

CITY OF MARLBOROUGH MEETING POSTING

Meeting: Planning Board
Date: January 25, 2021
Time: 7:00 PM
Location: REMOTE MEETING NOTICE

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2021 JAN 21 P 3:31

In accordance with the March 12, 2020 Executive Order issued by Governor Baker modifying certain requirements of the Open Meeting Law, the City of Marlborough Planning Board will hold a remote meeting on Monday, January 25, 2021 at 7:00 pm. The public may access the meeting by clicking on the link provided in the Planning Board calendar on the Planning Board Website <https://www.marlbrough-ma.gov/planning-board> or by dialing in (audio only) using the following phone number and conference ID : +1 617-433-9462 United States, Boston (Toll) Conference ID: 220 484 27#
Agenda Items to be Addressed:

1. Meeting Minutes
 - A. January 11, 2021
2. Chair's Business (None)
3. Approval Not Required (None)
4. Public Hearings (None)
5. Subdivision Progress Reports
 - A. Goodale Estates Performance Bond Update (informational)
6. Preliminary/Open Space /Limited Development Subdivision (None)
7. Definitive Subdivision Submissions (None)
8. Signs
 - A. Continued - Application for Sign Variance – Serrato Signs, LLC on behalf of St. Mary's Credit Union, 133 S. Bolton Street
Communication from Assistant City Solicitor Piques Re: Legal Opinion
9. Correspondence (None)
10. Unfinished Business
 - A. Ongoing Review - Definitive Subdivision Application - 76 Broad St. 4-Lot Subdivision
Applicant: W.R.E., LLC, 319 Stow Road, Marlborough, MA 01752
Engineer: Hancock Associates, 315 Elm St., Marlborough, MA 01752. Robert DiBenedetto, Representative. Attorney Sandra Austin, Counsel.
 - i. Communication from Robert DiBenedetto, P.E., Hancock Associates
 - ii. 76 Broad Plan Set Rev. 1/20/21
 - iii. Communication from Assistant City Engineer Collins (**Vote on Waivers**)
 - iv. Communication from Assistant City Solicitor Piques Regarding Draft Certificate of Vote-Legal Form
 - B. Working Group Discussion – Planning Board Rules and Regulations
 - i. Cross-Sections – Appendix F
 - ii. Assignment of Next Tasks
11. Calendar Updates
 - A. Vote on 76 Broad St. Definitive Subdivision Application-- February 12, 2021 (**Action by Board at February 8, 2021 meeting.**)
12. Public Notices of other Cities & Towns (None)

THE LISTING OF TOPICS THAT THE CHAIR REASONABLY ANTICIPATES WILL BE DISCUSSED AT THE MEETING IS NOT INTENDED AS A GUARANTEE OF THE TOPICS THAT WILL HAVE BEEN DISCUSSED. NOT ALL TOPICS LISTED MAY IN FACT BE DISCUSSED, AND OTHER TOPICS NOT LISTED MAY ALSO BE BROUGHT UP FOR DISCUSSION TO THE EXTENT PERMITTED BY LAW.

MINUTES
MARLBOROUGH PLANNING BOARD
MARLBOROUGH, MA 01752

1A

Call to Order

January 11, 2021

The **remote meeting** of the Marlborough Planning Board was called to order at 7:00 pm. Members present- Barbara Fenby, Matt Elder, Sean Fay, Phil Hodge, George LaVenture and Chris Russ. Meeting support provided by City Engineer, Thomas DiPersio, Assistant City Solicitor, Jason Piques and Planning Board Administrator, Krista Holmi.

First order of Business: Planning Board Organizational Meeting – Election of Clerk and Chairperson

Chair Fenby opened the organizational meeting. Mr. Elder opened the nominations for Clerk. Mr. Fay nominated Mr. George LaVenture to serve as Clerk of the Planning Board. There were no additional nominations. On a motion by Mr. Fay, seconded by Mr. Russ, the Board voted to elect Mr. George LaVenture to serve as Planning Board Clerk for the year 2021. Yea: Elder, Fay, Hodge, Russ, Fenby. Nay: 0. Abstained: Mr. LaVenture. Motion carried. George LaVenture opened the nominations for Planning Board Chairperson by nominating Dr. Fenby. There were no other nominations for Chairperson. On a motion by Mr. LaVenture, seconded by Mr. Hodge, the Board voted to elect Dr. Barbara Fenby as Chairperson of the Marlborough Planning Board for the year 2021. Yea: Elder, Fay, Hodge, LaVenture, Russ. Nay: 0. Abstained: Fenby. Motion carried.

1. Meeting Minutes

A. December 21, 2020

On a motion by Mr. LaVenture, seconded by Mr. Elder, the Board voted to accept and file the December 21, 2020 meeting minutes. Yea: Elder, Fay, LaVenture, Russ and Fenby. Nay: 0. Abstained: Hodge. Motion carried.

2. Chair's Business

A. Proposed 2021 Planning Board Meeting Calendar

Chair Fenby brought the proposed calendar to the Board's attention, requesting member feedback. The Board had no issues with the calendar. Mr. Fay indicated that he would be absent for the July 19 meeting, and Mr. Elder anticipated missing the June 21 meeting.

3. Approval Not Required (None)

4. Public Hearings (None)

5. Subdivision Progress Reports

A. Subdivision Status Report

City Engineer DiPersio provided brief project updates on Goodale Estates and 76 Broad Street, but those will be discussed in further detail in other agenda items. Engineering has exchanged emails with the Commonwealth Heights developer. Construction on the project hasn't begun. Two options are under consideration- selling the property or doing something on their own. The developer anticipates a preliminary construction schedule in the coming months.

B. Goodale Estates

i) Performance Bond (informational)

At the last meeting, the Board voted to approve the reduction of the bond securing the completion of the subdivision to \$123,000. The anticipated rider did not arrive in time for publication but will be forthcoming.

ii) Executed Second Amendment to Performance Agreement (informational)

The executed Second Amendment appeared in the agenda, which confirms an extension of the approval (completion) until 12-31-21. Final paving and landscaping were intentionally delayed due to extensive lot construction.

Mr. Hodge noted extensive jack hammering on the private lots. Mr. DiPersio acknowledged the considerable ledge on the property. This site work is unavoidable during the foundation work and laying of the utilities. Engineering has not received any neighborhood complaints, however.

6. Preliminary/Open Space /Limited Development Subdivision (None)

7. Definitive Subdivision Submissions (None)

8. Signs

- A. Application for Sign Variance – Serrato Signs, LLC on behalf of St. Mary's Credit Union/Starbucks 133 S. Bolton St. Andy Serrato of Serrato Signs was online to introduce the variance request. It was the determination of the Building Department that the Digital Order Screen (DOS) was considered an electronic sign. Due to the sign's proximity to an existing residential zone, a variance is required from the Planning Board.

Mr. Serrato explained that the screen is only active when a driver is in front of the screen. The screen displays items ordered and the order cost. Chair Fenby inquired about the other signs surrounding the DOS, and Mr. Serrato indicated those static menu displays are allowed by right and have received approval. Members Fay and Elder visited the site. It does appear that the sign is visible from existing residential properties. Mr. Fay read from the ordinance.

Setbacks from residential zoned areas. The sign must be set back a minimum distance of 200 feet from the nearest point of any abutting residentially zoned district. If, because of the shape, size and/or proximity of a commercial lot to a residentially zoned district it is not possible to place the sign more than 200 feet from the nearest point of an abutting residentially zoned district, then the Planning Board may grant a variance for closer placement, provided that when located within 200 feet of a residentially zoned district, all digital display portions of the sign shall be oriented so that no portion of the sign is visible from an existing primary residential structure in that district.

The project's site plan was displayed, and various screening options were discussed including shrubbery, fencing or polarized filters on the screen, which could potentially limit visibility. Mr. Fay asked Assistant City Solicitor Piques whether the Board had any other authority to grant the variance other than that explicitly mentioned in the referenced code section. Solicitor Piques will do some additional research and provide a review on that question. Councilor Robey addressed the Board and discussed another installation near City center that had requested a variance. In the end, zoning allowed the installation. There was a discussion as to whether the proposed wall on the corner of the property could provide adequate screening. Chair Fenby requested that Mr. Serrato explore possible screening options at the site. She said that Engineering may be used as a resource in exploring site screening options. Mr. Fay commented that small screen displays are commonplace and can facilitate street safety by avoiding order delays and vehicle backups onto roadways. Mr. LaVenture commented that it may be time for the City to look at an overarching policy on these types of signs. Chair Fenby solicited a motion. On a motion by Mr. Fay, seconded by Mr. Hodge, the Board voted to accept and file the correspondence and to refer to Legal. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: O. Motion carried.

Ms. Fenby asked Mr. Serrato if he understood his direction for the next meeting. He should determine how to best protect the abutting residences. Mr. Elder commented that he did not favor the lens option. Its effectiveness could not be evaluated until after the variance was granted. Chair Fenby invited members to view another DOS installation at the APEX Center Starbucks and to view the proposed site at 133 S. Bolton before the next meeting on January 25.

9. Correspondence (None)

10. Unfinished Business

A. Ongoing Review - Definitive Subdivision Application - 76 Broad St. 4-Lot Subdivision

Applicant: W.R.E., LLC, 319 Stow Road, Marlborough, MA 01752

Engineer: Hancock Associates, 315 Elm St., Marlborough, MA 01752. Robert DiBenedetto, Representative.
Attorney Sandra Austin, Counsel.

i. Letter from Attorney Sandra Austin re: Request for Extension of Decision

Mr. LaVenture read the January 5, 2021 letter from Attorney Sandra Austin into the record. On behalf of her client, W.R.E., LLC she requests an extension on the time to act on the 76 Broad St. subdivision application from January 22, 2021, until February 12, 2021. On a motion by Mr. Mr. Elder, seconded by Mr. Russ, the Board voted to accept and file the correspondence and to extend the time for decision on the 76 Broad St. definitive subdivision from January 22, 2021 until February 12, 2021. Yea: Elder, Fay, Hodge, LaVenture, Russ, Fenby. Nay: 0. Motion carried.

ii. Draft Certificate of Vote

Attorney Austin provided a draft certificate of vote for the 1-11-21 agenda. Mr. Russ questioned whether the applicant could build more units than proposed, since zoning could allow a greater density. City Engineer DiPersio commented that higher density would not be allowed by right but would need to be by special permit. A legal question was presented. If the plan contained a note restricting the number of units, is that enforceable? On a motion by Mr. Fay, seconded by Mr. Elder the Board voted to accept and file the correspondence and refer the draft certificate of vote and the question regarding enforcement of plan notations to Legal. Yea: Elder, Fay, Hodge, Elder, LaVenture, Russ, Fenby. Nay: 0. Motion carried.

B. Working group discussion – Planning Board Rules and Regulations

i. Fees, Cross-Section, Forms – Update

Mr. LaVenture updated the Board on the working group developments. The group met on Friday, January 8th to continue its discussion of proposed fees. He noted several documents were distributed to members prior to the Planning Board meeting, which will illustrate the group's discussion. Mr. LaVenture worked through each document.

1) Proposed fee changes for Appendix K – Subdivision Regulation Fee Schedules.

He explained that fee changes were proposed after the following considerations:

- review of fees charged by 16 MA communities [Beverly, Billerica, Braintree, Everett, Fitchburg, Framingham, Holyoke, Hudson, Natick, Salem, Shrewsbury, Southborough, Westfield, Weston, Woburn, and Worcester],
- use of the Bureau of Labor Statistics Consumer Price Index inflation calculator to see the present buying power of the 1991 fees ; and
- sample calculations performed by Assistant City Engineer Collins and City Engineer DiPersio.

Mr. LaVenture explained the working group was proposing the follow fee changes:

APPROVAL NOT REQUIRED PLAN

CURRENT: \$50.00 filing fee, plus \$50.00 for each lot described on the plan.

PROPOSED: \$100.00 application fee, plus \$100.00 for each lot altered and for each building lot created.

PRELIMINARY SUBDIVISION PLAN

CURRENT: \$200.00 filing fee plus \$1.00 per linear foot of proposed roadway. Plus \$100.00 for advertising for public hearing, if held.

PROPOSED: \$400.00 application fee plus \$2.00 per linear foot of proposed roadway.

DEFINITIVE SUBDIVISION PLAN

CURRENT: \$500.00 filing fee plus \$2.00 per linear foot of proposed roadway less 80 percent (80%) of all fees paid for preliminary subdivision plan if filed within seven (7) months of filing of preliminary plan. Plus, mailing costs.

PROPOSED: \$1000.00 application fee plus \$3.00 per linear foot of proposed roadway less 80 percent (80%) of the application and proposed roadway fees paid for preliminary subdivision plan if filed within seven (7) months of filing of preliminary plan.

CHANGES TO SUBDIVISION PLAN SUBSEQUENT TO APPROVAL

CURRENT: \$200.00 filing fee. \$100.00 advertising for public hearing, if any. Plus, mailing costs.

PROPOSED: \$400.00 application fee.

INSPECTION OF SUBDIVISION CONSTRUCTION

CURRENT: \$50.00 plus \$1.00 per linear foot of proposed roadway.

PROPOSED: None. Not previously charged

SUBDIVISION EXTENSION REQUEST

CURRENT: None.

PROPOSED: \$200.00 application fee.

SCENIC ROAD REQUEST

CURRENT: None.

PROPOSED: \$50.00 application fee.

SIGN VARIANCE REQUEST

CURRENT: None.

PROPOSED: \$50.00 application fee.

SPECIAL STUDIES BY CONSULTANTS

All expenses in connection with any special consultant's study, (such as a traffic, impact, ground water, or sub-surface study) considered necessary by the Planning Board shall be borne by the applicant in full and shall be in addition to the filing or other fee and paid directly to the consultant.

2) Mr. LaVenture discussed removing "process" from the Appendix K fee document, favoring "fee only" information. The Subdivision Rules and Regulation document would detail the process of fee payments.

3) Proposed language changes for the Appendix K – Subdivision Regulation Fee Schedules.

Mr. LaVenture reviewed proposed language changes to Appendix K that would implement the proposed fee changes and the following:

- reiterating that Planning Board fees are established to cover administrative costs borne by the City,
- defining the Filing Fee as consisting of a fixed Application Fee plus any variable Proposed Roadway Fee; and
- making the costs of public notice and advertising for hearings, including any processing and mailing costs, payable by applicant directly to the vendor.

The three documents were generally accepted by the Board but will need to be reviewed by Legal. Matthew Elder expressed his reservations about raising fees during these times.

City Engineer DiPersio shared numerous pictures from subdivisions around the City. Photos depict the various cross-sections including pavement width and right of way variations.

ii. Assignment of next tasks

For the next meeting of the Planning Board, Engineering will provide the proposed cross-sections for inclusion in the updated subdivision regulations.

Mr. LaVenture also asked Board members to begin reviewing the regulations for suggested changes. It will be more efficient if everyone can work ahead a bit and prepare for requested input. Please pass any comments including specific language recommendations to Ms. Holmi.

11. Calendar Updates

- A. Extension of the time to act – 76 Broad St. Definitive Subdivision Application - Feb. 12, 2021. Decision is due by the February 8 meeting.

12. Public Notices of other Cities & Towns

- A. City of Framingham – 7 Notices
B. Town of Berlin – 1 Notice

On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to accept and all file remaining items and to adjourn the meeting. Yea: Elder, Fay, LaVenture, Russ, Fenby. Nay: 0. Motion carried.

Respectfully submitted,

George LaVenture/Clerk

/kih

RIDER

TO BE ATTACHED TO AND FORM PART OF

SUBDIVISION BOND - GOODALE ESTATES NO. 5419402
(Bond Type) (Bond Number)
IN FAVOR OF CITY OF MARLBOROUGH, MASSACHUSETTS
(Obligee)
ON BEHALF OF NORTHBOROUGH CAPITAL PARTNERS, LLC
(Principal)
EFFECTIVE FEBRUARY 4, 2020
(Original Effective Date)

IT IS AGREED THAT, in consideration of the original premium charged for this bond, and any additional premium that may be properly chargeable as a result of this rider.

The Surety, OLD REPUBLIC INSURANCE COMPANY,
hereby gives its consent to change;

BOND AMOUNT

(of) the attached bond FROM: \$352,000.00



TO: \$123,000.00

REASON: REDUCED BOND

EFFECTIVE: DECEMBER 22, 2020

PROVIDED, however that the attached bond shall be subject to all its agreements, limitations, and conditions except as herein expressly modified, and that the liability of the Surety under the attached bond and under the attached bond as changed by this rider shall not be cumulative.

SIGNED, AND SEALED this 13TH day of JANUARY, 2021.

<u>NORTHBOROUGH CAPITAL PARTNERS, LLC</u>	<u>OLD REPUBLIC INSURANCE COMPANY</u>
Principal	Surety
	
Accepted By <u>KEN A. GAIS, Director</u>	<u>MELANIE A. BONNEVIE, ATTORNEY-IN-FACT</u>

BOND CONFIRMATION

This will acknowledge that OLD REPUBLIC INSURANCE COMPANY, the Surety, having received and agreed premium to continue in force BOND #5419402 on behalf of NORTHBOROUGH CAPITAL PARTNERS, LLC the Principal, and in favor CITY OF MARLBOROUGH, MASSACHUSETTS subject to all its terms and limitations as set forth and expressed in said bond, effective through FEBRUARY 04, 2022.

OLD REPUBLIC INSURANCE COMPANY
Surety

SKILLINGS SHAW AND ASSOCIATES, INC.
Agent

Date: JANUARY 13, 2021

By: Melanie A. Bonnevie
MELANIE A. BONNEVIE, ATTORNEY-IN-FACT



City of Marlborough

Legal Department

140 MAIN STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610
LEGAL@MARLBOROUGH-MA.GOV

JASON D. GROSSFIELD
CITY SOLICITOR

JASON M. PIQUES
ASSISTANT CITY SOLICITOR

HEATHER H. GUTIERREZ
PARALEGAL

January 21, 2021

Planning Board
135 Neil Street
Marlborough, MA 01752
kholmi@marlborough-ma.gov

Re: Application for Sign Appeal/Variance Starbucks, 133 South Bolton Street, Marlborough -
Dear Dr. Fenby and Members of the Planning Board:

You have requested a legal opinion on several questions relative to the above-referenced proposed sign, and I provide my opinion below on each question.

Question 1. You have requested legal guidance as to the circumstances under which the Planning Board may grant a variance under Section 526-13(B)(12) of the Marlborough City Code of Ordinances ("MCO") relating to the above-referenced proposed sign.

Section 526-13(B)(12) requires that digital signs be "set back a minimum distance of 200 feet from the nearest point of any abutting residentially zoned district." In my opinion, under this section, the Board may grant a variance for closer placement only in the following specific circumstances: (1) Where it is not possible to place the sign more than 200 feet from the nearest point of an abutting residentially zoned district because of the shape, size and/or proximity of a commercial lot, and (2) the location of the digital display portion of the sign is oriented so no portion of the sign is visible from an existing primary residential structure.

Question 2. You also asked this office if a variance under MCO § 526-13(B)(12) may be granted if screening or fencing made the sign not visible from an existing primary residential structure. In my opinion, the Board may rationally determine that a sign whose view has been limited by screening, has "oriented" the sign so that it would not be visible to the existing residential structure, and therefore may satisfy the variance criteria in 526-13(B)(12).

The ordinance does not define the term "oriented", and in my opinion the Board would have substantial deference in interpreting the variance clause¹. We believe a court would apply

¹ "We give substantial deference to the construction placed on a statute or an ordinance by the agency charged with its administration." *Manning v. Bos. Redevelopment Auth*, 400 Mass. 444, 453 (1987).

the plain meaning of orient as “to set right by adjusting to facts or principles, or to acquaint with the existing situation or environment.”²

Question 3. You requested this office clarify whether other authority exists in MCO §526 to grant a variance for the placement of the sign apart from MCO §526-13(B)(12). In my opinion, the answer is no.

MCO §526-12(c)(2) allows the Planning Board to vary the provisions of chapter 526 “in specific cases which appear to not have been contemplated by [the] chapter.” With respect to the requirement in 526-13(B)(12), that section includes a provision authorizing variances in certain circumstances. Therefore, the sign ordinance explicitly contemplates this type of circumstance, and therefore, a variance under §526-12(c) is not an alternative option.

Please do not hesitate to contact me if you have any additional questions.

Respectfully,

/s/ Jay Piques

Jay Piques

Assistant City Solicitor

cc: Jason Grossfield, City Solicitor

² Dictionary by Merriam-Webster: https://www.merriam-webster.com/dictionary/orient?utm_campaign=sd&utm_medium=serp&utm_source=jsonld (last visited January 21, 2021)

HANCOCK ASSOCIATES

Surveyors | Engineers | Scientists

January 20, 2021

Marlborough Planning Board
Dr. Barbara L. Fenby, Chair
c/o Ms. Krista Holmi, Administrator
135 Neil Street, 2nd Floor
Marlborough, MA 01752

Subject: Four-Lot Subdivision, 76 Broad Street, Marlborough, MA
Response to Engineering Division review comments

Dear Dr. Fenby,

On behalf of the applicant W.R.E., LLC, Hancock Associates has reviewed the emails prepared by Marlborough DPW Engineering Division, dated 1/5/2021 and 1/6/2021, regarding the Definitive Subdivision plan set for the proposed four-lot subdivision at 76 Broad Street. The Engineering Division comments are reproduced below, with the Hancock responses in **bold**. A revised plan set has been submitted.

Comments and Responses

C1 – Title Sheet:

- The Waiver Request List should be amended to show either approval or denial by the Planning Board.

Response: The Waiver Request List has been updated with check boxes for approval/denial.

C2 – Notes, Reference and Legend

- “19. The proposed site development for all proposed lots are shown schematically only. Individual Site Plans shall be submitted for approval prior to the development of proposed lots. Each lot proposed shall contain up to one(1) Two-Family dwelling per lot maximum.”. “... as of right” should be added to the sentence along with the following sentence: “Multi-family dwellings containing three or more dwelling units on a single lot are allowed in a Residence C Zone with a Special Permit issued by the Marlborough City Council provided that the

lots meets all the requirements of Article VII and, in addition, has a landscape area meeting all the requirements of §650-18A(9)(e)."

Response: Note 19 on Sheet C2 has been revised.

DS Definitive Subdivision Plan

(This plan and the Cover Sheet will be recorded at the South Middlesex Registry of Plans, once approved and endorsed by the Planning Board)

- Notes: 3) This Lotting Plan is Sheet 4 of 11 in a Definitive Subdivision Plan set. The revised plans have 12 sheets in the Definitive Subdivision Plan set.

Response: Note 3 has been revised.

- Notes: 4) See Sheet 1 of Definitive Subdivision Plan set in town file for requested and approved waivers – the reference to Marlborough should be a "city".

Response: Note 4 has been revised.

- Assessor's Reference should also note the owners of the properties. The property owners of Map 68 Parcel 122 and Map 80 Parcel 47 and 52 were not noted on the original Form C – Application for Approval of Definitive Plan. A letter from each of the property owners stating their permission for the use of their property in the design/use of the Definitive Subdivision Plan submission is required. Proof of the legal document for any required easements for the Definitive Plan must be shown to the Planning Board prior to endorsement of the Definitive plan submission.

Response: Record owners for involved properties have been added. A letter will be supplied to the Planning Department before the end of the review period.

- The proposed location of the crosswalk and curbing and utility pole modifications along the intersection roundings at Broad Street eliminate the access for both properties at #70-#72 Broad Street and #84 Broad Street. The Definitive Subdivision Plan will need to show a construction easement on both #70-#72 Broad Street and #84 Broad Street over the area that will be affected by the change in the driveway location and changes to the parking areas for each of these two lots.

Response: Two (2) construction easements have been added.

- The areas for the Proposed Drainage Easement should be noted on the plan.

Response: Areas have been added to the drainage easement callouts.

- The Maintenance Access, shown on Plan C6 Grading and Drainage Plan, should be in the easements shown on this sheet.

Response: The proposed maintenance access has been added to this plan.

- The plan notation "See Detail "D" – no detail is shown.

Response: This note has been removed.

C5 Layout & Materials Plan

- The notes listed in Layout and Material Notes should be replaced with the notation as stated in the comment for Sheet C2 – Note #19.

Response: The notes have been revised.

- The 50' ROW Alignment line should be shown as a dashed line, as it is in Sheet DS Definitive Subdivision Plan.

Response: The solid line shown is the edge of sidewalk.

C6 Grading and Drainage Plan

- Driveway profiles for the new access to #70-#72 Broad Street and #84 Broad Sheet should be shown, compliant with §650-48, Off-street parking and §650-49, Driveway and curb cuts. Modify the sawcut line on Sheet C5 Layout & Materials Plan accordingly.

Response: Driveway profiles for both driveways have been added to Sheet C8. The sawcut lines on Sheet C5 have been revised.

- The notes listed in Grading and Drainage Notes should be replaced with the notation as stated in the comment for Sheet C2 – Note #19.

Response: The notes have been revised to agree with Note 19 on Sheet C2.

- If the location of the drain line and the sewer main were swapped, the number of crossing would be greatly reduced.

Response: Swapping the drain line and sewer main would require relocation of the water line and other utilities, and lead to potential crossing issues elsewhere. The storm drain and sewer line design shown satisfies all crossings as listed.

- Compaction and daily inspection reporting, by a Title 5 Approved Soil Evaluator for the construction of the detention basin shall be required.

Response: Note 3 has been added to Sheet C6.

C7 Utility Plan

- In order to eliminate the crossing of "shallow utilities" (gas, electric, cable & telephone) with Water, sewer and Drain pipes, add the following note: "All utility excavations regardless on the depth or the means of any excavation shall require Dig Safe notification and must apply for a Road Opening/Trench permit with the DPW-Engineering Division."

Response: Note 6 has been added to Sheet C7.

C8 Plan & Profile

- Plan and Profile should extend through the detention basin pass the property line for the project.

Response: Section A-A on Sheet C6 depicts a cross-section of the detention basin and outlet structure in the direction of the profile shown on Sheet C8.

C10 Details Sheet 1

- The typical cross-section depicted is the original cross-section with the sidewalk next to the curb line.

Response: The typical cross-section detail has been replaced with another cross-section from the zoning ordinance that better reflects the proposed layout.

C12 Landscaping Plan

- Street trees located between the curbing and the sidewalk (within the 3.5 foot width) shall be planted in a bed (36' min. depth) of CU-Structural Soil™ (see attached). Consideration should be given to utilize the landscape areas behind the sidewalk for street tree planting locations. Without the structural soil and the subdrain associated with it, tree roots can become "containerized" and cause heaving within the sidewalk due to superficial tree root growth from being planted in areas with compacted soils.

Response: The existing tree planting detail has been revised. A detail has been added for CU-Structural Soil, and a callout has been added to plan view.

Please do not hesitate to contact our office should you have any questions or concerns.

Regards,
Hancock Associates



Robert M. DiBenedetto, PE
Project Manager

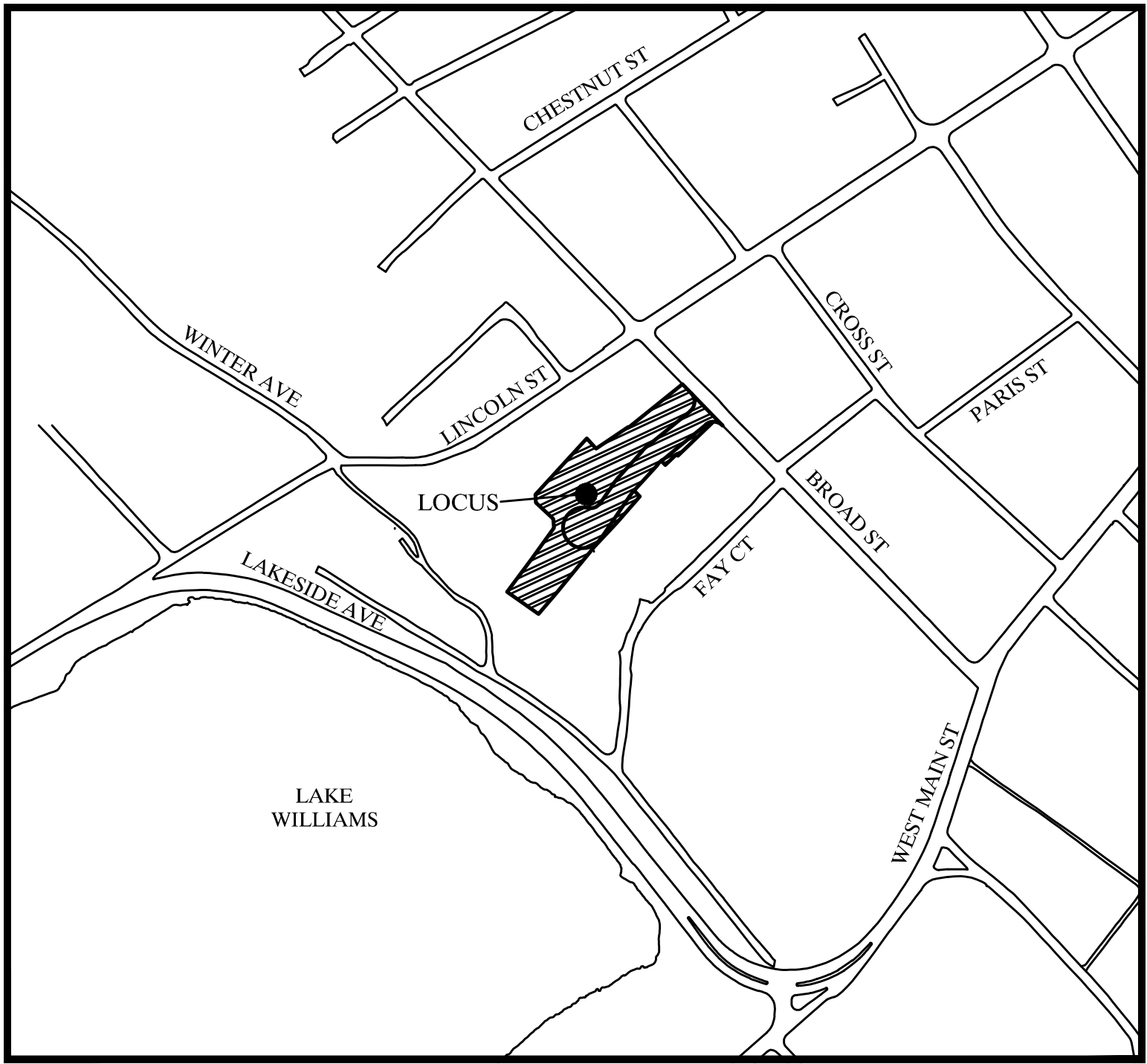
DEFINITIVE SUBDIVISION PLAN

RESIDENTIAL SUBDIVISION & SITE DEVELOPMENT

76 Broad Street
Marlborough, Massachusetts 01752

FOR

W.R.E., LLC



LOCUS MAP
SCALE: 1"=APPROX. 350'

RECORD OWNER:

W.R.E., LLC
319 Stow Road
Marlborough, MA

APPLICANT:

W.R.E., LLC
319 Stow Road
Marlborough, MA

ASSESSORS:

MAP 68 LOT 123
MAP 68 LOT 122
MAP 80 LOT 52
MAP 80 LOT 47

REFERENCES:

DEED BOOK 52361, PAGE 362
DEED BOOK 59406, PAGE 1
DEED BOOK 72215, PAGE 98
DEED BOOK 72215, PAGE 106
PLAN 998 OF 2018

ZONING

RC - RESIDENCE C DISTRICT
WATER SUPPLY DISTRICT ZONES A & B

SHEET INDEX

SHEET 1	C1	TITLE SHEET
SHEET 2	C2	NOTES AND LEGEND
SHEET 3	EC	EXISTING CONDITIONS
SHEET 4	DS	DEFINITIVE PLAN OF LAND
SHEET 5	C5	LAYOUT AND MATERIALS PLAN
SHEET 6	C6	GRADING AND DRAINAGE PLAN
SHEET 7	C7	UTILITIES PLAN
SHEET 8	C8	PLAN AND PROFILE
SHEET 9	C9	EROSION AND SEDIMENTATION CONTROL PLAN
SHEET 10	C10	SITE DETAILS SHEET 1 OF 2
SHEET 11	C11	SITE DETAILS SHEET 2 OF 2
SHEET 12	C12	LANDSCAPE PLAN

REVISION UPDATES

- 1 - REMOVED SHEET C12
- 2 - ADDED C12-LANDSCAPE PLAN
- REVISED ASSESSORS TABLE
- REVISED REFERENCES TABLE
- ADDED WAIVER LIST
- 3 - WAIVER LIST APPROVALS ADDED

APPROVAL UNDER THE SUBDIVISION
CONTROL LAW REQUIRED.

MARLBOROUGH PLANNING BOARD

DATE: _____

I CERTIFY THAT THIS PLAN CONFORMS TO THE
RULES AND REGULATIONS OF THE REGISTERS
OF DEEDS.

DATE _____ PROFESSIONAL LAND SURVEYOR
FOR REGISTRY USE

10A ii-1

Site Plan

for
A Four-Lot Subdivision

Map 68 Lot 123
76 Broad Street
Marlborough, MA 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road
Marlborough, MA 01752

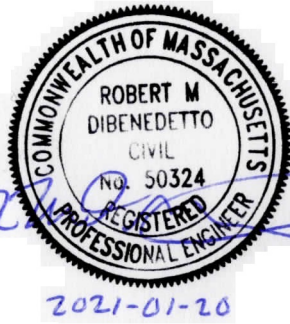
HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
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3	DJR	RD	1/20/21	PLAN UPDATES
2	DJR	RD	12/16/20	PLAN UPDATES
1	RD	JP	10/29/20	PLAN UPDATES
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE: 9/9/2020 DESIGN BY: RD/DJR				
SCALE: AS NOTED DRAWN BY: DJR				
APPROVED BY: RD/CHECK BY: JP				

TITLE
SHEET

PLOT DATE: Jan 20, 2021 1:00 pm

DWG: 13820DF R3.dwg

LAYOUT: TS

SHEET: 1 OF 12

PROJECT NO.:

C1

13820

Site Plan

for
A Four-Lot Subdivision

Map 68 Lot 123
76 Broad Street
Marlborough, MA 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road
Marlborough, MA 01752

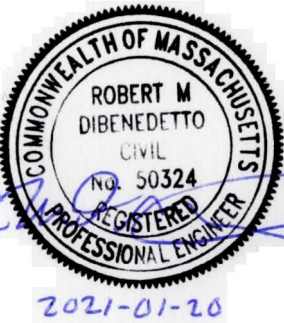
HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
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REVISION UPDATES				
1	-	UPDATE TO GENERAL NOTES		
2	-	UPDATE TO GENERAL NOTES		
3	-	NOTE 19 REVISED		

3	DJR	RD	1/20/21	PLAN UPDATES
2	DJR	RD	12/16/20	PLAN UPDATES
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APPROVED BY: RD CHECK BY: JP				

NOTES,
REFERENCES
AND LEGEND

PLOT DATE: Jun 20, 2021 1:01 pm

DWG: 13820DF R3.dwg

LAYOUT: NOTES

SHEET: 2 OF 12

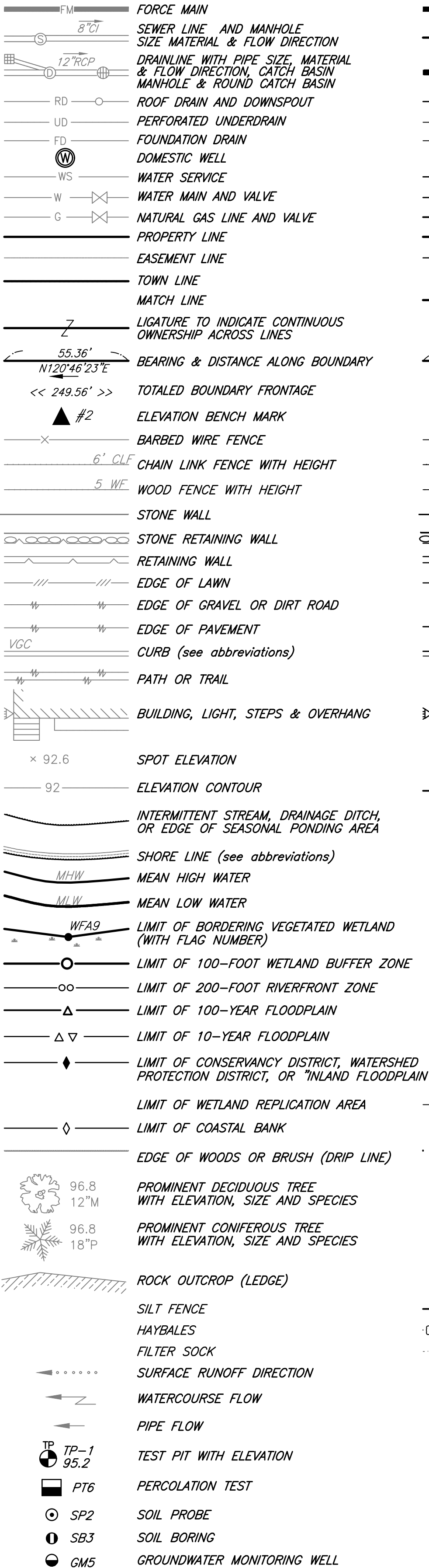
PROJECT NO.:

C2

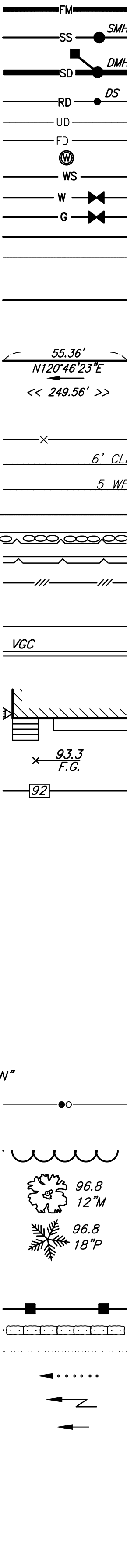
13820

LEGEND

EXISTING



PROPOSED



GENERAL NOTES:

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF BUILDINGS AND SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
- SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND/OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
- THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SUBSURFACE DRAINAGE TO PREVENT INTERIOR FLOODING. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
- ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
- RIM ELEVATIONS SHOWN FOR NEW STRUCTURES ARE APPROXIMATE AND ARE PROVIDED TO ASSIST CONTRACTOR WITH MATERIAL TAKEOFFS. FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH OWNER REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- PROPOSED BUILDING FOUNDATION CONFIGURATION AND LOCATION ON THE LOT AS SHOWN ARE CONCEPTUAL AND SHALL BE VERIFIED AS TO CONFORMANCE WITH FINAL ARCHITECTURAL PLANS AND ZONING ORDINANCES PRIOR TO CONSTRUCTION.
- SILT FENCE AND/OR STRAW WATTLES SHOWN HEREON SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS WITHIN BUFFER ZONE, AND SHALL SERVE AS THE LIMIT OF WORK.
- THE CONTRACTOR SHALL ENCASE AND/OR SLEEVE SEWER AND WATER MAINS WHERE THE CROWN OF THE SEWER PIPE IS LESS THAN 18 INCHES BELOW THE INVERT OF THE WATER PIPE AND WHERE THE HORIZONTAL SEPARATION IS LESS THAN 10 FEET, AS REQUIRED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- STRUCTURE DETAILS FROM INDEPENDENT VENDORS ARE CONSTANTLY CHANGING. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT DETAILS SHOWN MATCH CURRENT DETAILS AND SPECIFICATIONS FROM VENDORS.
- THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
- ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS (SEE STREET OPENING PERMIT).
- ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF MARLBOROUGH BEFORE BEING BACKFILLED.
- THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.
- THE PROPOSED SITE DEVELOPMENT FOR ALL PROPOSED LOTS ARE SHOWN SCHEMATICALLY ONLY. INDIVIDUAL SITE PLANS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO DEVELOPMENT OF PROPOSED LOTS. EACH LOT PROPOSED SHALL CONTAIN UP TO ONE (1) TWO-FAMILY DWELLING PER LOT MAXIMUM AS OF RIGHT. MULTI-FAMILY DWELLINGS CONTAINING THREE OR MORE DWELLING UNITS ON A SINGLE LOT ARE ALLOWED IN A RESIDENCE C ZONE WITH A SPECIAL PERMIT ISSUED BY THE MARLBOROUGH CITY COUNCIL PROVIDED THAT THE LOT MEETS ALL THE REQUIREMENTS OF ARTICLE VII AND, IN ADDITION, HAS A LANDSCAPE AREA MEETING ALL THE REQUIREMENTS OF §650-18A(9)(e).

REGULATORY NOTES

- CONTRACTOR SHALL CONTACT DIG-SAFE FOR UNDERGROUND UTILITY MARKING AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATIONS SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 10.00.

ASSESSORS:
MAP 68, LOT 122 & 123
MAP 80, LOTS 47 & 52

ZONING:
RC RESIDENCE C
WATER SUPPLY DISTRICT ZONES A & B

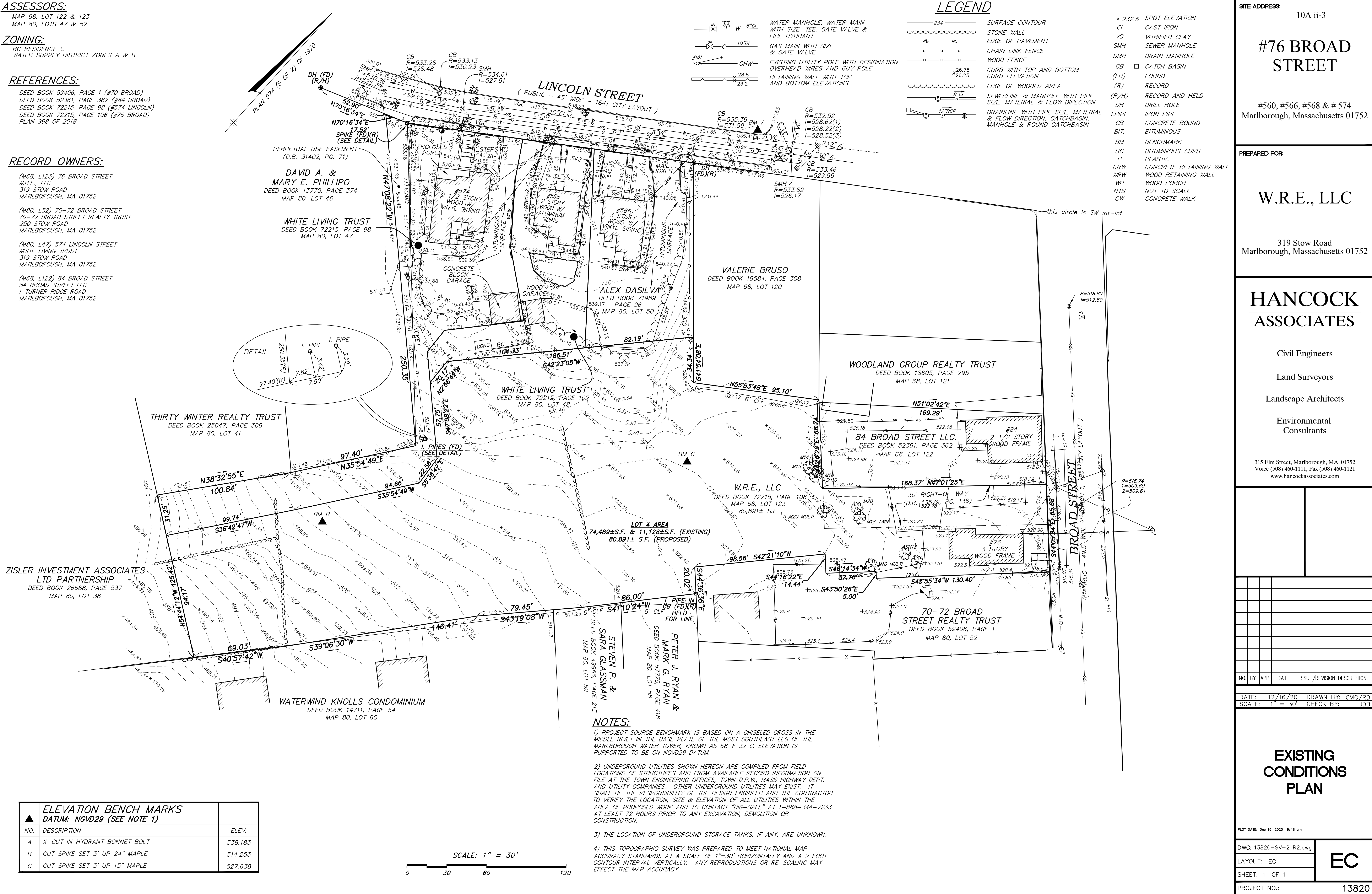
REFERENCES:
DEED BOOK 59406, PAGE 1 (#70 BROAD)
DEED BOOK 52361, PAGE 362 (#84 BROAD)
DEED BOOK 72215, PAGE 98 (#574 LINCOLN)
DEED BOOK 72215, PAGE 106 (#76 BROAD)
PLAN 998 OF 2018

RECORD OWNERS:
(M68, L123) 76 BROAD STREET
W.R.E., LLC
319 STOW ROAD
MARLBOROUGH, MA 01752

(M80, L32) 70-72 BROAD STREET
70-72 BROAD STREET REALTY TRUST
250 STOW ROAD
MARLBOROUGH, MA 01752

(M80, L47) 574 LINCOLN STREET
WHITE LIVING TRUST
319 STOW ROAD
MARLBOROUGH, MA 01752

(M68, L122) 84 BROAD STREET
84 BROAD STREET LLC
1 TURNER RIDGE ROAD
MARLBOROUGH, MA 01752



<h1 style="text-align: center;">DEFINITIVE SUBDIVISION PLAN</h1>	
PLOT DATE: Jan 20, 2021 12:57 pm	
DWG: 13820-DS R3.dwg LAYOUT: DS SHEET: 1 OF 1	<h1 style="font-size: 48px;">DS</h1>
PROJECT NO.:	<h1 style="font-size: 24px;">13820</h1>

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for
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- REVISION UPDATES
- 1 - REVISED BASINS
 - REVISED DRAINAGE EASEMENT
 - ADDED ABBREVIATIONS
 - 2 - REVISED SIDEWALKS AND SAWCUTS
 - REVISED ZONING TABULATION AND NOTE ADDED
 - LANDSCAPE EASEMENT ADDED
 - 3 - REVISED NOTES

ABBREVIATIONS

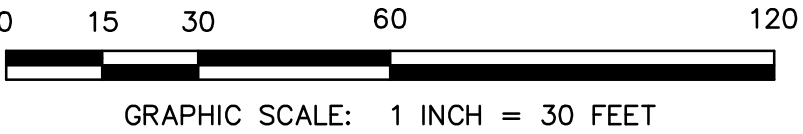
- | | | | |
|------|---|------|---|
| BF | BASEMENT FLOOR (ELEVATION) | ISO | ISOLATOR (ROW) |
| LF | LINEAR FEET | LF | LINEAR FEET |
| MF | MANIFOLD | MF | MANIFOLD |
| PROP | PROPOSED | PROP | PROPOSED |
| R | RIM | R | RIM |
| R3' | 3' RADIUS | R3' | 3' RADIUS |
| S | SLOPE | S | SLOPE |
| SMH | SEWER MANHOLE | SMH | SEWER MANHOLE |
| TW | TOP OF WALL | TW | TOP OF WALL |
| TYP | TYPICAL | TYP | TYPICAL |
| VGC | VERTICAL GRANITE CURB | VGC | VERTICAL GRANITE CURB |
| WSD | WATER SUPPLY PROTECTION DISTRICT CROSSING 1 | WSD | WATER SUPPLY PROTECTION DISTRICT CROSSING 1 |
| X1 | | X1 | |

ZONING TABULATION (RESIDENCE C)

ITEM	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4
MIN. LOT AREA	10,000 SF	10,012 SF	10,620 SF	10,024 SF	18,860 SF
MIN. LOT FRONTAGE	90'	101'	114'	90'	90'
MAX. BUILDING HEIGHT	3 STORIES	3 STORIES OR LESS	3 STORIES OR LESS	3 STORIES OR LESS	3 STORIES OR LESS

LAYOUT AND MATERIALS NOTES

1. THE PROPOSED SITE DEVELOPMENT FOR ALL PROPOSED LOTS ARE SHOWN SCHEMATICALLY ONLY. INDIVIDUAL SITE PLANS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO DEVELOPMENT OF PROPOSED LOTS. EACH LOT PROPOSED SHALL CONTAIN UP TO ONE (1) TWO-FAMILY DWELLING PER LOT MAXIMUM AS OF RIGHT.
2. MULTI-FAMILY DWELLINGS CONTAINING THREE OR MORE DWELLING UNITS ON A SINGLE LOT ARE ALLOWED IN A RESIDENCE C ZONE WITH A SPECIAL PERMIT ISSUED BY THE MARLBOROUGH CITY COUNCIL PROVIDED THAT THE LOT MEETS ALL THE REQUIREMENTS OF ARTICLE VII AND, IN ADDITION, HAS A LANDSCAPE AREA MEETING ALL THE REQUIREMENTS OF §650-18A(9)(e).



PLOT DATE: Jan 20, 2021 1:01 pm

DWG: 13820DF R3.dwg

LAYOUT: LM

SHEET: 5 OF 12

PROJECT NO.:

C5

13820

Site Plan

for
A Four-Lot Subdivision

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Marlborough, MA 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road
Marlborough, MA 01752

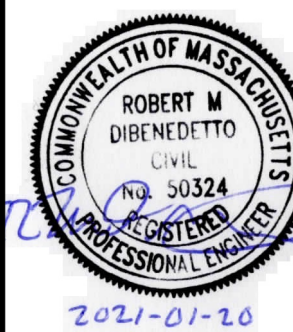
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2	DJR	RD	12/16/20	PLAN UPDATES
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DATE: 9/9/2020 DESIGN BY: RD/DJR				
SCALE: 1"=30' DRAWN BY: DJR				
APPROVED BY: RD/CHECK BY: JP				

GRADING AND DRAINAGE PLAN

PLOT DATE: Jun 20, 2021 1:00 pm

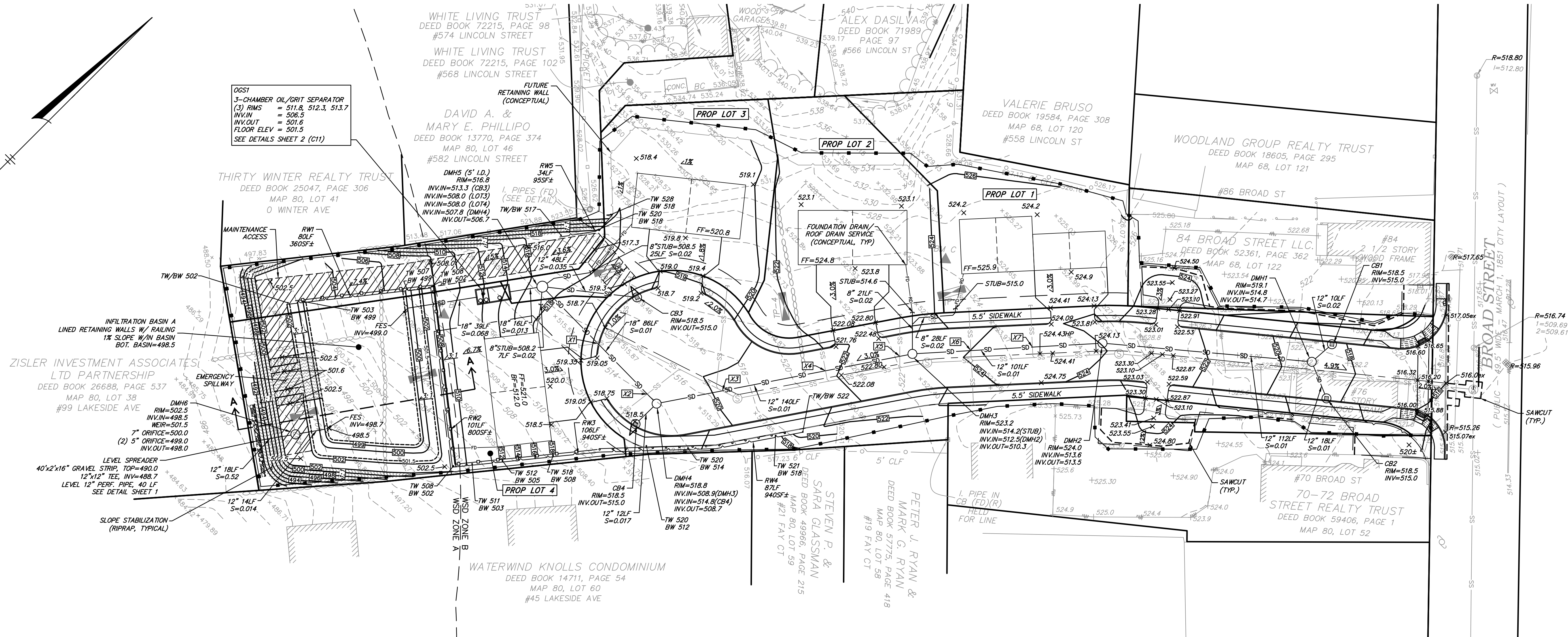
DWG: 13820DF R3.dwg

LAYOUT: GD

SHEET: 6 OF 12

PROJECT NO.:

13820



GRADING AND DRAINAGE NOTES

1. THE PROPOSED DRIVEWAYS FOR #70-#72 BROAD STREET AND #84 BROAD STREET ARE SHOWN SCHEMATICALLY ONLY. CONSTRUCTED DRIVEWAYS MUST MEET §650-49 OF THE ZONING ORDINANCE WHICH STATES: "OUTSIDE STREET LAYOUT. NO DRIVEWAY OUTSIDE THE STREET RIGHT-OF-WAY SHALL EXCEED A POSITIVE OR NEGATIVE GRADE OF 3% FOR A DISTANCE AT LEAST 15 FEET, AND 12% FOR A DISTANCE OF AT LEAST 40 FEET FROM THE STREET RIGHT-OF-WAY. BEYOND SAID 40 FEET, THE GRADE OF A MINOR DRIVEWAY SHALL NOT EXCEED 15%, BUT MAJOR DRIVEWAYS SHALL IN NO CASE EXCEED A GRADE OF 12%."
2. THE PROPOSED SITE DEVELOPMENT FOR ALL PROPOSED LOTS ARE SHOWN SCHEMATICALLY ONLY. INDIVIDUAL SITE PLANS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO DEVELOPMENT OF PROPOSED LOTS. EACH LOT PROPOSED SHALL CONTAIN UP TO ONE (1) TWO-FAMILY DWELLING PER LOT MAXIMUM AS OF RIGHT. MULTI-FAMILY DWELLINGS CONTAINING THREE OR MORE DWELLING UNITS ON A SINGLE LOT ARE ALLOWED IN A RESIDENCE C ZONE WITH A SPECIAL PERMIT ISSUED BY THE MARLBOROUGH CITY COUNCIL PROVIDED THAT THE LOT MEETS ALL THE REQUIREMENTS OF ARTICLE VII AND, IN ADDITION, HAS A LANDSCAPE AREA MEETING ALL THE REQUIREMENTS OF §650-18A(9)(e).
3. COMPACTION AND DAILY INSPECTION REPORTING BY A TITLE 5 APPROVED SOIL EVALUATOR FOR THE CONSTRUCTION OF THE DETENTION BASIN SHALL BE REQUIRED.

CROSSING TABLE

CROSSING X1	CROSSING X3	CROSSING X5	CROSSING X7
6" SS: 513.5	8" SS: 512.6	6" SS: 511.8	12" SD: 513.1
18" SD: 509.3	12" SD: 509.3	12" SD: 510.3	6" SS: 511.1
OFFSET=3.5'±	OFFSET=2.1'±	OFFSET=0.3'±	OFFSET=1.3'±
CROSSING X2	CROSSING X4	CROSSING X6	
6" SS: 513.4	6" SS: 512.2	12" SD: 512.8	
18" SD: 508.7	12" SD: 509.9	6" SS: 511.4	
OFFSET=3.0'±	OFFSET=1.1'±	OFFSET=0.7'±	

REVISION UPDATES

- 1 - REPLACED CHAMBERS W/ DETENTION POND
- ADDED OIL/GRIT SEPARATOR
- REVISED DMH LOCATIONS
- LOWERED STORM DRAINS DUE TO SEWER CROSSINGS
- ADDED DETENTION POND DETAIL
- ADDED BASIN CROSS-SECTION
- ADDED CROSSING TABLE
- ADDED ABBREVIATIONS
- 2 - REVISED SIDEWALKS
- REVISED GRADING FOR ABUTTER DRIVEWAYS
- ADDED AND REVISED NOTES
- 3 - REVISED NOTES
- REVISED GRADING FOR ABUTTER DRIVEWAYS

ABBREVIATIONS

BF	BASEMENT FLOOR (ELEVATION)	ISO	ISOLATOR (ROW)
LF	LINEAR FEET	MF	MANIFOLD
BOT	BOTTOM	PROP	PROPOSED
BW	BOTTOM OF WALL	R	RIM
CB	CATCH BASIN	R3'	3' RADIUS
DMH	DRAIN MANHOLE	S	SLOPE
EX	EXISTING	SMH	SEWER MANHOLE
FIN	FINISHED	TW	TOP OF WALL
FF	FINISH FLOOR (ELEVATION)	TYP	TYPICAL
HDPE	HIGH-DENSITY POLYETHYLENE (PIPE)	VGC	VERTICAL GRANITE CURB
I.D.	DIAMETER	WSD	WATER SUPPLY
INV	INVERT	X1	CROSSING 1

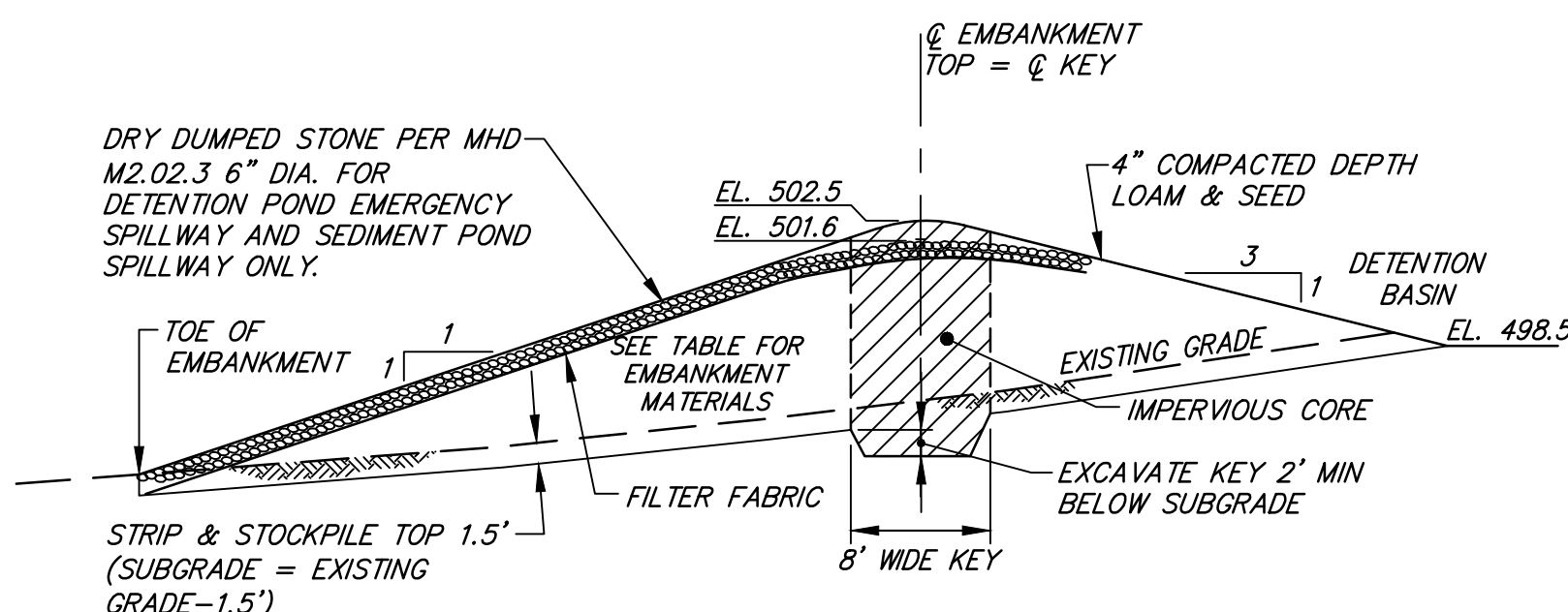
SECTION A-A

SCALE: 20' HORZ, 10' VERT

NOTE: SEE DETAILS SHEET 2 FOR RETAINING WALL & FENCE DETAIL.

TEST PIT 1 (TP-1)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES	NOTES
0"-12"	Ap	LOAMY SAND	NONE	
12"-39"	Bw	LOAMY SAND	NONE	
39"-86"	C	LOAMY FINE SAND	NONE	SOME GRAVEL, COBBLES, SOME BOULDERS DEEP.
SURFACE ELEVATION = 493.5, NO GROUNDWATER OBSERVED, NO REFUSAL ESHGW = 486.33 BASED ON MAX. DEPTH = 86"				
TEST PIT 2 (TP-2)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES	NOTES
0"-12"	Ap	LOAMY SAND	NONE	
12"-39"	Bw	LOAMY SAND	NONE	
39"-114"	C	LOAMY FINE SAND	NONE	SOME GRAVEL, COBBLES, BOULDERS.
SURFACE ELEVATION = 506.0, NO GROUNDWATER OBSERVED, NO REFUSAL ESHGW = 496.5 BASED ON MAX. DEPTH = 114"				
TEST PIT 3 (TP-3)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES	NOTES
0"-12"	Ap	LOAMY SAND	NONE	
12"-24"	Bw	LOAMY SAND	NONE	
24"-96"	C	LOAMY FINE SAND	NONE	SOME GRAVEL, COBBLES, LARGE BOULDERS.
SURFACE ELEVATION = 520.0, NO GROUNDWATER OBSERVED, NO REFUSAL ESHGW = 513.0 BASED ON MAX. DEPTH = 96"				
TEST PIT 4 (TP-4)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES	NOTES
0"-12"	Ap	LOAMY SAND	NONE	
12"-18"	Bw	LOAMY SAND	NONE	
18"-108"	C	LOAMY SAND	NONE	SOME GRAVEL, COBBLES, BOULDERS.
SURFACE ELEVATION = 522.0, NO GROUNDWATER OBSERVED, REFUSAL AT 108" ESHGW = 513.0 BASED ON REFUSAL AT 108"				
TEST PIT 5 (TP-5)				
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES	NOTES
0"-12"	Ap	LOAMY SAND	NONE	
12"-18"	Bw	LOAMY SAND	NONE	
18"-72"	C	LOAMY SAND	42"	SOME GRAVEL, COBBLES, BOULDERS.
SURFACE ELEVATION = 523.5, NO GROUNDWATER OBSERVED, NO REFUSAL ESHGW = 520.0 BASED ON REDOX AT 42"				

SOIL EVALUATION WAS PERFORMED BY HANCOCK ASSOCIATES ON AUGUST 6TH 2020.
EVALUATOR: ROBERT DIBENEDETTO S.E. #14044



EMBANKMENT MATERIALS

LOCATION	MATERIAL	MAX PARTICLE SIZE (IN)	LOOSE LIFT THICKNESS (IN)	COMPACTION REQUIREMENT (% MOD [1])
KEY	NATIVE PARENT SOIL [2]	6	12 MAX	92 [3]
EMBANKMENT	NATIVE PARENT SOIL [2]	6	12 MAX	92 [3]
LOAM COVER	NATIVE TOPSOIL	1	8 MIN	80
IMPERVIOUS CORE	SOIL WITH AT LEAST 30% CLAY AND SILT CONTENT	6	12 MAX	92 [3]

[1] MDD: MAXIMUM DRY DENSITY.

[2] ACCEPTABLE TO ENGINEER.

[3] COMPACT TO TEST AVERAGE OF 92%, NO TEST LESS THAN 90%

DETENTION POND EMBANKMENT

TYPICAL CROSS SECTION
NOT TO SCALE

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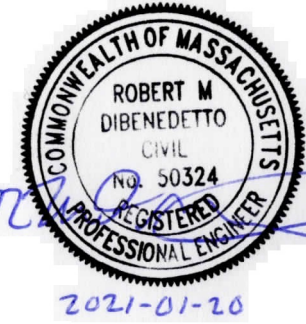
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UTILITY PLAN

PLOT DATE: Jun 20, 2021 1:02 pm

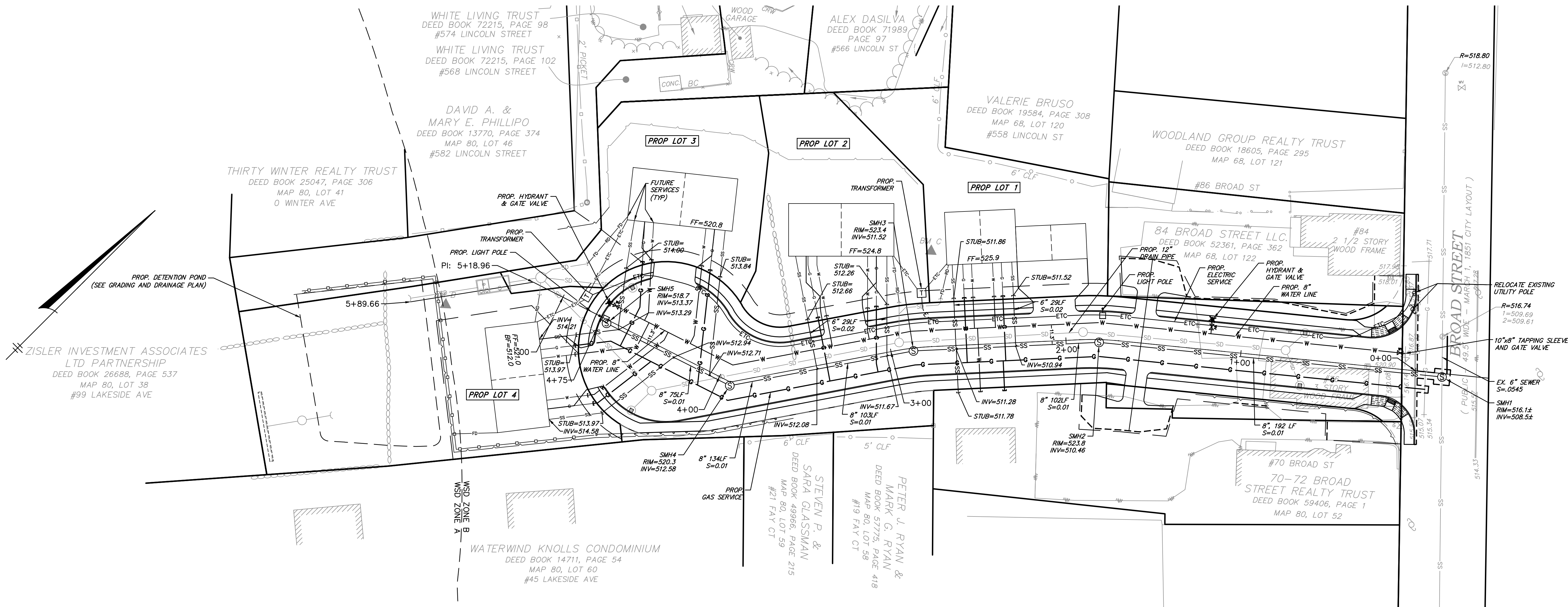
DWG: 13820DF R3.dwg

LAYOUT: UT

SHEET: 7 OF 12

PROJECT NO.:

13820



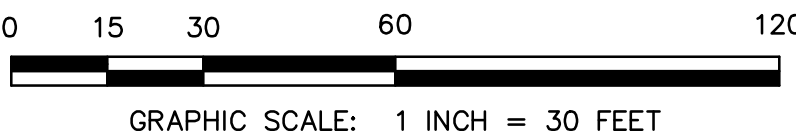
ABBREVIATIONS

BF	BASEMENT FLOOR (ELEVATION)	ISO	ISOLATOR (ROW)
BOT	BOTTOM	LF	LINEAR FEET
BW	BOTTOM OF WALL	MF	MANIFOLD
CB	CATCH BASIN	PROP	PROPOSED
DMH	DRAIN MANHOLE	R	RIM
EX	EXISTING	R3'	3' RADIUS
FIN	FINISHED	S	SLOPE
FF	FINISH FLOOR (ELEVATION)	SMH	SEWER MANHOLE
HDPE	HIGH-DENSITY POLYETHYLENE (PIPE)	TW	TOP OF WALL
I.D.	DIAMETER	TYP	TYPICAL
INV	INVERT	VGC	VERTICAL GRANITE CURB
		WSD	WATER SUPPLY PROTECTION DISTRICT CROSSING 1
		X1	

UTILITY NOTES

1. ALL DRAIN PIPES WILL BE HDPE UNLESS OTHERWISE NOTED.
2. ALL SEWER PIPES WILL BE PVC SDR35 UNLESS OTHERWISE NOTED.
3. ALL WATER LINES WILL BE 8" CEMENT LINED DUCTILE IRON CLASS 52 UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL TEST PIT CROSSINGS TO VERIFY MINIMUM 12" CLEARANCE BETWEEN PIPES. IF POTENTIAL FOR CONFLICT EXISTS, CONTACT THE ENGINEER TO DETERMINE COURSE OF ACTION.
5. CONTRACTOR SHALL ADJUST GRADES OF MANHOLES, GATE VALVES AND HYDRANTS PER ELEVATION SHOWN ON GRADING PLAN.
6. ALL UTILITY EXCAVATIONS REGARDLESS OF THE DEPTH OR THE MEANS OF ANY EXCAVATION SHALL REQUIRE DIG SAFE NOTIFICATION AND MUST APPLY FOR A ROAD OPENING/TRENCH PERMIT WITH THE DPW ENGINEERING DIVISION.

REVISION UPDATES
1 - ADDED SEWER SERVICE INFORMATION
- ADDED ABBREVIATIONS
2 - REVISED WATERLINE NOTES, ADDED HYDRANTS
- ADDED STATIONING
3 - ADDED NOTE



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PLAN AND
PROFILE

PLOT DATE: Jun 20, 2021 1:03 pm

DWG: 13820DF R3.dwg

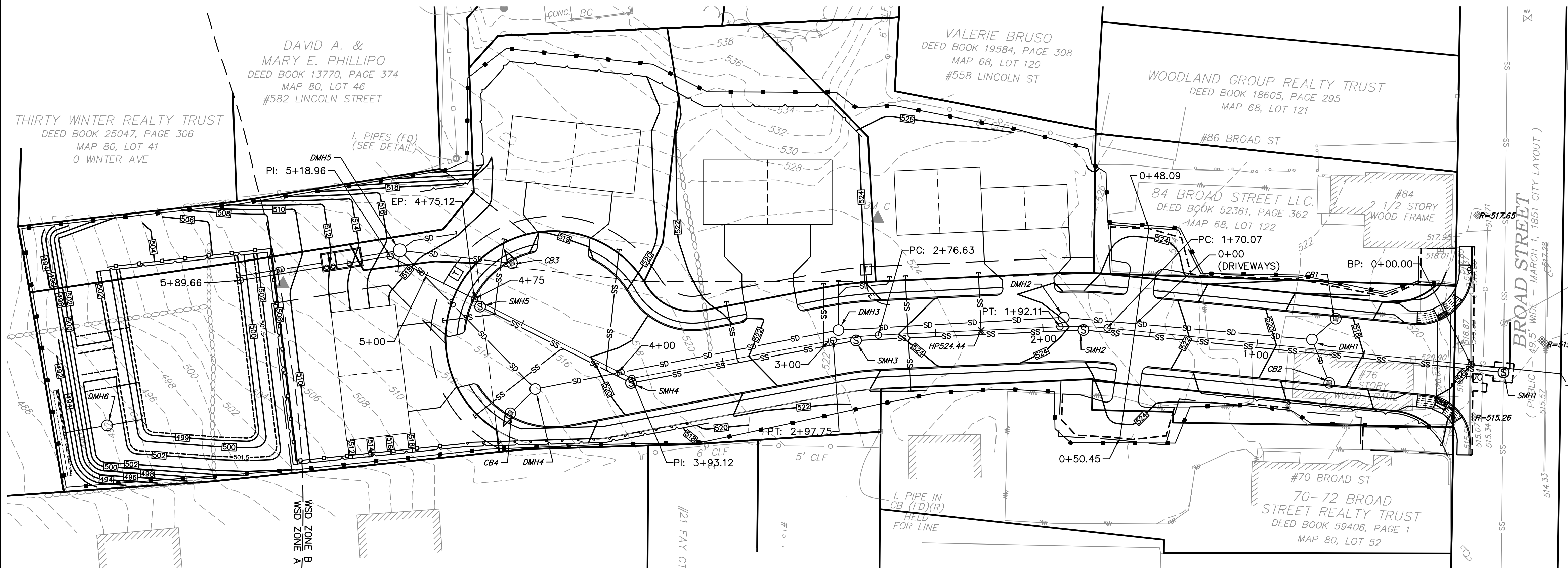
LAYOUT: PP

SHEET: 8 OF 12

PROJECT NO.:

C8

13820



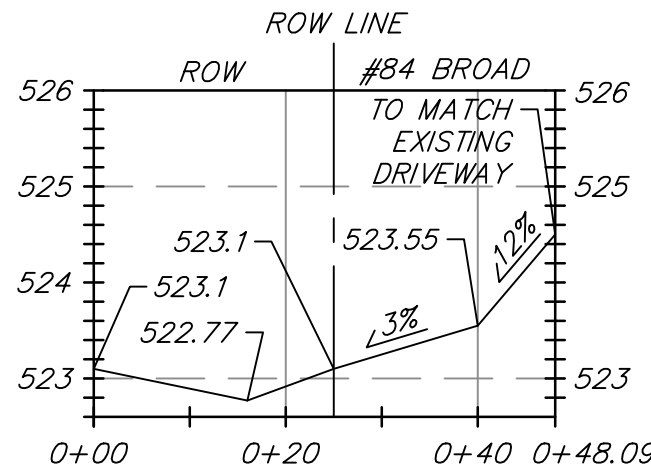
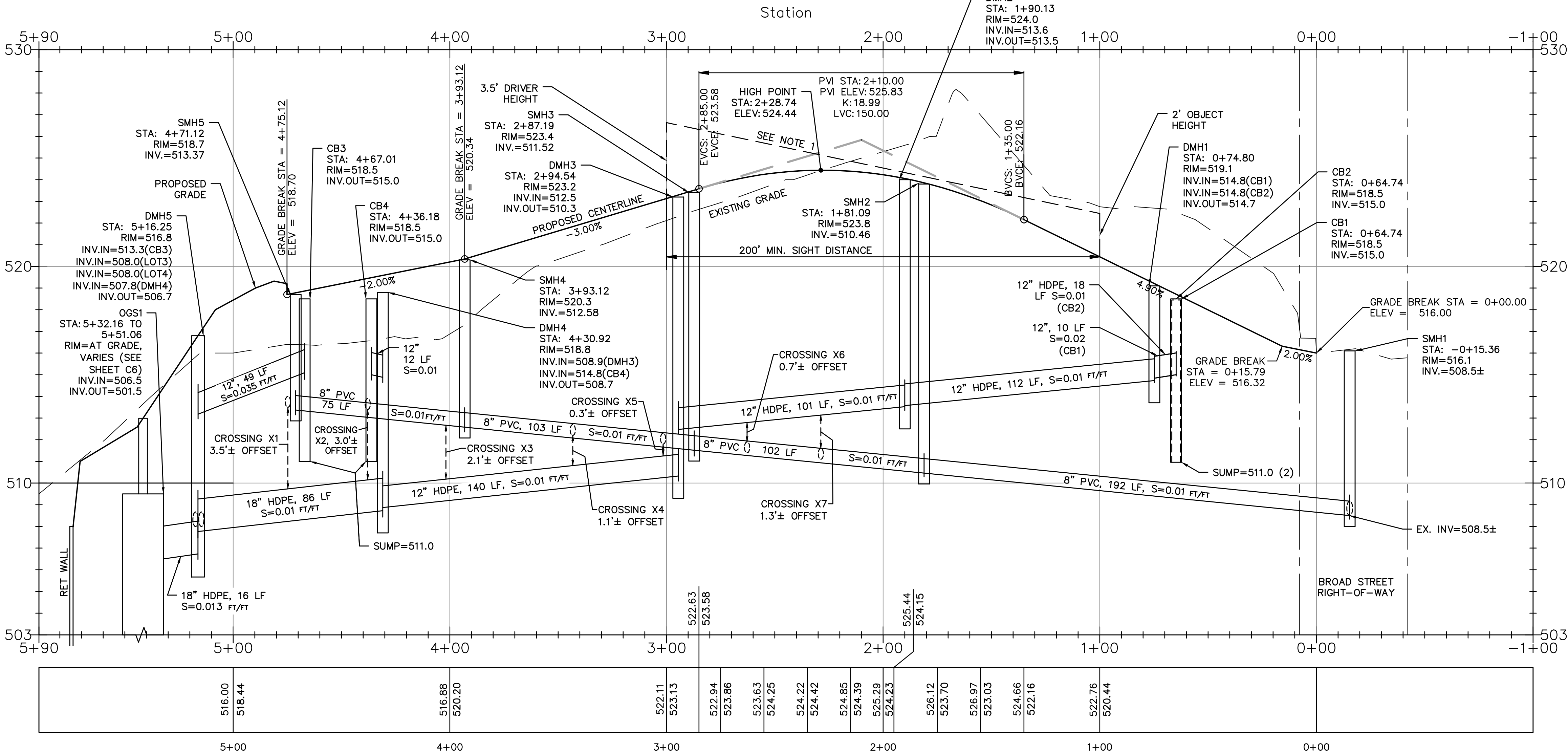
ABBREVIATIONS

BF	BASEMENT FLOOR (ELEVATION)	ISO	ISOLATOR (ROW)
BOT	BOTTOM	LF	LINEAR FEET
BW	BOTTOM OF WALL	MF	MANIFOLD
CB	CATCH BASIN	PROP	PROPOSED
DMH	DRAIN MANHOLE	R	RIM
EX	EXISTING	R3'	3' RADIUS
FIN	FINISHED	S	SLOPE
FF	FINISH FLOOR (ELEVATION)	SMH	SEWER MANHOLE
HDPE	HIGH-DENSITY POLYETHYLENE (PIPE)	TW	TOP OF WALL
I.D.	DIAMETER	TYP	TYPICAL
INV	INVERT	VGC	VERTICAL GRANITE CURB
		WSD	WATER SUPPLY PROTECTION DISTRICT CROSSING 1

NOTES

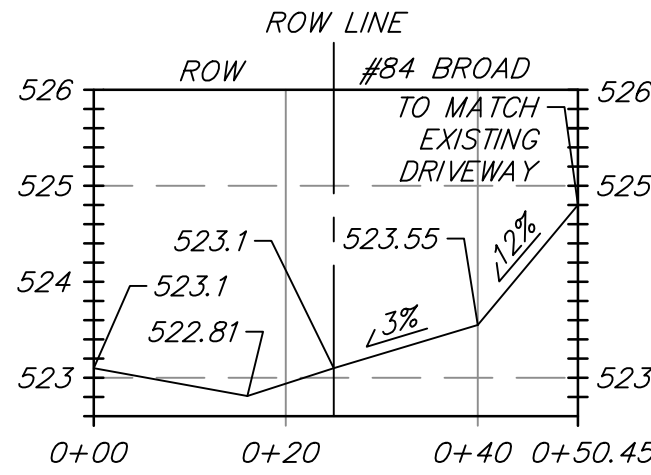
1. PER SECTION A676-12 OF THE MARLBOROUGH SUBDIVISION REGULATIONS, A MINIMUM SIGHT DISTANCE OF 200 FEET IS REQUIRED. PER AASHTO STANDARDS, THE HEIGHT OF THE DRIVER'S EYE IS 3.5 FEET ABOVE THE ROADWAY AND THE OBJECT HEIGHT IS 2 FEET ABOVE THE ROADWAY SURFACE. THE PROPOSED ROADWAY PROVIDES A SIGHT DISTANCE OF AT LEAST 200 FEET.

PETTES ROAD PROFILE



#84 BROAD ST.
DRIVEWAY PROFILE

SCALE: 1"=20' HORIZ., 1"=2' VERT.

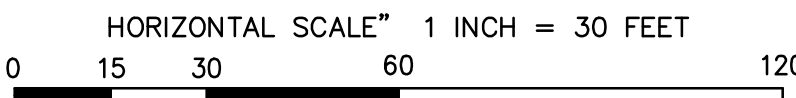
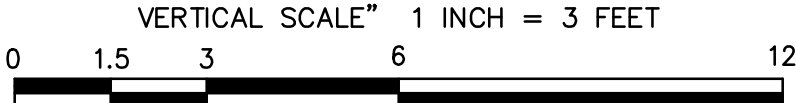


#70-72 BROAD ST.
DRIVEWAY PROFILE

SCALE: 1"=20' HORIZ., 1"=2' VERT.

REVISION UPDATES

- 1 - SHIFTED DMH'S
- 2 - REVISED BASIN STRUCTURES
- 3 - ADDED CROSSINGS
- 4 - ADDED STATIONING, FINAL GRADES ON VERTICAL CURVE, ADDED PIPE MATERIAL NOTE
- 5 - ABUTTER DRIVEWAY PROFILES ADDED



Site Plan

for
A Four-Lot Subdivision

Map 68 Lot 123
76 Broad Street
Marlborough, MA 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road
Marlborough, MA 01752

HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



3	DJR	RD	1/20/21	PLAN UPDATES
2	DJR	RD	12/16/20	PLAN UPDATES
1	RD	JP	10/29/20	PLAN UPDATES
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE: 9/9/2020 DESIGN BY: RD/DJR				
SCALE: 1"=30' DRAWN BY: DJR				
APPROVED BY: RD/CHECK BY: JP				

EROSION AND SEDIMENT CONTROL PLAN

PLOT DATE: Jun 20, 2021 1:03 pm

DWG: 13820DF R3.dwg

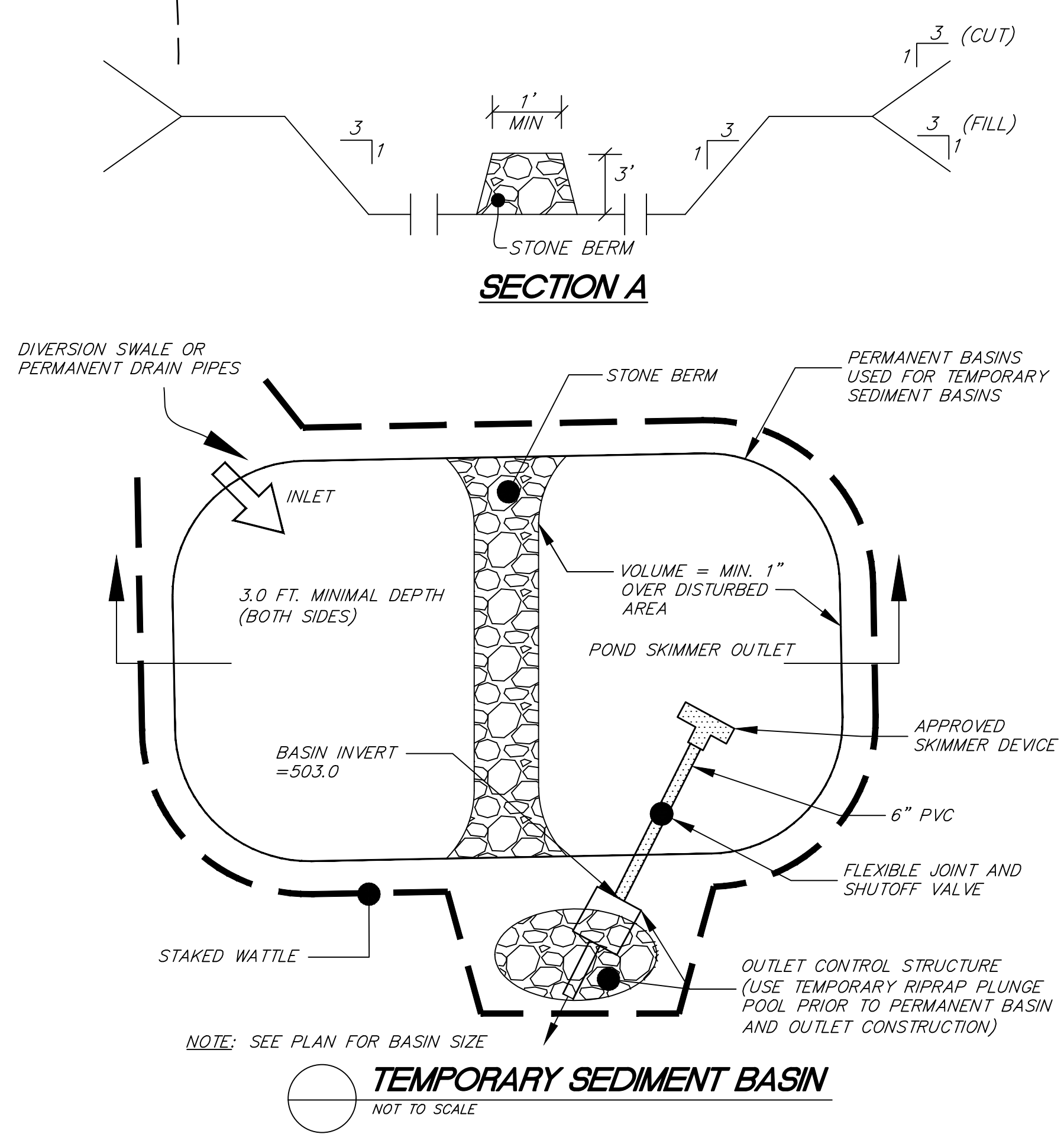
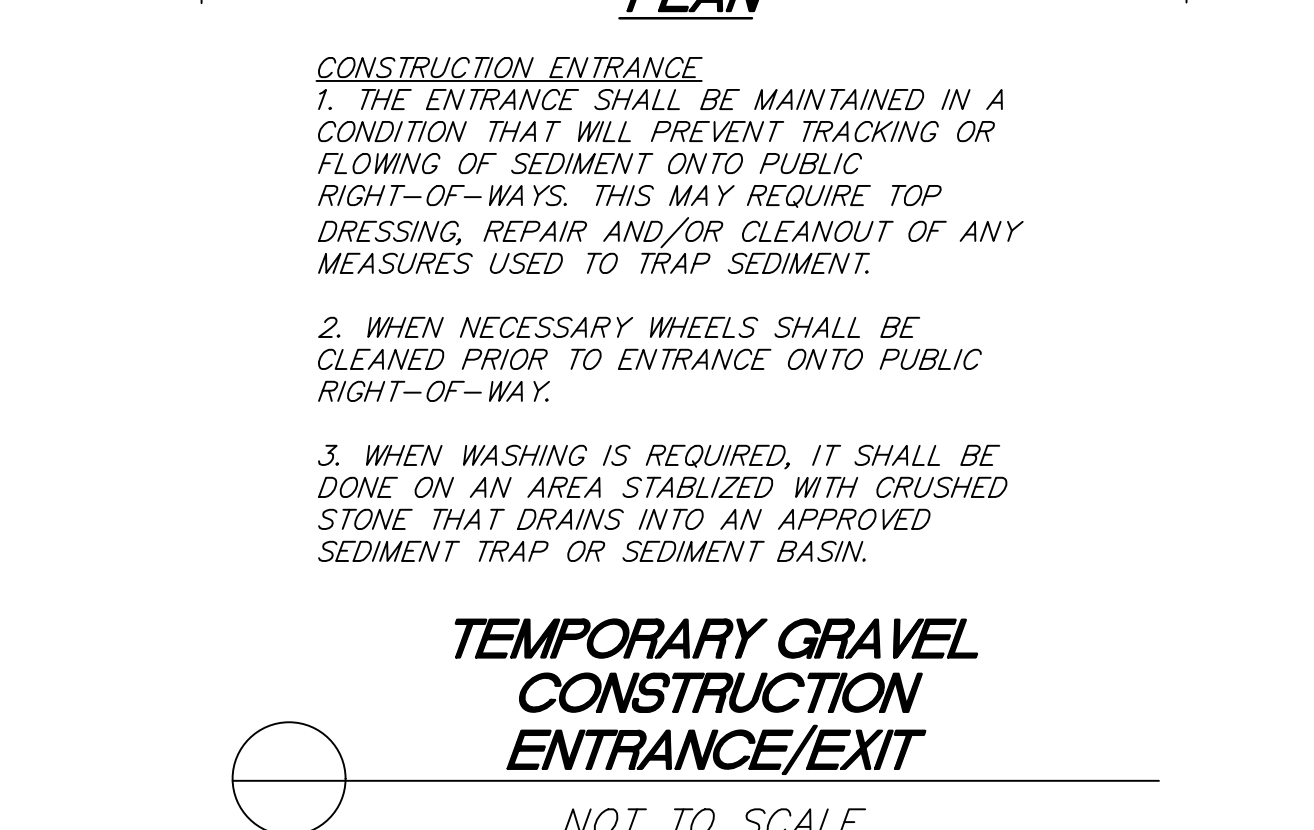
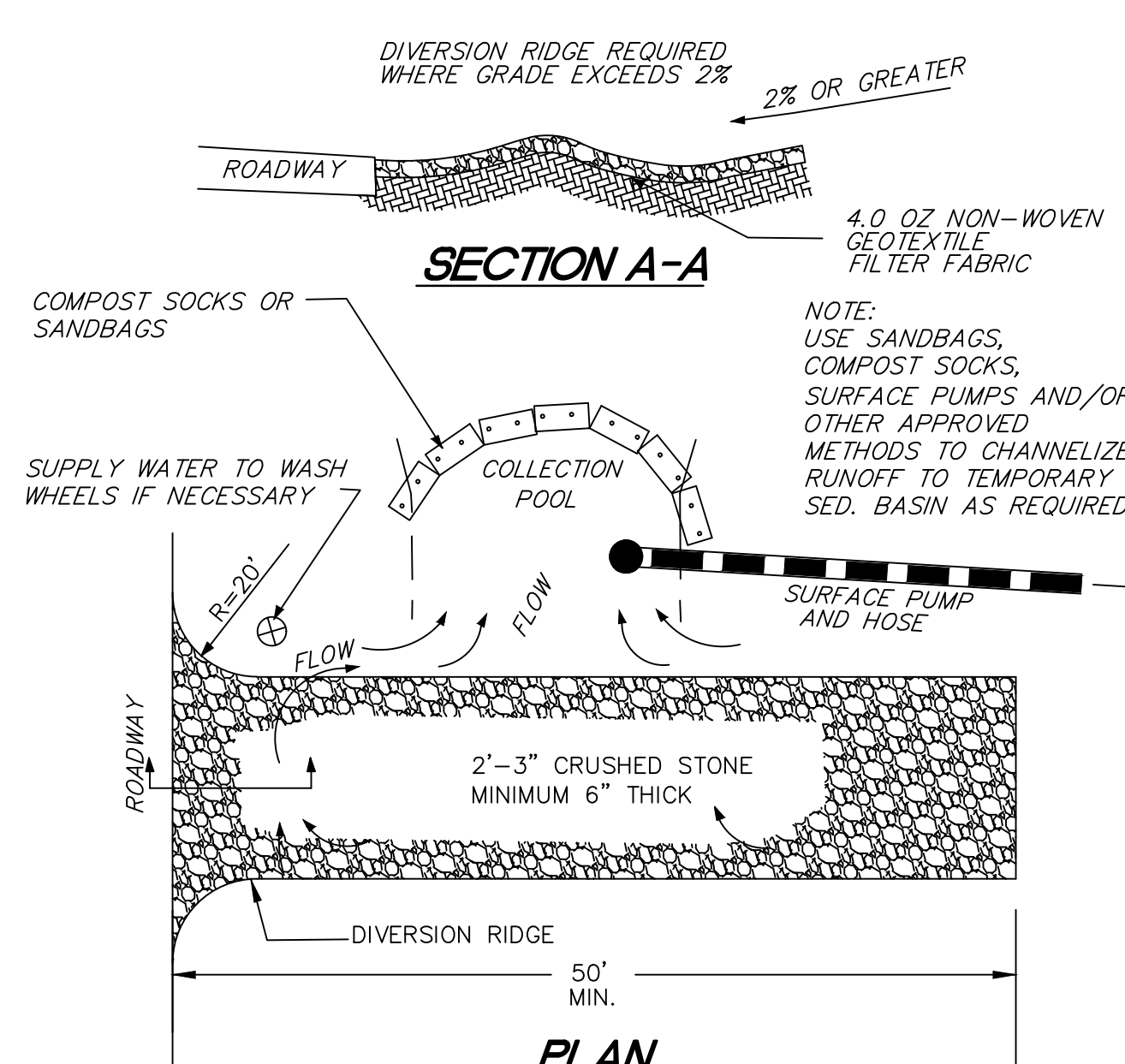
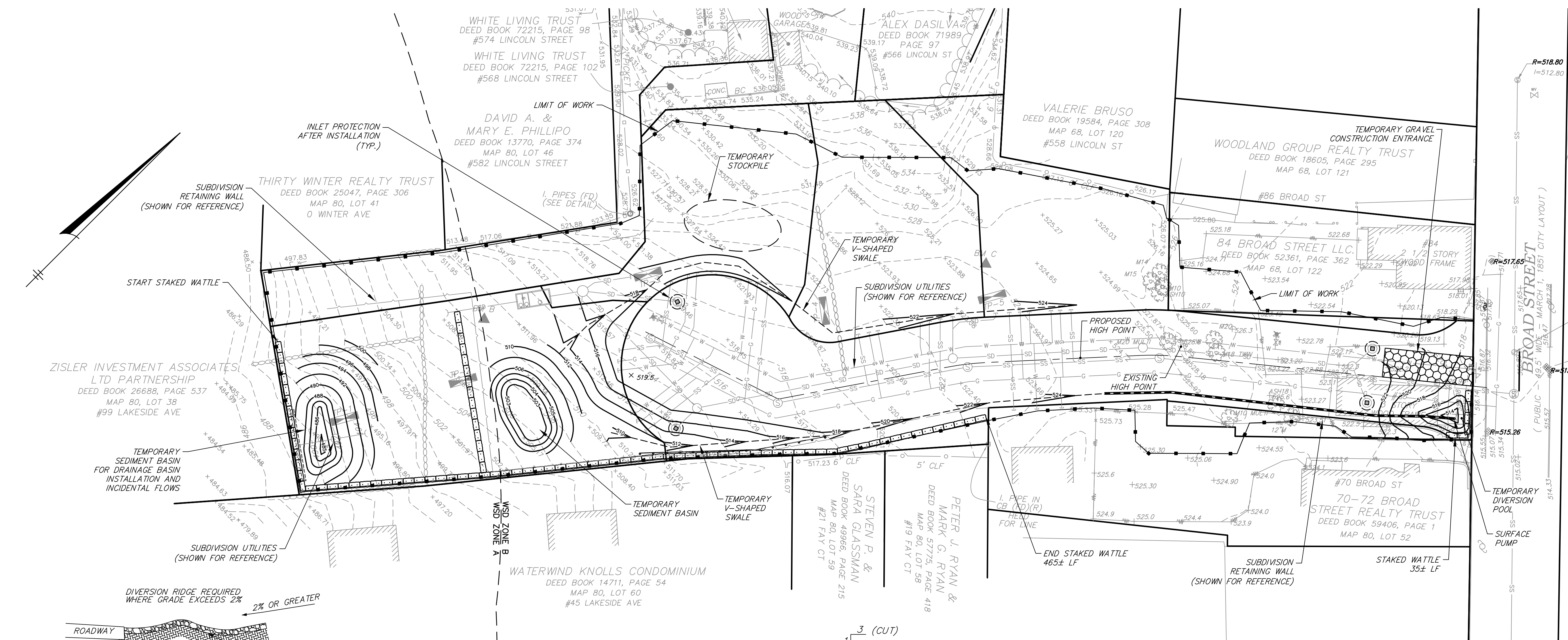
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SHEET: 9 OF 12

PROJECT NO.:

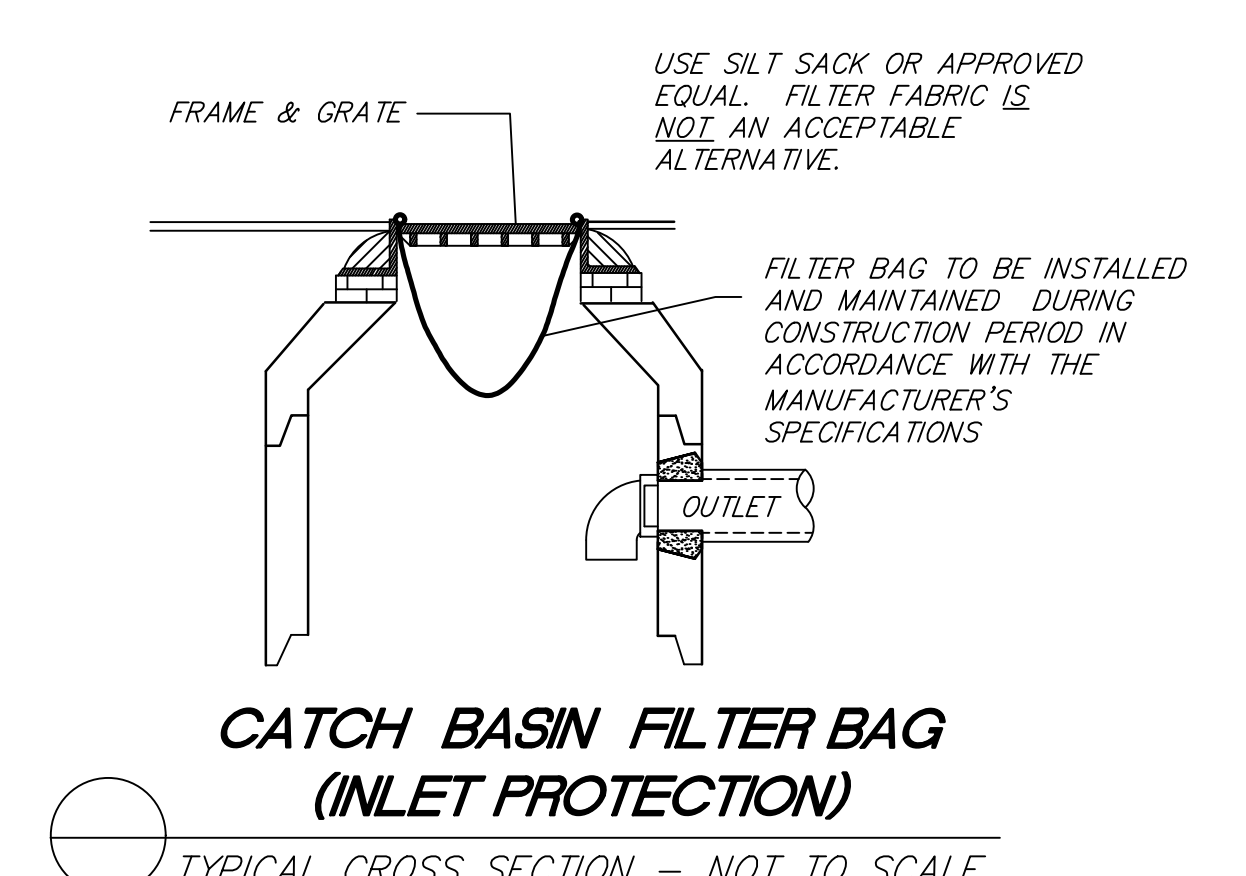
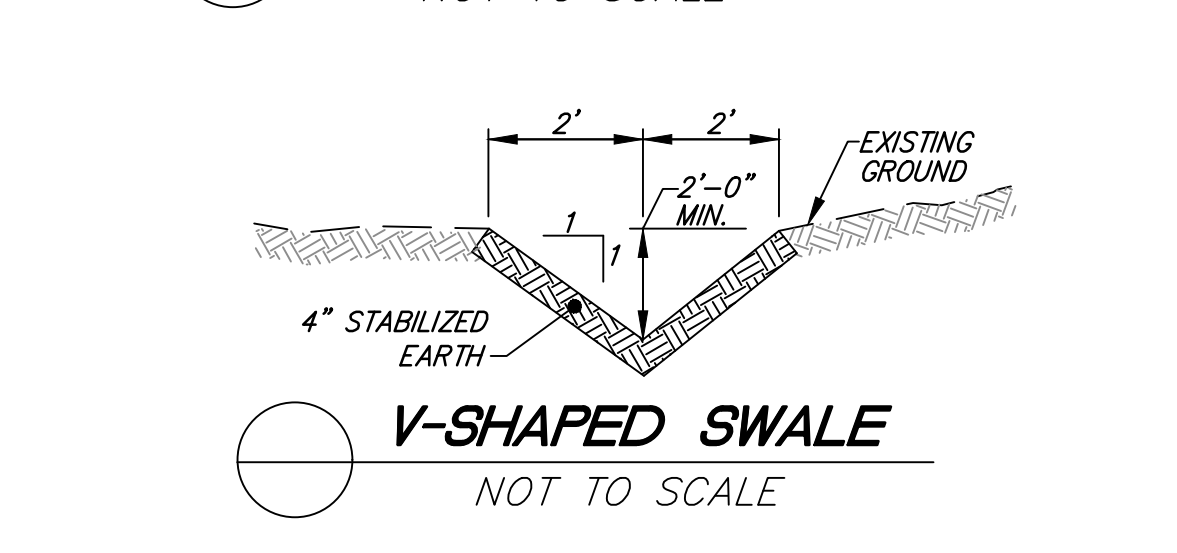
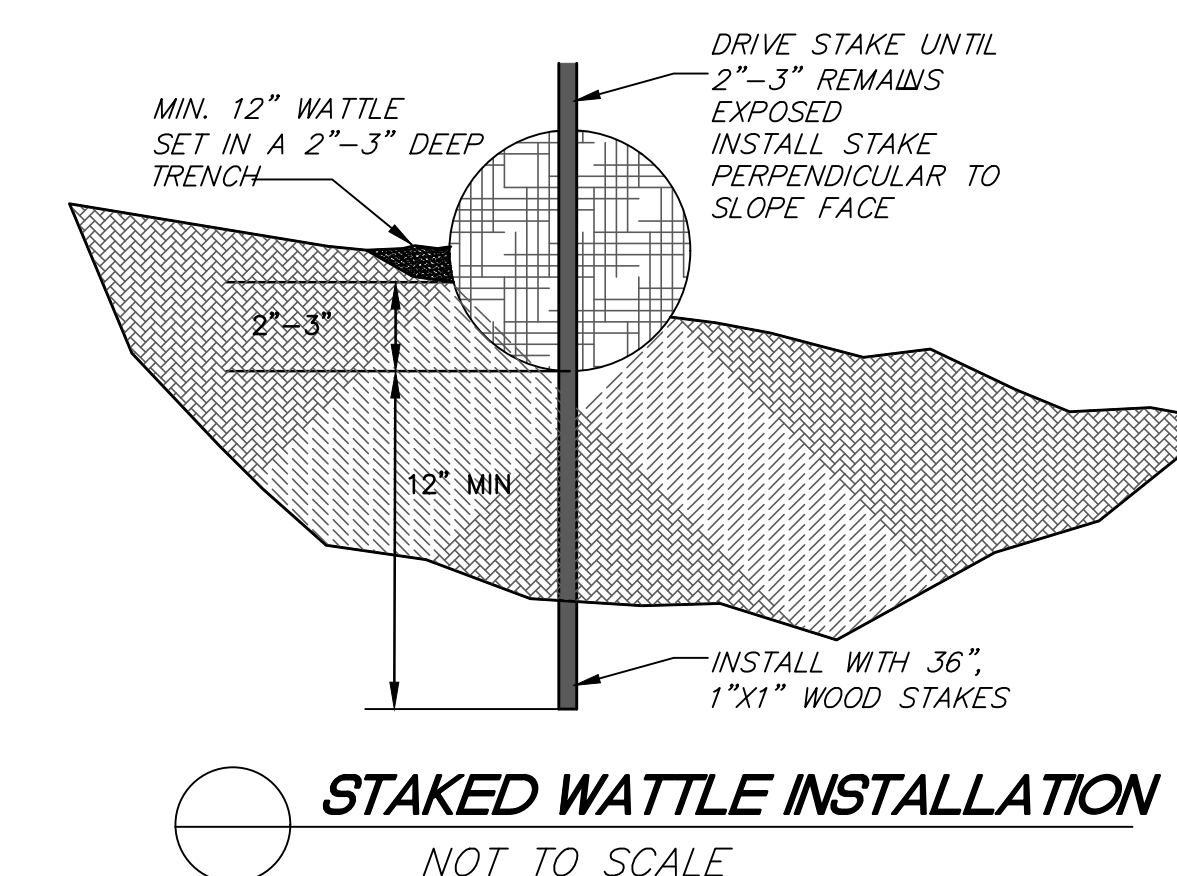
C9

13820

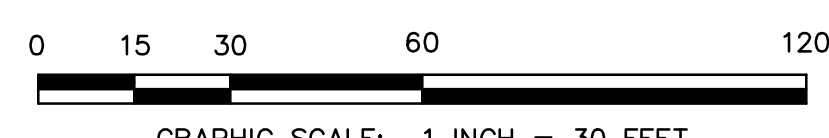


SEDIMENT BASIN CALCULATION

BASIN SIZING BASED ON 3,600 CF PER 1 ACRE OF UPSTREAM DRAINAGE AREA
UPSTREAM AREA = 24,280 SF = 0.6 ACRES
MIN REQUIRED VOLUME = 0.6 AC x 3,600 CF/AC = 2,160 CF
BASIN DIMENSIONS: 1,400 SF TOP AREA
3' DEPTH, 3:1 SIDE SLOPES
PROVIDED VOLUME: 2,600 CF SHOWN



REVISION UPDATES	
1	REDUCED CONSTRUCTION ENTRANCE WIDTH
1	ADDED DIVERSION POOL, SURFACE PUMP
1	ADDED BASIN AT REAR OF SITE
1	REVISED CONSTRUCTION ENTRANCE DETAIL
1	REVISED SWALE DETAIL
2	REVISED TEMPORARY SEDIMENT BASIN LOCATION, ADDED SWALE, ADDED EROSION CONTROL
3	NO CHANGES THIS SHEET



Site Plan

for
A Four-Lot Subdivision

Map 68 Lot 123
76 Broad Street
Marlborough, MA 01752

PREPARED FOR:

W.R.E., LLC

319 Stow Road
Marlborough, MA 01752

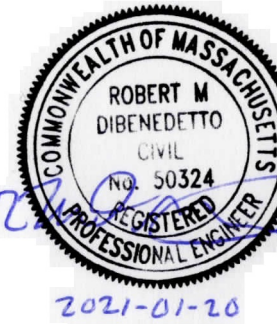
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3	DJR	RD	1/20/21	PLAN UPDATES	
2	DJR	RD	12/16/20	PLAN UPDATES	
1	RD	JP	10/29/20	PLAN UPDATES	
NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION

DATE: 9/9/2020 DESIGN BY: RD/DJR
SCALE: 1"=30' DRAWN BY: DJR
APPROVED BY: RD/CHECK BY: JP

DETAILS
SHEET 1

PLST DATE: Jun 20, 2021 1:03 pm

DWG: 13820DF R3.dwg

LAYOUT: DET1

SHEET: 10 OF 12

PROJECT NO.:

13820

CITY OF MARLBOROUGH SEWER NOTES

THE FOLLOWING DESCRIBES MATERIALS AND METHODS OF INSTALLATION OF SEWER MAINS IN GENERAL. ALL WORK SHALL CONFORM TO THE CITY OF MARLBOROUGH MUNICIPAL REQUIREMENTS.

MAIN INSTALLATION

ALL GRAVITY MAINS WILL BE A MINIMUM OF EIGHT INCHES IN DIAMETER; ALL LATERAL INTERCEPTORS, TRUNKLINES, ETC. WILL BE EITHER POLYVINYL CHLORIDE (PVC) OR DUCTILE IRON. THE CLASS OF THE PIPE WILL ACCOMMODATE THE FIELD CONDITIONS, I.E., PVC PIPE SHALL MEET OR EXCEED THE ASTM D-3034, SDR 35 REQUIREMENTS. PVC PIPE SHALL NOT BE USED FOR PIPES WITH DIAMETERS GREATER THAN 15 INCHES UNLESS EXPRESSLY APPROVED IN WRITING BY THE COMMISSIONER OF PUBLIC WORKS. PVC PIPE SHALL NOT BE USED WHEN THE DEPTH EXCEEDS 10 FEET. FOR DEPTHS OF SEWERS EXCEEDING 10 FEET, CLASS 52 DUCTILE IRON SHALL BE USED. WHEN THE COVER IS FIVE FEET OR LESS UNDER A ROADWAY, THE CLASS AND TYPE OF PIPE WILL BE SPECIFIED BY THE DEPARTMENT OF PUBLIC WORKS. THE SLOPE OF THE SEWER SHALL NOT BE LESS THAN 1% OR EXCEED 9%. ALL SIZES OF ALL PIPE WILL HAVE AS THEIR MINIMUM SLOPE THAT SLOPE WHICH YIELDS THE SCOURING VELOCITY FOR THE PARTICULAR DIAMETER PIPE. WARNING RIBBON SHALL BE USED IN THE INSTALLATION OF ANY SEWER MAIN. SAID RIBBON SHALL BE GREEN IN COLOR AND IMPRINTED WITH THE WORDS "CAUTION SEWER LINE BELOW", OR WORDS OF SIMILAR INTENT, AND SHALL BE METALLIC TO PROVIDE FUTURE LOCATING WITH INDUCTIVE TAPE LOCATORS. DEPTH OF BURIAL SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS STANDARDS, EXCEPT THAT BURIAL SHALL NOT BE AT A DEPTH LESS THAN 18 INCHES NOR A DEPTH GREATER THAN 48 INCHES.

MANHOLES

DISTANCE BETWEEN ANY TWO MANHOLES SHALL NOT EXCEED 300 FEET. ANY TWO SEWER TWO SEWER LINES ENTERING A MANHOLE OR A STRUCTURE WITH A DIFFERENCE IN ELEVATION OF 18 INCHES AN INSIDE DROP SHALL BE PROVIDED. THE INSIDE DROP IN A MANHOLE SHALL NOT EXCEED 5 FEET IN CHANGE OF ELEVATION. ANY MANHOLE THAT IS REQUIRED TO HAVE AN INSIDE DROP SHALL BE A 5 FOOT INSIDE DIAMETER MANHOLE. MANHOLES SHALL BE PRECAST CONCRETE AND PRECAST SECTIONS WILL BE MADE WATER TIGHT BY O-RING JOINTS OR APPROVED EQUAL. CONNECTIONS TO MANHOLES SHALL BE CORED AND MADE WITH A FLEXIBLE MANHOLE BOOT. THE EXTERIOR OF ALL MANHOLES SHALL BE COMPLETELY COVERED WITH A BITUMINOUS WATERPROOFING. ALL SEWER MANHOLES WILL HAVE A BRICK TABLE CONSTRUCTED IN THEIR BASE TO MEET ALL INCOMING AND OUTGOING PIPES SO THAT FLOW IS CHANNELLED SMOOTHLY FROM ONE POINT TO ANOTHER. ALL BRICKS USED FOR MANHOLE INVERTS WILL BE A HARD-BURNED SEWER BRICK TO MEET ASTM C32-69 GRADE SS. BRICKWORK WILL ALSO BE USED BETWEEN THE MANHOLE STRUCTURE AND RING AND RING COVER TO GIVE THE DESIRED GRADE. HOWEVER, THE BRICKWORK IN THIS AREA WILL NEVER EXCEED EIGHT INCHES. THIS BRICKWORK CAN BE WITH A COMMON BRICK.

THRUST BLOCKS

THRUST BLOCKS WILL BE USED ON ANY FORCE MAIN SECTIONS WHERE CALED FOR BY THE DEPARTMENT OF PUBLIC WORKS. THE THRUST BLOCK SHALL CONSIST OF A FORMED CONCRETE BLOCKING AGAINST UNDISTURBED MATERIAL, POURED IN PLACE WITH 3,000 PSI, 1-1/2", 470 CEMENT CONCRETE MASONRY

INSPECTIONS

INSPECTIONS WILL BE PROVIDED BY THE CITY OF MARLBOROUGH ONLY ON A LIMITED OR PART-TIME BASIS. BEFORE ANY BACKFILLING IS DONE, THE DEPARTMENT OF PUBLIC WORKS' WATER & SEWER DIVISION WILL BE NOTIFIED 24 HOURS IN ADVANCED, A CITY REPRESENTATIVE WILL INSPECT THE COMPLETED WORK. IF THE DEPARTMENT OF PUBLIC WORKS FEELS THAT INSUFFICIENT WORKMANSHIP AND CARE IS BEING TAKEN DURING THE INSTALLATION, A PERSON WILL BE ASSIGNED FROM THE DEPARTMENT OF PUBLIC WORKS ON A FULL-TIME BASIS. THE CONTRACTOR OR OWNER WILL BEAR THE COST OF THIS INSPECTOR.

CONNECTIONS

MAIN-TO-MAIN CONNECTIONS WILL ONLY BE MADE BY USE IF A MANHOLE AS SPECIFIED IN THE MARLBOROUGH CITY CODE 510-198(2). IN THE CASE OF A TAP OF A SERVICE-TO-MAIN THE USE OF A TAPPING SADDLE AS APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. CHIMNEYS WILL BE EMPLOYED ON THE MAIN WHEREVER A SERVICE IS NEEDED WHEN THE DEPTH OF THE MAIN EXCEEDS EIGHT FEET. THIS SHALL BE EXCEPTED WHEN THE ELEVATION OF THE CONNECTION AT THE BUILDING DOES NOT ALLOW THE USE OF A CHIMNEY. ALL CHIMNEYS WILL BE PRECAST STRUCTURES. ALL WYE-BRANCHES WILL BE PROVIDED WITH THE PROPER END CAPS UNTIL SUCH TIME THE COMPLETED TIE-IN IS MADE. THE CONNECTIONS OF BUILDING SEWERS INTO PUBLIC SEWER SHALL BE MADE AT THE WYE OR AT BENCH LEVEL IN THE MANHOLE. IF A WYE-BRANCH OR MANHOLE IS UNAVAILABLE, A CONNECTION MAY BE MADE BY TAPPING THE EXISTING SEWER BY AN APPROVED METHOD. THIS MAY CONSIST OF CUTTING OUT A PORTION OF THE SEWER MAIN AND INSTALLING A "WYE" AT THE MAIN AND RECONNECTING THE EXISTING MAIN WITH THE NEW PIPE AND PROPER COUPLINGS AS APPROVED BY INSPECTOR. NO PERSON SHALL MAKE A CONNECTION OF FOUNDATION DOWNSPOUTS, FOUNDATION DRAINS, AREAWAY DRAINS, BASEMENT DRAINS, SUMP PUMP OR OTHER SOURCES OF SURFACE RUNOFF OR GROUNDWATER TO A BUILDING SEWER OR BUILDING DRAIN WHICH IS DIRECTLY OR INDIRECTLY TO A PUBLIC SEWER. ALL SEWERS SHALL BE TESTED BEFORE ANY CONNECTIONS ARE MADE TO BUILDINGS.

BUILDING SEWERS

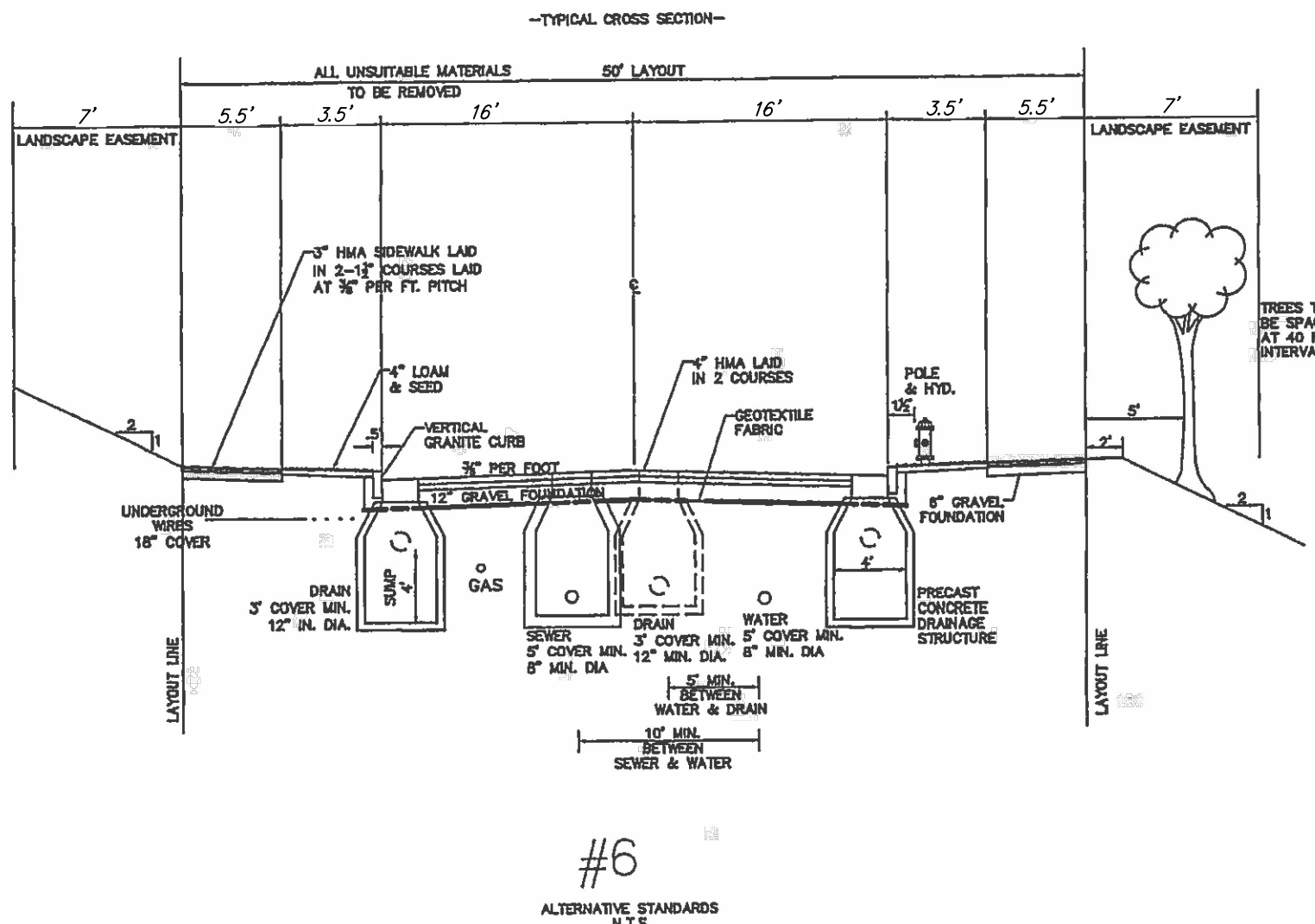
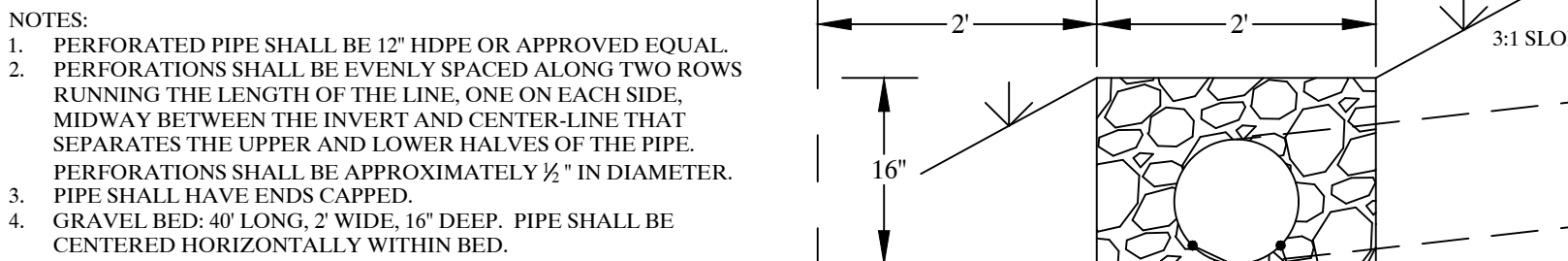
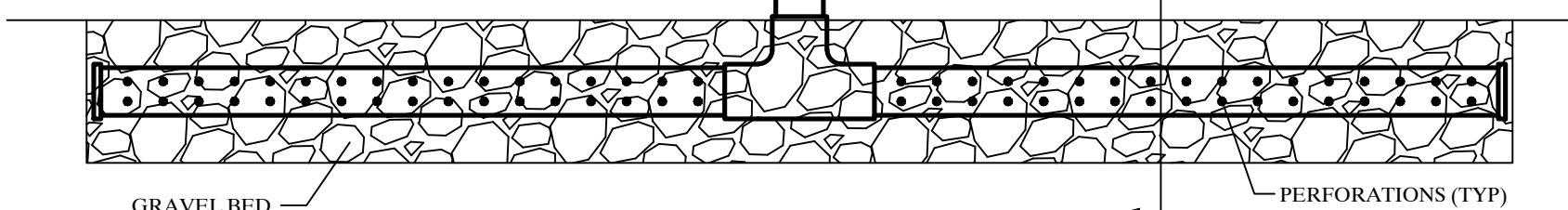
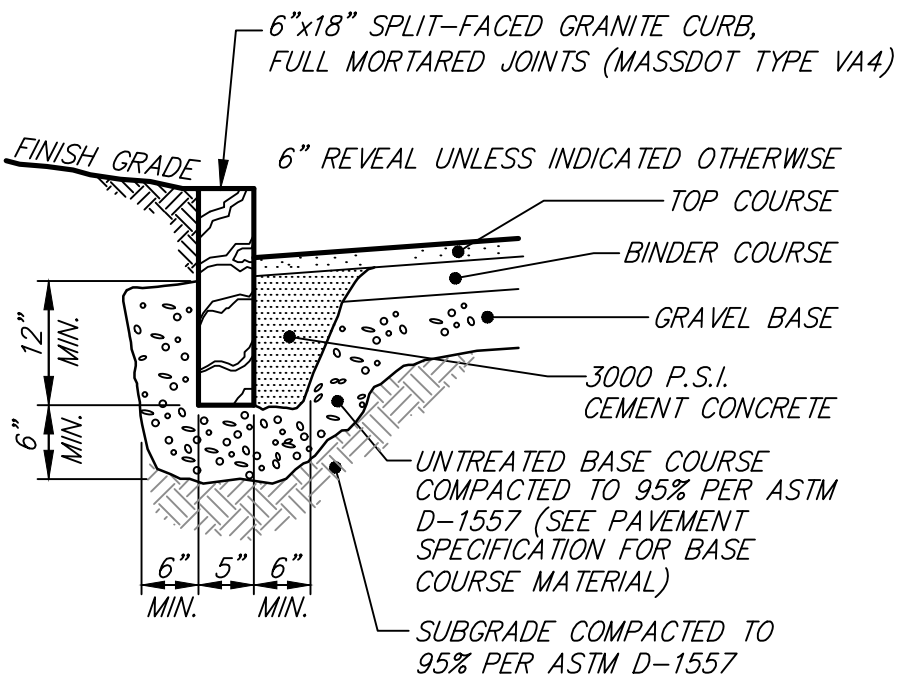
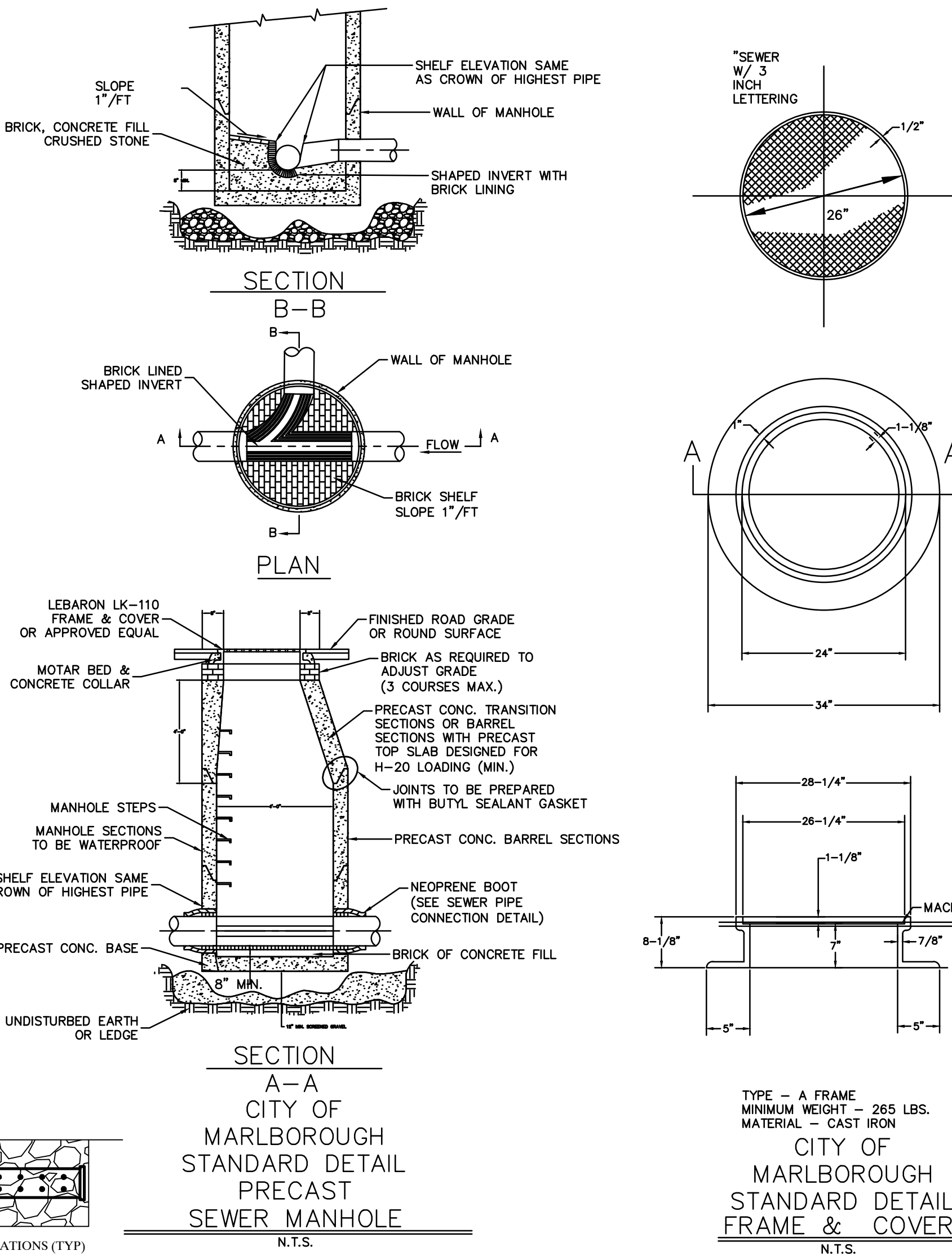
THE SIZE AND SLOPE OF THE BUILDING SEWER SHALL BE SUBJECT TO THE APPROVAL OF THE COMMISSIONER BUT IN NO EVENT SHALL THE DIAMETER LESS THAN SIX INCHES. THE SLOPE OF SUCH PIPE SHALL NOT BE LESS THAN 1% OR GREATER THAN 9%. THE BUILDING SEWER SHALL BE LAID AT THE UNIFORM GRADE AND IN A STRAIGHT LINE ALIGNMENT INSOFAR AS POSSIBLE. CHANGES IN DIRECTION SHALL BE MADE ONLY WITH BENDS, SWEEPS, MANHOLES OR PRECAST CLEANOUTS AS APPROVED BY THE COMMISSIONER. CLEANOUTS SHALL BE LOCATED ON THE EXTERIOR SIDE OF THE BUILDING SERVICE AND SHALL BE IN A PLACE THAT IS ACCESSIBLE FOR MAINTENANCE BY THE DEPARTMENT OF PUBLIC WORKS OR OTHERS. WARNING RIBBON SHALL BE USED IN THE INSTALLATION OF ANY SERVICE PIPE. SAID RIBBON SHALL BE GREEN IN COLOR AND IMPRINTED WITH THE WORDS "CAUTION SEWER LINE BELOW", OR WORDS OF SIMILAR INTENT, AND SHALL BE METALLIC TO PROVIDE FUTURE LOCATING WITH INDUCTIVE TAPE LOCATORS. DEPTH OF BURIAL SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS STANDARDS, EXCEPT THAT BURIAL SHALL NOT BE AT A DEPTH LESS THAN 18 INCHES NOR A DEPTH GREATER THAN 48 INCHES. THE SEWERS SHALL BE TESTED BEFORE ANY CONNECTIONS ARE MADE TO BUILDINGS. WHERE APPLICABLE ENTRANCE FEES IN ACCORDANCE WITH THE MARLBOROUGH CITY CODE SECTION 510-4 "BUILDING SEWER CONNECTIONS" SHALL BE PAID PRIOR TO ANY WORK.

TESTING

TESTING SHALL CONFORM TO CITY OF MARLBOROUGH REQUIREMENTS.

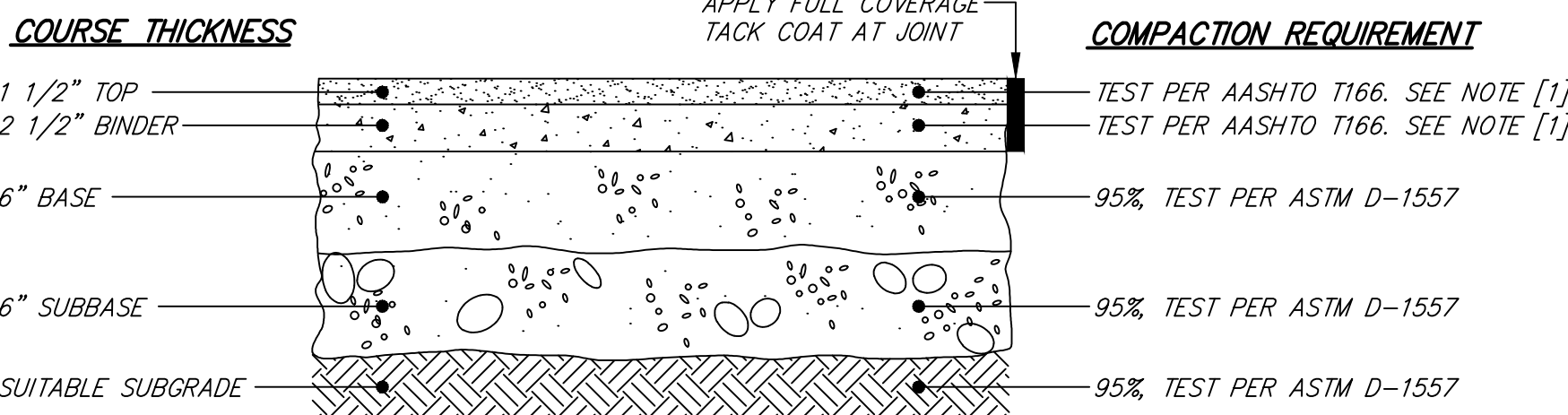
REVISION UPDATES

- 1 - SMALL REVISION TO ENERGY DISSIPATOR DETAIL
- 2 - NO CHANGES THIS SHEET
- 3 - ROAD CROSS SECTION REVISED



CITY OF MARLBOROUGH
TYPICAL ROAD CROSS SECTION

TYPICAL CROSS SECTION
NOT TO SCALE

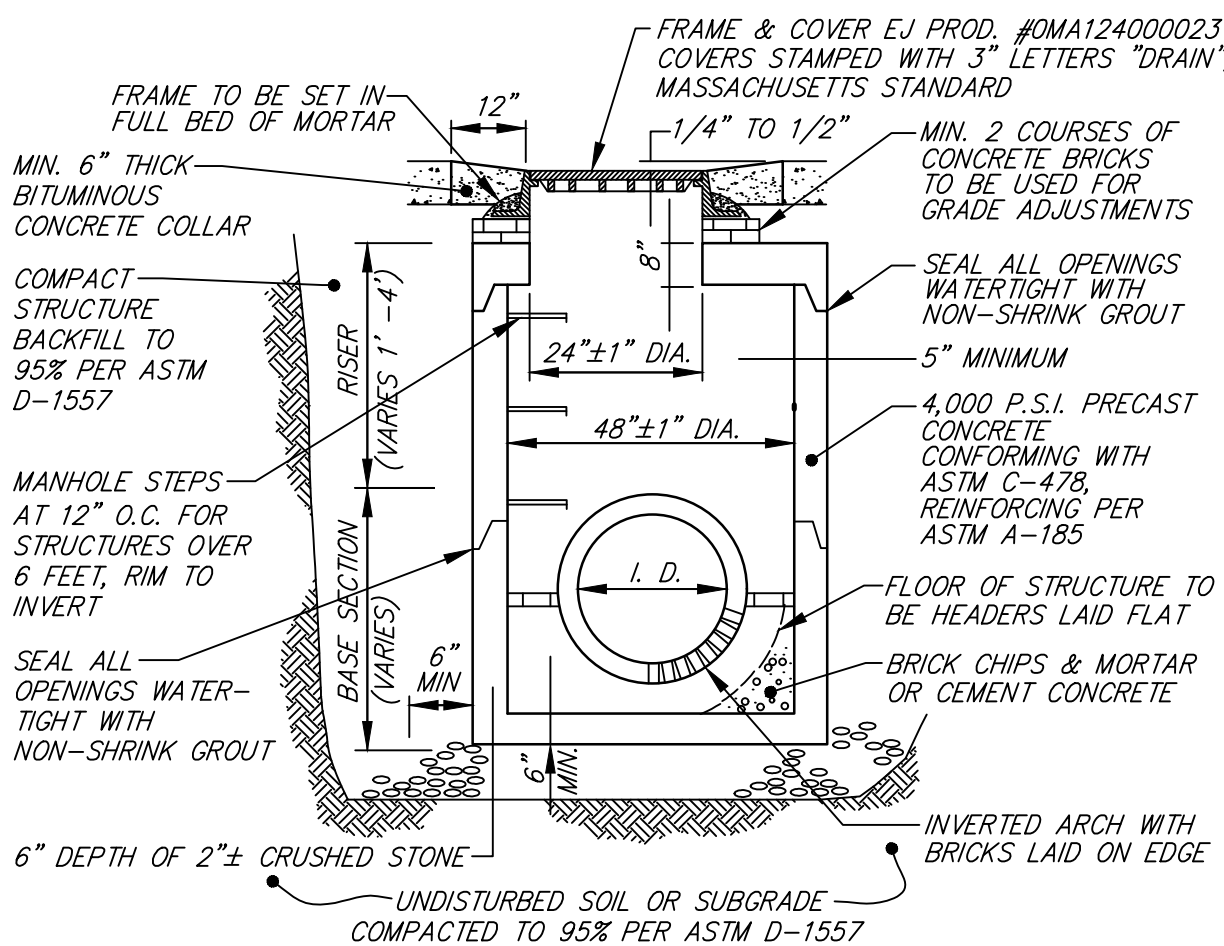


NOTES:
[1] COMPACT TO TEST AVERAGE OF 96%, NO TEST LOWER THAN 94%

MATERIAL	SPECIFICATION	MAXIMUM AGGREGATE OR PARTICLE SIZE (IN.)
TOP - BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1/2
BINDER - BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1
BASE - DENSE GRADED CRUSHED STONE	MHD M2.01.7	1 1/2
SUBBASE - GRAVEL BORROW	MHD M1.03.0 TYPE C	2

BITUMINOUS CONCRETE PAVEMENT

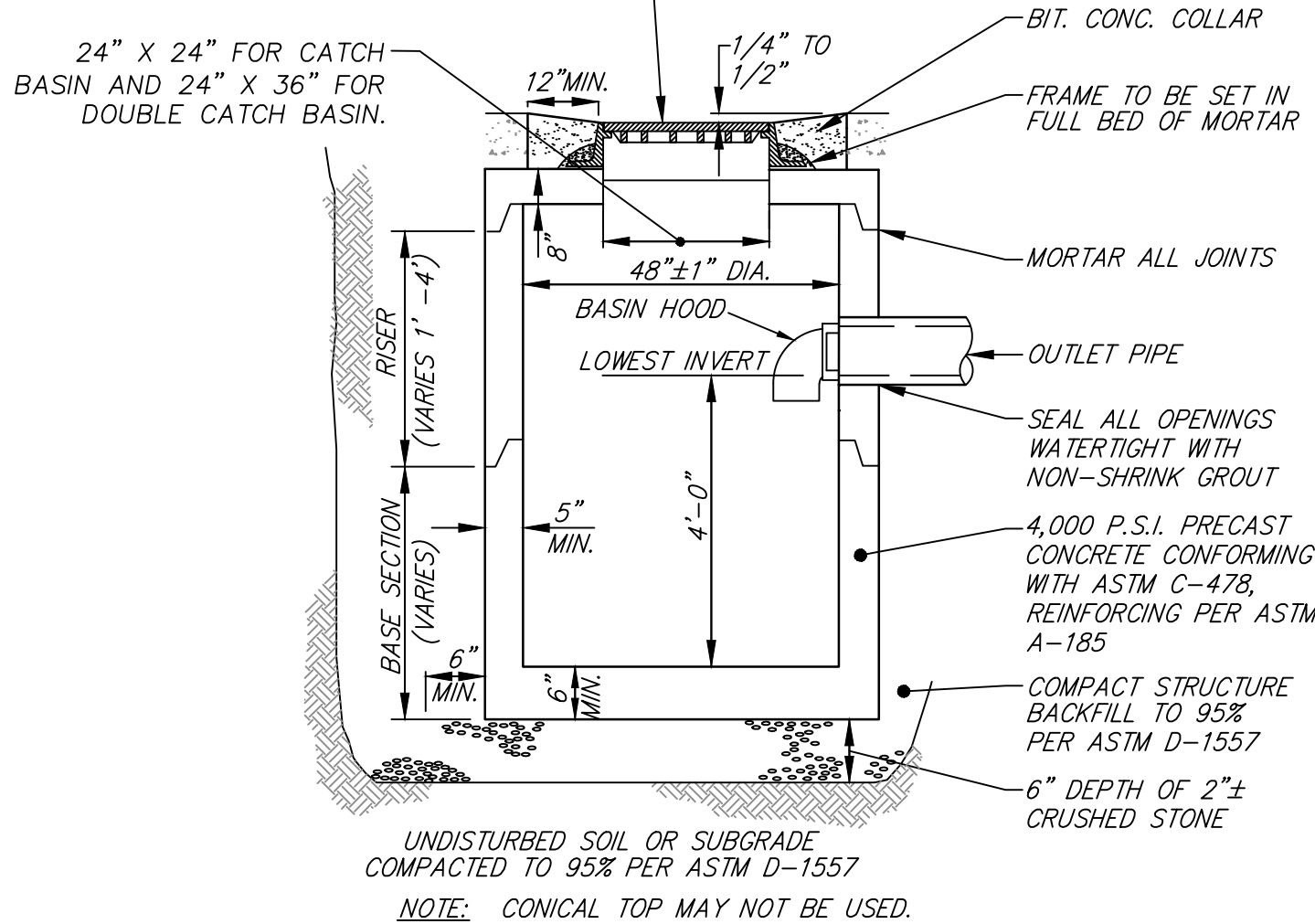
TYPICAL CROSS SECTION
NOT TO SCALE



DRAIN MANHOLE (DMH)

TYPICAL CROSS SECTION
NOT TO SCALE

USE FRAME & GRATE EJ PROD. #OMA55400004 (24X6 4-FLANGE) AT CB. USE TWO EJ PROD. #OMA55400003 (24X6 3-FLANGE) BUTTED TOGETHER AT DCB.



CATCH BASIN (CB) AND DOUBLE CATCH BASIN (DCB) WITH HOOD

TYPICAL CROSS SECTION
NOT TO SCALE

THE FOLLOWING DESCRIBED MATERIALS AND METHODS OF INSTALLATION OF WATER MAINS IN GENERAL. ALL WORK SHALL CONFORM TO THE 1988 STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES. ALL SUBSEQUENT SUPPLEMENTAL SPECIFICATIONS IN THE PARTICULAR CONTRACT AND IN ACCORDANCE WITH THE MOST RECENT A.W.W.A. STANDARDS.

ALL MAINS WILL BE A MINIMUM OF EIGHT INCH DUCTILE IRON PIPE, CLASS 52, CEMENT LINED MECHANICAL JOINT OR PUSH-ON JOINT IN ACCORDANCE WITH A.W.W.A. STANDARDS. ALL MAINS OVER EIGHT (8) INCHES IN DIAMETER WILL BE DUCTILE IRON CLASS 52, INCLUDING NIPPLE PIECES. ALL HYDRANT BRANCHES SHALL BE SIX (6) INCH DUCTILE IRON CLASS 52. ALL INTERSECTIONS OF MAINS WILL BE GATED IN THEIR RESPECTIVE DIRECTIONS. NO MAIN GATE WILL EXTEND OVER ONE THOUSAND (1,000) FEET OF EACH OTHER OR SO SPACED AT THE DIRECTION OF THE DEPARTMENT OF PUBLIC WORKS OR FIRE CHIEF. ALL HYDRANTS WILL BE GATED. ALL TAPS TO THE EXISTING PUBLIC SYSTEM WILL BE SPECIFY A TAP TO THE VALVE. EXCAVATION WILL BE TO A DEPTH THAT PROVIDES A MINIMUM OF FIVE (5) FEET OF COVER OVER THE PIPE. IF THE EXCAVATION IS IN LEDGE, A MINIMUM OF 12 INCH SPACING AROUND THE PIPE WILL BE REQUIRED TO ALLOW FOR SELECTED BACKFILL MATERIAL (SEE TRENCHING DETAILS). IT WILL BE AT THE DISCRETION OF THE DEPARTMENT OF PUBLIC WORKS AS TO THE TYPE OF BEDDING USED AND WILL DEPEND ON THE FIELD CONDITIONS. IN ANY EVENT, IT WILL BE EITHER CRUSHED BANK GRAVEL, SAND BORROW, OR THREE-FOURTHS INCH STONE. NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER MAY BE USED WITHIN THE FIRST FOOT OF BACKFILL OVER THE PIPE. ONCE THE PIPE HAS SUFFICIENT COVER WITH THE SELECTED MATERIAL, NORMAL BACKFILLING MAY PROCEED WITH CARE. JOINTING OF PIPE ON OR TYPICAL JOINTS OF IRON PIPE SHALL BE WITH COMPOUNDING. IF A BAR IS USED, A BLOCK OF WOOD MAY BE USED BETWEEN IT AND THE PIPE. THE APPLIES FOR HAVING A BACKHOLE/EXCAVATOR SET LARGER DIAMETER PIPE, A BLOCK OF WOOD WILL BE INSERTED BETWEEN THE BUCKET AND THE PIPE; IN NO EVENT WILL THERE BE A METAL-TO-METAL DRIVING FORCE TO SET THE PIPE. IF THIS IS NOT STRICTLY COMPLIES WITH THE LENGTH OF THE PIPE WILL BE REMOVED AND A NEW ONE USED IN ITS PLACE.

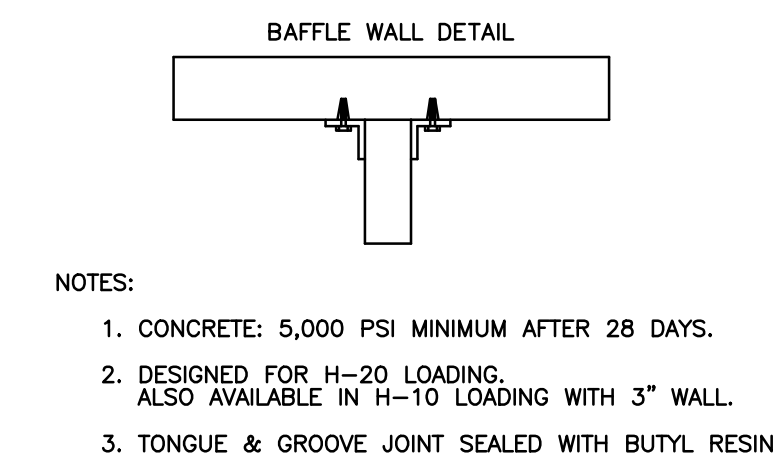
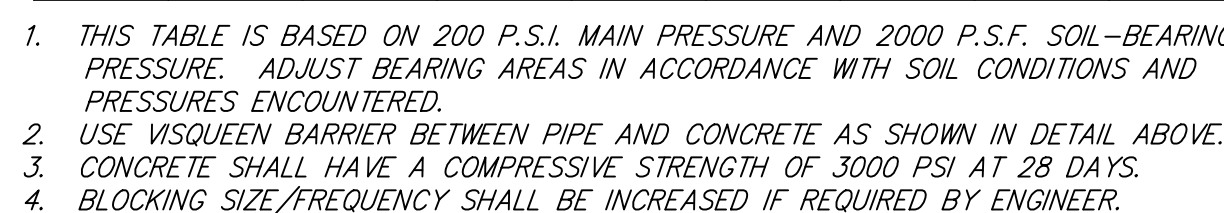
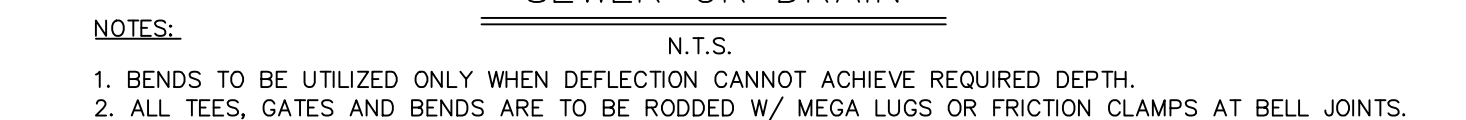
MAIN GATE VALVES SHALL BE OPEN RIGHT, IRON BODY, BRONZED MOUNTED, DOUBLE DISC, NON-RISEING STEM AS MANUFACTURED BY MUELLER CO. OR APPROVED EQUAL. MAIN GATE BOXES SHALL BE CAST-IRON, SLIDE TYPE WITH AT LEAST SIX (6) INCHES OF ADJUSTMENT AND AT LEAST FIVE (5) FEET LONG. THE COVERS SHALL BE FLUSH, CLOSE-FITTING WITH THE LETTER "W" OR THE WORD "WATER" CAST INTO THE COVER.

ALL PLUGS, CAPS, TEES, BENDS AND HYDRANTS SHALL BE PROVIDED WITH A CONCRETE THRUST BLOCK TO PREVENT MOVEMENT. THE THRUST BLOCK SHALL CONSIST OF A FORMED CONCRETE BACKING AGAINST UNDISTURBED MATERIAL, POURED IN PLACE WITH 3,000 PSI, 1-1/2", 470 CEMENT CONCRETE MASONRY.

INSPECTION WILL BE PROVIDED BY THE CITY OF MARLBOROUGH WATER AND SEWER INSPECTOR. BEFORE ANY BACKFILLING IS DONE, THE DEPARTMENT OF PUBLIC WORKS WATER DIVISION WILL BE NOTIFIED TWENTY-FOUR (24) HOURS IN ADVANCE, AND A CITY OF MARLBOROUGH WATER AND SEWER INSPECTOR WILL INSPECT THE COMPLETED WORK. THIS METHOD OF OPERATION WILL BE USED FOR HYDRANT INSTALLATION, MAIN TAPS, SERVICE TAPS, TESTING, ETC. IF THE DEPARTMENT OF PUBLIC WORKS FEELS THAT INSUFFICIENT WORKSMANSHIP AND CARE IS BEING TAKEN IN THE INSTALLATION, THIS WORK MAY BE TERMINATED UNTIL FURTHER APPROVAL FOR THE CITY ENGINEER.

SERVICE CONNECTIONS SHALL HAVE A MINIMUM SIZE OF THREE-FOURTHS (3/4) INCH IN DIAMETER. ALL SERVICE PIPES SHALL BE TYPE K COPPER TUBING. ANY SERVICE PIPE LARGER THAN TWO (2) INCHES AND LESS THAN EIGHT (8) INCHES IN DIAMETER SHALL BE DUCTILE IRON CLASS 52, CEMENT LINED MECHANICAL JOINT OR PUSH-ON JOINT IN ACCORDANCE WITH A.W.W.A. STANDARDS. ALL NEW MAIN CONNECTIONS WILL BE MADE BY WAY OF DIRECT WET TAP. THE USE OF A CEMENT PLASTER COATING SHALL BE LIMITED TO EXISTING MAINS ONLY BE TYPE K COPPER. TYPE, SMITH-BLAIR OR MUELLER). A CURB STOP AND BOX SHALL BE COPPER TO COPPER THROUGH, OPEN RIGHT, WITH DRAIN, AS MANUFACTURED BY FARNUM OR MUELLER, ANY SERVICE ONE (1) INCH OR GREATER SHALL EMPLOY AN ORISAL CURB WITH DRIP. THE SERVICE SHALL BE INSTALLED AT 90° FROM THE ROAD, UNLESS OTHERWISE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. UNDER NO CIRCUMSTANCES WILL ANY INVERTED KEY CURBS BE INSTALLED IN ANY WATER SYSTEM IN THE CITY OF MARIBOROUGH. THE CURB BOX OR SERVICE BOX SHALL BE FOUR-AND-ONE HALF (4 1/2) TO FIVE-AND-ONE HALF (5 1/2) FEET, EXTENSION-TYPE, THIRTEEN-FOURTHS (13/16) INCH AND OVER FOR SERVICES SHALL BE FIVE (5) FEET ZERO (0) INCHES. A SAND BACKFILL MATERIAL WILL BE CAREFULLY PLACED AROUND THE SERVICE PIPE TO PROTECT IT FROM NORMAL BACKFILL AND COMPACTION.

THE CONTRACTOR SHALL HIRE AN INDEPENDENT TESTING FIRM THAT SPECIALIZES IN WATER LINE TESTING AND DISINFECTIONS OF WATER DISTRIBUTION SYSTEMS APPROVED BY THE CITY ENGINEER. THE CONTRACTOR SHALL FURNISH A WATER METER PRESSURE GAUGE, TESTING PUMPS, PUMPS, PIPE, AND FITTINGS AND THE WATER MAIN SHALL BE COMPLETELY FILLED WITH WATER AND AIR BLOWN OFF THROUGH A HIGH POINT, SUCH AS A HYDRANT. THE SECTION UNDER TEST WILL BE MAINTAINED FULL AND UNDER PRESSURE AT 200 LBS. FOR A PERIOD OF ONE (1) HOUR. THE LINE SHALL BE FILLED AND TESTED WITHIN ONE (1) TO THREE (3) DAYS AFTER FILLING. ANY FAILURE OF THE VARIOUS PIPELINES, STRUCTURES, VALVES, FITTINGS AND JOINTS THAT OCCURS BEFORE FINAL ACCEPTANCE OF THE WORK SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR. A SUCCESSFUL WATER PRESSURE TEST IS NOT TO BE INTERPRETED AS FINAL ACCEPTANCE. THE PRESSURE AND LEAKAGE TEST SHALL CONSIST OF FIRST RAISING THE WATER PRESSURES (BASED ON ELEVATION) TO A PRESSURE IN GALLONS PER SQUARE INCH EQUAL TO THE PRESSURE IN THE MAIN. THE CONTRACTOR SHALL MAINTAIN THIS PRESSURE. THE CONTRACTOR SHALL MAKE A LEAKAGE TEST BY MEETING THE FLOW OF WATER INTO THE PIPE. IF THE AVERAGE LEAKAGE DURING A TWO-FOUR HOUR PERIOD EXCEEDS A RATE OF TEN (10) GALLONS PER INCH OF DIAMETER PER TWENTY-FOUR (24) HOUR PER MILE OF PIPELINE, THE SECTION WILL BE CONSIDERED AS HAVING FAILED THE TEST. AFTER TESTING THE SECTION IS TO BE DE-CHLORINATED BY PRIMING THE LINE WITH A SOLUTION OF SODIUM HYPOCHLORITE TO 500 PARTS PER MILLION PRIOR TO BEING PLACED IN SERVICE. THE INTRODUCTION OF THE SODIUM HYPOCHLORITE CAN BE ACCOMPLISHED BY PUMPING OR SIPHONING A CALCIUM HYDROCHLORIDE SOLUTION INTO THE MAIN. THE CHLORINATION WATER IS TO REMAIN IN THE NEW PIPELINE FOR A PERIOD OF TWENTY-FOUR (24) HOURS. DURING THIS PERIOD, PROPER PRECAUTIONS ARE TO BE TAKEN TO PREVENT THIS SHALLOW WATER MAIN FROM BEING EXPOSED TO THE SURFACE. AFTER THE CHLORINATION AND DE-CHLORINATION A MINIMUM OF (2) BACTERIA SAMPLES ARE TO BE TAKEN TWENTY-FOUR (24) HOURS APART.



REVISION UPDATES

1 - NO CHANGES THIS SHEET

2 - ADDED WALL DETAIL AND
OGS DETAIL.

3 - NO CHANGES THIS SHEET

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



3	RD	JR	1/20/21	PLAN UPDATES
2	RD	JR	12/16/20	PLAN UPDATES
1	RD	JP	10/29/20	PLAN UPDATES
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE:	9/9/2020	DESIGN BY:	RD/DJR	
SCALE:	1"=30'	DRAWN BY:	DJR	
APPROVED BY:	RD	CHECK BY:	JP	

PLOT DATE: Jan 20, 2021 1:04 pm

DWG: 13820DF R3.

LAYOUT: DET2

SHEET: 11 OF

A Four-Lot Subdivision

PREPARED FOR:

W.R.E., LLC

HANCOCK
ASSOCIATES

Wetland Scientists

DATE: 9/9/2020	DESIGN BY: RD/DJR
SCALE: 1"=30'	DRAWN BY: DJR
APPROVED BY: RD	CHECK BY: JP

LANDSCAPING PLAN

PROJECT NO.:

C12

13820



NOTE: PROPOSED TREE LOCATIONS DO NOT CONFORM TO §A676-28.A OF THE ZONING ORDINANCE. A WAIVER IS REQUESTED, SEE TITLE SHEET.

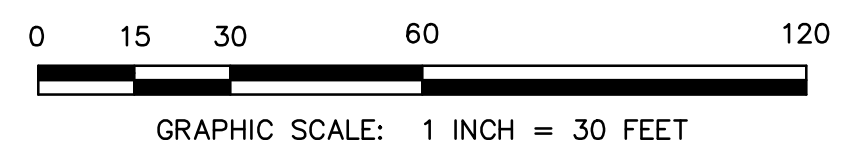
TYPICAL TREE PLANTING DETAIL

NOT TO SCALE



TYPICAL CROSS SECTION
NOT TO SCALE

REVISION UPDATES
2 - LANDSCAPING PLAN ADDED
3 - PLANTING DETAILS
REVISED/ADDED





City of Marlborough
Department of Public Works

135 NEIL STREET
 MARLBOROUGH, MASSACHUSETTS 01752
 TEL. 508-624-6910
 *TDD 508-460-3610

SEAN M. DIVOLL, P.E.
 DPW COMMISSIONER

January 21, 2021

Dr. Barbara L. Fenby, Chairwoman - Marlborough Planning Board
 c/o Krista Holmi – Planning Board Administrator
 135 Neil Street
 Marlborough, MA 01752

RE: Definitive Subdivision Plan – 76 Broad Street

Dear Dr. Fenby:

The D.P.W. – Engineering Division has received the following revised Definitive Subdivision Plan for review:

DEFINITIVE SUBDIVISION PLAN
 RESIDENTIAL SUBDIVISION ASN SITE DEVELOPMENT
 76 BROAD STREET, MARLBOROUGH MASSACHUSETTS 01752
 FOR
 WRE, LLC.

Prepared by:
 Hancock Associates, 315 Elm Street, Marlborough, MA 01752

Date: September 09, 2020 (Revised January 20, 2021)

We are currently reviewing the plan set and anticipate having a final review completed for the Planning Board meeting scheduled for February 8, 2021. The deadline for the Planning Board decision on this subdivision application is February 12, 2021.

In order to facilitate a proper and complete review of the Plan set, the Planning Board should vote to approve or deny the seven waivers being requested by the developer. A list of the requested waivers is attached for your use.

Should you have any question regarding the above, please do not hesitate to contact me at (508) 624-6910.

Sincerely,

Timothy F. Collins
 Assistant City Engineer

xc: Sean M. Divoll, P.E. – DPW Commissioner
 Thomas DiPersio, Jr., P.E., P.L.S. – City Engineer

THEODORE L. SCOTT, P.E.
 ASST. COMMISSIONER, OPERATIONS

CHRISTOPHER S. LAFRENIERE
 ASST. COMMISSIONER, UTILITIES

THOMAS DIPERSIO, JR. P.E., P.L.
 CITY ENGINEER

WAIVER REQUEST LIST:	APPROVED	
	YES	NO
1. §A676-12.B.5: "PROPERTY LINES AT STREET INTERSECTIONS SHALL HAVE A RADIUS EQUAL TO 30 FEET AT INTERSECTIONS INVOLVING A MAJOR STREET AND 25 FEET AT OTHER INTERSECTIONS." <u>PROPOSED: RIGHT-OF-WAY LINES AS SHOWN ON "LOTTING PLAN".</u>		
2. §A676-12.C.1.a: "THE MINIMUM WIDTH OF RIGHTS-OF-WAY SHALL BE AS FOLLOWS:" "SECONDARY STREETS: 50 FEET." <u>PROPOSED: RIGHT-OF-WAY WIDTH OF 49.2 FEET AT STA1+75. RIGHT-OF-WAY LINES AS SHOWN ON "LOTTING PLAN".</u>		
3. §A676-12.D.3: "WHERE CHANGES IN GRADE EXCEED 1%, REASONABLE VERTICAL CURVES, AS REQUIRED BY THE COMMISSIONER OF PUBLIC WORKS, WILL BE PROVIDED..." <u>PROPOSED: GRADE BREAK AT PROPOSED CROSSWALK FROM 2% TO 4.9%.</u>		
4. §A676-20: "SEE CROSS SECTIONS IN APPENDIX F" "TYPICAL CROSS SECTION #1: SECONDARY RESIDENTIAL STREET". <u>PROPOSED: 3' LANDSCAPING STRIP BETWEEN CURB AND SIDEWALK. SIDEWALK WITH NO CURB REDUCED TO 5.5-FOOT WIDTH. VARIED TREE LOCATIONS.</u>		
5. §A676-23.A: "NO STREET OF WAY THROUGH PRIVATE PROPERTY SHALL BE ACCEPTED BY THE CITY UNLESS THE SAME BE PREVIOUSLY CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE STANDARD CROSS SECTION (SEE APPENDIX F)..." <u>PROPOSED: RIGHT-OF-WAY DEVIATES FROM STANDARD CROSS-SECTION. SEE ITEM 4 ABOVE..</u>		
6. §A676-24.B: "ROADWAYS SHALL BE CONSTRUCTED FOR THE FULL LENGTH OF ALL STREETS WITHIN THE SUBDIVISION AND SHALL HAVE THE SAME CURB RADIUS REQUIRED IN §A676-12B ABOVE." (30 FEET) <u>PROPOSED: CURB RADIUS AT WESTERN CORNER OF INTERSECTION = 25 FEET. CURB RADIUS AT EASTERN CORNER OF INTERSECTION = 22 FEET.</u>		
7. §A676-28.A: "STREET TREES OF A SPECIES APPROVED BY THE CITY FORESTER SHALL BE PLANTED ON EACH SIDE OF EACH STREET IN A SUBDIVISION, EXCEPT WHERE THE DEFINITIVE PLAN SHOWED TREES TO BE RETAINED WHICH ARE HEALTHY AND ADEQUATE. SUCH TREES SHALL BE LOCATED OUTSIDE OF THE RIGHT-OF-WAY AS SHOWN IN THE PROFILE AND STANDARD CROSS SECTION PLANS, APPENDIX F, APPROXIMATELY AT FORTY-FOOT INTERVALS, AND SHALL BE AT LEAST 12 FEET IN HEIGHT AND A MINIMUM OF THREE-INCH CALIPER." <u>PROPOSED: STREET TREES AS SHOWN ON "LANDSCAPE PLAN".</u>		



City of Marlborough

Legal Department

140 MAIN STREET

MARLBOROUGH, MASSACHUSETTS 01752

TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610

LEGAL@MARLBOROUGH-MA.GOV

JASON D. GROSSFIELD
CITY SOLICITOR

JASON M. PIQUES
ASSISTANT CITY SOLICITOR

HEATHER H. GUTIERREZ
PARALEGAL

January 20, 2021

Planning Board
135 Neil Street
Marlborough, MA 01752
kholmi@marlborough-ma.gov

Re: 76 Broad Street Definitive Subdivision.

Dear Dr. Fenby and Members of the Planning Board:

On January 11, 2020, the Board voted to refer the draft Certificate of Vote, for the Definitive Subdivision Plan located at 76 Broad Street to the Legal Department. Enclosed please find a tracked and clean version of the Certificate of Vote. I hereby certify the attached Certificate of Vote is in proper legal form, subject to the appropriate dates referring to revised definitive plans being included in paragraphs 1 and 8 in the Procedural Findings.

Please contact me if you have any questions.

Respectfully,

/s/ Jay Piques
Jay Piques
Assistant City Solicitor

Enclosure

**CERTIFICATE OF VOTE
DEFINITIVE SUBDIVISION PLAN
76 BROAD STREET**

January __, 2021

Pursuant to ~~§ 650-28 of the Marlborough City Code~~ MGL c. 41, s. 81 and the Planning Board's Rules and Regulations Governing the Subdivision of Land in Marlborough, the Planning Board of the City of Marlborough (the "Planning Board") hereby certifies that on January __, 2021 it voted to **approve** a Definitive Subdivision Plan for a Residential Subdivision for property located on 76 Broad Street owned by W.R.E., LLC as follows:

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PROCEDURAL FINDINGS:

1. On September 9, 2020, an application (the "Application") was filed on behalf of the W.R.E., LLC with a principal place of business of 319 Stow Rd, Marlborough MA 01752 (the "Applicant"), ~~or "W.R.E."~~, pursuant to M.G.L. c. 41, § ~~81W~~81O, and the Planning Board's Rules and Regulations Governing the Subdivision of Land in Marlborough (the "Rules and Regulations"), seeking approval of a four (4) two family housing unit definitive subdivision plan as shown on a plan entitled "Definitive Subdivision Plan, Residential Subdivision and Site Development 76 Broad Street Marlborough, MA" prepared by Hancock & Associates Inc., 315 Elm Street, Marlborough, Massachusetts, dated September 9, 2020 and last revised on ~~December __, 2020~~ (the "Plan"), on land identified on the City of Marlborough's Assessor's Map ("Assessor's Map") as Map 68, Parcel 123, located on 76 Broad Street, owned by W.R.E., LLC (~~"W.R.E."~~), further identified in the Middlesex South District Registry of Deeds in Book 72215 Page 106 and consisting of 1.86 acres of land ("Development").
2. The Planning Board provided copies of the Application to other City boards and commissions, departments and officials including, but not limited to, the Board of Health, Building Commissioner, Conservation Commission, Department of Public Works, Fire Chief, City Engineer and City Solicitor.
3. ~~The Board of Health of the City of Marlborough made no comment on the Application or the Plan.~~
3. The Board of Health submitted an email correspondence dated October 19, 2020 indicating that in its review the Board of Health was not opposed to the issuance of subdivision approval subsequent to review by the city engineer of the stormwater drainage design and calculations.

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4. The Conservation Commission submitted a letter to the Board October 5, 2020 indicating that no Conservation Commission review will be required as there are no wetlands located within the proposed Development, but further requesting that the drainage design meet the higher water quality standard as outlined in the Water Supply Protection District regulations as the property drains into Lake Williams, attention to ground water impact, in particular on any downhill properties, and inspection of the system during construction. The Conservation Commission also recommended the applicant prepare a full construction sequencing and erosion control plan and for the preservation of as many large trees as possible.
5. Pamela A. Wilderman, Code Enforcement Officer, submitted a letter dated October 20, 2020, in support of the subdivision due to enforcement actions in the rear of the site over the years.
6. After notice and publication was provided pursuant to the applicable provisions of M.G.L. c. 41, § 81T of the Subdivision Control Law, and the applicable provisions of the Rules and Regulations, a public hearing on the Application commenced on September 14, 2020, September 21, 2020, and October 19, 2020. The Planning Board closed the public hearing on October 19, 2020.
7. Planning Board members Barbara Fenby, Sean Fay, Phillip Hodge, George LaVenture, ~~and~~ Christopher Russ, and Matthew Elder were present for the public hearing.
8. The Plan was further amended on and to incorporate details and to address the comments and requirements of City Engineer Thomas DiPersio and the Planning Board.
9. Planning Board members Barbara Fenby, Sean Fay, Phillip Hodge, George ~~LaVenture~~ LaVenture, Christopher Russ, and Matthew Elder deliberated on the Application at duly authorized meetings on October 19, 2020, November 16, 2020, December 21, 2020, January 11, 2021, and January , 2021.

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PROJECT FINDINGS:

1. The subject property consists of one (1) lot owned by W.R.E. identified on the City Assessors Maps as follows: Map 68, Parcel 123.
2. In seeking approval of the amended Plan, the Applicant proposes to build four (4) two (2) family homes, subject to conditions set forth below.
3. The Development, as governed by the conditions set forth in this Certificate of Vote, is consistent with the applicable provisions of the Subdivision Control Law and the Rules and Regulations.
4. ~~The~~ The Applicant has represented to the Board that the Development, as governed by the conditions of this Certificate of Vote, will not present a public safety hazard to the City or surrounding properties.

WAIVERS:

After the public hearing and deliberations on the amended Plan, the Planning Board did on January __, 2021, by a vote of ____ in favor and ____ opposed, grant the following waivers to the Rules and Regulations, in connection with the Plan, as amended (citations below are to the Marlborough City Code, Chapter A676, entitled "Subdivision Regulations"):

1) **Section A676-12: Streets, § B-(5)-(c) Alignment**

1-) **REQUIRED:** Property lines at street intersections shall have a radius equal __ to 30 feet at intersections involving a major street and 25 feet at other intersections."

Proposed: **ALLOWED:** Right-of-way lines as shown on "Lotting Plan."

2) **§A676-12.C.1.a: "The minimum width of rights of way shall be as follows:"**
"Secondary streets

2) **Section A676-12 Streets, § C.(1)(a) Width**

REQUIRED: 50 feet." **for all secondary roads.**

Proposed: **ALLOWED:** Right-of-way width of 49.2 feet at STA1+75. Right-of-way __ lines as shown on "Lotting Plan."

3) **Section A676-12: Streets, § D-(3)-(c): Grade**

3-) **REQUIRED:** Where changes in grade exceed 1%, reasonable vertical __ curves, as required by the commissioner of public works, will be __ provided..."

Proposed: **ALLOWED:** Grade break at proposed crosswalk from 2% to 4.9%."

4) **Section A676-20: "Sidewalks, grass plots, trees**

4-) **REQUIRED:** See cross sections in Appendix F" "Typical cross section __ #1: Secondary residential street"

Proposed: **ALLOWED:** 3' Landscaping strip between curb and sidewalk, sidewalk __ with no curb reduced to 5.5-foot width. Varied tree locations.

5) **Section A676-23: General, § A:-**

5-) **REQUIRED:** No street of way through private property shall be accepted __ by the city unless the same be previously constructed and completed in __ accordance with the standard cross section **(see Appendix F)...**

Proposed: **ALLOWED:** Right-of-way deviates from standard cross-section, see item __ 4 above..."

6) **Section A676-24: Streets and roadway, § B:-**

6-) **REQUIRED:** Roadways shall be constructed for the full length of all __ streets within the subdivision and shall have the same curb radius required in **§ A676-12B13B** above"(30 Feet).

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~~Proposed~~ **ALLOWED**: Curb radius at western corner of intersection = 25 feet.
Curb ~~radius~~ at Eastern corner of intersection = 22 feet.
~~§~~

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7) Section A676-28. Trees, § A-“

~~7)~~ **REQUIRED**: Street trees of a species approved by the city forester shall ~~be~~ planted on each side of each street in a subdivision, except where the ~~definitive~~ plan showed trees to be retained which are healthy and ~~adequate~~. Such trees shall be located outside of the right-of-way as shown ~~in the profile and standard cross section plans, Appendix F, approximately~~ at forty-foot intervals, and shall be at least 12 feet in height and a ~~minimum of three-inch caliper~~³².

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~~Proposed~~ **ALLOWED**: Street trees as shown on “landscape Plan”.

The Planning Board granted these waivers after determining that such action is in the public interest and not inconsistent with the intent and purpose of the Subdivision Control Law and with the Rules and Regulations.

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CONDITIONS:

The Planning Board on January __, 2021, by a vote of __ to __, approved the Plan, as amended, as described above, subject to the following conditions:

1. Prior to their installation, all final landscaping, signage and/or improvements within the subdivision road's right of way shall be approved by the City Engineer.
2. The Applicant shall comply with all conditions of the Marlborough Conservation Commission, as set forth in any Order of Conditions for the Development.
3. The Applicant shall provide for a Performance Guarantee, in a manner acceptable to the Planning Board, to ensure that the required improvements will be constructed and/or installed in accordance with the approved Plan.
4. The Applicant shall record at the Middlesex South District Registry of Deeds an executed copy of this Certificate of Vote and of the approved Plan, and shall forthwith provide those copies to the Planning Board and the Solicitor's office.
5. Any future change, modification or amendment to the approved Plan, as may be approved by the Planning Board, shall be in accordance with the requirements of M.G.L. Chapter 41, § 81W.
6. All conditions herein shall apply to Applicant, its successors and assigns, and to its successors in title to the Development.

RECORD OF VOTE:

The following members of the Planning Board voted on January __, 2021 to approve the Plan, as amended:

Barbara L. Fenby, Chair

Sean N. Fay

George LaVenture, Clerk

Matthew Elder

Philip J. Hodge

Christopher Russ

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CERTIFICATE

I hereby certify that twenty (20) days have elapsed since the filing of the above-referenced Certificate of Vote in the Office of Marlborough City Clerk on January __, 2021, and that no notice of an appeal of that decision has been timely filed with said Office.

A True Copy Attest:

Steven
~~Marlborough City Clerk~~
Marlborough City Clerk

Kerrigan

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Date

**CERTIFICATE OF VOTE
DEFINITIVE SUBDIVISION PLAN
76 BROAD STREET**

January __, 2021

Pursuant to MGL c. 41, s. 81 and the Planning Board's Rules and Regulations Governing the Subdivision of Land in Marlborough, the Planning Board of the City of Marlborough (the "Planning Board") hereby certifies that on January __, 2021 it voted to approve a Definitive Subdivision Plan for a Residential Subdivision for property located on 76 Broad Street owned by W.R.E., LLC as follows:

PROCEDURAL FINDINGS:

1. On September 9, 2020, an application (the "Application") was filed on behalf of the W.R.E., LLC with a principal place of business of 319 Stow Rd, Marlborough MA 01752 (the "Applicant" or "W.R.E."), pursuant to M.G.L. c. 41, § 81O, and the Planning Board's Rules and Regulations Governing the Subdivision of Land in Marlborough (the "Rules and Regulations"), seeking approval of a four (4) two family housing unit definitive subdivision plan as shown on a plan entitled "Definitive Subdivision Plan, Residential Subdivision and Site Development 76 Broad Street Marlborough, MA" prepared by Hancock Associates Inc., 315 Elm Street, Marlborough, Massachusetts, dated September 9, 2020 and last revised on [REDACTED] (the "Plan"), on land identified on the City of Marlborough's Assessor's Map ("Assessor's Map") as Map 68, Parcel 123, located on 76 Broad Street, owned by W.R.E., LLC, further identified in the Middlesex South District Registry of Deeds in Book 72215 Page 106 and consisting of 1.86 acres of land ("Development").
2. The Planning Board provided copies of the Application to other City boards and commissions, departments and officials including, but not limited to, the Board of Health, Building Commissioner, Conservation Commission, Department of Public Works, Fire Chief, City Engineer and City Solicitor.
3. The Board of Health submitted an email correspondence dated October 19, 2020 indicating that in its review the Board of Health was not opposed to the issuance of subdivision approval subsequent to review by the city engineer of the stormwater drainage design and calculations.
4. The Conservation Commission submitted a letter to the Board October 5, 2020 indicating that no Conservation Commission review will be required as there are no wetlands located within the proposed Development, but further requesting that

the drainage design meet the higher water quality standard as outlined in the Water Supply Protection District regulations as the property drains into Lake Williams, attention to ground water impact, in particular on any downhill properties, and inspection of the system during construction. The Conservation Commission also recommended the applicant prepare a full construction sequencing and erosion control plan and for the preservation of as many large trees as possible.

5. Pamela A. Wilderman, Code Enforcement Officer, submitted a letter dated October 20, 2020, in support of the subdivision due to enforcement actions in the rear of the site.
6. After notice and publication was provided pursuant to the applicable provisions of M.G.L. c. 41, § 81T of the Subdivision Control Law, and the applicable provisions of the Rules and Regulations, a public hearing on the Application commenced on September 14, 2020, September 21, 2020, and October 19, 2020. The Planning Board closed the public hearing on October 19, 2020.
7. Planning Board members Barbara Fenby, Sean Fay, Phillip Hodge, George LaVenture, Christopher Russ, and Matthew Elder were present for the public hearing.
8. The Plan was further amended on [REDACTED] and [REDACTED] to incorporate details and to address the comments and requirements of City Engineer Thomas DiPersio and the Planning Board.
9. Planning Board members Barbara Fenby, Sean Fay, Phillip Hodge, George LaVenture, Christopher Russ, and Matthew Elder deliberated on the Application at duly authorized meetings on October 19, 2020, November 16, 2020, December 21, 2020, January 11, 2021, and January __, 2021.

PROJECT FINDINGS:

1. The subject property consists of one (1) lot owned by W.R.E. identified on the City Assessors Maps as follows: Map 68, Parcel 123.
2. In seeking approval of the amended Plan, the Applicant proposes to build four (4) two (2) family homes, subject to conditions set forth below.
3. The Development, as governed by the conditions set forth in this Certificate of Vote, is consistent with the applicable provisions of the Subdivision Control Law and the Rules and Regulations.
4. The Applicant has represented to the Board that the Development, as governed by the conditions of this Certificate of Vote, will not present a public safety hazard to the City or surrounding properties.

WAIVERS:

After the public hearing and deliberations on the amended Plan, the Planning Board did on January ____, 2021, by a vote of ____ in favor and ____ opposed, grant the following waivers to the Rules and Regulations, in connection with the Plan, as amended (citations below are to the Marlborough City Code, Chapter A676, entitled "Subdivision Regulations"):

1) Section A676-12 Streets, § B.(5) Alignment

REQUIRED: Property lines at street intersections shall have a radius equal to 30 feet at intersections involving a major street and 25 feet at other intersections.

ALLOWED: Right-of-way lines as shown on "Lotting Plan."

2) Section A676-12 Streets, § C.(1)(a) Width

REQUIRED: 50 feet for all secondary roads.

ALLOWED: Right-of-way width of 49.2 feet at STA1+75. Right-of-way lines as shown on "Lotting Plan."

3) Section A676-12 Streets, § D.(3): Grade

REQUIRED: Where changes in grade exceed 1%, reasonable vertical curves, as required by the Commissioner of Public Works, will be provided..."

ALLOWED: Grade break at proposed crosswalk from 2% to 4.9%.

4) Section A676-20: Sidewalks, grass plots, trees

REQUIRED: See cross sections in Appendix F" "Typical cross section #1: Secondary residential street.

ALLOWED: 3' Landscaping strip between curb and sidewalk, sidewalk with no curb reduced to 5.5-foot width. Varied tree locations.

5) Section A676-23 General, § A

REQUIRED: No street of way through private property shall be accepted by the city unless the same be previously constructed and completed in accordance with the standard cross section

ALLOWED: Right-of-way deviates from standard cross-section, see item 4 above

6) Section A676-24 Streets and roadway, § B

REQUIRED: Roadways shall be constructed for the full length of all streets within the subdivision and shall have the same curb radius required in § A676-12B above"(30 Feet)

ALLOWED: Curb radius at western corner of intersection =25 feet. Curb radius at Eastern corner of intersection = 22 feet.

7) Section A676-28. Trees, § A

REQUIRED: Street trees of a species approved by the city forester shall be planted on each side of each street in a subdivision, except where the definitive plan showed trees to be retained which are healthy and adequate. Such trees shall be located outside of the right-of-way as shown in the profile and standard cross section plans, Appendix F, approximately at forty-foot intervals, and shall be at least 12 feet in height and a minimum of three-inch caliper.

ALLOWED: Street trees as shown on "landscape Plan".

The Planning Board granted these waivers after determining that such action is in the public interest and not inconsistent with the intent and purpose of the Subdivision Control Law and with the Rules and Regulations.

CONDITIONS:

The Planning Board on January __, 2021, by a vote of __ to __, approved the Plan, as amended, as described above, subject to the following conditions:

1. Prior to their installation, all final landscaping, signage and/or improvements within the subdivision road's right of way shall be approved by the City Engineer.
2. The Applicant shall comply with all conditions of the Marlborough Conservation Commission, as set forth in any Order of Conditions for the Development.
3. The Applicant shall provide for a Performance Guarantee, in a manner acceptable to the Planning Board, to ensure that the required improvements will be constructed and/or installed in accordance with the approved Plan.
4. The Applicant shall record at the Middlesex South District Registry of Deeds an executed copy of this Certificate of Vote and of the approved Plan, and shall forthwith provide those copies to the Planning Board and the Solicitor's office.
5. Any future change, modification or amendment to the approved Plan, as may be approved by the Planning Board, shall be in accordance with the requirements of M.G.L. Chapter 41, § 81W.
6. All conditions herein shall apply to Applicant, its successors and assigns, and to its successors in title to the Development.

RECORD OF VOTE:

The following members of the Planning Board voted on January __, 2021 to approve the Plan, as amended:

Barbara L. Fenby, Chair

Sean N. Fay

George LaVenture, Clerk

Matthew Elder

Philip J. Hodge

Christopher Russ

CERTIFICATE

I hereby certify that twenty (20) days have elapsed since the filing of the above-referenced Certificate of Vote in the Office of Marlborough City Clerk on January __, 2021, and that no notice of an appeal of that decision has been timely filed with said Office.

A True Copy Attest: _____

Steven Kerrigan
Marlborough City Clerk

Date

From: [Timothy Collins](#)
To: [George LaVenture](#); [Christopher Russ](#)
Cc: [Thomas DiPersio](#); [Krista Holmi](#); [Jason Piques](#)
Subject: Planning Board - cross-sections
Date: Thursday, January 21, 2021 10:57:47 AM
Attachments: [APPENDIX F Proposed changes TFC 01-21-21.pdf](#)
[Cross-sections updated 01-21-21.pdf](#)
[CU-Structural Soil.pdf](#)

Revised and distributed, as requested.

Appendix F changes:

- Added language to Structural Soil, noting CU-Structural Soil™ is a proprietary product that can only be supplied by a qualified AMEREQ-licensed company
- Defined INDUSTRIAL/Commercial Street as “roadways serving lots in an Industrial/Commercial zone, where truck traffic is considerably greater than a residential area”.

Cross-section changes:

- Commercial/Industrial cross-section (#4) – pavement thickness = 7 inches: 5” base course, 2-1/2” binder course and 1-1/2” top course
- Pavement thickness language modified on all other cross-sections: 2-1/2” binder course and 1-1/2” top course
- Structural Soil language modified:
 - removed “OR EQUAL”.
 - added Trade Mark symbol.
 - Added dimensional requirements, “Centered – 5’ x 10’ Area”
- Added language to Electric-Telephone-Cable underground wires – requiring “(Placed in Conduit)” – added, after discussion with Tom regarding an older subdivision where electric outages may be due to broken underground electric services, having not been placed in conduit but were installed as “direct burial”.
- CU-Structural Soil™ - this document can be added to the Planning Board Rules and Regulations – Appendices, as a reference document.

Timothy F. Collins
Marlborough D.P.W.
Assistant City Engineer
 tcollins@marlborough-ma.gov
 Office (508) 624-6910 Ext. 332003
 Cell (774) 463-9023

APPENDIX F

TYPICAL CROSS SECTIONS

in accordance with the requirements of Section V.

All plan submittals shall use "Cross-section #1 - Secondary Residential Street" included in this Appendix, as a basis of design unless another typical section is approved in writing by the Marlborough Planning Board.

1. Granite curb inlets (6'x6"x18") shall be utilized at all catch basins.
2. Generally, main surface water drain lines shall be placed on the high side of the road and all other utility located respectively in accordance with the typical sections.
3. Water and sewer utilities shall be installed in accordance with the requirements of the Marlborough Department of Public Works.
4. Excavations and backfilling of utilities shall be in accordance with the requirements of the Marlborough Department of Public Works.
5. Design of utilities and structures shall meet the latest MassDOT State standards and local D.P.W. regulations, as applicable.
6. Underground electric-telephone-cable wires shall be placed on the opposite side of the street from the water main, in the sidewalk area
7. Where the gas main cannot be placed with 5 feet of horizontal separation from other utilities, it shall be placed in the sidewalk area opposite the electric-telephone-cable wires.
8. Wheelchair ramps shall comply with the requirements of 521 CMR: Architectural Access Board and Department of Justice – Americans with Disabilities Act.
9. All curbing shall be vertical granite curbing measuring 4" x 18" x 6' in length, unless along a curve with a radius of 50 feet or less, where a length of 3 feet (minimum) is allowed.
10. Grade and Alignment stakes shall be set and maintained for each utility and for the road construction.
11. A 10-foot wide Municipal Landscape Easement, abutting the roadway layout, is required.
12. CU-Structural Soil™ must be used for planting street trees planted, when planted in the area between the curbing and sidewalks. CU-Structural Soil™ is a proprietary product that can only be supplied by a qualified AMEREQ-licensed company.

APPENDIX F**TYPICAL CROSS SECTIONS****Typical Cross-Sections - Applications**

#1 – Secondary Street (50' layout, 28' pavement width & grass strip between curbing and sidewalk) – defined as a street which in the opinion of the Planning Board “is used primarily to provide access to abutting lots”, the cross-section allows for staggered tree placement on either side of the sidewalk, structural soil for tree planting/infiltration and decreased snow placement on the sidewalk from plowing.

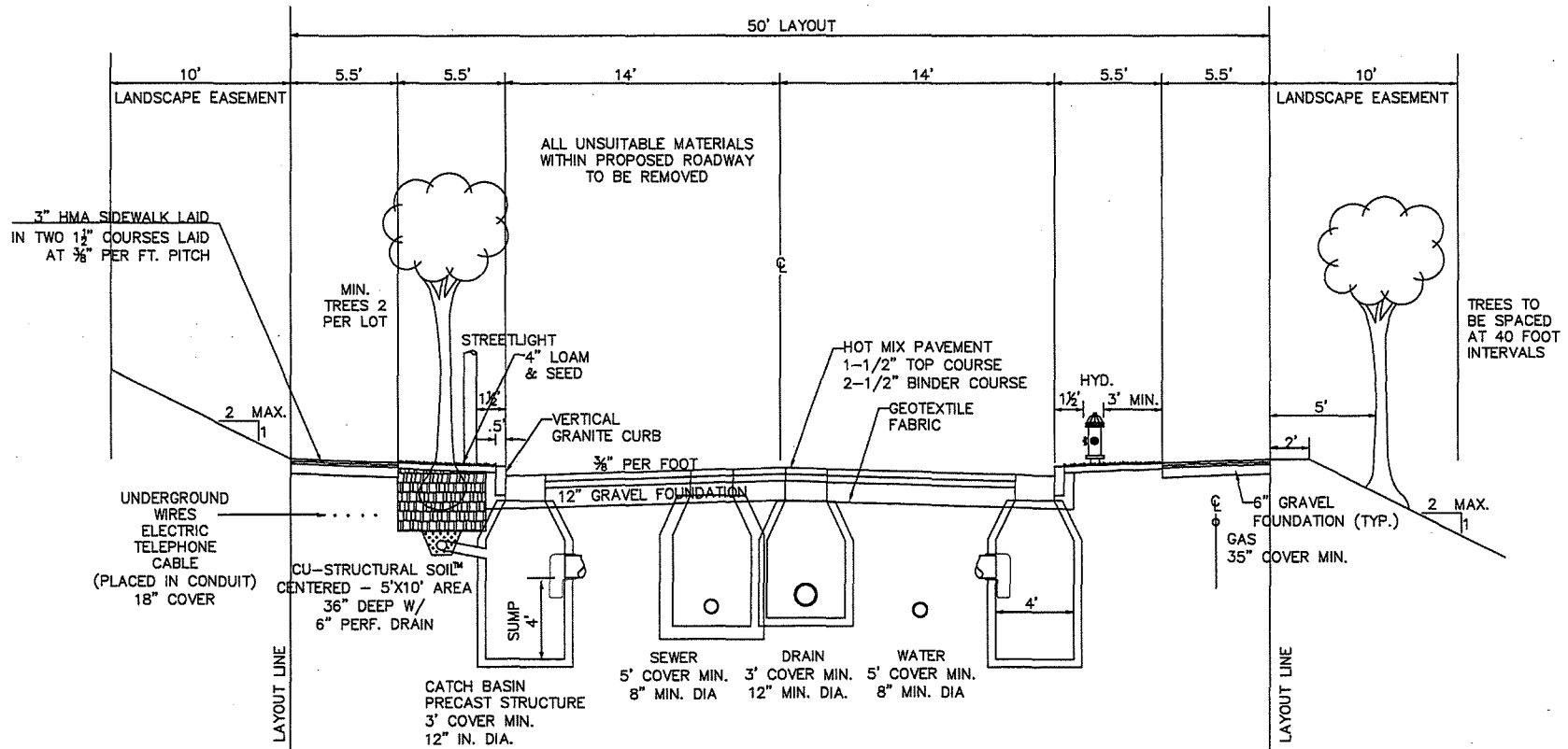
#2 – Major Residential Street (50' layout, 38' of pavement) – defined as a street which in the opinion of the Planning Board “is being used or will be used as a thoroughfare between different portions of the City of Marlborough or which will otherwise carry a heavy volume of traffic”.

#3 – Secondary Residential Street (40' layout, 28' pavement width) – defined as a street which in the opinion of the Planning Board “is used primarily to provide access to abutting lots”. This cross-section requires a waiver from the Planning Board for a reduced Right-of-Way width.

#4 – Industrial/Commercial Street (60' layout, 44' pavement width) – for roadways serving lots in an Industrial/Commercial zone, where truck traffic is considerably greater than a residential area – as determined by the Planning Board.

#5 – Lane Status (50' layout, 26' pavement width) – Lane Status is defined as, in the opinion of the Planning Board, “a secondary street which serves as access to no more than eight potential dwelling units, has lot frontages averaging 150 feet or more, and is incapable of extension’.

—TYPICAL CROSS SECTION—



MAINTAIN 10' MIN. HORIZONTAL SEPARATION BETWEEN SEWER & WATER
 MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN ALL OTHER UTILITY PIPES
 MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN ALL UTILITY STRUCTURES
 MAINTAIN 1' MIN. VERTICAL SEPARATION BETWEEN ALL UTILITIES

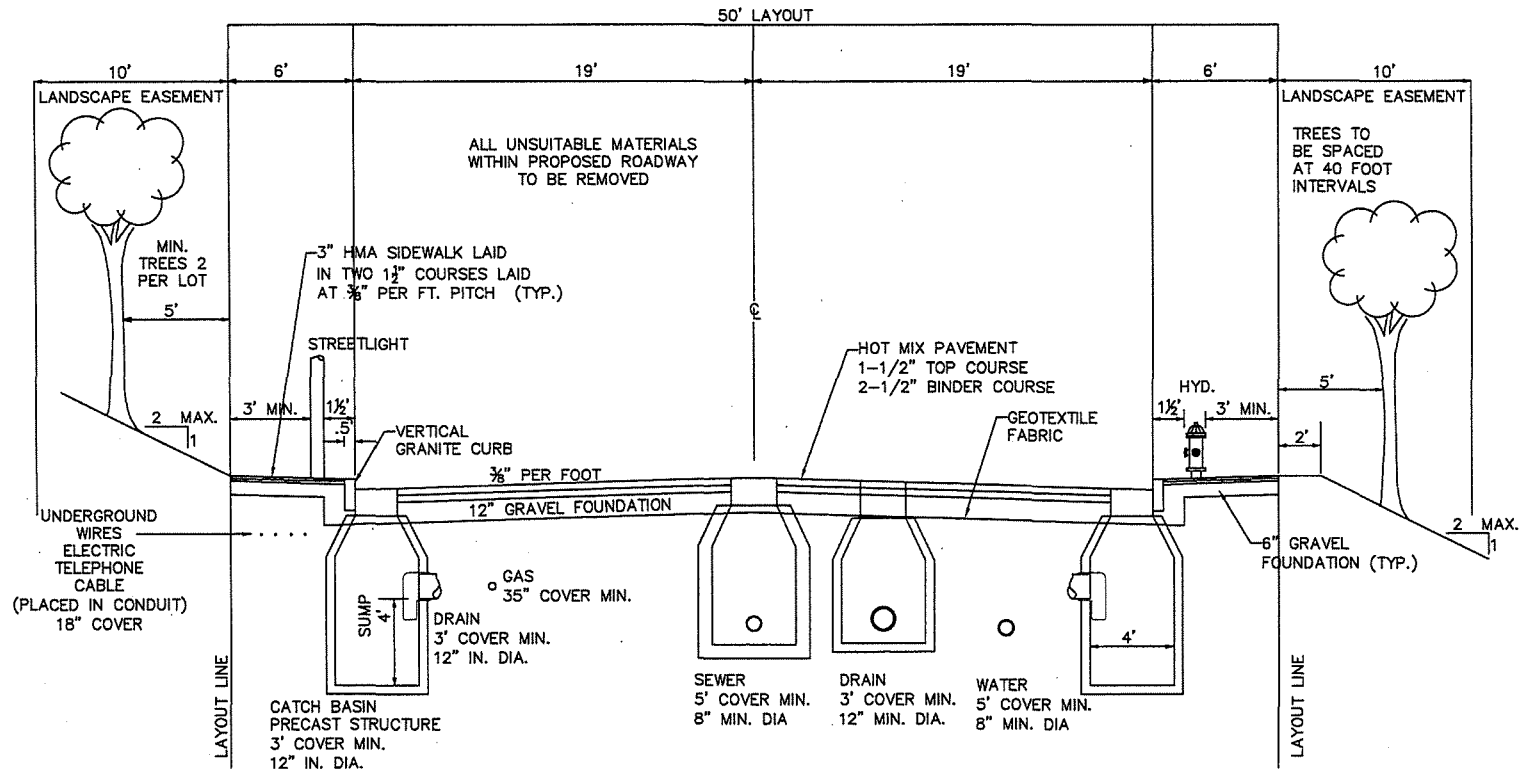
#1

SECONDARY RESIDENTIAL STREET — 50' R.O.W. — 28' PAVEMENT WIDTH

USED PRIMARILY TO PROVIDE ACCESS TO ABUTTING LOTS

PREFERRED STANDARD
 N.T.S.

—TYPICAL CROSS SECTION—



MAINTAIN 10' MIN. HORIZONTAL SEPARATION BETWEEN SEWER & WATER
MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN ALL OTHER UTILITY PIPES
MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN ALL UTILITY STRUCTURES
MAINTAIN 1' MIN. VERTICAL SEPARATION BETWEEN ALL UTILITIES

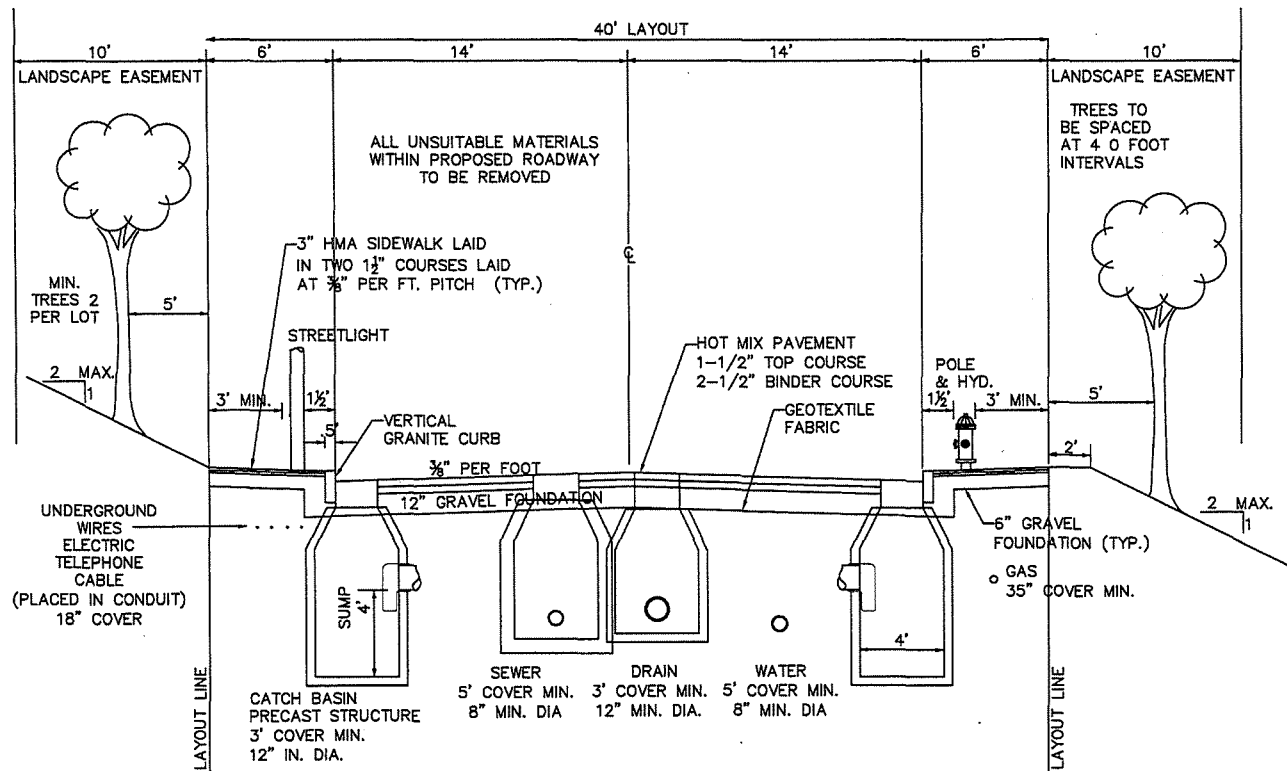
#2

MAJOR RESIDENTIAL STREET — 50' R.O.W. — 38' PAVEMENT WIDTH

STREET TO BE USED AS A THOROUGHFARE BETWEEN DIFFERENT
PORTIONS OF THE CITY OR WHICH WILL A HEAVY VOLUME OF TRAFFIC

AS DETERMINED BY THE PLANNING BOARD
N.T.S

—TYPICAL CROSS SECTION—

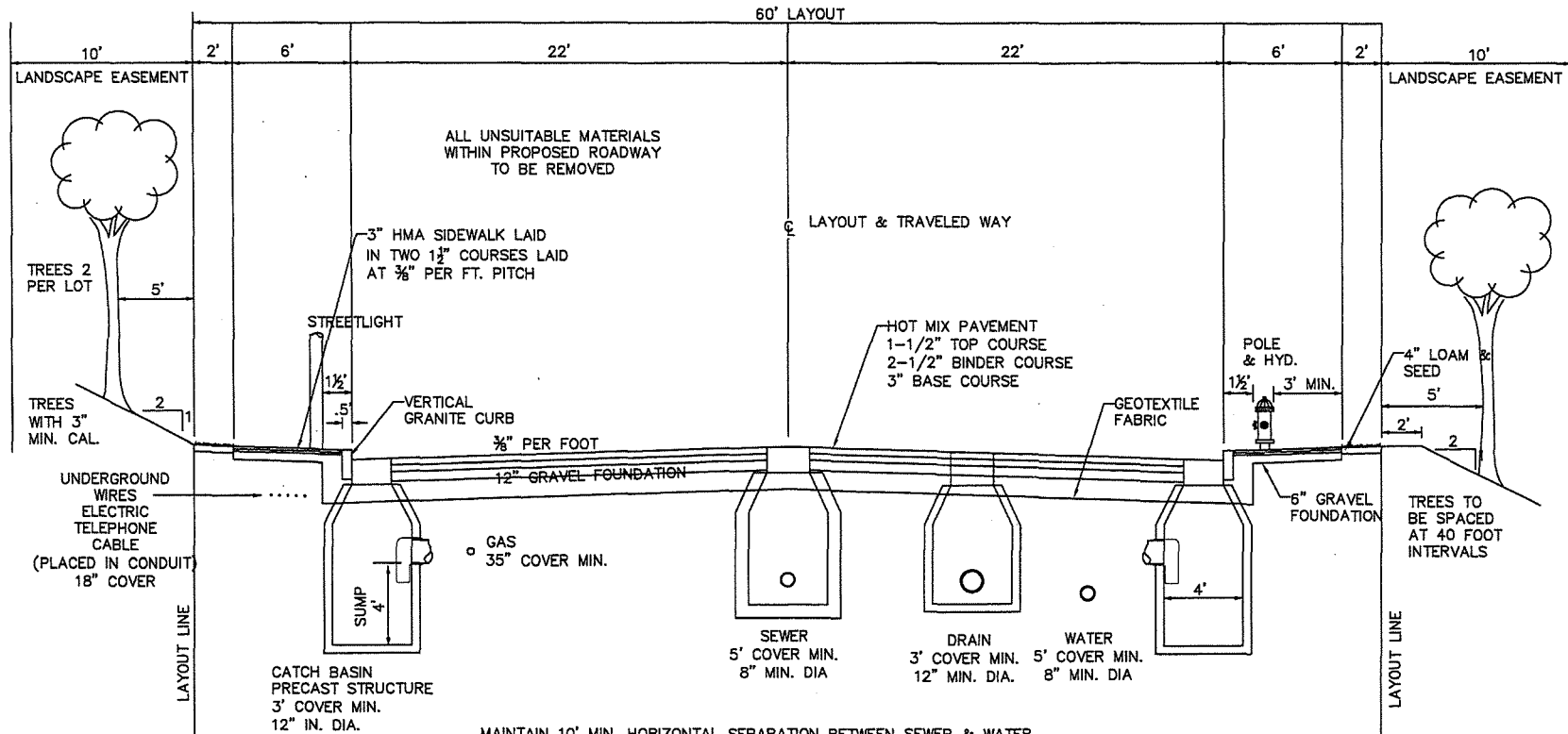


MAINTAIN 10' MIN. HORIZONTAL SEPARATION BETWEEN SEWER & WATER
 MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN ALL OTHER UTILITY PIPES
 MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN ALL UTILITY STRUCTURES
 MAINTAIN 1' MIN. VERTICAL SEPARATION BETWEEN ALL UTILITIES

#3

SECONDARY RESIDENTIAL STREET — 40' ROW — 28' PAVEMENT WIDTH
 USED PRIMARILY TO PROVIDE ACCESS TO ADJUTING LOTS
 REQUIRES PLANNING BOARD WAIVER
 N.T.S

— TYPICAL CROSS SECTION —

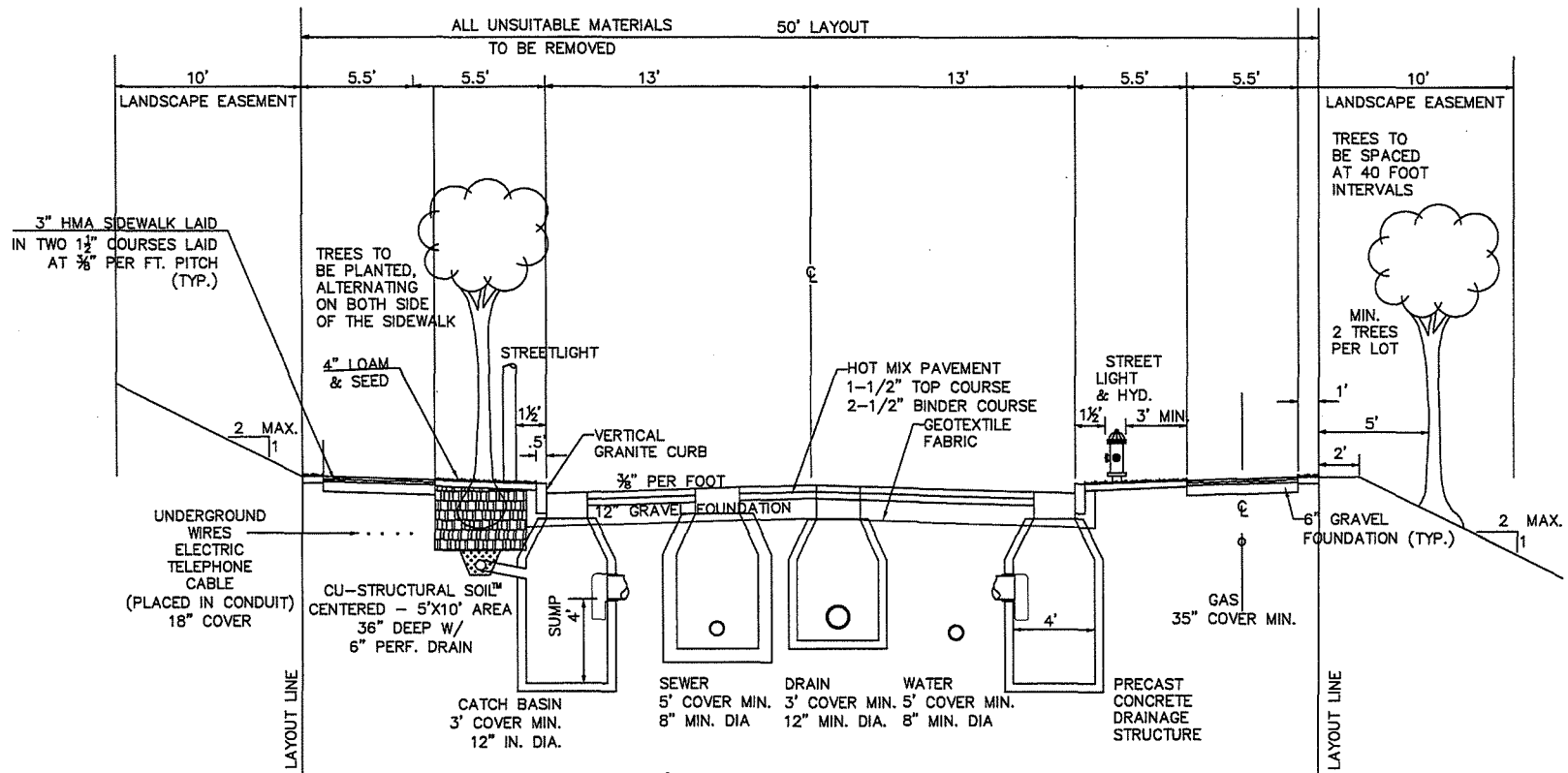


MAINTAIN 10' MIN. HORIZONTAL SEPARATION BETWEEN SEWER & WATER
 MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN ALL OTHER UTILITY PIPES
 MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN ALL UTILITY STRUCTURES
 MAINTAIN 1' MIN. VERTICAL SEPARATION BETWEEN ALL UTILITIES

#4

MAJOR RESIDENTIAL STREET — 60' R.O.W. — 38' PAVEMENT WIDTH
 STREET TO BE USED AS A THOROUGHFARE BETWEEN DIFFERENT PORTIONS OF THE CITY OR WHICH WILL A HEAVY VOLUME OF TRAFFIC
 AS DETERMINED BY THE PLANNING BOARD
 N.T.S.

—TYPICAL CROSS SECTION—



MAINTAIN 10' MIN. HORIZONTAL SEPARATION BETWEEN SEWER & WATER
MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN ALL OTHER UTILITY PIPES
MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN ALL UTILITY STRUCTURES
MAINTAIN 1' MIN. VERTICAL SEPARATION BETWEEN ALL UTILITIES

#5

"LANE" STATUS 50' ROW - 26' PAVEMENT WIDTH

SECONDARY STREET SERVING NO MORE THAN 8 POTENTIAL DWELLING UNITS, HAS LOT FRONTAGES AVERAGING 150 FEET OR MORE AND IS INCAPABLE OF EXPANSION

N.T.S.