76 Broad Street
Marlborough, Massachusetts 01752

FOR
W.R.E., LLC



LOCUS MAP
SCALE: 1" = APPROX. 330'

RECORD OWNER:

W.R.E., LLC
319 Stow Road
Marlborough, MA

APPLICANT:

W.R.E., LLC
319 Stow Road
Marlborough, MA

ASSESSORS:

MAP 68 LOT 123
MAP 68 LOT 122
MAP 80 LOT 52

REFERENCES:

DEED BOOK 72215, PAGE 106
DEED BOOK 52361, PAGE 362
PLAN 998 OF 2018
PLAN 1603 OF 1860
PLAN 668 (A & B OF 2) OF 1968 - DEED BOOK 11526, PAGE 487
PLAN 974 (B OF 2) OF 1970 - DEED BOOK 11896, PAGE 496
PLAN 819 OF 1985 - END OF DEED BOOK 18255
PLAN 509 OF 2000 - DEED BOOK 31402, PAGE 70
1880 COUNTY LAYOUT OF LINCOLN STREET
ANR PLAN OF LAND PREPARED BY HANCOCK ASSOCIATES DATED DECEMBER 19, 2007,
REVISED JANUARY 24, 2008, AND ENDORSED BY THE PLANNING BOARD ON JANUARY
28, 2008.

ZONING

RC - RESIDENCE C DISTRICT
WATER SUPPLY DISTRICT ZONES A & B

SHEET INDEX

SHEET 1 C1 TITLE SHEET
SHEET 2 C2 NOTES AND LEGEND
SHEET 3 EC EXISTING CONDITIONS
SHEET 4 DS DEFINITIVE PLAN OF LAND
SHEET 5 CS LAYOUT AND MATERIALS PLAN
SHEET 6 CB GRADING AND DRAINAGE PLAN
SHEET 7 C7 UTILITIES PLAN
SHEET 8 CB PLAN AND PROFILE
SHEET 9 C9 EROSION AND SEDIMENTATION CONTROL PLAN
SHEET 10 C10 SITE DETAILS SHEET 1 OF 2
SHEET 11 C11 SITE DETAILS SHEET 2 OF 2

REVISION UPDATES
1 - REMOVED SHEET C12

APPROVAL UNDER THE SUBDIVISION
CONTROL LAW REQUIRED.
MARLBOROUGH PLANNING BOARD

DATE: _____

I CERTIFY THAT THIS PLAN CONFORMS TO THE
RULES AND REGULATIONS OF THE REGISTERS
OF DEEDS.

DATE: _____ PROFESSIONAL LAND SURVEYOR
FOR REGISTRY USE

Site Plan

for
A Four-Lot Subdivision

Map 68 Lot 123
76 Broad Street
Marlborough, MA 01752

PREPARED FOR

W.R.E., LLC

319 Stow Road
Marlborough, MA 01752

**HANCOCK
ASSOCIATES**

Civil Engineers

Land Surveyors

Wetland Scientists

315 Elm Street, Marlborough, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1127
WWW.HANCOCKASSOCIATES.COM

NO.	BY	DATE	ISSUE/REVISION DESCRIPTION
1	RD	9/2/2020	DESIGN BY: RD/DR
2	AS	NOTED	DRAWN BY: DR
3	APPROVED BY: RD	CHECK BY: JC	

**TITLE
SHEET**

PLAN DATE: 09/02/2020 10:00 AM

DWG: 138200F R1.dwg

LAYOUT: TS

SHEET: 1 OF 11





PROJECT NO.:

C1

13820



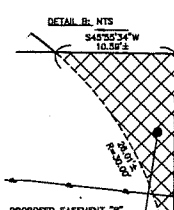
LEGEND

- | | |
|---|------------------------------|
|  | STONE WALL |
|  | EDGE OF PAVEMENT |
|  | EDGE OF GRAVEL |
|  | EDGE OF WOODED AREA |
| (R) | RECORD |
| (C) | CALCULATED |
| FL | FOUND |
| DH | DRILL HOLE |
| DHCB | DRILL HOLE IN CONCRETE BOUND |
| DHGB | DRILL HOLE IN STONE BOUND |
| LPIPE | IRON PIPE |
| R.I.R | IRON ROD |

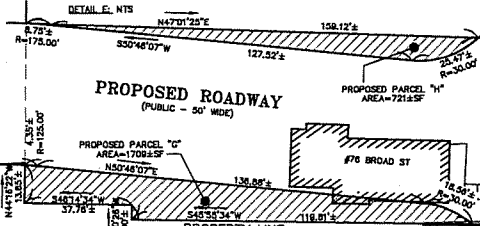


PROPOSED EASEMENT "A".

BROAD ST
PUBLIC - 49.5' WIDE (BS) CITY LAYOUT)



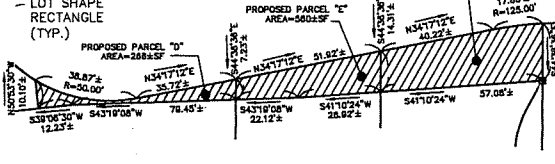
BROAD ST



DETAIL 02 NTS

PROPOSED ROADWAY

(PUBLIC - 50' WIDE)



ASSESSORS:

MAP 88 LOT 123
MAP 88 LOT 122
MAP 80 LOT 52

REFERENCES:

DEED BOOK 72213, PAGE 108
DEED BOOK 52381, PAGE 382
PLAN 974 OF 1970 (ANR PLAN,
PLAN 998 OF 2018)

RECORD OWNER:

WRE, LLC
8 COTTING AVENUE, #2
MARLBOROUGH, MA 01752

NOTES:

1) THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED REVISED LOT LINES, EASEMENTS, PARCELS, AND ROADWAY.

APPROVAL UNDER THE SUBDIVISION
CONTROL LAW REQUIRED.

MARLBOROUGH PLANNING BOARD

DATE:

I CERTIFY THAT THIS PLAN CONFORMS TO THE
RULES AND REGULATIONS OF THE REGISTERS
OF DEEDS.

DATE _____ PROFESSIONAL LAND SURVEYOR _____
FOR REGISTRY USE

Lotting Plan

for
A Four-Lot Subdivision

Map 68 Lot 123
76 Broad Street
Marlborough, MA 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road
Marlborough, MA 01752

HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 480-1111, FAX (508) 480-1121
WWW.HANCOCKASSOCIATES.COM

1	RD	JOB	10/29/20	REVISED DRAINAGE EASEMENT
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE:			8/18/2020	DESIGN BY: RD/DJ
SCALE:			1"=30'	DRAWN BY: P.J.
APPROVED BY:			---	CHECK BY: RD/JD

DEFINITIVE
SUBDIVISION
PLAN

PLATE 64: 2nd Ed. 2002 1/4 page

DWG: 13820-DS R1.dwg

LAYOUT: DS

PROJECT NO.:

DS

13A20

Site Plan

for
A Four-Lot Subdivision

Map 68 Lot 123
76 Broad Street
Marlborough, MA 01752

PREPARED FOR

W.R.E., LLC

319 Stow Road
Marlborough, MA 01752

HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

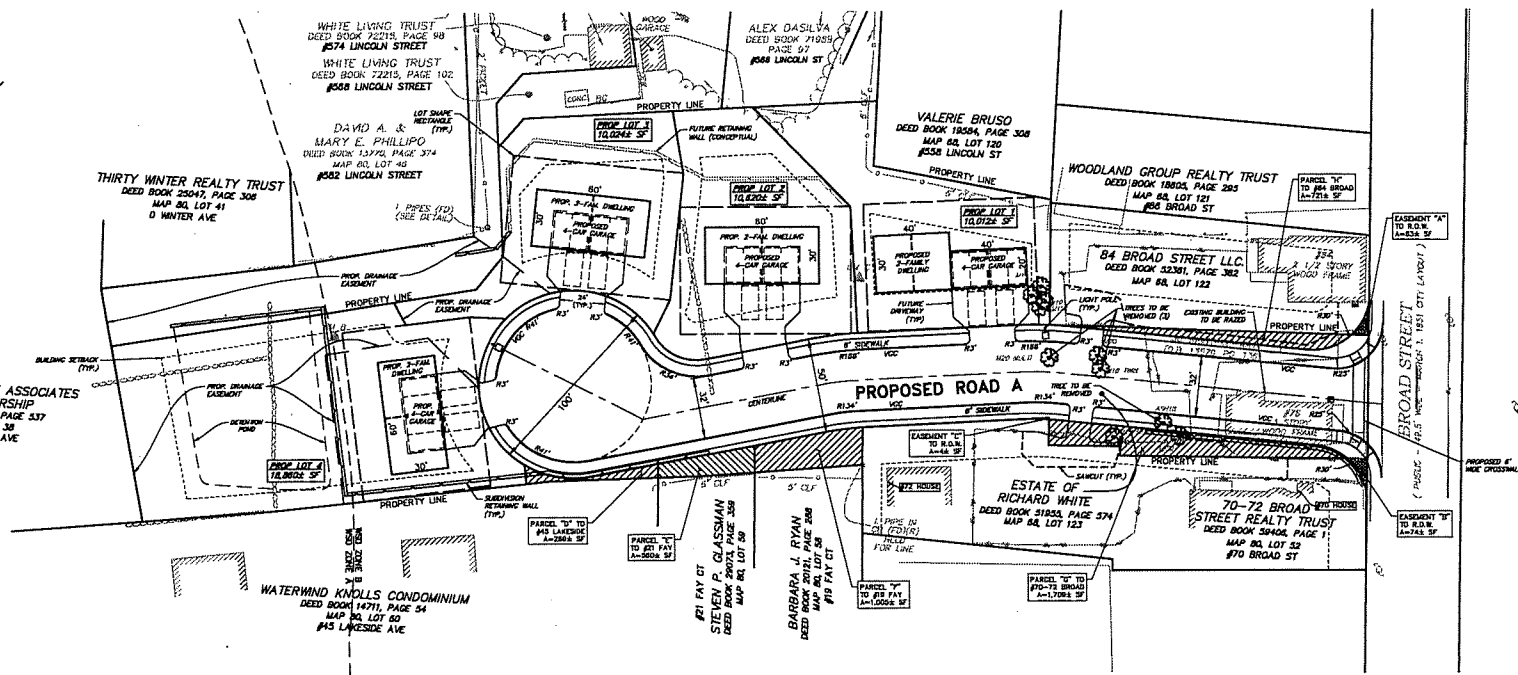
315 Elm Street, Marlborough, MA 01752
Voice (508) 460-1111, Fax (508) 460-1122
WWW.HANCOCKASSOCIATES.COM

1	NO	DATE	PLAN UPDATES
1	NO	10/20/20	PLAN UPDATES

NO.	BY	DATE	ISSUE/REVISION DESCRIPTION
DATE:	9/8/2020	DESIGN BY:	BD/DJR
SCALE:	1"=50'	DRAWN BY:	DJR
APPROVED BY:	ROULETTE	BY:	JD

LAYOUT & MATERIALS PLAN

PROJECT NO.: 13820



ZONING TABULATION (RESIDENCE C)

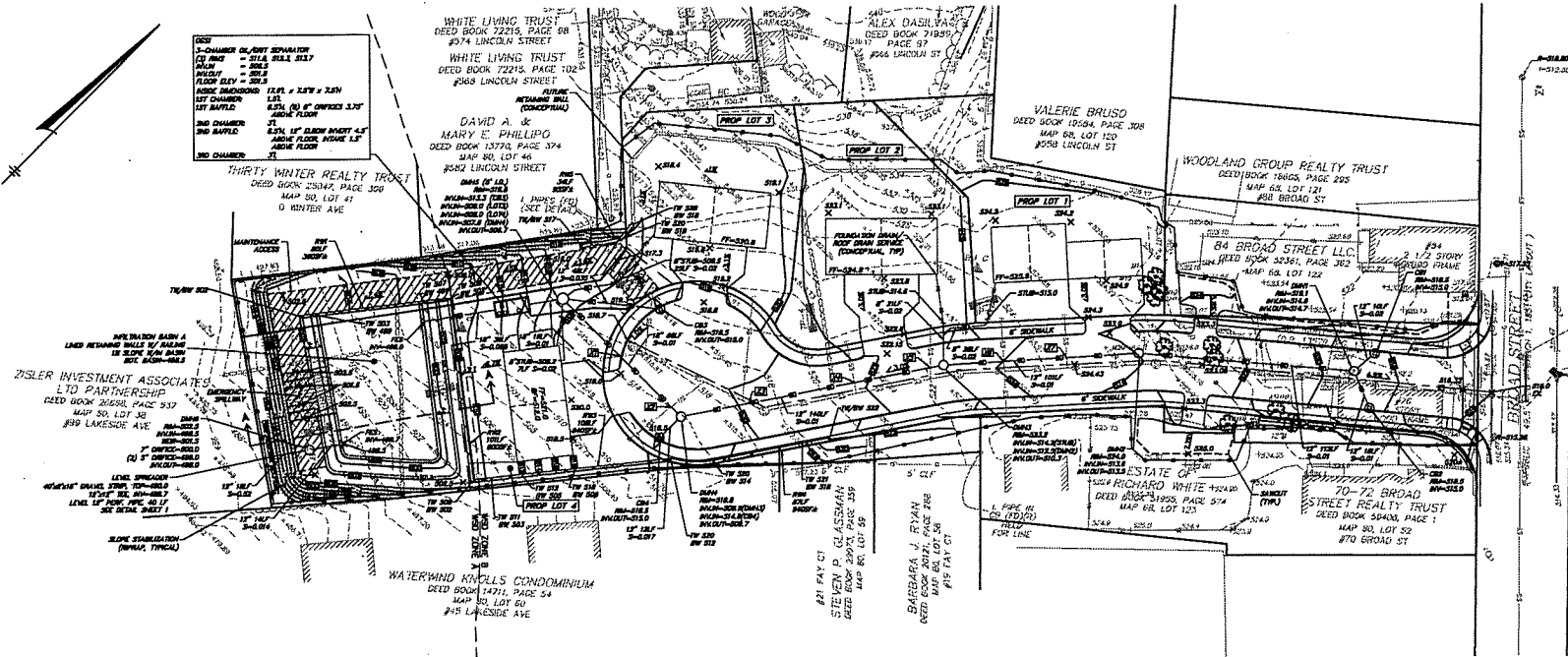
ITEM	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4
MIN. LOT AREA	10,000 SF	10,012 SF	10,820 SF	10,024 SF	10,880 SF
MIN. LOT FRONTAGE	80'	101'	114'	80'	80'
MIN. FRONT YARD	20'	21'	28'	21'	21'
MIN. SIDE YARD	10'	11'	14'	13'	12'
MIN. REAR YARD	25'	27'	32'	30'	133'
MAX. BUILDING HEIGHT	3 STORIES	3 STORIES OR LESS	3 STORIES OR LESS	3 STORIES OR LESS	3 STORIES OR LESS
MAX. LOT COVERAGE	30%	28.0%	27.5%	26.1%	13.8%

ABBREVIATIONS

BF	BASEMENT FLOOR	ISO	ISOLATOR (ROW)
LF	LINEAR FEET	LF	LINEAR FEET
BTM	BOTTOM	W	WALL
BW	BOTTOM OF WALL	PROP	PROPOSED
CB	CATCH BASIN	R	RADIUS
DM	DRUM MANHOLE	S	SLOPE
DX	DRAINAGE	SAV	SEWER MANHOLE
FM	FINISHED	SW	SEWER
FF	FIRST FLOOR	TM	TOP OF WALL
HOPE	HIGH-DENSITY POLYETHYLENE (HDPE)	TP	TYPICAL
LD	LINEAR DISTANCE	VCC	VERTICAL CURVE
INV	INVERT	WSD	WATER SUPPLY
		WSD	WATER SUPPLY PROTECTION DISTRICT
		XI	CROSSING 1

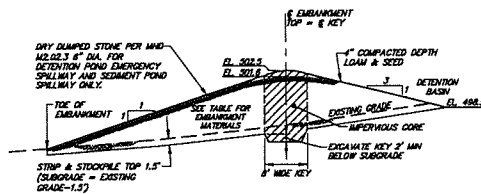
GRAPHIC SCALE: 1 INCH = 30 FEET

C5



TEST PIT #1 (TIP-1)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REIDEMORPHIC FEATURES	NOTES
0"-12"	Ad	LOAMY SAND	NONE	
12"-30"	Bw	LOAMY SAND	NONE	
30"-60"	C	LOAMY FINE SAND	NONE	SOME GRAVEL, COBBLES SOME Boulders
SURFACE ELEVATION = 481.5, NO GROUNDWATER OBSERVED, NO REFUSAL ESHOW = 486.33 BASED ON MAX. DEPTH = 80"				
TEST PIT #2 (TIP-2)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REIDEMORPHIC FEATURES	NOTES
0"-12"	Ad	LOAMY SAND	NONE	
12"-30"	Bw	LOAMY SAND	NONE	
30"-71"	C	LOAMY FINE SAND	NONE	SOME GRAVEL, COBBLES BOULDERS
SURFACE ELEVATION = 506.8, NO GROUNDWATER OBSERVED, NO REFUSAL ESHOW = 498.55 BASED ON MAX. DEPTH = 71"				
TEST PIT #3 (TIP-3)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REIDEMORPHIC FEATURES	NOTES
0"-12"	Ad	LOAMY SAND	NONE	
12"-34"	Bw	LOAMY SAND	NONE	
34"-98"	C	LOAMY FINE SAND	NONE	SOME GRAVEL, COBBLES LARGE BOULDERS
SURFACE ELEVATION = 530.0, NO GROUNDWATER OBSERVED, NO REFUSAL ESHOW = 512.0 BASED ON MAX. DEPTH = 98"				
TEST PIT #4 (TIP-4)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REIDEMORPHIC FEATURES	NOTES
0"-12"	Ad	LOAMY SAND	NONE	
12"-18"	Bw	LOAMY SAND	NONE	
18"-108"	C	LOAMY SAND	NONE	SOME GRAVEL, COBBLES BOULDERS
SURFACE ELEVATION = 522.0, NO GROUNDWATER OBSERVED, REFUSAL AT 108" ESHOW = 514.0 BASED ON REFUSAL AT 108"				
TEST PIT #5 (TIP-5)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REIDEMORPHIC FEATURES	NOTES
0"-12"	Ad	LOAMY SAND	NONE	
12"-18"	Bw	LOAMY SAND	NONE	
18"-22"	C	LOAMY SAND	NONE	SOME GRAVEL, COBBLES BOULDERS
SURFACE ELEVATION = 522.0, NO GROUNDWATER OBSERVED, NO REFUSAL ESHOW = 515.0 BASED ON REFUSAL AT 108"				

SOIL EVALUATION WAS PERFORMED BY HANCOCK ASSOCIATES ON AUGUST 8TH 2020.
EVALUATOR: ROBERT DIBENEDETTO S.E. #14044



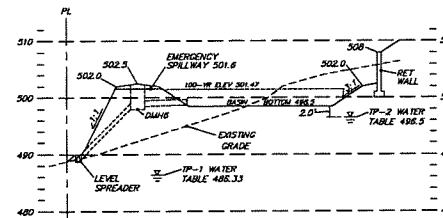
<u>EMBANKMENT MATERIALS</u>			
LOCATION	MATERIAL	MAX PARTICLE SIZE (IN)	LOOSE LIFT THICKNESS (IN) COMPACTION REQUIREMENT (% AND NO. OF)
KEY	NATIVE PARENT SOIL [2]	6	12 MAX 92 [3]
EMBANKMENT	NATIVE PARENT SOIL [2]	6	12 MAX 92 [3]
LOAM COVER	NATIVE TOPSOIL	1	8 MIN 80
IMPERVIOUS CORE	SOIL WITH AT LEAST 5% CLAY AND SILT CONTENT	6	12 MAX 92 [3]

- [1] MOD: MAXIMUM DRY DENSITY.
[2] ACCEPTABLE TO ENGINEER.
[3] COMPACT TO TEST AVERAGE OF 82% NO TEST LESS THAN 80%.

DETENTION POND EMBANKMENT
TYPICAL CROSS SECTION
NOT TO SCALE

CROSSING TABLE

<u>CROSSING X1</u>	<u>CROSSING X3</u>	<u>CROSSING X5</u>
8" SS: 513.3	8" SS: 512.6	8" SS: 511.8
18" SS: 508.3	12" SS: 509.3	12" SS: 510.3
OFFSET=3.5%	OFFSET=2.1%	OFFSET=0.3%
<u>CROSSING X2</u>	<u>CROSSING X4</u>	<u>CROSSING X6</u>
8" SS: 513.4	8" SS: 512.2	12" SS: 512.8
18" SS: 508.7	12" SS: 508.9	6" SS: 511.4
OFFSET=3.0%	OFFSET=1.1%	OFFSET=0.7%



SECTION A-A

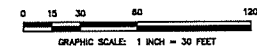
SCALE: 20' HORZ 10' VERT

REVISION UPDATES

- 1 - REPLACED CHAMBERS W/
DETENTION POND
- ADDED OIL/GRIIT SEPARATOR
- REVISED DIAM LOCATIONS
- LOWERED STORM DRAINS DUE TO
SEWER CROSSINGS
- ADDED DETENTION POND DETAIL
- ADDED BASIN CROSS-SECTION
- ADDED CROSSING TABLE
- ADDED ABBREVIATIONS

ABBREVIATIONS

BF	BASEMENT FLOOR	ISO	ISOLATOR (ROW)
ELEV	ELEVATION	LF	LEADER FEET
BOT	BOTTOM	MF	MANHOLE
BW	BOTTOM OF WALL	PROP	PROPOSED
CB	CAUTION BASIN	R	ROW
DAH	DRAIN MANHOLE	RY	"R" RADIIUS
EX	EXISTING	S	SIZE
FIN	FINISHED	SMH	SEWER MANHOLE
FF	FINISH FLOOR	TW	TOP OF WALL
ELEV	ELEVATION	TY	TYPICAL
HDPE	HIGH-DENSITY POLYETHYLENE (PIPE)	VGC	VERTICAL GRANITE CURB
LD	LEADER	WSD	WATER SUPPLY
INVT	INVERT		PROTECTION DISTRICT CROSSING 1



GRADING AND DRAINAGE PLAN

PLANT DATE: 04-20-2009 13:02 pm

DWG: 138200F R1.

LAYOUT: GD

DATE: 05 11

SHEET: 8 OF 11

C6

100

Site Plan

for
A Four-Lot Subdivision

Map 68 Lot 123
76 Broad Street
Marlborough, MA 01752

PREPARED FOR

W.R.E., LLC

319 Stow Road
Marlborough, MA 01752

HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

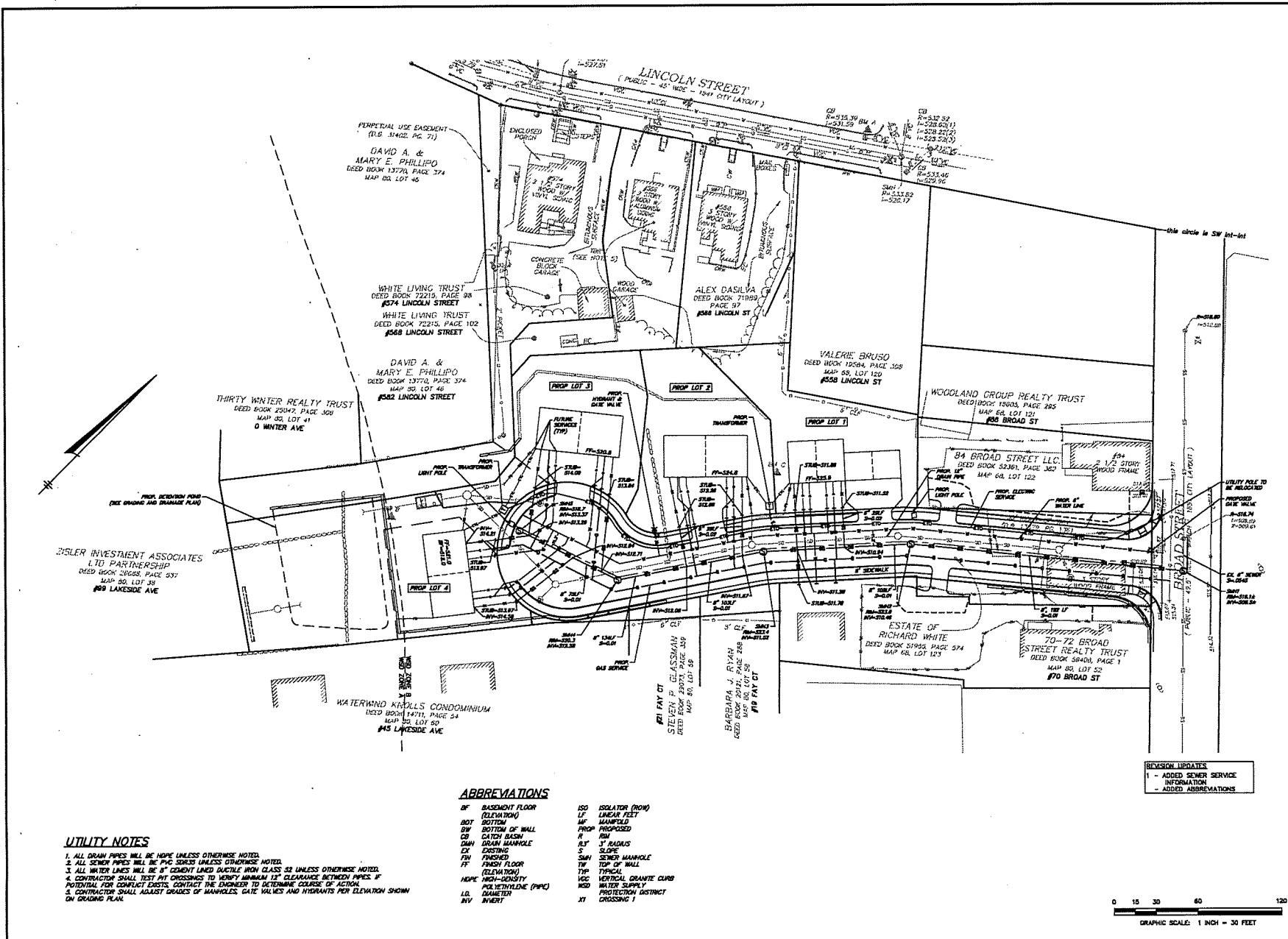
215 Elm Street, Marlborough, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1120
WWW.HANCOCKASSOCIATES.COM

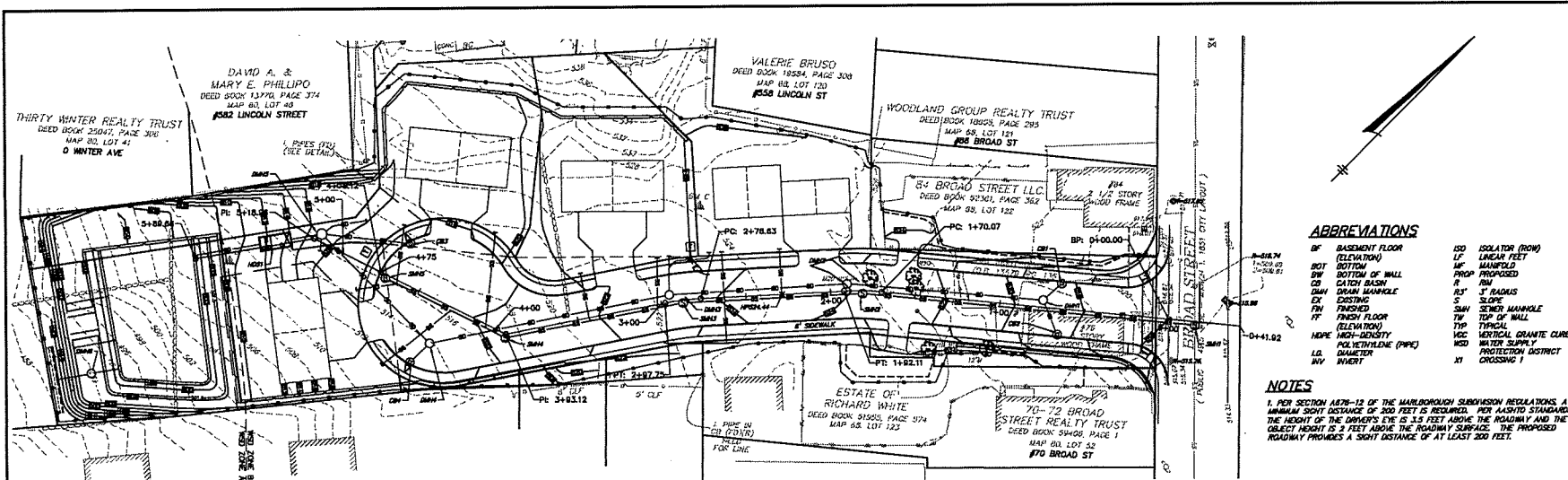
NO.	DATE	PLAN UPDATES
1	10/20/20	PLAN UPDATES

NO.	DATE	ISSUE/REVISION DESCRIPTION
1	10/20/20	DESIGN BY: RD/DJR SCALE: 1"=30' DRAWN BY: JLM APPROVED BY: BULCHER, D.L.

UTILITY PLAN

PROJECT NO.: 13820





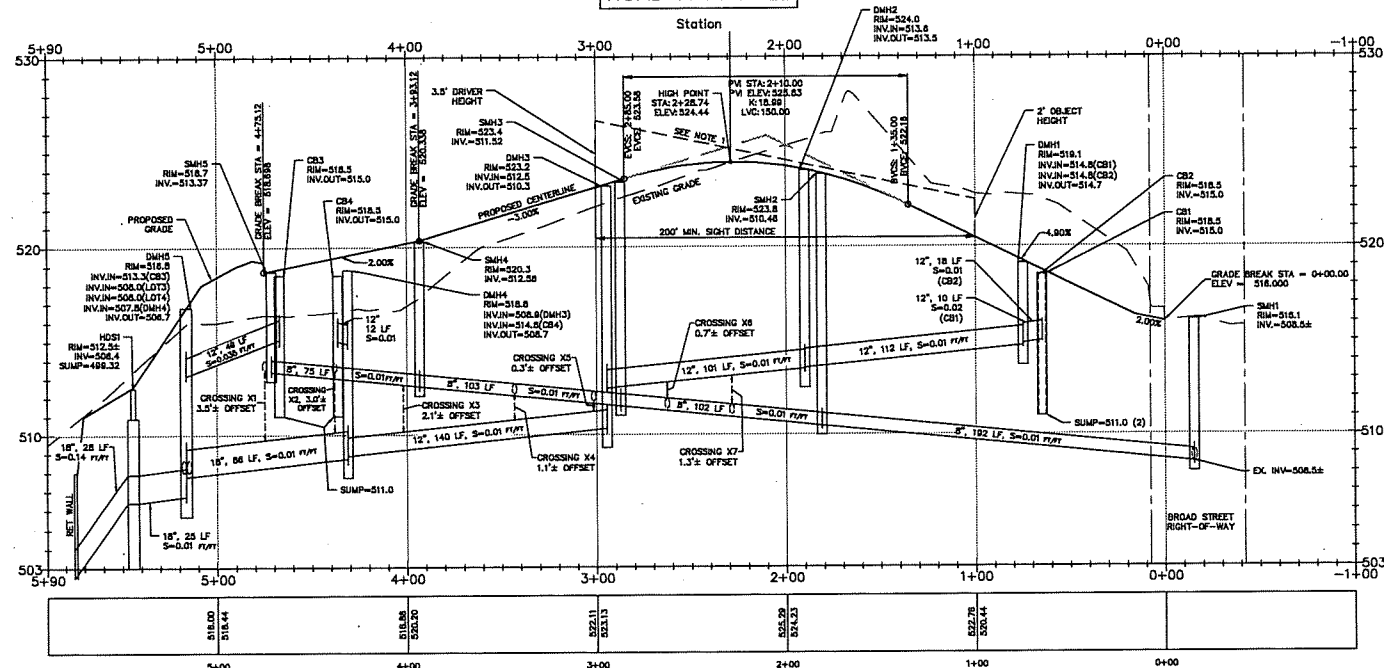
ABBREVIATIONS

BF	BASEMENT FLOOR (ELEVATION)	ISO	ISOLATOR (FROM)
BT	BOTTOM OF WALL	LF	LINEAR FEET
CB	CATCH BASIN	MAN	MANHOLE
DMH	DEMAN MANHOLE	PROP	PROPOSED
EX	EXISTING	R	RADIUS
FM	FRESH FLOOR (ELEVATION)	S	SLOPE
FM	FRESH FLOOR (ELEVATION)	SMH	SEWER MANHOLE
FM	FRESH FLOOR (ELEVATION)	TW	TOP OF WALL
FM	FRESH FLOOR (ELEVATION)	TYP	TYPICAL
HDPE	HIGH-DENSITY POLYETHYLENE (PIPE) DIAMETER	VEG	VERTICAL GRANITE CURB
LD	LOW-DENSITY POLYETHYLENE (PIPE) DIAMETER	WSD	WATER SUPPLY
INV	INVERT	XT	CROSSING

NOTES

1. PER SECTION 1A7B-12 OF THE MARLBOROUGH SUBDIVISION REGULATIONS, A MINIMUM SIGHT DISTANCE OF 200 FEET IS REQUIRED. PER AASHTO STANDARDS, THE HEIGHT OF THE DRIVER'S EYE IS 3.5 FEET ABOVE THE ROADWAY AND THE OBJECT HEIGHT IS 2 FEET ABOVE THE ROADWAY SURFACE. THE PROPOSED ROADWAY PROVIDES A SIGHT DISTANCE OF AT LEAST 200 FEET.

ROAD A PROFILE



REVISIONS

1 - SHIFTED DMH'S
REVISED BASIN STRUCTURES
ADDED CROSSINGS

VERTICAL SCALE 1 INCH = 3 FEET

HORIZONTAL SCALE 1 INCH = 30 FEET

Site Plan

for
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Marlborough, MA 01752

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1 RD 3P 10/29/20 PLAN UPDATES

NO. BY APP. DATE ISSUE/REVISION DESCRIPTION

DATE: 9/8/2020 DESIGN BY: RD/CLP

SCALE: 1"=30' DRAWN BY: DAP

APPROVED BY: RD/CHECK BY: RD

PLAN AND PROFILE

PLN 1416 04 01 00 10:00 pm

DWG: 138200F R1.dwg

LAYOUT: PP

SHEET: 8 OF 11

PROJECT NO.: 13820

C8

Site Plan

for
A Four-Lot Subdivision

Map 68 Lot 123
76 Broad Street
Marlborough, MA 01752

PREPARED FOR:

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319 Stow Road
Marlborough, MA 01752

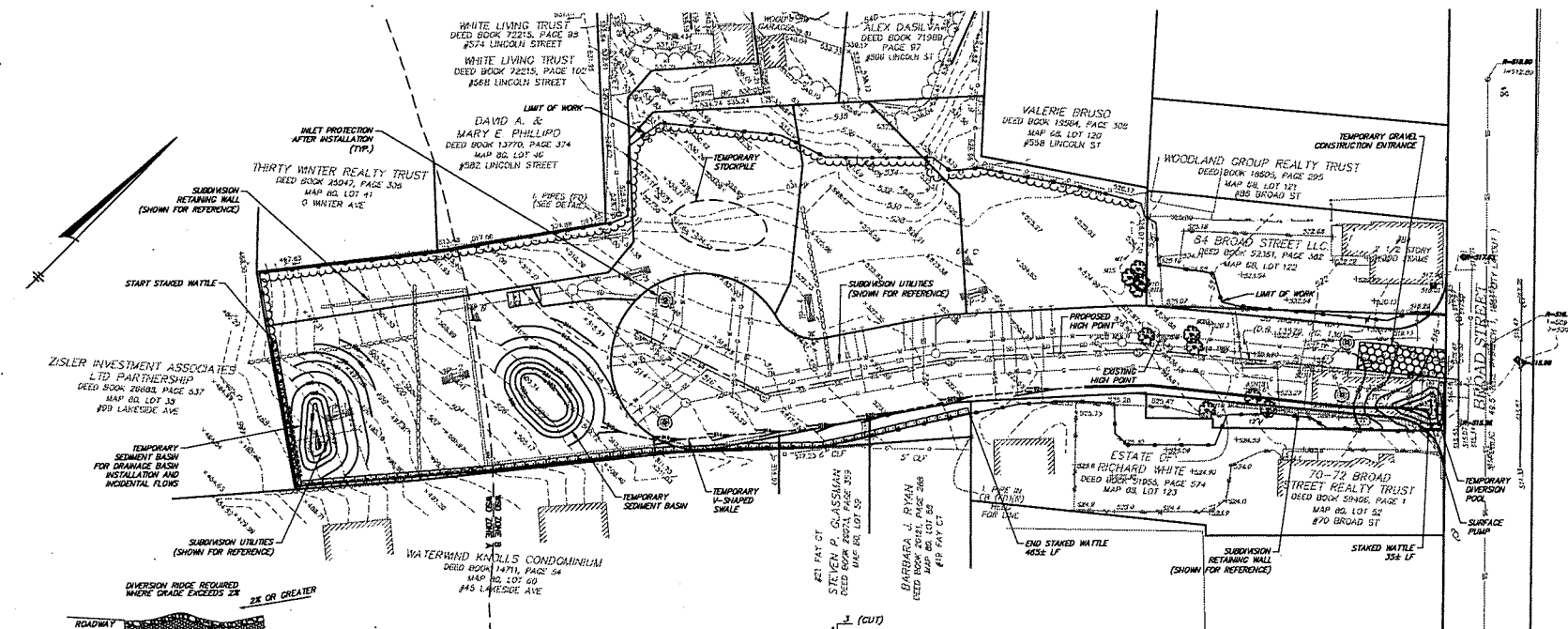
HANCOCK
ASSOCIATES

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Wetland Scientists

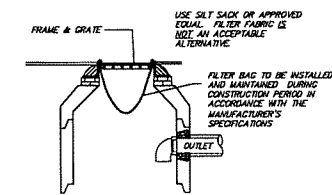
315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 480-1111, FAX (508) 480-1127
WWW.HANCOCKASSOCIATES.COM



SEDIMENT BASIN CALCULATION

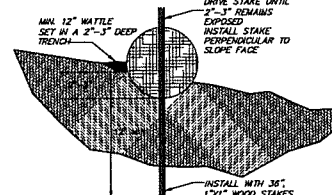
BASIN SIZING BASED ON 3,600 CF PER 1 ACRE OF UPSTREAM DRAINAGE AREA

UPSTREAM AREA = 24,280 SF = 0.8 ACRES
MIN REQUIRED VOLUME = 0.8 AC \times 3,600 CF/AC = 2,880 CF
BASIN DIMENSIONS: 1,400 SF TOP AREA
3' DEPTH, 3:1 SIDE SLOPES
PROVIDED VOLUME: 2,800 CF SHOWN



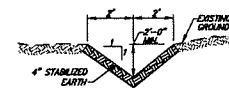
**CATCH BASIN FILTER BAG
(INLET PROTECTION)**

TYPICAL CROSS SECTION - NOT TO SCALE

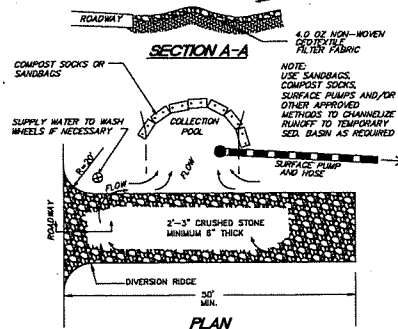


STAKED WATTLE INSTALLATION

NOT TO SCALE

 **V-SHAPED SWALE**

NOT TO SCALE



PLAN

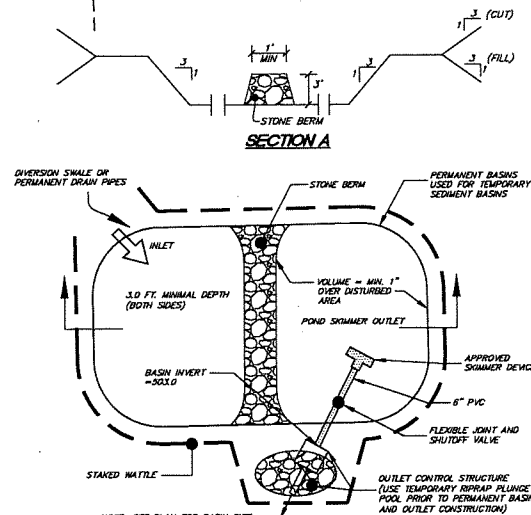
CONSTRUCTION ENTRANCE.
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

2. WHEN NECESSARY WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**TEMPORARY GRAVEL
CONSTRUCTION
ENTRANCE/EXIT**

NOT TO SCALE



TEMPORARY SEDIMENT BASIN

NOT TO SCALE

1	RD	JF	10/29/20	PLAN UPDATES
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE:			9/9/2020	DESIGN BY: RD
SCALE:			1"=30'	DRAWN BY:
APPROVED BY:			RD	CHECK BY:

REVISION UPDATES

- 1 - REDUCED CONSTRUCTION ENTRANCE WIDTH
- ADDED DIVERSION POOL, SURFACE PUMP
- ADDED BASIN AT REAR OF SITE
- REVISED CONSTRUCTION ENTRANCE DETAIL
- ADDED SWALE DETAIL

EROSION AND SEDIMENT CONTROL PLAN

DWG: 13820DF R1.dwg LAYOUT: ESC SHEET: 9 OF 11 PROJECT NO.:		C9 138
--	--	-----------

C9

CITY OF MARLBOROUGH SEWER NOTES

THE FOLLOWING DESCRIBES MATERIALS AND METHODS OF INSTALLATION OF SEWER MAINS IN GENERAL. ALL WORK SHALL CONFORM TO THE CITY OF MARLBOROUGH MANUFACTURE STANDARDS.

MAIN INSTALLATION

ALL GRAVITY MAINS WILL BE A MINIMUM OF EIGHT INCHES IN DIAMETER. ALL LATERAL INTERCEPTORS, TRUNKLINES, ETC. WILL BE EITHER POLYETHYLENE GLYCOL (PE) OR BUTYLENE IRON. THE CLASS OF THE PIPE WILL ACCOMMODATE THE FIELD CONDITIONS. PVC PIPE SHALL NOT BE USED EXCEPT THE ASTM D-3034, 80% IS RECOMMENDED. PVC PIPE SHALL NOT BE USED FOR PIPES WITH CHANGERS GREATER THAN 15 INCHES UNLESS EXPRESSLY APPROVED IN WRITING BY THE COMMISSIONER OF PUBLIC WORKS. PVC PIPE SHALL NOT BE USED WHEN THE DEPTH EXCEEDS 10 FEET. FOR DEPTHS OF SEWERS EXCEEDING 10 FEET, CLASS 52 DUCTILE IRON SHALL BE USED. WHEN THE COVER IS FIVE FEET OR LESS, A 12" DUCTILE IRON SHALL BE USED. THE CLASS AND TYPE OF PIPE WILL BE SPECIFIED BY THE DEPARTMENT OF PUBLIC WORKS. THE SLOPE OF THE SEWER SHALL NOT BE LESS THAN 1% OR EXCEED 1%. ALL SECTIONS OF ALL PIPE WILL HAVE AS THEIR MINIMUM SLOPE THAT SLOPE WHICH YIELDS THE REQUIRED VELOCITY FOR THE PARTICULAR DIAMETER PIPE. WARNING ROBUST SHALL BE USED IN THE INSTALLATION OF ANY SEWER MAIN. SAID ROBUST SHALL BE GREEN IN COLOR AND IMPRINTED WITH THE WORDS "CAUTION SEWER LINE BELOW", OR WORDS OF SIMILAR INTENT, AND SHALL BE INSTALLED TO PROVIDE FUTURE LOCATING WITH INDUCTIVE TAPE LOCATOR. DEPTH OF BURIAL SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS, EXCEPT THAT BURIAL SHALL NOT BE AT A DEPTH LESS THAN 18 INCHES NOR A DEPTH GREATER THAN 48 INCHES.

MANHOLES

DISTANCE BETWEEN ANY TWO MANHOLES SHALL NOT EXCEED 300 FEET. ANY TWO SEWER TIE-INS IN MANHOLES OR AT A STRUCTURE WITH A DIFFERENCE IN ELEVATION OF 18 INCHES OR MORE SHALL BE PROVIDED. THE INSIDE DROP IN A MANHOLE SHALL NOT EXCEED 18 INCHES. IN CHANGE OF ELEVATION, ANY MANHOLE THAT IS REQUIRED TO HAVE AN INSIDE DROP SHALL BE A 5 FOOT DEEP DUCTILE IRON MANHOLE. MANHOLES SHALL BE PRECAST CONCRETE AND PRECAST SECTIONS WILL BE MADE WATERPROOF BY D-90 JOINTS OR APPROVED EQUAL CONNECTIONS TO MANHOLES SHALL BE COVERED AND MADE WITH 1/2" DUCTILE IRON. THE EXTERIOR OF ALL MANHOLES SHALL BE COMPLETELY COVERED WITH A WATERPROOF WATERPROOFING. ALL OTHER MANHOLES WILL HAVE A BRICK TABLE CONSTRUCTED IN THEIR BASE TO MEET ALL INCOMING AND OUTGOING PIPES SO THAT FLOW IS CHANGING SMOOTHLY FROM ONE PIPE TO ANOTHER. ALL BRICKS USED FOR MANHOLES WILL BE A HAND-BURNED BRICK TO MEET ASTM C-22-88 GRADE B. BRICKWORK WILL ALSO BE USED BETWEEN THE MANHOLE STRUCTURE AND RING AND RING COVER TO GIVE THE DESIRED GRADE. HOWEVER, THE BRICKWORK IN THIS AREA WILL NOT EXCEED 80% INCHES. THIS BRICKWORK CAN BE WITH A COMMON BRICK.

THURST BLOCKS

THURST BLOCKS WILL BE USED ON ANY FORCE MAIN SECTIONS WHERE CALLED FOR BY THE DEPARTMENT OF PUBLIC WORKS. THE THURST BLOCK SHALL CONSIST OF A FORMED CONCRETE BLOCKING AGAINST UNDISTURBED MATERIAL, POURED IN PLACE WITH 5000 PSI 1-1/2" 470 CEMENT CONCRETE MASONRY.

INSPECTIONS

INSPECTIONS WILL BE PROVIDED BY THE CITY OF MARLBOROUGH ONLY ON A LIMITED OR PART-TIME BASIS. BEFORE ANY BACKFILLING IS DONE, THE DEPARTMENT OF PUBLIC WORKS WATER & SEWER DIVISION WILL BE NOTIFIED 24 HOURS IN ADVANCE. A CITY REPRESENTATIVE WILL INSPECT THE COMPLETED WORK. IF THE DEPARTMENT OF PUBLIC WORKS FEELS THAT INSUFFICIENT WORKMANSHIP AND CARE IS BEING TAKEN DURING THE INSTALLATION, A PERSON MAY BE ASSESSED FROM THE DEPARTMENT OF PUBLIC WORKS ON A FULL-TIME BASIS. THE CONTRACTOR OR OWNER WILL BEAR THE COST OF THIS INSPECTION.

CONNECTIONS

MAIN-TO-MAN CONNECTIONS WILL ONLY BE MADE BY USE OF A MANHOLE AS SPECIFIED IN THE MARLBOROUGH CITY CODE 310-4 (MANHOLE) IN THE CASE OF A TIE-TO-MAN THE USE OF A TAPPING BRIDGE AS APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. TAPPING BRIDGES WILL BE EXPLOITED ON THE MAIN WHEREVER A SERVICE IS NEEDED WHEN THE DEPTH OF THE MAIN EXCEEDS 80% FEET. THIS SHALL BE EXCEPTED WHEN THE ELEVATION OF THE CONNECTION AT THE BUILDING DOES NOT ALLOW THE USE OF A CHIMNEY. ALL CHIMNEYS WILL BE PRECAST STRUCTURES. ALL WYE-BRANCHES WILL BE PROVIDED WITH THE PROPER END CAPS UNLESS SUCH THAT THE COMPLETED TIE-IN IS MADE. THE CONNECTIONS OF BUILDING SEWERS INTO PUBLIC SEWERS SHALL BE MADE AT THE WYE OR AT BENCH LEVEL IN THE MANHOLE. IF A WYE-BRANCH OR MANHOLE IS UNAVAILABLE, A CONNECTION MAY BE MADE BY TAPPING THE EXISTING SEWER BY AN APPROVED METHOD. THIS MAY CONSIST OF CUTTING OUT A PORTION OF THE SEWER MAIN AND INSTALLING A "WYE" AT THE MAIN AND RECONNECTING THE EXISTING MAIN WITH THE NEW PIPE AND PROPER COUPLERS AS APPROVED BY INSPECTION. NO PERSON SHALL MAKE A CONNECTION OF ROOF DRAINS, DOWNSPUTS, FOUNDATION DRAINS, AREA DRAINS, BASEMENT DRAINS, SUMP PUMP OR OTHER SOURCES OF SURFACE RUNOFF OR DISCHARGE TO A BUILDING SEWER OR BUILDING DRAIN WHICH IS DIRECTLY OR INDIRECTLY TO A PUBLIC SEWER. ALL SEWERS SHALL BE TESTED BEFORE ANY CONNECTIONS ARE MADE TO BUILDINGS.

BUILDING SEWERS

THE SIZE AND SLOPE OF THE BUILDING SEWER SHALL BE SUBJECT TO THE APPROVAL OF THE COMMISSIONER BUT IN NO EVENT SHALL THE DIAMETER BE LESS THAN 8 INCHES. THE SLOPE OF THE BUILDING SEWER SHALL NOT BE LESS THAN 1% OR GREATER THAN 1% EXCEPT WHEN THE BUILDING SEWER LAYS AT THE UNIFORM GRADE AND IS A STRAIGHT LINE. WHEN THE BUILDING SEWER IS POSSIBLE, CHANGES IN DIRECTION SHALL BE MADE WITH 90° ELBOWS. SEWERS, MANHOLES OR PRECAST CLEANOUTS AS APPROVED BY THE COMMISSIONER. CLEANOUTS SHALL BE LOCATED ON THE EXTERIOR SIDE OF THE BUILDING SERVICE AND SHALL BE IN A PLACE THAT IS ACCESSIBLE FOR MAINTENANCE BY THE DEPARTMENT OF PUBLIC WORKS OR OTHER WARNING ROBUST SHALL BE USED IN THE INSTALLATION OF ANY SERVICE PIPE. SAID ROBUST SHALL BE GREEN IN COLOR AND IMPRINTED WITH THE WORDS "CAUTION SEWER LINE BELOW", OR WORDS OF SIMILAR INTENT, AND SHALL BE INSTALLED TO PROVIDE FUTURE LOCATING WITH INDUCTIVE TAPE LOCATOR. DEPTH OF BURIAL SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS, EXCEPT THAT BURIAL SHALL NOT BE AT A DEPTH LESS THAN 18 INCHES NOR A DEPTH GREATER THAN 48 INCHES. THE SEWER SHALL BE TESTED BEFORE ANY CONNECTIONS ARE MADE TO BUILDINGS. WHERE APPLICABLE DISTANCE WITH THE MARLBOROUGH CITY CODE SECTION 310-4 "BUILDING SEWER CONNECTIONS" SHALL BE PAID PRIOR TO ANY WORK.

TESTING

TESTING SHALL CONFORM TO CITY OF MARLBOROUGH REQUIREMENTS.

REVISIONS

1 - SMALL REVISION TO ENERGY DISSIPATOR DETAIL

Site Plan

for
A Four-Lot Subdivision

Map 68 Lot 123
76 Broad Street
Marlborough, MA 01752

PREPARED FOR

W.R.E., LLC

319 Stow Road
Marlborough, MA 01752

HANCOCK
ASSOCIATES

Civil Engineers

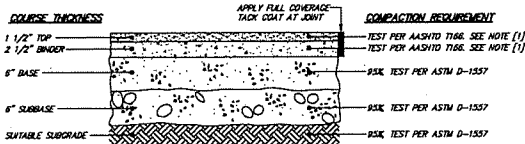
Land Surveyors

Wetland Scientists

315 Elm Street, Marlborough, MA 01752
508 (508) 860-1111, FAX (508) 860-1121
WWW.HANCOCKASSOCIATES.COM

DETAILS
SHEET 1

DATE: 9/8/2020 DESIGN BY: RD/CLP
SCALE: 1"=30' DRAWN BY: RUC
APPROVED BY: RD/CLP
PROJECT NO.: 13820

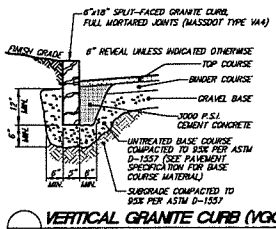


NOTES:
[1] COMPACT TO TEST AVERAGE OF 95% NO TEST LOWER THAN 94%

MATERIAL	SPECIFICATION	MAXIMUM AGGREGATE OR PARTICLE SIZE (IN)
TOP - BITUMINOUS CONCRETE	AND M11.0.3 CLASS 1 TYPE 1-1	1/2
BINDER - BITUMINOUS CONCRETE	AND M11.0.3 CLASS 1 TYPE 1-1	1
BASE - DENSE GRADED CRUSHED STONE	AND M2.0.1.7	1 1/2
SUBBASE - CRANIEL BROWNE	AND M10.0.2 TYPE C	2

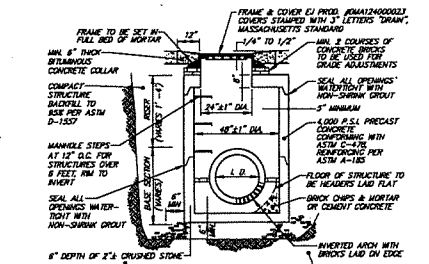
BITUMINOUS CONCRETE PAVEMENT

TYPICAL CROSS SECTION
NOT TO SCALE



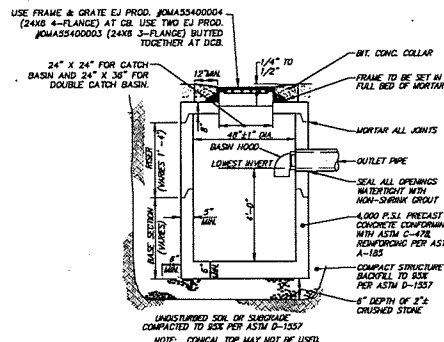
VERTICAL GRANITE CURB (VGC)

TYPICAL CROSS SECTION
NOT TO SCALE



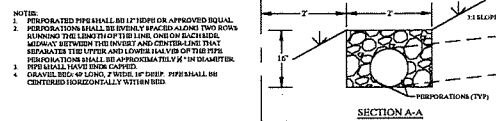
DRAIN MANHOLE (DMH)

TYPICAL CROSS SECTION
NOT TO SCALE



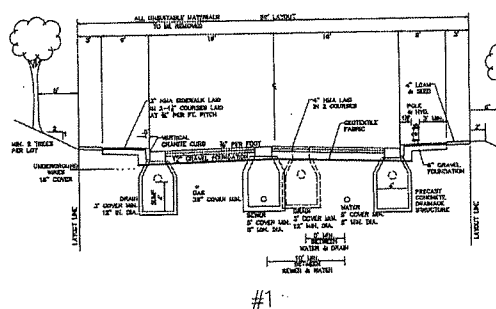
CATCH BASIN (CB) AND DOUBLE CATCH BASIN (DCB) WITH HOOD

TYPICAL CROSS SECTION
NOT TO SCALE

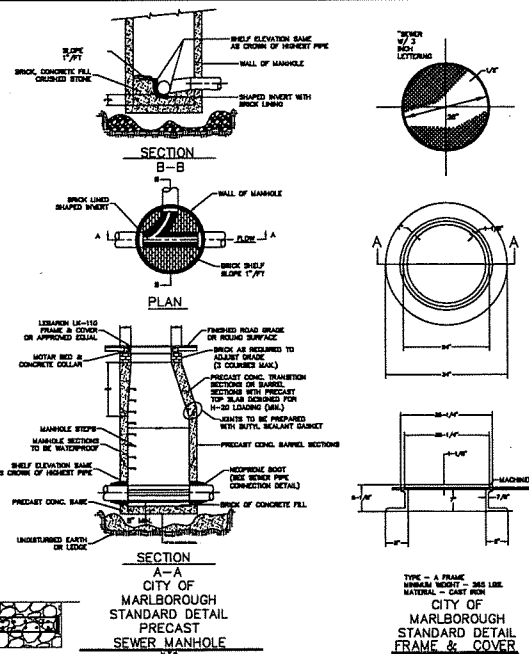


ENERGY DISSIPATOR

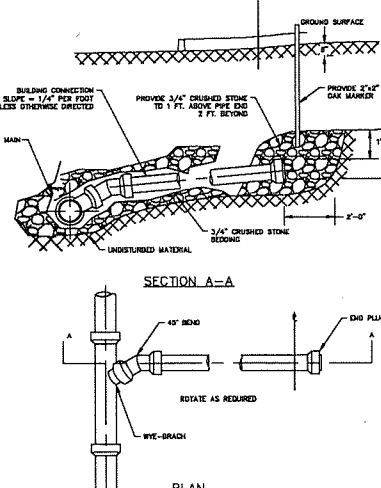
TYPICAL CROSS SECTION
NOT TO SCALE

CITY OF MARLBOROUGH
TYPICAL ROAD CROSS SECTION

TYPICAL CROSS SECTION
NOT TO SCALE

CITY OF MARLBOROUGH
STANDARD DETAIL
PRECAST SEWER MANHOLE

TYPICAL CROSS SECTION
NOT TO SCALE

PLAN
CITY OF MARLBOROUGH
STANDARD DETAIL
SEWER SERVICE CONNECTION

TYPICAL CROSS SECTION
NOT TO SCALE





City of Marlborough

Legal Department

140 MAIN STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610
LEGAL@MARLBOROUGH-MA.GOV

JASON D. GROSSFIELD
CITY SOLICITOR

JASON M. PIQUES
ASSISTANT CITY SOLICITOR

HEATHER H. GUTIERREZ
PARALEGAL

October 29, 2020

Planning Board
135 Neil Street
Marlborough, MA 01752
kholmi@marlborough-ma.gov

Re: 76 Broad Street Definitive Subdivision.

Dear Dr. Fenby and Members of the Planning Board:

You asked that this office review the correspondence dated October 7, 2020, from Sandra Austin, attorney for W.R.E. LLC, as to whether a waiver from the Planning Board's Subdivision Rules and Regulations ("Regulations") is required when the Applicant seeks to convey to the City an easement rather than a fee simple, for purposes of a rounding of an opening to a public way. In my opinion, a waiver is not required.

A676-10(H1/4) of the Regulations, titled "Deeding of developers legal interest to City", requires that "the developer shall deed to the City the subdivision road(s) as well as all municipal utility easements, if any."

The term "deed" is not defined in the Regulations. Generally, "deed" is defined as "Any written instrument that is signed, sealed, and delivered and that conveys *some* interest in property." (emphasis added) Blacks Law Dictionary 7th Ed. 2000. While a deed may convey rights in fee, a deed may also convey an easement.) Morse v. Copeland, 2 Gray 302 (1854). (Strictly speaking, [a] deed 'creates' the easement.)

Accordingly in my opinion, the Regulations do not explicitly require a fee interest to be conveyed to the City.

Please do not hesitate to contact me if you have any additional questions.

Respectfully,

/s/ Jay Piques
Jay Piques
Assistant City Solicitor

City of Marlborough
Commonwealth of Massachusetts



Pamela A. Wilderman (X30201)
Ethan Lippitt (X 30200)
Code Enforcement
140 Main Street
Marlborough, MA 01752
Phone: (508) 460-3776 (x30201)
Fax: (508) 460-3736
Email: pwilderman@marlborough-ma.gov
elippitt@marlborough-ma.gov

October 20, 2020

Barbara L. Fenby, Chairperson
Marlborough Planning Board
135 Neil Street
Marlborough, MA 01752

RE: Subdivision Plan Submittal
W. R. E., LLC as Applicant
76 Broad Street

Dear Chairperson Fenby and Members:

I wished to take an opportunity to advise the Board that the property at 76 Broad Street (both residence and lot behind) have been subject to enforcement actions of the years. On numerous occasions myself and the police have found campsites, evidence of drug use, fires, and weapons inside the open land behind the existing house.

While we would all like to see open space preserved, in this particular case I believe that the property would be better served as proposed in the subdivision plan. We have worked with Mr. White in the past and have always found him to be responsive to any issues which may arise.

We make no comment upon the actual submitted plan as far as whether or not it meets any or all requirements; we leave that to your Board. But we do believe that such a plan would greatly improve the conditions in the neighborhood.

As always, please feel free to contact this office if you have any questions or if we can be of any further assistance to you.

Sincerely,

Pamela A. Wilderman
Code Enforcement Officer

Cc: Attorney Sandra Rennie Austin
File

PLANNING BOARD

DATE 10-21-20
AGENDA 11-2-20
ACTION _____