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CITY OF MARLBOROUGH

2023 JUL 20 PM 1:30

CITY OF MARLBOROUGH

City Council Agenda

Monday, July 24, 2023

8:00 PM

This meeting of the City Council will be held in City Council Chambers, City Hall, 140 Main Street. **PUBLIC ATTENDANCE IS PERMITTED.** This meeting will be televised on WMCT-TV (Comcast Channel 8 or Verizon/Fios Channel 34), or you can view the meeting using the link under the Meeting Videos tab on the city website (www.marlborough-ma.gov).

1. Minutes, City Council Meeting, June 26, 2023.
2. PUBLIC HEARING on the Petition from Lightpath, to install underground cable in conduit and other equipment within the public way on Cedar Hill Street near D'Angelo Drive, Order No. 23-1008925.
3. PUBLIC HEARING on the Application for Special Permit from Rick Marino, Trustee on behalf of Marco Realty Trust, to expand a pre-existing nonconforming use pursuant to City Code Chapter 650 "Zoning" §12(B) at 13-15 Mechanic Street, Order No. 23-1008926.
 - a) Communication from Robert Cucchi, 107 Westminster Drive in support of the project.
 - b) Communication from RMA Management, 40 Mechanic Street in opposition of the project.
4. Communication from Councilors Ossing & Wagner, re: Municipal Aggregation – June 2023 Update.
5. Certification from Ward 4 Councilor Teona Brown as required under MGL Chapter 39 §23D ("Mullin Rule"), regarding the Application for a Wireless Special Permit from Kristen LeDuc on behalf of Dish Wireless to install three (3) Wireless Antennas and related equipment on the rooftop at 2 Mount Royal Avenue, Order No. 23-1008913.
6. Certification from Ward 4 Councilor Teona Brown as required under MGL Chapter 39 §23D ("Mullin Rule"), regarding the Application for Modification of Special Permit from Ralph Aronov on behalf of Green Gold Group, Inc., to amend the hours of operation, type of use, and to allow for internally illuminated signage at the adult use marijuana retail establishment located at 910 Boston Post Road East within the Wayside District, Order No. 20/23-1008062 (X 21-1008326 & 21-1008371).
7. Communication from the Mayor, re: Transfer Request in the amount of \$100,000.00 from Stabilization account to a new Homeless/Immigrant Population account for emergency related expenditures.
8. Communication from the Mayor, re: Grant Acceptances from the Executive Office of Public Safety & Security and State 911 Department as follows:
 - a) In the amount of \$199,964.00 to be used to offset personnel overtime costs in the Public Safety Dispatching Center.
 - b) In the amount of \$37,864.18 for equipment, quality assurance reviews of dispatch personnel and an offset of overtime costs.
 - c) In the amount of \$36,187.36 to be used to offset personnel training costs in the Public Safety Dispatching Center.

Electronic devices, including laptops, cell phones, pagers, and PDAs must be turned off or put in silent mode upon entering the City Council Chamber, and any person violating this rule shall be asked to leave the chamber. Express authorization to utilize such devices may be granted by the President for recordkeeping purposes.

9. Communication from the Mayor, re: Bond Request in the amount of \$4,925,000.00, for public safety communication upgrades.
10. Communication from the Mayor, re: Streets Acceptance information.
11. Communication from the Mayor, re: Acceptance of Deed -In-Lieu of Foreclosure concerning parcels of land located off Mosher Lane identified as Map 10, Parcel 41, Map 10, Parcel 82, Map 11, Parcels 3 & 40.
12. Communication from the Mayor, re: Proposed Amendment to the City Code, Chapter 125 "Personnel" §6 "Salary Schedule" and a Proposed Job Description pursuant to Chapter 125 "Personnel" §5 "Preparation of Classification Descriptions" to create a new position of Special Traffic Constable within the Police Department.
13. Communication from the Mayor, re: Proposed Amendments to the City Code, Chapter 125 "Personnel", §6 "Salary Schedule" and Proposed Job Descriptions pursuant to Chapter 125, "Personnel", §5 "Preparation of Classification Descriptions relative to positions for the Public Library, Assessors Office, and Public Facilities.
14. Communication from City Solicitor Jason Grossfield, re: Petition from Andrew Delli Carpini on behalf of Colbea Enterprises, LLC, for hours of operation of a gas station (Shell Station) at 342 Boston Post Road East pursuant to Chapter 342 of the Code, in proper legal form, Order No. 23-1008870
15. Communication from Assistant City Solicitor Jeremy McManus, re: Application for a Wireless Special Permit from Kristen LeDuc on behalf of Dish Wireless to install three (3) Wireless Antennas and related equipment on the rooftop at 2 Mount Royal Avenue, in proper legal form, Order No. 23-1008913.
16. Communication from Attorney Sem Aykanian on behalf of SUCIU LLC d/b/a Exela Storage, re: Request to Extend Time Limitations until 10:00 PM on December 31, 2023, on the Application for a Special Permit to add additional storage units to a nonconforming storage facility located at 846 Boston Post Road East within the Wayside District, Order No. 23-1008823B.
17. Application for Special Permit from George Voyiatzis, to convert an existing building into a multi-family residential building consisting of 17 residential units in the Neighborhood Business District at 358 Lincoln Street.
18. Petition from Massachusetts Electric and Verizon New England, to install two new joint owned Poles (Pole 22-25 & 22-26) on Forest Street approximately 1500' east of the centerline of the intersection of Forest Street and Sandini Road to serve a new building at 201 Forest Street.
19. Communication from Attorney Gemma Cashman on behalf of Trammell Crow Company, re: Proposed Amendment to City Code, Chapter 650 "Zoning" by adding a new section to create the "Sasseville Way Residential Overlay District".
20. Communication from MA Department of Public Utilities, re: Petition of MA Electric and Nantucket Electric d/b/a National Grid for Approval of a mid-term modification to its 2022-2024 Three-Year Energy Efficiency Plan.
21. Minutes of Boards, Commissions and Committees:
 - a) School Committee, June 13, 2023.
 - b) Board of Assessors, July 1, 2022 & November 4, 2022.
 - c) Conservation Commission, June 1, 2023 & June 15, 2023.
 - d) Historical Commission, April 27, 2023 & May 18, 2023.
 - e) Planning Board, May 22, 2023.
 - f) Traffic Commission, April 26, 2023.

22. CLAIMS:

- a) Jessica Culkin, 9 Johansen Drive, other property damage and/or personal injury.
- b) Robert Gilliam, 18 Sandini Road, other property damage and/or personal injury.
- c) Peter Johnson, 29 Morrissey Road, pothole or other road defect.
- d) Stephanie & Brian Ramirez, 15 Greenwood Street, other property damage and/or personal injury.

REPORTS OF COMMITTEES:

UNFINISHED BUSINESS:

From Personnel Committee

23. **Order No. 23-1008883: Appointment of Robert Bourn, III as Plumbing and Gas Inspector for 3-year term from date of City Council confirmation pursuant to City Code Chapter 7, §79.**

Recommendation of the Personnel Committee is to APPROVE.

On a motion by Councilor Doucette, seconded by Chair, the committee voted to recommend approval of the appointment of Robert Bourn, III as Plumbing and Gas Inspector for a 3-year term from the date of City Council confirmation pursuant to City Code Chapter 7, §79. Vote 3-0.

24. **Order No. 23-1008884: Appointment of John Cain as Wiring Inspector for a 3-year term from the date of City Council confirmation pursuant to City Code Chapter 473 §1.**

Recommendation of the Personnel Committee is to APPROVE.

On a motion by Councilor Doucette, seconded by Chair, the committee voted to recommend approval of the appointment of John Cain as Wiring Inspector for a 3-year term from the date of City Council confirmation pursuant to City Code Chapter 473 §1. Vote 3-0.

25. **Order No. 23-1008885: Appointment of Patrick Hughes to the Planning Board for a 5-year term to expire on February 1, 2028.**

Recommendation of the Personnel Committee is to APPROVE.

On a motion by Councilor Doucette, seconded by Chair, the committee voted to recommend approval of the appointment of Patrick Hughes to the Planning Board for a 5-year term to expire on February 1, 2028. Vote 3-0.

26. **Order No. 23-1008900: Appointment of Jonathon Friedman to the Commission on Disabilities for 3-year term from date of City Council confirmation.**

Recommendation of the Personnel Committee is to APPROVE.

On a motion by Councilor Doucette, seconded by Chair, the committee voted to recommend approval of the appointment of Jonathon Friedman to the Commission on Disabilities for 3-year term from the date of City Council confirmation. Vote 3-0.

Councilors-at-Large

Mark A. Oram
Michael H. Ossing
Samantha Perlman
Kathleen D. Robey



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Ward Councilors

Ward 1 – Laura J. Wagner
Ward 2 – David Doucette
Ward 3 – J. Christian Dumais
Ward 4 – Teona C. Brown
Ward 5 – John J. Irish
Ward 6 – Sean A. Navin
Ward 7 – Donald R. Landers, Sr.

Council President

Michael H. Ossing

Council Vice-President

Kathleen D. Robey

**CITY OF MARLBOROUGH
CITY COUNCIL
MEETING MINUTES
MONDAY, JUNE 26, 2023**

The regular meeting of the City Council was held on Monday, June 26, 2023, at 8:00 PM in City Council Chambers, City Hall. City Councilors Present: Ossing, Wagner, Doucette, Dumais, Irish, Navin, Landers, Oram, Perlman & Robey. Absent: Brown. Meeting adjourned at 8:50 PM.

Council President Ossing expressed the sorrow of the City Council on the passing of former Ward 5 City Councilor John H. Frey, Jr. the youngest Councilor elected, and a moment of silence was observed in his memory.

Motion by Councilor Dumais, seconded by the Chair to adopt the following:

ORDERED: That the Minutes of the City Council meeting, June 5, 2023, **FILE**; adopted.

Motion by Councilor Dumais, seconded by the Chair to adopt the following:

ORDERED: That the Minutes of the Special City Council meeting, June 12, 2023, **FILE**; adopted.

That the PUBLIC HEARING on the Application for a Wireless Special Permit from Kristen LeDuc on behalf of Dish Wireless to install three (3) Wireless Antennas and related equipment on the rooftop at 2 Mount Royal Avenue, Order No. 23-1008913, all were heard who wish to be heard, hearing closed at 8:06 PM, adopted.

Councilors Present: Wagner, Doucette, Dumais, Irish, Navin, Landers, Oram, Ossing, Perlman & Robey.

Councilors Absent: Brown.

That the PUBLIC HEARING on the Application for Modification of Special Permit from Ralph Aronov on behalf of Green Gold Group, Inc., to amend the hours of operation, type of use, and to allow for internally illuminated signage at the adult use marijuana retail establishment located at 910 Boston Post Road East within the Wayside District, Order No. 20/23-1008062E (X 21-1008326 & 21-1008371), hearing closed at 8:28 PM, adopted.

Councilors Present: Wagner, Doucette, Dumais, Irish, Navin, Landers, Oram, Ossing, Perlman & Robey.

Councilors Absent: Brown.

Motion by Councilor Dumais, seconded by the Chair to adopt the following:

ORDERED: That the Communication from the Mayor, re: Notification of appointment of ADA Compliance Officer, **FILE**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That the Communication from Assistant City Solicitor Jeremy McManus, re: Proposed Zoning Amendment to Chapter 650 "Zoning" §36 "Executive Residential Overlay District" (EROD) to increase the cap on the number of multifamily dwelling units allowed from 475 to 950, in proper legal form, Order No. 23-1008872, **MOVED TO REPORTS OF COMMITTEE & FILE**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That the Request for Approval for Replacement of two (2) Flat Wall Signs and a Free-Standing Sign, Fairfield Inn, 105 Apex Drive, within the Hospitality and Recreation Mixed Use Overlay District (HRMUOD), **APPROVED**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That the Communication from the Planning Board, re: Favorable Recommendation on the Proposed Zoning Amendment to Chapter 650 "Zoning" §36 "Executive Residential Overlay District" (EROD) to increase the cap on the number of multifamily dwelling units from 475 to 950, Order No. 23-1008872, **FILE**; adopted.

Motion by Councilor Irish, seconded by the Chair to adopt the following:

ORDERED: That the Cost of Living (COLA) Base be increased from \$12,000.00 to \$13,000.00 pursuant to MGL Chapter 32 §103(j) on the recommendation of the Retirement Board, **APPROVED**; adopted.

Motion by Councilor Oram, seconded by the Chair to adopt the following:

ORDERED: That the Communication from Central MA Mosquito Control Project, re: Personnel will be in the community responding to residents' concerns about mosquitos on various dates in July 2023, **FILE**; adopted.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That the Application for Taxi/Livery License from Tim Ending d/b/a Platinum Care Plus, to operate a Livery Service with one vehicle, 67 Forest Street, #267, referred to **PUBLIC SERVICES COMMITTEE**; adopted.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That there being no objection thereto set **MONDAY JULY 24, 2023**, as the **DATE FOR PUBLIC HEARING**, on the Petition from Lightpath, to install underground cable in conduit and other equipment within the public way on Cedar Hill Street near D'Angelo Drive, referred to the **PUBLIC SERVICES COMMITTEE**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That there being no objection thereto set **MONDAY JULY 24, 2023**, as the **DATE FOR PUBLIC HEARING**, on the Application for Special Permit from Rick Marino, Trustee on behalf of Marco Realty Trust, to expand a pre-existing nonconforming use pursuant to City Code Chapter 650 "Zoning" §12(B) at 13-15 Mechanic Street, referred to the **URBAN AFFAIRS COMMITTEE & ADVERTISE**; adopted.

Motion by Councilor Doucette, seconded by the Chair to adopt the following:

ORDERED: That the Minutes of following Boards, Commissions and Committees, **FILE**; adopted.

- a) School Committee, May 23, 2023.
- b) Council on Aging, May 9, 2023.
- c) Library Board of Trustees, September 6, 2022, January 3, 2023, February 7, 2023, March 7, 2023, & April 4, 2023.
- d) Planning Board, April 24, 2023 & May 8, 2023.

Motion by Councilor Perlman, seconded by the Chair to adopt the following:

ORDERED: That the following CLAIMS, referred to the **LEGAL DEPARTMENT**; adopted.

- a) Edward Mcmanus, 44 Queens View Road, other property damage and/or personal injury.
- b) Minh Tran, 21 Mohican Path, pothole or other road defect.

Reports of Committees:

Councilor Irish reported the following out of the Finance Committee:

**City Council Finance Committee
June 12, 2023
Minutes and Report**

The meeting convened at 7:10 PM in the Council Chamber and was open to the public. The meeting was televised on WMCT-TV (Comcast Channel 8/Verizon/Fios Channel 34) and available for viewing using the link under the Meeting Videos tab on the city's home page, www.marlborough-ma.gov.

Voting Members Present: Chair Irish, Councilors Dumais, Perlman, Brown and Oram.

Non-Voting Members Present: Councilors Ossing, Landers, Navin, Doucette, and Wagner. (Councilor Robey was absent.)

Order No. 23-1008908: Communication from Mayor Vigeant together with various transfer requests for Capital Improvement Projects in the total amount of \$1,598,076.10 from Free Cash to accounts associated with the City Clerk's Office, Marlborough Police and Fire Departments, Info Technologies Department, Department of Public Works, and the Department of Veterans' Services.

City Clerk Kerrigan, Police Chief Giorgi, IT Director Gibbs, DPW Commissioner Divoll and Asst. Commissioner Scott addressed the various transfer requests. Votes were taken separately as shown below:

On a motion by Councilor Perlman, seconded by Chair, the committee voted to recommend approval of the transfer of \$152,000.00 for new voting machines and booths in the City Clerk's Office. Vote 5-0

On a motion by Councilor Oram, seconded by Chair, the committee voted to recommend approval of the transfer of \$325,076.10 for three marked cruisers, 31 bullet proof vests and 60 new tasers. Vote 5-0

Reports of Committee Continued:

On a motion by Councilor Perlman, seconded by Chair, the committee voted to recommend approval of the transfer of \$380,000.00 for the IT Department to complete the firewall replacement and vital security enhancements for the city's network. Vote 5-0

On a motion by Councilor Oram, seconded by Chair, the committee voted to recommend approval of the transfer of \$25,000.00 to replace mattresses in the Fire Department. Vote 5-0

On a motion by Councilor Perlman, seconded by Chair, the committee voted to recommend approval of the transfer of \$15,000.00 to replace all 15 veteran square's signs with a good quality galvanized metal sign to include a photo of the honored veteran. Vote 5-0

On a motion by Councilor Oram, seconded by Chair, the committee voted to recommend approval of the transfer of \$701,000.00 to replace numerous vehicles and upgrade the wash bay equipment in the Department of Public Works. Vote 5-0

At the suggestion of President Ossing, the committee voted to support a Suspension of the Rules to approve the transfers at the City Council meeting on June 26, 2023.

Motion made and seconded to adjourn; meeting adjourned at 7:53 PM.

Councilor Dumais reported the following out of the Personnel Committee:

**City Council Personnel Committee
June 20, 2023
Minutes and Report**

This meeting convened at 7:00 PM in the City Council Chamber and was open to the public. The meeting was televised on WMCT-TV (Comcast Channel 8 or Verizon/Fios Channel 34) and available for viewing using the link under the Meeting Videos tab on the city's website, home page (www.marlborough-ma.gov).

Voting members: Chair Dumais, Councilors Navin and Doucette

Non-Voting members: Councilors Landers, Brown and Oram

Order No. 23-1008884: Communication from Mayor with appointment of John Cain as Wiring Inspector for a 3-year term from the date of City Council confirmation pursuant to City Code Chapter 473 §1.

On a motion by Councilor Doucette, seconded by Chair, the committee voted to recommend approval of the appointment of John Cain as Wiring Inspector for a 3-year term from the date of City Council confirmation pursuant to City Code Chapter 473 §1. Vote 3-0

Order No. 23-1008883: Communication from Mayor with appointment of Robert Bourn, III as Plumbing and Gas Inspector for 3-year term from date of City Council confirmation pursuant to City Code Chapter 7, §79.

On a motion by Councilor Doucette, seconded by Chair, the committee voted to recommend approval of the appointment of Robert Bourn, III as Plumbing and Gas Inspector for a 3-year term from the date of City Council confirmation pursuant to City Code Chapter 7, §79. Vote 3-0

Reports of Committee Continued:

Order No. 23-1008885: Communication from Mayor with appointment of Patrick Hughes to the Planning Board for a 5-year term to expire on February 1, 2028.

On a motion by Councilor Doucette, seconded by Chair, the committee voted to recommend approval of the appointment of Patrick Hughes to the Planning Board for a 5-year term to expire on February 1, 2028. Vote 3-0

Order No. 23-1008900: Communication from Mayor with appointment of Jonathon Friedman to the Commission on Disabilities for 3-year term from date of City Council confirmation.

On a motion by Councilor Doucette, seconded by Chair, the committee voted to recommend approval of the appointment of Jonathon Friedman to the Commission on Disabilities for 3-year term from the date of City Council confirmation. Vote 3-0

On a motion made and seconded, the meeting adjourned at 7:21 PM.

Councilor Landers reported the following out of the Public Services Committee:

**City Council Public Services Committee
June 20, 2023
Minutes and Report**

This meeting convened at 7:30 PM in the City Council Chamber and was open to the public. The meeting was televised on WMCT-TV (Comcast Channel 8 or Verizon/Fios Channel 34) and available for viewing using the link under the Meeting Videos tab on the city's website, home page (www.marlborough-ma.gov).

Voting members present were Chair Landers, Councilor Irish and Councilor Brown.

Also present were Councilors Ossing, Navin, Oram and Dumais.

DPW Commissioner Sean Divoll, Assistant DPW Commissioner Christopher LaFreniere and City Engineer Thomas DiPersio were present to address the proposed amendment to the sewer ordinance.

Order No. 23-1008842: Application for Renewal of Junk Dealer License, Best Buy Stores, LP #840, d/b/a Best Buy, 769 Donald Lynch Boulevard.

This renewal is postponed in committee as applicant was unable to attend due to time constraints.

Reports of Committee Continued:

Order No. 23-1008860: Communication from Council President Ossing together with proposed amendment to the City Code, Chapter 510 "Sewers" §2 "Use of Public Sewers".

Chair Landers read the letter from President Ossing regarding proposed changes to the sewer ordinance submitted by Councilors Ossing and Ward One Councilor Wagner. Councilor Ossing explained the intent of the amendment is to promote collaboration between homeowners and the DPW to find the sewer stub when being required to connect to the city's sewer system under the new ordinance. City Engineer DiPersio explained there are 425 +- parcels left to connect, 30 +- without plans. Assistant Commissioner LaFreniere further explained that, with good plans or without plans, contractors will still have extended exploration and excavation and using the camera is not always successful for various reasons, including shifting underground, crushed areas, etc. and that sometimes the best fix is to make a new connection. Councilors questioned DPW officials at length. Councilor Oram asked for more information regarding the number of 'troublesome' connections that have been reported since the new ordinance was adopted. DPW Commissioner Divoll stated the department could adopt a policy to use the camera to assist contractors and homeowners find the stub, in compliance with the existing ordinance. Councilor Ossing stated he would support postponing the proposed ordinance in committee while the DPW drafts a policy to assist contractors and homeowners find the stub.

Motion by Councilor Irish, seconded by Chair, to postpone in committee, pending receipt from the DPW of the list of sewer connections requested by Councilor Oram and the DPW Policy to assist contractors and homeowners find the sewer stub as suggested by DPW Commissioner Divoll. Vote 3-0

On a motion made, seconded, and approved, the meeting adjourned at 8:34 PM.

Councilor Robey reported the following out of the Urban Affairs Committee:

**City Council Urban Affairs Committee
June 14, 2023 – 7:30 PM
Minutes and Report**

The meeting convened at 7:33 PM in the Council Chamber and was open to the public. The meeting was televised on WMCT-TV (Comcast Channel 8/Verizon/Fios Channel 34) and available for viewing using the link under the Meeting Videos tab on the city's home page, www.marlborough-ma.gov.

Urban Affairs & Housing Committee voting members present: Chair Robey (arrived at 7:45 PM) Councilor Landers, Councilor Navin and Councilor Wagner. Councilor Doucette was absent.

Also present were Councilors Irish, Ossing, Dumais and Perlman.

Present for the applicant were Attorney Arthur Bergeron and Andrew Montelli, Post Road Residential, owner of property.

Order No. 23-1008872: Communication from Attorney Falk on behalf of Apartment Partners 2 LLC re: Proposed Zoning Amendment to Chapter 650 "Zoning" §36 "Executive Residential Overlay District" (EROD) to increase the cap on the number of multifamily dwelling units.

Reports of Committee Continued:

With the Chair and Vice-Chair absent, President Ossing called the meeting to order at 7:33 PM, stating the Chair would arrive soon. He explained that this Order is to change three items-language affecting the vote of Council for special permit under this section, increasing the number of dwelling units from 475 to 950 and adding mixed-use development as an allowed use in this district.

Mr. Montelli discussed the impact on public services to city of the current phase of project. He had a conversation with the city dispatch and was able to report minimal calls by both fire and police to the site. He also mentioned the taxes, stating that phases one and two have placed them vying for top taxpayer with Avalon and TJX and if phases three and four come online, the units would double and the taxes would double, making them far above other tax payers in city.

The Chair stated the Planning Board had held its public hearing on June 5th and read the letter from the Planning Board offering a favorable recommendation on the proposed amendments and listing their reasons for approval.

Councilors spoke favorably about the project and the development team and supported the increase of units and adding mixed-use. The Chair did ask if there was any further comment on the language amending the vote of special permits with the new language potentially changing it from two-thirds to a simple majority; Attorney Bergeron stated there was none. The Chair stated this would be looked at by the city Legal Department to determine if this site meets the definition of an "eligible location" as defined in MGL Chapter 40A, §1A.

Councilor Navin moved to recommend approval of the zoning changes, it was seconded and carried 4-0. The Chair will ask for a suspension of the rules to vote on the zoning amendment at the June 26th meeting.

The second item on the agenda was Order No. 23-1008721F: Proposed Ordinance amendments to Chapter 650 "Zoning" relative to certain provisions concerning mixed use and affordable housing.

The Chair stated that she had created a draft for the committee to review that included draft language submitted on April 10, 2023, with some new language added as well as language in Order No. 22/23-1008721C that was vetoed by Mayor adjusted with President Ossing's edits. The Solicitor had submitted some comments and Chair suggested the committee review that copy and go through the draft hoping to finish this preliminary review by 9:00 PM. Several comments and questions came up during the discussion. This remains in committee.

Councilor Wagner moved to adjourn; motion received a second and carried 4-0. The meeting adjourned at 9:08 PM.

Suspension of the Rules requested – granted.

Motion by Councilor Irish, seconded by the Chair to adopt the following:

ORDERED: That the Capital Transfer Request in the amount of \$1,598,076.10 which moves funds from Free Cash to Capital Outlay for various departmental needs as outlined, **APPROVED**; adopted.

Available Balance	Amount	FROM ACCOUNT:			Amount	TO ACCOUNT:			Available Balance
		Org Code	Object	Account Description:		Org Code	Object	Account Description:	
\$1,964,940.48	\$1,598,076.10	10000	35900	Undesignated Fund	\$152,000.00	19300006	56300	Capital Outlay-Voting Equip	\$0.00
	Reason:	To fund various capital requests				Polling equipment			
					\$325,076.10	19300006	58593	Capital Outlay-Police Dept	\$2,362.55
						Cruisers, vests, tasers			
					\$380,000.00	19300006	58618	Capital Outlay-IT	\$0.00
	Reason:					Firewall replacement			
					\$25,000.00	19300006	58512	Capital Outlay-Fire Dept	\$0.00
	Reason:					Mattresses			
					\$15,000.00	19300006	52750	Capital Outlay-Veterans	\$0.00
	Reason:					Galvanized square veterans signs			
					\$701,000.00	19300006	58731	Capital Outlay-DPW Equipment	\$58.57
	Reason:					DPW Equipment			
	\$1,598,076.10	Total			\$1,598,076.10	Total			

Suspension of the Rules requested – granted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: THAT, PURSUANT TO SECTION 5 OF CHAPTER 40A OF THE GENERAL LAWS, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH THAT CHAPTER 650 OF THE CODE OF THE CITY OF MARLBOROUGH, AS MOST RECENTLY AMENDED, BE FURTHER AMENDED AS FOLLOWS:

- I. By amending Chapter 650 (Zoning), Section 650-36 (Executive Residential Overlay District), Subsection C(1), to read as follows (new text shown as underlined):
 - (1) The City Council shall be the permit granting authority for special permits and site plan approvals in the EROD. Special permits shall require a two-thirds-vote of the City Council, except when only a simple majority vote is required pursuant to MGL c. 40A, § 9; site plan approvals shall require a simple majority vote.
- II. By amending Chapter 650 (Zoning), Section 650-36 (Executive Residential Overlay District), Subsection D(2), to read as follows (deleted text shown as ~~struck through~~, new text shown as underlined):

- (2) The following additional uses are permitted by special permit in the EROD:
- (a) Multifamily dwellings, provided that the total number of units within the entire EROD shall not exceed ~~475~~ 950.
 - (b) Restaurant, cafe with or without table service (including outside seating and service) without drive-through.
 - (c) Restaurant, cafe with or without table service (including outside seating and service) with drive-through, provided that said facilities have no dedicated driveway with a curb cut on a public way.
 - (d) Health, sports and fitness clubs (indoor and/or outdoor) and related facilities.
 - (e) Retail sales and services.
 - (f) Brew pubs.
 - (g) Distilleries with attached restaurants.
 - (h) Accessory solar energy installations, including but not limited to rooftop systems and solar parking canopies.
 - (i) Uses allowed by special permit in the underlying zoning district.
 - (j) Mixed-use development, consisting of a combination of by right or special permit residential/business uses as listed in this section (§650-36, et seq.).

III. The effective date of these amendments shall be the date of passage.

APPROVED.

First Reading, suspended; Second Reading, adopted; Passage to Enroll, adopted; Passage to Ordain; adopted. No objection to passage in one evening.

Motion by Councilor Dumais, seconded by the Chair to adopt the following:

ORDERED There being no further business, the regular meeting of the City Council is herewith adjourned at 8:50 PM; adopted.



IN CITY COUNCIL

Marlborough, Mass., JUNE 26, 2023

ORDERED:

That there being no objection thereto set **MONDAY JULY 24, 2023**, as the **DATE FOR PUBLIC HEARING**, on the Petition from Lightpath, to install underground cable in conduit and other equipment within the public way on Cedar Hill Street near D'Angelo Drive, be and is herewith referred to the **PUBLIC SERVICES COMMITTEE**.

ADOPTED

ORDER NO. 23-1008925



IN CITY COUNCIL

Marlborough, Mass., JUNE 26, 2023

ORDERED:

That there being no objection thereto set **MONDAY JULY 24, 2023**, as the **DATE FOR PUBLIC HEARING**, on the Application for Special Permit from Rick Marino, Trustee on behalf of Marco Realty Trust, to expand a pre-existing nonconforming use pursuant to City Code Chapter 650 "Zoning" §12(B) at 13-15 Mechanic Street, be and is herewith referred to the **URBAN AFFAIRS COMMITTEE & ADVERTISE**.

Ninety days after public hearing is 10/22/23 which falls on a Sunday, therefore 10/23/23 would be considered the 90th day.

ADOPTED

ORDER NO. 23-1008926

Steven Kerrigan

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

From: City Council
Sent: Monday, July 17, 2023 9:15 AM
To: Mike Ossing; Kathleen Robey; Samantha Perlman; Mark Oram; Karen Boule; Teona Brown; Christian Dumais; Sean Navin; Don Landers; David Doucette; John Irish; Laura Wagner; Donald Landers
Cc: Steven Kerrigan; Wilson Chu
Subject: From Robert Cucchi: Professional Automotive

2023 JUL 17 AM 9:39

From: Robert Cucchi
Date: July 16, 2023 at 1:06:10 PM EDT
To: "citycouncil@marlborough-ma.gov"
Subject: Professional Automotive

I have been reading that Professional has been denied a permit to expand their business to the former glass company next door their location. Why not let them expand and continue to serve the residents of Marlborough and other local communities ? I have been a customer to them for over 20 years and have always been treated with respect and their work has always been great.

My opinion of other permits that were granted was a mistake.

Rowe property will have 99 units with only 27 parking places. Where are these people going to park? When rain ,snow and very cold temperatures these people will have to walk some distance to their home.

I would not live there.

New apartments and retail are also being built at the corner of 20 and 85. This is a very small lot. Where are those people going to park.

I for one believe Professional who has been doing business in Marlborough for many years should be allowed to expand their business. More jobs could be created and the residents of Marlborough could benefit from their expansion.

Sent from Mail for Windows



RMA Management LLC

40 Mechanic St Ste 220
Marlborough, Ma 01752

(508) 485-1177
(508) 485-5106 FAX

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2023 JUL 20 AM 9:59

07/17/2023

Mr. Michael H. Ossing
President
Marlborough City Council
City of Marlborough
Marlborough, Massachusetts 01752

RE: 13-15 Mechanic Street, Marlborough MA

Dear President Ossing,

I am the manager of 40 Mechanic Street in Marlborough (MSQ Property LLC), an abutter of 13-15 Mechanic Street. We have received notice of 13-15 Mechanic Street's request for a special permit to operate an automotive repair business at 13-15 Mechanic Street.

We ask you to deny this request. We invested a great deal money redeveloping 40 Mechanic Street on the promise from the city that it was going to rezone the neighborhood so "automotive repair businesses" could no longer operate in this area of the city. Which they did.

Allowing this pre-existing non-conforming use to expand in the neighborhood would cause our property value to be diminished due to the specific unsightly use and its non-compatibility with ours and the on-going re-development changes now in process in the neighborhood.

Please vote **NO** to the special permit which would override the Building Commissioner's original determination of not granting a building permit.

Thank you,

David Depietri
Manager
MSQ Property LLC
RMA Management LLC



RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2023 JUL 11 PM 2:36

Marlborough City Council
Laura J. Wagner
Michael H. Ossing
140 Main Street
Marlborough, Massachusetts 01752
(508) 460-3711 TDD (508) 460-3610

July 10, 2023

Honorable Members
Marlborough City Council
City Hall
Marlborough, MA 01752

Re: Municipal Aggregation – June 2023 Update

Dear Honorable Members:

In accordance with Order No.19-1007578B, this correspondence informs the City Council of the first quarter 2023 savings from the approved fixed price contract with Inspire that will provide stability and predictability and on a yearly average be lower than the National Grid Fixed Basic Service Rates during the same period. The contract with Inspire runs through the January 2024 meter reads.

Colonial Power has compiled the first quarter 2023 data and the City residents saved \$5,106,720 in their electricity bills compared to the National Grid Basic Service rate. Refer to the table in Attachment 1 and the graph in Attachment 2.

As a reminder, the City contract with Inspire is 100% National Wind Renewable Energy Credits (RECs). The savings are even greater when compared to the National Grid Green options.

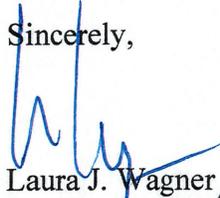
Looking ahead to the second quarter 2023, the City rate is lower than the National Grid Summer Basic Service rate of 0.14115 \$/kWh. This is significant as the City residents will continue to see savings over the National Grid Basic Service rate and the requirements in order 19-1007578B will be satisfied by “on a yearly average be lower than the National Grid Basic Service rates during the same time period.”

City Councilors as well as participants in the Municipal Aggregation program should be aware that it is unlikely the new contract in 2024 will have rates as low as the current 0.09390 \$/kWh. The Municipal Aggregation Committee is working with the Colonial Power Group to monitor market conditions and obtain new rates.

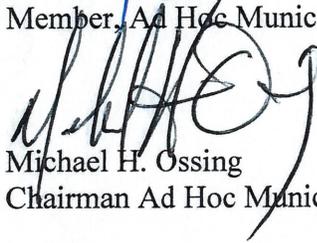
This information will be updated periodically and forwarded to the Councilors in accordance with Order 19-1007578B.

As Councilors, you can take pride in your decision to support Municipal Aggregation as we are saving our residents money on their electricity bills. Since November 2019, City residents have saved over \$14,980,000 on their electric bills with Inspire.

Sincerely,



Laura J. Wagner
Member, Ad Hoc Municipal Aggregation Committee



Michael H. Ossing
Chairman Ad Hoc Municipal Aggregation Committee

Attachment 1: Table showing Residential Savings with Inspire (2 pages)

Attachment 2: 1st quarter 2023 status report – Graph illustrating Marlboro aggregation savings

Attachment 1 (Page 1 of 2)

Table Showing Residential Savings with Inspire

Date	NGrid Basic Service Rate (\$/kW-hr)	City Rate (\$/kW-hr)	City Residential User Savings	City Residential Commercial Industrial Savings
Fourth Quarter 2019	Nov - .13957 Dec - .13957	Nov - .09690 Dec - .09690	\$550,815	\$693,006
First Quarter 2020	Jan - Mar .13957	Jan - Mar .09690	\$812,433	\$1,034,746
Second Quarter 2020	Apr - .13957 May - .09898 Jun - .09898	Apr - Jun .09690	\$250,320	\$196,841
Third Quarter 2020	Jul - Sept .09898	Jul - .09690 Aug - .09390 Sept - .09390	\$78,989	(-\$148,635)*
Fourth Quarter 2020	Oct - .09898 Nov - .12388 Dec - .12388	Oct - Dec .09390	\$482,513	\$564,251
First Quarter 2021	Jan - Mar .12388	Jan - Mar .09390	\$624,406	\$762,385
Second Quarter 2021	Apr - .12388 May - .09707 Jun - .09707	Apr - Jun .09390	\$187,609	\$129,809
Third Quarter 2021	Jul - Sept .09707	Jul - Sept .09390	\$64,802	(-\$60,875)*
Fourth Quarter 2021	Oct - .09707 Nov - .14821 Dec - .14821	Oct - Dec .09390	\$835,904	\$1,445,446
First Quarter 2022	Jan - Mar .14821	Jan - Mar .09390	\$1,101,166	\$1,818,032
Second Quarter 2022	Apr - .14821 May - .11491 Jun - .11491	Apr - Jun .09390	\$582,287	\$876,994
Third Quarter 2022	Jul - Sept .11491	Jul - Sept .09390	\$455,045	\$1,119,348
Fourth Quarter 2022	Oct - .11491 Nov - .33891 Dec - .33891	Oct - Dec .09390	\$3,871,616	\$6,299,805

Table Showing Residential Savings with Inspire

Date	NGrid Basic Service Rate (\$/kW-hr)	City Rate (\$/kW-hr)	City Residential User Savings	City Residential Commercial Industrial Savings
First Quarter 2023	Jan – Mar 0.33891	Jan – Mar .09390	\$5,106,720	\$8,304,304
Second Quarter 2023	Apr – 0.33891 May – 0.14115 Jun – 0.14115	Apr – Jun .09390	TBD	TBD
Third Quarter 2023	Jul – Sept 0.14115	Jul – Sept .09390		
Fourth Quarter 2023	Oct – 0.14115 Nov - TBD Dec - TBD	Oct – Dec .09390		
First Quarter 2024	Jan – Mar TBD	Jan - .09390		

- *National Grid sets different rate for commercial/industrial users that are not associated with the National Grid residential fixed Basic Service rate.
- Total residential savings from Inspire (November 2019 to March 2023) is over **\$14,980,000.**
- Total program savings (all rate classes) since inception in 2007 is over **\$26,855,000.**

**CITY OF MARLBOROUGH COMMUNITY CHOICE POWER SUPPLY PROGRAM
STATUS REPORT Q1 2023**

Prepared June 2023

This report has been prepared by Colonial Power Group with information/data being provided by the Competitive Supplier and National Grid. The purpose of the report is to provide information about the City of Marlborough's Community Choice Power Supply Program, which currently provides competitive power supply to approximately 13,800 customers in the City. The data provided by the Competitive Supplier is not available until three months after the month it is used. For example, power is *Used* in January, *Invoiced* in February, *Paid* in March and *Reported* in April.

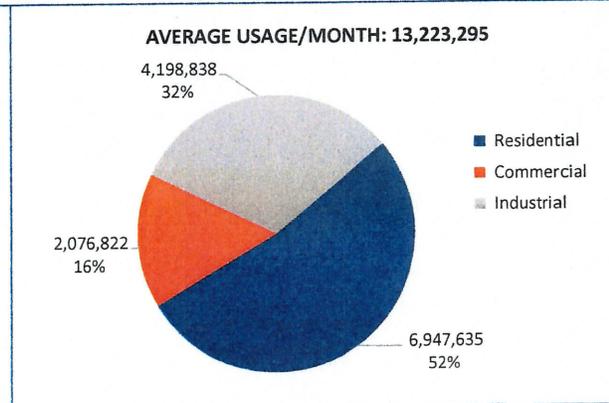
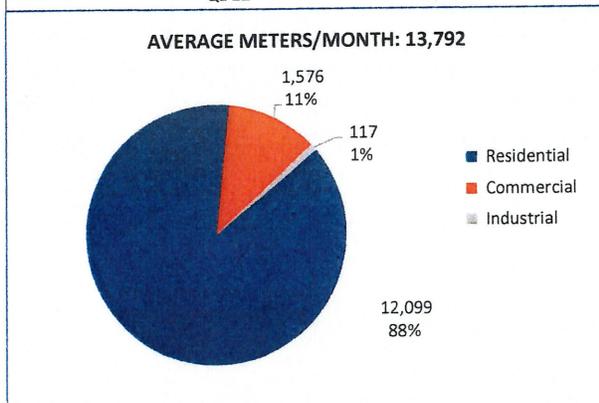
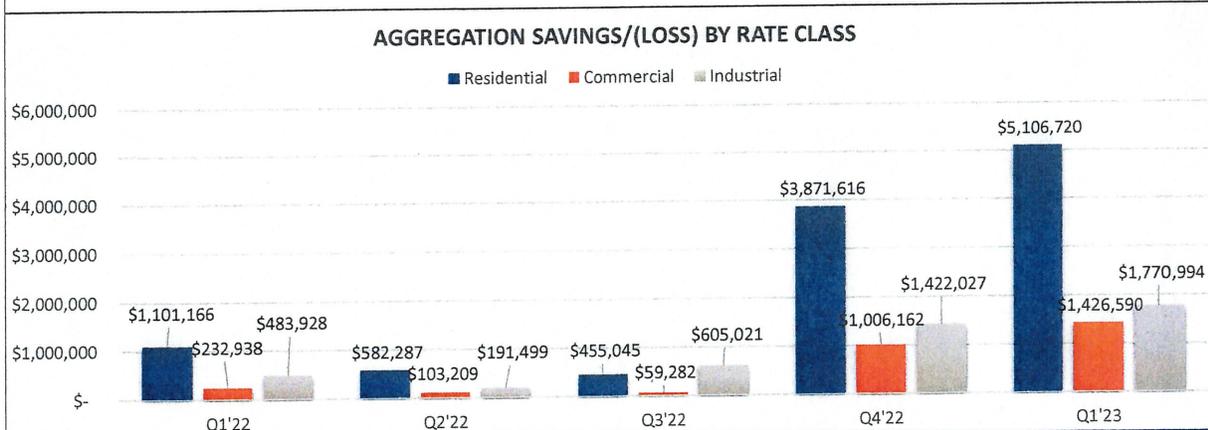
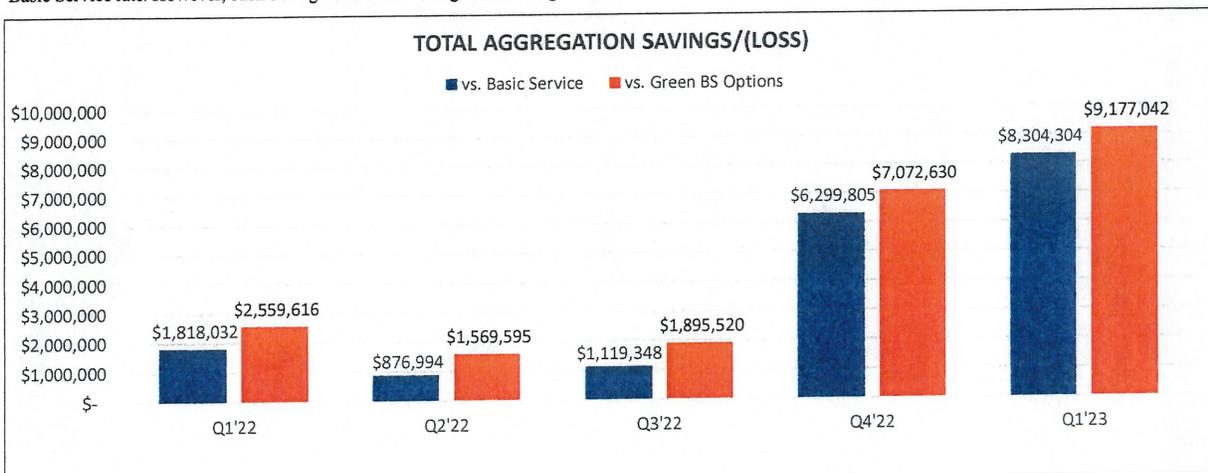
[Click here for more information about the Program](#)

PROGRAM RATES		
Term	November 2019 - August 2020	August 2020 - January 2024
Competitive Supplier	Inspire	Inspire
Standard (default)	\$0.09690 / kWh 100% National Wind RECs	\$0.09390 / kWh 100% National Wind RECs
Optional	N/A	N/A

COMPARISON TO NATIONAL GRID RATES

[Click here for NGRID GreenUp Info](#)

The City's aggregation savings are directly tied to the margin of savings between the Program's rates and National Grid's corresponding Basic Service rates as well as the level of consumption by participating consumers. Basic Service rates change twice a year or more, depending on utility and rate class. As a result, the aggregation rate may not always be lower than the Basic Service rate. The goal of the aggregation is to deliver savings over the life of the Program against the Basic Service rate. However, such savings and future savings cannot be guaranteed.



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CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

CERTIFICATION PURSUANT TO G. L. c. 39, SECTION 23D (MULLIN RULE)

I, Teona C. Brown, hereby do swear and certify under the pains and penalties of perjury as follows:

- 1. I am a member of the Marlborough City Council (council, board or commission).
- 2. I missed a single hearing session on the matter of the Order No. 23-1008913.

Special Permit Application of: Wireless Special Permit from Kristen LeDuc on behalf of Dish Wireless, which was held on June 26, 2023.

- 3. On June 26, 2023, I examined all the evidence and testimony received at the hearing session that I missed which included a review of (initial which one(s) applicable):
 - a. _____ official audio recording of the missed hearing session; or
 - b. x _____ official video recording of the missed hearing session; or
 - c. _____ official transcript of the missed hearing session.

This certification shall become a part of the record of the proceedings in the above matter.

Signed under the pains and penalties of perjury this 14th day of July, 2023.

Teona C Brown
Signature of Member

Received as part of the record of the above matter:

Date: July 17, 2023

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CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2023 JUL 17 10 08:00

CERTIFICATION PURSUANT TO G. L. c. 39, SECTION 23B (MULLIN RULE)

I, Teona C. Brown, hereby do swear and certify under the pains and penalties of perjury as follows:

1. I am a member of the Marlborough City Council (council, board or commission).
2. I missed a single hearing session on the matter of the Order No. 20/23-1008062E (X 21-1008326 & 21- 1008371). Special Permit Application of: Ralph Aronov on behalf of Green Gold Group, Inc.
3. On June 26, 2023, I examined all the evidence and testimony received at the hearing session that I missed which included a review of (initial which one(s) applicable):
 - a. _____ official audio recording of the missed hearing session; or
 - b. x official video recording of the missed hearing session; or
 - c. _____ official transcript of the missed hearing session.

This certification shall become a part of the record of the proceedings in the above matter.

Signed under the pains and penalties of perjury this 14th day of July, 2023.

Teona C Brown
Signature of Member

Received as part of the record of the above matter:

Date: July 17, 2023 



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CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2023 JUL 20 AM 11:50

City of Marlborough
Office of the Mayor

Thomas G. Vigeant
MAYOR

Patricia M. Bernard
CHIEF OF STAFF

140 Main Street
Marlborough, Massachusetts 01752
508.460.3770 Fax 508.460.3698 TDD 508.460.3610
www.marlborough-ma.gov

Jailyn Bratica
EXECUTIVE ADMINISTRATOR

July 20, 2023

Council President Ossing
Marlborough City Council
140 Main Street
Marlborough, MA 01752

RE: Transfer request to support initiatives re: homeless & immigrant population at local hotels

Honorable President Ossing and Councilors,

Enclosed is a transfer request in the amount of \$100,000.00 from the city's Stabilization account into a new Homeless/Immigrant Population account. These funds will be used for expenditures that may come up for City services needed during this unexpected emergency. I anticipate the state will be reimbursing municipalities for their expenses and will share additional information as we receive it.

Currently, we have 27 homeless families (90 individuals with 15 school aged children) in the Extended Stay and 33 immigrant families (113 individuals with 22 school aged children) in the Holiday Inn. As I am writing this letter, I was called by Secretary Ed Augustus Jr., 30 more families are on the way from Boston to the Holiday Inn.

One our biggest concerns is the number of school aged children and the lack of space in our schools. One of my goals is to provide English language skills to the immigrant population who are housed at the Holiday Inn to at the very least be able to communicate with the non-English speaking Haitians housed here, who only speak Creole. I also am currently investigating a hospitality program where adult immigrants and our unemployed homeless populations can be trained to enter the workforce. Marlborough has over 100 restaurants and 11 hotels who are all in need of additional staff and this type of program will benefit both employers, employees and getting the immigrant population employed.

We have been notified over seventy communities are dealing with this population with no end in sight. The Federal government needs to do their job and come up with a bi-partisan immigration policy to stop what is currently happening. Please join me in reaching out to Congresswoman Trahan, Senators Markey and Warren and ask them to take immediate action to come up with a federal solution. We also need to reach out to our state legislators to reverse the policy put in back in the 80's making Massachusetts a right to shelter state.

We all read regularly about the national and local housing crises and at this time we need to care for our current residents first before further worsening our housing supply.

The current programs are not working so I hope you will join me by signing the enclosed Resolution for our state and federal government to take action and improve our local programs and reform immigration.

Sincerely,



Arthur G. Vigeant
Mayor

Enclosure

CITY OF MARLBOROUGH
BUDGET TRANSFERS --

DEPT: Mayor

FISCAL YEAR: 2024

FROM ACCOUNT:

TO ACCOUNT:

Available
Balance

Amount

Org Code Object

Account Description:

Amount

Org Code Object

Account Description:

Available
Balance

\$19,218,186.56

\$100,000.00

83600 35900

Undesignated Stabilization

\$100,000.00

11990006 56005

Homeless Population

\$0.00

Reason:

To cover expenses associated with the homeless population staying at local hotels

Reason:

Reason:

Reason:

\$100,000.00

Total

\$100,000.00

Total

Department Head signature:

Auditor signature:

Finance Director signature:

Coselyn Smith
[Signature]

RESOLUTION FOR THE U.S. FEDERAL GOVERNMENT TO TAKE ACTION AND REFORM THE U.S. IMMIGRATION AND CITIZENSHIP PROGRAMS AND STATE LEGISLATURE TO DEVELOP A FAIR AND LONG-TERM SOLUTION FOR HOUSING HOMELESS AND MIGRANT FAMILIES

WHEREAS:

The Commonwealth of Massachusetts is experiencing a humanitarian crisis of migrant and homeless families, estimates of which are over 20,000 newly arriving illegal immigrants housed in over 70 communities while we are already experiencing a significant housing shortage; and,

WHEREAS:

Our state legislature needs to join the City of Marlborough to convince the United States Federal Government to take corrective action towards fixing today's Immigration and U.S. Citizenship programs; albeit our nation's policies need thoughtful bipartisan reform and timetables utilizing current resources while minimizing negative effects to our residents and taxpayers; and,

WHEREAS:

Open and continued communication and support between the social service organizations who are coordinating the programs of the Maura Healey Administration and the Massachusetts Executive Office of Housing and Livable Communities that use area hotels as housing for homeless and migrant families to ensure public safety for all residents; and,

WHEREAS:

The City of Marlborough is a diverse and dynamic community, made up of hardworking families of all ages, ethnicities, and backgrounds. The homeless and migrant families being placed in the City of Marlborough places a significant demand on our municipal and school services, and represents a significantly disproportionate responsibility for the City of Marlborough due to our hotel capacity compared to other Metro-West communities; and

RESOLVED

The Mayor and City Council formally asks Her Excellency, Governor Maura Healey, and the members of the Massachusetts General Court, to work collaboratively with cities and towns to develop first a reversal of the right to shelter state approved by the legislature in the 1980s and secondly create a long-term solution for housing homeless and migrant families that incorporates all Massachusetts municipalities, and further urges the members of the Massachusetts Congressional Delegation to set aside partisan differences and, for the good of the country, pass an immigration reform bill that encourages and expands legal immigration and deters families from entering the country illegally without any support structure.



City of Marlborough Office of the Mayor

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CITY OF MARLBOROUGH
2023 JUL 20 AM 11:50

Arthur G. Vigeant
MAYOR

Patricia Bernard
CHIEF OF STAFF

Failyn Bratica
EXECUTIVE ADMINISTRATOR

140 Main Street
Marlborough, Massachusetts 01752
508.460.3770 Fax 508.460.3698 TDD 508.460.3610
www.marlborough-ma.gov

July 20, 2023

City Council President Michael Ossing
Marlborough City Council
140 Main Street
Marlborough, MA 01752

RE: Public Safety and Security, FY2024 State 911 Grant Program

Honorable President Ossing and Councilors:

Enclosed are three grants for your acceptance from the Massachusetts Executive Office of Public Safety and Security.

1. \$199,964.00 from the FY24 State 911 Department Support and Incentive reimbursement grant to offset personnel overtime costs in the Public Safety Dispatching center
2. \$37,864.18 from the FY24 State 911 Department Emergency Medical Dispatch (EMD) Grant for equipment, quality assurance reviews of dispatch personnel and an offset of overtime costs for personnel
3. \$36,187.36 from the FY24 State 911 Department Training reimbursement grant to offset personnel training costs in the Public Safety Dispatching center

I would like to take this opportunity to express our gratitude to the Commonwealth of Massachusetts Executive Office of Public Safety and Security for their continued support.

Please do not hesitate to contact me or Police Chief David Giorgi with any questions.

Sincerely,

Arthur G. Vigeant
Mayor

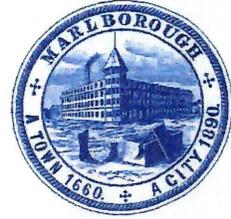
Enclosures



City of Marlborough

Police Department

355 Bolton Street, Marlborough, Massachusetts 01752
Tel. (508)-485-1212 Fax (508)-624-6938



David A. Giorgi
Chief of Police

June 27, 2023

Mayor Arthur G. Vigeant
City Hall
140 Main Street
Marlborough, MA 01752

Dear Mayor Vigeant:

The Marlborough Police Department has been awarded a grant in the amount of \$199,964.00 from the Commonwealth of Massachusetts, Executive Office of Public Safety and Security, FY2024 State 911 Department Support and Incentive Grant Program. The grant is a reimbursement grant which will be used to offset personnel overtime costs in the Public Safety Dispatching center.

Attached is a copy of the Notice of Grant Award, grant approval letter, and signed grant contract. I am requesting that the grant award be forwarded to the City Council for approval. Should you have any questions, please do not hesitate to call.

Sincerely,

A handwritten signature in black ink, appearing to read "David A. Giorgi".

David A. Giorgi
Chief of Police

**CITY OF MARLBOROUGH
NOTICE OF GRANT AWARD**

DEPARTMENT: Police Department DATE: June 27, 2023

PERSON RESPONSIBLE FOR GRANT EXPENDITURE: Chief David A. Giorgi

NAME OF GRANT: FY 2024 State 911 Department Support and Incentive Grant

GRANTOR: Commonwealth of Massachusetts

GRANT AMOUNT: \$199,964.00

GRANT PERIOD: July 1, 2023 to June 30, 2024

SCOPE OF GRANT/
ITEMS FUNDED To offset personnel overtime costs in the Public Safety Dispatching Center

IS A POSITION BEING
CREATED: N/A

IF YES: CAN FRINGE BENEFITS BE PAID FROM GRANT? _____

ARE MATCHING CITY
FUNDS REQUIRED? N/A

IF MATCHING IS NON-MONETARY (MAN HOURS, ETC.) PLEASE SPECIFY:
N/A

IF MATCHING IS MONETARY PLEASE GIVE ACCOUNT NUMBER AND DESCRIPTION OF CITY FUNDS
TO BE USED:
N/A

ANY OTHER EXPOSURE TO CITY?
N/A

IS THERE A DEADLINE FOR CITY COUNCIL APPROVAL: Approval requested ASAP to begin use of grant

**DEPARTMENT HEAD MUST SUBMIT THIS FORM, A COPY OF THE GRANT APPROVAL, AND A COVER
LETTER TO THE MAYOR'S OFFICE REQUESTING THAT THIS BE SUBMITTED TO CITY COUNCIL
FOR APPROVAL OF DEPARTMENT TO EXPEND THE FUNDS RECEIVED FOR THE PURPOSE OF THE GRANT**



The Commonwealth of Massachusetts
 EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY
STATE 911 DEPARTMENT
 151 Campanelli Drive, Suite A ~ Middleborough, MA 02346
 Tel: 508-828-2911 ~ TTY: 508-947-1455
www.mass.gov/e911



MAURA T. HEALEY
 Governor

TERRENCE M. REIDY
 Secretary

KIMBERLEY DRISCOLL
 Lieutenant Governor

FRANK POZNIAK
 Executive Director

June 16, 2023

Chief David A. Giorgi
 Marlborough Police Department
 355 Bolton Street
 Marlborough, MA 01752

Dear Chief Giorgi:

The Commonwealth of Massachusetts, State 911 Department would like to thank you for participating in the **FY 2024 State 911 Department Support and Incentive Grant** program.

For your files, attached please find a copy of the executed contract and the final approved Appendix A: Personnel Costs form for your grant. Please note your contract start date is **July 1, 2023** and will run through June 30, 2024. Please keep in mind that there shall be no reimbursement for costs incurred prior to the effective date of the contract and all goods and services **MUST** be received on or before June 30, 2024.

Reimbursement requests should be submitted to the Department within **thirty (30) days** of the date on which the cost is incurred. We have made the request for payment forms available on our website www.mass.gov/E911. For any questions related to this process, please contact Angela Pilling at 508-821-7305. Please note that funding of reimbursement requests received more than one (1) month after the close of the fiscal year under which costs were incurred cannot be guaranteed.

If, in the future, you would like to make any changes to the authorized signatory, the contract manager, and/or the budget worksheet, please e-mail those proposed changes to 911DeptGrants@mass.gov. Grantees are strongly encouraged to submit final, year-end budget modification requests on or before March 31, 2024.

Sincerely,

Frank P. Pozniak
 Executive Director

cc: FY 2024 Support and Incentive Grant File

FY 2024 SUPPORT AND INCENTIVE GRANT COMMONWEALTH OF MASSACHUSETTS ~ STANDARD CONTRACT FORM



This form is jointly issued and published by the Office of the Comptroller (CTR), the Executive Office for Administration and Finance (ANF), and the Operational Services Division (OSD) as the default contract for all Commonwealth Departments when another form is not prescribed by regulation or policy. The Commonwealth deems void any changes made on or by attachment (in the form of addendum, engagement letters, contract forms or invoice terms) to the terms in this published form or to the [Standard Contract Form Instructions and Contractor Certifications](#), the [Commonwealth Terms and Conditions for Human and Social Services](#) or the [Commonwealth IT Terms and Conditions](#) which are incorporated by reference herein. Additional non-conflicting terms may be added by Attachment. Contractors are required to access published forms at CTR Forms: <https://www.masscomptroller.org/forms>. Forms are also posted at OSD Forms: <https://www.mass.gov/lists/osd-forms>.

CONTRACTOR LEGAL NAME: City of Marlborough (and d/b/a): Marlborough Police Department		COMMONWEALTH DEPARTMENT NAME: State 911 Department MMARS Department Code: EPS	
Legal Address: (W-9, W-4): 40 New Street, Marlborough, MA 01752		Business Mailing Address: 151 Campanelli Drive, Suite A, Middleborough, MA 02346	
Contract Manager: David A. Giorgi	Phone: 508-485-1212	Billing Address (if different):	
E-Mail: dgiorgi@marlborough-ma.gov	Fax:	Contract Manager: Cindy Reynolds	Phone: 508-821-7299
Contractor Vendor Code: VC 6000192111		E-Mail: 911DeptGrants@mass.gov	Fax: 508-947-1452
Vendor Code Address ID (e.g. "AD001"): AD001 (Note: The Address ID must be set up for EFT payments.)		MMARS Doc ID(s): CT EPS SUPG	
<input checked="" type="checkbox"/> NEW CONTRACT		CONTRACT AMENDMENT	
PROCUREMENT OR EXCEPTION TYPE: (Check one option only) <input type="checkbox"/> Statewide Contract (OSD or an OSD-designated Department) <input type="checkbox"/> Collective Purchase (Attach OSD approval, scope, budget) <input checked="" type="checkbox"/> Department Procurement (Includes all Grants - 815 CMR 2.00) (Solicitation Notice or RFR, and Response or other procurement supporting documentation) <input type="checkbox"/> Emergency Contract (Attach justification for emergency, scope, budget) <input type="checkbox"/> Contract Employee (Attach Employment Status Form, scope, budget) <input type="checkbox"/> Other Procurement Exception (Attach authorizing language, legislation with specific exemption or earmark, and exception justification, scope and budget)		Enter Current Contract End Date <u>Prior</u> to Amendment: _____, 20____. Enter Amendment Amount: \$ _____ (or "no change") AMENDMENT TYPE: (Check one option only. Attach details of amendment changes.) <input type="checkbox"/> Amendment to Date, Scope or Budget (Attach updated scope and budget) <input type="checkbox"/> Interim Contract (Attach justification for Interim Contract and updated scope/budget) <input type="checkbox"/> Contract Employee (Attach any updates to scope or budget) <input type="checkbox"/> Other Procurement Exception (Attach authorizing language/justification and updated scope and budget)	
The Standard Contract Form Instructions and Contractor Certifications and the following Commonwealth Terms and Conditions document are incorporated by reference into this Contract and are legally binding: (Check ONE option): <input checked="" type="checkbox"/> Commonwealth Terms and Conditions <input type="checkbox"/> Commonwealth Terms and Conditions For Human and Social Services <input type="checkbox"/> Commonwealth IT Terms and Conditions			
COMPENSATION: (Check ONE option): The Department certifies that payments for authorized performance accepted in accordance with the terms of this Contract will be supported in the state accounting system by sufficient appropriations or other non-appropriated funds, subject to intercept for Commonwealth owed debts under 815 CMR 9.00. <input type="checkbox"/> Rate Contract. (No Maximum Obligation) Attach details of all rates, units, calculations, conditions or terms and any changes if rates or terms are being amended.) <input checked="" type="checkbox"/> Maximum Obligation Contract. Enter total maximum obligation for total duration of this contract (or new total if Contract is being amended). \$ <u>199,964.00</u>			
PROMPT PAYMENT DISCOUNTS (PPD): Commonwealth payments are issued through EFT 45 days from invoice receipt. Contractors requesting accelerated payments must identify a PPD as follows: Payment issued within 10 days — % PPD; Payment issued within 15 days — % PPD; Payment issued within 20 days — % PPD; Payment issued within 30 days — % PPD. If PPD percentages are left blank, identify reason: <input checked="" type="checkbox"/> agree to standard 45 day cycle — statutory/legal or Ready Payments (M.G.L. c. 29, § 23A); — only initial payment (subsequent payments scheduled to support standard EFT 45 day payment cycle. See Prompt Pay Discounts Policy.)			
BRIEF DESCRIPTION OF CONTRACT PERFORMANCE OR REASON FOR AMENDMENT: (Enter the Contract title, purpose, fiscal year(s) and a detailed description of the scope of performance or what is being amended for a Contract Amendment. Attach all supporting documentation and justifications.) Contract is for the reimbursement of funds under the State 911 Department FY 2024 Public Safety Answering Point and Regional Emergency Communication Center Support and Incentive Grant as authorized and awarded in compliance with the grant guidelines and the grantee's approved application.			
ANTICIPATED START DATE: (Complete ONE option only) The Department and Contractor certify for this Contract, or Contract Amendment, that Contract obligations: 1. may be incurred as of the Effective Date (latest signature date below) and <u>no</u> obligations have been incurred <u>prior</u> to the Effective Date. <input checked="" type="checkbox"/> 2. may be incurred as of <u>July 1, 2023</u> , a date <u>LATER</u> than the Effective Date below and <u>no</u> obligations have been incurred <u>prior</u> to the Effective Date. <input type="checkbox"/> 3. were incurred as of _____, 20____, a date <u> PRIOR </u> to the Effective Date below, and the parties agree that payments for any obligations incurred prior to the Effective Date are authorized to be made either as settlement payments or as authorized reimbursement payments, and that the details and circumstances of all obligations under this Contract are attached and incorporated into this Contract. Acceptance of payments forever releases the Commonwealth from further claims related to these obligations.			
CONTRACT END DATE: Contract performance shall terminate as of <u>June 30, 2024</u> , with no new obligations being incurred after this date unless the Contract is properly amended, provided that the terms of this Contract and performance expectations and obligations shall survive its termination for the purpose of resolving any claim or dispute, for completing any negotiated terms and warranties, to allow any close out or transition performance, reporting, invoicing or final payments, or during any lapse between amendments.			
CERTIFICATIONS: Notwithstanding verbal or other representations by the parties, the "Effective Date" of this Contract or Amendment shall be the latest date that this Contract or Amendment has been executed by an authorized signatory of the Contractor, the Department, or a later Contract or Amendment Start Date specified above, subject to any required approvals. The Contractor certifies that they have accessed and reviewed all documents incorporated by reference as electronically published and the Contractor makes all certifications required under the Standard Contract Form Instructions and Contractor Certifications under the pains and penalties of perjury, and further agrees to provide any required documentation upon request to support compliance, and agrees that all terms governing performance of this Contract and doing business in Massachusetts are attached or incorporated by reference herein according to the following hierarchy of document precedence, the applicable Commonwealth Terms and Conditions, this Standard Contract Form, the Standard Contract Form Instructions and Contractor Certifications, the Request for Response (RFR) or other solicitation, the Contractor's Response (excluding any language stricken by a Department as unacceptable, any additional negotiated terms, provided that additional negotiated terms will take precedence over the relevant terms in the RFR and the Contractor's Response only if made using the process outlined in 801 CMR 2.007, incorporated herein, provided that any amended RFR or Response terms result in best value, lower costs, or a more cost effective Contract.			
AUTHORIZING SIGNATURE FOR THE CONTRACTOR: X: <u>[Signature]</u> Date: <u>5/20/23</u> (Signature and Date Must Be Captured at Time of Signature) Print Name: <u>Arthur Vigeant</u> Print Title: <u>Mayor of Marlborough</u>		AUTHORIZING SIGNATURE FOR THE COMMONWEALTH: X: <u>[Signature]</u> Date: <u>6/16/23</u> (Signature and Date Must Be Captured at Time of Signature) Print Name: <u>Frank Pozniak</u> Print Title: <u>Executive Director</u>	



City of Marlborough Police Department

355 Bolton Street, Marlborough, Massachusetts 01752
Tel. (508)-485-1212 Fax (508)-624-6938



David A. Giorgi
Chief of Police

June 27, 2023

Mayor Arthur G. Vigeant
City Hall
140 Main Street
Marlborough, MA 01752

Dear Mayor Vigeant:

The Marlborough Police Department has been awarded a grant in the amount of \$37,864.18 from the Commonwealth of Massachusetts, Executive Office of Public Safety and Security, FY2024 State 911 Department Emergency Medical Dispatch (EMD) Grant Program. The grant is to purchase any needed equipment, conduct quality assurance reviews of dispatch personnel and offset any overtime costs for personnel.

Attached is a copy of the Notice of Grant Award, grant approval letter, and signed grant contract. I am requesting that the grant award be forwarded to the City Council for approval. Should you have any questions, please do not hesitate to call.

Sincerely,

A handwritten signature in black ink, appearing to read "David A. Giorgi".

David A. Giorgi
Chief of Police

**CITY OF MARLBOROUGH
NOTICE OF GRANT AWARD**

DEPARTMENT: Police Department DATE: June 27, 2023

PERSON RESPONSIBLE FOR GRANT EXPENDITURE: Chief David A. Giorgi

NAME OF GRANT: FY 2024 State 911 Department Emergency Medical Dispatch Grant

GRANTOR: Commonwealth of Massachusetts

GRANT AMOUNT: \$37,864.18

GRANT PERIOD: July 1, 2023 to June 30, 2024

SCOPE OF GRANT/
ITEMS FUNDED To be used to offset overtime cost for quality
assurance reviews of dispatch personnel and annual maintenance
on EMD software

IS A POSITION BEING
CREATED: N/A

IF YES: CAN FRINGE BENEFITS BE PAID FROM GRANT? _____

ARE MATCHING CITY
FUNDS REQUIRED? N/A

IF MATCHING IS NON-MONETARY (MAN HOURS, ETC.) PLEASE SPECIFY:
N/A

IF MATCHING IS MONETARY PLEASE GIVE ACCOUNT NUMBER AND DESCRIPTION OF CITY FUNDS
TO BE USED:
N/A

ANY OTHER EXPOSURE TO CITY?
N/A

IS THERE A DEADLINE FOR CITY COUNCIL APPROVAL: Approval requested ASAP to begin use of grant

**DEPARTMENT HEAD MUST SUBMIT THIS FORM, A COPY OF THE GRANT APPROVAL, AND A COVER
LETTER TO THE MAYOR'S OFFICE REQUESTING THAT THIS BE SUBMITTED TO CITY COUNCIL
FOR APPROVAL OF DEPARTMENT TO EXPEND THE FUNDS RECEIVED FOR THE PURPOSE OF THE GRANT**



The Commonwealth of Massachusetts
 EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY
STATE 911 DEPARTMENT
 151 Campanelli Drive, Suite A ~ Middleborough, MA 02346
 Tel: 508-828-2911 ~ TTY: 508-947-1455
www.mass.gov/e911



MAURA T. HEALEY
 Governor

TERRENCE M. REIDY
 Secretary

KIMBERLEY DRISCOLL
 Lieutenant Governor

FRANK POZNIAK
 Executive Director

June 21, 2023

Chief David A. Giorgi
 Marlborough Police Department
 355 Bolton Street
 Marlborough, MA 01752

Dear Chief Giorgi:

The Commonwealth of Massachusetts, State 911 Department would like to thank you for participating in the **FY2024 State 911 Department Emergency Medical Dispatch Grant Program**.

For your files, attached please find a copy of the executed contract for your grant. Please note your contract start date is **July 1, 2023** and will run through June 30, 2024. Please keep in mind that there shall be no reimbursement for costs incurred prior to the effective date of the contract and all goods and services **MUST** be received on or before June 30, 2024.

Please note personnel costs related to EMD quality assurance for full-time employees must be for overtime hours and part-time/per-diem employees are eligible for straight time hours. Reimbursement requests for should be submitted to the Department within **thirty (30) days** of the date on which the cost is incurred. We have made the request for payment forms available on our website www.mass.gov/e911. For any questions related to this process, please contact Angela Pilling at 508-821-7305. Please note that funding of reimbursement requests received more than one (1) month after the close of the fiscal year under which costs were incurred cannot be guaranteed.

If, in the future, you would like to make any changes to the authorized signatory, the contract manager and/or the budget worksheet, please e-mail those proposed changes to 911DeptGrants@mass.gov. Grantees are strongly encouraged to submit final, year-end budget modification requests on or before March 31, 2024.

Sincerely,

Frank P. Pozniak
 Executive Director

cc: FY2024 Emergency Medical Dispatch Grant File

FY 2024 Emergency Medical Dispatch Grant COMMONWEALTH OF MASSACHUSETTS ~ STANDARD CONTRACT FORM



This form is jointly issued and published by the Office of the Comptroller (CTR), the Executive Office for Administration and Finance (ANF), and the Operational Services Division (OSD) as the default contract for all Commonwealth Departments when another form is not prescribed by regulation or policy. The Commonwealth deems void any changes made on or by attachment (in the form of addendum, engagement letters, contract forms or invoice terms) to the terms in this published form or to the [Standard Contract Form Instructions and Contractor Certifications](#), the [Commonwealth Terms and Conditions for Human and Social Services](#) or the [Commonwealth IT Terms and Conditions](#) which are incorporated by reference herein. Additional non-conflicting terms may be added by Attachment. Contractors are required to access published forms at CTR Forms: <https://www.masscomptroller.org/forms>. Forms are also posted at OSD Forms: <https://www.mass.gov/lists/osd-forms>.

CONTRACTOR LEGAL NAME: City of Marlborough (and d/b/a): Marlborough Police Department		COMMONWEALTH DEPARTMENT NAME: State 911 Department MMARS Department Code: EPS	
Legal Address: (W-9, W-4) 140 Main Street Marlborough MA 01752		Business Mailing Address: 151 Campanelli Drive, Suite A, Middleborough, MA 02346	
Contract Manager: David A. Giorgi	Phone: 508-485-1212	Billing Address (if different):	
E-Mail: dgiorgi@marlborough-ma.gov	Fax:	Contract Manager: Cindy Reynolds	Phone: 508-821-7299
Contractor Vendor Code: VC 6000 19 2111		E-Mail: 911DeptGrants@mass.gov	Fax: 508-847-1452
Vendor Code Address ID (e.g. "AD001"): AD001 (Note: The Address ID must be set up for EFT payments.)		MMARS Doc ID(s): CT EPS EMDG	
RFR/Procurement or Other ID Number: FY24 EMDG			
<input checked="" type="checkbox"/> NEW CONTRACT PROCUREMENT OR EXCEPTION TYPE: (Check one option only) <input type="checkbox"/> Statewide Contract (OSD or an OSD-designated Department) <input type="checkbox"/> Collective Purchase (Attach OSD approval, scope, budget) <input checked="" type="checkbox"/> Department Procurement (includes all Grants - 815 CMR 2.00) (Solicitation Notice or RFR, and Response or other procurement supporting documentation) <input type="checkbox"/> Emergency Contract (Attach justification for emergency, scope, budget) <input type="checkbox"/> Contract Employee (Attach Employment Status Form, scope, budget) <input type="checkbox"/> Other Procurement Exception (Attach authorizing language, legislation with specific exemption or earmark, and exception justification, scope and budget)		<input type="checkbox"/> CONTRACT AMENDMENT Enter Current Contract End Date <u>Prior</u> to Amendment: _____, 20____. Enter Amendment Amount: \$ _____ (or "no change") AMENDMENT TYPE: (Check one option only. Attach details of amendment changes.) <input type="checkbox"/> Amendment to Date, Scope or Budget (Attach updated scope and budget) <input type="checkbox"/> Interim Contract (Attach justification for Interim Contract and updated scope/budget) <input type="checkbox"/> Contract Employee (Attach any updates to scope or budget) <input type="checkbox"/> Other Procurement Exception (Attach authorizing language/justification and updated scope and budget)	
The Standard Contract Form Instructions and Contractor Certifications and the following Commonwealth Terms and Conditions document are incorporated by reference into this Contract and are legally binding: (Check ONE option): <input checked="" type="checkbox"/> Commonwealth Terms and Conditions <input type="checkbox"/> Commonwealth Terms and Conditions For Human and Social Services <input type="checkbox"/> Commonwealth IT Terms and Conditions			
COMPENSATION: (Check ONE option): The Department certifies that payments for authorized performance accepted in accordance with the terms of this Contract will be supported in the state accounting system by sufficient appropriations or other non-appropriated funds, subject to intercept for Commonwealth owed debts under 815 CMR 9.00 . <input type="checkbox"/> Rate Contract. (No Maximum Obligation) Attach details of all rates, units, calculations, conditions or terms and any changes if rates or terms are being amended.) <input checked="" type="checkbox"/> Maximum Obligation Contract. Enter total maximum obligation for total duration of this contract (or new total if Contract is being amended): \$ <u>37,804.18</u>			
PROMPT PAYMENT DISCOUNTS (PPD): Commonwealth payments are issued through EFT 45 days from invoice receipt. Contractors requesting accelerated payments must identify a PPD as follows: Payment issued within 10 days ___ % PPD; Payment issued within 15 days ___ % PPD; Payment issued within 20 days ___ % PPD; Payment issued within 30 days ___ % PPD. If PPD percentages are left blank, identify reason: <input checked="" type="checkbox"/> agree to standard 45 day cycle <input type="checkbox"/> statutory/legal or Ready Payments (M.G.L. c. 29, § 23A); <input type="checkbox"/> only initial payment (subsequent payments scheduled to support standard EFT 45 day payment cycle. See Prompt Pay Discounts Policy.)			
BRIEF DESCRIPTION OF CONTRACT PERFORMANCE or REASON FOR AMENDMENT: (Enter the Contract title, purpose, fiscal year(s) and a detailed description of the scope of performance or what is being amended for a Contract Amendment. Attach all supporting documentation and justifications.) Contract is for the reimbursement of funds under the State 911 Department FY 2024 Emergency Medical Dispatch Grant as authorized and awarded in compliance with the grant guidelines and the grantee's approved application.			
ANTICIPATED START DATE: (Complete ONE option only) The Department and Contractor certify for this Contract, or Contract Amendment, that Contract obligations: ___ 1. may be incurred as of the Effective Date (latest signature date below) and no obligations have been incurred prior to the Effective Date. <input checked="" type="checkbox"/> 2. may be incurred as of <u>July 1, 2023</u> a date LATER than the Effective Date below and no obligations have been incurred prior to the Effective Date. ___ 3. were incurred as of _____, 20____, a date PRIOR to the Effective Date below, and the parties agree that payments for any obligations incurred prior to the Effective Date are authorized to be made either as settlement payments or as authorized reimbursement payments, and that the details and circumstances of all obligations under this Contract are attached and incorporated into this Contract. Acceptance of payments forever releases the Commonwealth from further claims related to these obligations.			
CONTRACT END DATE: Contract performance shall terminate as of <u>June 30, 2024</u> , with no new obligations being incurred after this date unless the Contract is properly amended, provided that the terms of this Contract and performance expectations and obligations shall survive its termination for the purpose of resolving any claim or dispute, for completing any negotiated terms and warranties, to allow any close out or transition performance, reporting, invoicing or final payments, or during any lapse between amendments.			
CERTIFICATIONS: Notwithstanding verbal or other representations by the parties, the "Effective Date" of this Contract or Amendment shall be the latest date that this Contract or Amendment has been executed by an authorized signatory of the Contractor, the Department, or a later Contract or Amendment Start Date specified above, subject to any required approvals. The Contractor certifies that they have accessed and reviewed all documents incorporated by reference as electronically published and the Contractor makes all certifications required under the Standard Contract Form Instructions and Contractor Certifications under the pains and penalties of perjury, and further agrees to provide any required documentation upon request to support compliance, and agrees that all terms governing performance of this Contract and doing business in Massachusetts are attached or incorporated by reference herein according to the following hierarchy of document precedence, the applicable Commonwealth Terms and Conditions, this Standard Contract Form, the Standard Contract Form Instructions and Contractor Certifications, the Request for Response (RFR) or other solicitation, the Contractor's Response (excluding any language stricken by a Department as unacceptable, and additional negotiated terms, provided that additional negotiated terms will take precedence over the relevant terms in the RFR and the Contractor's Response only if made using the process outlined in 801 CMR 21.07 , incorporated herein, provided that any amended RFR or Response terms result in best value, lower costs, or a more cost effective Contract.			
AUTHORIZING SIGNATURE FOR THE CONTRACTOR: X: <u>[Signature]</u> Date: <u>5/30/23</u> (Signature and Date Must Be Captured At Time of)		AUTHORIZING SIGNATURE FOR THE COMMONWEALTH: X: <u>[Signature]</u> Date: <u>6/21/23</u> (Signature and Date Must Be Captured At Time of Signature)	
Print Name: <u>Arthur Vigeant</u> Print Title: <u>Mayor of Marlborough</u>		Print Name: <u>Frank Pozniak</u> Print Title: <u>Executive Director</u>	



City of Marlborough Police Department

355 Bolton Street, Marlborough, Massachusetts 01752
Tel. (508)-485-1212 Fax (508)-624-6938



David A. Giorgi
Chief of Police

June 27, 2023

Mayor Arthur G. Vigeant
City Hall
140 Main Street
Marlborough, MA 01752

Dear Mayor Vigeant:

The Marlborough Police Department has been awarded a grant in the amount of \$36,187.36 from the Commonwealth of Massachusetts, Executive Office of Public Safety and Security, FY2024 State 911 Department Training Grant Program. The grant is a reimbursement grant which will be used to offset personnel training costs in the Public Safety Dispatching center.

Attached is a copy of the Notice of Grant Award, grant approval letter, and signed grant contract. I am requesting that the grant award be forwarded to the City Council for approval. Should you have any questions, please do not hesitate to call.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Giorgi", written over the typed name and title.

David A. Giorgi
Chief of Police

**CITY OF MARLBOROUGH
NOTICE OF GRANT AWARD**

DEPARTMENT: Police Department DATE: June 27, 2023

PERSON RESPONSIBLE FOR GRANT EXPENDITURE: Chief David A. Giorgi

NAME OF GRANT: FY 2024 State 911 Department Training Grant

GRANTOR: Commonwealth of Massachusetts

GRANT AMOUNT: \$36,187.36

GRANT PERIOD: July 1, 2023 to June 30, 2024

SCOPE OF GRANT/
ITEMS FUNDED To offset training costs associated with keeping all dispatchers in the
Public Safety Dispatching Center compliant with State 911 mandates

IS A POSITION BEING
CREATED: N/A

IF YES: CAN FRINGE BENEFITS BE PAID FROM GRANT? _____

ARE MATCHING CITY
FUNDS REQUIRED? N/A

IF MATCHING IS NON-MONETARY (MAN HOURS, ETC.) PLEASE SPECIFY:
N/A

IF MATCHING IS MONETARY PLEASE GIVE ACCOUNT NUMBER AND DESCRIPTION OF CITY FUNDS
TO BE USED:
N/A

ANY OTHER EXPOSURE TO CITY?
N/A

IS THERE A DEADLINE FOR CITY COUNCIL APPROVAL: Approval requested ASAP to begin use of grant

**DEPARTMENT HEAD MUST SUBMIT THIS FORM, A COPY OF THE GRANT APPROVAL, AND A COVER
LETTER TO THE MAYOR'S OFFICE REQUESTING THAT THIS BE SUBMITTED TO CITY COUNCIL
FOR APPROVAL OF DEPARTMENT TO EXPEND THE FUNDS RECEIVED FOR THE PURPOSE OF THE GRANT**



The Commonwealth of Massachusetts
 EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY
STATE 911 DEPARTMENT
 151 Campanelli Drive, Suite A ~ Middleborough, MA 02346
 Tel: 508-828-2911 ~ TTY: 508-947-1455
www.mass.gov/e911



MAURA T. HEALEY
 Governor

TERRENCE M. REIDY
 Secretary

KIMBERLEY DRISCOLL
 Lieutenant Governor

FRANK POZNIAK
 Executive Director

June 16, 2023

Chief David A. Giorgi
 Marlborough Police Department
 355 Bolton Street
 Marlborough, MA 01752

Dear Chief Giorgi:

The Commonwealth of Massachusetts, State 911 Department would like to thank you for participating in the **FY2024 State 911 Department Training Grant Program**.

For your files, attached please find a copy of the executed contract and the final approved Personnel Cost Worksheet for your grant. Please note your contract start date is **July 1, 2023** and will run through June 30, 2024. Please keep in mind that there shall be no reimbursement for costs incurred prior to the effective date of the contract and all goods and services **MUST** be received on or before June 30, 2024.

Reimbursement requests should be submitted to the Department within **thirty (30) days** of the date on which the cost is incurred. We have made the request for payment forms available on our website www.mass.gov/e911. For any questions related to this process, please contact Angela Pilling at 508-821-7305. Please note that funding of reimbursement requests received more than one (1) month after the close of the fiscal year under which costs were incurred cannot be guaranteed.

If, in the future, you would like to make any changes to the authorized signatory, the contract manager, add personnel, or to request approval for trainings, please e-mail those proposed changes to 911DeptGrants@mass.gov. Grantees are strongly encouraged to submit final, year-end budget modification requests on or before March 31, 2024.

Sincerely,

Frank P. Pozniak
 Executive Director

cc: FY2024 Training Grant File

FY 2024 TRAINING GRANT COMMONWEALTH OF MASSACHUSETTS ~ STANDARD CONTRACT FORM



This form is jointly issued and published by the Office of the Comptroller (CTR), the Executive Office for Administration and Finance (ANF), and the Operational Services Division (OSD) as the default contract for all Commonwealth Departments when another form is not prescribed by regulation or policy. The Commonwealth deems void any changes made on or by attachment (in the form of addendum, engagement letters, contract forms or invoice terms) to the terms in this published form or to the [Standard Contract Form Instructions and Contractor Certifications](#), the [Commonwealth Terms and Conditions for Human and Social Services](#) or the [Commonwealth IT Terms and Conditions](#) which are incorporated by reference herein. Additional non-conflicting terms may be added by Attachment. Contractors are required to access published forms at CTR Forms: <https://www.masscomptroller.org/forms>. Forms are also posted at OSD Forms: <https://www.mass.gov/lists/osd-forms>.

CONTRACTOR LEGAL NAME: City of Marlborough (and d/b/a): Marlborough Police Department		COMMONWEALTH DEPARTMENT NAME: State 911 Department MMARS Department Code: EPS	
Legal Address: (W-9, W-4): 140 Main Street, Marlborough MA 01752		Business Mailing Address: 151 Campanelli Drive, Suite A, Middleborough, MA 02346	
Contract Manager: David A. Giorgi	Phone: 508-485-1212	Billing Address (if different):	
E-Mail: dgiorgi@marlborough-ma.gov	Fax:	Contract Manager: Cindy Reynolds	Phone: 508-821-7299
Contractor Vendor Code: VC 6000/9211		E-Mail: 911DeptGrants@mass.gov	Fax: 508-947-1452
Vendor Code Address ID (e.g. "AD001"): AD001 (Note: The Address ID must be set up for EFT payments.)		MMARS Doc ID(s): CT EPS GRNT	
<input checked="" type="checkbox"/> NEW CONTRACT		<input type="checkbox"/> CONTRACT AMENDMENT	
PROCUREMENT OR EXCEPTION TYPE: (Check one option only) <input type="checkbox"/> Statewide Contract (OSD or an OSD-designated Department) <input type="checkbox"/> Collective Purchase (Attach OSD approval, scope, budget) <input checked="" type="checkbox"/> Department Procurement (Includes all Grants - 815 CMR 2.00) (Solicitation Notice or RFR, and Response or other procurement supporting documentation) <input type="checkbox"/> Emergency Contract (Attach justification for emergency, scope, budget) <input type="checkbox"/> Contract Employee (Attach Employment Status Form, scope, budget) <input type="checkbox"/> Other Procurement Exception (Attach authorizing language, legislation with specific exemption or earmark, and exception justification, scope and budget)		Enter Current Contract End Date <u>Prior</u> to Amendment: _____, 20__ Enter Amendment Amount: \$ _____ (or "no change") AMENDMENT TYPE: (Check one option only. Attach details of amendment changes.) <input type="checkbox"/> Amendment to Date, Scope or Budget (Attach updated scope and budget) <input type="checkbox"/> Interim Contract (Attach justification for Interim Contract and updated scope/budget) <input type="checkbox"/> Contract Employee (Attach any updates to scope or budget) <input type="checkbox"/> Other Procurement Exception (Attach authorizing language/justification and updated scope and budget)	
The Standard Contract Form Instructions and Contractor Certifications and the following Commonwealth Terms and Conditions document are incorporated by reference into this Contract and are legally binding: (Check ONE option): <input checked="" type="checkbox"/> Commonwealth Terms and Conditions <input type="checkbox"/> Commonwealth Terms and Conditions For Human and Social Services <input type="checkbox"/> Commonwealth IT Terms and Conditions			
COMPENSATION: (Check ONE option): The Department certifies that payments for authorized performance accepted in accordance with the terms of this Contract will be supported in the state accounting system by sufficient appropriations or other non-appropriated funds, subject to intercept for Commonwealth owed debts under 815 CMR 9.00 . <input type="checkbox"/> Rate Contract. (No Maximum Obligation) Attach details of all rates, units, calculations, conditions or terms and any changes if rates or terms are being amended. <input checked="" type="checkbox"/> Maximum Obligation Contract. Enter total maximum obligation for total duration of this contract (or new total if Contract is being amended). \$ <u>36,187.36</u>			
PROMPT PAYMENT DISCOUNTS (PPD): Commonwealth payments are issued through EFT 45 days from invoice receipt. Contractors requesting accelerated payments must identify a PPD as follows: Payment issued within 10 days ___ % PPD; Payment issued within 15 days ___ % PPD; Payment issued within 30 days ___ % PPD. If PPD percentages are left blank, identify reason: <input checked="" type="checkbox"/> agree to standard 45 day cycle <input type="checkbox"/> statutory/legal or Ready Payments (M.G.L. c. 29, § 23A); ___ only initial payment (subsequent payments scheduled to support standard EFT 45 day payment cycle. See Prompt Pay Discounts Policy.)			
BRIEF DESCRIPTION OF CONTRACT PERFORMANCE or REASON FOR AMENDMENT: (Enter the Contract title, purpose, fiscal year(s) and a detailed description of the scope of performance or what is being amended for a Contract Amendment. Attach all supporting documentation and justifications.) Contract is for the reimbursement of funds under the State 911 Department FY 2024 Training Grant as authorized and awarded in compliance with the grant guidelines and the grantee's approved application.			
ANTICIPATED START DATE: (Complete ONE option only) The Department and Contractor certify for this Contract, or Contract Amendment, that Contract obligations: ___ 1. may be incurred as of the Effective Date (latest signature date below) and <u>no</u> obligations have been incurred <u>prior</u> to the Effective Date. <input checked="" type="checkbox"/> 2. may be incurred as of <u>July 1, 2023</u> , a date LATER than the Effective Date below and <u>no</u> obligations have been incurred <u>prior</u> to the Effective Date. ___ 3. were incurred as of _____, 20__, a date PRIOR to the Effective Date below, and the parties agree that payments for any obligations incurred prior to the Effective Date are authorized to be made either as settlement payments or as authorized reimbursement payments, and that the details and circumstances of all obligations under this Contract are attached and incorporated into this Contract. Acceptance of payments forever releases the Commonwealth from further claims related to these obligations.			
CONTRACT END DATE: Contract performance shall terminate as of <u>June 30, 2024</u> , with no new obligations being incurred after this date unless the Contract is properly amended, provided that the terms of this Contract and performance expectations and obligations shall survive its termination for the purpose of resolving any claim or dispute, for completing any negotiated terms and warranties, to allow any close out or transition performance, reporting, invoicing or final payments, or during any lapse between amendments.			
CERTIFICATIONS: Notwithstanding verbal or other representations by the parties, the "Effective Date" of this Contract or Amendment shall be the latest date that this Contract or Amendment has been executed by an authorized signatory of the Contractor, the Department, or a later Contract or Amendment Start Date specified above, subject to any required approvals. The Contractor certifies that they have accessed and reviewed all documents incorporated by reference as electronically published and the Contractor makes all certifications required under the Standard Contract Form Instructions and Contractor Certifications under the pains and penalties of perjury, and further agrees to provide any required documentation upon request to support compliance, and agrees that all terms governing performance of this Contract and doing business in Massachusetts are attached or incorporated by reference herein according to the following hierarchy of document precedence, the applicable Commonwealth Terms and Conditions, this Standard Contract Form, the Standard Contract Form Instructions and Contractor Certifications, the Request for Response (RFR) or other solicitation, the Contractor's Response (excluding any language stricken by a Department as unacceptable, and additional negotiated terms, provided that additional negotiated terms will take precedence over the relevant terms in the RFR and the Contractor's Response only if made using the process outlined in 811 CMR 21.07 , incorporated herein, provided that any amended RFR or Response terms result in best value, lower costs, or a more cost effective Contract.			
AUTHORIZING SIGNATURE FOR THE CONTRACTOR: X: <u>[Signature]</u> Date: <u>5/22/23</u> (Signature and Date Must Be Captured at Time of Signature) Print Name: Arthur Vigeant Print Title: Mayor of Marlborough		AUTHORIZING SIGNATURE FOR THE COMMONWEALTH: X: <u>[Signature]</u> Date: <u>6/16/23</u> (Signature and Date Must Be Captured at Time of Signature) Print Name: Frank Pozniak Print Title: Executive Director	



City of Marlborough
Office of the Mayor

140 Main Street
 Marlborough, Massachusetts 01752
 Tel. (508) 460-3770 Fax (508) 460-3698 TDD (508) 460-3610
 www.marlborough-ma.gov

Arthur G. Vigeant
 MAYOR

Patricia M. Bernard
 CHIEF OF STAFF

Jailyn Bratica
 EXECUTIVE ADMINISTRATOR

RECEIVED
 CITY CLERK'S OFFICE
 CITY OF MARLBOROUGH
 2023 JUL 20 AM 11:59

July 20, 2023

City Council President Michael Ossing
 Marlborough City Council
 140 Main Street
 Marlborough, MA 01752

Re: FY24 Capital Bond request for public safety communications upgrades

Honorable President Ossing and Councilors:

Enclosed for your approval is a bond request in the amount of \$4,925,000.00 for public safety communications upgrades. As noted in previous correspondence with regards to capital improvement projects, the City is undergoing a major upgrade to its public safety communications systems.

This is an estimated 18-month, multifaceted project that entails upgrading software for the computer aided dispatch (CAD)/records management and data cabling to support the installation of the new digital phone system for all fire stations. It entails moving a tower pole from Hudson to replace the failing pole at the Marlborough Police Department.

Assistant Chief Jeff Emanuelson and Chief Kevin Breen have been working with our IT and Police departments to upgrade transmission lines with fiber where accessible and a microwave upgrade that includes FCC licensing. Note: The microwave system is the transmission link between public safety receiving sites dispersed throughout the city to the main receivers (dispatch). This is the critical link between our Police and Firefighters and Dispatch on a 24/7 basis. Our current microwave system predates fiber and the licensing spectrum it's in.

These vital upgrades will improve weak signals in historic spots around the City that is vital to the City's public safety and supporting mutual aid calls.

Last year, we were promised some funding from the state to support this initiative, but these funds have not come through. If we receive any support from our state legislature, I suggest the next administration to reduce the bonds based on spending criteria.

The City is entitled to nearly \$179,000.00 in discounts and incentives if contract is executed by August 14th of this year. Appropriate department heads will be available to discuss and answer questions at a future meeting.

Thank you in advance for your cooperation.

Sincerely,

Arthur G. Vigeant
 Arthur G. Vigeant
 Mayor

Enclosures

ORDERED:

That the sum of \$4,925,000.00 (four million nine hundred twenty-five thousand dollars) be and is hereby appropriated for emergency communication systems and public safety equipment.

That to meet said appropriations, the Finance Director/Treasurer, with the approval of the Mayor, is hereby authorized to borrow the sum of \$4,925,000.00 under and pursuant to the provisions of Chapter 44, Section 7(1) of the Massachusetts General Laws, as amended and supplemented, or any other enabling authority, and to issue bonds or notes of the City of Marlborough (the "City") therefor; that the Mayor is authorized to contract for and expend any grants, aid, or gifts available for this project; and that the Mayor is authorized to take any other action necessary or convenient to carry out this project.

Any premium received by the City upon the sale of any bonds or notes approved by this vote, less any such premium applied to the payment of costs of issuance of such bonds or notes, may be applied to the payment of costs approved by this vote in accordance with Chapter 44, Section 20 of the General Laws, thereby reducing the amount authorized to be borrowed to pay such costs by a like amount.

ADOPTED
In City Council
Order No. 23-
Adopted

Approved by Mayor
Arthur G. Vigeant
Date:

A TRUE COPY
ATTEST:

Public Safety Radio System Upgrade 2023-2024

Segment	Segment Cost	Discount ***	Incentive **	Police	Fire	Total
LMR (Base Radio System)	\$2,787,673.00		-\$100,000.00		\$2,687,673.00	\$2,687,673.00
Police Portable / Mobile	\$909,210.00	-\$40,892.00	\$0.00	\$868,318.00		\$868,318.00
Fire Portable/Mobile	\$821,689.00	-\$37,782.00	\$0.00		\$783,907.00	\$783,907.00
Tower Removal (from Hudson)	\$13,060.00			\$13,060.00		\$13,060.00
Tower Construction/Install	\$181,635.00			\$181,635.00		\$181,635.00
Microwave Upgrade (licensed spectrum)	\$313,558.45					\$313,558.45
Total Police				\$1,063,013.00		
Total Fire					\$3,471,580.00	
Phase II IT CAD Upgrade						\$75,000.00
Total Public Safety System Upgrade						\$4,923,151.45
** Incentive requires notice to proceed no later than June 30, 2023						
*** Discount requires notice to proceed no later than June 30, 2023						
Motorola LMR Total	\$2,687,673.00					
10% due upon customer design review	\$268,767.00	FY 23-24				
40% due upon delivery upon shipment from staging	\$1,075,069.00	FY 23-24				
40% due upon installation of the equipment	\$1,075,069.00	FY 24-25				
10% due upon final acceptance	\$268,767.00	FY 24-25				
Total Request for FY 23-24						
Mobile and Portable Radio replacement	\$1,652,225.00					
Microwave Upgrade	\$313,558.45					
Tower replacement	\$194,425.00					
50% of LMR	\$1,343,836.00					
IT CAD upgrades	\$75,000.00					
Total	\$3,579,044.45					



City of Marlborough
Office of the Mayor

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2023 JUL 20 AM 11:50

Arthur G. Vigeant
MAYOR

Patricia M. Bernard
CHIEF OF STAFF

140 Main Street
Marlborough, Massachusetts 01752
508.460.3770 Fax 508.460.3698 TDD 508.460.3610
www.marlborough-ma.gov

Failyn Bratica
EXECUTIVE ADMINISTRATOR

July 20, 2023

Council President Ossing
Marlborough City Council
140 Main Street
Marlborough, MA 01752

RE: Streets acceptance

Honorable President Ossing and Councilors,

After significant discussions with the Department of Public Works staff, we seek your cooperation in addressing the significant number of **unaccepted "private" ways** in Marlborough. Many of these streets are "private" and abutters may not be aware of the street status. However, they require significant repairs, and the City is limited in what it can do because they are not "public ways" of the City. In order to perform permanent repairs, appropriate private ways need to be accepted as "public ways."

Enclosed for your review is a list of **unaccepted "private" streets**. Please note that many of these roads may have historically been maintained in some way by the City and we cannot continue to do so until they are officially accepted in accordance with state law. However, we have from time to time accepted the statue on snow and ice removal and adopted an ordinance to make temporary repairs. We are still researching to verify if this statue was accepted properly by the City.

In some cases, the developer did not follow through with the street acceptance process and neglected to submit appropriate deeds and title certifications and/or engineering did not follow up with documentation. Additionally, the planning board was lax and should have held developers accountable before releasing bonds too early before the work was entirely completed. Strengthening the Planning Board is a priority. Despite past errors, the city needs to address this issue consistently going forward and do only what the state allows.

Also, for your review is a “full streets listing” and a “named driveways listing” that developers and the City had no intention to be considered for acceptance and will remain as private driveways and not plowed or maintained outside of Mass General Law.

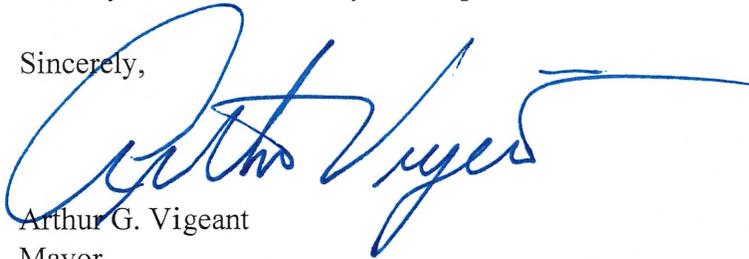
After attending a session on this subject at the MMA Annual Conference, I’m convinced that the City needs to rectify this ongoing situation by petitioning the state to accept all the unaccepted private streets that were intended to be accepted once final appointments to the board have been approved. I have sent down several new names to fill and/or replace long-term members to reinforce our planning board. Once all positions have been approved, we will conduct appropriate board training. The planning board must keep bonds in place to empower all work be completed before releasing new streets within developments ensuring residents receive city services. This was completed recently with Jenks Lane.

I anticipate discussions on this topic and appropriate department heads will be on hand to answer questions at a future meeting.

I am confident that we can come to an agreement and get these streets properly accepted before the plowing season begins and I will follow up with the Council with a home rule petition once the appointments are approved.

Thank you in advance for your cooperation.

Sincerely,



Arthur G. Vigeant
Mayor

Enclosures

Patricia Bernard

From: Jason Grossfield
Sent: Thursday, July 20, 2023 10:27 AM
To: Mayor; Patricia Bernard
Cc: Jeremy McManus
Subject: Laws/Ordinances

Mayor, Trish – Here is just the text of the laws/ordinances below:

MGL c. 40, s. 6C. A city or town which accepts this section in the manner provided in section six D may appropriate money for the removal of snow and ice from such private ways within its limits and open to the public use as may be designated by the city council or selectmen; provided, that, for the purposes of section twenty-five of chapter eighty-four, the removal of snow or ice from such a way shall not constitute a repair of a way.

MGL c. 40, s. 6N. Cities and towns may by ordinance or by-law provide for making temporary repairs on private ways. Such ordinance or by-law shall determine (a) the type and extent of repairs; (b) if drainage shall be included; (c) if the repairs are required by public necessity; (d) the number of percentage of abutters who must petition for such repairs; (e) if betterment charges shall be assessed; (f) the liability limit of the city or town on account of damages caused by such repairs; (g) if the ways shall have been opened to public use for a term of years; and (h) if a cash deposit shall be required for said repairs.

City Code, Article III, Repairs on Private Ways [Added 4-24-1995 by Ord. No. 94/95-5735B]
 § 551-37 Temporary repairs by City personnel.

Temporary repairs on private ways may be made by the City's personnel only under the following conditions:

- A. Repairs will be limited to the filling and patching of potholes.
- B. Prior to any said repairs, the drainage system for the way must be satisfactory to the Commissioner of the Department of Public Works.
- C. The said repairs must be required by public necessity.
- D. At least 50% of the abutters to the said way must petition the City Council for the said repair.
- E. Betterment charges will not be assessed.
- F. The City shall have no liability for or on account of any damage caused by said repairs.
- G. The said way must have been open to public use at least two years, as determined by the City Clerk.
- H. No cash deposit shall be required prior to the making of said repairs.
- I. The said way must meet certain minimum design standards as promulgated by the City Engineer.

 -Jason
 Jason D. Grossfield
 City Solicitor
 City of Marlborough

ALL STREETS CURRENTLY LISTED AS "PRIVATE" (UNACCEPTED)

Street Name Driveways	Named	Public/Private	Total Length	Public Length	Private Length	Measurement	Plate Number	Reference
ALGOSI ROAD		PRIVATE	623	-	623	MEASURED	19	Westernview Lake Shore
AMERICAN WAY		PRIVATE	200	-	200	ESTIMATED	81	In between Fairmount and Ringold Street
BAKER DRIVE		PRIVATE	1,500	-	1,500	ESTIMATED	31	Stevens Street Estates S-411
BALCOM ROAD		PRIVATE	314	-	314	ESTIMATED	9	Orchard Estates III (S-401)
BARNARD ROAD		PRIVATE	2,300	-	2,300	ESTIMATED	20	Mello Lane Estates Subdivision
BEAUREGARD CIRCLE		PRIVATE	285	-	285	-	18	Waters Edge Subdivision
BENJAMIN ROAD		PRIVATE	1,450	-	1,450	MEASURED	45	Kings Ridge Subdivision
BERKLEY STREET		BOTH	1,525	1,050	475	ESTIMATED	82	C.O.#8101 - 1909
BLANCHETTE DRIVE		BOTH	3,004	2,019	985	ESTIMATED	22	C.O.#976972-4 (2/24/97)
BOISE ROAD		PRIVATE	600	-	600	ESTIMATED	35	Rolling Oaks Estates Subdivision
BOYD CIRCLE		PRIVATE	400	-	400	ESTIMATED	20	Mello Lane Estates Subdivision
BRACKEN DRIVE		PRIVATE	2,164	-	2,164	ESTIMATED	92	Shoestring Hill Estates Subdivision
BRADY WAY		PRIVATE	300	-	300	ESTIMATED	19	Orchard Hill Estates Subdivision
BRAZEAU CIRCLE		PRIVATE	750	-	750	ESTIMATED	52	Sterling Woods Subdivision
BURNS ROAD		PRIVATE	795	-	795	MEASURED	79	Glenbrook Estates Subdivision
BUTLER CIRCLE		PRIVATE	650	-	650	ESTIMATED	21	Woodland Estates II Subdivision
CARVER HILL ROAD		PRIVATE	875	-	875	MEASURED	37	Pleasant Meadows III
CAUSEWAY STREET EXT.		PRIVATE	330	-	330	ESTIMATED	7	Off Causeway Street
CONRAD ROAD		PRIVATE	2,108	-	2,108	MEASURED	89	Order #13708 to #13728 Ref. To Public Works Comm. 6/74
CROSBY ROAD		PRIVATE	1,580	-	1,580	MEASURED	20	Miles Standish Estates
CUMMINGS ROAD		PRIVATE	250	-	250	ESTIMATED	39	Robin Hill Acres Subdivision
DANIELS ROAD		PRIVATE	1,000	-	1,000	ESTIMATED	6	Indian Lake Shores II
DANJOU DRIVE		PRIVATE	869	-	869	ESTIMATED	94	Crystal Ridge Estates
DARTMOUTH STREET		BOTH	2,817	732	2,085	ESTIMATED	83	Desc. 8/6/1956 1956 Bk. 8786 Pg.548
DENONCOURT STREET		PRIVATE	1,469	-	1,469	MEASURED	8	C.O. #13708 to #13728 Ref. To Public Works Comm. (6/24/74)
DESIMONE DRIVE		PRIVATE	5,000	-	5,000	MEASURED	103	Stratton Woods Subdivision
DIRADO DRIVE		PRIVATE	350	-	350	ESTIMATED	44	Off Stevens Street
DONAHUE DRIVE		PRIVATE	1,600	-	1,600	ESTIMATED	39	Wildwood Acres Subdivision
DOUCETTE DRIVE		PRIVATE	600	-	600	ESTIMATED	39	Wildwood Acres Subdivision
DOWLING LANE		PRIVATE	1,300	-	1,300	ESTIMATED	35	Rolling Oaks Estates
EDINBORO STREET		BOTH	2,670	2,370	300	MEASURED	82	Year 1913 Plymouth Knolls Estates
FISH LANE		PRIVATE	445	-	445	ESTIMATED	35	Trump Estates Subdivision
FLYNN AVENUE		PRIVATE	638	-	638	MEASURED	89	Glenbrook Estates
FOLEY ROAD		PRIVATE	985	-	985	MEASURED	79	Glenbrook Estates
GAGAS LANE		PRIVATE	200	-	200	ESTIMATED	31	Shefford Village Subdivision
GATELY DRIVE		PRIVATE	340	-	340	MEASURED	44	Shefford Village Subdivision
GAUCHER CIRCLE		PRIVATE	272	-	272	ESTIMATED	18	Waters Edge Subdivision
GIKAS CIRCLE		PRIVATE	500	-	500	ESTIMATED	60	Howe's Landing Subdivision
GOODNOW LANE		PRIVATE	600	-	600	ESTIMATED	104	Stratton Woods Subdivision
HEATH STREET		PRIVATE	500	-	500	ESTIMATED	60	Wilson Terrace
HOUDE STREET		BOTH	1,600	1,100	500	ESTIMATED	53	C.O.86-872B (6/2/1986)
HURLEY CIRCLE		PRIVATE	1,067	-	1,067	MEASURED	90	Ref. to Public Works Comm. 1974 C.O.#13708,13728
JACOBS ROAD		PRIVATE	1,400	-	1,400	ESTIMATED	39	Robin Hill Acres Subdivision
JOHANSEN DRIVE		PRIVATE	1,200	-	1,200	ESTIMATED	32	Rolling Ridge Subdivision
KELBER DRIVE		BOTH	1,426	700	726	ESTIMATED	43	Shaunnessy Estates Subdivision

Street Name Driveways	Named	Public/Private	Total Length	Public Length	Private Length	Measurement	Plate Number	Reference
KOSMAS STREET		PRIVATE	1,858	-	1,858	MEASURED	32	Hillcrest Subdivision
LABRACHE LANE		PRIVATE	397	-	397	ESTIMATED	43	Shaunnessy Estates
LAFAYETTE DRIVE		PRIVATE	1,140	-	1,140	ESTIMATED	60	Wilson Terrace
LODI ROAD		BOTH	1,700	750	950	ESTIMATED	31&32	Rd.Bk-1961 Pg.92
LONG DRIVE		PRIVATE	261	-	261	ESTIMATED	54	Berlin Farms Subdivision
MAURICE DRIVE		PRIVATE	800	-	800	ESTIMATED	65	Howard Estates
MCCABE DRIVE		PRIVATE	430	-	430	ESTIMATED	20	Daws Farm Estates D-177A
MCDONOUGH DRIVE		PRIVATE	250	-	250	ESTIMATED	40	Off West Hill Road
MC GEE AVENUE		PRIVATE	813	-	813	MEASURED	90	Ref. to Public Works Comm.1/74 C.O.#13728 6/74
MEADOW STREET		PRIVATE	448	-	448	MEASURED	7	In between Spring Lane and Stevens Street
MIELE ROAD		PRIVATE	695	-	695	ESTIMATED	8	Orchard Estates III
MILES STANDISH DRIVE		PRIVATE	3,000	-	3,000	MEASURED	7	Public Works Comm. 1/74 C.O.#13708 to #13728 6/74 (#13720 Miles Standish)
MOSHER LANE		PRIVATE	1,170	-	1,170	ESTIMATED	11	Forest Trail Subdivision
NAUGLER AVENUE		BOTH	3,700	2,496	1,204	ESTIMATED	20	C.O.#16395 1/24/1977
PELTIER STREET		BOTH	1,930	1,350	580	MEASURED	53	C.O.#86-872B (6/9/1986)
PEMBROKE STREET		PRIVATE	784	-	784	MEASURED	19	#182 1/5/1955 Pl.1528 of 68
PEROLMAN DRIVE		PRIVATE	204	-	204	-	18	Waters Edge Subdivision
RAFFAELE ROAD		PRIVATE	1,230	-	1,230	MEASURED	32	Hillcrest Subdivision
RAYMOND ROAD		BOTH	3,155	1,985	1,170	MEASURED	21	C.O.15262 (12/15/1975) Pl.1561 of 68 Bk.12914 Pg.394
REYNOLDS COURT		PRIVATE	1,000	-	1,000	ESTIMATED	39	Wildwood Acres
RIDGE ROAD		BOTH	3,113	1,492	1,621	ESTIMATED	31	C.O.#5194
RIPLEY AVENUE		PRIVATE	1,567	-	1,567	MEASURED	89	Ref.to Public Works Comm. 13708 to 13728 6/74
ROGERS AVENUE		PRIVATE	500	-	500	ESTIMATED	53	Maple Leaf Manor
SANDINI ROAD		PRIVATE	1,560	-	1,560	MEASURED	90	Ref. to Public Works Comm. 1/74 C.O.#13708 to C.O.#13728
SHERIDAN ROAD		PRIVATE	660	-	660	MEASURED	47	Rolling Coach Estates
SIMMONS STREET		BOTH	790	300	490	ESTIMATED	65	C.O. # 03-9690A (2-24-03)
SIMPSON ROAD		BOTH	5,411	4,157	1,254	ESTIMATED	8	C.O.#92-4387 (2/10/1992) C.O.#90-3696A (1/28/1991)
STACEY ROAD		BOTH	862	862	-	ESTIMATED	19	C.O.#95-5876 (1/23/95)
TELLER STREET		PRIVATE	818	-	818	MEASURED	89	Ref. to Public Works Comm. 1/74 C.O.#13708 to C.O.#13728 6/74
THOMPSON DRIVE		PRIVATE	500	-	500	ESTIMATED	103	Shoestring Hill Estates
TUCKER AVENUE		PRIVATE	505	-	505	MEASURED	89	Ref. to Public Works Comm. 1/74 C.O.#13708 to C.O.#13728 6/74
UPLAND ROAD		PRIVATE	1,660	-	1,660	MEASURED	18	Western View Lake Shores
WHITTIER ROAD		PRIVATE	664	-	664	MEASURED	19	Order #6369
WITHERBEE TERRACE		PRIVATE	117	-	117	MEASURED	69	
WORSTER DRIVE		PRIVATE	2,304	-	2,304	ESTIMATED	18	Waters Edge Subdivision
WYMAN LANE		PRIVATE	300	-	300	ESTIMATED	53	Sterling Woods Subdivision

ENTIRE STREET LIST

Street Name Driveways	Named	Public/Private	Total Length	Public Length	Private Length	Measurement	Plate Number	Reference	Plowed
ADAMS STREET		PUBLIC	432	432	-	MEASURED	82	C.O.#5319 - 1940	YES(1)
AGORITSAS DRIVE		PUBLIC	170	170	-	ESTIMATED	43	C.O.#91-3769 (1-7-91)	YES
AHERN ROAD		PUBLIC	1,100	1,100	-	ESTIMATED	91	C.O. #99-8167A	YES
AHLGREN CIRCLE		PUBLIC	1,930	1,930	-	ESTIMATED	52	C.O.#86 - 8728 (6/2/86)	YES
AIRPORT BOULEVARD		PRIVATE						Airport Industrial Park - Named Driveway	NO
AKROYD STREET		PUBLIC	250	250	-	MEASURED	57	Road Book 1844 Pg.18	YES
ALAN ROAD		PUBLIC	907	907	-	MEASURED	19	C.O.#15229 (12/15/1975) Bk. 12917 Pg.357 511 of 68	YES
ALGOSI ROAD		PRIVATE	623	-	623	MEASURED	19	Westernview Lake Shore	YES
ALLEN COURT		PUBLIC	264	264	-	MEASURED	68	C.O.#22153 (5/10/1982) 858 of 1979	YES
ALLIS ROAD		PUBLIC	170	-	170	ESTIMATED	93	C.O. #18-1007499 - Walker Brook Estates	YES
AMERICAN WAY		PRIVATE	200	-	200	ESTIMATED	81	In between Fairmount and Ringold Street	YES
AMES PLACE		PUBLIC	489	489	-	MEASURED	70	Desc. Feb. of 1886	YES
AMES STREET		PUBLIC	3,000	3,000	-	ESTIMATED	89	C.O.#8320 (12/6/68) Rd.Bk.1893 Pg.310 Reloc.Pl.1567 of 68	YES
AMORY ROAD		PUBLIC	792	792	-	MEASURED	19	C.O.#1903 Rd.Bk. 1958 Pg.78	YES
ANDERSON ROAD		PUBLIC	2,410	2,410	-	ESTIMATED	31	C.O.#15230 (12/15/1975) 1560 of 1968 & C.O. #03-9941A (7-28-03)(8-25-03)	YES
ANDREWS ROAD		PUBLIC	1,825	1,825	-	ESTIMATED	31	C.O.#90-3283A (1/28/1991) C.O.#92-43778 (2/10/1992)	YES
APPLEBRIAR LANE		PRIVATE					88	Applebriar Condominium Driveway	NO
APPLEWOOD DRIVE		PUBLIC	1,471	1,471	-	MEASURED	32	C.O.#5381 (3/4/1963)	YES
ARCADIA CIRCLE		PRIVATE					74	Indian Hill Condos - named driveway	NO
ARNOLD STREET		PUBLIC	930	930	-	MEASURED	68	Desc. Aug./1907	YES
ARNOLD STREET EXTENSION		PUBLIC	140	140	-	MEASURED	68	Desc. Aug./1907	YES
ASH STREET		PUBLIC	3,399	3,399	-	MEASURED	42	Desc.1898-Ref.Pl.by C.E. Mech.-Pleas. Old Rd. Map 1835	YES
ASHLEY LANE		PRIVATE					72	Val's Trailer Park - named driveway	NO
AUBURN STREET		PUBLIC	320	320	-	MEASURED	57	Desc. 1884 Acts 1906-Ch.128	YES
AUSTEN WAY		PRIVATE					14	J.P.I Apartments - named driveway	NO
AVEBURY WAY		PRIVATE					29	Assabet Ridge Condominlums - named driveway	NO
AZALEA LANE		PRIVATE	940	-	940	ESTIMATED	74	Indian Hill Condos - named driveway	NO
BACHER CIRCLE		PUBLIC	265	265	-	MEASURED	28	C.O. # 02-9703A (10-7-02)	YES
BAKER DRIVE		PRIVATE	1,500	-	1,500	ESTIMATED	31	Stevens Street Estates S-411	YES
BALCOM ROAD		PRIVATE	314	-	314	ESTIMATED	9	Orchard Estates III (S-401)	YES
BALDWIN AVENUE		PUBLIC	1,256	1,256	-	MEASURED	19	C.O.#15231 (12/15/1975)	YES
BARNARD ROAD		PRIVATE	2,300	-	2,300	ESTIMATED	20	Mello Lane Estates Subdivision	YES
BARNES CIRCLE		PUBLIC	600	600	-	ESTIMATED	56	C.O. #94-5779 (11-7-94)	YES
BARRACUDA DRIVE		PRIVATE					73	Val's Trailer Park - named driveway	NO
BARRET ROAD		PUBLIC	400	400	-	ESTIMATED	31	C.O. # 03-9939A (7-28-03) (8-25-03)	YES
BARTLETT STREET		PUBLIC	2,170	2,170	-	ESTIMATED	110	Road Book 1893 Page 310	YES
BATES AVENUE		PUBLIC	200	200	-	ESTIMATED	69	Part of Town Rd. Layout Map in 1835	YES
BAY DRIVE		PRIVATE					101	Avalon I condominiums (off Simarano Drive) - named driveway	NO
BEACH STREET		PUBLIC	2,664	2,664	-	MEASURED	81	Town Road on Plan in 1835	YES
BEAMAN LANE		PUBLIC	1,285	1,285	-	MEASURED	33	Road Book 1893 Page 313	YES
BEAUDRY STREET		PUBLIC	972	972	-	MEASURED	66	C.O.#6662 (11/1/1965)	YES
BEAUREGARD CIRCLE		PRIVATE	285	-	285	-	18	Waters Edge Subdivision	YES
BELVIEW AVENUE		PUBLIC	618	618	-	MEASURED	43	C.O.#3610 (11/13/1961)	YES
BELLOWS CIRCLE		PUBLIC	533	533	-	ESTIMATED	56	C.O.# 03-100181B 11-17-03	YES
BELMONT ST. EXTENSION		PUBLIC	200	200	-	MEASURED	68	Desc. 1869 Acts of 1906 Ch.128 1891-West of Broad St.	YES
BELMONT STREET		PUBLIC	750	750	-	MEASURED	68	Desc. 1869 Acts of 1906	YES
BELMORE PLACE		PUBLIC	750	750	-	ESTIMATED	22	C.O. 14-1005945-1A	YES
BEMIS ROAD		PUBLIC	320	-	320	ESTIMATED	93	C.O. #18-1007499 - Walker Brook Estates	YES
BENJAMIN ROAD		PRIVATE	1,450	-	1,450	MEASURED	45	Kings Rldge Subdivision	YES

Street Name Driveways	Named	Public/Private	Total Length	Public Length	Private Length	Measurement	Plate Number	Reference	Plowed
BERGERON ROAD		PUBLIC	1,200	1,200	-	ESTIMATED	53	C.O.#86-872B (6/4/1986)	YES
BERKLEY STREET		BOTH	1,525	1,050	475	ESTIMATED	82	C.O.#8101 - 1909	YES
BERLIN ROAD		PUBLIC	8,938	8,938	-	MEASURED	41	Year - 1893 Acts of 1906 Page 311	YES
BEVERLY DRIVE		PUBLIC	500	500	-	ESTIMATED	94	C.O.#87-1874B (3/14/1988)	YES
BICKNELL STREET		PUBLIC	612	612	-	MEASURED	56	Year - 1891 Page 8	YES
BIGELOW STREET		PUBLIC	10,603	10,603	-	ESTIMATED	53	Year - 1983 Page 311	YES
BIRCH ROAD		PUBLIC	145	145	-	MEASURED	18	C.O.#15232 (12/15/1975)	YES
BIRCHWOOD DRIVE		PUBLIC	587	587	-	MEASURED	84	C.O.#21435 (7/20/1981)	YES
BLAISWOOD AVENUE		PUBLIC	495	495	-	MEASURED	17	C.O. #1372 (6/3/1957)	YES
BLAKE CIRCLE		PUBLIC	490	490	-	ESTIMATED	84	C.O. #09-1002348A	YES
BLANCHETTE DRIVE		BOTH	3,004	2,019	985	ESTIMATED	22	C.O.#976972-4 (2/24/97)	YES
BLOSSOM LANE		PUBLIC	1,056	1,056	-	MEASURED	32	C.O.#5193 (11/13/1962)	YES
BLUEBELL LANE		Private					101	Avalon II condominiums (off Simarano Drive) - named driveway	
BOISE ROAD		PRIVATE	600	-	600	ESTIMATED	35	Rolling Oaks Estates Subdivision	YES
BOIVIN DRIVE		PUBLIC	1,095	1,095	-	MEASURED	94	C.O. #11-1002789C (10-26-11)	YES
BOLTON STREET		PUBLIC	10,384	10,384	-	MEASURED	57	Year - 1894 Pg. 52 Year - 1894 Pg. 62	YES
BOND STREET		PUBLIC	770	770	-	MEASURED	80	Year - 1893 pg. 23	YES
BOSTON POST ROAD EAST		(STATE)	14,000	14,000	-	ESTIMATED	59	Year - 1893 Page 42 (8/21/1993) C.O.#90-3375A (5-21-90)	NO
BOSTON POST ROAD WEST		(STATE)	6,500	6,500	-	ESTIMATED	78	C.O. #90-3375A (5-21-90)	NO
BOSTON SCIENTIFIC WAY		PRIVATE	2,670	-	2,670	ESTIMATED	30	Private Driveway off of Hudson Street	NO
BOUDREAU AVENUE		PUBLIC	768	768	-	MEASURED	55	Year - 1877 Pg. 154	YES
BOUFFARD DRIVE		PUBLIC	700	-	700	ESTIMATED	35	Wayside Hollow Subdivision	YES
BOUNDARY STREET		PUBLIC	5,155	5,155	-	MEASURED	76	Year - 1843 Pg. 23	YES
BOWOOD LANE		PRIVATE					29	Assabet Ridge Condominiums - named driveway	NO
BOWSTRING WAY		PRIVATE					74	Indian Hill Condos - named driveway	NO
BOYD CIRCLE		PRIVATE	400	-	400	ESTIMATED	20	Mello Lane Estates Subdivision	YES
BRACKEN DRIVE		PRIVATE	2,164	-	2,164	ESTIMATED	92	Shoestring Hill Estates Subdivision	YES
BRADFORD CIRCLE		PRIVATE					29	Assabet Ridge Condominiums - named driveway	NO
BRADY WAY		PRIVATE	300	-	300	ESTIMATED	19	Orchard Hill Estates Subdivision	YES
BRAZEAU CIRCLE		PRIVATE	750	-	750	ESTIMATED	52	Sterling Woods Subdivision	YES
BRIARWOOD LANE		PRIVATE					45	Windsor Heights Apartments - named driveway	NO
BRIDGE STREET		PUBLIC	600	600	-	ESTIMATED	70	Year - 1847 Pg. 32	YES
BRIGHAM AVENUE		PUBLIC	950	950	-	MEASURED	68	Year - 1927 Pg.222 C.O.#1337 (10/17/27)	YES
BRIGHAM STREET		PUBLIC	8,190	8,190	-	MEASURED	104	Year 1885 - Pg. 26 Year 1893 - Pg. 313 C.O.#8320 (12/9/68)	YES
BRIMSMEAD STREET		PUBLIC	1,346	1,346	-	MEASURED	56	C.O.#5375 1941 - Pg.31	YES
BROAD STREET		PUBLIC	3,510	3,510	-	MEASURED	68	In between West Main Street and Elm Street	YES
BROADMEADOW STREET		PUBLIC	6,316	6,316	-	MEASURED	85	Year 1854 - Pg. 19 Year 1893 - Pg.31 C.O.#8320 (12/9/68)	YES
BRONTE WAY		PRIVATE					14	J.P.I Apartments - named driveway	NO
BROOK STREET		PUBLIC	535	535	-	MEASURED	82	Year 1888 - Pg. 444 1497 of 1968	YES
BROWN STREET		PUBLIC	300	300	-	ESTIMATED	70	Year 1852 - Pg. 12	YES
BRUCE ROAD		PUBLIC	1,079	1,079	-	MEASURED	6	C.O.#98 - 1954 C.O.#15233 (12/15/75)	YES
BURNS ROAD		PRIVATE	795	-	795	MEASURED	79	Glenbrook Estates Subdivision	YES
BUTLER CIRCLE		PRIVATE	650	-	650	ESTIMATED	21	Woodland Estates II Subdivision	YES
CADILLAC DRIVE		PRIVATE					73	Val's Trailer Park - named driveway	NO
CALDER STREET		PUBLIC	249	249	-	MEASURED	42	C.O. #8251 - 1950	YES
CAMERON DRIVE		PUBLIC	2,250	2,250	-	ESTIMATED	10	C.O.# 95-6019 (4/10/95)	YES
CAMPUS DRIVE		PRIVATE					111	Off of Simarano Drive and Martinangelo Drive	NO
CANTERBURY WAY		PRIVATE					113	Villages at Crane Meadow - named driveway	NO
CAREY COURT		PRIVATE	125	-	125	ESTIMATED	68	Church Driveway (easement) off Lincoln Street	NO

Street Name Driveways	Named	Public/Pri vate	Total Length	Public Length	Private Length	Measureme nt	Plate Numb er	Reference	Plowed
CARVER HILL ROAD		PRIVATE	875	-	875	MEASURED	37	Pleasant Meadows III	YES
CASHMAN STREET		PUBLIC	402	402	-	MEASURED	69	Year 1855 - Pg. 28	YES
CATHERINE DRIVE		PRIVATE					86	Gulbanklan Trailer Park	NO
CAUSEWAY STREET		PUBLIC	363	363	-	MEASURED	7	C.O.#5188 (11/19/1962)	YES
CAUSEWAY STREET EXT.		PRIVATE	330	-	330	ESTIMATED	7	Off Causeway Street	YES
CEDAR HILL STREET		PUBLIC	5,380	5,380	-	MEASURED	115	C.O.#966 - 1893 Pg. 310	YES
CENTRAL STREET		PUBLIC	785	785	-	MEASURED	69	Year 1869 - Pg. 26	YES
CETRINA DRIVE		PUBLIC	400	400	-	MEASURED	19	C.O.#5279 (1/7/1963)	YES
CHANDLER STREET		PUBLIC	1,514	1,514	-	MEASURED	57	C.O.#405 - 1955	YES
CHARLES STREET		PUBLIC	320	320	-	MEASURED	81	Year 1856 - Pg. 32	YES
CHASE ROAD		PUBLIC	1,700	1,700	-	ESTIMATED	66	C.O.#6661 - 1965	YES
CHESTNUT STREET		PUBLIC	2,547	2,547	-	MEASURED	68	Year 1899 - Pg. 90 B-776	YES
CHRISTIE WAY		PRIVATE					14	J.P.I Apartments - named driveway	NO
CHURCH STREET		PUBLIC	4,297	4,297	-	MEASURED	70	Year 1868 - Pg. 443 Extension on (2/20/1888)	YES
CLARKE DRIVE		PUBLIC	860	860	-	MEASURED	72	C.O.#5275 (1/7/1963)	YES
CLEARVIEW DRIVE		PUBLIC	1,700	1,700	-	ESTIMATED	72	C.O.#21436 (7/20/1981) C.O.#91-4280 (12/16/91)	YES
CLEVERSY DRIVE		PUBLIC	610	610	-	ESTIMATED	66	C.O. #11.12-1003095B	YES
CLINTON STREET		PUBLIC	2,500	2,500	-	MEASURED	44	C.O.#3468	YES
CLOVER HILL STREET		PUBLIC	3,820	3,820	-	MEASURED	91	C.O.#481 - 1955 Year 1893 - Pg.312	YES
CLOVER STREET		PRIVATE	700	-	700	ESTIMATED	91	Clover Hill Park	NO
COLLINS DRIVE		PUBLIC	2,300	2,300	-	ESTIMATED	34	C.O. #87-1847 (10-5-87)	YES
COLTON LANE		PRIVATE					72	Jo-Len Village Trailer Park - named driveway	NO
COMMONWEALTH AVENUE		PUBLIC	928	928	-	MEASURED	82	Year 1891 - Pg. 1	YES
COMTOIS DR		PUBLIC	97	97	-	ESTIMATED	93	In between Mill Street Central and Maple Street	YES
CONCORD ROAD		PUBLIC	15,956	15,956	-	MEASURED	46	County Layout on Plan of 1835	YES
CONRAD ROAD		PRIVATE	2,108	-	2,108	MEASURED	89	Order #13708 to #13728 Ref. To Public Works Comm. 6/74	YES
COOK LANE		PUBLIC	5,215	5,215	-	MEASURED	71	C.O.#9728 (8/10/1970) C.O.#5363 (2/18/63) Year 1893 - Pg.313	YES
COREY ROAD		PUBLIC	345	345	-	MEASURED	70	C.O. #88-2338 (7/11/1988)	YES
CORTLAND STREET		PUBLIC	544	544	-	MEASURED	19	C.O. #15234 - 12/75 1537 of 1968	YES
COTTAGE STREET		PUBLIC	130	130	-	MEASURED	82	Laid Out and Accepted -12/6/43	YES
COTTING AVENUE		PUBLIC	600	600	-	ESTIMATED	70	Acts of 1906 - Chapter 128	YES
COUNTRY CLUB CIRCLE		PRIVATE					33	Country Club Estates - Common Driveway	NO
COUNTRY LANE		PUBLIC	613	613	-	MEASURED	84	C.O. #1904 (9/17/1954)	YES
COURT STREET		PUBLIC	400	400	-	ESTIMATED	70	15' Section - 10/67 C.O.#21579 (10/5/81)	YES
CRESCENT STREET		PUBLIC	840	840	-	MEASURED	81	11/7/1910	YES
CRESTWOOD LANE		PUBLIC	1,347	1,347	-	MEASURED	32	7/31/1961	YES
CROSBY ROAD		PRIVATE	1,580	-	1,580	MEASURED	20	Miles Standish Estates	YES
CROSS STREET		PUBLIC	485	485	-	MEASURED	68	3/27/1880	YES
CROWLEY DRIVE		PRIVATE	1,557	-	1,557	ESTIMATED	16	Off of Fitchburg Street across from Sasseville Way	NO
CRYSTAL BROOK WAY		PRIVATE					58	Crystal Brook Condominium Driveway	NO
CULLINANE DRIVE		PUBLIC	2,463	2,463	-	MEASURED	7	Approved by Council (7/31/61) C.O.#15235 (12/15/75) 1588 of 1968 Bk. 12914-Pg.367	YES
CUMMINGS ROAD		PRIVATE	250	-	250	ESTIMATED	39	Robin Hill Acres Subdivision	YES
CURTIS AVENUE		PUBLIC	1,365	1,365	-	MEASURED	58	1951, 1955 & 1960 Desc. Bk. 8511-Pg.274	YES
CUSELLA DRIVE		PUBLIC	363	363	-	ESTIMATED	43	C.O. #99-8224A (7/13/1999)	YES
DALEY CIRCLE		PUBLIC	500	500	-	ESTIMATED	81	C.O.#92-4379 (2/10/1992)	YES
DALTON ROAD		PUBLIC	400	400	-	ESTIMATED	55	C.O.#392-4380 (2/10/1992) C.O.#90-3709A (1/28/91)	YES
D'AMICO DRIVE		PUBLIC	500	500	-	ESTIMATED	66	C.O.#20829 (11/3/1980)	YES
D'ANGELO DRIVE		PUBLIC	1,000	1,000	-	ESTIMATED	118	C.O.#23073 (7/11/1983)	YES
DANIELS ROAD		PRIVATE	1,000	-	1,000	ESTIMATED	6	Indian Lake Shores II	YES

Street Name Driveways	Named	Public/Pri vate	Total Length	Public Length	Private Length	Measureme nt	Plate Numbr er	Reference	Plowed
DANJOU DRIVE		PRIVATE	869	-	869	ESTIMATED	94	Crystal Ridge Estates	YES
DARTMOUTH STREET		BOTH	2,817	732	2,085	ESTIMATED	83	Desc. 8/6/1956 1956 Bk. 8786 Pg.548	YES
DAVIS STREET		PUBLIC	455	455	-	MEASURED	57	May 1922 - 154' For Sewer (3/25/1874) Acts of 1906-180'	YES
DAWES ROAD		PUBLIC	600	600	-	ESTIMATED	20	C.O. #90-3696A (1/28/1991) C.O.#92-4381 (2/10/92)	YES
DEAN ROAD		PUBLIC	1,983	1,983	-	ESTIMATED	8	C.O. #90-3696A (1/28/1991) C.O.#92-4381 (2/10/92) C.O.#99-8223-1A	YES
DEERFIELD RUN		PRIVATE					113	Villages at Crane Meadow - named driveway	NO
DEERSKIN LANE		PRIVATE					74	Indian Hill Condos - named driveway	NO
DEMERS DRIVE		PUBLIC	700	700	-	MEASURED	10	C.O. #16395	YES
DENONCOURT STREET		PRIVATE	1,469	-	1,469	MEASURED	8	C.O. #13708 to #13728 Ref. To Public Works Comm. (6/24/74)	YES
DESIMONE DRIVE		PRIVATE	5,000	-	5,000	MEASURED	103	Stratton Woods Subdivision	YES
DEVENS STREET		PUBLIC	855	855	-	MEASURED	70	Desc. From 1872,1892 & 1925 Pl. 1892 Red Ink Acts of 1906	YES
DIANA DRIVE		PUBLIC	1,000	1,000	-	MEASURED	92	C.O. #11076 (12/27/1971)	YES
DIBUONO DRIVE		PUBLIC	500	500	-	ESTIMATED	66	C.O. #91-4281 (12/16/1991)	YES
DICENZO BOULEVARD		PUBLIC	3,400	3,400	-	ESTIMATED	61	C.O. #15-1006336C	YES
DICKENSON WAY		PRIVATE					14	J.P.I Apartments - named driveway	NO
DIRADO DRIVE		PRIVATE	350	-	350	ESTIMATED	44	Off Stevens Street	YES
DONAHUE DRIVE		PRIVATE	1,600	-	1,600	ESTIMATED	39	Wildwood Acres Subdivision	YES
DONALD J. LYNCH BLVD.		PUBLIC	11,300	11,300	-	ESTIMATED	50	Accepted in 1989/1990 C.O.#94-5781A (11-21-94)	YES
DOUCETTE DRIVE		PRIVATE	600	-	600	ESTIMATED	39	Wildwood Acres Subdivision	YES
DOVE ROAD		PUBLIC	546	546	-	MEASURED	84	C.O. #15236 (12/15/1975) 1526 of 1968 Bk. 12914 Pg.368	YES
DOW PLACE		PUBLIC	183	183	-	MEASURED	70	6/17/1940 Bk. 6402 Pg.02	YES
DOWLING LANE		PRIVATE	1,300	-	1,300	ESTIMATED	35	Rolling Oaks Estates	YES
DRAPER CIRCLE		PUBLIC	750	750	-	ESTIMATED	22	C.O.# 97-6972-2 (2/24/97)	YES
DUCA DRIVE		PUBLIC	500	500	-	ESTIMATED	53	C.O. #86-8728 (6/9/1986)	YES
DUDLEY STREET		PUBLIC	2,201	2,201	-	MEASURED	66	Year 1893 - Pg. 312	YES
DUFOUR DRIVE		PUBLIC	250	250	-	ESTIMATED	113	C.O. #93-5268A (12-6-93)	YES
DUFRESNE DRIVE		PUBLIC	1,050	1,050	-	ESTIMATED	40	C.O. #13-1005153E (11-4-2013)	YES
EAGER COURT		PUBLIC	917	917	-	ESTIMATED	45	C.O.#09-1002104A (3/27/09) Shown on Plan in 1835 - Never Really Acc. - No Sewer or Water Before 1906	YES
EAST DUDLEY STREET		PUBLIC	1,618	1,618	-	MEASURED	66	Old Town Way Plan (1/8/1905)	YES
EAST MAIN STREET		PUBLIC	1,507	1,507	-	MEASURED	58	Route 20 - County Way Originally - Main Street to Stevens Street	YES
EAST MAIN STREET		(STATE)	2,700	2,700	-	MEASURED	58	Route 20 - Stevens Street to Framingham Cityline	NO
EDINBORO STREET		BOTH	2,670	2,370	300	MEASURED	82	Year 1913 Plymouth Knolls Estates	YES
ELDORADO DRIVE		PRIVATE					73	Val's Trailer Park - named driveway	NO
ELIZABETH ROAD		PUBLIC	170	-	170	ESTIMATED	6	C.O. #15237 (12/15/1975) 1534 of 1968 Bk. 12914 Pg.369	YES
ELLIS AVENUE		PUBLIC	345	345	-	MEASURED	69	Oct. 6, 1924 Plan 355 Pg.10	YES
ELM HEIGHTS TERRACE		PUBLIC	780	780	-	MEASURED	66	C.O.#5384 & #15238 (12/15/75) 1513 of 68 Bk. 12914 Pg.370 Oct. 18, 1856	YES
ELM PLACE		PUBLIC	164	164	-	MEASURED	70	Oct. 18, 1856	YES
ELM STREET		PUBLIC	14,463	14,463	-	MEASURED	67	Old County Way Plan 1835 Year 1893 Pg.313	YES
EMER ROAD		PUBLIC	1,775	1,775	-	ESTIMATED	35	C.O. # 99-80821B	YES
EMMETT STREET		PUBLIC	735	735	-	MEASURED	81	Desc. Year 1870	YES
ESSEX STREET		PUBLIC	3,384	3,384	-	MEASURED	70	Year 1894 Pgs. 58-17-6-5 Pg. 53-51-1623' Shown on Ward Map 1890 thru Cook Lane	YES
ESTABROOK AVENUE		PUBLIC	306	306	-	MEASURED	56	In between Prospect Street and Huntington Ave.	YES
ETHEL AVENUE		PRIVATE					73	Val's Trailer Park - named driveway	NO
ETHIER CIRCLE		PUBLIC	800	800	-	ESTIMATED	41	C.O.# 96-6725A (8/26/96)	YES
EVELINA DRIVE		PUBLIC	3,400	3,400	-	ESTIMATED	52	C.O.#15239 (12/16/75) C.O.#86-872B (6/1/86) 1519 of 68 Bk. 12914 Pg.371	YES
EVERGREEN LANE		PRIVATE					20	Common Driveway - Off Barnard Road	NO
EWALD AVENUE		PUBLIC	2,210	2,210	-	MEASURED	60	C.O.#11/12-1002807B (7/9/2012) Bk.59779 Pg. 186	YES
EXCHANGE STREET		PUBLIC	295	295	-	MEASURED	70	Completed 1853 C.O. #930	YES
EXETER STREET		PUBLIC	710	710	-	MEASURED	83	C.O. #930 Year 1926 Pg. 218	YES

Street Name Driveways	Named	Public/Pri vate	Total Length	Public Length	Private Length	Measureme nt	Plate Numbr er	Reference	Plowed
FAHEY STREET		PUBLIC	310	310	-	MEASURED	69	C.O.#2717 Year 1931 Pg.17	YES
FAIRMOUNT STREET		PUBLIC	1,350	1,350	-	MEASURED	69	C.O.#1619 (8/6/1928) Year 1928 Pg.1	YES
FARM ROAD		PUBLIC	10,419	10,419	-	MEASURED	84	Year 1893 Pg. 309 C.O.#5633	YES
FARMHOUSE LANE		PRIVATE					59	Avalon Orchards Condo's (Off Boston Post Road - East) - named driveway	NO
FARMINGTON CIRCLE		PUBLIC	1,964	1,964	-	MEASURED	84	C.O.#5273 (1/7/1963)	YES
FARRINGTON LANE		PUBLIC	2,600	2,600	-	ESTIMATED	36	C.O.#14-1005945-1A	YES
FAY COURT		PUBLIC	375	375	-	MEASURED	80	Completed 1888	YES
FEDERAL STREET		PRIVATE	350	-	350	ESTIMATED	91	Clover Hill Park	YES
FELTON STREET		PUBLIC	2,245	2,245	-	MEASURED	67	Year 1893 Pg. 312	YES
FERRECCIA DRIVE		PUBLIC	2,000	2,000	-	ESTIMATED	67	C.O.#20826 (11/3/1980)	YES
FIRST ROAD		PUBLIC	735	735	-	MEASURED	6	C.O.#15240 (12/15/1975) 1536 of 68	YES
FISH LANE		PRIVATE	445	-	445	ESTIMATED	35	Trump Estates Subdivision	YES
FITCHBURG STREET		(STATE)	3,379	3,379	-	MEASURED	29	From Lower Pleasant Street to Hudson Townline	NO
FITZGERALD ROAD		PUBLIC	751	751	-	ESTIMATED	33	Accepted in 2-18-63 C.O. #5359 (2/18/1963)	YES
FLAGG ROAD		PUBLIC	407	407	-	MEASURED	66	C.O.#15241 (12/75) 1513 of 68 Bk. 12914 Pg.373	YES
FLINT DRIVE		PUBLIC	600	600	-	ESTIMATED	35	C.O. #14-1005945-1A	YES
FLORENCE STREET		PUBLIC	1,325	1,325	-	MEASURED	70	C.O.#12066 1949 Pg.172 1919 Pg.188 Bk.15021 Pg.250 5/2/83	YES
FLYNN AVENUE		PRIVATE	638	-	638	MEASURED	89	Glenbrook Estates	YES
FOLEY ROAD		PRIVATE	985	-	985	MEASURED	79	Glenbrook Estates	YES
FONTAINE STREET		PUBLIC	1,390	1,390	-	MEASURED	8	C.O. #16395 (1/24/1977)	YES
FORBES AVENUE		PUBLIC	500	500	-	ESTIMATED	67	C.O.#06/100-851-A (February 13, 2006)	YES
FOREST STREET		PUBLIC	9,600	9,600	-	ESTIMATED	90	Acts of 1906-1893 Pg.313 #8320 12/9/68 #86-1262A 12/29/86	YES
FOWLER STREET		PUBLIC	308	308	-	MEASURED	57	Plan of Lots 1907 Use & Main.	YES
FRAMINGHAM ROAD		PUBLIC	4,665	4,665	-	MEASURED	93	Town Road on Plan in 1835 1893 Pg.310	YES
FRANCIS STREET		PUBLIC	1,268	1,268	-	MEASURED	57	Town Road on Plan in 1835 Formally School Street	YES
FRANKLIN STREET		PUBLIC	620	620	-	MEASURED	68	1891 Pg. 9	YES
FREMONT STREET		PUBLIC	1,038	1,038	-	MEASURED	56	C.O.#172 1924 Page 198 Bk.6198 Pg.90 1938	YES
FRONT STREET		PUBLIC	421	421	-	MEASURED	57	C.O.#1286 1893 Page 36	YES
FRYE STREET		PUBLIC	1,070	1,070	-	MEASURED	55	C.O.#1320 1927 Pg.220 C.O.#4282 1900 Pg.101	YES
FULLER DRIVE		PUBLIC	395	395	-	MEASURED	92	C.O.#11077 12/27/1971	YES
GAGAS LANE		PRIVATE	200	200	-	ESTIMATED	31	Shefford Village Subdivision	YES
GANO ROAD		PUBLIC	420	420	-	MEASURED	32	C.O. #3489 (8/25/1961)	YES
GARABED BOULEVARD		PRIVATE					85	Gulbankian Trailer Park - named driveway	NO
GARFIELD STREET		PUBLIC	548	548	-	MEASURED	70	In between Newton Street and Neil Street	YES
GATELY DRIVE		PRIVATE	340	-	340	MEASURED	44	Shefford Village Subdivision	YES
GATES AVENUE		PUBLIC	313	313	-	MEASURED	70	C.O.#7133 1907 Pg. 134	YES
GAUCHER CIRCLE		PRIVATE	272	-	272	ESTIMATED	18	Waters Edge Subdivision	YES
GAY STREET		PUBLIC	755	755	-	MEASURED	69	C.O.#5319 1903 Pg.116	YES
GIBBON STREET		PUBLIC	885	885	-	MEASURED	69	C.O.#1894 1929 Pg. 4	YES
GIBBS PLACE		PUBLIC	400	400	-	ESTIMATED	102	C.O. #99-8167-1A	YES
GIKAS CIRCLE		PRIVATE	500	-	500	ESTIMATED	60	Howe's Landing Subdivision	YES
GIRARD STREET		PUBLIC	555	555	-	MEASURED	20	C.O.#16395 (1/24/1977)	YES
GLEASON STREET		PUBLIC	703	703	-	MEASURED	80	C.O.#7094 1907 Pg. 132 C.O.#9440 1535 Pg.61	YES
GLEASON STREET EXT.		PUBLIC	525	525	-	MEASURED	92	Book 8068, Pg.53	YES
GLEN STREET		PUBLIC	3,100	3,100	-	ESTIMATED	78	C.O.#8320 (12/6/1968) Town Rd. Map on 1835 Pl. 1893 Pg.313	YES
GOODALE STREET		PUBLIC	2,404	2,404	-	MEASURED	10	Found in 1890 on Ward Map 1893 Pg.309	YES
GOODNOW LANE		PRIVATE	600	-	600	ESTIMATED	104	Stratton Woods Subdivision	YES
GOODWIN STREET		PUBLIC	1,228	1,228	-	ESTIMATED	27	C.O # 19-1007530B	YES
GORDON ROAD		PUBLIC	700	700	-	ESTIMATED	8	C.O.#92-4383 (2/10/1992) C.O#90-3693A (1/28/91)	YES

Street Name Driveways	Named	Public/Pri vate	Total Length	Public Length	Private Length	Measureme nt	Plate Number	Reference	Plowed
GRACE CIRCLE		PUBLIC	1,765	1,765	-	MEASURED	19	C.O. #5278 (1/7/1963)	YES
GRAHAM PATH		PUBLIC	1,300	1,300	-	ESTIMATED	35	C.O. #14-1005945-1A	YES
GRANGER BOULEVARD		PUBLIC	3,000	3,000	-	ESTIMATED	70	NEE #5 Bk. 15021 Pg. 250	YES
GRANT COURT		PUBLIC	280	280	-	MEASURED	69	C.O. #670 1925 Pg. 206 1925 Pg.206	YES
GRANT STREET		PUBLIC	1,050	1,050	-	MEASURED	68	1893 Pg. 308	YES
GRAVES LANE		PUBLIC	310	310	-	ESTIMATED	6	C.O. 13-10052868	YES
GREEN DISTRICT BOULEVARD		PRIVATE	-	-	-	-	116	Named driveway off Simarano Drive	
GREENDALE AVENUE		PUBLIC	775	775	-	MEASURED	70	C.O. #308 1924 Pg. 202	YES
GREENWOOD STREET		PUBLIC	2,308	2,308	-	MEASURED	71	C.O. #12019 1919 Pg. 186 C.O.#912 1926 Pg.214	YES
GREGOIRE DRIVE		PUBLIC	800	800	-	ESTIMATED	65	C.O. #03-9861A (6/2/83)	YES
GROGAN PATH		PUBLIC	1,100	1,100	-	ESTIMATED	22	C.O.# 97-6972-1 (2/24/97)	YES
GROVE STREET		PUBLIC	654	654	-	MEASURED	71	C.O. #5163 1940 Pg. 25	YES
GULBANKIAN DRIVE		PRIVATE					86	Gulbankian Trailer Park - named driveway	NO
GUNNAR DRIVE		PUBLIC	670	670	-	MEASURED	91	C.O. #11079 (12/27/1971)	YES
HAGER STREET		PUBLIC	1,130	1,130	-	MEASURED	62	On 1890 Ward Map Acts of 1906 1893 Pg.309	YES
HAMILTON CIRCLE		PUBLIC	1,600	1,600	-	ESTIMATED	35	C.O. #14-1005945-1A	YES
HANLON DRIVE		PUBLIC	900	900	-	ESTIMATED	23	C.O.#19488 (10/29/1979)	YES
HARDY ROAD		PUBLIC	100	100	-	ESTIMATED	8	C.O.#92-4384 (2/10/1992) C.O.#90-3696A (1/28/91)	YES
HARMONY LANE		PUBLIC	882	882	-	MEASURED	22	C.O.#15242 12/75 1515 of 78 Bk. 12914 Pg.374	YES
HARPER CIRCLE		PUBLIC	600	600	-	ESTIMATED	36	C.O. #14-1005945-1A	YES
HARRINGTON COURT		PRIVATE					69	Private driveway off Lincoln Street	YES
HARRISON PLACE		PUBLIC	337	337	-	MEASURED	69	C.O.#2796 1931 Pg.19	YES
HARVARD STREET		PUBLIC	1,040	1,040	-	MEASURED	82	1891 Pg. 3	YES
HASKELL LANE		PUBLIC	350	350	-	ESTIMATED	36	C.O. #14-1005945-1A	YES
HASTINGS STREET		PUBLIC	760	760	-	MEASURED	69	County Layout 1890	YES
HATFIELD STREET		PRIVATE	300	-	300	ESTIMATED	42	In between Laballe Street and Hunter Ave.	NO
HAWKINS LANE		PUBLIC	1,200	1,200	-	ESTIMATED	36	C.O. #14-1005945-1A	YES
HAYDEN STREET		PUBLIC	884	884	-	MEASURED	69	Ext. to Orchard St. #7256 Desc. 1889 Acts of 1906 Ch.128	YES
HAYES MEMORIAL DRIVE		PUBLIC	5,350	5,350	-	MEASURED	99	County Layout 1960	YES
HEATH STREET		PRIVATE	500	-	500	ESTIMATED	60	Wilson Terrace	YES
HEATHERWOOD DRIVE		PRIVATE					113	Villages at Crane Meadow - named driveway	NO
HELEN DRIVE		PUBLIC	2,360	2,360	-	MEASURED	73	C.O.#5274 (1/7/1963)	YES
HEMENWAY STREET		PUBLIC	7,135	7,135	-	MEASURED	47	Road Book 1893 Pg.309 C.O.#5385 3/4/63	YES
HEMENWAY STREET EXT.		PUBLIC	1,056	1,056	-	MEASURED	3	C.O.#9945 11/2/1970	YES
HIGH STREET		PUBLIC	690	690	-	MEASURED	70	Desc'd 1851 & 67 Acts of 1906 Ch. 128	YES
HIGHGATE ROAD		PUBLIC	1,245	1,245	-	MEASURED	46	C.O.#3080 Road Bk. 1960 Pg.83	YES
HIGHLAND STREET		PUBLIC	1,958	1,958	-	MEASURED	56	Roads Bk. 1891 Pg. 4 Acts of 1906 Ch.128	YES
HILDRETH STREET		PUBLIC	3,045	3,045	-	MEASURED	71	In between Maple Street and Cook Lane	YES
HILL ROAD		PUBLIC	514	514	-	MEASURED	5	C.O.#15243 2/15/1975 1509 of 68 Bk.12914 Pg.375	YES
HILLCREST ROAD		PUBLIC	864	864	-	MEASURED	71	C.O. #9248 Road Bk. 1952 Pg.58	YES
HOLLIS STREET		PUBLIC	343	343	-	MEASURED	56	C.O.#9601Rd.Bk.1953 Pg.64 Pub.Tayntor-Union Paper-Fremont	YES
HOLLY HILL LANE		PRIVATE					72	Jo-Len Village Trailer Park - named driveway	NO
HOLM STREET		PUBLIC	290	290	-	MEASURED	94	C.O. 9232 (11/3/1952)	YES
HOSMER STREET		PUBLIC	9,114	9,114	-	MEASURED	58	C.O.#5190-11/62 C.O.#8355-12/68 Rd.Bk.1893 Pg.319	YES
HOUDE STREET		BOTH	1,600	1,100	500	ESTIMATED	53	C.O.86-872B (6/2/1986)	YES
HOWE COURT		PRIVATE	194	-	194	MEASURED	69	Private Driveway (easement) off Lincoln Street	YES
HOWE STREET		PUBLIC	1,600	1,600	-	ESTIMATED	82	Desc'd 1844&1889 Acts of 1906 C.128	YES
HOWLAND STREET		PUBLIC	1,137	1,137	-	MEASURED	69	Desc. 1853 Acts of 1906 Ch.128 Pub.Elm-Chest.Priv.-Lincoln	YES
HUDSON STREET		PUBLIC	4,825	4,825	-	MEASURED	56	Town Rd. Pl. 1835 #5240 Rd. Bk. 1940 Pg.162 C.O.#87-1908	YES

Street Name Driveways	Named	Public/Pri vate	Total Length	Public Length	Private Length	Measureme nt	Plate Number	Reference	Plowed
HUNTER AVENUE		PUBLIC	870	870	-	MEASURED	42	C.O. #8251 Rd. Bk.1953 Pg. 63	YES
HUNTINGTON AVENUE		PUBLIC	948	948	-	MEASURED	69	Desc'd 1882,87,89 See Plan 7-52 Act 1906 Ch.128	YES
HURLEY CIRCLE		PRIVATE	1,067	-	1,067	MEASURED	90	Ref. to Public Works Comm. 1974 C.O.#13708,13728	YES
HUTCHINSON DRIVE		PUBLIC	1,100	1,100	-	ESTIMATED	1	C.O.# 97-6950A (4/14/97)	YES
I - 290		(STATE)	16,500	-	16,500	ESTIMATED	51	-	NO
I - 495		(STATE)	19,500	-	19,500	ESTIMATED	54	-	NO
ICE HOUSE LANDING		PRIVATE					67	Named driveway - off Lakeside Avenue (Route 20)	NO
INDIAN LANE		PRIVATE					74	Indian Hill Condos - named driveway	NO
IRVING STREET		PUBLIC	135	135	-	MEASURED	70	Accepted 12/6/1943	YES
JACKSON CIRCLE		PUBLIC	1,000	1,000	-	ESTIMATED	22	C.O.# 97-6972-3 (2/24/97)	YES
JACKSON DRIVE		PRIVATE	1,136	-	1,136	ESTIMATED	90	Named Easemnt - Off of Williams St. and Lizotte Dr.	NO
JACOBS ROAD		PRIVATE	1,400	-	1,400	ESTIMATED	39	Robln Hill Acres Subdivision	YES
JAMES AVENUE		PUBLIC	338	338	-	MEASURED	71	In between Marlton Drive and Kane Drive	YES
JEAN ROAD		PUBLIC	660	660	-	MEASURED	22	C.O.#15244 (12/15/1975) 1521 of 68 Bk.12914 Pg.378	YES
JEFFERSON STREET		PUBLIC	1,075	1,075	-	MEASURED	56	C.O.#4584 Rd.Bk.1938 Pg.21 Rd.Bk.6198 Pg.92	YES
JENKS LANE		PUBLIC	494	494	-	ESTIMATED	2	C.O. #22-23-1008767A	NO
JOEL STREET		PRIVATE	600	-	600	ESTIMATED	91	Clover Hill Park	YES
JOHANSEN DRIVE		PRIVATE	1,200	-	1,200	ESTIMATED	32	Rolling Ridge Subdivision	YES
JOHN STREET		PUBLIC	587	587	-	MEASURED	82	C.O.#8320 (12/9/1968)	YES
JONAS COURT		PUBLIC	306	306	-	MEASURED	68	Elmhurst Subdivision Ref.274-19	YES
JOSEPH NORTH RD		PUBLIC	225	225	-	ESTIMATED	41	C.O. #08-1001973A	YES
JUNIPER ROAD		PUBLIC	650	650	-	ESTIMATED	9	C.O. #21608 11/17/81	YES
KANE DRIVE		PUBLIC	571	571	-	MEASURED	71	C.O. 7654 (12/21/1967)	YES
KAROPULIOS DRIVE		PRIVATE					42	Condo Driveway off Pleasant Street (Pleasant Gardens)	NO
KELEBER DRIVE		BOTH	1,426	700	726	ESTIMATED	43	Shaunnessy Estates Subdivision	YES
KELLEHER STREET		PUBLIC	2,300	2,300	-	ESTIMATED	102	C.O. #99-8167-2A	YES
KENNEY LANE		PUBLIC	309	309	-	ESTIMATED	56	C.O.# 03-100181B 11-17-03	YES
KEVORK AVENUE		PRIVATE					74	Gulbankian Trailer Park - named driveway	NO
KINDER CIRCLE		PUBLIC	650	650	-	ESTIMATED	22	C.O. #99-8242A	YES
KINGS GRANT ROAD		PUBLIC	4,330	4,330	-	MEASURED	44	C.O.#3466 Rd.Bk.1906 Pg.377	YES
KINGS VIEW ROAD		PUBLIC	1,885	1,885	-	MEASURED	19	C.O.#15245 1575 of 68 Bk. 12914 Pg.377	YES
KIRBY STREET		PUBLIC	750	750	-	MEASURED	56	Acts 1906 Ch.128	YES
KNIGHT WAY		PUBLIC	700	700	-	ESTIMATED	33	C.O. #06100-1069A	YES
KOSMAS STREET		PRIVATE	1,858	-	1,858	MEASURED	32	Hillcrest Subdivision	YES
LABELLE STREET		PUBLIC	690	690	-	MEASURED	42	C.O. 8251-1950	YES
LABRACHE LANE		PRIVATE	397	-	397	ESTIMATED	43	Shaunnessy Estates	YES
LACOMBE STREET		PUBLIC	650	650	-	ESTIMATED	82	C.O. #15-1006323C	YES
LACOURTURE COURT		PUBLIC	80	80	-	MEASURED	68	C.O.2618-21947	YES
LAFAYETTE DRIVE		PRIVATE	1,140	-	1,140	ESTIMATED	60	Wilson Terrace	YES
LAFRENIERE DRIVE		PUBLIC	748	748	-	ESTIMATED	31	High School Driveway	YES
LAKESHORE DRIVE		PUBLIC	4,196	4,196	-	MEASURED	17	C.O.#5189,15246,27743 Pl.1585 of 1968 Bk.12914 Pg.378	YES
LAKESIDE AVENUE		(STATE)	5,600	-	5,600	ESTIMATED	79	Rd. Bk. 1893 Pg.308 1835 County Rd. Bk.	NO
LAMARRE DRIVE		PUBLIC	1,200	1,200	-	ESTIMATED	22	C.O.#95-5878 (1/23/95)	YES
LAMBERT CIRCLE		PUBLIC	580	580	-	MEASURED	7	C.O.#16395 1/24/77 & C.O.16395-28149	YES
LAMBERT STREET		PUBLIC	230	230	-	MEASURED	70	Act of 1906 Ch.128 C.O.#16395 (1/24/77)	YES
LANDRY DRIVE		PUBLIC	1,000	1,000	-	ESTIMATED	79	C.O.#91-4198A-33560 Rec.Pl.790-88 Bk.12914 Pg.404	YES
LANGELIER LANE		PUBLIC	2,600	2,600	-	ESTIMATED	34	C.O.# 99-8082B	YES
LAROSE DRIVE		PUBLIC	400	400	-	ESTIMATED	103	C.O.#93-4772A (3/29/93)	YES
LAVIOLETTE STREET		PUBLIC	595	595	-	MEASURED	80	Act of 1906 Ch.128	YES

Street Name Driveways	Named	Public/Pri vate	Total Length	Public Length	Private Length	Measureme nt	Plate Numb er	Reference	Plowed
LEOLEIS DRIVE		PUBLIC	2,225	2,225	-	MEASURED	92	C.O. 11075 Acpt. (12/27/71)	YES
LEONARD DRIVE		PUBLIC	510	510	-	MEASURED	67	C.O.15247 (12/15/1975)	YES
LIBBY AVENUE		PUBLIC	575	575	-	MEASURED	47	C.O. 5281 1/7/1963	YES
LIBERTY STREET		PUBLIC	2,753	2,753	-	MEASURED	81	Desc. 1868,69 Acts of 1906 Ch.128	YES
LILAC CIRCLE	PRIVATE						74	Indian Hill Condos - named driveway	NO
LINCOLN COURT		PUBLIC	285	285	-	MEASURED	68	Acts 1906 Chapter 128	YES
LINCOLN STREET		PUBLIC	8,098	8,098	-	MEASURED	57	Acts 1906 Chapter 128	YES
LINDA CIRCLE		PUBLIC	1,555	1,555	-	MEASURED	47	C.O.5280 (1/7/1963)	YES
LINDEN CIRCLE	PRIVATE						101	Avalon II condominiums (off Simarano Drive) - named driveway	
LITTLEFIELD LANE		PUBLIC	4,787	4,787	-	ESTIMATED	48	C.O.#99-8082-2B / C.O. #14-1005945-1A	YES
LIZOTTE DRIVE		PUBLIC	1,695	1,695	-	ESTIMATED	90	C.O. #90-3429B	YES
LOCKE DRIVE		PUBLIC	3,473	3,473	-	MEASURED	54	#16395 (1/24/1977) Portion Aband. C.O.#95-6143 (7-10-95)	YES
LODI ROAD		BOTH	1,700	750	950	ESTIMATED	31&32	Rd.Bk 1961 Pg.92	YES
LONG DRIVE		PRIVATE	261	-	261	ESTIMATED	54	Berlin Farms Subdivision	YES
LONGFELLOW TERRACE		PUBLIC	322	322	-	MEASURED	6	C.O.15248 Rec. 1533 of 68 Bk.12914 Bk.380	YES
LONGLEY STREET		PUBLIC	288	288	-	MEASURED	56	Acts 1906 Ch. 128 Desc. 1873	YES
LORD ROAD		PUBLIC	400	400	-	ESTIMATED	67	C.O.90/6513A (1/28/1991)	YES
MACINTOSH AVENUE		PUBLIC	366	366	-	MEASURED	19	C.O.15249 (12/15/1975) Pl. 1506-1968 Bk.12914 Pg.381	YES
MACKAY DRIVE		PUBLIC	380	380	-	ESTIMATED	89	C.O.#01-9290B (10-15-01)	YES
MACOMBER LANE		PUBLIC	150	150	-	ESTIMATED	114	C.O.#93-5268A (12-6-93)	YES
MACQUARRIE DRIVE		PUBLIC	500	500	-	ESTIMATED	67	C.O.#20827 (11/30/1980)	YES
MADDEN COURT	PRIVATE		200	-	200	MEASURED	68	Church Driveway (easement) off Lincoln Street	NO
MADDOX ROAD		PUBLIC	345	345	-	ESTIMATED	70	C.O.#11677 Rd.Bk.1918 Pg.182	YES
MADISON STREET		PUBLIC	498	498	-	MEASURED	82	C.O.#14054 Rd.Bk.1923 Pg.184	YES
MAGNOLIA LANE	PRIVATE						74	Indian Hill Condos - named driveway	NO
MAIN STREET		PUBLIC	3,000	3,000	-	ESTIMATED	69	Rd.Bk.1992-1950 Country Road Pl. 1835	YES
MANNING STREET		PUBLIC	320	320	-	MEASURED	56	C.O.#5714 Rd.Bk.1904 Pg.121	YES
MAPLE STREET		PUBLIC	7,347	7,347	-	MEASURED	82	County Layout	YES
MAPLE TERRACE		PUBLIC	415	415	-	ESTIMATED	70	Accepted in 11-19-62	YES
MAPLEWOOD AVENUE		PUBLIC	1,560	1,560	-	MEASURED	55	Rd.Bk. 1893 Pg.308 Acts of 1906 Ch.128	YES
MARIEN LANE		PUBLIC	550	550	-	ESTIMATED	43	C.O.#02-9654 (6-3-02)	YES
MARLTON DRIVE		PUBLIC	1,020	1,020	-	MEASURED	71	C.O.#5282 (1/7/1963)	YES
MARTIN STREET		PUBLIC	320	320	-	MEASURED	68	Rd.Bk. 1892 Pg.12 #810 Acts of 1906 Ch.128	YES
MARTINANGELO DRIVE		PRIVATE	1,610	-	1,610	ESTIMATED	111	Accepted in 1995 Aband. C.O.#96/97-6930B (3-10-97)	NO
MASCIARELLI DRIVE		PUBLIC	450	450	-	ESTIMATED	79	C.O.#20828 (11/3/1980)	YES
MATHESON DRIVE		PUBLIC	1,711	1,711	-	MEASURED	28	C.O. # 02-9703A (10-7-02)	YES
MAURICE DRIVE		PRIVATE	800	-	800	ESTIMATED	65	Howard Estates	YES
MCCABE DRIVE		PRIVATE	430	-	430	ESTIMATED	20	Daws Farm Estates D-177A	YES
MCDERMOT WAY		PRIVATE	392	392	-	ESTIMATED	27	C.O # 19-1007530B	YES
MCDONOUGH DRIVE		PRIVATE	250	-	250	ESTIMATED	40	Off West Hill Road	YES
MCENELLY STREET		PUBLIC	280	280	-	MEASURED	70	Rd.Bk. 1929 Pg.5 #1948	YES
MC GEE AVENUE		PRIVATE	813	-	813	MEASURED	90	Ref. to Public Works Comm.1/74 C.O.#13728 6/74	YES
MCINTYRE COURT		PUBLIC	210	210	-	MEASURED	70	Acts of 1906 Ch.128 Desc.1889	YES
MCNEIL CIRCLE		PUBLIC	1,100	1,100	-	ESTIMATED	21	C.O.#92-4386 (2/10/92) C.O.#89-3103A (1/28/91)	YES
MEADOW STREET		PRIVATE	448	-	448	MEASURED	7	In between Spring Lane and Stevens Street	YES
MEADOWBROOK ROAD		PUBLIC	815	815	-	MEASURED	19	C.O. #15250 (12/15/75) Pl.1511 of 68 Bk.12914 Pg.382	YES
MECHANIC STREET		PUBLIC	4,329	4,329	-	MEASURED	69	Rd.Bks.1893 Pg.40 #1250 1895 Pg.1964 #2353 1930 Pg.12	YES
MELODY LANE		PUBLIC	1,515	1,515	-	MEASURED	22	C.O.#15251 (12/15/1975) Pl.1562 of 68 Bk.12914 Pg.383	YES
MEMORY LANE		PUBLIC	480	480	-	MEASURED	67	C.O.#5607 (4/15/1963) LC.25641	YES

Street Name Driveways	Named	Public/Private	Total Length	Public Length	Private Length	Measurement	Plate Number	Reference	Plowed
MIDDLE STREET		PRIVATE	335	-	335	MEASURED	57	Off Francis Street (Sewer Taking)	YES
MIDLAND STREET		PUBLIC	297	297	-	MEASURED	83	Rd.Bk#1926 Pg.215 #934 Pl. 384 Pg.16	YES
MIELE ROAD		PRIVATE	695	-	695	ESTIMATED	8	Orchard Estates III	YES
MILDON AVENUE		PUBLIC	1,116	1,116	-	MEASURED	56	Rd.Bk.Comm.1/74 C.O.#13708 to #13728 6/74	YES
MILES STANDISH DRIVE		PRIVATE	3,000	-	3,000	MEASURED	7	Public Works Comm. 1/74 C.O.#13708 to #13728 6/74 (#13720 Miles Standish)	YES
MILL STREET CENTRAL		PUBLIC	504	504	-	ESTIMATED	93	Rd.Bk.1893 Pg.10 Acts of 1906 Ch.128	YES
MILL STREET NORTH		PUBLIC	266	266	-	ESTIMATED	93	Rd.Bk.1893 Pg.10 Acts of 1906 Ch.128	YES
MILL STREET SOUTH		PUBLIC	1,130	1,130	-	ESTIMATED	104	Rd.Bk.1893 Pg.10 Acts of 1906 Ch.128	YES
MILLHAM STREET		PUBLIC	8,274	8,274	-	MEASURED	65	Rd.Bk.1893Pg.311 Acts of 1906 Ch. 128	YES
MINEHAN COURT		PRIVATE	365	-	365	ESTIMATED		Driveway behind #134 Howe Street	YES
MINEHAN LANE		PUBLIC	1,400	1,400	-	ESTIMATED	23	C.O.#20810 (11/3/1980)	YES
MOFFA LANE		PUBLIC	200	200	-	ESTIMATED	57	C.O.#5241(10/7/1940) Renamed 2/27/87 #87-86/1338A	YES
MOHICAN PATH		PRIVATE					74	Indian Hill Condos - named driveway	NO
MONTANARI DRIVE		PUBLIC	400	400	-	ESTIMATED	42	C.O. #20923	YES
MONUMENT AVENUE		PUBLIC	300	300	-	ESTIMATED	69	Old Desc. No Date	YES
MORRISSEY ROAD		PUBLIC	2,100	2,100	-	ESTIMATED	113	C.O. #93-568A (12-6-93)	YES
MOSHER LANE		PRIVATE	1,170	-	1,170	ESTIMATED	11	Forest Trail Subdivision	YES
MOUNT PLEASANT STREET		PUBLIC	1,595	1,595	-	MEASURED	81	Rd.Bk.1920 Pg.190 1941 Pg.29	YES
MOUNT PLEASANT TERRACE		PRIVATE	117	-	117	MEASURED	81	#7753 12/20/1948	YES
MOUNT ROYAL AVENUE		PRIVATE					79	Common driveway off of Glen Street and Lakeside Avenue	NO
MOUNTAIN AVENUE		PUBLIC	240	240	-	ESTIMATED	55	Rd.Bk.1904 Pg.122 #5745	YES
MUDDY LANE		PUBLIC	541	541	-	MEASURED	77	Rd.Bk.1940 Pg.26 #5180	YES
MUIR WAY		PUBLIC	510	510	-	ESTIMATED	60	C.O.#11/12-1002807B (7/9/2012) Bk.59779 Pg. 186	YES
MUNROE AVENUE		PUBLIC	290	290	-	MEASURED	56	#22987 6/6/1983	YES
MUSTANG AVENUE		PRIVATE					73	Val's Trailer Park - named driveway	NO
NASHOBA DRIVE		PUBLIC	2,105	2,105	-	MEASURED	66	C.O. 15252 (12/15/1975) R.P.1574 of 68 Bk.12914 Pg.384	YES
NAUGLER AVENUE		BOTH	3,700	2,496	1,204	ESTIMATED	20	C.O.#16395 1/24/1977	YES
NEIL STREET		PUBLIC	1,722	1,722	-	MEASURED	82	Rd.Bk.1893 Pg.45 1896 Pg.45 #1432 & 2597	YES
NETWORK DRIVE		PRIVATE					111	Named Driveway off Martinangelo Drive	NO
NEW STREET		PUBLIC	700	700	-	ESTIMATED	69	Filed Plan #737 Hayden Park	YES
NEWTON STREET		PUBLIC	1,405	1,405	-	MEASURED	69	Rd.Bk.1893 Pg.45 1896 Pg.68 #1432 & 2597	YES
NICHOLAS CIRCLE		PUBLIC	400	400	-	ESTIMATED	113	C.O.#93-5268A (12-6-93)	YES
NICKERSON ROAD		PUBLIC	4,100	4,100	-	ESTIMATED	88	C.O.#95-6355 (12-4-95)	YES
NICOLE AVENUE		PRIVATE					86	Gulbankian Trailer Park - named driveway	NO
NOLAN WAY		PUBLIC	830	830	-	ESTIMATED	71	Mauro Farms C. O. #18-1007444B	YES
NORTH BIGELOW ST		PUBLIC	1,206	1,206	-	ESTIMATED	25	On the North Side of Donald Lynch Boulevard	YES
NORTHBORO RD CENTRAL		PUBLIC	832	832	-	ESTIMATED	88	County Layout Plan #1833 Year 1893 Pg.310	YES
NORTHBORO ROAD EAST		PUBLIC	2,731	2,731	-	ESTIMATED	78	County Layout Plan #1833 Year 1893 Pg.310	YES
NORTHBORO ROAD WEST		PUBLIC	496	496	-	MEASURED	88	County Layout Plan #1833 Year 1893 Pg.310	YES
NORWOOD STREET		PUBLIC	692	692	-	MEASURED	56	Plan 171-34 Subd.Plan in 1883 No Desc. Found	YES
NOURSE STREET		PRIVATE	2,150	-	2,150	ESTIMATED	97	State Park	NO
OAK ROAD		PUBLIC	264	264	-	MEASURED	6	C.O.#15253 (12/15/1975) Pl.1529 of 68 Bk.12914 Pg.385	YES
OAKCREST AVENUE		PUBLIC	1,030	1,030	-	MEASURED	31	C.O.#15254 (12/15/1975) Pl.1522 of 68 Bk.12914 Pg.386	YES
O'BRIEN ROAD		PUBLIC	454	454	-	ESTIMATED	83	C.O.#06/100-999A-3 (February 13, 2006)	YES
O'GRADY ROAD		PUBLIC	1,012	1,012	-	ESTIMATED	83	C.O.#06/100-999A-4 (February 13, 2006)	YES
OLD BOSTON POST ROAD		PUBLIC	450	450	-	ESTIMATED	61	Off Boston Post Road East	YES
OLD CHARTER ROAD		PUBLIC	1,765	1,765	-	MEASURED	44	Council Approved July 1961	YES
OLD CONCORD ROAD		PUBLIC	0	-	-	-	-	Unconstructed portion of Concord Road	NO
O'LEARY ROAD		PUBLIC	583	583	-	ESTIMATED	83	C.O.#06/100-999A-1 (February 13, 2006)	YES

Street Name Driveways	Named	Public/Pri vate	Total Length	Public Length	Private Length	Measure ment	Plate Num ber	Reference	Plowed
O'MALLEY ROAD		PUBLIC	2,394	2,394	-	ESTIMATED	83	C.O.#06/100-999A-2 (February 13, 2006)	YES
ONAMOG STREET		PUBLIC	1,730	1,730	-	ESTIMATED	81	C.O.# 96-6726A (8/12/96) Bk.17485 Pg.436	YES
ORCHARD STREET		PUBLIC	750	750	-	MEASURED	69	Rd. Bks. 1892 Pg.20, 1893 Pg.50, 1898 Pg.88, #816,#1459,#3437	YES
OTIS STREET		PUBLIC	1,000	1,000	-	ESTIMATED	65	Acts of 1906 Ch.128 Year 1893 Pg.311	YES
OVERLOOK DRIVE		PRIVATE					42	Fiddle Head Subdivision - Common Driveway	NO
PADULA DRIVE		PUBLIC	335	335	-	ESTIMATED	54	C.O.# 95-5877A (4/24/95)	YES
PAGE CIRCLE		PUBLIC	400	400	-	ESTIMATED	33	C.O.#94-5751 12/24/94	YES
PAQUIN DRIVE		PUBLIC	1,320	1,320	-	MEASURED	7	C.O.15416 (2/23/1976) Pl.243 of 76	YES
PARIS STREET		PUBLIC	467	467	-	MEASURED	69	Acts of 1906 Ch.128 Desc. 2/19/1884	YES
PARK STREET		PUBLIC	700	700	-	MEASURED	81	Rd.Bk. 1903 Pg.110 #5225 Desc. 1885	YES
PARKER ROAD		PUBLIC	150	150	-	ESTIMATED	6	C.O.#15255 (12/15/1975) Bk. 12914 Pg.387	YES
PARKVIEW LANE		PRIVATE					101	Avalon I condominiums (off Simarano Drive) - named driveway	NO
PARMENTER STREET		PUBLIC	5,687	5,687	-	MEASURED	96	Acts of 1906 Ch.128 Year 1883 Pg.310	YES
PATRICIA ROAD		PUBLIC	765	765	-	MEASURED	19	C.O.15256 (12/15/1975) Bk. 12914 Pg.388	YES
PATTEN DRIVE		PUBLIC	862	862	-	MEASURED	5	C.O.15257 (12/15/1975) Bk. 12914 Pg.389	YES
PEARL STREET		PUBLIC	852	852	-	MEASURED	68	Acts of 1906 Ch.128	YES
PEEBLES WAY		PUBLIC	250	-	250	ESTIMATED	27	C.O. 10-1002714A-1/2	YES
PEIRCE STREET		PUBLIC	300	300	-	ESTIMATED	56	C.O. #94-5779 (11-7-94)	YES
PELTIER STREET		BOTH	1,930	1,350	580	MEASURED	53	C.O.#86-872B (6/9/1986)	YES
PEMBROKE STREET		PRIVATE	784	-	784	MEASURED	19	#182 1/5/1955 Pl.1528 of 68	YES
PEROLMAN DRIVE		PRIVATE	204	-	204	-	18	Waters Edge Subdivision	YES
PERRY LANE		PUBLIC	642	642	-	ESTIMATED	42	C.O. #11/12 1003005C	YES
PETERS AVENUE		PUBLIC	485	485	-	MEASURED	58	C.O.#15258 (12/15/1975) Pl.1527 of 68 Bk.12914 Pg.390	YES
PHEASANT HILL ROAD		PUBLIC	1,640	1,640	-	MEASURED	84	C.O.#15259 (12/15/1975) Pl.1573 of 68 Bk.12914 Pg.391	YES
PHELPS STREET		PUBLIC	3,104	3,104	-	MEASURED	72	Acts of 1906 Ch.128 1893 Pg.309	YES
PIONEER TRAIL		PRIVATE					74	Indian Hill Condos - named driveway	NO
PIPPEN ROAD		PUBLIC	978	978	-	MEASURED	32	Rd.Bk. 1961Pg.94 #3492	YES
PLEASANT COURT		PRIVATE	264	-	264	MEASURED	69	Off Pleasant Street (Easement)	YES
PLEASANT PLACE		PRIVATE	100	-	100	ESTIMATED	69	Off Pleasant Street (Easement)	YES
PLEASANT STREET		(STATE)	3,357	-	3,357	MEASURED	69	From Hudson Town Line to West Main Street	NO
PLEASANT STREET		PUBLIC	7,798	7,798	-	MEASURED	69	Rd.Bk. 1930 Pg.14 Old Town Road Plan 1835	YES
PLYMOUTH STREET		PUBLIC	355	355	-	ESTIMATED	83	C.O.#2375	YES
POIRIER DRIVE		PUBLIC	2,405	2,405	-	ESTIMATED	30	Driveway to the High School	YES
POMPHREY DRIVE		PUBLIC	145	145	-	ESTIMATED	61	Opposite of Dicenzo Blvd.	YES
POND VIEW DRIVE		PRIVATE					63	Private drive off Robin Hill Street	NO
PORTER ROAD		PUBLIC	1,199	1,199	-	MEASURED	32	Rd.Bk.1961 Pg.93 #3491	YES
PRENDVILLE WAY		PUBLIC	2,000	2,000	-	ESTIMATED	23	C.O. #14-1005945-1A	YES
PRESTON STREET		PUBLIC	1,359	1,359	-	MEASURED	55	Rd.Bks.1895 Pg.65 #2345, 1912 Pg.156 #9429	YES
PRINCESS ROAD		PUBLIC	490	490	-	MEASURED	19	C.O.#15260 (12/15/1975) Pl.1523 of 68 Bk.12914 Pg.392	YES
PRISCILLA DRIVE		PUBLIC	320	320	-	MEASURED	84	C.O.#5277 (1/7/1963)	YES
PROSPECT STREET		PUBLIC	2,946	2,946	-	MEASURED	56	Old Town Road Plan 1835 on 1890 Ward Map	YES
PRUSSIA AVENUE		PRIVATE					69	Common driveway in between Lincoln Street and Hastings Street	NO
QUEENS VIEW ROAD		PUBLIC	642	642	-	MEASURED	19	C.O.15261 (12/15/1975)	YES
RAFFAELE ROAD		PRIVATE	1,230	-	1,230	MEASURED	32	Hillcrest Subdivision	YES
RAWLINS AVENUE		PUBLIC	395	395	-	MEASURED	69	Rd.Bk.1916 Pg.180 #11130	YES
RAYMOND ROAD		BOTH	3,155	1,985	1,170	MEASURED	21	C.O.15262 (12/15/1975) Pl.1561 of 68 Bk.12914 Pg.394	YES
REAGIN LANE		PUBLIC	287	-	287	ESTIMATED	71	Mauro Farms C. O. #18-1007444B	YES
RED SPRING ROAD		PRIVATE					18	Private drive off Reservoir Street	NO
REDBUD WAY		PRIVATE					116	Stonegate Apartments - named driveway	NO

Street Name Driveways	Named	Public/Pri vate	Total Length	Public Length	Private Length	Measureme nt	Plate Number	Reference	Plowed
REILLY WAY		PUBLIC	325	325	-	ESTIMATED	89	C.O.# 95-6355 (12/4/95)	YES
RESERVOIR STREET		PUBLIC	3,016	3,016	-	MEASURED	17	Town Rd. Plan 1835 Year 1893 Pg.311	YES
RESULTS WAY		PRIVATE					101	Private drive off of Forest Street	NO
REYNOLDS COURT		PRIVATE	1,000	-	1,000	ESTIMATED	39	Wildwood Acres	YES
RICE STREET		PUBLIC	1,110	1,110	-	MEASURED	57	Desc.1893 #16395 (1/24/1977)	YES
RICHARD ROAD		PUBLIC	1,055	1,055	-	MEASURED	19	#15263 12/15/1975 Pl.1561 of 68 Bk. 12914 Pg.395	YES
RIDGE ROAD		BOTH	3,113	1,492	1,621	ESTIMATED	31	C.O.#5194	YES
RINGOLD STREET		PUBLIC	951	951	-	MEASURED	81	Act of 1906 Bk.18-B Pl.44	YES
RIPLEY AVENUE		PRIVATE	1,567	-	1,567	MEASURED	89	Ref.to Public Works Comm. 13708 to 13728 6/74	YES
RIVER STREET		PUBLIC	985	985	-	MEASURED	93	Pd.Bk.1893 Pg.44 #1428	YES
ROBERT ROAD		PUBLIC	4,000	4,000	-	ESTIMATED	33	C.O. #06100-1069A	YES
ROBIN DRIVE		PRIVATE					91	Condo's Off of Williams Street - named driveway	NO
ROBIN HILL STREET		PUBLIC	9,498	9,498	-	MEASURED	51	Acts of 1906 Ch.128 Year 1893 Pg.312	YES
ROBIN HOOD ROAD		PUBLIC	925	925	-	MEASURED	71	C.O.#5362 (3/12/1963)	YES
ROGERS AVENUE		PRIVATE	500	-	500	ESTIMATED	53	Maple Leaf Manor	YES
ROLFE ROAD		PUBLIC	650	650	-	ESTIMATED	34	C.O.#87-1847 (10/5/1987)	YES
ROOSEVELT STREET		PUBLIC	1,482	1,482	-	MEASURED	55	Rd.Bk.1948 Pg.35 #7510	YES
ROSE POINTE		PRIVATE					72	Indian Hill Condos - named driveway	NO
ROUNDTOP ROAD		PUBLIC	2,400	2,400	-	MEASURED	72	C.O. #91-4282 (12-16-91)	YES
ROYAL CREST DRIVE		PRIVATE					45	Royal Crest Apartments - named driveway	NO
ROYCE ROAD		PUBLIC	1,355	1,355	-	MEASURED	72	C.O. #5358 (2/18/1963)	YES
RUSSELL STREET		PUBLIC	1,510	1,510	-	MEASURED	55	Rd. Bks. 1895 Pg.63 #2352, 1903 Pg.117 #5320	YES
RUSSET LANE		PUBLIC	824	824	-	MEASURED	19	C.O.#15264 12/15/1975 Bk.12914 Pg.396 C.O.#1855 11/6/78 1576 of 68	YES
RUSSO DRIVE		PUBLIC	665	665	-	ESTIMATED	8	C.O.#99-8223-1A	YES
RUTH DRIVE		PUBLIC	536	536	-	MEASURED	72	C.O.#5276 1/7/63	YES
RYAN COURT		PRIVATE	262	-	262	MEASURED	57	Existed on 1890 Ward Map	YES
SAINT IVES WAY		PRIVATE					116	Stonegate Apartments - named driveway	NO
SAINT MARTIN DRIVE		PUBLIC	500	500	-	ESTIMATED	118	C.O. #90-3221 (3/5/1990)	YES
SAINT MARY'S WAY		PRIVATE					80	Saint Marys Condominiums - named driveway	NO
SANDINI ROAD		PRIVATE	1,560	-	1,560	MEASURED	90	Ref. to Public Works Comm. 1/74 C.O.#13708 to C.O.#13728	YES
SASSEVILLE WAY		PUBLIC	2,350	2,350	-	ESTIMATED	29	C.O. #04-100324 (1-26-04)	YES
SAWIN STREET		PUBLIC	1,045	1,045	-	MEASURED	70	Rd.Bk.1902 Pg.106 #4872	YES
SCHOFIELD DRIVE		PUBLIC	1,038	1,038	-	MEASURED	52	C.O.#15265 (12/15/1975) 1520 of 68 Bk. 12914 Pg.397 C.O.#86-872B 6/2/86	YES
SECOND ROAD		PUBLIC	1,983	1,983	-	MEASURED	6	C.O.#15266 (12/15/1975) 1528 of 68 Bk. 12914 Pg.398	YES
SETTLERS LANE		PRIVATE					74	Indian Hill Condos - named driveway	NO
SHANE'S LANE		PRIVATE					55	Affordable Housing off Russell Street - named driveway	NO
SHAWMUT AVENUE		PUBLIC	2,210	2,210	-	MEASURED	71	Public Bills Pg. 193-1922 #13763	YES
SHEA DRIVE		PUBLIC	500	500	-	ESTIMATED	53	C.O. #89-2078 (3/20/1989)	YES
SHEFFIELD TERRACE		PUBLIC	1,200	1,200	-	ESTIMATED	23	C.O. #14-1005945-1A	YES
SHELLEY LANE		PRIVATE					72	Jo-Len Village Trailer Park - named driveway	NO
SHERIDAN ROAD		PRIVATE	660	-	660	MEASURED	47	Rolling Coach Estates	YES
SHERMAN STREET		PUBLIC	904	904	-	MEASURED	105	Acts of 1906	YES
SHERWOOD DRIVE NORTH		PUBLIC	646	646	-	ESTIMATED	71	N.End Public 540' #5361- 2/18/63 - #21438-7/20/81	YES
SHERWOOD DRIVE SOUTH		PUBLIC	684	684	-	ESTIMATED	83	N.End Public 540' #5361- 2/18/63 - #21438-7/20/81	YES
SHORT STREET		PUBLIC	1,099	1,099	-	MEASURED	57	P173-1915,P204-1925 #6440,P46-1950 #8455	YES
SHORTER STREET		PRIVATE	86	-	86	MEASURED	42	Off Labelle Street	NO
SIDNEY STREET		PRIVATE	485	-	485	MEASURED	91	Ref. to Public Service Committee Order #94-5736 (4-12-95)	YES
SILVER LEAF WAY		PRIVATE					116	Stonegate Apartments - Named Driveway	NO
SILVER STREET		PUBLIC	600	-	600	MEASURED	68	P235-1941-#5579	YES

Street Name Driveways	Named	Public/Private	Total Length	Public Length	Private Length	Measurement	Plate Number	Reference	Plowed
SIMARANO DRIVE		PUBLIC	6,205	6,205	-	MEASURED	100	#8320-12/9/68, #8335-12/16/68	YES
SIMMONS STREET		BOTH	790	300	490	ESTIMATED	65	C.O. # 03-9690A (2-24-03)	YES
SIMPSON ROAD		BOTH	5,411	4,157	1,254	ESTIMATED	8	C.O.#92-4387 (2/10/1992) C.O.#90-3696A (1/28/1991)	YES
SLOCUMB LANE		PUBLIC	1,100	-	1,100	ESTIMATED	49	Carisbrooke II	YES
SMITH DRIVE		PRIVATE	300	-	300	ESTIMATED	67	Off Elm Street	NO
SOLOMON POND MALL RD		PUBLIC	950	950	-	ESTIMATED	50	Formally Known As River Rd. C.O.#95-6155 (7-10-95) Plowed by the State (I-290 ramps)	NO
SONIA DRIVE		PRIVATE					86	Gulbankian Trailer Park - named driveway	NO
SOUTH BOLTON STREET		PUBLIC	1,700	1,700	-	ESTIMATED	70	From Main Street to John Street (Formerly Know as Bolton Street Extension)	YES
SOUTH STREET		PUBLIC	5,994	5,994	-	MEASURED	81	P38-1893 #1301	YES
SPENSER CIRCLE		PUBLIC	283	283	-	ESTIMATED	71	Mauro Farms C. O. #18-1007444B	YES
SPOONHILL AVENUE		PUBLIC	2,443	2,443	-	MEASURED	32	Acts of 1906 Ch. 128 See Assessors Map 1890 See 1835 Map of Town	YES
SPRING LANE		PUBLIC	160	160	-	MEASURED	7	C.O. #15267 (12/15/1975) 1508 of 68 Bk.12914-Pg.399	YES
SPRING STREET		PUBLIC	2,027	2,027	-	MEASURED	68	Pg.28-1940 #5217	YES
SPRINGHILL AVENUE		PRIVATE					70	#7753 Private	YES
SPRUCE STREET		PUBLIC	282	282	-	MEASURED	70	Pg.33-1943 #6119	YES
STACEY ROAD		BOTH	862	862	-	ESTIMATED	19	C.O.#95-5876 (1/23/95)	YES
STATE STREET		PUBLIC	1,538	1,538	-	MEASURED	57	Pg.17-1892	YES
STEARNS ROAD		PUBLIC	5,000	5,000	-	ESTIMATED	114	C.O.#93-5268A (12-6-93)	YES
STETSON DRIVE		PUBLIC	1,000	1,000	-	ESTIMATED	36	C.O. #14-1005945-1A	YES
STEVENS STREET		PUBLIC	10,049	10,049	-	MEASURED	31	Pg.312-1893 Acts of 1906 Ch.128 C.O.#9728 (8/10/70)	YES
STONE HILL ROAD		PUBLIC	2,000	2,000	-	ESTIMATED	11	#21715 12/7/81 Bk.14501 Pg.35	YES
STOW ROAD		PUBLIC	9,460	9,460	-	MEASURED	45	Acts of 1906 Ch.128	YES
SUDBURY STREET		PUBLIC	8,780	8,780	-	MEASURED	10	P309-1893 #5565-(6/17/63)	YES
SUMMIT AVENUE		PUBLIC	1,030	1,030	-	MEASURED	32	#5192-11/19/62	YES
SUMNER STREET		PUBLIC	635	635	-	MEASURED	68	October 1854 Desc.	YES
SUNSET CIRCLE		PUBLIC	395	395	-	MEASURED	33	#5360-(2/18/63)	YES
SUNSHINE DRIVE		PUBLIC	1,355	1,355	-	MEASURED	84	C.O. #21432 (7/22/1981)	YES
SUSAN ROAD		PUBLIC	530	530	-	MEASURED	19	C.O. #15268 (12/15/1975) 1512 of 68 Bk. 12914 Pg.400	YES
SYMPHONY ROAD		PUBLIC	850	850	-	MEASURED	21	C.O. #15269 (12/15/1975) 1517 of 68 Bk.12914 Pg.401	YES
TANNERS PATH		PRIVATE					74	Indian Hill Condos - named driveway	NO
TASSI DRIVE		PUBLIC	1,000	1,000	-	ESTIMATED	42	C.O.# 85-212A (6/17/85)	YES
TAVITAN BOULEVARD		PRIVATE					86	Gulbankian Trailer Park - named driveway	NO
TAYLOR ROAD		PUBLIC	2,500	2,500	-	ESTIMATED	10	C.O.# 95-6019 (4/10/95)	YES
TAYNTOR STREET		PUBLIC	250	250	-	MEASURED	56	Pg.65-1953-#9602 1965-#67-48	YES
TECUMSEH TRAIL		PRIVATE					74	Indian Hill Condos - named driveway	NO
TELLER STREET		PRIVATE	818	-	818	MEASURED	89	Ref. to Public Works Comm. 1/74 C.O.#13708 to C.O.#13728 6/74	YES
TEMPLE CIRCLE		PUBLIC	550	550	-	ESTIMATED	42	C.O.#85-212A (6/17/85)	YES
THOMAS DRIVE		PUBLIC	1,111	1,111	-	ESTIMATED	20	C.O.#94-5751 (10/24/94)	YES
THOMPSON DRIVE		PRIVATE	500	-	500	ESTIMATED	103	Shoestring Hill Estates	YES
THRASHER DR		PUBLIC	130	130	-	ESTIMATED	44	Driveway to Middle School	YES
THUNDERBIRD ROAD		PRIVATE					73	Val's Trailer Park - named driveway	NO
TIMBERVIEW WAY		PRIVATE					101	Avalon I condominiums (off Simarano Drive) - named driveway	NO
TRAILSIDE TERRACE		PRIVATE					43	Trailside Terrace - Named Driveway	NO
TREMONT STREET		PUBLIC	1,210	1,210	-	MEASURED	56	P30-1940-#5241P6-1929-#1952	YES
TUCKER AVENUE		PRIVATE	505	-	505	MEASURED	89	Ref. to Public Works Comm. 1/74 C.O.#13708 to C.O.#13728 6/74	YES
TURMAINE STREET		PUBLIC	555	555	-	MEASURED	20	C.O. #16395 (12/15/1977)	YES
TURNER RIDGE ROAD		PUBLIC	2,000	2,000	-	ESTIMATED	11	C.O. #21065 (2/23/1981)	YES
UNION STREET		PUBLIC	2,652	2,652	-	MEASURED	56	Acts of 1906 Ch. 128 Bolton to Stevens #3472-(7/31/61)	YES
UPLAND ROAD		PRIVATE	1,660	-	1,660	MEASURED	18	Western View Lake Shores	YES

Street Name Driveways	Named	Public/Pri vate	Total Length	Public Length	Private Length	Measure ment	Plate Num ber	Reference	Plowed
VALLEY STREET		PUBLIC	670	670	-	MEASURED	82	Acts of 1906 Ch.128 Bk. 1313-Pg.308	YES
VAL'S LANE		PRIVATE					72	Jo-Len Village Trailer Park - named driveway	NO
VALUE WAY		PRIVATE					112	Private drive off of Simarano Drive for TJX	NO
VARLEY ROAD		PUBLIC	800	800	-	ESTIMATED	28	C.O. #97-7191A	YES
VEGA ROAD		PUBLIC	3,900	3,900	-	ESTIMATED	10	C.O.#21606 (10/19/1981) C.O.#87-1886A (11/23/87)	YES
VERSAILLES STREET		PUBLIC	290	290	-	MEASURED	68	Bk.1893 Pg.308 Acts of 1906 Ch. 128	YES
VICTORIA LANE		PRIVATE					72	Jo-Len Village Trailer Park - named driveway	NO
VILLAGE DRIVE		PRIVATE					73	named driveway for Villages at Marlborough East	NO
VINE STREET		PUBLIC	420	420	-	MEASURED	57	Acts of 1906 Ch.128	YES
VIOLETWOOD CIRCLE		PRIVATE					74	Indian Hill Condos - named driveway	NO
VIRGINIA AVENUE		PRIVATE					74	Gulbankian Trailer Park - named driveway	NO
WAGON HILL ROAD		PRIVATE					86	Gulbankian Trailer Park - named driveway	NO
WAKEFIELD ROAD		PUBLIC	358	358	-	MEASURED	5	C.O.#15270 (12/15/1970) 1501 of 68 Bk.132914 Pg.402	YES
WALCOTT CIRCLE		PUBLIC	760	760	-	ESTIMATED	102	C.O. #22398	YES
WALKER STREET		PUBLIC	1,100	1,100	-	MEASURED	93	C.O.#5383 (3/4/1963) 1893 Pg.310	YES
WALNUT STREET		PUBLIC	456	456	-	MEASURED	58	Desc. 2/21/1857	YES
WARREN AVENUE		PUBLIC	1,736	1,736	-	MEASURED	70	Pg.120-1904 #5702	YES
WASHINGTON COURT		PUBLIC	306	306	-	MEASURED	69	Desc. 3/21/1870	YES
WASHINGTON STREET		PUBLIC	1,428	1,428	-	MEASURED	70	Pg.92-1899-#3753	YES
WATER STREET		PUBLIC	795	795	-	MEASURED	69	Acts of 1906 Ch.128	YES
WATER TERRACE		PUBLIC	284	284	-	MEASURED	69	Pg.10-1892-#5131	YES
WATERFORD DRIVE		PRIVATE					63	Private Drive off of Robin Hill Street	NO
WAYSIDE INN ROAD		PUBLIC	2,400	2,400	-	MEASURED	49	Off Boston Post Road East to Sudbury Street	YES
WEED STREET		BOTH	1,240	760	480	ESTIMATED	70	Order 21580 (10/5/1981) By Use and Care	YES
WELLINGTON STREET		PUBLIC	882	882	-	MEASURED	83	P216-1926-#957 P67-1953-#9715	YES
WEST HILL ROAD		PUBLIC	4,379	4,379	-	MEASURED	41	1893-Pg.311	YES
WEST MAIN STREET		PUBLIC	2,580	2,580	-	MEASURED	69	1893-Pg.308	YES
WEST STREET		PUBLIC	539	539	-	MEASURED	81	By Use and Care	YES
WESTBORO ROAD		PUBLIC	490	490	-	MEASURED	104	By Use and Care	YES
WESTERNVIEW DRIVE		PUBLIC	985	985	-	MEASURED	19	C.O. #3469 1556 of 68	YES
WESTMINSTER DRIVE		PRIVATE					60	named driveway for Villages at Marlborough East	NO
WHEELER HILL BLVD.		PRIVATE					14	J.P.I Apartments - named driveway	NO
WHILSHIRE WAY		PRIVATE					29	Assabet Ridge - named driveway	NO
WHISPERING BROOK RD		PRIVATE					113	Villages at Crane Meadow - named driveway	NO
WHITE TERRACE		PUBLIC	985	985	-	MEASURED	71	C.O.#5363	YES
WHITELOCK DRIVE		PUBLIC	930	930	-	MEASURED	83	C.O.#21433 (7/13/1981) #3251-3/61	YES
WHITNEY WAY		PUBLIC	460	460	-	ESTIMATED	78	C.O.# 96-6472A (2/24/96)	YES
WHITTIER ROAD		PRIVATE	664	-	664	MEASURED	19	Order #6369	YES
WILKENS WAY		PUBLIC	300	300	-	ESTIMATED	113	C.O.#39-5268A (12-6-93)	YES
WILLIAMS STREET		PUBLIC	7,868	7,868	-	MEASURED	91	Acts of 1906 Ch.128 #8320 (12/9/68)	YES
WILLOW TRAIL		PRIVATE					101	Avalon I condominiums (off Simarano Drive) - named driveway	NO
WILSON STREET		PUBLIC	3,445	3,445	-	MEASURED	60	Acts of 1906 Ch.128 #1893 Pg.309	YES
WINDMILL DRIVE		PUBLIC	529	529	-	MEASURED	43	#5357 2/18/63	YES
WINDSOR STREET		PUBLIC	300	300	-	MEASURED	69	By Use and Care	YES
WINTER AVENUE		PRIVATE	640	-	640	MEASURED	80	Pg.167-1949 Vol.12 No Action Taken	YES
WINTER STREET		PUBLIC	2,110	2,110	-	MEASURED	68	Shown on 1835 City Map	YES
WINTHROP STREET		PUBLIC	805	805	-	MEASURED	69	Pg.124-1904 #5845 Pg.22-1939 #4850	YES
WITHERBEE STREET		PUBLIC	780	780	-	MEASURED	69	By Use & Care	YES
WITHERBEE TERRACE		PRIVATE	117	-	117	MEASURED	69		YES

NAMED DRIVEWAYS - NOT TO BE CONSIDERED FOR ACCEPTANCE

Street Name Driveways	Named	Public/Private	Total Length	Public Length	Private Length	Measurement	Plate Number	Reference	Plowed
AIRPORT BOULEVARD	PRIVATE	-	-	-	-	-	-	Airport Industrial Park - Named Driveway	NO
APPLEBRIAR LANE	PRIVATE	-	-	-	-	-	88	Applebriar Condominium Driveway	NO
ARCADIA CIRCLE	PRIVATE	-	-	-	-	-	74	Indian Hill Condos - named driveway	NO
ASHLEY LANE	PRIVATE	-	-	-	-	-	72	Val's Trailer Park - named driveway	NO
AUSTEN WAY	PRIVATE	-	-	-	-	-	14	J.P.I Apartments - named driveway	NO
AVEBURY WAY	PRIVATE	-	-	-	-	-	29	Assabet Ridge Condominiums - named driveway	NO
AZALEA LANE	PRIVATE	940	-	940	ESTIMATED	74	Indian Hill Condos - named driveway	NO	
BARRACUDA DRIVE	PRIVATE	-	-	-	-	-	73	Val's Trailer Park - named driveway	NO
BAY DRIVE	PRIVATE	-	-	-	-	-	101	Avalon I condominiums (off Simarano Drive) - named driveway	NO
BLUEBELL LANE	Private	-	-	-	-	-	101	Avalon II condominiums (off Simarano Drive) - named driveway	NO
BOSTON SCIENTIFIC WAY	PRIVATE	2,670	-	2,670	ESTIMATED	30	Private Driveway off of Hudson Street	NO	
BOWOOD LANE	PRIVATE	-	-	-	-	-	29	Assabet Ridge Condominiums - named driveway	NO
BOWSTRING WAY	PRIVATE	-	-	-	-	-	74	Indian Hill Condos - named driveway	NO
BRADFORD CIRCLE	PRIVATE	-	-	-	-	-	29	Assabet Ridge Condominiums - named driveway	NO
BRIARWOOD LANE	PRIVATE	-	-	-	-	-	45	Windsor Heights Apartments - named driveway	NO
BRONTE WAY	PRIVATE	-	-	-	-	-	14	J.P.I Apartments - named driveway	NO
CADILLAC DRIVE	PRIVATE	-	-	-	-	-	73	Val's Trailer Park - named driveway	NO
CAMPUS DRIVE	PRIVATE	-	-	-	-	-	111	Off of Simarano Drive and Martinangelo Drive	NO
CANTERBURY WAY	PRIVATE	-	-	-	-	-	113	Villages at Crane Meadow - named driveway	NO
CAREY COURT	PRIVATE	125	-	125	ESTIMATED	68	Church Driveway (easement) off Lincoln Street	NO	
CATHERINE DRIVE	PRIVATE	-	-	-	-	-	86	Gulbankian Trailer Park	NO
CHRISTIE WAY	PRIVATE	-	-	-	-	-	14	J.P.I Apartments - named driveway	NO
COLTON LANE	PRIVATE	-	-	-	-	-	72	Jo-Len Village Trailer Park - named driveway	NO
COUNTRY CLUB CIRCLE	PRIVATE	-	-	-	-	-	33	Country Club Estates - Common Driveway	NO
CRYSTAL BROOK WAY	PRIVATE	-	-	-	-	-	58	Crystal Brook Condominium Driveway	NO
DEERFIELD RUN	PRIVATE	-	-	-	-	-	113	Villages at Crane Meadow - named driveway	NO
DEERSKIN LANE	PRIVATE	-	-	-	-	-	74	Indian Hill Condos - named driveway	NO
DICKENSON WAY	PRIVATE	-	-	-	-	-	14	J.P.I Apartments - named driveway	NO
ELDORADO DRIVE	PRIVATE	-	-	-	-	-	73	Val's Trailer Park - named driveway	NO
ETHEL AVENUE	PRIVATE	-	-	-	-	-	73	Val's Trailer Park - named driveway	NO
EVERGREEN LANE	PRIVATE	-	-	-	-	-	20	Common Driveway - Off Barnard Road	NO
FARMHOUSE LANE	PRIVATE	-	-	-	-	-	59	Avalon Orchards Condo's (Off Boston Post Road - East) - named driveway	NO
GARABED BOULEVARD	PRIVATE	-	-	-	-	-	85	Gulbankian Trailer Park - named driveway	NO
GREEN DISTRICT BOULEVARD	PRIVATE	-	-	-	-	-	116	Named driveway off Simarano Drive	NO
GULBANKIAN DRIVE	PRIVATE	-	-	-	-	-	86	Gulbankian Trailer Park - named driveway	NO
HARRINGTON COURT	PRIVATE	-	-	-	-	-	69	Private driveway off Lincoln Street	YES
HEATHERWOOD DRIVE	PRIVATE	-	-	-	-	-	113	Villages at Crane Meadow - named driveway	NO
HOLLY HILL LANE	PRIVATE	-	-	-	-	-	72	Jo-Len Village Trailer Park - named driveway	NO
HOWE COURT	PRIVATE	194	-	194	MEASURED	69	Private Driveway (easement) off Lincoln Street	YES	
ICE HOUSE LANDING	PRIVATE	-	-	-	-	-	67	Named driveway - off Lakeside Avenue (Route 20)	NO
INDIAN LANE	PRIVATE	-	-	-	-	-	74	Indian Hill Condos - named driveway	NO
JACKSON DRIVE	PRIVATE	1,136	-	1,136	ESTIMATED	90	Named Easement - Off of Williams St. and Lizotte Dr.	NO	
KAROPULIOS DRIVE	PRIVATE	-	-	-	-	-	42	Condo Driveway off Pleasant Street (Pleasant Gardens)	NO
KEVORK AVENUE	PRIVATE	-	-	-	-	-	74	Gulbankian Trailer Park - named driveway	NO
LILAC CIRCLE	PRIVATE	-	-	-	-	-	74	Indian Hill Condos - named driveway	NO
LINDEN CIRCLE	PRIVATE	-	-	-	-	-	101	Avalon II condominiums (off Simarano Drive) - named driveway	NO
MADDEN COURT	PRIVATE	200	-	200	MEASURED	68	Church Driveway (easement) off Lincoln Street	NO	
MAGNOLIA LANE	PRIVATE	-	-	-	-	-	74	Indian Hill Condos - named driveway	NO
MINEHAN COURT	PRIVATE	365	-	365	ESTIMATED	-	Driveway behind #134 Howe Street	YES	
MOHICAN PATH	PRIVATE	-	-	-	-	-	74	Indian Hill Condos - named driveway	NO

Street Name Driveways	Named	Public/Private	Total Length	Public Length	Private Length	Measurement	Plate Number	Reference	Plowed
MOUNT ROYAL AVENUE	PRIVATE	-	-	-	-	-	79	Common driveway off of Glen Street and Lakeside Avenue	NO
MUSTANG AVENUE	PRIVATE	-	-	-	-	-	73	Val's Trailer Park - named driveway	NO
NETWORK DRIVE	PRIVATE	-	-	-	-	-	111	Named Driveway off Martinangelo Drive	NO
NICOLE AVENUE	PRIVATE	-	-	-	-	-	86	Gulbankian Trailer Park - named driveway	NO
OVERLOOK DRIVE	PRIVATE	-	-	-	-	-	42	Fiddle Head Subdivision - Common Driveway	NO
PARKVIEW LANE	PRIVATE	-	-	-	-	-	101	Avalon I condominiums (off Simarano Drive) - named driveway	NO
PIONEER TRAIL	PRIVATE	-	-	-	-	-	74	Indian Hill Condos - named driveway	NO
PLEASANT COURT	PRIVATE	264	-	264	MEASURED	69	Off Pleasant Street (Easement)	YES	
PLEASANT PLACE	PRIVATE	100	-	100	ESTIMATED	69	Off Pleasant Street (Easement)	YES	
POND VIEW DRIVE	PRIVATE	-	-	-	-	-	63	Private drive off Robin Hill Street	NO
PRUSSIA AVENUE	PRIVATE	-	-	-	-	-	69	Common driveway in between Lincoln Street and Hastings Street	NO
RED SPRING ROAD	PRIVATE	-	-	-	-	-	18	Private drive off Reservoir Street	NO
REDBUD WAY	PRIVATE	-	-	-	-	-	116	Stonegate Apartments - named driveway	NO
RESULTS WAY	PRIVATE	-	-	-	-	-	101	Private drive off of Forest Street	NO
ROBIN DRIVE	PRIVATE	-	-	-	-	-	91	Condo's Off of Williams Street - named driveway	NO
ROSE POINTE	PRIVATE	-	-	-	-	-	72	Indian Hill Condos - named driveway	NO
ROYAL CREST DRIVE	PRIVATE	-	-	-	-	-	45	Royal Crest Apartments - named driveway	NO
SAINT IVES WAY	PRIVATE	-	-	-	-	-	116	Stonegate Apartments - named driveway	NO
SAINT MARY'S WAY	PRIVATE	-	-	-	-	-	80	Saint Marys Condominiums - named driveway	NO
SETTLERS LANE	PRIVATE	-	-	-	-	-	74	Indian Hill Condos - named driveway	NO
SHANE'S LANE	PRIVATE	-	-	-	-	-	55	Affordable Housing off Russell Street - named driveway	NO
SHELLEY LANE	PRIVATE	-	-	-	-	-	72	Jo-Len Village Trailer Park - named driveway	NO
SILVER LEAF WAY	PRIVATE	-	-	-	-	-	116	Stonegate Apartments - Named Driveway	NO
SONIA DRIVE	PRIVATE	-	-	-	-	-	86	Gulbankian Trailer Park - named driveway	NO
SPRINGHILL AVENUE	PRIVATE	-	-	-	-	-	70	#7753 Private	YES
TANNERS PATH	PRIVATE	-	-	-	-	-	74	Indian Hill Condos - named driveway	NO
TAVITAN BOULEVARD	PRIVATE	-	-	-	-	-	86	Gulbankian Trailer Park - named driveway	NO
TECUMSEH TRAIL	PRIVATE	-	-	-	-	-	74	Indian Hill Condos - named driveway	NO
THUNDERBIRD ROAD	PRIVATE	-	-	-	-	-	73	Val's Trailer Park - named driveway	NO
TIMBERVIEW WAY	PRIVATE	-	-	-	-	-	101	Avalon I condominiums (off Simarano Drive) - named driveway	NO
TRAILSIDE TERRACE	PRIVATE	-	-	-	-	-	43	Trailside Terrace - Named Driveway	NO
VAL'S LANE	PRIVATE	-	-	-	-	-	72	Jo-Len Village Trailer Park - named driveway	NO
VALUE WAY	PRIVATE	-	-	-	-	-	112	Private drive off of Simarano Drive for TJX	NO
VICTORIA LANE	PRIVATE	-	-	-	-	-	72	Jo-Len Village Trailer Park - named driveway	NO
VILLAGE DRIVE	PRIVATE	-	-	-	-	-	73	named driveway for Villages at Marlborough East	NO
VIOLETWOOD CIRCLE	PRIVATE	-	-	-	-	-	74	Indian Hill Condos - named driveway	NO
VIRGINIA AVENUE	PRIVATE	-	-	-	-	-	74	Gulbankian Trailer Park - named driveway	NO
WAGON HILL ROAD	PRIVATE	-	-	-	-	-	86	Gulbankian Trailer Park - named driveway	NO
WATERFORD DRIVE	PRIVATE	-	-	-	-	-	63	Private Drive off of Robin Hill Street	NO
WESTMINSTER DRIVE	PRIVATE	-	-	-	-	-	60	named driveway for Villages at Marlborough East	NO
WHEELER HILL BLVD.	PRIVATE	-	-	-	-	-	14	J.P.I Apartments - named driveway	NO
WHILSHIRE WAY	PRIVATE	-	-	-	-	-	29	Assabet Ridge - named driveway	NO
WHISPERING BROOK RD	PRIVATE	-	-	-	-	-	113	Villages at Crane Meadow - named driveway	NO
WILLOW TRAIL	PRIVATE	-	-	-	-	-	101	Avalon I condominiums (off Simarano Drive) - named driveway	NO



City of Marlborough
Office of the Mayor

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2023 JUL 20 AM 11:50

Arthur G. Vigeant
MAYOR

Patricia M. Bernard
CHIEF OF STAFF

Jailyn Bratica
EXECUTIVE ADMINISTRATOR

140 Main Street
Marlborough, Massachusetts 01752
508.460.3770 Fax 508.460.3698 TDD 508.460.3610
www.marlborough-ma.gov

July 20, 2023

Council President Ossing
Marlborough City Council
140 Main Street
Marlborough, MA 01752

**RE: Order of Acceptance Deed-In-Lieu of Foreclosure
Mosher Lane, Assessor Map 10-41, 10-82, 11-3, 11-40**

Honorable President Ossing and Councilors,

Please find enclosed a proposed Order of Acceptance of a Deed-In-Lieu of Foreclosure concerning the above parcels located off Mosher Lane. These parcels, three of which were to be designated as open space as part of a subdivision, are in tax title. Its current owner, Avidia Bank, has offered the parcels to the City in exchange for forgiveness of the tax debt.

As the attached letter from Finance Director Patrick Jones indicates accepting the deed and voting to place the open space parcels under the management of the Marlborough Conservation Commission will enable the City to ensure the parcels are controlled for the intended purpose.

The Finance Director and Legal Department will be available to answer any specific questions relative to the parcels. In the meantime, if you have any question, please do not hesitate to contact me.

Sincerely,

Arthur G. Vigeant
Arthur G. Vigeant
Mayor

Enclosures

- cc: Patrick Jones, Finance Director
- John Valade, Chief Assessor
- Priscilla Ryder, Conservation Officer
- Thomas DiPersio, City Engineer
- Jason Grossfield, City Solicitor



City of Marlborough
Office of The Comptroller

140 MAIN STREET
 MARLBOROUGH, MA 01752
 TELEPHONE (508) 460-3731, FACSIMILE (508) 481-5180

May 30, 2023

Mayor Arthur G. Vigeant
 140 Main Street
 Marlborough, MA 01752

Re: Order of Acceptance Deed-In-Lieu of Foreclosure

Dear Mayor Vigeant:

I request that you send the attached Order of Acceptance of Deed-In-Lieu of Foreclosure, which concerns four separate parcels; three parcels on Hemenway (Map ID's 10/41 11/3 & 11/40) and one parcels on Mosher Lane (Map ID's 10/82) all totaling approximately 689,119.2 square feet. All these parcels are currently in tax title, three of which were originally put aside as part of the subdivision approval. The fourth Mosher Lane Map ID 10/82 is de minimus portion of land. The acceptance of these parcels will help close these subdivision obligations and preserve the land as open space by placing those three parcels to be managed by the conservation commission.

Under section 77C of M.G.L. Chapter 60, the city, acting through the City Council, may accept the deed. Upon acceptance, the real estate taxes will be treated as having been paid.

I have included a property location card and tax statement as of May 30, 2023, for each property to show the liability and the assessed value of that date.

I am available to answer any questions you may have relative to the tax title.

Sincerely,

Patrick Jones,
 Finance Director

Enclosures

CC: Priscilla Ryder, Director of Conservation
 Tom DiPersio, City Engineer
 Jason Grossfield, City Solicitor

ORDERED:

That pursuant to Section 77C of Chapter 60 of the General Laws of Massachusetts, the City does hereby accept title, by deed in lieu of foreclosure, from Avidia Bank to the following four (4) parcels of land:

Parcel B in the Forest Trail subdivision in Marlborough, Massachusetts, as shown on a plan of land entitled "Plan of Land Definitive Subdivision Plans for Forest Trail An Open Space Development, Mosher Lane, Marlborough, Massachusetts. Scale: 1: = 40', revised September 19, 2002. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Surveyor: Zanca Land Surveyors, Inc., 16 Gleasondale Road, Suite 102, Stow, Massachusetts 01775. Engineer: Consolidated Design Group, Inc., 21 Main Street, Hudson, MA 01749," recorded with the South Middlesex Registry of Deeds as Plan No. 1026 of 2002 (the "Plan"). Parcel B also referred to as LC #218, as shown on a plan entitled "L.C.C. 5374W, Plan of Land in Marlborough, MA" dated 06/06/2003. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Plan No. 5374 W filed with Certificate of Title No. 0215142. Said Parcel B contains 1.418 acres, according to said plan. **(862 Hemenway Street, Assessor Map 0010-41);**

Parcel A1 in the Forest Trail subdivision in Marlborough, Massachusetts, as shown on a plan of land entitled "Plan of Land Definitive Subdivision Plans for Forest Trail An Open Space Development, Mosher Lane, Marlborough, Massachusetts. Scale: 1: = 40', revised September 19, 2002. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Surveyor: Zanca Land Surveyors, Inc., 16 Gleasondale Road, Suite 102, Stow, Massachusetts 01775. Engineer: Consolidated Design Group, Inc., 21 Main Street, Hudson, MA 01749," recorded with the South Middlesex Registry of Deeds as Plan No. 1026 of 2002 (the "Plan"). Parcel A1 also referred to as LC #215, as shown on a plan entitled "L.C.C. 5374W, Plan of Land in Marlborough, MA" dated 06/06/2003. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Plan No. 5374 W filed with Certificate of Title No. 0215142. Said Parcel A1 contains 1.824 acres, according to said plan. **(865 Hemenway Street, Assessor Map 0011-40);**

A certain parcel of land being shown as **Parcel A** on a plan of land entitled "Plan of Land Definitive Subdivision Plans for Forest Trail An Open Space Development, Mosher Lane, Marlborough, Massachusetts. Scale: 1: = 40', revised September 19, 2002. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Surveyor: Zanca Land Surveyors, Inc., 16 Gleasondale Road, Suite 102, Stow, Massachusetts 01775. Engineer: Consolidated Design Group, Inc., 21 Main Street, Hudson, MA 01749," recorded with the South Middlesex Registry of Deeds as Plan No. 1026 of 2002 (the "Plan"). Said Parcel A being 12.507 acres according to said plan. **(Land off Hemenway Street, Assessor Map 0011-0003); and**

A certain parcel of land being shown as **Parcel B1** on a plan of land entitled "Plan of Land Definitive Subdivision Plans for Forest Trail An Open Space Development, Mosher Lane, Marlborough, Massachusetts. Scale: 1: = 40', revised September 19, 2002. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Surveyor: Zanca Land Surveyors, Inc., 16 Gleasondale Road, Suite 102, Stow, Massachusetts 01775. Engineer: Consolidated Design Group, Inc., 21 Main Street, Hudson, MA 01749," recorded with the South Middlesex Registry of Deeds as Plan

No. 1026 of 2002 (the "Plan"). Said Parcel B1 being 2,506 sq. ft. according to said plan. (**Off Mosher Lane, Assessor Map 0010-0082**).

And further, that three (3) of the above-referenced four (4) parcels, said **Parcel B** (Assessor Map 0010-41), **Parcel A1** (Assessor Map 0011-40), and **Parcel A** (Assessor Map 0011-0003), which are parcels designated as open space as part of the "Forest Trail" definitive subdivision and open space development off Mosher Lane, Marlborough, MA, are to be managed and controlled by the Marlborough Conservation Commission pursuant to MGL c. 40, s. 8C for the purposes of the promotion and development of natural resources, watershed protection, passive recreation, and conservation.

ADOPTED
In City Council
Order No. 23-
Adopted

Approved by Mayor
Arthur G. Vigeant
Date:

A TRUE COPY
ATTEST:

DEED IN LIEU OF FORECLOSURE

Avidia Bank, a Massachusetts banking corporation, with a principal place of business at 42 Main Street, Hudson, Massachusetts, for good and valuable consideration of one and 00/100 dollars (\$1.00) dollar, grants to the City of Marlborough, a Massachusetts municipal corporation with a usual place of business at City Hall, 140 Main Street, Marlborough, Massachusetts, 01752, acting by and through its City Council under the provisions of General Laws, Chapter 60, Section 77C, the vote of which is recorded herewith as **Exhibit A**;

With QUITCLAIM covenants

ALL OF ITS RIGHT, TITLE AND INTEREST in and to the following parcels of land situated in said Marlborough, Middlesex County, and Commonwealth of Massachusetts, described as follows:

I. Parcel B in the Forest Trail subdivision in Marlborough, Massachusetts, as shown on a plan of land entitled "Plan of Land Definitive Subdivision Plans for Forest Trail An Open Space Development, Mosher Lane, Marlborough, Massachusetts. Scale: 1: = 40', revised September 19, 2002. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Surveyor: Zanca Land Surveyors, Inc., 16 Gleasondale Road, Suite 102, Stow, Massachusetts 01775. Engineer: Consolidated Design Group, Inc., 21 Main Street, Hudson, MA 01749," recorded with the South Middlesex Registry of Deeds as Plan No. 1026 of 2002 (the "Plan"). Parcel B also referred to as LC #218, as shown on a plan entitled "L.C.C. 5374W, Plan of Land in Marlborough, MA" dated 06/06/2003. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Plan No. 5374 W filed with Certificate of Title No. 0215142.

Said Parcel B contains 1.418 acres, according to said plan.

BEING a portion of the premises conveyed to Avidia Bank by Foreclosure Deed dated August 30, 2007 and registered in the Middlesex County Registry of Deeds in Document No. 1453488, Certificate No. 240338.

II. Parcel A1 in the Forest Trail subdivision in Marlborough, Massachusetts, as shown on a plan of land entitled "Plan of Land Definitive Subdivision Plans for Forest Trail An Open Space Development, Mosher Lane, Marlborough, Massachusetts. Scale: 1: = 40', revised September 19, 2002. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Surveyor: Zanca Land Surveyors, Inc., 16 Gleasondale Road, Suite 102, Stow, Massachusetts 01775. Engineer: Consolidated Design Group, Inc., 21 Main Street, Hudson, MA 01749," recorded with the South Middlesex Registry of Deeds as Plan No. 1026 of 2002 (the "Plan"). Parcel A1 also referred to as LC #215, as shown on a plan entitled "L.C.C. 5374W, Plan of Land in Marlborough, MA" dated 06/06/2003. Plan for

Locus: 862, 865 Hemenway Street (Parcel ID: 0010-0041, 0011-0040), Land Off Hemenway Street (Parcel ID: 0011-0003) and Off Mosher Lane (Parcel ID: 0010-0082), Marlborough,

Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Plan No. 5374 W filed with Certificate of Title No. 0215142.

Said Parcel A1 contains 1.824 acres, according to said plan.

BEING a portion of the premises conveyed to Avidia Bank by Foreclosure Deed dated August 30, 2007 and registered in the Middlesex County Registry of Deeds in Document No. 1453488, Certificate No. 240338.

III. A certain parcel of land being shown as **Parcel A** on a plan of land entitled "Plan of Land Definitive Subdivision Plans for Forest Trail An Open Space Development, Mosher Lane, Marlborough, Massachusetts. Scale: 1: = 40', revised September 19, 2002. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Surveyor: Zanca Land Surveyors, Inc., 16 Gleasondale Road, Suite 102, Stow, Massachusetts 01775. Engineer: Consolidated Design Group, Inc., 21 Main Street, Hudson, MA 01749," recorded with the South Middlesex Registry of Deeds as Plan No. 1026 of 2002 (the "Plan").

Said Parcel A being 12.507 acres according to said plan.

BEING a portion of the premises conveyed to Avidia Bank by Foreclosure Deed dated August 30, 2007 and recorded in the Middlesex County Registry of Deeds in Book 50049, Page 304.

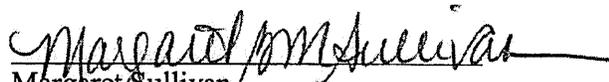
IV. A certain parcel of land being shown as **Parcel B1** on a plan of land entitled "Plan of Land Definitive Subdivision Plans for Forest Trail An Open Space Development, Mosher Lane, Marlborough, Massachusetts. Scale: 1: = 40', revised September 19, 2002. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Surveyor: Zanca Land Surveyors, Inc., 16 Gleasondale Road, Suite 102, Stow, Massachusetts 01775. Engineer: Consolidated Design Group, Inc., 21 Main Street, Hudson, MA 01749," recorded with the South Middlesex Registry of Deeds as Plan No. 1026 of 2002 (the "Plan").

Said Parcel B1 being 2,506 sq. ft. according to said plan.

BEING the same premises conveyed to Avidia Bank by Foreclosure Deed dated August 30, 2007 and recorded in the Middlesex County Registry of Deeds in Book 50049, Page 304.

Subject to all easements, rights-of-way, restrictive covenants and reservations of record, if any.

Witness our hands and seals this 22 day of June, 2023.


Margaret Sullivan
Executive Vice President

Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Plan No. 5374 W filed with Certificate of Title No. 0215142.

Said Parcel A1 contains 1.824 acres, according to said plan.

BEING a portion of the premises conveyed to Avidia Bank by Foreclosure Deed dated August 30, 2007 and registered in the Middlesex County Registry of Deeds in Document No. 1453488, Certificate No. 240338.

III. A certain parcel of land being shown as **Parcel A** on a plan of land entitled "Plan of Land Definitive Subdivision Plans for Forest Trail An Open Space Development, Mosher Lane, Marlborough, Massachusetts. Scale: 1: = 40', revised September 19, 2002. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Surveyor: Zanca Land Surveyors, Inc., 16 Gleasondale Road, Suite 102, Stow, Massachusetts 01775. Engineer: Consolidated Design Group, Inc., 21 Main Street, Hudson, MA 01749," recorded with the South Middlesex Registry of Deeds as Plan No. 1026 of 2002 (the "Plan").

Said Parcel A being 12.507 acres according to said plan.

BEING a portion of the premises conveyed to Avidia Bank by Foreclosure Deed dated August 30, 2007 and recorded in the Middlesex County Registry of Deeds in Book 50049, Page 304.

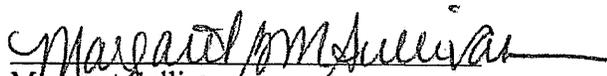
IV. A certain parcel of land being shown as **Parcel B1** on a plan of land entitled "Plan of Land Definitive Subdivision Plans for Forest Trail An Open Space Development, Mosher Lane, Marlborough, Massachusetts. Scale: 1: = 40', revised September 19, 2002. Plan for Doe Builders Inc., P.O. Box 400, Hudson, MA 01749. Surveyor: Zanca Land Surveyors, Inc., 16 Gleasondale Road, Suite 102, Stow, Massachusetts 01775. Engineer: Consolidated Design Group, Inc., 21 Main Street, Hudson, MA 01749," recorded with the South Middlesex Registry of Deeds as Plan No. 1026 of 2002 (the "Plan").

Said Parcel B1 being 2,506 sq. ft. according to said plan.

BEING the same premises conveyed to Avidia Bank by Foreclosure Deed dated August 30, 2007 and recorded in the Middlesex County Registry of Deeds in Book 50049, Page 304.

Subject to all easements, rights-of-way, restrictive covenants and reservations of record, if any.

Witness our hands and seals this 22 day of June, 2023.

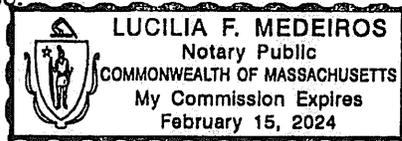

Margaret Sullivan
Executive Vice President

Bartholomew H. Murphy
Bartholomew H. Murphy
Executive Vice President

COMMONWEALTH OF MASSACHUSETTS

MIDDLESEX, ss.

On this 22nd day of June, 2023, before me, the undersigned notary public, personally appeared Margaret Sullivan proved to me through satisfactory evidence of identification which were [] Massachusetts driver's license(s), or [] _____, to be the person(s) whose name(s) is(are) signed on the preceding or attached document and acknowledged to me that he/she/they signed it voluntarily for its stated purpose.



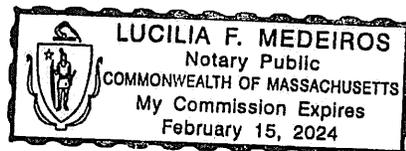
Lucilia F. Medeiros

Notary Public
My Commission Expires:

COMMONWEALTH OF MASSACHUSETTS

MIDDLESEX, ss.

On this 22nd day of June, 2023, before me, the undersigned notary public, personally appeared Bartholomew H. Murphy proved to me through satisfactory evidence of identification which were [] Massachusetts driver's license(s), or [] _____, to be the person(s) whose name(s) is(are) signed on the preceding or attached document and acknowledged to me that he/she/they signed it voluntarily for its stated purpose.



Lucilia F. Medeiros

Notary Public
My Commission Expires:



Marlborough, MA

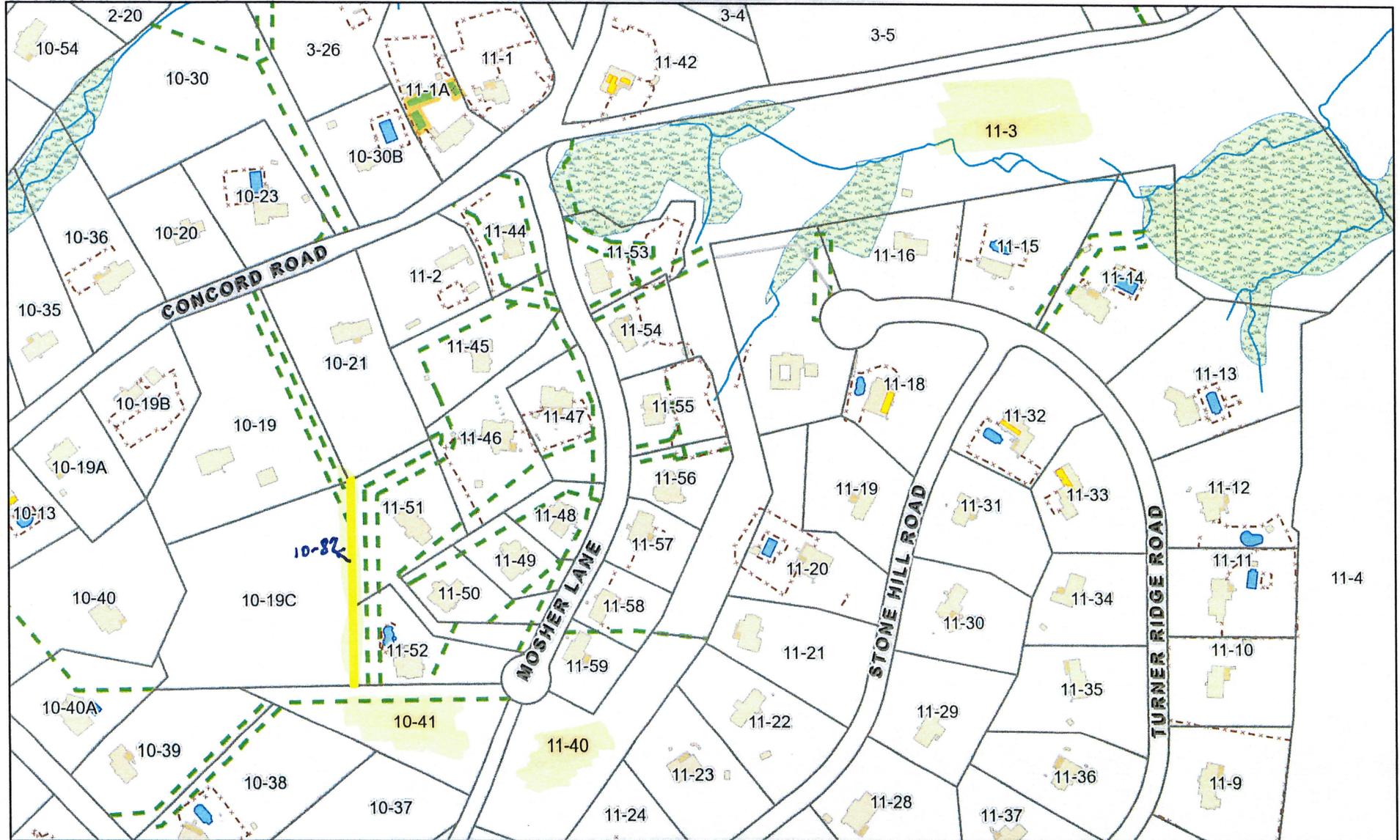
1 inch = 278 Feet



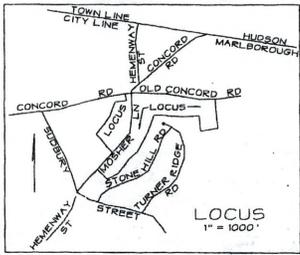
June 21, 2023

www.cai-tech.com

0 278 556 834



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



AREA TABLE

Table with 4 columns: Item, Description, Area, and Total. Includes categories like 'TOTAL AREA OF ORIGINAL TRACTS SHOWN ON THIS PLAN', 'STREETS', 'EASEMENTS', and 'OTHER - OPEN SPACE'.

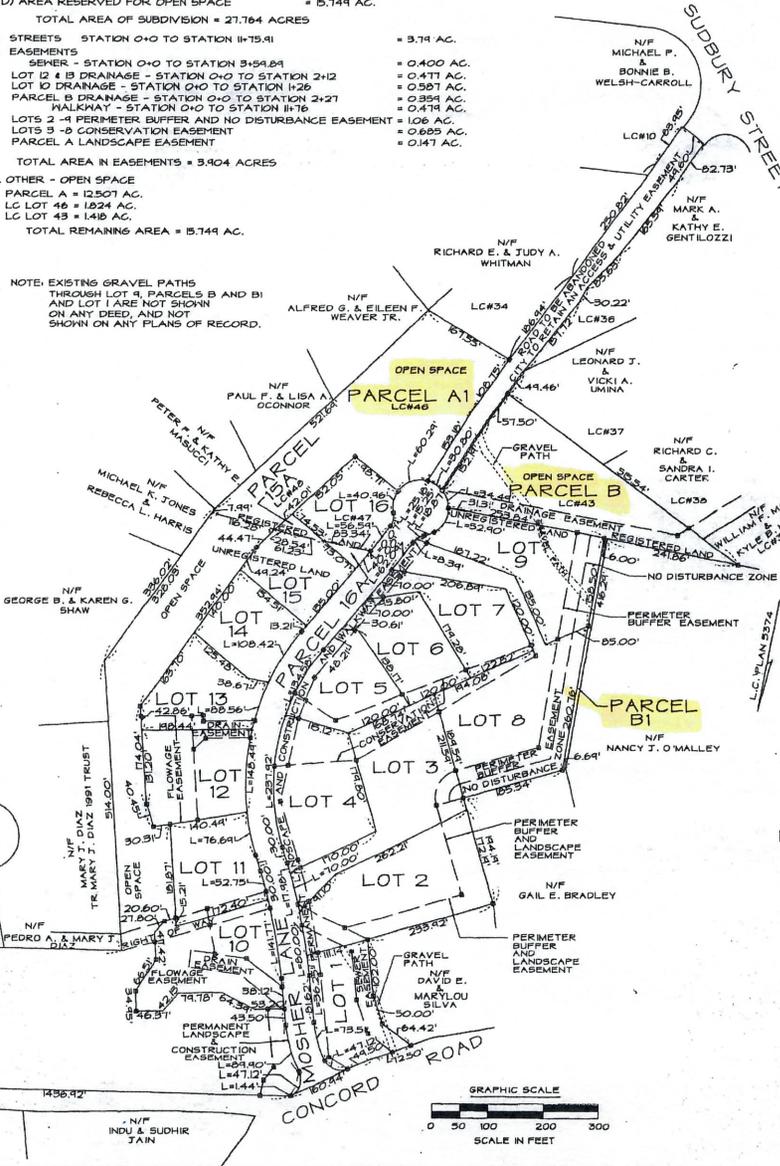
NOTE: EXISTING GRAVEL PATHS THROUGH LOT 9, PARCELS B AND B1 AND LOT 1 ARE NOT SHOWN ON ANY DEED, AND NOT SHOWN ON ANY PLANS OF RECORD.

Table with 3 columns: Item, APPROVED, DENIED. Lists 6 items regarding sidewalk, street requirements, impact analysis, perimeter buffers, and access from Sudbury Street.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



I, CITY CLERK OF THE CITY OF MARLBOROUGH HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THE PLAN BY THE MARLBOROUGH PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT, AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.



PLAN REF: BOOK 1828 PAGE 41, BOOK 13570 PAGE 440, BOOK 13970 PAGE 142, BOOK 917 PAGE 196, BOOK 916 PAGE 26, BOOK 10401 PAGE 371, L.C. 33748, L.C. 33749

APPROVAL UNDER SUBDIVISION CONTROL LAW REQUIRED. PLANNING BOARD CITY OF MARLBOROUGH. Includes signature and date 9/11/02.

FOR REGISTRY USE. Registry of Deeds, Southern District, Cambridge, Massachusetts. Includes registration number 10261-5 and date 9/11/02.

INDEX table listing sheets 1 through 20 and their corresponding titles, such as 'KEY SHEET / INDEX', 'RECORD PLAN', 'EXISTING CONDITION PLAN', and 'CONSTRUCTION DETAILS'.

- ZONING DISTRICT: R.R. - RURAL RESIDENCE
ZONING: OPEN SPACE DEVELOPMENT
NOTES: 1. ZONING: AREA = 20,000 SQ. FT., FRONTAGE = 70', LOT WIDTH AT BUILDING LINE = 90', FRONT YARD = 25', SIDE YARD = 15', REAR YARD = 25', MAX. LOT COVERAGE = 25%
2. # DENOTES GRANITE BOUND WITH DRILL HOLE TO BE SET
3. ASSESSORS REFERENCE: ASSESSORS MAP II, PARCELS 3, 40, 2A, & 43
4. SEE SPECIAL PERMIT GRANTED TO DOE BUILDERS, INC. FOR AN OPEN SPACE DEVELOPMENT DATED DECEMBER 17, 2000

KEY SHEET DEFINITIVE SUBDIVISION PLAN OF FOREST TRAIL AN OPEN SPACE DEVELOPMENT MOSHER LANE MARLBOROUGH, MASSACHUSETTS

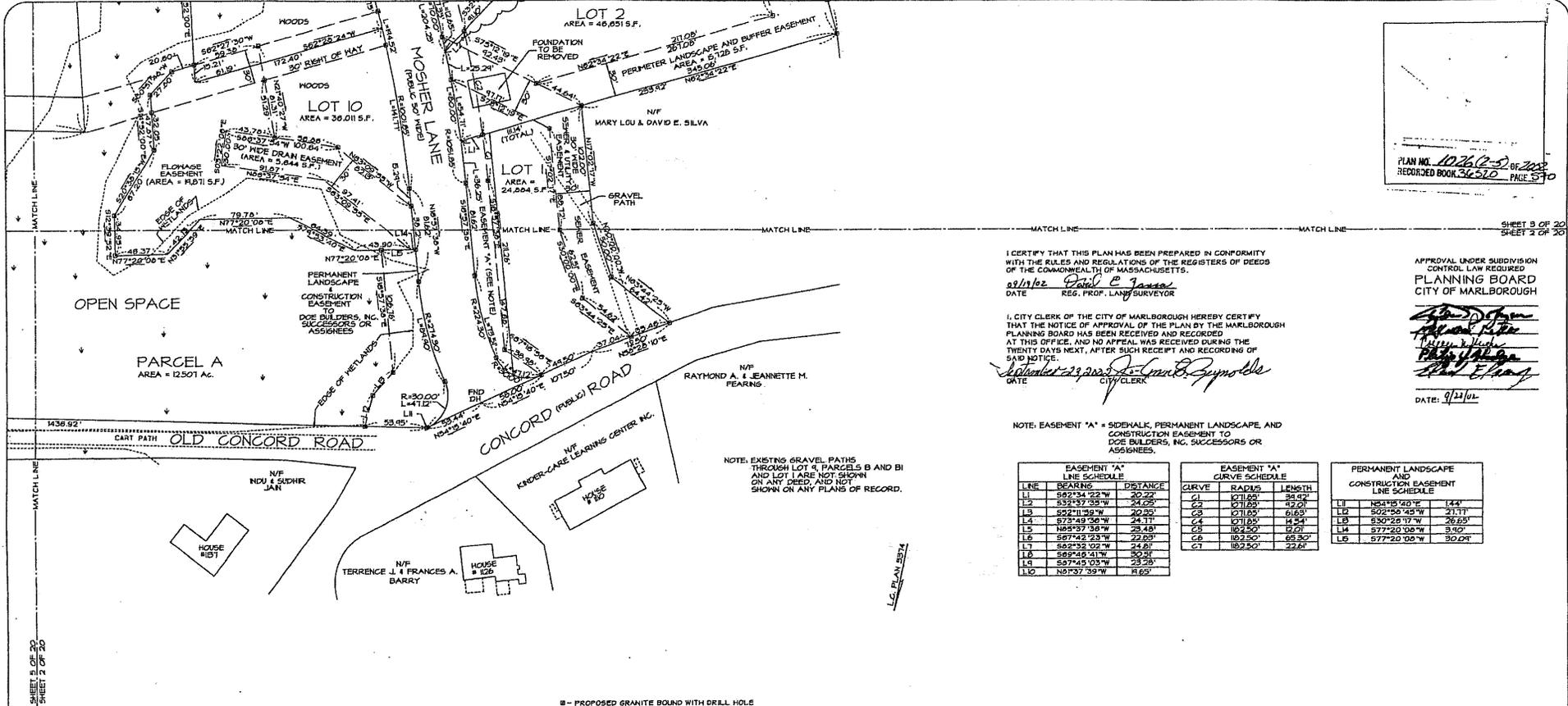
OWNER: CHRISTOPHER M. MUTTI TRUSTEE OF DOE CO. REALTY TRUST. DEED BOOK 30250 PAGES 01 - 06. ASSESSORS MAP II PARCELS 3 & 40. ASSESSORS MAP 10 PARCEL 41. DOREEN MCKEOWN TRUSTEE OF WILLIS LAKE RLT Y TRUST. DEED BOOK 28109 PAGE 201. DEED BOOK 28108 PAGE 588. ASSESSORS MAP II PARCELS 2A & 43. APPLICANT: DOE BUILDERS, INC. P.O. BOX 400 HUDSON, MA. 01749

SCALE 1" = 100'. DECEMBER 20, 2001. REVISED: APRIL 17, 2002. REVISED: JUNE 19, 2002. REVISED: JULY 9, 2002. REVISED: JULY 29, 2002. REVISED: AUGUST 22, 2002. REVISED: SEPTEMBER 19, 2002.

ENGINEER: CONSOLIDATED DESIGN GROUP, INC. 21 MAIN STREET, SUITE 9 HUDSON, MASSACHUSETTS 01749 (978) 562-0561. SURVEYOR: ZANNE LAND SURVEYORS INC. 19 GLASSBORO ROAD, SUITE 1-2 STOW, MASSACHUSETTS 01775 (978) 481-2352.



1026 1-5



PLAN NO. 1026(2-5) OF 2002
RECORDED BOOK 34510 PAGE 570

SHEET 3 OF 20
SHEET 2 OF 20

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
DATE 08/19/02
REG. PROF. LAND SURVEYOR

APPROVAL UNDER SUBDIVISION CONTROL LAW REQUIRED
PLANNING BOARD
CITY OF MARLBOROUGH

I, CITY CLERK OF THE CITY OF MARLBOROUGH HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THE PLAN BY THE MARLBOROUGH PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT, AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.
DATE September 23, 2002
CITY CLERK

[Signatures]
DATE: 9/23/02

NOTE: EASEMENT 'A' = SIDEWALK, PERMANENT LANDSCAPE, AND CONSTRUCTION EASEMENT TO DOE BUILDERS, INC. SUCCESSORS OR ASSIGNEES.

LINE	BEARING	DISTANCE	CURVE	RADIUS	LENGTH
L1	S89°24'22"W	24.25'	C1	1071.85'	38.92'
L2	S33°37'35"W	24.25'	C2	1071.85'	17.70'
L3	S02°11'58"W	20.93'	C3	1071.85'	61.65'
L4	S73°49'36"W	24.11'	C4	1071.85'	14.54'
L5	N88°37'38"W	23.48'	C5	183.50'	12.04'
L6	S67°42'23"W	22.03'	C6	183.50'	65.30'
L7	S92°32'02"W	24.61'	C7	183.50'	22.61'
L8	S88°45'41"W	30.31'			
L9	S87°45'05"W	23.26'			
L10	N01°37'39"W	8.62'			

EASEMENT 'A' CURVE SCHEDULE	CURVE	RADIUS	LENGTH
C1	1071.85'	38.92'	
C2	1071.85'	17.70'	
C3	1071.85'	61.65'	
C4	1071.85'	14.54'	
C5	183.50'	12.04'	
C6	183.50'	65.30'	
C7	183.50'	22.61'	

PERMANENT LANDSCAPE AND CONSTRUCTION EASEMENT LINE SCHEDULE	LINE	BEARING	DISTANCE
L1	N54°15'40"E	144'	
L2	S02°50'45"W	21.77'	
L3	S30°25'17"W	26.69'	
L4	S77°20'00"W	3.90'	
L5	S77°20'00"W	30.04'	

NOTE: EXISTING GRAVEL PATHS THROUGH LOT 4, PARCELS B AND BI AND LOT 1 ARE NOT SHOWN ON ANY DEED, AND NOT SHOWN ON ANY PLANS OF RECORD.

3 - PROPOSED GRANITE BOUND WITH DRILL HOLE

THE FOLLOWING WAIVERS REQUESTED

- | | APPROVED | DENIED |
|--|--------------------------|--------------------------|
| 1. SIDEWALK ON RIGHT SIDE TO BE A MEANDERING 3' WIDE SIDEWALK | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. SECTION IV.5 (a) REQUIRES DEAD END STREETS TO BE NO LONGER THAN 500 FEET. WE REQUEST A WAIVER TO ALLOW HEMENWAY STREET TO BE 175.91 FEET. | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. SECTION III.B.d - COMPARATIVE IMPACT ANALYSIS REQUEST NO COMPARATIVE IMPACT ANALYSIS BE REQUIRED. | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. PERMETER BUFFER AND NO DISTURBANCE ZONE, REAR YARD OFFSET SHOULD BE 100 FEET. IN LOTS 9, 10 AND 2 REQUESTING 50' OFFSETS, AND LOT #1 REQUESTING 0 FEET OFFSET. SIDE YARD PERMETER BUFFER REQUESTED IN LOT #2, WE ARE REQUESTING A 30' BUFFER. LOTS #10, #12 AND #13 REQUESTING A 60' BUFFER AS SHOWN. | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. LIMITED ACCESS FROM SUBURY STREET TO END OF CUL-DE-SAC DOES NOT MEET MINIMUM WIDTH FOR OPEN SPACE. | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. REQUESTING FOR LOT #2 THAT THE REAR YARD OFFSET OF 50 FEET AND THE SIDE YARD OFFSET OF 30 FEET, BE A PERMETER BUFFER AND LANDSCAPE EASEMENT, AND A PORTION OF LOT #3 THAT THE REAR YARD OFFSET OF 50 FEET BE A PERMETER BUFFER AND LANDSCAPE EASEMENT AS SHOWN. | <input type="checkbox"/> | <input type="checkbox"/> |

AREA TABLE

TOTAL AREA OF ORIGINAL TRACTS SHOWN ON THIS PLAN EQUALS 21.764 ACRES.

A) AREA IN LOTS 1-10 AND PARCELS BI, BA & 10A	= 11.564 AC.
B) (I) AREA IN STREET HEMENWAY TAKING +	= 0.621 AC.
(2) ABANDONED -	= 0.084 AC.
(3) TOTAL AREA OF STREET	= 1.421 AC.
(4) AREA IN EASEMENTS	= 3.791 AC.
D) AREA RESERVED FOR OPEN SPACE	= 5.141 AC.
TOTAL AREA OF SUBDIVISION = 21.764 ACRES	
2. STREETS - STATION 0+0 TO STATION 11+75.41	= 5.714 AC.
3. EASEMENTS	
SEWER - STATION 0+0 TO STATION 3+54.84	= 0.400 AC.
LOT 10 A - STATION 0+0 TO STATION 2+12	= 0.471 AC.
LOT 10 D DRAINAGE - STATION 0+0 TO STATION 1+26	= 0.581 AC.
PARCEL B DRAINAGE - STATION 0+0 TO STATION 2+21	= 0.358 AC.
WALKWAY - STATION 0+0 TO STATION 1+78	= 0.479 AC.
LOTS 2-4 PERMETER BUFFER AND NO DISTURBANCE EASEMENT	= 1.06 AC.
LOTS 9-10 CONSTRUCTION EASEMENT	= 0.665 AC.
PARCEL A LANDSCAPE EASEMENT	= 0.411 AC.
TOTAL AREA IN EASEMENTS = 5.404 ACRES	
4. OTHER - OPEN SPACE	
PARCEL A = 12.501 AC.	
LG LOT 46 = 1824 AC.	
LG LOT 45 = 148 AC.	
TOTAL REMAINING AREA = 5.741 AC.	

PLAN OF LAND
DEFINITIVE SUBDIVISION PLANS
FOR
FOREST TRAIL
AN
OPEN SPACE DEVELOPMENT
MOSHER LANE
MARLBOROUGH, MASSACHUSETTS



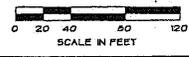
SCALE: 1" = 40'

DECEMBER 20, 2001
REVISED: APRIL 11, 2002
REVISED: JUNE 11, 2002
REVISED: JULY 1, 2002
REVISED: JULY 24, 2002
REVISED: AUGUST 22, 2002
REVISED: SEPTEMBER 11, 2002

PLAN FOR: DOE BUILDERS, INC.
P.O. BOX 400
HUDSON, MA, 01741

ENGINEER:
CONSOLIDATED DESIGN GROUP, INC.
21 MAIN STREET, SUITE 4
HUDSON, MASSACHUSETTS 01741
(978) 562-5581

SURVEYOR:
ZARSA LASE SURVEYORS INC.
16 GLENSDALE ROAD, SUITE 12
STOKES, MASSACHUSETTS 01570
(978) 461-2355

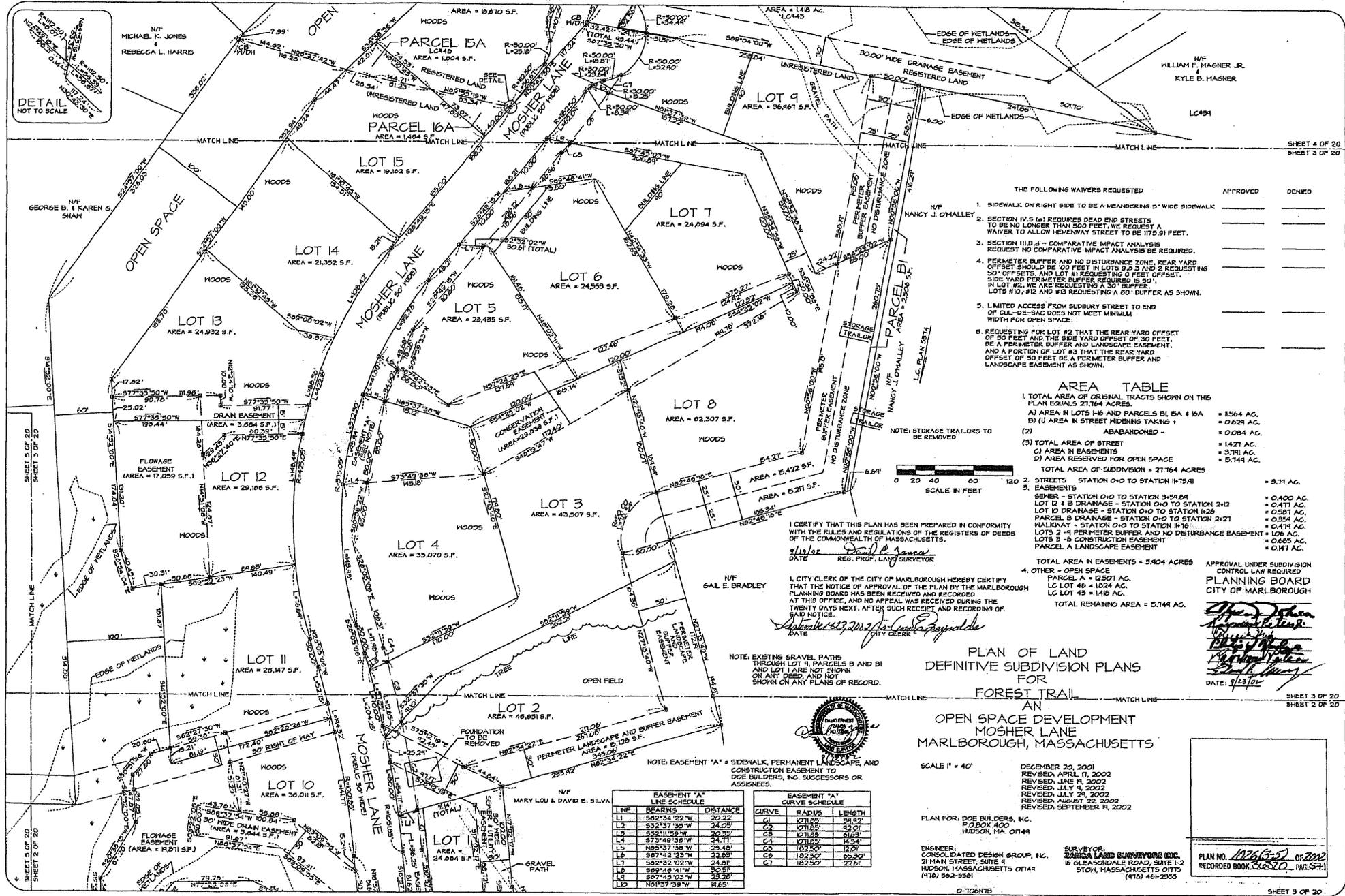
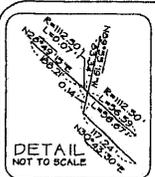


0-10MBTB

SHEET 2 OF 20

1026 2-5

0-456
MPB-2182

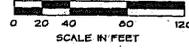


SHEET 4 OF 20
SHEET 3 OF 20

- THE FOLLOWING WAIVERS REQUESTED
- | | APPROVED | DENIED |
|--|----------|--------|
| 1. SIDEWALK ON RIGHT SIDE TO BE A MEANDERING 5' WIDE SIDEWALK | | |
| 2. SECTION IV 5 (A) REQUIRES DEAD END STREETS TO BE NO LONGER THAN 500 FEET, WE REQUEST A WAIVER TO ALLOW HIGHWAY STREET TO BE 175.91 FEET. | | |
| 3. SECTION III B - COMPARATIVE IMPACT ANALYSIS IS REQUESTED. REQUEST NO COMPARATIVE ANALYSIS BE REQUIRED. | | |
| 4. PERMETER BUFFER AND NO DISTURBANCE ZONE, REAR YARD OFFSET SHOULD BE 100 FEET IN LOTS 9, 10, 11 AND 12 REQUESTING 50' OFFSETS, AND LOT 11 REQUESTING 0 FEET OFFSET. IN LOT #2, WE ARE REQUESTING A 30' BUFFER. LOTS #10, #12 AND #13 REQUESTING A 60' BUFFER AS SHOWN. | | |
| 5. LIMITED ACCESS FROM SUDBURY STREET TO END OF CUL-DE-SAC DOES NOT MEET MINIMAL WIDTH FOR OPEN SPACE. | | |
| 6. REQUESTING FOR LOT #2 THAT THE REAR YARD OFFSET OF 50 FEET AND THE SIDE YARD OFFSET OF 30 FEET BE A PERMETER BUFFER AND LANDSCAPE EASEMENT, AND A PORTION OF LOT #3 THAT THE REAR YARD OFFSET OF 50 FEET BE A PERMETER BUFFER AND LANDSCAPE EASEMENT AS SHOWN. | | |

AREA TABLE

1. TOTAL AREA OF ORIGINAL TRACTS SHOWN ON THIS PLAN EQUALS 27.04 ACRES.
- A) AREA IN LOTS #6 AND PARCELS B1, B2 & B3 = 1564 AC.
 - B) (U) AREA IN STREET WIDENING TAKING + = 0.024 AC.
 - (2) ABANDONED - = 0.084 AC.
 - (3) TOTAL AREA OF STREET = 1.421 AC.
 - C) AREA IN EASEMENTS = 3.791 AC.
 - D) AREA RESERVED FOR OPEN SPACE = 5.144 AC.
- TOTAL AREA OF SUBDIVISION = 21.164 ACRES



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: 9/12/02
REG. PROF. LAND SURVEYOR

1. CITY CLERK OF THE CITY OF MARLBOROUGH HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THE PLAN BY THE MARLBOROUGH PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT, AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE: September 12, 2002
CITY CLERK

2. STREETS STATION 0+0 TO STATION 1+75.91 = 5.14 AC.
3. EASEMENTS
- SEWER - STATION 0+0 TO STATION 3+54.84 = 0.400 AC.
 - LOT 12 & B DRAINAGE - STATION 0+0 TO STATION 2+0 = 0.471 AC.
 - LOT 10 DRAINAGE - STATION 0+0 TO STATION #26 = 0.581 AC.
 - PARCEL B DRAINAGE - STATION 0+0 TO STATION 2+21 = 0.354 AC.
 - WALKWAY - STATION 0+0 TO STATION 1+10 = 0.474 AC.
 - LOTS 2-4 PERMETER BUFFERS AND NO DISTURBANCE EASEMENT = 1.029 AC.
 - LOTS 3-B CONSTRUCTION EASEMENT = 0.085 AC.
 - PARCEL A LANDSCAPE EASEMENT = 0.417 AC.

APPROVAL UNDER SUBDIVISION CONTROL LAW REQUIRED
PLANNING BOARD
CITY OF MARLBOROUGH

DATE: 9/23/02

PLAN OF LAND
DEFINITIVE SUBDIVISION PLANS
FOR
FOREST TRAIL
AN
OPEN SPACE DEVELOPMENT
MOSHER LANE
MARLBOROUGH, MASSACHUSETTS

SCALE 1" = 40'

DECEMBER 20, 2001
REVISED APRIL 11, 2002
REVISED JUNE 14, 2002
REVISED JULY 4, 2002
REVISED JULY 28, 2002
REVISED AUGUST 22, 2002
REVISED SEPTEMBER 8, 2002

PLAN FOR: DOE BUILDERS, INC.
P.O. BOX 400
HUDSON, MA. 01744

ENGINEER:
CONSOLIDATED DESIGN GROUP, INC.
21 MAIN STREET, SUITE 1
HUDSON, MASSACHUSETTS 01744
(978) 562-5581

SURVEYOR:
ZARICA LAND SURVEYORS INC.
6 GLEASONDALE ROAD, SUITE 1-2
STOKY, MASSACHUSETTS 01775
(978) 461-2553

PLAN NO. 026650 OF 2002
RECORDED BOOK 0650 PAGE 571

NOTE: EASEMENT "A" = SIDEWALK, PERMANENT LANDSCAPE AND CONSTRUCTION EASEMENT TO DOE BUILDERS, INC. SUCCESSORS OR ASSIGNEES.

LINE	BEARINGS	DISTANCE
L1	S62°34'02"W	20.22'
L2	S32°37'05"W	24.09'
L3	S22°11'29"W	20.55'
L4	S73°49'35"W	24.17'
L5	N03°37'39"W	23.40'
L6	S87°42'23"W	22.83'
L7	S22°32'02"W	24.81'
L8	S69°48'41"W	24.33'
L9	S67°45'03"W	23.28'
L10	N01°37'39"W	22.65'

CURVE	RADIUS	LENGTH
C1	1211.85'	84.42'
C2	1211.85'	84.42'
C3	1211.85'	84.42'
C4	1211.85'	84.42'
C5	182.50'	12.02'
C6	182.50'	65.30'
C7	182.50'	22.61'

PLAN NO. 1026(1-5) OF 2002
RECORDED BOOK 36580 PAGE 5 OF 10

PLAN OF LAND
DEFINITIVE SUBDIVISION PLANS
FOR
FOREST TRAIL
AN
OPEN SPACE DEVELOPMENT
MOSHER LAKE
MARLBOROUGH, MASSACHUSETTS

SCALE 1" = 40'
DECEMBER 20, 2001
REVISED: APRIL 11, 2002
REVISED: JUNE 14, 2002
REVISED: JULY 4, 2002
REVISED: JULY 24, 2002
REVISED: AUGUST 22, 2002
REVISED: SEPTEMBER 8, 2002

PLAN FOR: DOE BUILDERS, INC.
P.O. BOX 400
HUDSON, MA. 01744

ENGINEER: CONSOLIDATED DESIGN GROUP, INC.
21 MAIN STREET, SUITE 4
HUDSON, MASSACHUSETTS 01744
(410) 562-5981
SURVEYOR: MARSHA LAND SURVEYORS INC.
8 GLEASONDALE ROAD, SUITE 1-2
STON, MASSACHUSETTS 01715
(410) 461-2355

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
DATE: 9/23/02
REG. PROF. LAND SURVEYOR



I, CITY CLERK OF THE CITY OF MARLBOROUGH HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THE PLAN BY THE MARLBOROUGH PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT, AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.
DATE: 9/23/02
CITY CLERK

EASEMENT "A" LINE SCHEDULE			EASEMENT "A" CURVE SCHEDULE		
LINE	BEARING	DISTANCE	CURVE	RADIUS	LENGTH
L1	S82°34'22"W	20.22'	C1	171.85'	36.92'
L2	S52°37'35"W	24.05'	C2	171.85'	42.07'
L3	S92°11'52"W	20.38'	C3	171.85'	41.65'
L4	S75°49'36"W	24.11'	C4	171.85'	41.65'
L5	N05°37'36"W	23.48'	C5	162.50'	42.07'
L6	S07°42'23"W	23.83'	C6	162.50'	42.07'
L7	S02°32'02"W	24.87'	C7	162.50'	42.07'
L8	S69°48'41"W	30.57'			
L9	S07°45'03"W	23.78'			
L10	N01°37'59"W	R105'			

AREA TABLE

1. TOTAL AREA OF ORIGINAL TRACTS SHOWN ON THIS PLAN EQUALS 27.764 ACRES.

A) AREA IN LOTS 1-16 AND PARCELS BL EA & 16A = 15.64 AC.

B) (1) AREA IN STREET WIDENING TAKING + = 0.824 AC.

(2) ABANDONED - = 0.004 AC.

(3) TOTAL AREA OF STREET = 1.421 AC.

C) AREA IN EASEMENTS = 3.711 AC.

D) AREA RESERVED FOR OPEN SPACE = 5.144 AC.

TOTAL AREA OF SUBDIVISION = 27.764 ACRES

2. TOTAL STATION 0+0 TO STATION 1+75.91 = 3.74 AC.

3. EASEMENTS

SEWER - STATION 0+0 TO STATION 3+51.84 = 0.400 AC.

LOT 12 & 13 DRAINAGE - STATION 0+0 TO STATION 2+12 = 0.411 AC.

LOT 10 DRAINAGE - STATION 0+0 TO STATION 1+26 = 0.351 AC.

PARCEL B DRAINAGE - STATION 0+0 TO STATION 2+27 = 0.418 AC.

WALKWAY - STATION 0+0 TO STATION 1+19 = 0.418 AC.

LOTS 2 - 4 PERIMETER BUFFER AND NO DISTURBANCE EASEMENT = 1.06 AC.

LOTS 5 - 8 CONSTRUCTION EASEMENT = 0.665 AC.

PARCEL A LANDSCAPE EASEMENT = 0.417 AC.

TOTAL AREA IN EASEMENTS = 3.904 ACRES

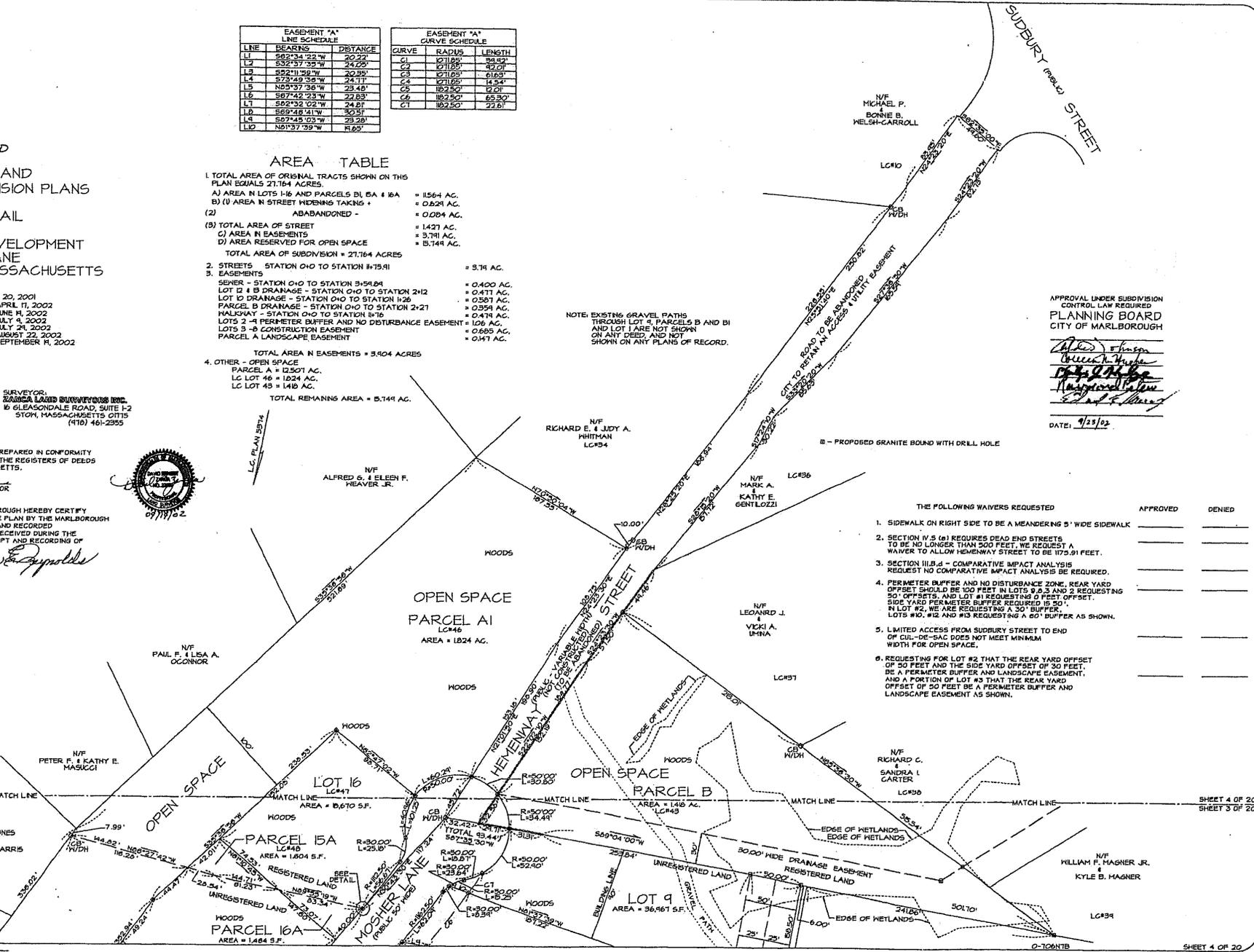
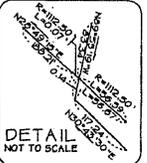
4. OTHER - OPEN SPACE

PARCEL A = 12.501 AC.

LC LOT 16 = 1.824 AC.

LC LOT 49 = 1.418 AC.

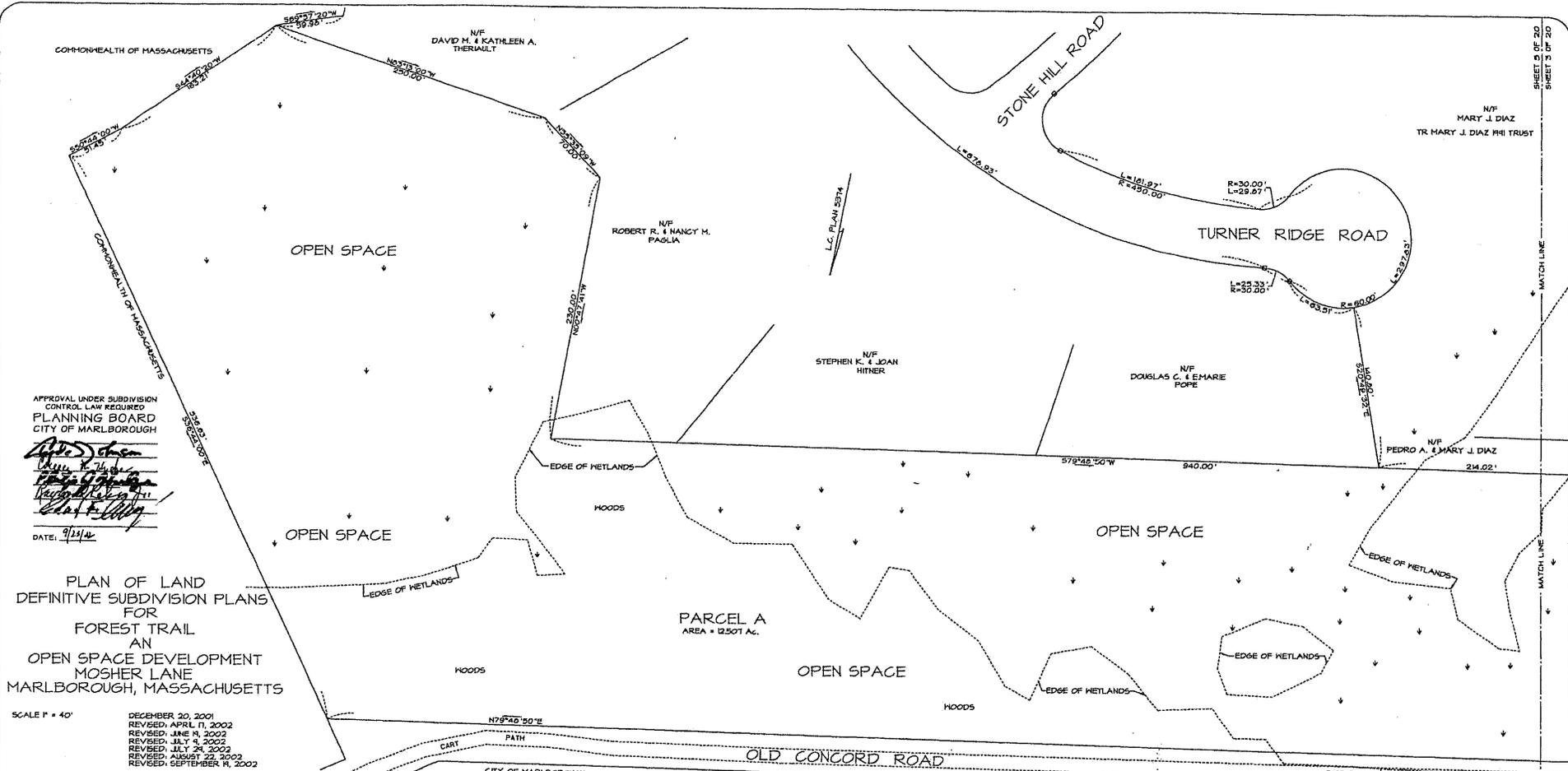
TOTAL REMAINING AREA = 5.144 AC.



APPROVAL UNDER SUBDIVISION CONTROL LAW REQUIRED
PLANNING BOARD
CITY OF MARLBOROUGH
[Signature]
DATE: 9/23/02

THE FOLLOWING WAIVERS REQUESTED

REQUESTED	APPROVED	DENIED
1. SIDEWALK ON RIGHT SIDE TO BE A MEANDERING 5' WIDE SIDEWALK		
2. SECTION 14.5 (b) REQUIRES DEAD END STREETS TO BE NO LONGER THAN 500 FEET. WE REQUEST A WAIVER TO ALLOW HEMENWAY STREET TO BE 1175.91 FEET.		
3. SECTION 11B.d - COMPARATIVE IMPACT ANALYSIS REQUEST NO COMPARATIVE IMPACT ANALYSIS BE REQUIRED.		
4. PERIMETER BUFFER AND NO DISTURBANCE ZONE. REAR YARD OFFSET SHOULD BE 100 FEET IN LOTS 9, 15.3 AND 2 REQUESTING 50' OFFSETS. AND LOT 16 REQUESTING 0 FEET OFFSET. SIDE YARD PERIMETER BUFFER REQUESTED 5' IN LOT #2. WE ARE REQUESTING A 30' BUFFER. LOTS #10, #12 AND #13 REQUESTING A 60' BUFFER AS SHOWN.		
5. LIMITED ACCESS FROM SUBURB STREET TO END OF CUL-DE-SAC DOES NOT MEET MINIMUM WIDTH FOR OPEN SPACE.		
6. REQUESTING FOR LOT #2 THAT THE REAR YARD OFFSET OF 50 FEET AND THE SIDE YARD OFFSET OF 30 FEET BE A PERIMETER BUFFER AND LANDSCAPE EASEMENT, AND A PORTION OF LOT #3 THAT THE REAR YARD OFFSET OF 50 FEET BE A PERIMETER BUFFER AND LANDSCAPE EASEMENT AS SHOWN.		



APPROVAL UNDER SUBDIVISION CONTROL LAW REQUIRED
 PLANNING BOARD
 CITY OF MARLBOROUGH

Approved
 DATE: 9/19/02

PLAN OF LAND
 DEFINITIVE SUBDIVISION PLANS
 FOR
 FOREST TRAIL
 AN
 OPEN SPACE DEVELOPMENT
 MOSHER LANE
 MARLBOROUGH, MASSACHUSETTS

SCALE 1" = 40'
 DECEMBER 20, 2001
 REVISED: APRIL 11, 2002
 REVISED: JUNE 19, 2002
 REVISED: JULY 9, 2002
 REVISED: JULY 24, 2002
 REVISED: AUGUST 22, 2002
 REVISED: SEPTEMBER 14, 2002

PLAN FOR: DOE BUILDERS, INC.
 P.O. BOX 400
 HUDSON, MA, 01144

ENGINEER:
 CONSOLIDATED DESIGN GROUP, INC.
 21 HARK STREET, SUITE 4
 HUDSON, MASSACHUSETTS 01144
 (978) 562-3581

SURVEYOR:
 ZARCA LAND SURVEYORS INC.
 16 GLEASONDALE ROAD, SUITE 1-2
 STON, MASSACHUSETTS 01135
 (978) 461-2355



PLAN NO. 1026 (5-5) OF 2002
 RECORDED BOOK 26520, P. 57



② - PROPOSED GRANITE SOUND WITH DRILL HOLE

THE FOLLOWING WAIVERS REQUESTED

	APPROVED	DENIED
1. SIDEWALK ON RIGHT SIDE TO BE A MEANDERING 5' WIDE SIDEWALK		
2. SECTION IV 5 (a) REQUIRES DEAD END STREETS TO BE NO LONGER THAN 500 FEET. WE REQUEST A WAIVER TO ALLOW HEMENWAY STREET TO BE 175.91 FEET.		
3. SECTION III B.4 - COMPARATIVE IMPACT ANALYSIS REQUEST NO COMPARATIVE IMPACT ANALYSIS BE REQUIRED.		
4. PERIMETER BUFFER AND NO DISTURBANCE ZONE. REAR YARD OFFSET SHOULD BE 100 FEET IN LOTS 9, 8, 3 AND 2 REQUESTING 30' OFFSETS. AND LOT #1 REQUESTING 0 FEET OFFSET. SIDE YARD PERIMETER BUFFER REQUESTING 15' 0". IN LOT #2, WE ARE REQUESTING A 30' BUFFER. LOTS #10, #12 AND #13 REQUESTING A 60' BUFFER AS SHOWN.		
5. LIMITED ACCESS FROM SUDBURY STREET TO END OF COL-DE-SAC DOES NOT MEET MINIMUM WIDTH FOR OPEN SPACE.		
6. REQUESTING FOR LOT #2 THAT THE REAR YARD OFFSET OF 30 FEET AND THE SIDE YARD OFFSET OF 30 FEET, BE A PERIMETER BUFFER AND LANDSCAPE EASEMENT, AND A PORTION OF LOT #3 THAT THE REAR YARD OFFSET OF 30 FEET BE A PERIMETER BUFFER AND LANDSCAPE EASEMENT AS SHOWN.		

AREA TABLE

1. TOTAL AREA OF ORIGINAL TRACTS SHOWN ON THIS PLAN EQUALS 21.764 ACRES.

A) AREA IN LOTS 14b AND PARCELS B1, 5A & 16A = 11564 AC.
 B) (1) AREA IN STREET WIDENING TAKING = 0.029 AC.
 (2) ABANDONED = 0.084 AC.
 (3) TOTAL AREA OF STREET = 14271 AC.
 C) AREA IN EASEMENTS = 3.791 AC.
 D) AREA RESERVED FOR OPEN SPACE = 5.744 AC.

TOTAL AREA OF SUBDIVISION = 21.764 ACRES

2. STREETS - STATION 0+0 TO STATION 1+75.91 = 3.791 AC.
 EASEMENTS = 0.400 AC.
 LOT 12 & B DRAINAGE - STATION 0+0 TO STATION 2+12 = 0.471 AC.
 LOT 10 DRAINAGE - STATION 0+0 TO STATION 1+26 = 0.581 AC.
 PARCEL B DRAINAGE - STATION 0+0 TO STATION 2+27 = 0.329 AC.
 WALKWAY - STATION 0+0 TO STATION 1+16 = 0.479 AC.
 LOTS 2-4 PERIMETER BUFFER AND NO DISTURBANCE EASEMENT = 1.106 AC.
 LOTS 3-4 CONSTRUCTION EASEMENT = 0.885 AC.
 PARCEL A LANDSCAPE EASEMENT = 0.917 AC.

TOTAL AREA IN EASEMENTS = 3.804 ACRES

4. OTHER - OPEN SPACE
 PARCEL A = 12.501 AC.
 LG LOT 48 = 1.824 AC.
 LG LOT 49 = 1.430 AC.

TOTAL REMAINING AREA = 5.744 AC.

NOTE: EXISTING GRAVEL PATHS THROUGH LOT 4, PARCELS B AND B1 AND LOT 1 ARE NOT SHOWN ON ANY RECORD AND NOT SHOWN ON ANY PLANS OF RECORD.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
 DATE: 9/19/02
 REG. PROF. LAND SURVEYOR

I, CITY CLERK OF THE CITY OF MARLBOROUGH HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THE PLAN BY THE MARLBOROUGH PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.
 DATE: 9/19/02
 CITY CLERK

1026 5-5

C-455
 APR. 24 2002

CURRENT OWNER		TOPO	UTILITIES	STRT/ROAD	LOCATION	CURRENT ASSESSMENT				
AVIDIA BANK						Description	Code	Assessed	Assessed	228 MARLBOROUGH, MA
42 MAIN ST						RES LAND	1310	8,600	8,600	
HUDSON MA 01749		SUPPLEMENTAL DATA								VISION
		Alt Prcl ID 10/41// Deed Ref Aff Housin Schedule I LCD 1485419 CERT 240338 GIS ID M_200493_902433		PROBATE Assoc Pid#						
						Total 8,600 8,600				

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)									
AVIDIA BANK	1343	0137	10-29-2008	U	V	0	1F	Year	Code	Assessed	Year	Code	Assessed	V	Year	Code	Assessed
AVIDIA BANK	50711	0199	02-12-2008	U	V	0	1F	2023	1310	8,600	2022	1310	8,600	2021	1310	8,600	
AVIDIA BANK	1343	0137	08-31-2007	U	V	600,000	1L										
CONSERVATION LLC	1303	0110	07-05-2005	U	V	0	1F										
MUTTI CHRISTOPHER M	1205	0192	06-02-1999	U	V	50,000	1N										
Total								8,600		Total		8,600		Total		8,600	

EXEMPTIONS				OTHER ASSESSMENTS				
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int
Total			0.00					

ASSESSING NEIGHBORHOOD			
Nbhd	Nbhd Name	B	Tracing
0065			Batch

NOTES	
This signature acknowledges a visit by a Data Collector or Assessor	

BUILDING PERMIT RECORD								VISIT / CHANGE HISTORY						
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpose/Result

LAND LINE VALUATION SECTION																		
B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustmen	Adj Unit P	Land Value		
1	1310	Res Land Potenti	RR			1.430 AC	6,000	1.00000	0	1.00		1.000	NOT SUFF FRONTAGE		1.0000	6,000	8,600	
		62,290.8 SF																
Total Card Land Units						1.43 AC	Parcel Total Land Area						1.43	Total Land Value				8,600

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	99	Vacant Land			
Model	00	Vacant			
Grade:					
Stories:					
Occupancy					
Exterior Wall 1					
Exterior Wall 2					
Roof Structure:					
Roof Cover					
Interior Wall 1					
Interior Wall 2					
Interior Flr 1					
Interior Flr 2					
Heat Fuel					
Heat Type:					
AC Type:					
Total Bedrooms					
Total Bthrms:					
Total Half Baths					
Total Xtra Fixtrs					
Total Rooms:					
Bath Style:					
Kitchen Style:					
CONDO DATA					
Parcel Id		C	Owne		
			B	S	
Adjust Type	Code	Description	Factor%		
Condo Flr					
Condo Unit					
COST/MARKET VALUATION					
Building Value New			0		
Year Built			0		
Effective Year Built			0		
Depreciation Code					
Remodel Rating					
Year Remodeled					
Depreciation %					
Functional Obsol			0		
External Obsol			0		
Trend Factor			1		
Condition					
Condition %					
Percent Good					
RCNLD			0		
Dep % Ovr					
Dep Ovr Comment					
Misc Imp Ovr					
Misc Imp Ovr Comment					
Cost to Cure Ovr					
Cost to Cure Ovr Comment					

No Sketch

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
Ttl Gross Liv / Lease Area		0	0	0		0

CITY OF MARLBOROUGH



Real Estate Tax Statement

Parcel: 0010-0041

Location: 862 HEMENWAY ST

Owner:
 AVIDIA BANK
 42 MAIN ST
 HUDSON MA 01749

Status:
 Total 1.430
 Deferr .000
 Land Valuation: 8,600
 Building Valuation: 0
 Exemptions: 0
 Taxable Valuation: 8,600
 Interest Per Diem: 2.01

Legal Description:

Deed Date: 10/29/2008

Book/Page: 1343/0137

Interest Date: 05/30/2023

Year	Type	Bill
2023	RE-R	604

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	28.92	28.92	3.35	32.27
	DEMAND FEE	0.00	0.00	0.00	0.00
		28.92	28.92	3.35	32.27
2	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	28.91	28.91	2.33	31.24
	DEMAND FEE	0.00	0.00	0.00	0.00
		28.91	28.91	2.33	31.24
3	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	20.71	20.71	0.94	21.65
	DEMAND FEE	0.00	0.00	0.00	0.00
		20.71	20.71	0.94	21.65
4	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	20.70	20.70	0.23	20.93
	DEMAND FEE	15.00	15.00	0.00	15.00
		35.70	35.70	0.23	35.93

Year Totals		114.24	114.24	6.85	121.09
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Year	Type	Bill
2022	TL-R	4

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	112.83	112.83	17.21	130.04
	DEMAND FEE	15.00	15.00	2.29	17.29
	INTEREST B	15.28	15.28	2.33	17.61
		143.11	143.11	21.83	164.94

Year Totals		143.11	143.11	21.83	164.94
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CITY OF MARLBOROUGH



Real Estate Tax Statement

Year	Type	Bill
2021	TL-R	95

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	118.68	118.68	37.09	155.77
	DEMAND FEE	15.00	15.00	4.69	19.69
	INTEREST B	8.48	8.48	2.65	11.13
		142.16	142.16	44.43	186.59

Year Totals		142.16	142.16	44.43	186.59
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Year	Type	Bill
2020	TL-R	8

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	121.95	121.95	56.99	178.94
	DEMAND FEE	15.00	15.00	7.01	22.01
	INTEREST B	8.84	8.84	4.13	12.97
		145.79	145.79	68.13	213.92

Year Totals		145.79	145.79	68.13	213.92
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Year	Type	Bill
2019	TL-R	13

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	121.00	121.00	77.23	198.23
	DEMAND FEE	15.00	15.00	9.57	24.57
	INTEREST B	8.20	8.20	5.23	13.43
		144.20	144.20	92.03	236.23

Year Totals		144.20	144.20	92.03	236.23
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Year	Type	Bill
2018	TL-R	14

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	125.82	125.82	99.88	225.70
	DEMAND FEE	15.00	15.00	11.91	26.91
	INTEREST B	9.05	9.05	7.18	16.23
		149.87	149.87	118.97	268.84

Year Totals		149.87	149.87	118.97	268.84
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Year	Type	Bill
2017	TL-R	7

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	131.75	131.75	124.80	256.55
	DEMAND FEE	15.00	15.00	14.21	29.21
	INTEREST B	10.01	10.01	9.48	19.49
		156.76	156.76	148.49	305.25

Year Totals		156.76	156.76	148.49	305.25
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CITY OF MARLBOROUGH



Real Estate Tax Statement

Year	Type	Bill				
2016	TL-R	6				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	131.92	131.92	146.88	278.80	
	DEMAND FEE	15.00	15.00	16.70	31.70	
	INTEREST B	16.04	16.04	17.86	33.90	
		162.96	162.96	181.44	344.40	
Year Totals		162.96	162.96	181.44	344.40	
Year	Type	Bill				
2015	TL-R	2				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	1,081.14	1,081.14	1,379.59	2,460.73	
	DEMAND FEE	15.00	15.00	19.14	34.14	
	INTEREST B	72.14	72.14	92.05	164.19	
		1,168.28	1,168.28	1,490.78	2,659.06	
Year Totals		1,168.28	1,168.28	1,490.78	2,659.06	
Year	Type	Bill				
2014	TL-R	113				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	1,042.32	1,042.32	1,412.30	2,454.62	
	DEMAND FEE	5.00	5.00	6.78	11.78	
	INTEREST B	144.95	144.95	196.40	341.35	
		1,192.27	1,192.27	1,615.48	2,807.75	
Year Totals		1,192.27	1,192.27	1,615.48	2,807.75	
Year	Type	Bill				
2013	TL-R	175				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	782.76	782.76	1,060.61	1,843.37	
	DEMAND FEE	5.00	5.00	6.78	11.78	
	ADFEETT	13.10	13.10	17.75	30.85	
	POST PENAL	5.00	5.00	6.78	11.78	
	POST TAKIN	5.00	5.00	0.00	5.00	
	PREPARE	10.00	10.00	13.55	23.55	
	PREP TK	10.00	10.00	13.55	23.55	
	INS TAK	75.00	75.00	101.62	176.62	
	INTEREST B	204.29	204.29	276.81	481.10	
		1,110.15	1,110.15	1,497.45	2,607.60	
Year Totals		1,110.15	1,110.15	1,497.45	2,607.60	
Grand Totals		4,629.79	4,629.79	5,285.88	9,915.67	

** End of Report - Generated by Chris Firicano **

Property Location HEMENWAY ST
 Vision ID 723

Account # 00712707

Map ID 11/3///

Bldg # 1

Bldg Name
 Sec # 1 of 1

Card # 1 of 1

11-20

State Use 1310
 Print Date 05-31-2023 3:05:25 P

CURRENT OWNER		TOPO	UTILITIES	STRT/ROAD	LOCATION	CURRENT ASSESSMENT			
AVIDIA BANK						Description	Code	Assessed	Assessed
42 MAIN ST						RES LAND	1310	75,100	75,100
HUDSON MA 01749		SUPPLEMENTAL DATA							
		Alt Prcl ID 11/3//	PROBATE						
		Deed Ref BOTH WAYS BK 50049 PG							
		Aff Housin Schedule I							
		LCD 1453488							
		CERT 240338							
		GIS ID M_200841_902796	Assoc Pid#						
						Total		75,100	75,100

228
 MARLBOROUGH, MA
VISION

RECORD OF OWNERSHIP								PREVIOUS ASSESSMENTS (HISTORY)								
BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed		
AVIDIA BANK	1343 0137	08-31-2007	U	V	600,000	1L	2023	1310	75,100	2022	1310	75,100	2021	1310	75,100	
CONSERVATION LLC	45547 0224	07-05-2005	U	V	0	1F										
MUTTI CHRISTOPHER M	1205 0192	06-02-1999	U	V	50,000	1N										
						Total		75,100	Total		75,100	Total		75,100		

EXEMPTIONS				OTHER ASSESSMENTS				APPRaised VALUE SUMMARY											
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int	This signature acknowledges a visit by a Data Collector or Assessor										
Total			0.00																
ASSESSING NEIGHBORHOOD																			
Nbhd	Nbhd Name	B	Tracing	Batch															
0060																			
NOTES																			
Total Appraised Parcel Value 75,100																			

BUILDING PERMIT RECORD										VISIT / CHANGE HISTORY							
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments		Date	Id	Type	Is	Cd	Purpose/Result		
										09-13-2022	CT	03		14	Field Review		
										11-18-2002	RR			41	Change		

LAND LINE VALUATION SECTION																		
B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustmen	Adj Unit P	Land Value		
1	1310	Res Land Potenti	RR			12.510	AC	6,000	1.00000	0	1.00		1.000	WET		1.0000	6,000	75,100
		544,935.6 SF																
Total Card Land Units						12.51	AC	Parcel Total Land Area						12.51	Total Land Value			75,100



CITY OF MARLBOROUGH

Real Estate Tax Statement

Parcel: 0011-0003

Location: HEMENWAY ST

Owner:
 AVIDIA BANK
 42 MAIN ST
 HUDSON MA 01749

Status:
 Total 12.510
 Deferr .000
 Land Valuation: 75,100
 Building Valuation: 0
 Exemptions: 0
 Taxable Valuation: 75,100
 Interest Per Diem: 6.24

Legal Description:

Deed Date: 08/31/2007

Book/Page: 1343/0137

Interest Date: 05/30/2023

Year	Type	Bill
2023	RE-R	601

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	252.49	252.49	29.25	281.74
	DEMAND FEE	0.00	0.00	0.00	0.00
		252.49	252.49	29.25	281.74
2	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	252.48	252.48	20.34	272.82
	DEMAND FEE	0.00	0.00	0.00	0.00
		252.48	252.48	20.34	272.82
3	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	180.84	180.84	8.18	189.02
	DEMAND FEE	0.00	0.00	0.00	0.00
		180.84	180.84	8.18	189.02
4	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	180.84	180.84	2.01	182.85
	DEMAND FEE	15.00	15.00	0.00	15.00
		195.84	195.84	2.01	197.85

Year Totals		881.65	881.65	59.78	941.43
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Year	Type	Bill
2022	TL-R	5

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	985.31	985.31	150.31	1,135.62
	DEMAND FEE	15.00	15.00	2.29	17.29
	INTEREST B	133.55	133.55	20.37	153.92
		1,133.86	1,133.86	172.97	1,306.83

Year Totals		1,133.86	1,133.86	172.97	1,306.83
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CITY OF MARLBOROUGH



Real Estate Tax Statement

Year	Type	Bill				
2021	TL-R	97				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	1,036.38	1,036.38	323.92	1,360.30	
	DEMAND FEE	15.00	15.00	4.69	19.69	
	INTEREST B	74.08	74.08	23.15	97.23	
		1,125.46	1,125.46	351.76	1,477.22	
Year Totals		1,125.46	1,125.46	351.76	1,477.22	
Year	Type	Bill				
2020	TL-R	10				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	1,064.92	1,064.92	497.62	1,562.54	
	DEMAND FEE	15.00	15.00	7.01	22.01	
	INTEREST B	77.18	77.18	36.06	113.24	
		1,157.10	1,157.10	540.69	1,697.79	
Year Totals		1,157.10	1,157.10	540.69	1,697.79	
Year	Type	Bill				
2019	TL-R	15				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	1,056.66	1,056.66	674.41	1,731.07	
	DEMAND FEE	15.00	15.00	9.57	24.57	
	INTEREST B	71.64	71.64	45.72	117.36	
		1,143.30	1,143.30	729.70	1,873.00	
Year Totals		1,143.30	1,143.30	729.70	1,873.00	
Year	Type	Bill				
2018	TL-R	16				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	1,098.71	1,098.71	872.22	1,970.93	
	DEMAND FEE	15.00	15.00	11.91	26.91	
	INTEREST B	78.99	78.99	62.71	141.70	
		1,192.70	1,192.70	946.84	2,139.54	
Year Totals		1,192.70	1,192.70	946.84	2,139.54	
Year	Type	Bill				
2017	TL-R	9				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	1,150.53	1,150.53	1,089.88	2,240.41	
	DEMAND FEE	15.00	15.00	14.21	29.21	
	INTEREST B	87.46	87.46	82.85	170.31	
		1,252.99	1,252.99	1,186.94	2,439.93	
Year Totals		1,252.99	1,252.99	1,186.94	2,439.93	

CITY OF MARLBOROUGH



Real Estate Tax Statement

Year	Type	Bill			
2016	TL-R	8			
Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	1,152.03	1,152.03	1,282.70	2,434.73
	DEMAND FEE	15.00	15.00	16.70	31.70
	INTEREST B	99.43	99.43	110.71	210.14
		1,266.46	1,266.46	1,410.11	2,676.57
Year Totals		1,266.46	1,266.46	1,410.11	2,676.57
Year	Type	Bill			
2015	TL-R	4			
Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	1,673.71	1,673.71	2,135.75	3,809.46
	DEMAND FEE	15.00	15.00	19.14	34.14
	INTEREST B	112.88	112.88	144.04	256.92
		1,801.59	1,801.59	2,298.93	4,100.52
Year Totals		1,801.59	1,801.59	2,298.93	4,100.52
Year	Type	Bill			
2014	TL-R	115			
Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	1,648.05	1,648.05	2,233.04	3,881.09
	DEMAND FEE	5.00	5.00	6.78	11.78
	INTEREST B	227.68	227.68	308.50	536.18
		1,880.73	1,880.73	2,548.32	4,429.05
Year Totals		1,880.73	1,880.73	2,548.32	4,429.05
Year	Type	Bill			
2013	TL-R	177			
Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	1,141.78	1,141.78	1,547.06	2,688.84
	DEMAND FEE	5.00	5.00	6.78	11.78
	ADFEETT	13.10	13.10	17.75	30.85
	POST PENAL	5.00	5.00	6.78	11.78
	POST TAKIN	5.00	5.00	0.00	5.00
	PREPARE	10.00	10.00	13.55	23.55
	PREP TK	10.00	10.00	13.55	23.55
	INS TAK	75.00	75.00	101.62	176.62
	INTEREST B	302.40	302.40	409.74	712.14
		1,567.28	1,567.28	2,116.83	3,684.11
Year Totals		1,567.28	1,567.28	2,116.83	3,684.11
Grand Totals		14,403.12	14,403.12	12,362.87	26,765.99

** End of Report - Generated by Chris Firicano **

CURRENT OWNER		TOPO	UTILITIES	STRT/ROAD	LOCATION	CURRENT ASSESSMENT				
AVIDIA BANK						Description	Code	Assessed	Assessed	228 MARLBOROUGH, MA
42 MAIN ST						RES LAND	1320	10,900	10,900	
HUDSON MA 01749		SUPPLEMENTAL DATA				Total				VISION
		Alt Prcl ID 11/40// Deed Ref 50049/304 BOTH WAYS Aff Housin Schedule I LCD 1453488 CERT 240338 GIS ID M_200570_902401				PROBATE Assoc Pid#				

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)								
AVIDIA BANK		1343 0137	08-31-2007	U	V	600,000	1L	Year	Code	Assessed	Year	Code	Assessed V	Year	Code	Assessed
CONSERVATION LLC		1303 0110	07-05-2005	U	V	0	1F	2023	1320	10,900	2022	1320	10,900	2021	1320	10,900
MUTTI CHRISTOPHER M		1205 0192	06-02-1999	U	V	50,000	1N	Total								
								10,900			10,900			10,900		

EXEMPTIONS				OTHER ASSESSMENTS				
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int
Total			0.00					

ASSESSING NEIGHBORHOOD			
Nbhd	Nbhd Name	B	Tracing
0060			

NOTES															
This signature acknowledges a visit by a Data Collector or Assessor															
APPRAISED VALUE SUMMARY															
Appraised Bldg. Value (Card)														0	
Appraised Xf (B) Value (Bldg)														0	
Appraised Ob (B) Value (Bldg)														0	
Appraised Land Value (Bldg)														10,900	
Special Land Value														0	
Total Appraised Parcel Value														10,900	
Valuation Method														C	
Total Appraised Parcel Value														10,900	

BUILDING PERMIT RECORD										VISIT / CHANGE HISTORY					
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments		Date	Id	Type	Is	Cd	Purpose/Result

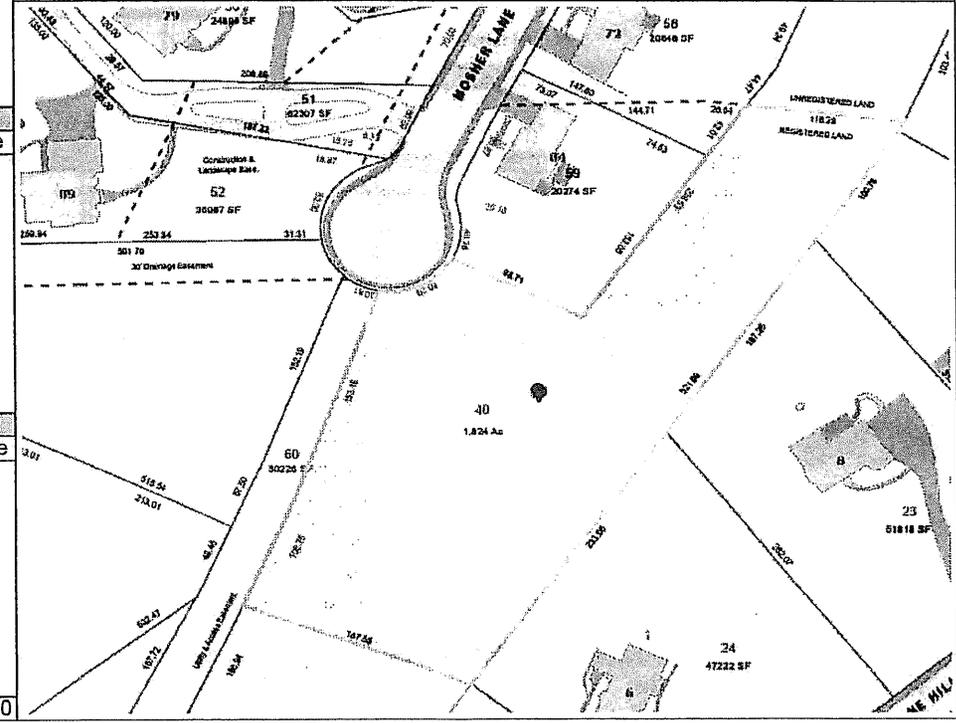
LAND LINE VALUATION SECTION																		
B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustmen	Adj Unit P	Land Value		
1	1320	Res Land Unbuil	RR			1.820 AC	6,000	1.00000	0	1.00		1.000	OPEN SPACE		1.0000	6,000	10,900	
		79,279.2 SF																
Total Card Land Units						1.82 AC	Parcel Total Land Area						1.82	Total Land Value				10,900

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	99	Vacant Land			
Model	00	Vacant			
Grade:					
Stories:					
Occupancy					
Exterior Wall 1					
Exterior Wall 2					
Roof Structure:					
Roof Cover					
Interior Wall 1					
Interior Wall 2					
Interior Flr 1					
Interior Flr 2					
Heat Fuel					
Heat Type:					
AC Type:					
Total Bedrooms					
Total Bthrms:					
Total Half Baths					
Total Xtra Fixtrs					
Total Rooms:					
Bath Style:					
Kitchen Style:					
			CONDO DATA		
Parcel Id			C	Owne	
			B	S	
Adjust Type	Code	Description	Factor%		
Condo Flr					
Condo Unit					
			COST / MARKET VALUATION		
Building Value New			0		
Year Built			0		
Effective Year Built			0		
Depreciation Code					
Remodel Rating					
Year Remodeled					
Depreciation %					
Functional Obsol			0		
External Obsol			0		
Trend Factor			1		
Condition					
Condition %					
Percent Good			0		
RCNLD					
Dep % Ovr					
Dep Ovr Comment					
Misc Imp Ovr					
Misc Imp Ovr Comment					
Cost to Cure Ovr					
Cost to Cure Ovr Comment					

No Sketch

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
Ttl Gross Liv / Lease Area		0	0	0		0



CITY OF MARLBOROUGH



Real Estate Tax Statement

Parcel: 0011-0040

Location: 865 HEMENWAY ST

Owner:
 AVIDIA BANK
 42 MAIN ST
 HUDSON MA 01749

Status:
 Total 1.820
 Deferr .000
 Land Valuation: 10,900
 Building Valuation: 0
 Exemptions: 0
 Taxable Valuation: 10,900
 Interest Per Diem: 0.83

Legal Description:

Deed Date: 08/31/2007

Book/Page: 1343/0137

Interest Date: 05/30/2023

Year	Type	Bill
2023	RE-R	602

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	36.65	36.65	4.25	40.90
	DEMAND FEE	0.00	0.00	0.00	0.00
		36.65	36.65	4.25	40.90
2	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	36.64	36.64	2.95	39.59
	DEMAND FEE	0.00	0.00	0.00	0.00
		36.64	36.64	2.95	39.59
3	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	26.25	26.25	1.19	27.44
	DEMAND FEE	0.00	0.00	0.00	0.00
		26.25	26.25	1.19	27.44
4	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	26.25	26.25	0.29	26.54
	DEMAND FEE	15.00	15.00	0.00	15.00
		41.25	41.25	0.29	41.54

Year Totals		140.79	140.79	8.68	149.47
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Year	Type	Bill
2022	TL-R	6

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	143.01	143.01	21.82	164.83
	DEMAND FEE	15.00	15.00	2.29	17.29
	INTEREST B	19.37	19.37	2.95	22.32
		177.38	177.38	27.06	204.44

Year Totals		177.38	177.38	27.06	204.44
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CITY OF MARLBOROUGH



Real Estate Tax Statement

Year	Type	Bill				
2021	TL-R	98				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	150.42	150.42	47.01	197.43	
	DEMAND FEE	15.00	15.00	4.69	19.69	
	INTEREST B	10.75	10.75	3.36	14.11	
		176.17	176.17	55.06	231.23	
Year Totals		176.17	176.17	55.06	231.23	
Year	Type	Bill				
2020	TL-R	11				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	154.56	154.56	72.22	226.78	
	DEMAND FEE	15.00	15.00	7.01	22.01	
	INTEREST B	11.20	11.20	5.23	16.43	
		180.76	180.76	84.46	265.22	
Year Totals		180.76	180.76	84.46	265.22	
Year	Type	Bill				
2019	TL-R	16				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	153.36	153.36	97.88	251.24	
	DEMAND FEE	15.00	15.00	9.57	24.57	
	INTEREST B	10.40	10.40	6.64	17.04	
		178.76	178.76	114.09	292.85	
Year Totals		178.76	178.76	114.09	292.85	
Year	Type	Bill				
2018	TL-R	17				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	159.47	159.47	126.60	286.07	
	DEMAND FEE	15.00	15.00	11.91	26.91	
	INTEREST B	11.47	11.47	9.11	20.58	
		185.94	185.94	147.62	333.56	
Year Totals		185.94	185.94	147.62	333.56	
Year	Type	Bill				
2017	TL-R	10				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	166.99	166.99	158.19	325.18	
	DEMAND FEE	15.00	15.00	14.21	29.21	
	INTEREST B	12.69	12.69	12.02	24.71	
		194.68	194.68	184.42	379.10	
Year Totals		194.68	194.68	184.42	379.10	

CITY OF MARLBOROUGH



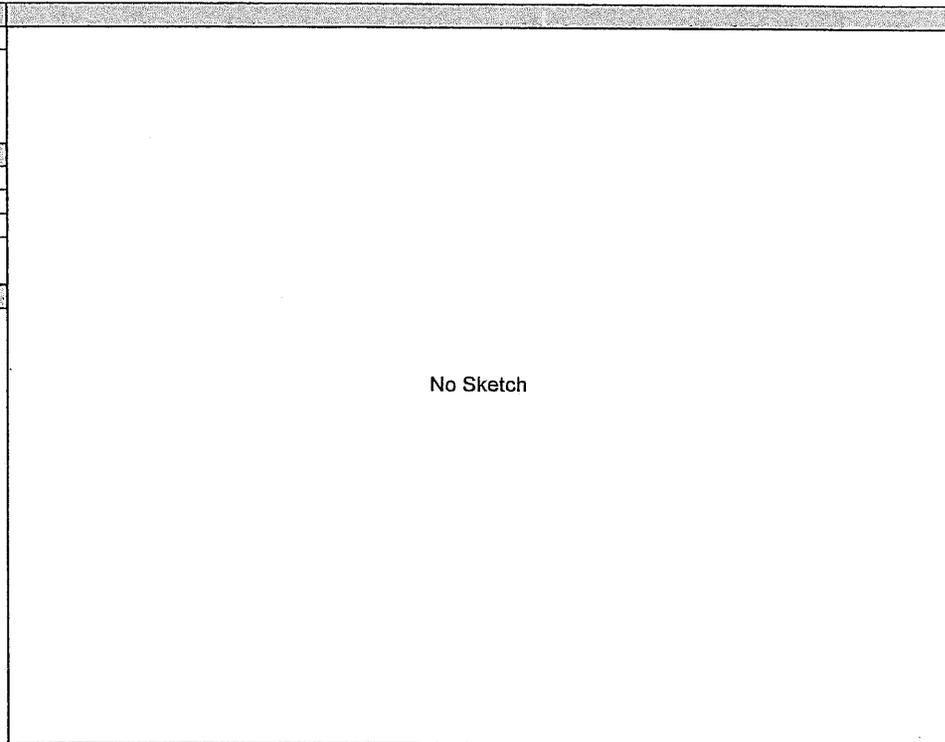
Real Estate Tax Statement

Year	Type	Bill				
2016	TL-R	9				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	167.21	167.21	186.18	353.39	
	DEMAND FEE	15.00	15.00	16.70	31.70	
	INTEREST B	9.69	9.69	10.79	20.48	
		191.90	191.90	213.67	405.57	
Year Totals		191.90	191.90	213.67	405.57	
Year	Type	Bill				
2015	TL-R	5				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	110.32	110.32	140.77	251.09	
	DEMAND FEE	15.00	15.00	19.14	34.14	
	INTEREST B	7.36	7.36	9.39	16.75	
		132.68	132.68	169.30	301.98	
Year Totals		132.68	132.68	169.30	301.98	
Year	Type	Bill				
2014	TL-R	116				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	106.33	106.33	144.07	250.40	
	DEMAND FEE	5.00	5.00	6.78	11.78	
	INTEREST B	14.79	14.79	20.04	34.83	
		126.12	126.12	170.89	297.01	
Year Totals		126.12	126.12	170.89	297.01	
Year	Type	Bill				
2013	TL-R	178				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	79.86	79.86	108.21	188.07	
	DEMAND FEE	5.00	5.00	6.78	11.78	
	ADFEETT	13.10	13.10	17.75	30.85	
	POST PENAL	5.00	5.00	6.78	11.78	
	POST TAKIN	5.00	5.00	0.00	5.00	
	PREPARE	10.00	10.00	13.55	23.55	
	PREP TK	10.00	10.00	13.55	23.55	
	INS TAK	75.00	75.00	101.62	176.62	
	INTEREST B	21.02	21.02	28.48	49.50	
	RECORDING	75.00	75.00	0.00	75.00	
		298.98	298.98	296.72	595.70	
Year Totals		298.98	298.98	296.72	595.70	
Grand Totals		1,984.16	1,984.16	1,471.97	3,456.13	

** End of Report - Generated by Chris Firicano **

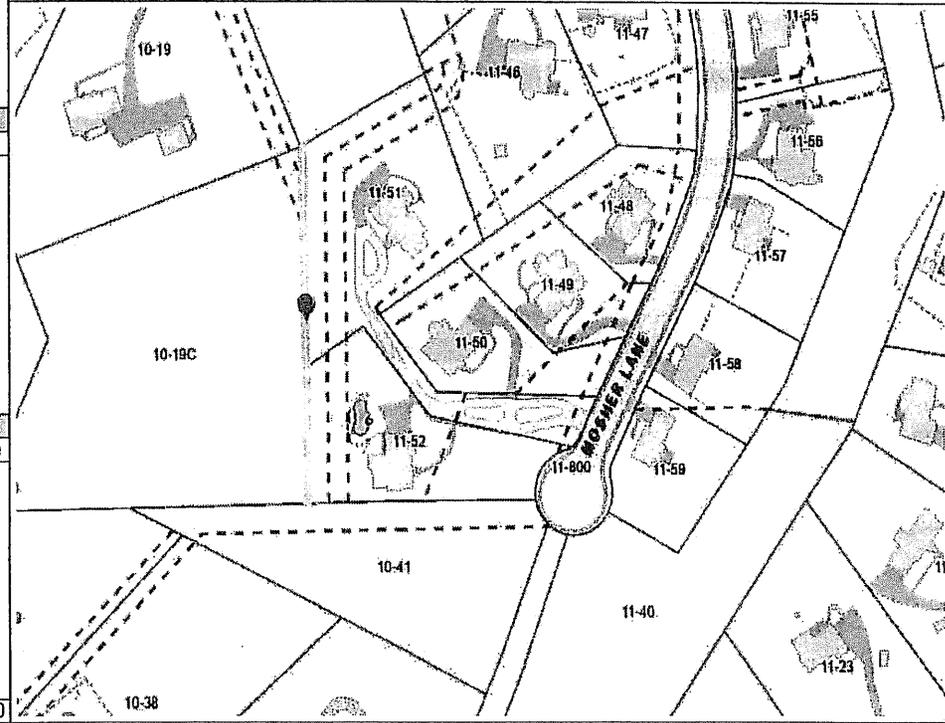
CURRENT OWNER		TOPO	UTILITIES	STRT/ROAD	LOCATION	CURRENT ASSESSMENT				228 MARLBOROUGH, MA								
AVIDIA BANK						Description	Code	Assessed	Assessed									
42 MAIN ST						RES LAND	1320	400	400	VISION								
HUDSON MA 01749		SUPPLEMENTAL DATA																
		Alt Prcl ID 00585691 Deed Ref 1343/137 Aff Housin Schedule I LCD CERT GIS ID M_200459_902520			PROBATE Assoc Pid#													
						Total		400	400									
RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)										
AVIDIA BANK		1343 0137	08-31-2007	U	V	600,000		Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed		
								2023	1320	400	2022	1320	400	2021	1320	400		
								Total		400	Total		400	Total		400		
EXEMPTIONS			OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor											
Year	Code	Description	Amount	Code	Description	Number											Amount	Comm Int
										APPRAISED VALUE SUMMARY								
Total			0.00							Appraised Bldg. Value (Card)		0						
										Appraised Xf (B) Value (Bldg)		0						
										Appraised Ob (B) Value (Bldg)		0						
										Appraised Land Value (Bldg)		400						
										Special Land Value		0						
										Total Appraised Parcel Value		400						
										Valuation Method		C						
										Total Appraised Parcel Value		400						
BUILDING PERMIT RECORD										VISIT / CHANGE HISTORY								
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments		Date	Id	Type	Is	Cd	Purpose/Result			
										11-30-2022	CT	03		14	Field Review			
LAND LINE VALUATION SECTION																		
B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustmen	Adj Unit P	Land Value		
1	1320	Res Land Unbuil	RR			0.060 AC	6,000	1.00000	0	1.00		1.000			1.0000	6,000	400	
		2,613.6 SF																
Total Card Land Units						0.06 AC	Parcel Total Land Area						0.06	Total Land Value				400

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style: 99 Model: 00 Grade: Stories: Occupancy Exterior Wall 1 Exterior Wall 2 Roof Structure: Roof Cover Interior Wall 1 Interior Wall 2 Interior Flr 1 Interior Flr 2 Heat Fuel Heat Type: AC Type: Total Bedrooms Total Bthrms: Total Half Baths Total Xtra Fixtrs Total Rooms: Bath Style: Kitchen Style:	99 00	Vacant Land Vacant			
CONDO DATA					
Parcel Id		C	Own	B	S
Adjust Type	Code	Description	Factor%		
Condo Flr					
Condo Unit					
COST / MARKET VALUATION					
Building Value New					
Year Built		0			
Effective Year Built					
Depreciation Code					
Remodel Rating					
Year Remodeled					
Depreciation %					
Functional Obsol		1			
External Obsol					
Trend Factor					
Condition					
Condition %					
Percent Good					
RCNLD					
Dep % Ovr					
Dep Ovr Comment					
Misc Imp Ovr					
Misc Imp Ovr Comment					
Cost to Cure Ovr					
Cost to Cure Ovr Comment					



OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
Ttl Gross Liv / Lease Area		0	0	0		0



CITY OF MARLBOROUGH



Real Estate Tax Statement

Parcel: 0010-0082

Location: MOSHER LN

Owner:
 AVIDIA BANK
 42 MAIN ST
 HUDSON MA 01749

Status:
 Square 2,613

Land Valuation: 400
Building Valuation: 0
Exemptions: 0
Taxable Valuation: 400
Interest Per Diem: 0.19

Legal Description:

Deed Date: 08/31/2007

Book/Page: 1343/0137

Interest Date: 05/30/2023

Year	Type	Bill
2023	RE-R	600

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	2.69	2.69	0.31	3.00
		2.69	2.69	0.31	3.00
3	COMM RETAX	0.00	0.00	0.00	0.00
	OPEN SPACE	0.00	0.00	0.00	0.00
	RES RE TAX	1.93	1.93	0.09	2.02
		1.93	1.93	0.09	2.02
Year Totals		4.62	4.62	0.40	5.02

Year	Type	Bill
2022	RE-R	588

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	RES RE TAX	2.83	2.83	0.72	3.55
		2.83	2.83	0.72	3.55
3	RES RE TAX	2.42	2.42	0.45	2.87
		2.42	2.42	0.45	2.87
Year Totals		5.25	5.25	1.17	6.42

Year	Type	Bill
2021	TL-R	96

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	5.52	5.52	1.73	7.25
	DEMAND FEE	15.00	15.00	4.69	19.69
	INTEREST B	0.49	0.49	0.15	0.64
		21.01	21.01	6.57	27.58
Year Totals		21.01	21.01	6.57	27.58

CITY OF MARLBOROUGH



Real Estate Tax Statement

Year	Type	Bill
2020	TL-R	9

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	5.67	5.67	2.65	8.32
	DEMAND FEE	15.00	15.00	7.01	22.01
	INTEREST B	0.53	0.53	0.25	0.78
		21.20	21.20	9.91	31.11
Year Totals		21.20	21.20	9.91	31.11

Year	Type	Bill
2019	TL-R	14

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	5.63	5.63	3.59	9.22
	DEMAND FEE	15.00	15.00	9.57	24.57
	INTEREST B	0.48	0.48	0.31	0.79
		21.11	21.11	13.47	34.58
Year Totals		21.11	21.11	13.47	34.58

Year	Type	Bill
2018	TL-R	15

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	5.85	5.85	4.64	10.49
	DEMAND FEE	15.00	15.00	11.91	26.91
	INTEREST B	0.52	0.52	0.41	0.93
		21.37	21.37	16.96	38.33
Year Totals		21.37	21.37	16.96	38.33

Year	Type	Bill
2017	TL-R	8

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	6.13	6.13	5.81	11.94
	DEMAND FEE	15.00	15.00	14.21	29.21
	INTEREST B	0.57	0.57	0.54	1.11
		21.70	21.70	20.56	42.26
Year Totals		21.70	21.70	20.56	42.26

Year	Type	Bill
2016	TL-R	7

Inst	Charge	Billed	Principal Due	Interest Due	Total Due
1	BAL DUE	6.14	6.14	6.84	12.98
	DEMAND FEE	15.00	15.00	16.70	31.70
	INTEREST B	0.75	0.75	0.84	1.59
		21.89	21.89	24.38	46.27
Year Totals		21.89	21.89	24.38	46.27

CITY OF MARLBOROUGH



Real Estate Tax Statement

Year	Type	Bill				
2015	TL-R	3				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	74.07	74.07	94.52	168.59	
	DEMAND FEE	15.00	15.00	19.14	34.14	
	INTEREST B	4.93	4.93	6.29	11.22	
		94.00	94.00	119.95	213.95	
Year Totals		94.00	94.00	119.95	213.95	
Year	Type	Bill				
2014	TL-R	114				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	70.88	70.88	96.04	166.92	
	DEMAND FEE	5.00	5.00	6.78	11.78	
	INTEREST B	9.84	9.84	13.33	23.17	
		85.72	85.72	116.15	201.87	
Year Totals		85.72	85.72	116.15	201.87	
Year	Type	Bill				
2013	TL-R	176				
Inst	Charge	Billed	Principal Due	Interest Due	Total Due	
1	BAL DUE	34.24	34.24	46.39	80.63	
	DEMAND FEE	5.00	5.00	6.78	11.78	
	ADFEETT	13.10	13.10	17.75	30.85	
	POST PENAL	5.00	5.00	6.78	11.78	
	POST TAKIN	5.00	5.00	0.00	5.00	
	PREPARE	10.00	10.00	13.55	23.55	
	PREP TK	10.00	10.00	13.55	23.55	
	INS TAK	75.00	75.00	101.62	176.62	
	INTEREST B	10.32	10.32	13.98	24.30	
		167.66	167.66	220.40	388.06	
Year Totals		167.66	167.66	220.40	388.06	
Grand Totals		485.53	485.53	549.92	1,035.45	

** End of Report - Generated by Chris Firicano **



City of Marlborough Office of the Mayor

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
Arthur G. Vigeant
MAYOR
2023 JUN 26 PM 4:58

Patricia M. Bernard
CHIEF OF STAFF

Failyn Bratica
EXECUTIVE ADMINISTRATOR

140 Main Street
Marlborough, Massachusetts 01752
508.460.3770 Fax 508.460.3698 TDD 508.460.3610
www.marlborough-ma.gov

UNDER SUSPENSION

June 26, 2023

Council President Ossing
Marlborough City Council
140 Main Street
Marlborough, MA 01752

RE: Request to create a Special Traffic Constable Position

Honorable President Ossing and Councilors,

I am submitting a request to create a Special Traffic Constable position to be used at traffic details. A job description and salary ordinance is attached for your review. Currently, the city is experiencing a decline in Police Officers and has not been able to fill vacant positions leading to a reduction of officers available for traffic details.

To maintain safety, it is our request to use Special Traffic Constables when we are not able fill traffic details with Police Officers. Constables are retired Police Officers being appointed solely for performing paid traffic details as noted in Chief Giorgi's letter.

Police Chief Giorgi will be on hand to answer any questions.

Sincerely,

Arthur G. Vigeant
Mayor

Enclosures



City of Marlborough

Police Department

355 Bolton Street, Marlborough, Massachusetts 01752
Tel. (508)-485-1212 Fax (508)-624-6938



David A. Giorgi
Chief of Police

May 16, 2023

Mayor Arthur G. Vigeant
Office of the Mayor
City Hall, 140 Main Street
Marlborough, MA 01752

Re: Special Traffic Constable position

Dear Mayor Vigeant,

I submit for your consideration the creation of a Special Traffic Constable position to assist the Police Department with road construction/traffic details. A Special Traffic Constable is a former Police Officer who has retired as a sworn member of a Massachusetts Police Department. The officer must have retired under the superannuation provision, have surpassed their 65th birthday and is being appointed solely for the purpose of performing paid police traffic details. The authority of the Special Traffic Constables is strictly limited to the direction, control, and regulation of vehicular traffic. They have no authority to issue citations, effect seizures, serve warrants and other process, or make arrests. Special Traffic Constables **are not** authorized to wear a badge, carry a firearm, baton, pepper spray or any other weapon while on duty.

Special Traffic Constables are appointed annually by the Mayor of the City of Marlborough. They are not sworn police officers and are not covered by M.G.L. c. 41, § 98 or M.G.L. c. 41, § 111F. In addition, Special Traffic Constables are not covered by any collective bargaining agreement, do not have any right of grievance, are not eligible for benefits such as health insurance, vacation or sick time, and are deemed employees at will.

Currently, there are numerous road construction projects occurring in the City and although we currently use Marlborough police officers (current and retired), as well as out-of-town officers to work some of the details, we still cannot cover all of the locations. As always, the department's goal is to make passage through a construction area as safe as possible for pedestrians and motorists. The ability to utilize a former experienced police officer to fill vacant traffic detail locations would enhance our ability to do so. The creation of this position will be at no cost to the City and no expense for the Special Traffic Constable position will come



City of Marlborough Police Department

355 Bolton Street, Marlborough, Massachusetts 01752
Tel. (508)-485-1212 Fax (508)-624-6938



David A. Giorgi
Chief of Police

from the department's operating budget. Any expense regarding training or equipping the Special Traffic Constable will be born by the individual officer.

Thank you for your consideration of this request and please do not hesitate to contact me with any questions or concerns.

Respectfully,

A handwritten signature in blue ink, appearing to read "D. Giorgi".

David A. Giorgi



City of Marlborough ***POLICE DEPARTMENT***

355 Bolton St.
Marlborough, MA 01752
Phone: 508-485-1212 Fax: 508-624-6949



City of Marlborough Police Department Special Traffic Constable

Position Purpose

Special Traffic Constables assist the department with traffic details. The power of Special Traffic Constables is strictly limited to the direction, control and regulation of vehicular traffic. Such power shall only be exercised when in uniform and only while performing an official assignment given by the Police Department. Special Traffic Constables are used at the sole direction of the Chief of Police to direct traffic and facilitate the smooth flow of vehicular and pedestrian traffic.

Description

A Special Traffic Constable is a former Police Officer that retired as a sworn member of a Massachusetts Police Department. The officer must have retired under the superannuation provision, has surpassed their 65th birthday and who is being appointed solely for the purpose of performing paid police traffic details. The assignment to and performance of such details must be in conformity with Department policy and contractual provisions/practices.

Special Traffic Constables are appointed annually, with no automatic term renewal, by the Chief of Police. To be appointed as a Special Traffic Constables, an appointee must pass a criminal background check prior to assuming any duties.

Duties and Responsibilities

Special Traffic Constables are for use in a limited capacity and are appointed for traffic detail work only. Special Traffic Constables are not to be utilized for regular police patrols.

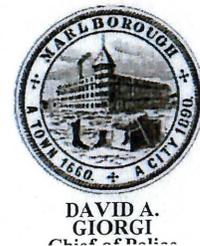
Special Traffic Constables are not sworn police officers and are not covered by M.G.L. c. 41, § 98 or M.G.L. c. 41, § 111F. They have absolutely no authority to issue citations, effect seizures, serve warrants and other process, or make arrests.

Special Traffic Constables work at assigned locations and perform traffic control duties including: manually directing traffic, operating traffic signal controls and placing traffic cones and barricades to safely direct and control traffic flow, rendering assistance to motorists when appropriate and assisting the public with information regarding directions, street locations, etc.



City of Marlborough POLICE DEPARTMENT

**355 Bolton St.
Marlborough, MA 01752
Phone: 508-485-1212 Fax: 508-624-6949**



Special Traffic Constables will be required to have knowledge of hand traffic signals, cone/traffic patterns and manual operation of traffic signals, as well as knowledge of the City's geography, streets, and businesses.

Special Traffic Constables will report hazardous conditions and situations.

Special Traffic Constables **are not** authorized to wear a badge, carry a firearm, baton, pepper spray or any other weapon while on duty as a Special Traffic Constable.

Special Traffic Constables shall inform the Chief of Police of any medical condition which could impact the performance of duties assigned to road details.

Special Traffic Constables are not covered by any collective bargaining agreement and as such do not have any right of grievance.

Special Traffic Constables are deemed employees at will. The Chief of Police may terminate a Special Traffic Constable for any reason he deems, as long as it is not in conflict with any anti-discrimination laws or established public policy.

Special Traffic Constables are not eligible for benefits such as health insurance, vacation or sick time.

Special Traffic Constables will not be covered by M.G.L. c. 41, § 111F. If injured on the job through no fault of their own, Special Traffic Constables will be covered by the City's Workers' Compensation insurance.

Chain of Command

While on duty, Special Traffic Constables will report directly to the Patrol Shift Supervisor or Watch Commander.

Suspension and Dismissal

Any violations of the department policy pertaining to Special Traffic Constables may result in a suspension or revocation of appointment as a Special Traffic Constable, as determined by the Chief of Police.

ORDERED:

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH THAT THE CITY CODE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED BY AMENDING CHAPTER 125, ENTITLED "PERSONNEL," AS FOLLOWS:

I. By adding to the salary schedule referenced in Section 125-6, the following:

Position	Effective Date	Minimum	Step 1	Step 2	Maximum
Special Traffic Constable	Upon Passage				\$62.50 Per Hour.

II. This ordinance shall supersede and replace any existing rate for said position (if applicable) in the current salary schedule.

ADOPTED
 In City Council
 Order No. 23-XXX
 Adopted

Approved by Mayor
 Arthur G. Vigeant
 Date:

A TRUE COPY
 ATTEST:

ORDERED:

That pursuant to City Code Chapter 125 (Personnel), Section 125-5 (Preparation of Classification Descriptions), the job description for the new position of Special Traffic Constable (attached hereto), BE AND IS HEREWITH APPROVED

ADOPTED
In City Council
Order No. 23-XXX
Adopted

Approved by Mayor
Arthur G. Vigeant
Date:

A TRUE COPY
ATTEST:



RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2023 JUL 20 AM 11:50

City of Marlborough
Office of the Mayor

Arthur J. Vigeant
MAYOR

Patricia M. Bernard
CHIEF OF STAFF

Faelyn Bratica
EXECUTIVE ADMINISTRATOR

140 Main Street
Marlborough, Massachusetts 01752
508.460.3770 Fax 508.460.3698 TDD 508.460.3610
www.marlborough-ma.gov

July 20, 2023

Council President Ossing
Marlborough City Council
140 Main Street
Marlborough, MA 01752

RE: Various City Position Changes

Honorable President Ossing and Councilors,

Enclosed for your review and approval are multiple proposed requests to amend Ch. 125 Personnel and/or approve job descriptions, as follows:

The **Marlborough Public Library** would like to add two new non-union positions: Head of Adult Services and Technology and a Programming and Outreach Librarian. Enclosed are proposed job descriptions and salary ordinance amendment for your review. In addition, enclosed is a salary ordinance amendment to increase the Library Pages (non-union) hourly rate from \$10.77 to \$15.00 to be aligned with the state's minimum wage.

The **Assessor's office** is requesting to change the Senior Assessor (union) position from 35 to 40 hours per week at the same hourly rate that they currently receive. The MMEA has agreed to this change and it falls within the parameters of Article 8 of the Collective Bargaining Agreement.

Public Facilities is requesting to increase the hourly salary by \$2.50 for the city's Houseworkers to closer align with the School Houseworkers. Currently, the city Houseworker's rate is \$5.52 lower at \$17.80, while the School Houseworker's rate is \$23.32. We can't absorb a \$5.00 rate increase but suggest management look at planning another adjustment in FY25. The additional city Houseworkers for the Library will not be hired until next month since the Library is behind schedule. Enclosed is a salary ordinance amendment.

In addition, **Public Facilities** will add a Plumber at the prior FY23 head electrician salary of \$34.34 per hour rate. Please note that there was no salary schedule or job description on file for this position. Enclosed is a salary ordinance amendment and draft job description as well as

comparable salaries. The future administration should look at the trade positions and complete a full salary review prior to negotiating new collective bargaining agreements.

Appropriate department heads will attend a future meeting to discuss these requests.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Arthur G. Vigeant', is written over the word 'Sincerely,' and extends to the right across the line.

Arthur G. Vigeant
Mayor

Encs.



City of Marlborough
Marlborough Public Library
255 Main Street
Marlborough, MA 01752
Phone 508-624-6900 FAX 508-485-1494

Sara Belisle
Library Director

Dear Mayor Vigeant,

Below are the proposed new positions and the functions they will be providing to the Marlborough community. Both positions will be non-union.

Head of Adult Services/Technology:

This position supervises the Adult Services Department and requires a master's degree in Library Science. They are our liaison to the City IT department and part of the Library supervisory team. This person will provide technology help in the form of one-on-one and group classes. They oversee all services and staff relating to adults including booking study rooms and using the equipment in each space, exam proctoring, digital resources, local history, library website, ordering materials and more. This person will investigate the viability of emerging technology for the library including material pickup lockers, book vending machines, 3D printers and other makerspace related technology. They will also staff the public information desk.

Programming and Outreach Librarian:

This position is within the Adult Services department and requires a master's degree in Library Science. This person will oversee organizing, leading, and promoting programming for adults. They will partner with city departments and other local organizations to offer a variety of diverse programs for the community including but not limited to ESL programming, speaker series, art exhibits, local book clubs. They will work with other staff to lead programs as well which will be more maker focused. They will also oversee organizing community outreach including our home delivery program. They will also staff the public information desk.

I would be happy to answer any questions you may have.

Thank you for your consideration.

Sara Belisle

ORDERED:

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH THAT THE CITY CODE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED BY AMENDING CHAPTER 125, ENTITLED "PERSONNEL," AS FOLLOWS:

I. By adding to the salary schedule referenced in Section 125-6, the following:

Position: Head of Adult Services/Technology (40 hours per week)

Position: Programming and Outreach Librarian (40 hours per week)

STEP/LEVEL		Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7
	Effective Upon Passage	Start	6 months of service	1 year of service	2 years of service	3 years of service	4 years of service	5 years of service
Head of Adult Services /Technology	HOURLY RATE:	\$29.3125	\$29.8986	\$30.4966	\$31.1034	\$31.7284	\$32.3620	\$33.0135
Programming and Outreach Librarian	HOURLY RATE:	\$25.8990	\$26.4178	\$27.4798	\$28.0332	\$28.5957	\$29.1668	\$29.74663

II. This ordinance shall supersede and replace any existing rate for said position(s) (if applicable) in the current salary schedule.

ADOPTED
 In City Council
 Order No. 23-XXX
 Adopted

Approved by Mayor
 Arthur G. Vigeant
 Date:

A TRUE COPY
 ATTEST:

ORDERED:

That pursuant to City Code Chapter 125 (Personnel), Section 125-5 (Preparation of Classification Descriptions), the job description for the new positions of Head of Adult Services/Technology and Programming and Outreach Librarian (attached hereto), BE AND IS HEREWITH APPROVED.

ADOPTED
In City Council
Order No. 23-
Adopted

Approved by Mayor
Arthur G. Vigeant
Date:

A TRUE COPY
ATTEST:

CITY OF MARLBOROUGH

HEAD OF ADULT SERVICES AND TECHNOLOGY

DEFINITION

Under the supervision of the Library Director, directs and supervises all activities of the Adult Services Department and available technology in the library. Actively promotes and provides exemplary programming and services for adults in a vibrant, multi-cultural community.

ESSENTIAL JOB FUNCTIONS

The essential functions or duties listed below are intended only as illustrations of the various type of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.

- Supervises the Adult Services department which includes Programming and Outreach librarian and Part-Time Reference Librarians.
- Responsible for service outcomes at the 1st floor Information Desk. Promotes and provides exemplary customer service to patrons and staff. Provides positive and proactive reference and information services for patrons, using a variety of resources in both print and electronic formats.
- Responsible for the overall suite of digital resources and services.
- Plans and executes marketing, materials for programs, and services as they related to the Adult Services department. Including but not limited to: technology classes, exam proctoring, and one-on-one technology help.
- Works with IT Department to maintain and enhance library technology, including managing users and equipment, documenting existing systems, serving as liaison to IT Department and technology vendors (such as CW Mars Library Network and various database vendors). Monitors computer problems, fixes, responds, or escalates as needed.
- Assists with the Library's website, social media, email newsletter, and other platforms.
- Oversees with collection management for the adult collection which includes selecting materials and maintaining the collection with weeding and shelf reading.
- Oversees reader's advisory services for adults.
- Oversees the Local History collection and related services. Including but not limited to: microfilm access, local history collection, and partnerships with local organizations.
- Oversees community use of the library study rooms and technology within.
- Develops technology competencies for staff and manages staff training of library technology.
- Investigates the viability of emerging technologies and stays abreast of trends in libraries.
- Serves as a member of the library supervisory team.
- Helps promote library services outside the library through community outreach initiatives.
- Explains library policies and procedures.
- Monitors safety of the library facility for employees and the public. Responds appropriately to emergencies and keeps fellow supervisors and/or library administration informed of any problematic situation.
- Participates in long range planning process for the library, including recommending changes or improvements and develops new types of service and operations.
- Contributes to statistical reporting for ARIS state report and additional statistics as requested or assigned.
- Covers for other departments as necessary or assigned.
- Follows safe work practices.
- Other projects as directed or assigned.

SUPERVISION RECEIVED

Works under the direction of the Library Director and Assistant Director. May be periodically required to report on department achievements.

SUPERVISION EXERCISED

The Head of Adult Services and Technology responsible for the direction and success of one full-time and up to 3 part-time staff. Responsible for creating workflow and departmental procedures, coaching staff, recommending individual goals, and developing plans for achieving short and long-range objectives.

JUDGMENT

The work requires examining analyzing and evaluating facts and circumstances surrounding individual problems, situations or transactions, and determining actions to be taken within the limits of standard or accepted practices. Guidelines include a large body of policies, practices and precedents which may be complex or conflicting.

COMPLEXITY

The work consists of employing many different concepts, theories, principles, techniques and practices relating to a library. Assignments typically concern such matters as studying trends in the field for application to the work, assessing services and recommending improvements.

NATURE AND PURPOSE OF CONTACTS

Relationships are constantly with co-workers, vendors, the public, groups and/or individuals such as peers from other organizations, and representatives of professional organizations. The employee serves as a spokesperson or recognized authority of the organization in matters of substance or considerable importance, including departmental practices, procedures, regulations or guidelines. May be required to discuss controversial matters where tact is required to avoid friction and obtain cooperation.

CONFIDENTIALITY

Protects confidentiality of patron records according to library policy and Mass General Law.

EDUCATION AND EXPERIENCE

Master's in library science from an accredited program. 1-3 years of public library experience. Prior supervisory experience desirable.

KNOWLEDGE, ABILITY, AND SKILLS

Knowledge: Thorough knowledge of reference and library services. Library automation, library technologies and collection development.

Abilities: Ability to communicate effectively and clearly. Ability to multi-task and manage conflict. Leadership ability and a high degree of motivation, initiative, and resourcefulness. Ability to analyze and interpret job requirements and carry out assigned projects to their completion. Ability to maintain confidential and sensitive information. Ability to maintain good public relations and to maintain effective collaborative working relationships with other departments. Ability to meet deadlines. Ability to work independently.

Skills: Excellent interpersonal skills and emotional intelligence. Strong communication, problem solving and computer skills.

WORK ENVIRONMENT

The work is performed in an office environment.

PHYSICAL, MOTOR, AND VISUAL SKILLS

Physical Skills: The work involves physical skills typical of a library environment, including sitting, standing, walking and stooping. May be required to lift objects such as files, boxes of papers, office supplies, and office equipment weighing up to forty (40) pounds.

Motor Skills: The work may require motor skills for activities such as moving objects, using office equipment, including but not limited to telephones, personal computers, handheld technology, and other office equipment.

Visual Skills: Visual demands require routinely reading documents for general understanding and analytical purposes and frequent computer usage.

CITY OF MARLBOROUGH

PROGRAMMING AND OUTREACH LIBRARIAN

DEFINITION

Under the supervision of the Head of Adult Services and Technology, provides a variety of programming and informational services for the public with a focus on adults. Actively promotes and provides exemplary customer services and outreach services in a vibrant, multi-cultural community.

ESSENTIAL JOB FUNCTIONS

The essential functions or duties listed below are intended only as illustrations of the various type of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.

- Promotes and provides exemplary customer service to patrons and staff at 1st floor Information Desk. Provides positive and proactive reference and information services for patrons, using a variety of resources in both print and electronic formats.
- Plans and executes active and passive programming for adults. Including but not limited to: speaker series, ELL programming, maker programs, art exhibits, staff led book clubs and summer reading.
- Responsible for the marketing and outcomes of programming for adults following the branding guidelines set by the library.
- Promotes library services outside the library through community outreach initiatives. Including but not limited to: home delivery, attending community events, local book clubs, and partnering with city organizations.
- Assists with the Library's website, social media, email newsletter, and other platforms.
- Assists with collection management for the adult collection, which includes selecting materials and maintaining the collection with weeding and shelf reading.
- Promotes, advises and assists patrons in selecting, locating, and utilizing library resources.
- Instructs the public in the use of the library catalog, digital resources, and technology.
- Provides reader's advisory services for adults.
- Assists with the Local History collection and related services. Including but not limited to: microfilm access, local history collection, and partnerships with local organizations.
- Stays abreast of current library trends in relation to programming and outreach services.
- Troubleshoots public and staff computers and other library technology.
- Explains library policies and procedures.
- Monitors safety of the library facility for employees and the public. Responds appropriately to emergencies and keeps fellow supervisors and/or library administration informed of any problematic situation.
- Participates in long range planning process for the library, including recommending changes or improvements and develops new types of service and operations.
- Contributes to statistical reporting for ARIS state report and additional statistics as requested or assigned.
- May act as supervisor in absence of department head.
- Covers for other departments as necessary or assigned.
- Follows safe work practices.
- Other duties as directed or assigned.

SUPERVISION RECEIVED

Works under the direction of the Head of Adult Services and Technology. Responsible for the reporting of program statistics, partnerships made, and other achievements.

SUPERVISION EXERCISED

None

JUDGMENT

The work requires examining, analyzing, and evaluating facts and circumstances surrounding individual problems, situations, or transactions and determining actions to be taken within the limits of standard or accepted practices. Guidelines include a large body of policies, practices, and precedents which may be complex or conflicting.

COMPLEXITY

The work consists of employing many different concepts, theories, principles, techniques and practices relating to a library. Assignments typically concern such matters as studying trends in the field for application to the work, assessing services, and recommending improvements.

NATURE AND PURPOSE OF CONTACTS

Relationships are constantly with co-workers, vendors, the public, groups and/or individuals such as peers from other organizations, and representatives of professional organizations. The employee serves as a spokesperson or recognized authority of the organization in matters of substance or considerable importance, including departmental practices, procedures, regulations or guidelines. May be required to discuss controversial matters where tact is required to avoid friction and obtain cooperation.

CONFIDENTIALITY

Protects confidentiality of patron records according to library policy and Mass General Law.

EDUCATION AND EXPERIENCE

Master's in library science from an accredited program. 1 year of public library experience.

KNOWLEDGE, ABILITY, AND SKILLS

Knowledge: Thorough knowledge of reference and library services. Library automation, library technologies and collection development.

Abilities: Ability to communicate effectively and clearly. Ability to multi-task and manage conflict. Leadership ability and a high degree of motivation, initiative, and resourcefulness. Ability to analyze and interpret job requirements and carry out assigned projects to their completion. Ability to maintain confidential and sensitive information. Ability to maintain good public relations and to maintain effective collaborative working relationships with other departments. Ability to meet deadlines. Ability to work independently.

Skills: Excellent interpersonal skills and emotional intelligence. Strong communication, problem solving and computer skills.

WORK ENVIRONMENT

The work is performed in an office environment.

PHYSICAL, MOTOR, AND VISUAL SKILLS

Physical Skills: The work involves physical skills typical of a library environment, including sitting, standing, walking and stooping. May be required to lift objects such as files, boxes of papers, office supplies, and office equipment weighing up to forty (40) pounds.

Motor Skills: The work may require motor skills for activities such as moving objects, using office equipment, including but not limited to telephones, personal computers, handheld technology, and other office equipment.

Visual Skills: Visual demands require routinely reading documents for general understanding and analytical purposes and frequent computer usage.



City of Marlborough
Marlborough Public Library
 255 Main Street
 Marlborough, MA 01752
 Phone 508-624-6900 FAX 508-485-1494

Sara Belisle
 Library Director

Comparison of similar positions

	Head of Adult Services/Tech			Programming Librarian		
Beverly	\$59,951		\$71,945	\$33,451	-	\$55,764
Billerica	\$58,822	-	\$80,371	\$46,319	-	\$63,281
Braintree	N/A	-		\$54,709	-	\$63,427
Everett	N/A			\$56,365	-	\$66,976
Fitchburg	\$57,038	-	\$73,327	\$47,756	-	\$62,080
Framingham	\$55,892	-	\$84,939	\$44,681	-	\$64,337
Leominster	N/A	-	N/A	\$57,384	-	\$74,074
Marlborough		-			-	
Natick	\$66,193	-	\$76,549	\$58,094	-	\$69,942
Salem	\$53,580		\$55,692	28683 (PT)	-	45700 (PT)
Shrewsbury	\$54,545	-	\$73,637	\$49,576	-	\$66,939
Westfield	\$39,985		\$46,664	\$34,270	-	\$40,950
Woburn	N/A		N/A	\$47,684	-	\$59,095

AVERAGE SALARIES		\$55,751		\$70,390		\$48,208.09		\$62,442.27
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Head of Adult Services/Technology

STEP 1	STEP 2	STEP 3	STEP 4	STEP 5	STEP 6	STEP 7/MAX
	6					
Start	months	1 year	2 years	3 years	4 years	5 years
\$60,970	\$62,189	\$63,433	\$64,695	\$65,995	\$67,313	\$68,668
\$33.50	\$34.17	\$34.85	\$35.55	\$36.26	\$36.99	\$37.73

Programming and Outreach Librarian

STEP 1	STEP 2	STEP 3	STEP 4	STEP 5	STEP 6	STEP 7/MAX
	6					
Start	months	1 year	2 years	3 years	4 years	5 years
\$53,870	\$54,949	\$57,158	\$58,309	\$59,479	\$60,667	\$61,873
\$29.60	\$30.19	\$31.41	\$32.04	\$32.68	\$33.33	\$34.00

ORDERED:

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH THAT THE CITY CODE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED BY AMENDING CHAPTER 125, ENTITLED "PERSONNEL," AS FOLLOWS:

I. By adding to the salary schedule referenced in Section 125-6, the following:

Position	Effective Date	Minimum	Step 1	Step 2	Maximum
Library Page	Upon Passage				\$15.00 Per Hour.

II. This ordinance shall supersede and replace any existing rate for said position(s) (if applicable) in the current salary schedule.

ADOPTED
 In City Council
 Order No. 23-XXX
 Adopted

Approved by Mayor
 Arthur G. Vigeant
 Date:

A TRUE COPY
 ATTEST:



City of Marlborough
Marlborough Public Library
255 Main Street
Marlborough, MA 01752
Phone 508-624-6900 FAX 508-485-1494

Sara Belisle
Library Director

5/2/2023

Dear Mayor Vigeant,

I am requesting that the Library Page non-union position pay be raised from \$10.56 an hour to \$15.00. This will bring this position up to state minimum wage. The library has been having trouble attracting applications for this position and I believe that increasing the pay to minimum wage will help with this.

This position reshelves all library materials, helps manage our returns, assists with filling requests for library materials, and a variety of other tasks as assigned. It is an integral part of daily library operations.

Please let me know if you have any questions that I can assist with.

Sincerely,

Sara Belisle



CITY OF MARLBOROUGH

SALARY TABLES

EFF. DATE	GROUP/BU	GRADE/ RANK	DESCRIPTION	PAY BASIS	FREQUENCY	CALC	PERIODS	HRS/ DAY	HRS/ PERIOD	DAYS/ PERIOD	HRS/ YEAR	DAYS/ YEAR	USE PCT
07/01/2023	CNOA NON-AFFILI	PAGE	LIBRARY PAGE	H HOURLY	B BIWEEKLY	01	26.0000	.00	.00	.00	.00	.00	N
Change was made by 2.0000% No Dollar amount used.													

STEP/LEVEL	PERCENT	HOURLY RATE	DAILY RATE	PERIOD SALARY	ANNUAL SALARY
00	0.0000	10.7765	0.0000	0.00	0.00
01	0.0000	11.2136	0.0000	0.00	0.00
02	0.0000	11.6657	0.0000	0.00	0.00
03	0.0000	12.1329	0.0000	0.00	0.00

07/01/2023	CNOA NON-AFFILI	PASS	PRIN ASSESSOR	A ANNUAL	B BIWEEKLY	11	26.0000	8.00	80.00	10.00	2080.00	260.00	N
Change was made by 2.0000% No Dollar amount used.													

STEP/LEVEL	PERCENT	HOURLY RATE	DAILY RATE	PERIOD SALARY	ANNUAL SALARY
00	0.0000	.0000	0.0000	0.00	0.00
01	0.0000	49.2440	393.9523	3,939.52	102,427.61
02	0.0000	50.2288	401.8303	4,018.30	104,475.88
03	0.0000	51.2339	409.8709	4,098.71	106,566.43
04	0.0000	52.2581	418.0653	4,180.65	108,696.98
05	0.0000	53.3034	426.4268	4,264.27	110,870.97
06	0.0000	54.3694	434.9553	4,349.55	113,088.39
07	0.0000	55.4569	443.6553	4,436.55	115,350.37

07/01/2023	CNOA NON-AFFILI	PERD	PERSONNEL DIREC	A ANNUAL	B BIWEEKLY	11	26.0000	8.00	80.00	10.00	2080.00	260.00	N
Change was made by 2.0000% No Dollar amount used.													

STEP/LEVEL	PERCENT	HOURLY RATE	DAILY RATE	PERIOD SALARY	ANNUAL SALARY
00	0.0000	.0000	0.0000	0.00	0.00
01	0.0000	48.2285	385.8283	3,858.28	100,315.37
02	0.0000	49.1935	393.5479	3,935.48	102,322.46
03	0.0000	50.1771	401.4170	4,014.17	104,368.43
04	0.0000	51.1805	409.4444	4,094.44	106,455.55
05	0.0000	52.2043	417.6345	4,176.34	108,584.97
06	0.0000	53.2484	425.9872	4,259.87	110,756.67
07	0.0000	54.3134	434.5070	4,345.07	112,971.81

ORDERED:

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH THAT THE CITY CODE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED BY AMENDING CHAPTER 125, ENTITLED "PERSONNEL," AS FOLLOWS:

I. By adding to the salary schedule referenced in Section 125-6, the following:

Position		Step 0	Step 1	Step 2	Step 3 Maximum
Houseworker	Effective upon Passage	\$20.3096	\$21.0214	\$21.7623	\$22.5333 Per Hour.

II. This ordinance shall supersede and replace any existing rate for said position(s) (if applicable) in the current salary schedule.

ADOPTED
 In City Council
 Order No. 23-XXX
 Adopted

Approved by Mayor
 Arthur G. Vigeant
 Date:

A TRUE COPY
 ATTEST:

Houseworker - City Step/Level	Current Hourly Rate	8 hours Daily Rate	80 hours Period Salary	2080 hours Annual Salary
0	17.8096	142.4767	1,424.77	37,043.93
1	18.5214	148.1711	1,481.71	38,524.49
2	19.2623	154.0980	1,540.98	40,065.47
3	20.0333	160.2656	1,602.66	41,669.06

Houseworker - City Step/Level	Proposed Hourly Rate	Daily Rate	Period Salary	Annual Salary
0	20.3096	162.4768	1,624.77	42,243.97
1	21.0214	168.1712	1,681.71	43,724.51
2	21.7623	174.0984	1,740.98	45,265.58
3	22.5333	180.2664	1,802.66	46,869.26

School Custodial Houseworker Step/Level	Current Hourly Rate	8 Hours Daily Period	80 hours Period Salary	2080 hours Annual Salary
0	22.2759	178.2072	1782.07	46333.86
3	23.3255	186.6044	1866.04	48517.14

Plumber & Electrician		8 hours	80 hours	2080 hours	
Step/Level	Hourly Rate	Daily Rate	Period Salary	Annual Salary	
	0	34.3450	274.7595	2,747.60	71,437.47

ORDERED:

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH THAT THE CITY CODE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED BY AMENDING CHAPTER 125, ENTITLED "PERSONNEL," AS FOLLOWS:

I. By adding to the salary schedule referenced in Section 125-6, the following:

Position	Effective Date	Minimum	Step 1	Step 2	Maximum
Plumber (40 hours per week)	Upon Passage				\$34.3450 Per Hour.

II. This ordinance shall supersede and replace any existing rate for said position(s) (if applicable) in the current salary schedule.

ADOPTED
 In City Council
 Order No. 23-XXX
 Adopted

Approved by Mayor
 Arthur G. Vigeant
 Date:

A TRUE COPY
 ATTEST:

ORDERED:

That pursuant to City Code Chapter 125 (Personnel), Section 125-5 (Preparation of Classification Descriptions), the job description for the new position of Plumber (attached hereto), BE AND IS HEREWITH APPROVED.

ADOPTED
In City Council
Order No. 23-
Adopted

Approved by Mayor
Arthur G. Vigeant
Date:

A TRUE COPY
ATTEST:

CITY OF MARLBOROUGH
DEPARTMENT OF PUBLIC WORKS
PLUMBER

POSITION PURPOSE

The Plumber will install, remove, and maintain plumbing systems including piping fixtures, fixed appliances, ventilation systems, drainage, sanitary fixtures and heating systems. As well as collaborate with and be actively involved with all Department of Public Works related activities.

ESSENTIAL JOB FUNCTIONS

(The essential functions or duties listed below are intended only as illustrations of the various type of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.)

- Installs, removes, and maintains plumbing systems including piping fixtures, fixed appliances, ventilation systems, drainage, sanitary fixtures and heating systems;
- Maintains necessary working permits and records;
- Orders necessary materials and supplies.
- Confers with supervisors and department personnel to determine scheduling and time to complete a project, the work to be accomplished;
- Plans and schedules repairs.
- Repairs hot water tanks and systems to ensure that proper construction, regulation, and safety requirements are met;
- Ascertains sufficient tank pressure and efficiency;
- Checks valves, gauges and shut offs to ensure parts are in proper working condition.
- Engages in the installation of assigned building drainage connections to sewerage systems by following local regulations and guidelines.
- Selects appropriate materials to be used for jobs and estimates costs incurred;
- Reads and interprets blueprints and shop drawings. Responds to emergency calls and takes appropriate action. Repairs water pipes and makes necessary connections;
- Maintains plumbing systems;
- Repairs and replaces defective and leaky water and drainpipes.
- Repairs and replaces valves, faucets, sinks, bubblers, tanks, and fixtures. Replaces gaskets, washers;
- Opens clogged drains; attaches pipe assemblies to walls. Assembles, bolts, or solders valves, coupling, pipe sections and other parts. Connects plumbing fixtures to outlets and seals connections. Performs other manual duties related to the plumbing trade.
- Performs all other duties as required.

SUPERVISION RECEIVED

Under the direction of the Director of Public Works, the employee is familiar with the work routine and uses initiative in carrying out recurring assignments independently with specific instructions. The supervisor provides additional, specific instruction for new, difficult, or unusual assignments, including suggested work methods. The employee is expected to recognize instances which are out of the ordinary and which do not fall within existing instructions; the employee is then expected to seek advice and further instructions. Reviews and checks of the employee's work are applied to an extent sufficient to keep the supervisor aware of work progress and to ensure that completed work and methods used are technically accurate and that instructions are being followed.

SUPERVISION EXERCISED

The employee is not responsible for the regular supervision of other department employees. The employee shall, at all times, utilize any special written instructions, safety precautions, training, or protective gear as required.

ACCOUNTABILITY

The nature of the required work or the operation of potentially dangerous equipment increases the probability that the consequences of errors, missed deadlines or poor judgment may include significant waste of material, damage to buildings, equipment, and danger to public safety and/or personal injury. The employee is responsible to make every effort to avoid these consequences.

OCCUPATIONAL RISK

Essential functions regularly present potential risk of injury commonly found in the plumbing trade.

JUDGMENT

The work involves numerous standardized practices, procedures, or general instructions that govern the work and, in some cases, may require additional interpretation. Judgment is needed to locate, select and apply the most pertinent practice, procedure, regulation, or guideline.

COMPLEXITY

The work consists of a variety of duties which generally follow standardized practices, procedures, regulations, or guidelines. The sequence of work and/or the procedures followed vary according to the nature of the transaction and/or the information involved, or sought, in a particular situation.

NATURE AND PURPOSE OF CONTACTS

Relationships are primarily with co-workers, vendors and the public, involving frequent explanation, discussion or interpretation of practices, procedures, regulations or guidelines in order to render service, plan or coordinate work efforts, or resolve operating problems. Other regular contacts are with service recipients and employees of outside organizations. More than ordinary courtesy, tact and diplomacy may be required to resolve complaints or deal with hostile, uncooperative or uninformed persons.

WORK ENVIRONMENT

The employee constantly performs work indoors/outdoors on a variety of public works projects. Employee is frequently exposed to equipment/machinery, noise, odors, chemical fumes, dust, smoke, heat, cold, oil, dirt or grease, and risk of personal injury. Some work may occur in confined spaces requiring portable lighting. Work is continually performed indoors/outdoors, regardless of weather conditions. Employee may be required to work beyond normal business hours at nights and/or on weekends in response to natural or man-made emergencies on a 24-hour basis, 365 days per year.

EDUCATION AND EXPERIENCE

Applicant must possess a current and valid Masters Plumber's License issued through the Commonwealth of Massachusetts Division of Registration by the Board of State Examiners of Plumbers and Gas Fitters at the time of application.

KNOWLEDGE, ABILITY, AND SKILLS

Knowledge: Knowledge of plumbing, federal, state, and local laws. Practical knowledge of best practices and general computer applications.

Abilities: Ability to understand and follow written and oral directions and adhere to safety precautions to perform duties in an efficient, safe manner often under adverse weather conditions.

Skills: Fine motor skill to operate department tools and equipment required to perform position duties in a safe and efficient manner.

PHYSICAL, MOTOR, AND VISUAL SKILLS

Physical Skills: Duties require frequent and extended periods of inside/outside work, subject to all weather conditions and extremes; continuous walking, standing, climbing and frequent periods requiring uncomfortable physical positions; may work on damp or uneven surfaces; crouch, sit, stand, walk, bend, crawl, kneel, pull, reach, push, twist, climb ladders and sloping surfaces, grasp, drag, lift and carry items weighing up to 100 pounds; work above shoulder level with power and/or hand tools for sustained periods of time; may be exposed to dust, chemicals, solvents, paint grease/oil, fumes; electrical and mechanical hazards, vibration and noise, work with machinery; mobility, vision, hearing, dexterity and use of hands and legs appropriate to the duties to be performed.

Motor Skills: Essential functions involve close hand, eye coordination, and physical dexterity. In addition, the job requires minimal motor skills for activities such as moving objects, using office equipment, including but not limited to telephones, personal computers, handheld technology, and other office equipment.

Visual Skills: Visual demands require routinely reading documents for general understanding and analytical purposes.

In-House Plumber (2023)				
Community	Annual Salary	Rate/Hr	FTE #	Additional Notes
Beverly	\$ 62,540	\$30.07/hr	1	
Braintree	\$ 52,686	\$25.33/hr	1	
Everett	\$ 75,483	\$36.29/hr	1	Maintence Mechanic/Plumber on Housing Authority buildings
Fitchburg	\$ 98,332	\$47/hr	1	Grade 7, Step 10
Holyoke			0	
Leominster			0	
Salem			0	
Westfield			0	
Avg	\$ 72,260	\$34.67/hr		

Updated as of 7/19/23

Holyoke, Salem, Westfield and Leominster outsource most of this work if Maintenance team cannot take care of it...



City of Marlborough

Legal Department

140 MAIN STREET

MARLBOROUGH, MASSACHUSETTS 01752

TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610

LEGAL@MARLBOROUGH-MA.GOV

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
JASON D. GROSSFIELD
CITY SOLICITOR

2023 JUL 19 PM 2:31
JEREMY P. MCMANUS
ASSISTANT CITY SOLICITOR

BEATRIZ R. ALVES
PARALEGAL

July 19, 2023

Michael H. Ossing, President
Marlborough City Council
City Hall
140 Main Street
Marlborough, MA 01752

Re: City Council Order No. 23-1008870
Hours of Operation, Shell Gas Station, 342 Boston Post Rd. E., Marlborough

Dear Honorable President Ossing and Councilors:

As requested, I have reviewed the proposed form of the City Council order on the above-referenced petition. Enclosed is a copy of the proposed decision in proper legal form as recommended by the Urban Affairs Committee at its July 10, 2023 meeting.

Please contact me if you have any questions or concerns.

Respectfully,

Jason D. Grossfield
City Solicitor

Enclosure

cc: Arthur G. Vigeant, Mayor
Tin Htway, Building Commissioner

ORDERED:

That the application of Andrew Delli Carpini, CEO on behalf of Colbea Enterprises, L.L.C. (the "Petitioner" or "Holder") to issue a permit to grant an exemption to the hours of operation under City Code Chapter 342, Article 1, Section 342-2, allowing the Shell Gas Station at 342 Boston Post Road East to be open for business for certain additional hours is hereby approved in part, in accordance with the following findings and subject to the below conditions:

A. Findings

The City Council hereby finds that the petition may be granted, when limited and conditioned as set forth below, so that the public convenience and welfare may be substantially served without detrimental effect upon the public health, peace or safety.

B. Permit Conditions

1. This permit authorizes a partial exemption to the hours of operation set forth in City Ord. 342-1 which is limited to the following: The service station located at 342 Boston Post Road East, Marlborough may be open for business from 5:00 AM to 11:00 PM daily. The service station is not permitted to be open for business outside of those hours.
2. This permit is effective for a period of one (1) year from the date of approval of this permit. Thereafter, at the discretion of the City Council, it may be renewed for periods of up to five years.
3. In regard to both location and holder, the exemption shall be non-transferrable.
4. Petitioner shall install, maintain and use a video surveillance and video recording system to monitor entry ways and sales attendant positions.
5. Petitioner shall install and maintain a silent robbery/panic alarm system which must be monitored by a central alarm system. Alarm activators must be installed at all sales attendant positions.
6. Petitioner shall permit the Chief of Police or the Chief's designee to inspect, upon demand, the video surveillance, video monitoring and alarm systems. If any of the systems are found to be not in compliance with these conditions, Petitioner must limit the hours of operation of the station to between 6:00 AM and 11:00 PM until full compliance with conditions is achieved.
7. Petitioner shall not permit or suffer any automotive repair work to be performed on the premises by any person.

ADOPTED
In City Council



City of Marlborough

Legal Department

140 MAIN STREET

MARLBOROUGH, MASSACHUSETTS 01752

TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610

LEGAL@MARLBOROUGH-MA.GOV

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

JASON D. GROSSFIELD
CITY SOLICITOR

2023 JUL 20 AM 10:02

JEREMY P. MCMANUS
ASSISTANT CITY SOLICITOR

BEATRIZ R. ALVES
PARALEGAL

July 20, 2023

Michael H. Ossing, President
Marlborough City Council
City Hall
140 Main Street
Marlborough, MA 01752

Re: City Council Order No. 23-1008913: Application for Special Permit from Kristen LeDuc on behalf of Dish Wireless to install three (3) Wireless Antennas and related equipment on the rooftop at 2 Mount Royal Avenue

Dear Honorable President Ossing and Councilors:

In accordance with Chapter 650-59C(13) of the Marlborough Zoning Ordinance, I provide this letter as to the legal form of the City Council's proposed findings on the above-referenced special permit application. Enclosed is a copy of the proposed decision. I certify that it is in proper legal form.

Please contact me if you have any questions or concerns.

Respectfully,

Jeremy P. McManus
Assistant City Solicitor

Enclosure

cc: Arthur G. Vigeant, Mayor
Thomas DiPersio, Jr., City Engineer
Tin Htway, Building Commissioner
Jason D. Grossfield, City Solicitor

_____, 2023

**NOTICE OF DECISION
GRANT OF SPECIAL PERMIT**

In City Council
Order No. 23-1008913

Application of:
Dish Wireless L.L.C.

Locus:
2 Mount Royal Avenue, Marlborough, MA
Assessor's Map 79, Parcel(s) 33

0 Lakeside Avenue-A, Marlborough, MA
Assessor's Map 79, Parcel(s) 33B

DECISION

The City Council of the City of Marlborough hereby **GRANTS** the Application for a Special Permit to Dish Wireless L.L.C., with a principal office located at 9601 S. Meridian Blvd., Englewood, CO 80112 c/o Network Building & Consulting, LLC, 100 Apollo Drive, Chelmsford, MA 01824, as provided in the DECISION and subject to the Findings of Fact and Conditions therein.

Decision date: _____, 2023

The Decision of the City Council was filed in the Office of the City Clerk of the City of Marlborough on the [] day of [], 2023.

APPEALS

Appeals, if any shall be made pursuant to Massachusetts General Laws, Chapter 40A, Section 17 and shall be filed within twenty (20) days after the date of the filing of this Notice of Decision in the Office of the City Clerk of the City of Marlborough, MA.

A TRUE COPY
ATTEST:

City Clerk

ORDERED:

IN CITY COUNCIL

DECISION ON A SPECIAL PERMIT

ORDER NO. 23-1008913

Application of:
Dish Wireless L.L.C.

Locus:
2 Mount Royal Avenue, Marlborough, MA
Assessor's Map 79, Parcel(s) 33

The City Council of the City of Marlborough hereby **GRANTS** the Application for a Special Permit to Dish Wireless L.L.C. (the "Applicant") to allow for the co-location of a new Wireless Communications Facility (3 antennas and associated equipment) on an existing building, pursuant to the submitted plans, as provided in the DECISION and subject to the Findings of Fact and Conditions therein.

FINDINGS OF FACT

1. The Applicant is a duly organized and existing corporation and FCC Licensee having a principal office located at 9601 S. Meridian Blvd., Englewood, CO 80112 c/o Network Building & Consulting, LLC, 100 Apollo Drive, Chelmsford, MA 01824.
2. The Applicant is a sublessee of a portion of the property located at 2 Mount Royal Avenue (Assessor's Map 79, Parcel(s) 33) and 0 Lakeside Avenue-A (Assessor's Map 79, Parcel(s) 33B), Marlborough, Massachusetts (the "Site").
3. On May 24, 2023, the Applicant filed with the City Clerk of the City of Marlborough an application (hereinafter referred to as the "Application") for a Special Permit under Chapter 650 (Zoning) of the Code of the City of Marlborough (hereinafter referred to as the "Zoning Ordinance"), Section 650-25 entitled Wireless Communications Facilities.
4. In accordance with Article V, Section 650-18(A)(20) and Section 650-25 of the Zoning Ordinance, the Applicant proposes the co-location of a new Wireless Communications Facility (3 antennas and associated equipment) on an existing building (the "Use") at the Site, as shown in the plans submitted with the Application and referenced in paragraph 5 below.
5. In connection with the Application, the Applicant submitted a certified list of abutters, filing fees, and plans by NB&C Engineering Services, LLC, with the last revision date of November 18, 2022, (collectively the "Plans"), attached hereto as **"Attachment A."**

6. Pursuant to the Application, the Applicant is licensed by the FCC to provide personal wireless services in the City of Marlborough and surrounding areas and currently has a problem with significant gaps in coverage and capacity issues with coverage that could be alleviated by installing the Use on the subject location as shown on the Plans.
7. The Site is located in the Business (B) Zoning District which allows a Special Permit to be issued for a Wireless Communication Facility (“WCF”).
8. Pursuant to the Rules and Regulations of the City Council of the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application, and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters and the planning boards of all surrounding towns entitled thereto in accordance with applicable regulations and law.
9. The Marlborough City Council, pursuant to Massachusetts General Laws Chapter 40A, opened a public hearing on the Application on June 26, 2023. The public hearing was held in the City Council Chamber, at the Marlborough City Hall, 140 Main Street. The public hearing was closed on June 26, 2023.
10. The Applicant presented oral testimony and demonstrative evidence at the public hearing, demonstrating that the Use meets all the applicable Special Permit criteria of Article VI, Section 650-25 and Article VIII, Section 650-59.
11. At the Public Hearing, there were no members of the public speaking in opposition to the Use.
12. The Council, in reviewing the Application, considered the Review Standard and Development Requirements, as enumerated in Article VI, Section 650-25 and Article VII, Section 650-59 of the City of Marlborough Zoning Ordinance, applicable to the Use.

**BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING
FINDINGS AND TAKES THE FOLLOWING ACTIONS:**

A. The Applicant has complied with the Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.

B. The City Council finds the proposed Use of the Site is in harmony with the intent and general purpose of the Zoning Ordinance of the City of Marlborough when subject to appropriate terms and conditions as provided in this Decision. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.

C. The City Council finds that the proposed Use is consistent with the purposes of Section 650-25 governing WCFs in the City.

D. The proposed WCF and location are consistent with both the applicable review standards in Section 650-25(D) and the development requirements in Section 650-25(E).

E. The City Council recognizes the Applicant is a federal licensee afforded certain protection under federal telecommunications law, to the extent provided by law.

F. The City Council confirms the Applicant has demonstrated the need to construct the proposed facility to solve certain wireless coverage and capacity issues that currently exist in its network in the vicinity.

G. The City Council finds that there are adequate, ample parking spaces on the host parcel.

H. The City Council finds the proposed Use, which consists of an unmanned and unoccupied facility, will have no impact on traffic and pedestrian safety in the area.

I. The City Council finds the proposed Use will not be contrary to the public health, safety, convenience and welfare and will not be offensive or detrimental.

J. The City Council, pursuant to its authority under MGL Chapter 40A and the City of Marlborough Zoning Ordinance **GRANTS** to the Applicant a Special Permit for construction of the Use, a wireless communications facility on the existing monopole, **SUBJECT TO THE FOLLOWING CONDITIONS**, which conditions shall be binding on the Applicant, its successors and/or assigns:

1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts, and shall be built according to the Plans as may be amended during Site Plan Review.

2. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review by the Site Plan Review Committee, in accordance with the City of Marlborough Site Plan Review Ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications or amendments, as required during the process of Site Plan Review, shall be further conditions attached to the building permit, and no occupancy permit shall be issued until the Applicant has complied with all conditions. Subsequent Site Plan Review shall be consistent with the conditions of this Special Permit and the Plans submitted, reviewed and approved by the City Council as the Special Permit Granting Authority.

3. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Public Services Committee, are herein incorporated into and become a part of this

Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.

4. Compliance with Applicable Laws. The Applicant, its successors and/or assigns agrees to comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of the Use.

5. All work performed on the Site shall comply with this Decision. No other building or construction or activity (including but not limited to any other communications device, WCF, tower, etc.) shall occur without further modification of this Special Permit. This condition shall be interpreted consistent with federal law governing WCF's.

6. No signage or advertising of any sort shall be permitted as part of the Use.

7. The Applicant shall comply with all applicable conditions for WCFs as set forth in Section 650-25(F), each of which shall constitute conditions of this special permit.

8. In accordance with the provisions of Massachusetts General Laws Chapter 40A, Section 11, the Applicant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council Office, the Building Department and the City Solicitor's Office.

Yea:

Nay:

Absent:

Abstain:

Signed by City Council President
Michael H. Ossing

ADOPTED
In City Council
Order No. **23-1008913**

ATTACHMENT "A"



DISH Wireless L.L.C. SITE ID:
BOBOS01051C

DISH Wireless L.L.C. SITE ADDRESS:
**2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752**

SCOPE OF WORK	
THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:	
SECTOR SCOPE OF WORK:	
<ul style="list-style-type: none"> • INSTALL (3) PROPOSED PANEL ANTENNAS (1 PER SECTOR) • INSTALL (3) PROPOSED ANTENNA MOUNTS (1 PER SECTOR) • INSTALL PROPOSED JUMPERS • INSTALL (6) PROPOSED RIVA (2 PER SECTOR) • INSTALL (3) PROPOSED OVER VOLTAGE PROTECTION DEVICE (OVP) (1 PER SECTOR) • INSTALL (3) PROPOSED DC POWER CABLES (1 PER SECTOR) • INSTALL (3) PROPOSED FIBER TRUNKS (1 PER SECTOR) • INSTALL PROPOSED CABLE TRAY 	
ROOFTOP SCOPE OF WORK:	
<ul style="list-style-type: none"> • INSTALL (1) PROPOSED METAL PLATFORM WITH H-FRAME • INSTALL (1) PROPOSED CABLE TRAY • INSTALL (1) PROPOSED BBU IN CABINET • INSTALL (1) PROPOSED EQUIPMENT CABINET • INSTALL (1) PROPOSED NSM 3 TELCO-FIBER BOX • INSTALL (1) PROPOSED GPS UNIT • INSTALL (1) PROPOSED GROUNDING CONDUIT • INSTALL (1) PROPOSED POWER CONDUIT • INSTALL (1) PROPOSED FIBER CONDUIT 	

SITE INFORMATION	PROJECT DIRECTORY
PROPERTY OWNER: ADDRESS: 200 SUMMIT DRIVE #210 BURLINGTON, MA 01803	APPLICANT: DISH Wireless L.L.C. 5701 SOUTH SANTA FE DRIVE LITTLETON, CO 80120
TOWER TYPE: ROOFTOP	TOWER MANAGER: CB EQUITIES MT ROYAL, LLC 200 SUMMIT DRIVE #210 BURLINGTON, MA 01803
TOWER CO SITE ID: N/A	SITE DESIGNER: NB+C ENGINEERING SERVICES, LLC 100 APOLLO DRIVE, SUITE 303 CHELSEA, MA 01824 (978) 856-8306
TOWER APP NUMBER: N/A	SITE ACQUISITION: KATIE ADAMS KADAMS@NBCLLC.COM
COUNTY: MIDDLESEX	CONSTRUCTION MANAGER: AARON CHANDLER AARON.CHANDLER@DISH.COM
LATITUDE (NAD 83): 42° 20' 25.4574" N	RF ENGINEER: IRMA SEBASTIAN IRMA.SEBASTIAN@DISH.COM
LONGITUDE (NAD 83): 71° 34' 42.2760" W	
ZONING JURISDICTION: CITY OF MARLBOROUGH	
ZONING DISTRICT: N/A	
PARCEL NUMBER: MARL-078-033	
OCCUPANCY GROUP: U	
CONSTRUCTION TYPE: II-B	
POWER COMPANY: NATIONAL GRID	
TELEPHONE COMPANY: COMCAST	

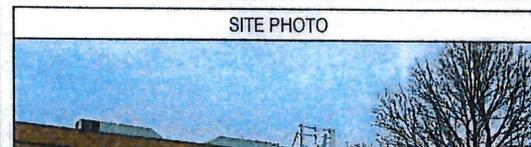
5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, L.L.C.

100 APOLLO DRIVE
SUITE 303
CHELSEA, MA 01824
(978) 856-4308

MASSACHUSETTS CODE COMPLIANCE	
ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:	
CODE TYPE	CODE
BUILDING	MA STATE BUILDING CODE, 9TH EDITION (780 CMR)/2015 IBC W/ AMENDMENTS
MECHANICAL	MECHANICAL CODE 2015 OF MASSACHUSETTS/2015 IMC W/ AMENDMENTS
ELECTRICAL	MA ELECTRICAL CODE/2020 NEC W/ AMENDMENTS



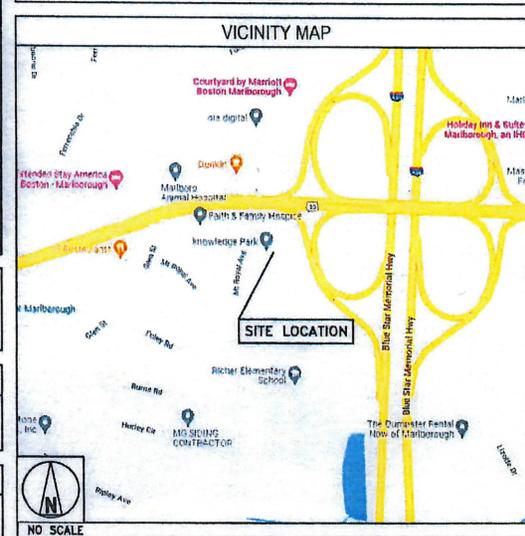
DIRECTIONS

DIRECTIONS FROM DISH WIRELESS, LOGAN AIRPORT:
GET ON I-90 W FROM TRANSPORTATION WAY. HEAD SOUTHEAST. SLIGHT RIGHT. USE ANY LANE TO TURN SLIGHTLY LEFT ONTO TRANSPORTATION WAY. TURN LEFT ONTO THE WILLIAMS TUNNEL RAMP TO I-90 W/1-93. MERGE ONTO I-90 W. USE THE RIGHT 2 LANES TO TAKE EXIT 108 TO MERGE ONTO I-495 N. TAKE EXIT 83B TO MERGE ONTO US-20 W/LAKESIDE AVE TOWARD NORTHBORO. MERGE ONTO US-20 W/LAKESIDE AVE. TURN LEFT ONTO GLEN ST. TURN LEFT ONTO MT ROYAL AVE. TURN LEFT TO STAY ON MT ROYAL AVE. TURN RIGHT. DESTINATION WILL BE ON THE RIGHT.

SHEET INDEX	
SHEET NO.	SHEET TITLE
T-1	TITLE SHEET
A-1	BUILDING PLAN
A-2	ANTENNA PLAN, ELEVATION AND SCHEDULE
A-3	BUILDING ELEVATION
A-4	EQUIPMENT PLATFORM AND H-FRAME DETAILS
A-5	EQUIPMENT DETAILS
A-6	EQUIPMENT DETAILS
E-1	ELECTRICAL/FIBER ROUTE PLAN AND NOTES
E-2	ELECTRICAL DETAILS
E-3	ELECTRICAL ONE-LINE & PANEL SCHEDULE
G-1	GROUNDING PLANS AND NOTES
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
RF-1	RF CABLE COLOR CODE
QN-1	LEGEND AND ABBREVIATIONS
QN-2	RF SIGNAGE
QN-3	GENERAL NOTES
QN-4	GENERAL NOTES
QN-5	GENERAL NOTES

UNDERGROUND SERVICE ALERT - 811 DIG SAFE
UTILITY NOTIFICATION CENTER OF MASSACHUSETTS
(888) 344-7233
WWW.DIGSAFE.COM

CALL 3 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION



GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

DRAWN BY:	CHECKED BY:	APPROVED BY:
AN	NSB	DRG

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS	
REV	DATE DESCRIPTION
0	11/18/2023 ISSUED FOR CONSTRUCTION

AKE PROJECT NUMBER
100753

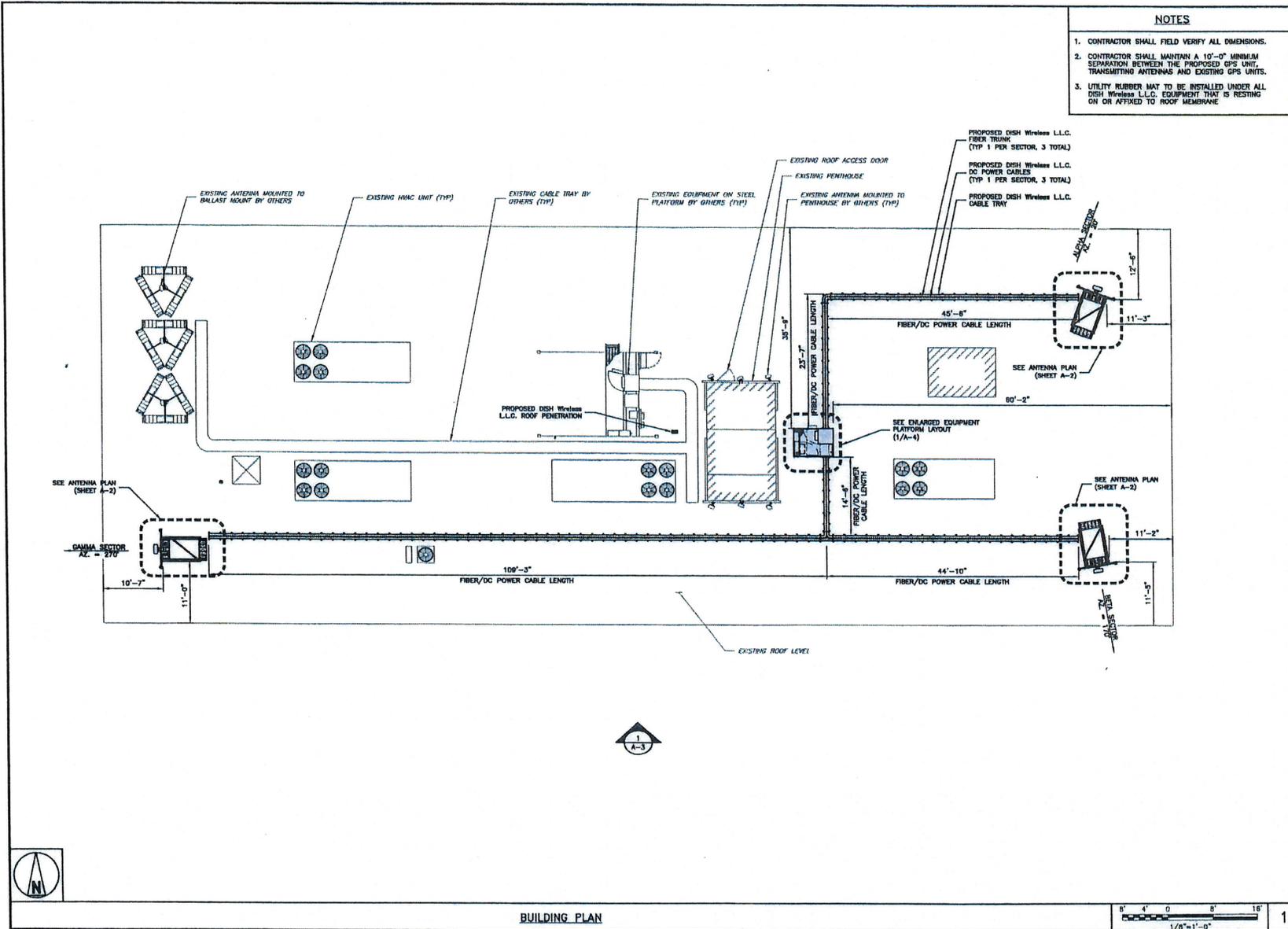
DISH Wireless L.L.C.
PROJECT INFORMATION

BOBOS01051A

2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1



- NOTES**
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
 2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED GPS UNIT, TRANSMITTING ANTENNAS AND EXISTING GPS UNITS.
 3. UTILITY RUBBER MAT TO BE INSTALLED UNDER ALL DISH Wireless L.L.C. EQUIPMENT THAT IS RESTING ON OR AFFIXED TO ROOF MEMBRANE.



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



NB+C ENGINEERING SERVICES, L.L.C.
100 APOLLO DRIVE
SUITE 302
CHELMSFORD, MA 01824
(978) 256-8308



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

DRAWN BY: AN CHECKED BY: HSB APPROVED BY: DRG
RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
0	11/18/2022	ISSUED FOR CONSTRUCTION

A&E PROJECT NUMBER
100753

DISH Wireless L.L.C.
PROJECT INFORMATION
BOBOS1051A
2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
BUILDING PLAN

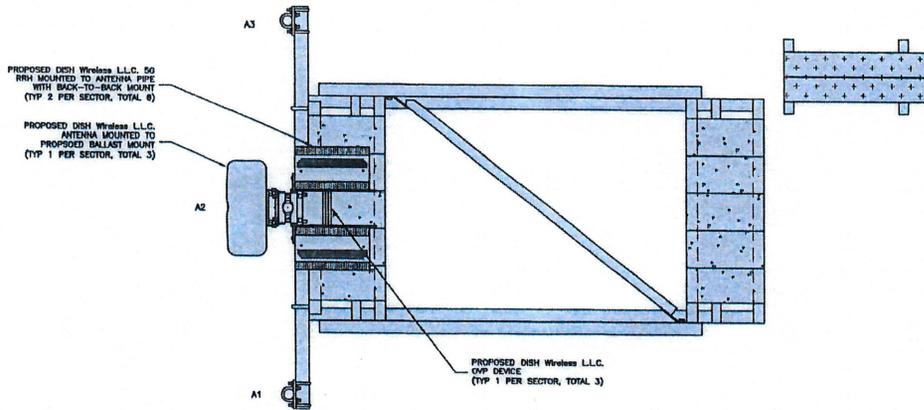
SHEET NUMBER
A-1

BUILDING PLAN

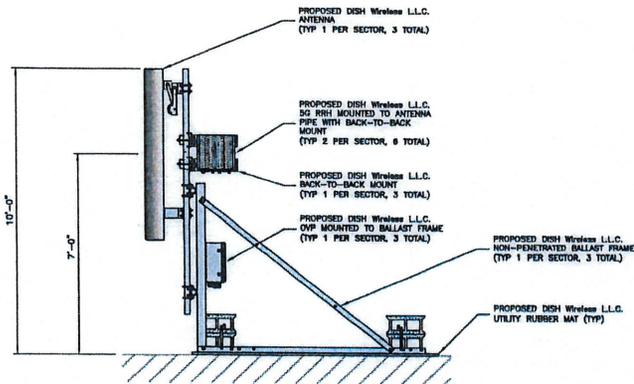


NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. ANTENNA SPECIFICATIONS REFER TO ANTENNA SCHEDULE AND TO FINAL CONSTRUCTION RFDs FOR ALL RF DETAILS.
3. EXISTING EQUIPMENT OMITTED FOR CLARITY.
4. ALPHA SECTOR SHOWN TYPICAL FOR BETA AND GAMMA SECTORS.



ANTENNA PLAN (TYPICAL PER SECTOR)



ANTENNA ELEVATION



SECTOR POS.	EXISTING OR PROPOSED	ANTENNA				TRANSMISSION CABLE	RRH			OVP
		MANUFACTURER - MODEL	TECH	AZIMUTH	RAD CENTER		MANUFACTURER - MODEL NUMBER	TECH	POS.	
A1	---	---	---	---	---	(1) 5AWG DC POWER CABLE (1) FIBER TRUNK (75'± LONG)	FLUITSU - TA08025-B805	5G	A2	RAYCAP
A2	PROPOSED	COMMSCOPE - FFV-858-R2	5G	20°	87°-0"		FLUITSU - TA08025-B804	5G	A2	RDI0C-3045-PF-48
A3	---	---	---	---	---		---	---	---	---
B1	---	---	---	---	---	(1) 5AWG DC POWER CABLE (1) FIBER TRUNK (86'± LONG)	FLUITSU - TA08025-B805	5G	B2	RAYCAP
B2	PROPOSED	COMMSCOPE - FFV-858-R2	5G	170°	87°-0"		FLUITSU - TA08025-B804	5G	B2	RDI0C-3045-PF-48
B3	---	---	---	---	---		---	---	---	---
C1	---	---	---	---	---	(1) 5AWG DC POWER CABLE (1) FIBER TRUNK (132'± LONG)	FLUITSU - TA08025-B805	5G	C2	RAYCAP
C2	PROPOSED	COMMSCOPE - FFV-858-R2	5G	270°	87°-0"		FLUITSU - TA08025-B804	5G	C2	RDI0C-3045-PF-48
C3	---	---	---	---	---		---	---	---	---

- NOTES**
1. CONTRACTOR TO REFER TO FINAL CONSTRUCTION RFDs FOR ALL RF DETAILS.
 2. ANTENNA AND RRH MODELS MAY CHANGE DUE TO EQUIPMENT AVAILABILITY. ALL EQUIPMENT CHANGES MUST BE APPROVED AND REMAIN IN COMPLIANCE WITH THE PROPOSED DESIGN AND STRUCTURAL ANALYSES.

ANTENNA SCHEDULE

NO SCALE 3



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



NB+C ENGINEERING SERVICES, L.L.C.

100 ARCELLO DRIVE
SUITE 303
CHELSEA/FORD, MA 01824
(978) 885-8308



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DRAWN BY: AN CHECKED BY: NSB APPROVED BY: DRG

RFDs REV #: 0

CONSTRUCTION DOCUMENTS

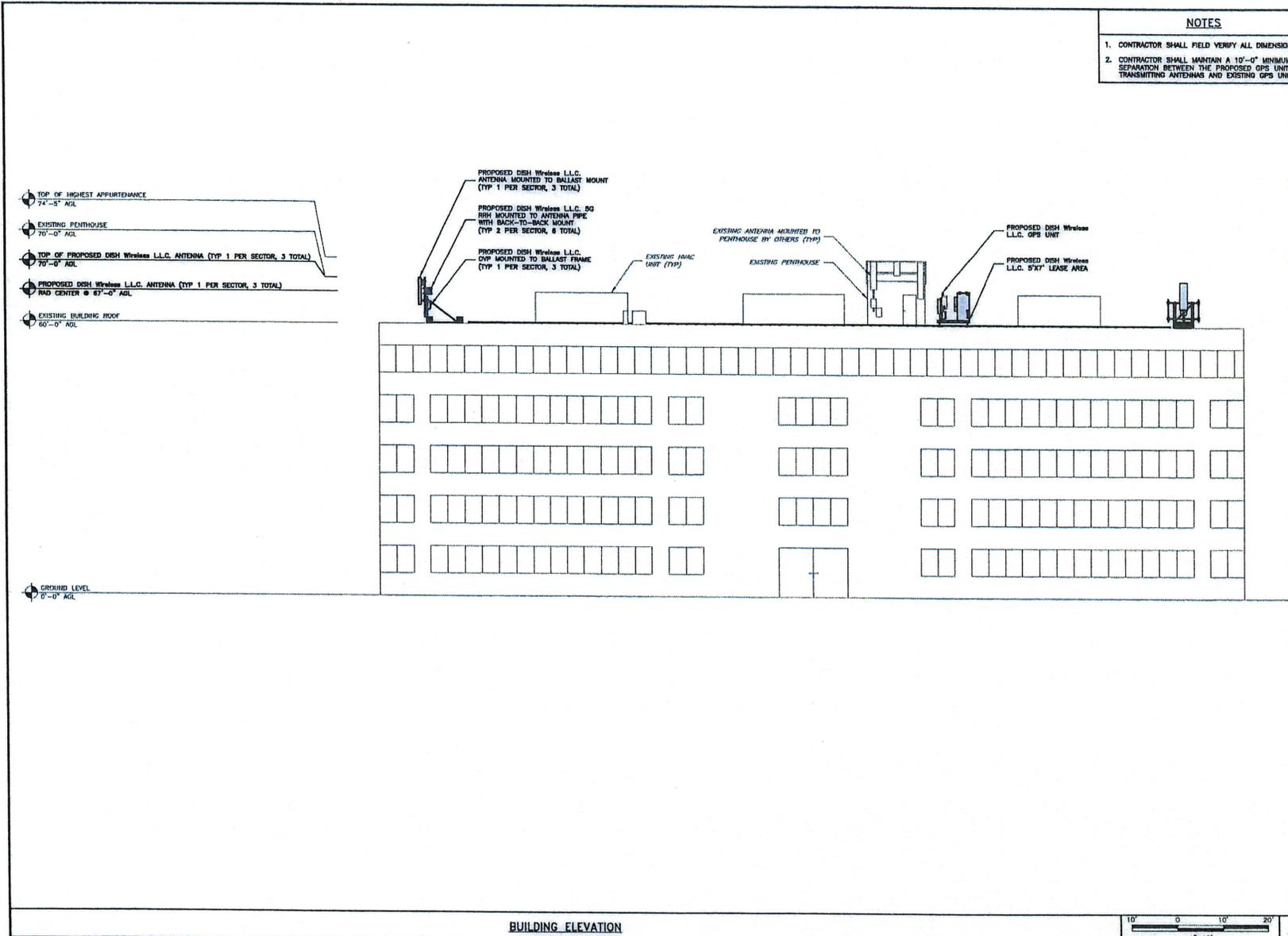
SUBMITTALS		
REV	DATE	DESCRIPTION
0	11/18/2023	ISSUED FOR CONSTRUCTION

A&E PROJECT NUMBER
100753

DISH Wireless L.L.C.
PROJECT INFORMATION
BOBOS01051A
2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
ANTENNA PLAN,
ELEVATION AND SCHEDULE

SHEET NUMBER
A-2



- NOTES**
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
 2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED GPS UNIT, TRANSMITTING ANTENNAS AND EXISTING GPS UNITS.



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, L.L.C.

100 APOLLO DRIVE
SUITE 303
CHELSEA, MA 01924
(978) 866-4308



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DRAWN BY:	CHECKED BY:	APPROVED BY:
AN	NSB	DRG

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
0	11/18/2022	ISSUED FOR CONSTRUCTION

A&E PROJECT NUMBER
100753

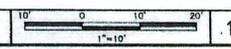
DISH Wireless L.L.C.
PROJECT INFORMATION

BOBOS01051A

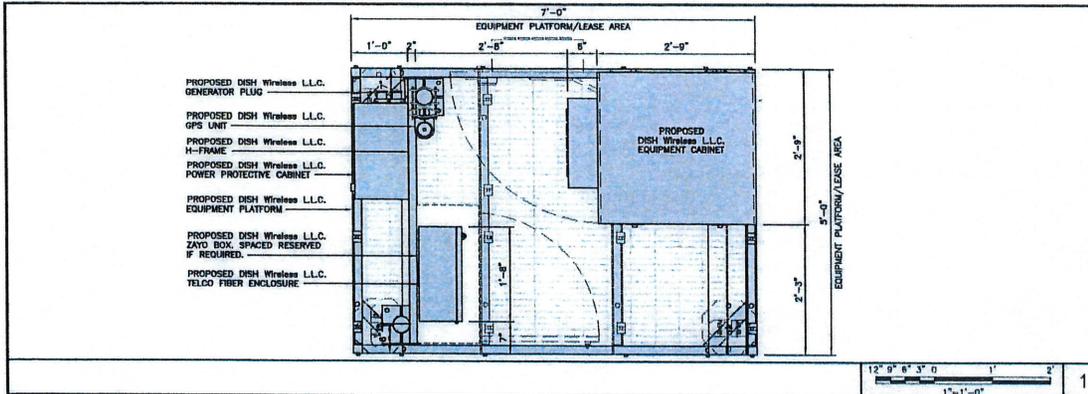
2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
BUILDING ELEVATION

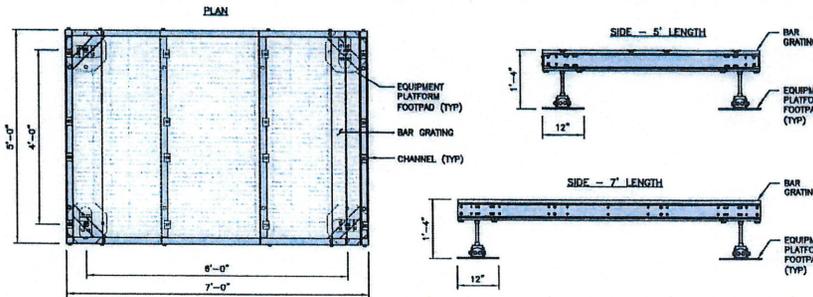
SHEET NUMBER
A-3



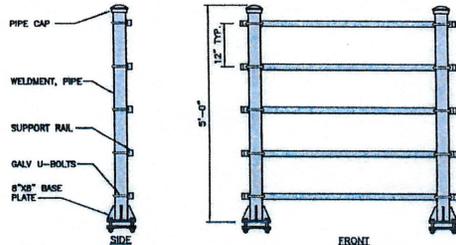
BUILDING ELEVATION



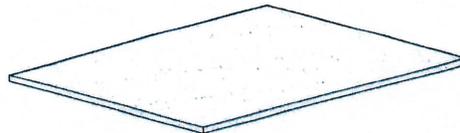
COMMSCOPE MTC4045LP 5X7 PLATFORM	
DIMENSIONS (HxWxD)	18"x64"x60"
TOTAL WEIGHT	423 LBS



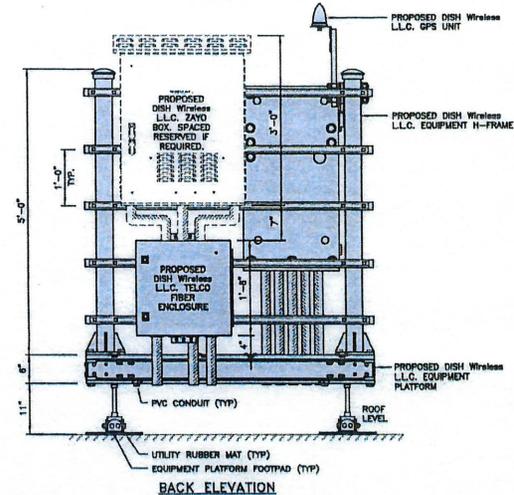
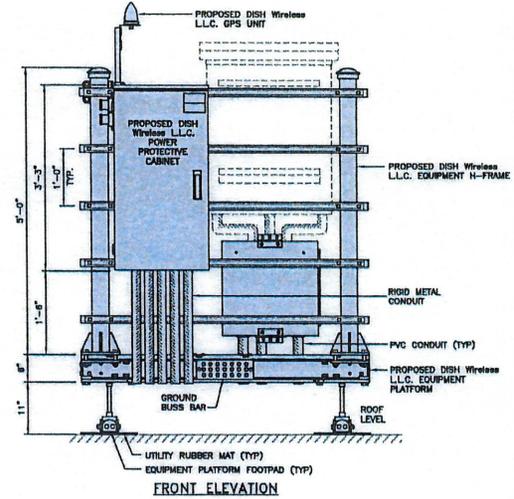
KENWOOD T1701KT5-5S H-FRAME	
UNISTRUT/SUPPORT RAIL	5
WEIGHT/ VOLUME	173.6 LBS



UTILITY RUBBER MAT, BLACK	
DIMENSIONS	4'x 3'x 1/2"
WEIGHT/ VOLUME	38.5 LB AVERAGE
MATERIAL	100% RECYCLE RUBBER



NOTE
1. EQUIPMENT CABINET OMITTED FOR CLARITY



dish wireless.

5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

NBC
TOTALLY COMMITTED.

NBC ENGINEERING SERVICES, L.L.C.
180 APOLLO DRIVE
SUITE 300
CHELSEA, MA 01824
(978) 886-8008



IF IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

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CHECKED BY: AN NSB DRG
APPROVED BY: AN NSB DRG
RFD REV # 0

CONSTRUCTION DOCUMENTS

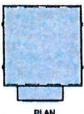
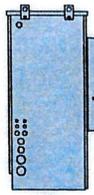
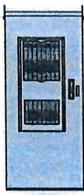
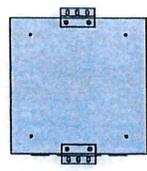
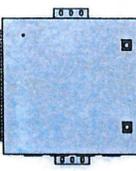
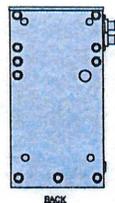
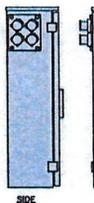
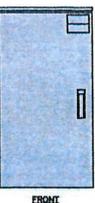
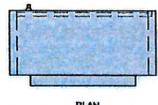
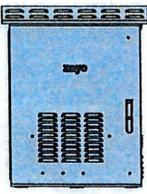
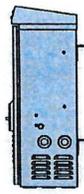
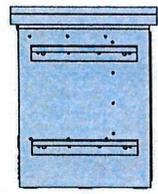
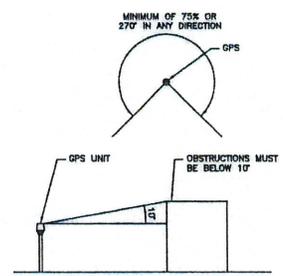
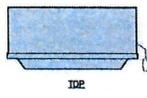
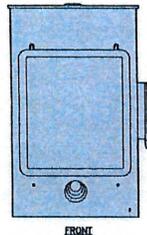
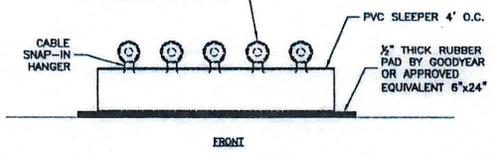
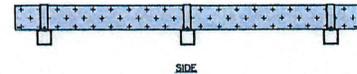
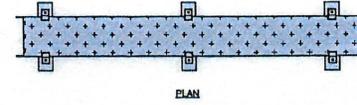
SUBMITTALS		
REV	DATE	DESCRIPTION
0	11/18/2023	ISSUED FOR CONSTRUCTION

A&E PROJECT NUMBER
100753

DISH Wireless L.L.C. PROJECT INFORMATION
BOBOS01051A
2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
EQUIPMENT PLATFORM AND H-FRAME DETAILS

SHEET NUMBER
A-4

<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">CHARLES INDUSTRY HVAC CUBE-PM63915IN4</td> </tr> <tr> <td style="width:50%;">DIMENSIONS (HxWxD)</td> <td style="width:50%;">74"x32"x32"</td> </tr> <tr> <td>POWER PLANT</td> <td>-48VDC ABB/800W</td> </tr> <tr> <td>TOTAL WEIGHT (EMPTY)</td> <td>383 lbs</td> </tr> </table>     <p style="text-align: center;">CABINET DETAIL</p> <p style="text-align: right;">NO SCALE 1</p>	CHARLES INDUSTRY HVAC CUBE-PM63915IN4		DIMENSIONS (HxWxD)	74"x32"x32"	POWER PLANT	-48VDC ABB/800W	TOTAL WEIGHT (EMPTY)	383 lbs	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">CHARLES CFIT-PF2020DSH1 FIBER TELCO ENCLOSURE</td> </tr> <tr> <td style="width:50%;">ENCLOSURE DIMS (HxWxD)</td> <td style="width:50%;">20"x20"x8"</td> </tr> <tr> <td>ENCLOSURE WEIGHT</td> <td>20 lbs</td> </tr> <tr> <td>MOUNTING</td> <td>WALL</td> </tr> <tr> <td>COMPLIANCE</td> <td>TYPE 4</td> </tr> </table>     <p style="text-align: center;">FIBER TELCO ENCLOSURE DETAIL</p> <p style="text-align: right;">NO SCALE 2</p>	CHARLES CFIT-PF2020DSH1 FIBER TELCO ENCLOSURE		ENCLOSURE DIMS (HxWxD)	20"x20"x8"	ENCLOSURE WEIGHT	20 lbs	MOUNTING	WALL	COMPLIANCE	TYPE 4	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">RAYCAP PPC RDIAC-2465-P-240-MTS</td> </tr> <tr> <td style="width:50%;">ENCLOSURE DIMENSIONS (HxWxD)</td> <td style="width:50%;">39"x22.855"x12.593</td> </tr> <tr> <td>WEIGHT:</td> <td>80 lbs</td> </tr> <tr> <td>OPERATING AC VOLTAGE</td> <td>240/120 1 PHASE 3W+0</td> </tr> </table>      <p style="text-align: center;">POWER PROTECTION CABINET (PPC) DETAIL</p> <p style="text-align: right;">NO SCALE 3</p>	RAYCAP PPC RDIAC-2465-P-240-MTS		ENCLOSURE DIMENSIONS (HxWxD)	39"x22.855"x12.593	WEIGHT:	80 lbs	OPERATING AC VOLTAGE	240/120 1 PHASE 3W+0		
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<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">ZAYO SRU CABINET LEFT SWING DOOR ("Lit" SITES)</td> </tr> <tr> <td style="width:50%;">DIMENSIONS (HxWxD)</td> <td style="width:50%;">35.115"x28"x12.9"</td> </tr> <tr> <td>WEIGHT</td> <td>85 LBS</td> </tr> <tr> <td>POWER INPUT</td> <td>20A, -48VDC</td> </tr> </table>     <p style="text-align: center;">NETWORK INTERFACE UNIT DETAIL</p> <p style="text-align: right;">NO SCALE 4</p>	ZAYO SRU CABINET LEFT SWING DOOR ("Lit" SITES)		DIMENSIONS (HxWxD)	35.115"x28"x12.9"	WEIGHT	85 LBS	POWER INPUT	20A, -48VDC	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">PCTEL GPSGL-TMG-SPI-40NCB</td> </tr> <tr> <td style="width:50%;">DIMENSIONS (DIAM) MM/INCH</td> <td style="width:50%;">81x184mm 3.2"x7.25"</td> </tr> <tr> <td>WEIGHT W/ACCESSORIES</td> <td>075 lbs</td> </tr> <tr> <td>CONNECTOR</td> <td>N-FEMALE</td> </tr> <tr> <td>FREQUENCY RANGE</td> <td>1590 ± 30MHz</td> </tr> </table>    <p style="text-align: center;">GPS DETAIL</p> <p style="text-align: right;">NO SCALE 5</p>	PCTEL GPSGL-TMG-SPI-40NCB		DIMENSIONS (DIAM) MM/INCH	81x184mm 3.2"x7.25"	WEIGHT W/ACCESSORIES	075 lbs	CONNECTOR	N-FEMALE	FREQUENCY RANGE	1590 ± 30MHz	 <p style="text-align: center;">GPS MINIMUM SKY VIEW REQUIREMENTS</p> <p style="text-align: right;">NO SCALE 6</p>										
ZAYO SRU CABINET LEFT SWING DOOR ("Lit" SITES)																														
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SQUARE D SAFETY SWITCHES D224NRB																														
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UL LISTED	FILE E-2875																													
COMMSCOPE RT-CB4D ROOFTOP COVER KIT		MOUNTING	NON-PENETRATING																											
DIMENSIONS (HxWxD)	7"x 11.25"x 8"	INCLUDED PRODUCTS:	RTCB4D.01 CHANNEL (1)																											
WEIGHT/ VOLUME	85.98 LBS		MT-F1898 SLEEPERS (3)																											
CABLE RUN (FT)	4		RTCLM HARDWARE																											
			RTHC.01 HOLD-DOWN CLAMPS (6)																											



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, LLC.
100 APOLLO DRIVE
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CHELSEA/FORT LAUDERDALE, FL 33404
(978) 866-8208



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AN NSB DRG

RFD5 REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS	
REV	DATE DESCRIPTION
0	11/16/2023 ISSUED FOR CONSTRUCTION

AKE PROJECT NUMBER
100753

DISH Wireless L.L.C.
PROJECT INFORMATION
BOBOS01051A

2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

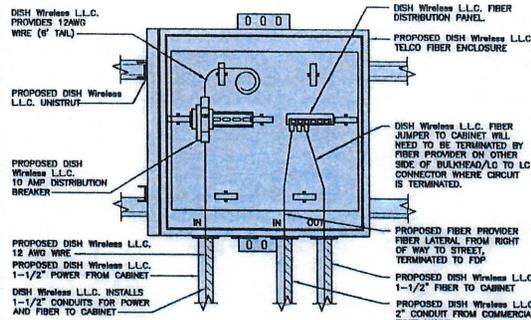
SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER

A-5

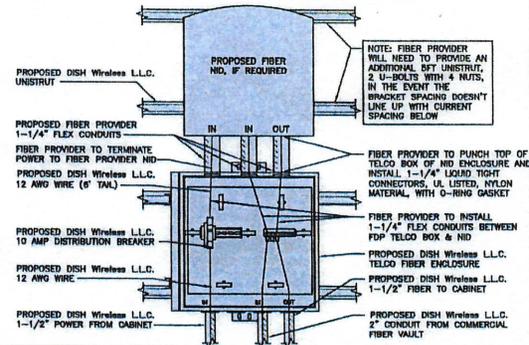
DC POWER WIRING SHALL BE COLOR CODED AT EACH END FOR IDENTIFYING +24V AND -48V CONDUCTORS. RED MARKINGS SHALL IDENTIFY +24V AND BLUE MARKINGS SHALL IDENTIFY -48V.

- CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE CONTRACTOR'S FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL STATE AND LOCAL CODES, LAWS, AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET NEC STANDARDS.
- LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- CONDUIT RUSH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. VERIFY WITH THE MECHANICAL EQUIPMENT CONTRACTOR AND COMPLY AS REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS AND CIRCUITS AS REQUIRED FOR A COMPLETE SYSTEM.
- CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED BY THE NEC ARTICLE 314.
- CONTRACTOR SHALL PROVIDE ALL STRAIN RELIEF AND CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL DISCONNECTS AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC NAMEPLATES INDICATING EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL FIELD LOCATIONS FED FROM.
- INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND NEC 250. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, AND EQUIPMENT CABINETS.
- ALL NEW MATERIAL SHALL HAVE A U.L. LABEL.
- PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENTS REFLECT POST-CONSTRUCTION EQUIPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT PANEL SCHEDULE AND SITE DRAWINGS.



DARK TELCO BOX -- INTERIOR WIRING LAYOUT

NO SCALE 2



LIT TELCO BOX -- INTERIOR WIRING LAYOUT (OPTIONAL)

NO SCALE 3

ELECTRICAL NOTES

NO SCALE 1

NOT USED

NO SCALE 4

NOT USED

NO SCALE 5

NOT USED

NO SCALE 6

NOT USED

NO SCALE 7

NOT USED

NO SCALE 8



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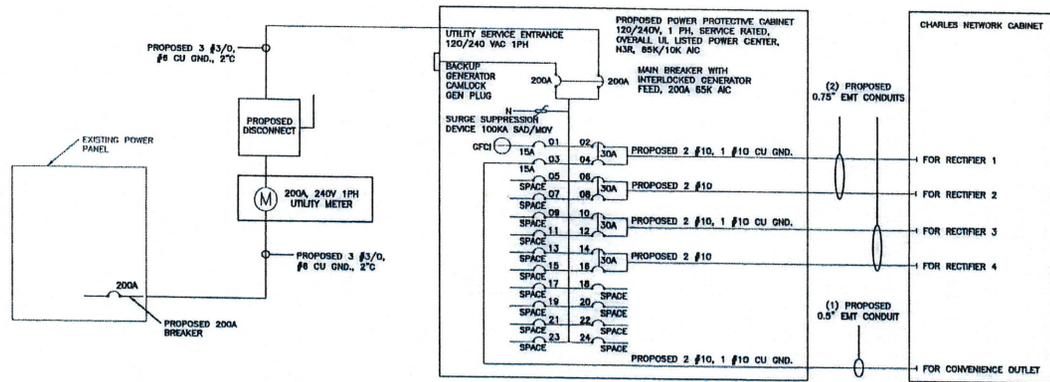
REV	DATE	DESCRIPTION
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100753

DISH Wireless L.L.C.
PROJECT INFORMATION
BOBOS01051A
2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
ELECTRICAL
DETAILS

SHEET NUMBER
E-2



NOTE:
BRANCH CIRCUIT WIRING SUPPLYING RECTIFIERS ARE TO BE RATED UL1015, 105°C, 600V, AND PVC INSULATED, IN THE SIZES SHOWN IN THE ONE-LINE DIAGRAM. CONTRACTOR MAY SUBSTITUTE UL1015 WIRE FOR THHN-2 FOR CONVENIENCE OUTLET BRANCH CIRCUIT.

BREAKERS REQUIRED:
(4) 30A, 2P BREAKER - SQUARE D P/N:00230
(1) 15A, 1P BREAKER - SQUARE D P/N:00115

NOTES

THE ENGINEER OF RECORD HAS PERFORMED ALL REQUIRED SHORT CIRCUIT CALCULATIONS AND THE AIC RATINGS FOR EACH DEVICE IS ADEQUATE TO PROTECT THE EQUIPMENT AND THE ELECTRICAL SYSTEM.

THE ENGINEER OF RECORD HAS PERFORMED ALL REQUIRED VOLTAGE DROP CALCULATIONS AND ALL BRANCH CIRCUIT AND FEEDERS COMPLY WITH THE NEC (LISTED ON 1-1) ARTICLE 210.19(A)(1) FPN NO. 4.

THE (2) CONDUITS WITH (4) CURRENT CARRYING CONDUCTORS EACH, SHALL APPLY THE ADJUSTMENT FACTOR OF BOX PER 2014/17 NEC TABLE 310.15(B)(3)(a) OR 2020 NEC TABLE 310.15(C)(1) FOR UL1015 WIRE.

#12 FOR 15A-30A/1P BREAKER: 0.8 x 30A = 24.0A
#10 FOR 25A-30A/2P BREAKER: 0.8 x 40A = 32.0A
#8 FOR 35A-40A/2P BREAKER: 0.8 x 25A = 44.0A
#6 FOR 45A-60A/2P BREAKER: 0.8 x 75A = 60.0A

CONDUIT SIZING: AT 40% FILL PER NEC CHAPTER 9, TABLE 4, ARTICLE 358.
0.5" CONDUIT - 0.122 SQ. IN AREA
0.75" CONDUIT - 0.213 SQ. IN AREA
2.0" CONDUIT - 1.318 SQ. IN AREA
3.0" CONDUIT - 2.907 SQ. IN AREA

CABINET CONVENIENCE OUTLET CONDUCTORS (1 CONDUIT): USING THHN-2, CU.
#10 - 0.0211 SQ. IN X 2 = 0.0422 SQ. IN
#10 - 0.0211 SQ. IN X 1 = 0.0211 SQ. IN <GROUND
TOTAL = 0.0633 SQ. IN

0.5" EMT CONDUIT IS ADEQUATE TO HANDLE THE TOTAL OF (3) WIRES, INCLUDING GROUND WIRE, AS INDICATED ABOVE.

RECTIFIER CONDUCTORS (2 CONDUITS): USING UL1015, CU.
#10 - 0.0286 SQ. IN X 4 = 0.1146 SQ. IN
#10 - 0.0082 SQ. IN X 1 = 0.0082 SQ. IN <BARE GROUND
TOTAL = 0.1148 SQ. IN

0.75" EMT CONDUIT IS ADEQUATE TO HANDLE THE TOTAL OF (3) WIRES, INCLUDING GROUND WIRE, AS INDICATED ABOVE.

PPC FEED CONDUCTORS (1 CONDUIT): USING THHN, CU.
3/0 - 0.2878 SQ. IN X 3 = 0.8637 SQ. IN
#8 - 0.0907 SQ. IN X 1 = 0.0907 SQ. IN <GROUND
TOTAL = 0.8544 SQ. IN

3.0" SCH 40 PVC CONDUIT IS ADEQUATE TO HANDLE THE TOTAL OF (4) WIRES, INCLUDING GROUND WIRE, AS INDICATED ABOVE.



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PPC ONE-LINE DIAGRAM

NO SCALE 1

PROPOSED CHARLES PANEL SCHEDULE

LOAD SERVED	VOLT AMPS (WATTS)		TRIP	Ckt #	PHASE	Ckt #	TRIP	VOLT AMPS (WATTS)		LOAD SERVED
	L1	L2						L1	L2	
PPC GFCI OUTLET	180	180	15A	1	A	3	30A	2880	2880	ABR/GE INFINITY RECTIFIER 1
CHARLES GFCI OUTLET	180	180	15A	3	B	4	30A	2880	2880	ABR/GE INFINITY RECTIFIER 2
-SPACE-				5	A	5	30A	2880	2880	ABR/GE INFINITY RECTIFIER 3
-SPACE-				7	B	6	30A	2880	2880	ABR/GE INFINITY RECTIFIER 4
-SPACE-				9	A	10	30A	2880	2880	-SPACE-
-SPACE-				11	B	12	30A	2880	2880	-SPACE-
-SPACE-				13	A	14	30A	2880	2880	-SPACE-
-SPACE-				15	B	16	30A	2880	2880	-SPACE-
-SPACE-				17	A	18	30A	2880	2880	-SPACE-
-SPACE-				19	B	20	30A	2880	2880	-SPACE-
-SPACE-				21	A	22	30A	2880	2880	-SPACE-
-SPACE-				23	B	24	30A	2880	2880	-SPACE-
VOLTAGE AMPS	180	180						11820	11820	
200A 120V, 1A, X1 SPACE, 120/240V				L1	L2					
MB RATING: 65,000 AIC				11700	11700					
				88	88					
				133	133					

PANEL SCHEDULE

NO SCALE 2

NOT USED

NO SCALE 3

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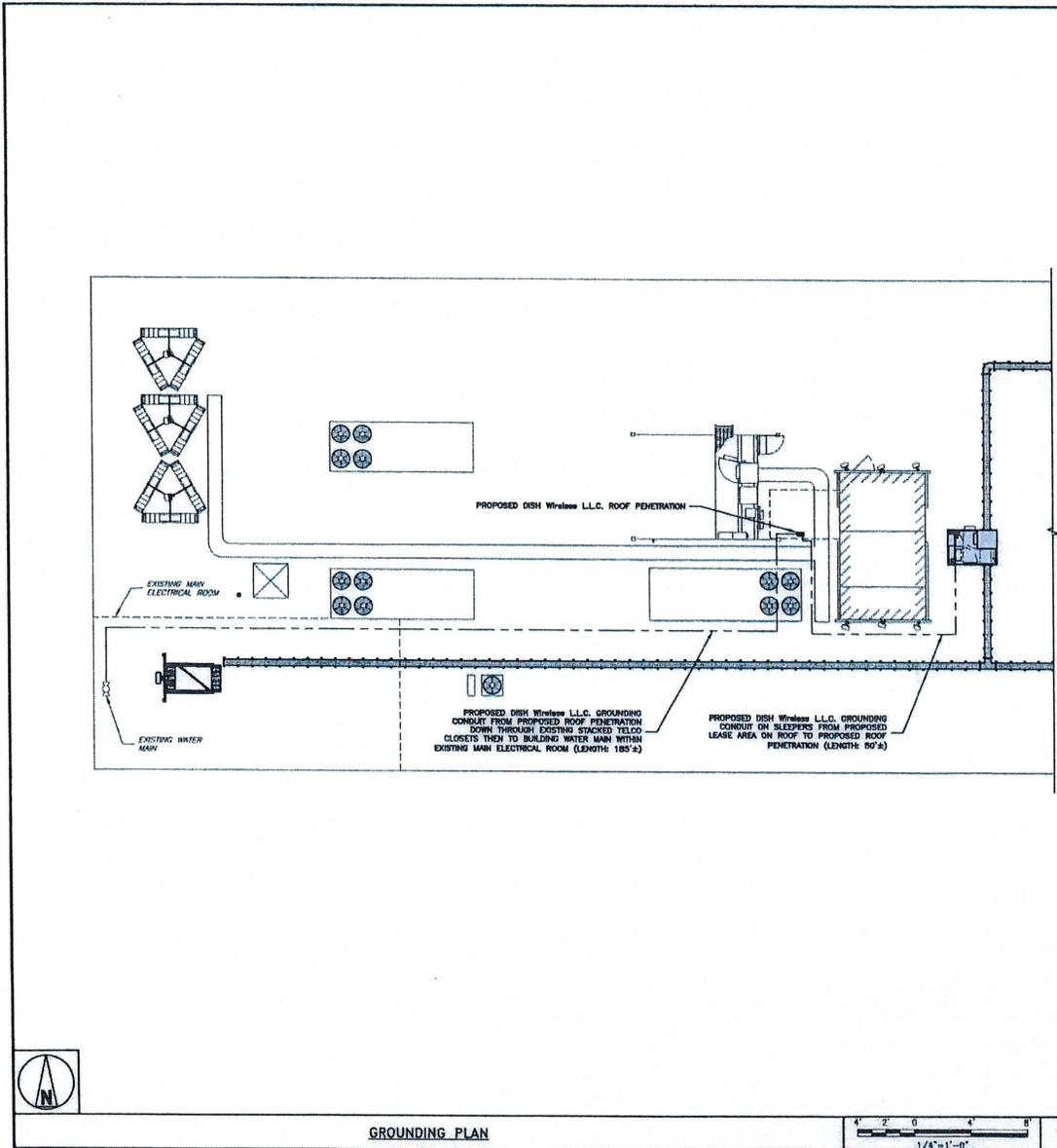
DISH Wireless L.L.C.
PROJECT INFORMATION
BOBOS01051A

2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

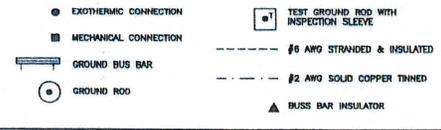
SHEET TITLE
ELECTRICAL ONE-LINE, FAULT
CALCS & PANEL SCHEDULE

SHEET NUMBER

E-3



GROUNDING PLAN



GROUNDING LEGEND

- GROUNDING IS SHOWN DIAGRAMMATICALLY ONLY.
- CONTRACTOR SHALL GROUND ALL EQUIPMENT AS A COMPLETE SYSTEM. GROUNDING SHALL BE IN COMPLIANCE WITH NEC SECTION 250 AND DISH Wireless L.L.C. GROUNDING AND BONDING REQUIREMENTS AND MANUFACTURER'S SPECIFICATIONS.
- ALL GROUND CONDUCTORS SHALL BE COPPER; NO ALUMINUM CONDUCTORS SHALL BE USED.
- NO EXOTHERMIC WELDING ON ROOFTOP

GROUNDING ROOFTOP KEY NOTES

- (A) EXTERIOR GROUND RING: #2 AWG SOLID COPPER, BURIED AT A DEPTH OF AT LEAST 30 INCHES BELOW GRADE, OR 6 INCHES BELOW THE FROST LINE AND APPROXIMATELY 24 INCHES FROM THE EXTERIOR WALL OR FOOTING.
- (B) ROOFTOP GROUND SYSTEM: THE GROUND SYSTEM USING MINIMUM #2 AWG SOLID COPPER CONDUCTORS.
- (C) INTERIOR GROUND RING: #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTOR EXTENDED AROUND THE PERIMETER OF THE EQUIPMENT AREA. ALL NON-TELECOMMUNICATIONS RELATED METALLIC OBJECTS FOUND WITHIN A SITE SHALL BE GROUNDED TO THE INTERIOR GROUND RING WITH #6 AWG STRANDED GREEN INSULATED CONDUCTOR.
- (D) BOND TO INTERIOR GROUND RING: #2 AWG SOLID TINNED COPPER WIRE PRIMARY BONDS SHALL BE PROVIDED AT LEAST AT FOUR POINTS ON THE INTERIOR GROUND RING, LOCATED AT THE CORNERS OF THE BUILDING OR ROOM.
- (E) GROUND ROD: UL LISTED COPPER CLAD STEEL, MINIMUM 1/2" DIAMETER BY EIGHT FEET LONG. GROUND RODS SHALL BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE DRIVEN TO THE DEPTH OF GROUND RING CONDUCTOR.
- (F) CELL REFERENCE GROUND BAR (CRGB): POINT OF GROUND REFERENCE FOR ALL COMMUNICATIONS EQUIPMENT FRAMES. ALL BONDS ARE MADE WITH #2 AWG UNLESS NOTED OTHERWISE STRANDED GREEN INSULATED COPPER CONDUCTORS. BOND TO COMMON BUILDING GROUND SYSTEM WITH (2) #2 SOLID TINNED COPPER CONDUCTORS.
- (G) HATCH PLATE GROUND BAR: BOND TO THE COMMON BUILDING GROUND SYSTEM WITH TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS. WHEN A HATCH-PLATE AND A CELL REFERENCE GROUND BAR ARE BOTH PRESENT, THE CRGB MUST BE CONNECTED TO THE HATCH-PLATE AND TO THE INTERIOR GROUND RING USING (2) TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS EACH.
- (H) EXTERIOR CABLE ENTRY POINT GROUND BARS, LOCATED AT THE ENTRANCE TO THE CELL SITE ROOM, BOND TO GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTORS WITH MECHANICAL CONNECTIONS.
- (I) TELCO GROUND BAR: BOND TO BOTH CELL REFERENCE GROUND BAR OR EXTERIOR GROUND RING.
- (J) FRAME BONDING: THE BONDING POINT FOR TELECOM EQUIPMENT FRAMES SHALL BE THE GROUND BUS THAT IS NOT ISOLATED FROM THE EQUIPMENT'S METAL FRAMEWORK.
- (K) INTERIOR UNIT BONDS: METAL FRAMES, CABINETS AND INDIVIDUAL METALLIC UNITS LOCATED WITH THE AREA OF THE INTERIOR GROUND RING REQUIRE A #6 AWG STRANDED GREEN INSULATED COPPER BOND TO THE INTERIOR GROUND RING.
- (L) FENCE AND GATE GROUNDING: METAL FENCES SHALL BE BONDED TO THE COMMON BUILDING GROUND SYSTEM WITH A #2 AWG SOLID TINNED COPPER CONDUCTOR AT AN INTERVAL NOT EXCEEDING 25 FEET. BONDS SHALL BE MADE AT EACH GATE POST AND ACROSS GATE OPENINGS.
- (M) EXTERIOR UNIT BONDS: METALLIC OBJECTS, EXTERNAL TO OR MOUNTED TO THE BUILDING, SHALL BE BONDED TO THE COMMON BUILDING GROUND SYSTEM, USING #2 TINNED SOLID COPPER WIRE.
- (N) ICE BRIDGE SUPPORTS: EACH ICE BRIDGE LEG SHALL BE BONDED TO THE GROUND RING WITH #2 AWG BARE TINNED COPPER CONDUCTOR. PROVIDE EXOTHERMIC WELDS AT BOTH THE ICE BRIDGE LEG AND BURIED GROUND RING.
- (O) DURING ALL DC POWER SYSTEM CHANGES INCLUDING DC SYSTEM CHANGE OUTS, RECTIFIER REPLACEMENTS OR ADDITIONS, BREAKER DISTRIBUTION CHANGES, BATTERY ADDITIONS, BATTERY REPLACEMENTS AND INSTALLATIONS OR CHANGES TO DC CONVERTER SYSTEMS IT SHALL BE REQUIRED THAT SERVICE CONTRACTORS VERIFY ALL DC POWER SYSTEMS ARE EQUIPPED WITH A MASTER DC SYSTEM RETURN GROUND CONDUCTOR FROM THE DC POWER SYSTEM COMMON RETURN BUS DIRECTLY CONNECTED TO THE CELL SITE REFERENCE GROUND BAR.
- (P) ROOFTOP COLLECTOR BUSS BAR IS TO BE MECHANICALLY BONDED TO COMMON BUILDING GROUND SYSTEM. REFER TO DISH Wireless L.L.C. GROUNDING NOTES.

GROUNDING KEY NOTES

NO SCALE 2



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



NB+C ENGINEERING SERVICES, L.L.C.

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(978) 950-4308



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CONSTRUCTION DOCUMENTS

SUBMITTALS		
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100753

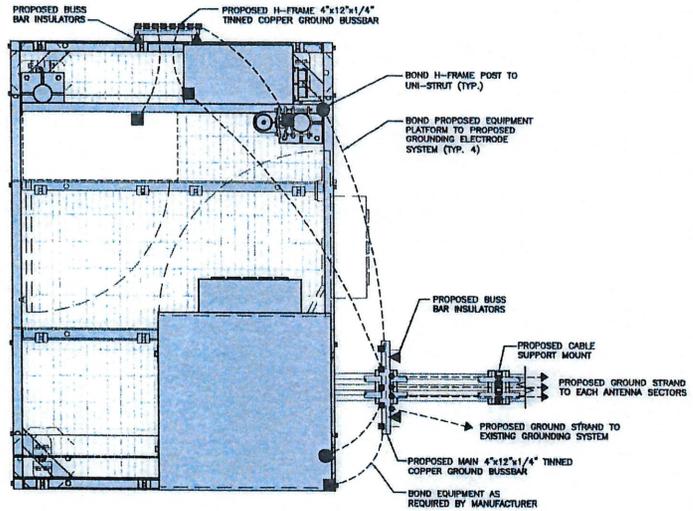
DISH Wireless L.L.C.
PROJECT INFORMATION
BOBOS01051A

2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
GROUNDING PLANS
AND NOTES

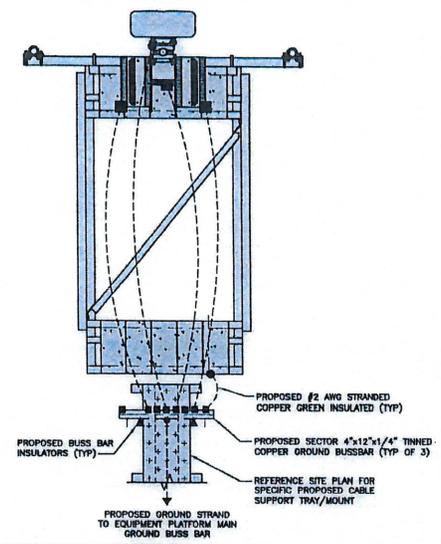
SHEET NUMBER

G-1



TYPICAL ROOFTOP EQUIPMENT GROUNDING PLAN

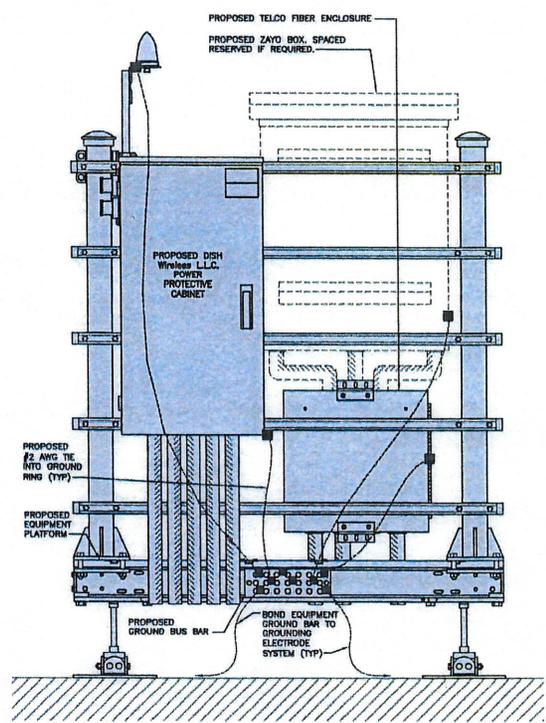
NO SCALE 1



TYPICAL ROOFTOP ANTENNA GROUNDING PLAN

NO SCALE 2

NOTE
EQUIPMENT CABINET OMITTED FOR CLARITY



H-FRAME GROUNDING DETAIL

NO SCALE 3

dish
wireless.

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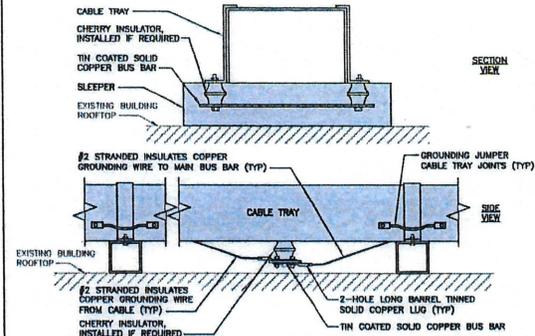
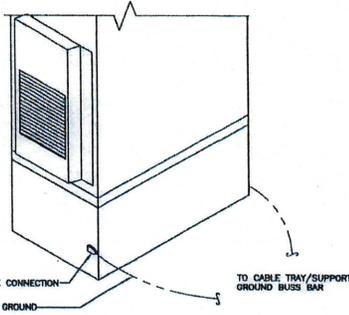
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PROJECT INFORMATION
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2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-2

- EXOTHERMIC WELD (2) TWO, #2 AWG BARE TINNED SOLID COPPER CONDUCTORS TO GROUND BAR. ROUTE CONDUCTORS TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
- ALL EXTERIOR GROUNDING HARDWARE SHALL BE STAINLESS STEEL 3/8" DIAMETER OR LARGER. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- FOR GROUND BOND TO STEEL ONLY; COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- DO NOT INSTALL CABLE GROUNDING KIT AT A BEND AND ALWAYS DIRECT GROUND CONDUCTOR DOWN TO GROUNDING BUS.
- NUT & WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUND BAR AND BOLTED ON THE BACK SIDE.
- ALL GROUNDING PARTS AND EQUIPMENT TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADDITIONAL GROUND BAR AS REQUIRED.
- ENSURE THE WIRE INSULATION TERMINATION IS WITHIN 1/8" OF THE BARREL (NO SHIMERS).



TYPICAL GROUNDING NOTES

NO SCALE 1

OUTDOOR CABINET GROUNDING

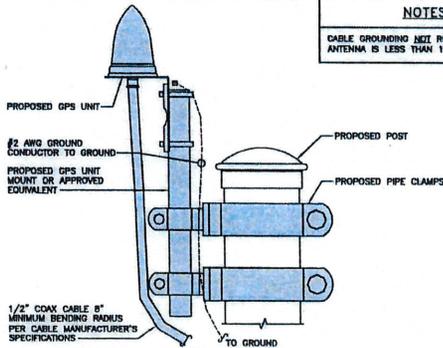
NO SCALE 2

TYPICAL CABLE TRAY GROUND BUSS BAR

NO SCALE 3

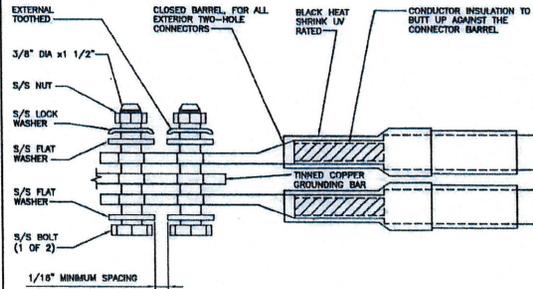
NOTES

CABLE GROUNDING NOT REQUIRED WHEN ANTENNA IS LESS THAN 10' FROM CABINET



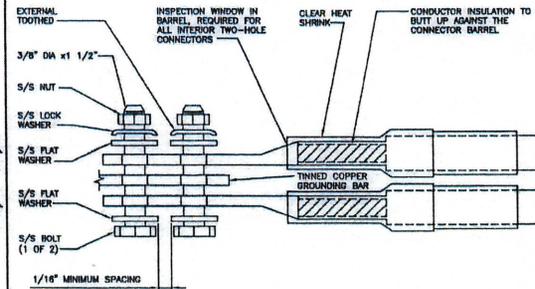
TYPICAL GPS UNIT GROUNDING

NO SCALE 4



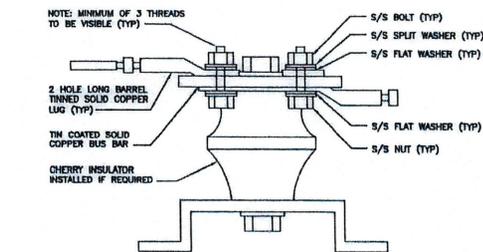
TYPICAL EXTERIOR TWO HOLE LUG

NO SCALE 5



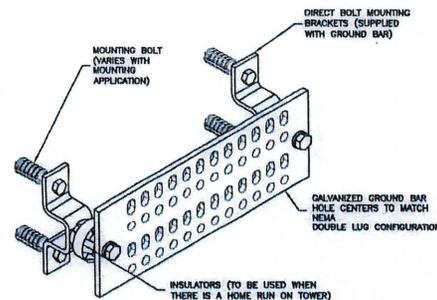
TYPICAL INTERIOR TWO HOLE LUG

NO SCALE 6



LUG DETAIL

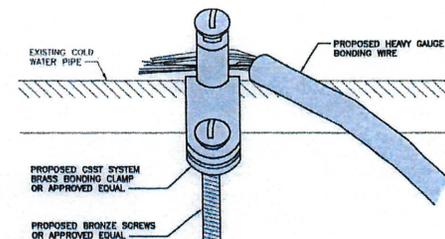
NO SCALE 7



GROUND BAR DETAIL

NO SCALE 8

NOTE
REMOVE ANY PAINT ON PIPE OR FITTING SURFACE UNDER BONDING CLAMP.



TYPICAL COLD WATER CONDUIT GROUNDING DETAIL

NO SCALE 9



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PROJECT INFORMATION
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2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER

G-3

LEGEND

EXOTHERMIC CONNECTION 

MECHANICAL CONNECTION 

BUSS BAR INSULATOR 

CHEMICAL ELECTROLYTIC GROUNDING SYSTEM 

TEST CHEMICAL ELECTROLYTIC GROUNDING SYSTEM 

EXOTHERMIC WITH INSPECTION SLEEVE 

GROUNDING BAR 

GROUND ROD 

TEST GROUND ROD WITH INSPECTION SLEEVE 

SINGLE POLE SWITCH 

DUPLEX RECEPTACLE 

DUPLEX OFG RECEPTACLE 

FLUORESCENT LIGHTING FIXTURE (2) TWO LAMPS 48-18 

SMOKE DETECTION (DC) 

EMERGENCY LIGHTING (DC) 

SECURITY LIGHT W/PHOTOCELL LITHONIA ALXO CEAN-L88A-400/25 K-SR4-120-PE-DBTXD 

WOOD/WROUGHT IRON FENCE 

WALL STRUCTURE 

LEASE AREA 

PROPERTY LINE (PL) 

SETBACKS 

ICE BRIDGE 

CABLE TRAY 

WATER LINE 

UNDERGROUND POWER 

UNDERGROUND TELCO 

OVERHEAD POWER 

OVERHEAD TELCO 

UNDERGROUND TELCO/POWER 

ABOVE GROUND POWER 

ABOVE GROUND TELCO 

ABOVE GROUND TELCO/POWER 

WORKPOINT 

SECTION REFERENCE 

DETAIL REFERENCE 

ABBREVIATIONS

AB ANCHOR BOLT	IN INCH
ABV ABOVE	INT INTERIOR
AC ALTERNATING CURRENT	LB(S) POUND(S)
ADDL ADDITIONAL	LF LINEAR FEET
AFF ABOVE FINISHED FLOOR	LTE LONG TERM EVOLUTION
AFG ABOVE FINISHED GRADE	MAS MASONRY
AGL ABOVE GROUND LEVEL	MAX MAXIMUM
AIQ AMPERAGE INTERRUPTION CAPACITY	MB MACHINE BOLT
ALUM ALUMINUM	MECH MECHANICAL
ALT ALTERNATE	MFR MANUFACTURER
AHT ANTENNA	MGB MASTER GROUND BAR
APPROX APPROXIMATE	MBM MIBRAM
ARCH ARCHITECTURAL	MISC MISCELLANEOUS
ATS AUTOMATIC TRANSFER SWITCH	MTL METAL
AWG AMERICAN WIRE GAUGE	MTS MANUAL TRANSFER SWITCH
BATT BATTERY	MW MICROWAVE
BLDG BUILDING	NEC NATIONAL ELECTRIC CODE
BLK BLOCK	NM NEWTON METERS
BLKG BLOCKING	NO. NUMBER
BM BEAM	# NUMBER
BTC BARE THINNED COPPER CONDUCTOR	NTS NOT TO SCALE
BOF BOTTOM OF FOOTING	OC ON-CENTER
CAB CABINET	OSHA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
CANT CANTILEVERED	OPNG OPENING
CHG CHARGING	P/C PRECAST CONCRETE
CLG CEILING	PCS PERSONAL COMMUNICATION SERVICES
CLR CLEAR	PCU PRIMARY CONTROL UNIT
COL COLUMN	PRC PRIMARY RADIO CABINET
COMH COMMON	PP POLARIZING PRESERVING
CONC CONCRETE	PSF POUNDS PER SQUARE FOOT
CONSTR CONSTRUCTION	PSI POUNDS PER SQUARE INCH
DBL DOUBLE	PT PRESSURE TREATED
DC DIRECT CURRENT	PCR POWER CABINET
DEPT DEPARTMENT	QTY QUANTITY
DF DOUGLAS FIR	RAD RADIUS
DA DIAMETER	RECT RECTIFIER
DIAG DIAGONAL	REF REFERENCE
DIM DIMENSION	RENF REINFORCEMENT
DWG DRAWING	REQ'D REQUIRED
DWL DOWEL	RET REMOTE ELECTRIC TILT
EA EACH	RF RADIO FREQUENCY
EC ELECTRICAL CONDUCTOR	RMC RIGID METALLIC CONDUIT
EL ELEVATION	RRH REMOTE RADIO HEAD
ELEC ELECTRICAL	RRU REMOTE RADIO UNIT
EMT ELECTRICAL METALLIC TUBING	RWY RACEWAY
ENG ENGINEER	SDH SCHEDULE
EQ EQUAL	SHT SHEET
EXP EXPANSION	SIAD SMART INTEGRATED ACCESS DEVICE
EXT EXTERIOR	SIM SIMILAR
EW EACH WAY	SPEC SPECIFICATION
FAB FABRICATION	SQ SQUARE
FF FINISH FLOOR	SS STAINLESS STEEL
FG FINISH GRADE	STD STANDARD
FF FACILITY INTERFACE FRAME	STL STEEL
FIN FINISH(ED)	TEMP TEMPORARY
FLR FLOOR	THK THICKNESS
FDN FOUNDATION	TMA TOWER MOUNTED AMPLIFIER
FOC FACE OF CONCRETE	TN TOE NAIL
FOH FACE OF MASONRY	TOA TOP OF ANTENNA
FOS FACE OF STUD	TOC TOP OF CURB
FWW FACE OF WALL	TOF TOP OF FOUNDATION
FS FINISH SURFACE	TOP TOP OF PLATE (PARAPET)
FT FOOT	TOS TOP OF STEEL
FTG FOOTING	TOW TOP OF WALL
GA GAUGE	TVSS TRANSIENT VOLTAGE SURGE SUPPRESSION
GEN GENERATOR	TYP TYPICAL
GFI GROUND FAULTY CIRCUIT INTERRUPTER	UG UNDERGROUND
GLB GLUE LAMINATED BEAM	UL UNDERWRITERS LABORATORY
GLV GALVANIZED	UNO UNLESS NOTED OTHERWISE
GPS GLOBAL POSITIONING SYSTEM	UMTS UNIVERSAL MOBILE TELECOMMUNICATIONS SYSTEM
GND GROUND	UPS UNINTERRUPTIBLE POWER SYSTEM (DC POWER PLANT)
OSM GLOBAL SYSTEM FOR MOBILE	VF VERIFIED IN FIELD
HG HOT DIPPED GALVANIZED	W WIDE
HDR HEADER	W/ WITH
HGR HANGER	WD WOOD
HVAC HEAT/VENTILATION/AIR CONDITIONING	WP WEATHERPROOF
HT HEIGHT	WT WEIGHT
IGR INTERIOR GROUND RING	

dish wireless.

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LITTLETON, CO 80120

NB+C
TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, LLC.
100 APOLLO DRIVE
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CHELSEA, MA 01824
(978) 858-4309

COMMONWEALTH OF MASSACHUSETTS
REGISTERED PROFESSIONAL ENGINEER
K. J. DAVENPORT
K. J. DAVENPORT
K. J. DAVENPORT
NO. 00121

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DRAWN BY: CHECKED BY: APPROVED BY:

AN NSB DRG

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS

REV	DATE	DESCRIPTION
0	11/16/2023	ISSUED FOR CONSTRUCTION

A&E PROJECT NUMBER
100753

DISH Wireless L.L.C.
PROJECT INFORMATION
BOBOS01051A

2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
LEGEND AND ABBREVIATIONS

SHEET NUMBER
GN-1

SIGN TYPES		
TYPE	COLOR	COLOR CODE PURPOSE
INFORMATION	GREEN	"INFORMATIONAL SIGN" TO NOTIFY OTHERS OF SITE OWNERSHIP & CONTACT NUMBER AND POTENTIAL RF EXPOSURE.
NOTICE	BLUE	"NOTICE BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b).
CAUTION	YELLOW	"CAUTION BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b).
WARNING	ORANGE/RED	"WARNING BEYOND THIS POINT" RF FIELDS AT THIS SITE EXCEED FCC RULES FOR HUMAN EXPOSURE. FAILURE TO OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS COULD RESULT IN SERIOUS INJURY. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b).

SIGN PLACEMENT:

- RF SIGNAGE PLACEMENT SHALL FOLLOW THE RECOMMENDATIONS OF AN EXISTING EME REPORT, CREATED BY A THIRD PARTY PREVIOUSLY AUTHORIZED BY DISH Wireless L.L.C.
- INFORMATION SIGN (GREEN) SHALL BE LOCATED ON EXISTING DISH Wireless L.L.C. EQUIPMENT.
 - A) IF THE INFORMATION SIGN IS A STICKER, IT SHALL BE PLACED ON EXISTING DISH Wireless L.L.C. EQUIPMENT CABINET.
 - B) IF THE INFORMATION SIGN IS A METAL SIGN IT SHALL BE PLACED ON EXISTING DISH Wireless L.L.C. H-FRAME WITH A SECURE ATTACH METHOD.
- IF EME REPORT IS NOT AVAILABLE AT THE TIME OF CREATION OF CONSTRUCTION DOCUMENTS; PLEASE CONTACT DISH Wireless L.L.C. CONSTRUCTION MANAGER FOR FURTHER INSTRUCTION ON HOW TO PROCEED.

NOTES:

1. FOR DISH Wireless L.L.C. LOGO, SEE DISH Wireless L.L.C. DESIGN SPECIFICATIONS (PROVIDED BY DISH Wireless L.L.C.)
2. SITE ID SHALL BE APPLIED TO SIGNS USING "LASER ENGRAVING" OR ANY OTHER WEATHER RESISTANT METHOD (DISH Wireless L.L.C. APPROVAL REQUIRED)
3. TEXT FOR SIGNAGE SHALL INDICATE CORRECT SITE NAME AND NUMBER AS PER DISH Wireless L.L.C. CONSTRUCTION MANAGER RECOMMENDATIONS.
4. CABINET/SHELTER MOUNTING APPLICATION REQUIRES ANOTHER PLATE APPLIED TO THE FACE OF THE CABINET WITH WATER PROOF POLYURETHANE ADHESIVE.
5. ALL SIGNS WILL BE SECURED WITH EITHER STAINLESS STEEL ZIP TIES OR STAINLESS STEEL TEEL SCREWS
6. ALL SIGNS TO BE 8.5"x11" AND MADE WITH 0.04" OF ALUMINUM MATERIAL.

INFORMATION

This is an access point to an area with transmitting antennas.

Obey all signs and barriers beyond this point.
Call the DISH Wireless L.L.C. NOC at 1-866-624-6874

Site ID: _____



THIS SIGN IS FOR REFERENCE PURPOSES ONLY

NOTICE

Transmitting Antenna(s)

Radio frequency fields beyond this point MAY **EXCEED** the FCC Occupational exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

Call the DISH Wireless L.L.C. NOC at 1-866-624-6874 prior to working beyond this point.

Site ID: _____

CAUTION

Transmitting Antenna(s)

Radio frequency fields beyond this point MAY **EXCEED** the FCC Occupational exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

Call the DISH Wireless L.L.C. NOC at 1-866-624-6874 prior to working beyond this point.

Site ID: _____

WARNING

Transmitting Antenna(s)

Radio frequency fields beyond this point **EXCEED** the FCC Occupational exposure limit.

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Call the DISH Wireless L.L.C. NOC at 1-866-624-6874 prior to working beyond this point.

Site ID: _____

5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, L.L.C.

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DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____

AN NSB DRG

RFDS REV #: 0

CONSTRUCTION DOCUMENTS		
SUBMITTALS		
REV	DATE	DESCRIPTION
0	11/18/2023	ISSUED FOR CONSTRUCTION

A&E PROJECT NUMBER
100753

DISH Wireless L.L.C.
PROJECT INFORMATION

BOBOS01051A

2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
RF SIGNAGE

SHEET NUMBER
GN-2

SITE ACTIVITY REQUIREMENTS:

1. NOTICE TO PROCEED - NO WORK SHALL COMMENCE PRIOR TO CONTRACTOR RECEIVING A WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE DISH Wireless L.L.C. AND TOWER OWNER NOC & THE DISH Wireless L.L.C. AND TOWER OWNER CONSTRUCTION MANAGER.
2. "LOOK UP" - DISH Wireless L.L.C. AND TOWER OWNER SAFETY CLIMB REQUIREMENT:
THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: PINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR DISH Wireless L.L.C. AND DISH Wireless L.L.C. AND TOWER OWNER POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.
3. PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ONSITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
4. ALL CONSTRUCTION MEANS AND METHODS; INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND DISH Wireless L.L.C. AND TOWER OWNER STANDARDS, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA-322 (LATEST EDITION).
5. ALL SITE WORK TO COMPLY WITH DISH Wireless L.L.C. AND TOWER OWNER INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON DISH Wireless L.L.C. AND TOWER OWNER TOWER SITE AND LATEST VERSION OF ANSI/TIA-1019-A-2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."
6. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY DISH Wireless L.L.C. AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES INCLUDING PRIVATE LOCATES SERVICES PRIOR TO THE START OF CONSTRUCTION.
10. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE (BUT NOT BE LIMITED TO) A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.
11. ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND DISH PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.
12. CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
13. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF DISH Wireless L.L.C. AND TOWER OWNER, AND/OR LOCAL UTILITIES.
14. THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
15. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.
16. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
17. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
19. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
20. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS AND RADIOS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
21. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
22. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR-GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION
CARRIER-DISH Wireless L.L.C.
TOWER OWNER-TOWER OWNER
2. THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
4. NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
5. SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.
6. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CARRIER POC AND TOWER OWNER.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
9. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
10. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
11. CONTRACTOR IS TO PERFORM A SITE INVESTIGATION, BEFORE SUBMITTING BIDS, TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.
12. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF DISH Wireless L.L.C. AND TOWER OWNER
13. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
14. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.



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LITTLETON, CO 80120



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DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____

AN	NSB	DRG

RFD5 REV # : _____ 0

CONSTRUCTION DOCUMENTS

SUBMITTALS	
REV	DATE DESCRIPTION
0	11/18/2022 ISSUED FOR CONSTRUCTION

A&E PROJECT NUMBER
100753

DISH Wireless L.L.C.
PROJECT INFORMATION
BOBOS01051A
2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-3

CONCRETE, FOUNDATIONS, AND REINFORCING STEEL:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. UNLESS NOTED OTHERWISE, SOIL BEARING PRESSURE USED FOR DESIGN OF SLABS AND FOUNDATIONS IS ASSUMED TO BE 1000 psf.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3000 psi AT 28 DAYS, UNLESS NOTED OTHERWISE. NO MORE THAN 90 MINUTES SHALL ELAPSE FROM BATCH TIME TO TIME OF PLACEMENT UNLESS APPROVED BY THE ENGINEER OF RECORD. TEMPERATURE OF CONCRETE SHALL NOT EXCEED 90°F AT TIME OF PLACEMENT.
4. CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE II PORTLAND CEMENT WITH A MAXIMUM WATER-TO-CEMENT RATIO (W/C) OF 0.45.
5. ALL STEEL REINFORCING SHALL CONFORM TO ASTM A615. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. ALL SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS NOTED OTHERWISE. ALL HOOKS SHALL BE STANDARD 90 DEGREE HOOKS, UNLESS NOTED OTHERWISE. YIELD STRENGTH (Fy) OF STANDARD DEFORMED BARS ARE AS FOLLOWS:
 #4 BARS AND SMALLER 40 ksi
 #5 BARS AND LARGER 60 ksi
6. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #6 BARS AND LARGER 2"
 - #5 BARS AND SMALLER 1-1/2"
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - SLAB AND WALLS 3/4"
 - BEAMS AND COLUMNS 1-1/2"
7. A TOOLED EDGE OR A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

ELECTRICAL INSTALLATION NOTES:

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES/ORDINANCES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED AND TRIP HAZARDS ARE ELIMINATED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
- 4.1. ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
- 4.2. ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING THAT SHALL BE GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED. 22,000 AC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ARTICLE 110.24 NEC OR THE MOST CURRENT ADOPTED CODE PRE THE GOVERNING JURISDICTION.
5. EACH END OF EVERY POWER PHASE CONDUCTOR, GROUNDING CONDUCTOR, AND TELCO CONDUCTOR OR CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA.
6. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH LAMICOID TAGS SHOWING THEIR RATED VOLTAGE, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (I.e. PANEL BOARD AND CIRCUIT ID'S).
7. PANEL BOARDS (ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
8. TIE WRAPS ARE NOT ALLOWED.
9. ALL POWER AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE COPPER CONDUCTOR (#14 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
10. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE COPPER CONDUCTOR (#8 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
11. POWER AND CONTROL WIRING IN FLEXIBLE CORD SHALL BE MULTI-CONDUCTOR, TYPE SOOW CORD (#14 OR LARGER) UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING FOR USE IN CABLE TRAY SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 OR LARGER), WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION NOT LESS THAN 75° C (90° C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT), INTERMEDIATE METAL CONDUIT (IMC), OR RIGID METAL CONDUIT (RMC) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.

16. ELECTRICAL METALLIC TUBING (EMT) OR METAL-CLAD CABLE (MC) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. SCHEDULE 40 PVC UNDERGROUND ON STRAIGHTS AND SCHEDULE 80 PVC FOR ALL ELBOWS/90s AND ALL APPROVED ABOVE GRADE PVC CONDUIT.
18. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
19. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
20. CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND THE NEC.
21. WIREWAYS SHALL BE METAL WITH AN ENAMEL FINISH AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS (WIREMOLD SPECIMATE WIREWAY).
22. SLOTTED WIRING DUCT SHALL BE PVC AND INCLUDE COVER (PANDUIT TYPE E OR EQUAL).
23. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES (I.e. POWDER-ACTUATED) FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED FLUSH TO FINISH GRADE TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
24. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL. SHALL MEET OR EXCEED UL 50 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND NEMA 3 (OR BETTER) FOR EXTERIOR LOCATIONS.
25. METAL RECEPTACLE, SWITCH AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
26. NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2 (NEWEST REVISION) AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
27. THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CARRIER AND/OR DISH Wireless L.L.C. AND TOWER OWNER BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
28. THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.
29. INSTALL LAMICOID LABEL ON THE METER CENTER TO SHOW "DISH Wireless L.L.C."
30. ALL EMPTY/SPARE CONDUITS THAT ARE INSTALLED ARE TO HAVE A METERED MULE TAPE PULL CORD INSTALLED.



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, L.L.C.
180 ARCADLO DRIVE
SUITE 303
CHELSEA, MA 01924
(978) 888-8008



IF IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

DRAWN BY: CHECKED BY: APPROVED BY:
AN NSB DRG

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

REV	DATE	DESCRIPTION
0	11/18/2022	ISSUED FOR CONSTRUCTION

A&E PROJECT NUMBER
100753

DISH Wireless L.L.C.
PROJECT INFORMATION
BOBOS01051A

2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-4

GROUNDING NOTES:

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER GES'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE CONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS, THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
6. EACH CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 STRANDED COPPER OR LARGER FOR INDOOR BTS; #2 BARE SOLID TINNED COPPER FOR OUTDOOR BTS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED BACK TO BACK CONNECTIONS ON OPPOSITE SIDE OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTIOXIDANT COATINGS (I.e. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 FT OF MAIN GROUND RING WITH (1) #2 BARE SOLID TINNED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED FOR THE FACILITY GROUNDING AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (I.e., NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20. ALL GROUNDS THAT TRANSITION FROM BELOW GRADE TO ABOVE GRADE MUST BE #2 BARE SOLID TINNED COPPER IN 3/4" NON-METALLIC, FLEXIBLE CONDUIT FROM 24" BELOW GRADE TO WITHIN 3" TO 6" OF CAD-WELD TERMINATION POINT. THE EXPOSED END OF THE CONDUIT MUST BE SEALED WITH SILICONE CAULK. (ADD TRANSITIONING GROUND STANDARD DETAIL AS WELL).
21. BUILDINGS WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM. THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY). DO NOT ATTACH GROUNDING TO FIRE SPRINKLER SYSTEM PIPES.



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DRAWN BY: CHECKED BY: APPROVED BY:
AN NSB DRG

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
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A&E PROJECT NUMBER
100753

DISH Wireless L.L.C.
PROJECT INFORMATION
BOBOS01051A
2 MOUNT ROYAL AVENUE
MARLBOROUGH, MA 01752

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-5



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CITY OF MARLBOROUGH
Office of the City Council
140 Main Street
Marlborough, Massachusetts 01752
(508) 460-3711 TDD (508) 460-3610

**AGREEMENT TO EXTEND
TIME LIMITATIONS**

Order No. 23-1008823

Application for Special Permit from Atty. Sem Aykanian
On behalf of SUCIU LLC, d/b/a Exela Storage to add additional units
to a nonconforming storage facility to be located at
846 Boston Post Road East, Marlborough, MA

The Decision of the Special Permit granting authority shall be made within ninety days following the date of such public hearing. The required time limits for a public hearing and said action may be extended by written agreement between the petitioner and the special permit granting authority. A copy of such agreement shall be filed in the office of the City Clerk.

Pursuant to Massachusetts General Laws, Chapter 40A, §9, as amended, the required time limits for action by the Marlborough City Council, as it is the special permit granting authority in the above referenced matter, is hereby extended, by agreement, until 10:00 PM on **December 31, 2023**.

By: _____
**Michael H. Ossing, President
Marlborough City Council**

By: _____
**For Petitioner: Sem Aykanian, Esq.
SUCIU LLC, D/B/A Exela Storage**

**CITY OF MARLBOROUGH
OFFICE OF THE CITY CLERK**

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2023 JUL 10 AM 10:28

APPLICATION TO CITY COUNCIL FOR ISSUANCE OF SPECIAL PERMIT

1. Name and address of Petitioner or Applicant:

George Voyiatzis 115 Pleasant Street, Cambridge MA 02139

2. Specific Location of property including Assessor's Plate and Parcel Number.

358 Lincoln St || MAP 69, PARCEL 265, 267

3. Name and address of owner of land if other than Petitioner or Applicant:

4. Legal interest of Petitioner or Applicant (owner, lessee, prospective owner, etc.)

5. Specific Zoning Ordinance under which the Special Permit is sought:

Article 650 Section 39 Paragraph E Sub-paragraph _____

6. Zoning District in which property in question is located:

Zone NB (Neighborhood Business District)

7. Specific reason(s) for seeking Special Permit

Approval of a 17 Unit Multifamily Project

8. List of names and addresses of abutter. SEPARATE SHEET ATTACHED

PETITION IS HEREBY MADE FOR THE ISSUANCE OF A SPECIAL PERMIT BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH AND IS BASED ON THE WITHIN PETITION OR APPLICATION AS FILED HERewith AND MADE PART OF SAID PETITION.

Signature of Petitioner or Applicant

Address: 115 Pleasant St.

Cambridge, MA 02139

Telephone No. 508-479-6405

Date: 6/28/23

LIST OF NAMES AND ADDRESS OF ABUTTERS
AS REQUESTED ON THE APPLICATION FOR SPECIAL PERMIT OF:

George Voyiatzis - Armory on French Hill

(Name of Petitioner)

FOR THE ISSUANCE OF SPECIAL PERMIT BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH UNDER CHAPTER 650, ZONING, OF THE CODE OF THE CITY OF MARLBOROUGH.

(Abutters as defined in §650-59, Section 4H, **Powers and Procedure of Special-Permit Granting Authorities**)

55 RK MECHANIC STREET LLC
55 MECHANIC ST
MARLBOROUGH, MA 01752

BURKE PAUL J TR
HOWLAND REALTY TRUST
101 PARMENTER RD
FRAMINGHAM, MA 01701

DALY JOSEPHINE S
KEVIN J DALY
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MARLBOROUGH, MA 01752

59-61 MECHANIC STREET LLC
C/O JOHN CANTY
322 LINCOLN ST
MARLBOROUGH, MA 01752

BUTLER STEVEN
24 BUTMAN RD
HUDSON, MA 01749

DE OLIVEIRA WANDERLI JOSE
FERNANDES ANDREA T
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MEDWAY, MA 02053

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MARLBOROUGH, MA 01752

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DAVID MICHAEL BERTI
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MARLBOROUGH, MA 01752

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DEBRA A WALLACE TR
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BAPTIST CHURCH
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RYDEN REALTY TR
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CONNIE M ESTES TR
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MATTHEW EVANGELOUS
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MARINO FIRST REALTY TRUST
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RHONDA A GILCREST
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MARLBOROUGH, MA 01752

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C/O GERALD & DONNA DUMAIS
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JESSICA M JONES
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MILLER ALEXANDER B
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C/O JORDAN PROPERTY SOLUT
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MARLBOROUGH, MA 01752

PALLIES JOHN
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STOW, MA 01775

SIX SEVEN PROPERTIES LLC
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MSQ PROPERTY LLC
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LINDA M PAPILE
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MARLBOROUGH, MA 01752

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FRAMINGHAM, MA 01702

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MARLBOROUGH, MA 01752

PELLETIER BARBARA
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S LANCASTER, MA 01561

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HEATHER MUSOROFITI TR
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ASSEMBLY OF GOD
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GERMAIN A PLICHON
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THUY LE
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NORTHBOROUGH, MA 01532

PONGSUWAN NIPARAT
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AMY E SUPPLE
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R SCOTT PULVER TR
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OBRIEN MARY ANN
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BERLIN, MA 01513

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ALYSSA WATSON
43 WINTHROP ST
MARLBOROUGH, MA 01752

WHITE ROBERT P
15 HASTINGS ST
MARLBOROUGH, MA 01752

SPECIAL PERMIT-SUMMARY IMPACT STATEMENT

Applicant's Name: George Voyiatzis Address: 115 Pleasant St. Cambridge, MA 02139

Project Name: Armory on French Hill Address: 358 Lincoln Street

1. PROPOSED USE: (describe) Multifamily Residential Building, 15 two bedroom and 2 one **benroom** Units.

2. EXPANSION OR NEW: Expansion

3. SIZE: floor area sq. ft. 29,848 1st floor 7,462 all floors 29,848
 # buildings 1 # stories 3.5 lot area (s.f.) 24,768

4. LOT COVERAGE: 66.7% %Landscaped area: 33.3% %

5. POPULATION ON SITE: Number of people expected on site at anytime:
 Normal: 25 Peak period: 32

6. TRAFFIC:
 (A) Number of vehicles parked on site:
 During regular hours: 16 Peak period: 32

(B) How many service vehicles will service the development and on what schedule?
Trash Pick-up (Weekly)

7. LIGHT: How will the development be lit at the exterior? How much light will leave the property and enter the abutting property? All light sources will be shielded to prevent light and glare spillover to adjacent property. Outdoor lighting will not exceed 0.50 footcandles at any point on the abutting property

8. NOISE:
 (A) Compare the noise levels of the proposed development to those that exist in the area now.
No Change in Noise Levels

(B) Described any major sources of noise generation in the proposed development and include their usual times of operation. No major sources of noise generation in the proposed development

9. AIR: What sources of potential air pollution will exist at the development? No air pollution will exist at the development

10. WATER AND SEWER: Describe any unusual generation of waste. No unusual generation of waste

11. HAZARDOUS MATERIAL: List any types of Hazardous Waste that will be on-site. How will this waste be stored? Where? How much will be in storage on a daily basis? How will it be disposed? No Hazardous waste will be generated or stored on-site

***Attach additional sheets if necessary**



**CITY OF MARLBOROUGH
MARLBOROUGH, MASSACHUSETTS 01752**

City Hall
140 Main St.

Marlborough, Massachusetts 01752

Voice (508) 460-3775 Facsimile (508) 460-3723 TTD (508) 460-3610

President and Members City Council

Date: 6-28-23

**SPECIAL PERMIT APPLICATION
CERTIFICATION BY PLANNING DEPARTMENT**

Project Name: Armory on French Hill

Project Use Summary: Multifamily Project 17 Residential units

Project Street Address: 358 Lincoln St.

Plate: 69 Parcel: 265,267

Applicant/Developer Name: George Voyiatzis

Plan Date: 5-17-23 Revision Date: 6-23-23

Dear President and Members:

In accordance with the City Council's Rules for Special Permit Applications, I hereby certify that the Site Plan filed with the City Clerk has been reviewed by the Building Department within the limits of work shown on the plan, and that said plan meets all prior referenced informational requirements of Section 7; that the plan conforms in all aspects to City Code and to these Rules and Regulations, and that any necessary zoning variances have been already granted by the Marlborough Zoning Board of Appeals, and any applicable appeal period concerning said variances have run.

Very truly yours,


Tin Htway
Acting Director of Planning

**Application Fee to submit to
City Clerk's office**

\$650.00

**City of Marlborough, Massachusetts
CITY CLERK DEPARTMENT**

**Steven W. Kerrigan
City Clerk**



Dear Applicant,

To ensure that each department listed below receives a copy of your completed Special Permit application, please hand-deliver to each department as instructions indicate below.

PLACE A CHECK-MARK AFTER HAND-DELIVERING THE APPLICATION TO THE FOLLOWING DEPARTMENTS AND SIGN YOUR NAME & DATE IT ACCORDINGLY. MAKE SURE THIS PAGE IS SIGNED AND RETURNED TO THE CITY CLERK'S OFFICE WITH THE COMPLETED APPLICATION. THE CITY CLERK'S OFFICE WILL NOT ACCEPT THE APPLICATION WITHOUT THE SIGNATURE OF THE APPLICANT OR PETITIONER AS INDICATED BELOW.

- 1 SET POLICE CHIEF JK
- 1 SET FIRE CHIEF [Signature]
- 1 SET CITY ENGINEER KL
- 1 SET DIRECTOR OF PLANNING KL
- 1 SET CONSERVATION OFFICER (IF WETLANDS AFFECTED) _____
- 1 SET BUILDING COMMISSIONER KL
- 12 SETS OFFICE OF THE CITY COUNCIL [Signature]
- 3 SETS OFFICE OF THE CITY CLERK _____ **(MUST be Original & 2 Complete Sets)**

[Signature]
Signature

7-3-23
Date

Thank you for your cooperation in this matter.

Sincerely,

*Steven W. Kerrigan
City Clerk*

**City of Marlborough, Massachusetts
CITY CLERK DEPARTMENT**

**Steven W. Kerrigan
City Clerk**



I certify under the penalties of perjury that I, to my best knowledge and belief, have filed all Municipal tax returns and paid all Municipal taxes required under law.

Company Name

LINCOLN 358 REALTY LLC

Owner Name/Officer Name of LLC or Corporation

George Voyiatzis

Owner/Officer Complete Address and Telephone Number

115 Pleasant Street

Cambridge, MA 02139

Phone: (508) 479-6405

Signature of Applicant

Attorney on behalf of Applicant, if applicable

The Special Permit Package will not be accepted unless this certification clause is signed by the applicant and the Tax Collector.

Tax Collector

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

Questions contact – Dana Larson #508-482-1243

2023 JUL 19 AM 7:25

PETITION FOR JOINT OR IDENTICAL POLE LOCATIONS

To the City Council
Of Marlborough, Massachusetts

Massachusetts Electric Company d/b/a NATIONAL GRID and Verizon New England, Inc requests permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixtures, along and across the following public way:

Forest Street - Install two JO Poles on Forest Street. Beginning at a point approximately 1500' feet East of the centerline of the intersection of Forest Street and Sandini Road. Install new Poles 22-25 and 22-26 to serve new building at 201 Forest Street.

Location approximately as shown on plan attached.

Wherefore it prays that after due notice and hearing as provided by law, it be granted a location for and permission to erect and maintain poles and wires, together with such sustaining and protecting fixtures as it may find necessary, said poles to be erected substantially in accordance with the plan filed herewith marked – Forest Street - Marlborough, Massachusetts.

No.# 30696463

Also, for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

Your petitioner agrees to reserve space for one cross-arm at a suitable point on each of said poles for the fire, police, telephone, and telegraph signal wires belonging to the municipality and used by it exclusively for municipal purposes.

Massachusetts Electric Company d/b/a
NATIONAL GRID *Helton Lopes*

BY _____
Engineering Department

VERIZON NEW ENGLAND, INC.
BY *Albert E. Bessette Jr.*
Manager / Right of Way

Dated: June 13, 2023

Questions contact – Dana Larson #508-482-1243

ORDER FOR JOINT OR IDENTICAL POLE LOCATIONS

To the City Council
Marlborough, Massachusetts

Notice having been given and public hearing held, as provided by law,
IT IS HEREBY ORDERED: that Massachusetts Electric Company d/b/a NATIONAL GRID and VERIZON NEW ENGLAND INC. (formerly known as NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY) be and they are hereby granted joint or identical locations for and permission to erect and maintain poles and wires to be placed thereon, together with such sustaining and protecting fixtures as said Companies may deem necessary, in the public way or ways hereinafter referred to, as requested in petition of said Companies dated the 13th day of June 2023.

All construction under this order shall be in accordance with the following conditions:
Poles shall be of sound timber, and reasonable straight, and shall be set substantially at the points indicated upon the plan marked – Forest Street - Marlborough, Massachusetts.

No.# 30696463

Filed with this order:

There may be attached to said poles by Massachusetts Electric Company d/b/a NATIONAL GRID and Verizon New England Inc. such wires, cables, and fixtures as needed in their business and all of said wires and cables shall be placed at a height of not less than twenty (20) feet from the ground.

The following are the public ways or part of ways along which the poles above referred to may be erected, and the number of poles which may be erected thereon under this order:

Forest Street - Install two JO Poles on Forest Street. Beginning at a point approximately 1500' feet East of the centerline of the intersection of Forest Street and Sandini Road. Install new Poles 22-25 and 22-26 to serve new building at 201 Forest Street.

Also, for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

I hereby certify that the foregoing order was adopted at a meeting of the
Of the City/Town of _____, Massachusetts held on the _____ day of _____ 20 .

City/Town Clerk.
Massachusetts 20 .
Received and entered in the records of location orders of the City/Town of
Book _____ Page _____

Attest:
City/Town Clerk

I hereby certify that on _____ 20 , at _____ o'clock, M
At _____ a public hearing was held on the petition of
Massachusetts Electric Company d/b/a NATIONAL GRID and VERIZON NEW ENGLAND,
INC. for permission to erect the poles, wires, and fixtures described in the order herewith recorded,
and that we mailed at least seven days before said hearing a written notice of the time and place of
said hearing to each of the owners of real estate (as determined by the last preceding assessment
for taxation) along the ways or parts of ways upon which the Company is permitted to erect
Poles, wires, and fixtures under said order. And that thereupon said order was duly adopted.

City/Town Clerk.

.....
.....
.....
.....

Board or Council of Town or City, Massachusetts

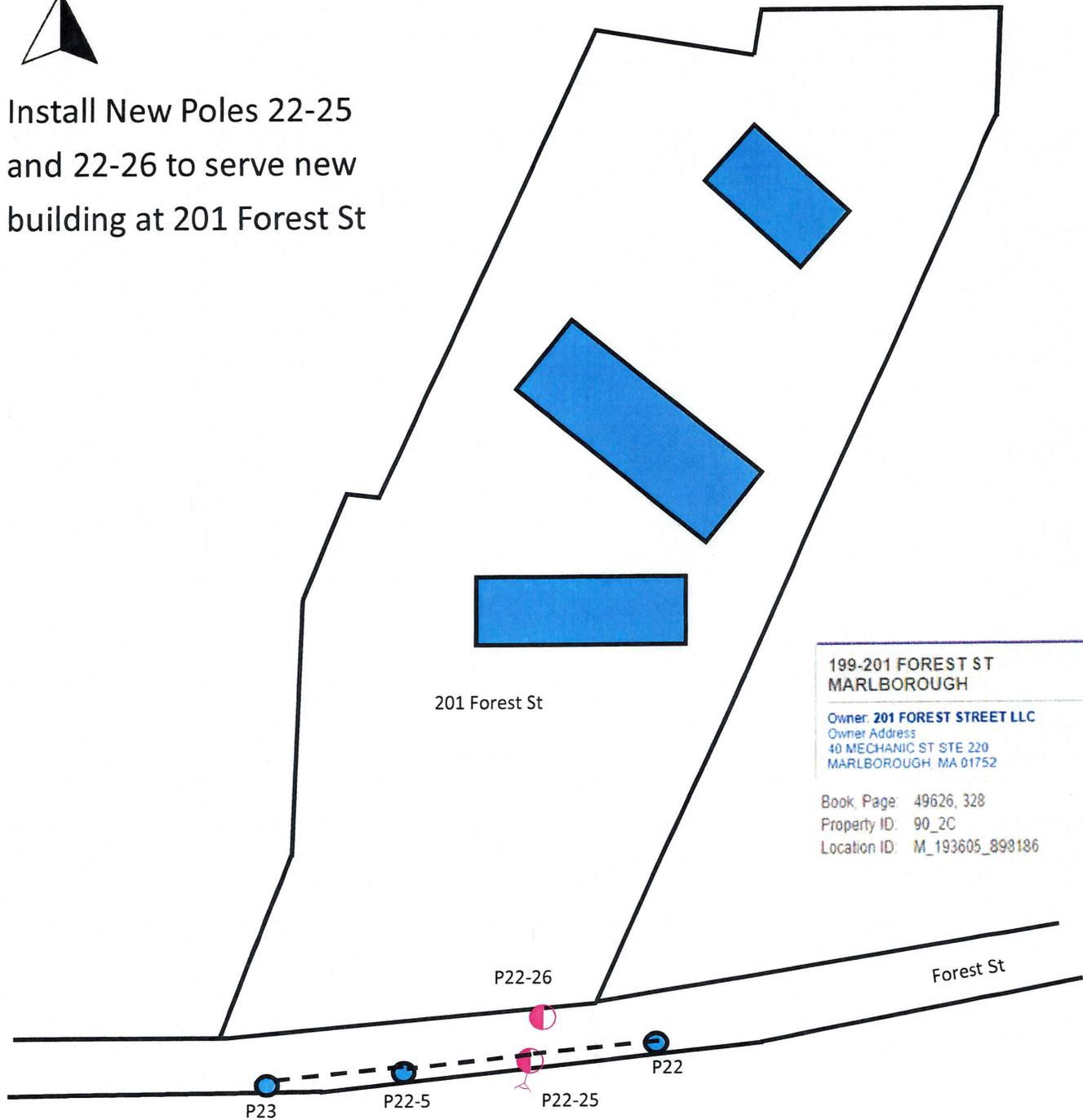
CERTIFICATE

I hereby certify that the foregoing is a true copy of the location order and certificate of
hearing with notice adopted by the _____ of the City of
Massachusetts, on the _____ day of 20 _____ and recorded with the records of location orders
of the said City, Book _____, and Page _____. This certified copy is made under the
provisions of Chapter 166 of General Laws and any additions thereto or amendments thereof.

Attest:
City/Town Clerk



Install New Poles 22-25 and 22-26 to serve new building at 201 Forest St



**199-201 FOREST ST
MARLBOROUGH**

Owner: 201 FOREST STREET LLC
 Owner Address
 40 MECHANIC ST STE 220
 MARLBOROUGH MA 01752

Book Page: 49626, 328
 Property ID: 90_2C
 Location ID: M_193605_898186

LEGEND		Petition Sketch		DATE: 6/6/23	
	Existing JO Pole / Public Way	Forest St Marlborough, Ma		DESIGNER: D.LARSON	
- - - - -	Existing Overhead Cable			WR-30696463	
	Proposed JO Anchor / Public	Exhibit 'A' not to scale. The said facilities to be established by and upon the installation and erection of the facilities thereof.		Nationalgrid	
	Proposed JO Pole / Public Way				



BOSTON CONNECTICUT FLORIDA NEW JERSEY NEW YORK PROVIDENCE WASHINGTON, DC

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2023 JUL 13 AM 9:12

GEMMA R. CASHMAN
Attorney at Law

One Federal Street, 29th Floor
Boston, MA 02110

T: (617) 345-4693 F: (617) 716-2161
gcashman@daypitney.com

July 12, 2023

VIA E-MAIL

Mr. Michael H. Ossing
City Council President
City of Marlborough
140 Main Street
Marlborough, MA 01752

Re: Proposed Amendment to Marlborough Zoning Ordinance
Article VI, §650-39A: Sasseville Way Residential Overlay District

Dear President Ossing:

On behalf of Trammell Crow Company, I enclose a Council Order for the above referenced amendment with respect to that certain property located off of Sasseville Way, Marlborough, Massachusetts, Assessors' Map and Parcel Number 29-23 ("Property"). The Property is currently owned by Boston Scientific Corporation. Trammell Crow Company and Boston Scientific Corporation have entered into a purchase and sale agreement for the sale of the Property to Trammell Crow Company. Pursuant to §650-60, I respectfully request that this zoning text amendment be placed on the July 24, 2023 agenda of the City Council for referral to the Planning Board for public hearing.

The purpose of the proposed amendment is to add a new Sasseville Way Residential Overlay District to the Zoning Code in order to broaden the high quality multifamily residential community housing choices in the City. Specifically, the amendment allows for mixed use multi-family housing developments on sites which are otherwise zoned for other purposes but which, because of the size of the parcel being developed and its proximity to other residential neighborhoods and/or residential amenities, will provide an appropriate environment for a mixed use multi-family housing development consistent with the stated economic development objectives of the City.

The *Multifamily Market and Fiscal Impact Analysis* completed for the City by RKG Associates in 2017 underscored the importance to Marlborough of providing all residential



Town of Marlborough
July 12, 2023
Page 2

development types and that there is a high demand for new multifamily housing. Furthermore, the *Multifamily Development Review Criteria and Design Guidelines* dated May 31, 2018 completed for the City by the Metropolitan Area Planning Council (MAPC) also recognized the importance and many benefits of this type of housing to the City, including meeting its housing goals. Because the Sasseville Way Residential Overlay District is an “overlay” zoning district it allows the City to target appropriate areas and corridors where this type of development is most appropriate. Because any development under the Sasseville Way Residential Overlay District requires City Council site plan approval, the City can insist on high quality projects that are designed to be compatible with surrounding uses.

We look forward to the Planning Board public hearing on this proposed amendment and the opportunity at that time to explain more fully the reasons why the addition of the Sasseville Way Residential Overlay District is needed in Marlborough.

Best regards,

A handwritten signature in cursive script that reads 'Gemma R. Cashman'.

Gemma R. Cashman

GRC

Enclosure

cc: Carolyn Hewitt, Senior Vice President, Trammell Crow Company
(CHewitt@trammellcrow.com)
Michael J. Flannery, Esq., Goulston & Storrs (MFlannery@goulstonstorrs.com)

IN CITY COUNCIL

ORDERED

Marlborough, Mass., _____
PAGE 1

THAT, PURSUANT TO § 5 OF CHAPTER 40A OF THE GENERAL LAWS, THE CITY COUNCIL OF THE CITY OF MARLBOROUGH, HAVING RECEIVED FOR ITS CONSIDERATION CHANGES IN THE ZONING ORDINANCE OF THE CITY OF MARLBOROUGH, AS AMENDED, TO FURTHER AMEND CHAPTER 650, NOW ORDAINS THAT THE ZONING ORDINANCE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED BY AMENDING AND ADDING THERETO AS FOLLOWS:

1. Article VI, entitled "Special Districts, Overlays and Special Requirements" is hereby amended to add a new Section 650-39A, or such other numbering as deemed appropriate and adopted by the City of Marlborough, entitled "Sasseville Way Residential Overlay District" which shall read as follows:

A. Purpose and objectives.

(1) The purpose of the Sasseville Way Residential Overlay District (herein, also SWR Overlay District) shall be to encourage and enhance land development and desired growth patterns for the advancement of the public health, safety and welfare by providing for the development of mixed use multi-family housing developments on sites which are otherwise zoned for other purposes but which, because of the size of the parcel being developed and its proximity to other residential neighborhoods and/or residential amenities, will provide an appropriate environment for a mixed use multi-family housing development consistent with the stated economic development objectives of the City.

(2) For purposes of this zoning district, a mixed-use development shall include a mix of multi-family residential uses and any eligible use set forth in Subsection D, which may be commingled into a single structure or multiple structures with other eligible uses on the same property. Accordingly, mixed-use developments shall benefit the public health, safety and welfare, through the sharing of parking lots and driveway curb cuts, to minimize the amount of impervious paved parking area and driveway curb cuts, reduce automobile trips and traffic congestion, improve walkability within the property, and thereby improve air quality.

(3) For purposes of this section, the SWR Overlay District shall be superimposed on the other districts existing at the time that any land in said underlying district is also included in the SWR Overlay District. The SWR Overlay District is located adjacent to Sasseville Way as indicated on the City Zoning Map.

B. Authority of permit granting authority.

IN CITY COUNCIL

ORDERED

Marlborough, Mass., _____
PAGE 2

(1) The City Council shall be the permit granting authority for special permit and site plan approval in the SWR Overlay District. In all instances, a development which proceeds under the SWR Overlay District is subject to site plan approval in accordance with § 270-2 of the Marlborough City Code, with the exception that the City Council shall be the permit granting authority for special permit and site plan approval in the SWR Overlay District and the voting threshold shall be a simple majority.

(2) The City Council may elect to waive or modify any of the dimensional and parking requirements set forth in this section during Site Plan Review if, it makes a finding that to do so will enhance the overall design of the SWR Overlay District. This authority continues subsequent to occupancy of any structure within the SWR Overlay District.

C. Exclusivity/control. This section (§ 650-39A) of the Zoning Ordinance exclusively controls any mixed use development in the SWR Overlay District and supersedes any other provision of the Zoning Ordinance with respect to all matters described in this section. In the event of any conflict between the provisions of this section (§ 650-39A *et seq.*) and any other provision of the Zoning Ordinance, the provisions of this section shall govern and control.

D. Eligible uses. Except as specifically set forth to the contrary below, all uses permitted in the Residential A-2 and Limited Industrial Districts, either as of right or by special permit in accordance with § 650-17 of the Zoning Ordinance, are permitted to the same extent in the SWR Overlay District.

(1) The following uses are permitted by right in the SWR Overlay District:

(a) Multifamily dwelling, up to 300 dwelling units.

(b) Car parking lots, garages accessory to any principal uses at the property: a structure or a group of structures that facilitate the parking of vehicles at ground level, above or below grade and shall include area for the parking of vehicles at, above and/or below grade under a building or otherwise integrated into another structure.

(c) Consumer service establishments complementary to the other principal uses at the property, provided that said facilities are less than 10,000 square feet of floor area.

(d) Restaurant, restaurants serving food outdoors, cafe with or without table service (including outside seating and service), brew pub provided that said facilities are less than 10,000 square feet of floor area.

(e) Health, sports and fitness clubs (indoor and/or outdoor) and related facilities accessory to a multifamily dwelling use, provided that said

IN CITY COUNCIL

ORDERED

Marlborough, Mass., _____
PAGE 3

facilities if enclosed in a building(s) are less than 10,000 square feet of floor area. For the avoidance of doubt, any outdoor areas shall not be subject to said floor area restriction.

(2) The following uses are permitted by special permit in the SWR Overlay District:

(a) Consumer service establishments complementary to the other principal uses at the property and said facilities are 10,000 square feet of floor area or greater.

(b) Restaurant, restaurants serving food outdoors, cafe with or without table service (including outside seating and service), brew pub and said facilities if enclosed in a building(s) are 10,000 square feet of floor area or greater.

(c) Health, sports and fitness clubs (indoor and/or outdoor) and related facilities accessory to a multifamily dwelling use and said facilities if enclosed in a building(s) are 10,000 square feet of floor area or greater. For the avoidance of doubt, any outdoor areas shall not be subject to said floor area restriction.

(d) Accessory solar energy installations, including but not limited to rooftop systems and solar parking canopies, and accessory telecommunications facilities and wireless communications facilities.

E. Affordable Housing. All site plan review approvals granted to applicants to construct multi-family dwellings shall be subject to the provisions of § 650-26 of the Zoning Ordinance; provided, however, the percentage of dwelling units to be constructed for homeownership or rental purposes to be made available at affordable prices to home buyers or renters shall be 10% with respect to developments of 20 or more units.

F. Dimensional requirements. The SWR Overlay District shall be subject to the dimensional standards in accordance with Article VII of the Zoning Ordinance with the following exceptions:

(1) The SWR Overlay District shall consist of one or more lots. The minimum acreage requirement for contiguous parcels/lots to be developed as a SWR Overlay District is twenty (20) acres.

(2) Minimum lot frontage measurement shall be no less than 200 feet for any lot wholly located within the boundaries of the SWR Overlay District.

IN CITY COUNCIL

ORDERED**Marlborough, Mass., _____**
PAGE 4

(3) Minimum side yard measurement shall be no less than 50 feet and minimum front yard measurement shall be no less than 50 feet for any lot wholly located within boundaries of a SWR Overlay District.

(4) Maximum building height in SWR Overlay District shall not exceed 70 feet, provided that:

(a) For the purposes of measuring height in SWR Overlay District, the "front" of each building shall be measured on the side facing Sasseville Way;

(b) No non-residential structure or building shall be more than 2 stories or 45 feet in height; and

(c) For the avoidance of doubt, roof structures that are not occupiable shall not be included in the overall height measurement.

(5) Maximum combined lot coverage, including any permitted accessory structures, shall not exceed 50% of the tract or contiguous parcels.

(6) The total number of dwelling units within the SWR Overlay District shall be limited to 15 units per acre of gross land area.

(7) The SWR Overlay District may contain studio, one (1), two (2) and three (3) bedroom units.

G. Parking and curb cut requirements. Except as otherwise provided in this section, parking and circulation requirements shall conform to the provisions of §§ 650-48 and 650-49 of the Zoning Ordinance.

(1) General. In the SWR Overlay District, adequate off-street parking shall be provided. The City Council and the applicant shall have as a goal, for the purposes of defining adequate off-street parking, making the most efficient use of the parking facilities to be provided and minimizing the area of land to be paved for this purpose. In implementing this goal the City Council shall consider complementary or shared use of parking areas by activities having different peak demand times, and the applicant shall locate adjacent uses in such a manner as will facilitate the complementary use of such parking areas. Implementation of such complementary use of parking areas may result in permitted reductions in the parking requirements.

(2) Parking locations. Parking may be provided at ground level, underground or in a parking garage. Parking garages can be freestanding or as part of buildings dedicated to other permitted uses.

IN CITY COUNCIL

ORDERED

Marlborough, Mass., _____
PAGE 5

(3) Parking spaces for each dwelling unit. There shall be a minimum parking ratio of 1.5 parking spaces for each dwelling unit.

(4) Granting of relief from parking regulations. The City Council may waive any of the foregoing requirements or the requirements of § 650-48 during Site Plan Review if it makes a finding that to do so will enhance the overall design of the SWR Overlay District.

H. Landscaping and screening requirements. The SWR Overlay District shall be subject to the landscaping and screening standards in accordance with Article VII of the Zoning Ordinance with the following exceptions:

(1) In the SWR Overlay District, there shall be provided with each multifamily building a landscaped area equal to the greatest single floor area of the building, provided that such landscaped area may include undisturbed natural areas such as vegetated areas, woodlands, wetlands and floodplain areas.

(2) The City Council may waive any of the requirements of § 650-47 during Site Plan Review during Site Plan Review if it makes a finding that to do so will enhance the overall design of the SWR Overlay District.

I. Signage.

(1) Except as otherwise provided in this section, signage shall conform to the provisions of Chapter 526 of the Marlborough City Code, the Sign Ordinance.

(2) The City Council may waive any of the requirements of the Sign Ordinance during Site Plan Review if it makes a finding that to do so will enhance the overall design of the SWR Overlay District.

J. Application.

(1) An application for a special permit for a use in the SWR Overlay District shall comply with the requirements of § 650-57 *et seq.* of the Zoning Ordinance. In the matter of a site plan approval, the application shall comply with the requirements of the City Code, Chapter 270, Article II, Permits and Approvals, § 270-2 *et seq.*

(2) The City Council in connection with a special permit and/or site plan application shall review such applications with respect to the following design criteria:

(a) Compliance of sidewalks with Americans with Disabilities Act (ADA) design standards;

(b) Street facade and exterior walls visible from public ways;

(c) Public space;

IN CITY COUNCIL

ORDERED

Marlborough, Mass., _____
PAGE 6

(d) Scale of buildings; and

(e) External lighting.

(3) Concurrent with any public hearing/meeting associated with a special permit and/or site plan filing, the applicant shall make a presentation to the City Council to present the proposed architectural design and shall consider the comments and input from the City Council. A final building elevation shall be submitted prior to the close of the public hearing/meeting.

K. Amendments. After approval, an owner/developer may seek amendments to the approved permits. Minor amendments to a special permit and major or minor amendments to a site plan approval may be made by a majority vote of the City Council. It shall be a finding of the City Council, not subject to dispute by the applicant, whether a requested amendment is deemed to be a major amendment or a minor one. In general, a minor modification shall not produce more than a material increase in the scale of a project nor produce more than a material increase in impact on City services, the environment or the neighborhood. If it is determined that revisions to a special permit are not minor, per § 650-59 of the Zoning Ordinance, an application for a revised special permit shall be filed, and a public hearing shall be held in the same manner as required for a new application, subject to the fee schedule under Subsection C(3)(f) of § 650-59.

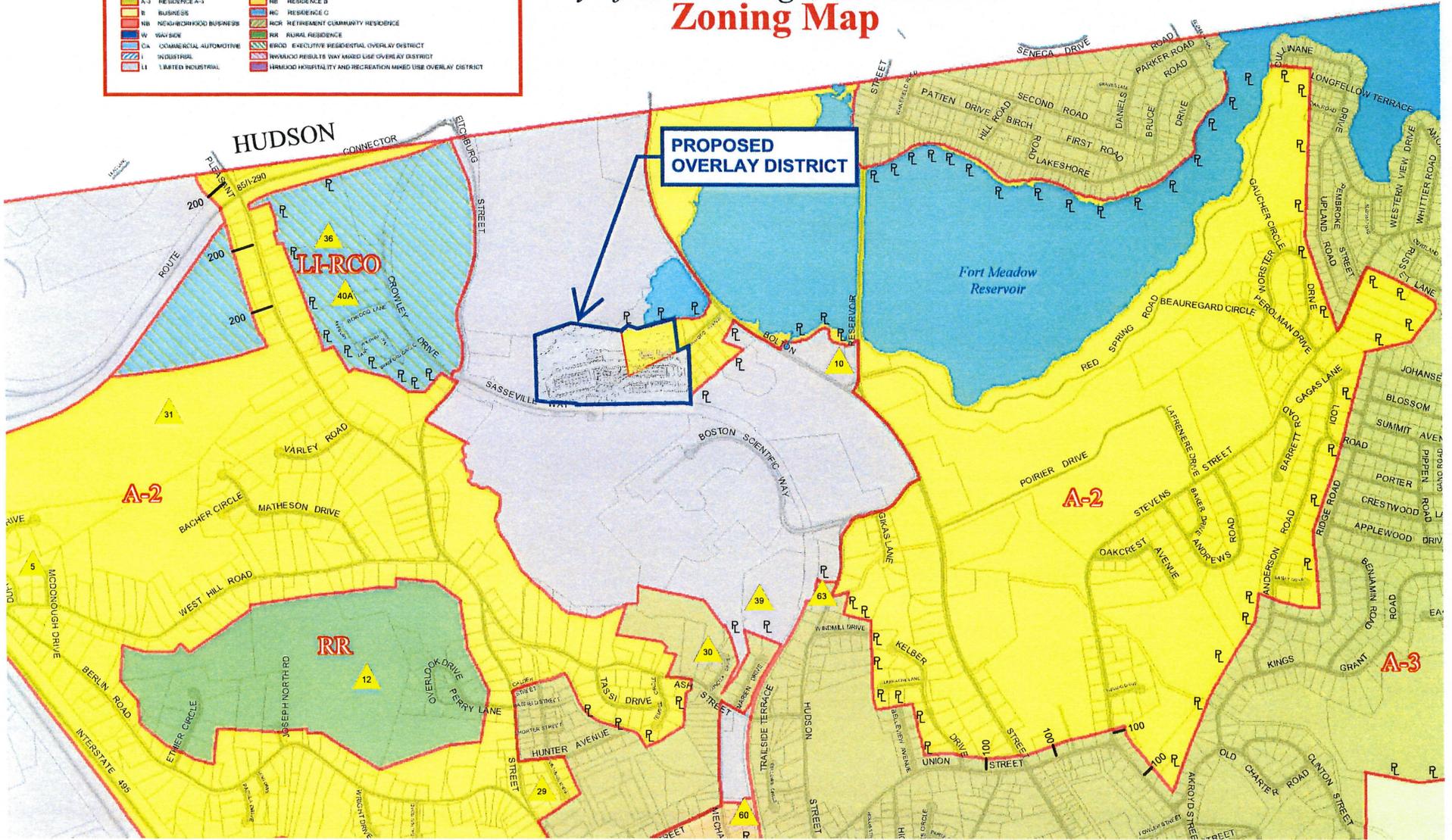
2. The Zoning Map described in § 650-8 is amended as shown on the accompanying Map (Exhibit "A"). The newly established "Sasseville Way Residential Overlay District" shall include all or portions of the properties shown on the Map existing at the passage of this Ordinance, which properties include the following parcel of land (herein identified by the Assessors' Map and Parcel Number): 29-23.

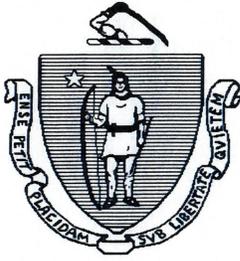
Be and is herewith **SET A PUBLIC HEARING FOR _____, ADVERTISE, REFER TO PLANNING BOARD.**

ADOPTED

City of Marlborough, Massachusetts Zoning Map

	A-1 RESIDENCE A-1		LI-RCO LIMITED INDUSTRIAL - RETIREMENT COMMUNITY OVERLAY
	A-2 RESIDENCE A-2		MV MARLBOROUGH VILLAGE DISTRICT
	A-3 RESIDENCE A-3		RB RESIDENCE B
	B BUSINESS		RC RESIDENCE C
	NB NEIGHBORHOOD BUSINESS		RCR RETIREMENT COMMUNITY RESIDENCE
	W WAY SIDE		RRR RURAL RESIDENCE
	CA COMMERCIAL AUTOMOTIVE INDUSTRIAL		RHO RESIDENTIAL RECREATIONAL OVERLAY DISTRICT
	LI LIMITED INDUSTRIAL		RHOA RESIDENTIAL WAY MIXED USE OVERLAY DISTRICT
			HRP HOMEHOOD HOSPITALITY AND RECREATION MIXED USE OVERLAY DISTRICT





The Commonwealth of Massachusetts

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2023 JUN 20 11:12:51

DEPARTMENT OF PUBLIC UTILITIES

NOTICE OF FILING, PUBLIC HEARING AND REQUEST FOR COMMENTS

D.P.U. 23-54

June 23, 2023

Petition of Massachusetts Electric Company and Nantucket Electric Company, each d/b/a National Grid, for approval of a mid-term modification to its 2022-2024 Three-Year Energy Efficiency Plan.

On May 26, 2023, Massachusetts Electric Company and Nantucket Electric Company, each d/b/a National Grid (together, "Company") filed a petition with the Department of Public Utilities ("Department") seeking a mid-term modification to its 2022 2024 Three-Year Energy Efficiency Plan ("Three-Year Plan") approved by the Department in 2022-2024 Three-Year Energy Efficiency Plans, D.P.U. 21-120 through D.P.U. 21-129 (2022). The Department docketed this matter as D.P.U. 23-54.

The Company proposes to modify its Three-Year Plan to add a refrigerant management demonstration project for the commercial and industrial ("C&I") sector. Through the demonstration project, the Company proposes to identify specific ways in which energy efficiency programs can be leveraged to reduce both energy use and greenhouse gas emissions from refrigerant leaks in grocery stores. In particular, the Company proposes to evaluate two measures: (1) the detection, measurement, and repair of leaks in refrigeration systems using a high global warming potential ("GWP") refrigerant; and (2) the retrofit of existing refrigeration systems using a high GWP refrigerant with a lower-GWP refrigerant.

The Company requests approval of a total proposed budget of \$950,000 for the demonstration project. The Company proposes to transfer \$950,000 from its existing Department-approved C&I sector budget for the current Three-Year Plan term to fund the demonstration project. If the Department approves the mid-term modification as proposed, including the Company's request to use \$950,000 from its existing C&I sector budget to fund the demonstration project, the Company states that customers will not experience any additional bill impacts related to the mid-term modification.

The Department will conduct a virtual public hearing to receive comments on the Company's filing. The Department will conduct the hearing using Zoom videoconferencing on **Thursday, July 20, 2023**, beginning at 2:00 p.m. Attendees can join by entering the link, <https://us06web.zoom.us/j/88394071729>, from a computer, smartphone, or tablet. No prior software download is required. For audio-only access to the hearing, attendees can dial in at **(646) 931-3860 or 301 715 8592 (not toll free)** and then enter the **Meeting ID# 883 9407 1729**. If you anticipate providing comments via Zoom during the public hearing, please send an email

by **Monday, July 17, 2023**, to elyssa.klein@mass.gov with your name, email address or telephone number, and mailing address.

Pursuant to Investigation by the Department of Public Utilities on its own Motion into Updating its Energy Efficiency Guidelines, D.P.U. 20-150-A at § 3.8.2.1 (2021), the Energy Efficiency Advisory Council has 60 days from the filing date to file any opposition to the demonstration project with the Department.

Any person interested in commenting on this matter may submit written comments to the Department no later than the close of business (5:00 p.m.) on **Tuesday, July 25, 2023**. Written comments from the public may be sent by email to dpu.efiling@mass.gov, elyssa.klein@mass.gov, and the Company's attorney, Christopher Tuomala, Esq., at christopher.tuomala@nationalgrid.com. Please note that in the interest of transparency any comments will be posted to our website as received and without redacting personal information, such as addresses, telephone numbers, or email addresses. As such, consider the extent of information you wish to share when submitting comments. The Department strongly encourages public comments to be submitted by email. If, however, a member of the public is unable to send written comments by email, a paper copy may be sent to Mark D. Marini, Secretary, Department of Public Utilities, One South Station, Boston, Massachusetts, 02110.

Any person who desires to participate otherwise in the evidentiary phase of this proceeding shall file a petition for leave to intervene no later than 5:00 p.m. on **Friday, July 7, 2023**. A petition for leave to intervene must satisfy the timing and substantive requirements of 220 CMR 1.03. Receipt by the Department constitutes filing and determines whether a petition has been timely filed. A petition filed late may be disallowed as untimely, unless good cause is shown for waiver under 220 CMR 1.01(4). To be allowed, a petition under 220 CMR 1.03(1) must satisfy the standing requirements of G.L. c. 30A, § 10. All responses to petitions to intervene must be filed by the close of business (5:00 p.m.) on the second business day after the petition to intervene was filed.

All documents must be submitted to the Department in **.pdf format** by e-mail attachment to dpu.efiling@mass.gov and elyssa.klein@mass.gov. The text of the e-mail must specify: (1) the docket number of the proceeding (D.P.U. 23-54); (2) the name of the person or company submitting the filing; and (3) a brief descriptive title of the document. The electronic file name should identify the document but should not exceed 50 characters in length. Importantly, all large files submitted must be broken down into electronic files that do not exceed 20 MB. All documents submitted in electronic format will be posted on the Department's website through our online File Room as soon as practicable (enter "23-54") at: <https://eeasonline.eea.state.ma.us/DPU/Flerom/dockets/bynumber>. In addition, one copy of all written comments and petitions to intervene should be emailed to the Company's attorney, Christopher Tuomala, Esq., at christopher.tuomala@nationalgrid.com.

The filing and all subsequent related documents submitted to the Department or issued by the Department will be available on the Department's website as referenced above as soon as is practicable. To the extent a person or entity wishes to submit comments or intervene in accordance with this Notice, electronic submission, as detailed above, is sufficient. To request

materials in accessible formats for people with disabilities (Braille, large print, electronic files, audio format), contact the Department's ADA coordinator at Gabriella.Knight@mass.gov.

For further information regarding the Company's filing, please contact the Company's attorney, Christopher Tuomala, Esq., at christopher.tuomala@nationalgrid.com or (351) 666-7799. For further information regarding this Notice, please contact Elyssa Klein, Hearing Officer, Department of Public Utilities, at elyssa.klein@mass.gov.



RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2023 JUN 28 PM 3:04

Marlborough Public Schools

School Committee
District Education Center
25 Union Street, Marlborough, MA 01752
(508) 460-3509

Call to Order

June 13, 2023

1. Heidi Matthews called the regular meeting of the Marlborough School Committee to order at 7:30 p.m. at 17 Washington Street, Marlborough, MA. Members present included Daniel Caruso, Earl Geary, Katherine Hennessy, Heidi Matthews, and Denise Ryan. Also present were Superintendent Mary Murphy, Assistant Superintendent of Teaching and Learning, Robert Skaza, Assistant Superintendent of Student Services and Equity, Jody O'Brien, and Director of Finance and Operations, Douglas Dias. MEA Representative Eileen Barry and Student Advisory Representative Jessica Rosenzweig were also present.

This meeting is being recorded by local cable, WMCT-TV, and is available for review.

2. **Pledge of Allegiance:** Mrs. Matthews led the Pledge of Allegiance.

3. **Presentation:**

- A. **1,000 Books Before Kindergarten**

Assistant Superintendent Jody O'Brien recognized three children – Nora Chan, McKinley Laux, and Alicia Bastos – from the ECC for reading 1,000 books before kindergarten.

- B. **MHS Student Advisory Committee**

Risha Khanderia, the junior class representative, spoke about the high school history course progress and AP US History. Risha provided some suggestions for the course progression to allow more students to enroll in this AP course. She has brought these suggestions forward to administration, teachers, and the counseling department.

Jessica Rosenzweig shared the report of Sarah Garner, the sophomore class representative, who was unable to attend the meeting tonight. She discussed social media and communication with a class via such means. Sarah noted that social media tends to take priority over other means of communication that could reach all students, not just those who exist on these platforms.

www.mps-edu.org



Marlborough Public Schools

School Committee
District Education Center
 25 Union Street, Marlborough, MA 01752
 (508) 460-3509

Atul Modur, the freshmen class representative, reflected on the first year of high school. He talked about the different events and experiences his class went through this year. Atul shared that his class struggled with academic grades and attendance. Risha Khanderia was announced as the 2023-2024 Student Representative.

C. Communications Coordinator Update

Jillian Morin, the Communications Coordinator, presented an overview of the school events held during the 2022-2023 school year. Graduation was streamed successfully this year. Ms. Morin also briefly discussed the various upcoming summer projects.

4. Committee Discussion/Directives: None.

5. Communications: None.

6. Superintendent's Report:

Superintendent Murphy commended Dr. Riley, his team, Marlborough DPW, Facilities, and the volunteers that allowed for the MHS Class of 2023 graduation ceremony to be successful.

Superintendent Murphy provided a brief review of the final District Improvement Plan and the School Improvement Plans, which are attached to her report. Various committee members provided insight and asked questions about these plans.

A. Assistant Superintendent of Teaching & Learning

Dr. Skaza, the Assistant Superintendent of Teaching and Learning, recognized eighth grade student, Yasmien Moukhtar. Yasmien was invited by Mayor Vigeant to share her essay that she wrote for Judge Spring for the 2023 Law Day event that she was recognized for a previous meeting.

7. Acceptance of Minutes:

A. Minutes of the May 23, 2023 School Committee Meeting

Motion made by Mrs. Ryan, seconded by Mrs. Matthews to approve these minutes.
 Motion passed 5-0-0.

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Marlborough Public Schools

School Committee
 District Education Center
 25 Union Street, Marlborough, MA 01752
 (508) 460-3509

8. Public Participation: None.

It should be noted that members of the public may provide comment via email before the meeting to superintendent@mps-edu.org. Public participation is a time for your comments to be heard by the committee; it is not a question-and-answer session.

9. Action Items/Reports

A. MHS Football Overnight Trip

Jeff Rudzinsky, the MHS Athletic Director, requested permission for the MHS Football team to spend Friday evening, August 25th, at the Eagle Hill School in Hardwick, MA.

Motion made by Mrs. Ryan, seconded by Mrs. Matthews to approve this request.
 Motion passed 5-0-0.

B. MHS Soccer Out of State Day Trip

Jeff Rudzinsky, the MHS Athletic Director, requested permission for the MHS Boys Varsity and Junior Varsity soccer teams to travel to East Hartford, CT on August 25th and Avon Old Farms on September 2nd for scrimmages.

Motion made by Mrs. Ryan, seconded by Mrs. Matthews to approve this request.
 Motion passed 5-0-0.

C. MPS Strategy for Improvement

Superintendent Murphy shared the revised Strategy for Improvement plan, which is attached to this agenda item.

Motion made by Mrs. Ryan, seconded by Mrs. Matthews to approve the MPS Strategy for Improvement plan.
 Motion passed 5-0-0.

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Marlborough Public Schools

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District Education Center
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D. Food Services

Mr. Dias, the Director of Finance and Operations, shared that the evaluation committee selected Aramark as the Food Services Management Company to be contracted by MPS for the FY25-FY29 years. The summative evaluation is attached to this agenda item.

Motion made by Mrs. Hennessy, seconded by Mrs. Matthews to approve this contract.
 Motion passed 5-0-0.

E. Resolution of School Bus Safety

Mrs. Matthews shared the attached resolution for the school bus safety issue which was drafted by the Peabody School Committee for the MASC Delegate Assembly. The committee was asked to consider co-sponsoring the attached resolution with the Peabody School Committee. This resolution will be voted on at the next School Committee meeting.

F. Acceptance of Donations and Gifts

Donor's Choose. Goodnow Brothers Elementary School teacher Ms. Saliba received \$732.58, and Ms. Keene received \$479.48.

Motion made by Mrs. Ryan, seconded by Mrs. Matthews to approve this donation.
 Motion passed 5-0-0.

Bright Funds. Kane Elementary School received \$250.00 from the Bright Funds.

Motion made by Mrs. Ryan, seconded by Mrs. Matthews to approve this donation.
 Motion passed 5-0-0.

MA DESE FY23 FCo186 Title III, Part A Immigrant Children & Youth. MPS received this grant for \$60,593.00.

Motion made by Mrs. Ryan, seconded by Mrs. Matthews to approve this donation.
 Motion passed 5-0-0.

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Marlborough Public Schools

School Committee
 District Education Center
 25 Union Street, Marlborough, MA 01752
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10. Reports of School Committee Sub-Committees:

Mrs. Hennessy shared that the Policy Sub-Committee will meet on Thursday, June 15th at 9:00 a.m.

11. Members' Forum:

Mrs. Matthews has reviewed the warrant and will sign it.

Mrs. Matthews, Jessica Rosenzweig, and Mrs. Hennessy commented on how great graduation was.

Mrs. Barry shared that she is stepping away as the Union President after this academic year ends.

12. Adjournment:

Motion made by Mrs. Ryan, seconded by Mrs. Matthews to adjourn at 8:58 p.m.
 Motion passed 5-0-0.

Respectfully submitted,

Heidi Matthews
 Secretary, Marlborough School Committee

HM/jm

Approved June 27, 2023

www.mps-edu.org

CITY OF MARLBOROUGH BOARD OF ASSESSORS

MEETING MINUTES: July 01, 2022

OPEN SESSION

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CITY OF MARLBOROUGH

2023 JUL -7 PM 1:18

- 1. CALL TO ORDER: 1:01 p.m.
- 2. MEMBERS PRESENT: Ellen Silverstein, Jonathan Steinberg, John Valade
Also present: NONE
- 3. MOTION TO ACCEPT: Minutes of the March 25, 2022 & April 1, 2022, meeting.
Ms. Silverstein; second Mr. Steinberg
Vote 3-0
- 4. PUBLIC INPUT: None
- 5. MOTION TO CONVENE IN EXECUTIVE SESSION:
Mr. Steinberg; second Mr. Valade
Vote 3-0
- 6. EXECUTIVE SESSION: 1:12 p.m.
(Meeting adjourned directly from Executive Session)



 John H. Valade

 Ellen Silverstein

Date: 4/28/2023

CITY OF MARLBOROUGH BOARD OF ASSESSORS

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

MEETING MINUTES: November 4, 2022

2023 JUL -7 PM 1:18

OPEN SESSION

- 1. CALL TO ORDER: 3:03 p.m.
- 2. MEMBERS PRESENT: Ellen Silverstein, Jonathan Steinberg, John Valade
Also present: NONE
- 3. MOTION TO ACCEPT: Minutes of the April 8, 2022 & April 20, 2022, meeting.
Mr. Steinberg; second Ms. Silverstein
Vote 3-0
- 4. PUBLIC INPUT: None
- 5. MOTION TO CONVENE IN EXECUTIVE SESSION:
Mr. Steinberg; second Mr. Valade
Vote 3-0
- 6. EXECUTIVE SESSION: 3:06 p.m.
(Meeting adjourned directly from Executive Session)

John H. Valade
Ellen Silverstein

Date: 6/27/23

RECEIVED
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CITY OF MARLBOROUGH
Conservation Commission
Minutes June 1, 2023

Conservation Commission

2023 JUL 10 PM 2: 17

Minutes Approved July 6, 2023
June 1, 2023 – 7:00 PM

140 Main St. - Marlborough City Hall – 3rd Floor (Memorial Hall)

Present: Edward Clancy- Chairman, John Skarin, Allan White, David Williams, Dennis Demers, William Dunbar, Karin Paquin, Priscilla Ryder-Conservation officer was also present.

Absent: none

Approval of Minutes: The Minutes of May 18, 2023, were reviewed on a motion by Mr. White, second by Chair, they were approved unanimously 7-0.

**Public hearings
Notice of Intent**

61 Chase Rd. (continued from May 18, 2023) – Michele Soares –

Mark Arnold from Goddard Consulting present on behalf of the applicant presenting plans for an inground pool and fence near wetlands. Plans presented display a restoration area in the buffer zone for the planting of trees, shrubs, and the removal of debris. The pool will have a sand filter system which will be installed outside the 50-foot buffer. Commission asks for a drywell which is sized to handle water released during the backwashing of the sand filter. Commission member asked about where the dirt from digging the pool is going to go as well as how it is going to be transported off the property. Consultant explained that the property is too small to drop the dirt anywhere on site. Therefore, an excavator would dig the hole and place the dirt into the dump truck for transport off site. Only a small amount of material would be retained to make any needed adjustments to the edges of the patio. There being no further questions from the commission or the audience the hearing was closed.

The Commission reviewed the draft Order of Conditions and discussed the following conditions: It is explained that the pool having a sand filter installed outside the 50-foot buffer zone along with a drywell system to be installed. A minor error was adjusted in section 40 of the OOC where 20 feet had been written as opposed to 30 feet. The fence was installed prior to filing a Notice of Intent but will remain in place providing restoration of the area which has been a brush pile for many years will enhance habitat value and function on the buffer zone. The plants planted in the buffer zone shall include 6 trees, 18 shrubs and a meadow mix. Maintenance will be performed for the first 2 years including the removal of weeds in order to allow the chosen plants to become established. After which the zone shall be left undisturbed outside of invasive species management which shall be left as ongoing management. During the 2 years, 75% of plants installed shall survive, and further dead material shall be replaced. Shall the fence or shed need to be replaced in the future it shall be placed outside of the 30-foot wetland buffer zone this shall be an ongoing condition. Markers shall be placed at the 30-foot line, in the lawn. **A motion was made by Mr. White second by Chairman to approve the Order of Conditions as drafted and amended; the commission voted unanimously 7-0 to approve.**

Abbreviated Notice of Intent**21 Blaiswood Ave. (continued from May 18, 2023) -Helvecio Carvalho-**

Purposes to build a patio, firepit and retaining wall on the shore of Ft. Meadow Reservoir. This will be continued to June 15th while we wait for a DEP number to be issued.

Request for Determination of Applicability**107 Simarano Dr. (Continued from May 18, 2023) -Post Road Residential, Inc-**

Requests a jurisdictional determination of a vegetated wetland in review of whether it is non-jurisdictional isolated vegetated wetland or a jurisdictional bordering vegetated wetland on this property. **The applicant has withdrawn this application.** Ms. Ryder read the withdrawal which explained that this will allow time to re-evaluate the implications to development constraints. If they choose to pursue a formal determination on the wetland, they will file an ANRAD such that they can appeal to DEP for superseding finding in the event they disagree with conservations finding. The client has no intent of filling in any wetland but expresses concern in regard to how close in proximity development would be permitted under the 30-foot wetland setback buffer zone.

Abbreviated Notice of Resource Area Delineation**279 South St including map-parcels 92-19; 92-32; and 103-19- (continued from May 18, 2023) -Martin Reilly Real Estate Inc-**

Requests the Conservation Commission review and verify the wetland resource areas delineated on this property. **This has been continued to June 15th.** Ms. Ryder noted that she is still waiting to hear back from consultants.

Certificate of Compliance

DEP 212-1241 587 Bolton St. Bolton St. Tavern – request partial certificate of compliance. Ms. Ryder presented pictures of the completed pavilion showing the change in pathway in which allows for free-flowing drainage. Pictures were also shown to display the partial invasive removal of bittersweet. Commissioner Williams pointed out that a 2-foot-deep hole was produced by an output pipe, Ms. Ryder said that this is a maintenance concern and will ask about it. Applicant is asking for partial compliance because they also would like a fire pit and bocci ball setup but do not have the money at this time due to the construction of the pavilion. Ms. Ryder explained that they would have 2 years to construct this. **The motion to approve was made by Mr. White, second by Chair, the Commission voted 6 yea Clancy, White, Skarin, Paquin, Williams, Dunbar and 1 nay Demers. The partial certificate of compliance was approved 6-1.**

Discussion

- Violations update for 541 Pleasant St. – some members reported that it looks as if the Japanese knotweed was killed due to spraying. Ms. Ryder explains she inquired of the lawyer but hasn't heard back.
- 47 Red Spring Rd. Mr. White of Red Spring Rd. has hired Mr. Crossman to do his filing, nothing has been filed yet.

Conservation Commission
Minutes June 1, 2023

- The weed control spraying has been completed at Ft Meadow as of this morning June 1st, only 41 acres needed to be treated as opposed to the 80 acres last year. No fanwort was seen, a check will be made in July to see if any appears. Ms. Ryder displayed a map of areas treated.
- Dock at the Grove- The estimate for a dock was submitted for review.
- Commission had questions about using pressure treated wood for docks. Ms. Ryder explained that supposedly the new chemicals used in pressure treated wood are not harmful to use in water, so according to DEP it's not an issue anymore.

Next Conservation Meeting: June 15, 2023

Adjournment-

There being no further discussion, a motion was made by Mr. White, second by Chair to adjourn, the Commission voted 7-0 to adjourn. Meeting was adjourned at 7:48 PM

Respectfully submitted



Priscilla Ryder

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CITY OF MARLBOROUGH

Conservation Commission
Minutes Approved July 6, 2023
June 15, 2023 - 7:00 PM

2023 JUL 10 PM 2: 17

140 Main St. – Marlborough City Hall – 3rd Floor (Memorial Hall)

Present: Edward Clancy-Chairman, Allan White, David Williams, Dennis Demers, William Dunbar, John Skarin, Karin Paquin (Late arrival). Priscilla Ryder-Conservation officer was also present.

Absent: None

The hearing was recorded using Microsoft Teams

Approval of Minutes: The minutes of June 1, 2023, were not in packet, but will be reviewed at next meeting. Continued to July 6th.

Public hearings:

Abbreviated Notice off Intent

21 Blaiswood Ave. – Helvecio Carvalho

Proposes to build a patio, firepit, and a retaining wall on the shore of Ft. Meadow Reservoir. Waiting to get DEP number therefore this item was continued to July 6th.

Extension Permit

DEP 212-1220 MADOT RT 20– Steve Tyler

MassDOT is requesting this extension as permit is expiring soon and there are several more years of work needed to complete the project. Tom DiPersio, City Engineer was in attendance and explained that work thus far has consisted of water and drainage. The City work is being done by Ludlow Construction, which is 1/3 done. MassDOT has encountered some conflicts with communication duct banks they are working on redesign. Remaining work is anticipated to take 2-3 more years; thus, the request is for a 3-year extension.

Mr. Demers asked whether the McGee farm would still be used as a staging area given the future development. Ms. Ryder conveyed e-mail updates from Mr. Tyler about timeline and erosion controls. Next steps will include the first culvert crossing this summer and the second one next year. The first culvert will involve the removal of knotweed. After some discussion on a motion by Mr. Skarin, second by Chair, to issue an extension permit for 3 years, the commission unanimously voted 6-0 to issue an extension with the requirement that Ms. Ryder check the staging area to ensure no encroachment and ensure erosion controls are in place and working well throughout the site, and if not to require upgrades and replacement.

(Note: Karin Paquin arrived after this vote.)

Notice of Intent

114 Concord Rd. – Kimberly Rice

Proposes to build an addition, deck, and spa near wetlands.

Ms. Rice explained that she would like to convert the existing deck to a three season then add a deck and spa on the side away from the stream. She has adjusted the design so there is no new impact to the 30' buffer no disturb buffer zone. The addition will be on sona tubes so will have minimal disturbance and will follow existing deck footprint. The Commission members had no issues with the project and noted it honors the 30' wetland setback. Ms. Ryder noted that a DEP number hasn't been issued.

Therefore, the hearing was continued to the July 6th meeting. The Commission asked Ms. Ryder to draft conditions for review at the next meeting.

Notice of Intent

402 Hudson St. – DPW

Tom DiPersio City Engineer was present and explained that the city is proposing improvement to existing landfill cap, a section of the landfill was never capped so this will be done. Some work will be within 100' of wetlands area at the bottom of the hill next to Bolton St. He explained that in the early 80's the landfill was capped but there weren't many records, not many records. Upon investigation it was determined, and DEP has agreed – old cap is good, except there are sections of the landfill that were never capped. The project will involve removing waste from uncapped area and adding clean fill and then capping the entire site with a polyethylene liner and clay soil layer and adding loam and seed to create two fields a walking path and a parking area. There will be lots of material imported to create the new cap, and to fill the "excavated landfill" areas as shown on the plans. Erosion controls will be added to protect the wetland below. The commission asked questions about the amount of fill to be brought in, the fence along Bolton St will it be removed, runoff issues during and after construction, control of any leachate, tree removal along the rail trail, invasive plant control etc. Mr. DiPersio explained that there is an existing leachate pit that sends that material to the sewer system, a good amount of fill will be brought in to create the cap and to level out the field areas, so they have a 2% slope which is good for a field and also allows for positive drainage off the site. There will be gas trenches installed to capture the methane, although not enough to capture and reuse. Unfortunately, the trees along the rail trail will be removed to access the edge of the landfill waste, but additional trees will be planted once the capping is completed. He explained this is a specialized operation and is overseen by DEP waste division to ensure the landfill is capped properly. The Commission indicated they would like the contractor to come to a meeting once the project is approved and before work begins to discuss erosion controls, construction sequencing, and invasive plant management/control before and after construction. Mr. Demers noted that a landfill is being capped in Clinton which sounds similar to this operation. The meeting was continued to July 6th in order to get the DEP # and address construction sequencing. The Commission asked Ms. Ryder to draft conditions for review.

Notice of Intent

Russell St. – DPW

Tom DiPersio- City Engineer was present. He explained that all of Russell St. will be reconstructed, water main already replaced and the sewer was lined under the minor exempt project provision. However, the reconstruction will involve drainage improvements at the low end of the road near Mechanic St. This work will involve tree clearing, drainage pipe replacement and new drainage. A portion of the work along the road edge is very close to the wetland. Currently this area floods because of poor drainage and not much flow in the wetland. Want to correct drainage problem by adding a drainage pipe to discharge near the culvert. This new pipe is pretty much flat but will collect roadway runoff into a drain, so it's more efficient which will help keep the road clean and improve water quality with deep sump catch basins, new pipe, and headwall with 12" drain. The current culvert will be lined as the bottom is rotted out. They will straighten the shoulder and add a curb line. They will pump around the culvert to line it. Mr. DiPersio explained that the site is tight, and everything is shallow do to existing conditions which they are working to improve.

Ryan Fitzgerald, abutter, 7 Russell St. Thanked Mr. DiPersio for addressing this as it has been a flooding issue and also asked what's the timeframe? Mr. DiPersio indicated as soon as permits are in hand they would continue. There will be erosion controls in place now and they will be reconstructing the

sidewalk. As there isn't a DEP # issued yet this item was continued to July 6th. The Commission asked Ms. Ryder to draft conditions for that meeting as well.

Notice of Intent

Cedar Hill St – DPW

Tom DiPersio City Engineer explained that they have received as Grant from Mass Works which will provide the funding to reclaim the entirety of Cedar Hill St. including existing roadway, addition of sidewalk, signal upgrade, tree clearing and drainage improvements, some of this work is near wetlands. Tom DiPersio explained that this will improve the drainage issue on west end of this street. They will be adding sidewalk where there is a gap on Simarano Dr. They already have lined the sewer and water lines are okay. They propose to reconstruct sidewalks along Cedar Hill, and in the location of IPG has agreed to provide an easement so the city can save trees and add a meandering sidewalk. This roadway gets heavy use so they will be putting in heavy pavement to accommodate this heavy traffic use. As there isn't a DEP # issued yet this item was continued to July 6th. The Commission asked Ms. Ryder to draft conditions for that meeting as well.

Abbreviated Notice of Resource Area Delineation (Continued)

279 South St including map-parcels 92-19; 92-32; and 103-19- Martin Reilly Real Estate Inc

Requests the Conservation Commission review and verify the wetland resource areas delineated on this property. Ms. Ryder indicated she is still working on getting a consultant that can do this peer review. This item was continued to July 6th.

Discussion

47 Red Spring Rd. Enforcement Order – Restoration Plan

Dave Crossman of B & C Associates represented the applicant Mr. White, he reviewed the violation where stone had been added to the wetlands and shrubs were removed. He has since flagged the wetland using soils, Ms. Ryder and Mr. Dunbar checked the delineation and made some adjustments as shown on the plans. The plans also show the 30' wetland setback shown and the area of wetland to be restored. He reviewed the restoration and buffer zone replanting plan and protocol. This restoration work will be overseen by the wetland scientist. The plants chosen are similar to what is in the adjacent wetland and upland area and include black birch, poplar, and witch hazel and other native plants. The Commission reviewed the plant list and was fine with it. He noted that the plantings would be done in the fall as summer is a bad time to plant. The Commission agreed that once approved they would have 30-60 days to remove the stone down to the original native much/top soil and could begin planting between September 1 and Oct. 15th. The wetland impact is estimated to be 1400 sq. ft. with shrubs to be planted 8' on center. Ms. Ryder will confirm spacing and quantity with new commission BZ Restoration guidelines. After some discussion agreed with the proposal and the timelines as outlined. Ms. Ryder noted that at DEP's recommendation this project should be reviewed and approved through an enforcement order rather than an NOI as that is a cleaner way to process this. She had drafted an enforcement order similar to the violation letter issued previously. The Commission agreed and on a motion by Mr. Skarin, with a second by Mr. Clancy to issue an enforcement order as noted, the commission voted unanimously, 7-0 to approve. The Commission agreed that the plans as presented would restore the wetland and buffer zone therefore on a motion by Mr. Skarin, with a second by Mr. Clancy to approve the wetland and buffer zone restoration plan, the Commission voted unanimously 7-0 to approve.

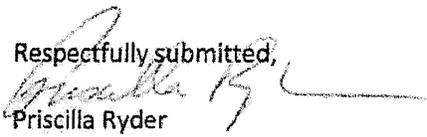
DEP – 212-1251 Ken’s Foods – Minor change to plan

Ms. Ryder noted that Ken’s foods had to shift some parking and landscaping around to accommodate safer parking. They presented a revised planting plan and parking layout for the small section in the riverfront area. Overall impervious area is reduced, and planting is increased. The Commission agreed this was a minor change and that the Order of Conditions will cover this change. On a motion by Mr. Skarin, with a second by Mr. Clancy to approve the plan changes and updated narrative titled: “Revised June 1, 2023, Mitigation Planting Plan, 1 D’Angelo Drive Marlborough, MA” the commission voted unanimously 7-0 to approve as a minor change.

Adjournment

On a motion by Mr. White, with a second by Mr. Clancy to adjourn the Commission voted unanimously – 7-0 to adjourn. Meeting adjourned @ 9:02pm

Respectfully submitted,



Priscilla Ryder
Conservation/Sustainability Officer

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2023 JUL 18 AM 9:12

MARLBOROUGH HISTORICAL COMMISSION

MEETING MINUTES

April 27, 2023

CITY HALL, 140 MAIN STREET
COUNCIL COMMITTEE MEETING ROOM, 7:00PM

Board Members:

Brendan Downey, Chair – present
Sarah Hough, Vice Chair – present
Stephanie Ferrecchia – delayed
Kathleen Newton – present
Adrian Gilbert, Secretary – present

1. Meeting called to order at 7:04PM
2. Motion put forth and seconded to approve March 16, 2023 minutes. Motion passes 4 - 0

Brendan Downey, Chair - AYE
Sarah Hough - AYE
Stephanie Ferrecchia - ABSENT
Kathleen Newton - AYE
Adrian Gilbert – AYE

3. Current Business

- A. *Historic Home Signage, Discussions centered on Marlborough web site restrictions and how to follow those guidelines. Discussion required with Marlborough IT Department for posting of signage information and signage application. Chair Downey will request an email address for the Historical Commission as the method for contacting Historical Commission for this project and any other current or future projects or requests. Signage Maker's address will provided so requesting party will make payment directly to the sign maker. Historical Commission will inform informing requesting party of updates for review of request and discussion if they wish to attend scheduled meeting.*
- B. *Secretary has generated an application form but requires additional information, from Chair, for completion. Will complete form prior to next meeting for review by Commission Members.*
- C. *Chair Brendan Downey has discussed web site templet with IT Department. Header, News, and Calendar formats cannot be altered, but can be updated. Main body and the Index of the page can also be updated. Tentative plan to list the documents, that may be of interest to Marlborough citizens or visitors, currently being generated in the Index with links to these pages within the body of the Home Page document.*

New Business

- A. *Reminder to complete Conflict of Interest web based course for all City employees and volunteers. Question from Secretary Gilbert, is Conflict of Interest required of all individuals in the same time frame or on the individual's anniversary date, for example my anniversary date is December 5?*

- B. *Reminder to committee that the "Paint Palette Document" should be reviewed for the next meeting (Gilbert), and that the revised version must also be presented to New England Historic Organization and Old Sturbridge Village, as they provided information for the document, prior to posting. This information can then be passed along to Tin Htway, Marlborough Building Commissioner who originally requested our input on the subject of interior and exterior paint colors. Remaining documents should also be reviewed over the following meetings for approval.*
- C. *Commission is currently at five members, Brendan will reach out to Mayor's Office to remind them of his request to post for additional members.*

General Topics of Discussion (NO VOTES REQUIRED)

- A. *General discussions about grants for home owners to make improvements to their property. Highlighting a home each month on the web site for style and or exterior paint color(s). Suggested Alan Slattery's home and business, former commission member, as an initial posting. Chair Downey will reach out to Alan. This suggestion will be reviewed at the next meeting and voted on at that time.*
4. *Motion to Adjourn meeting, 8:20PM. Motion passes 5 - 0*

*Brendan Downey, Chair - AYE
Sarah Hough - AYE
Stephanie Ferrecchia - AYE
Kathleen Newton - AYE
Adrian Gilbert - AYE*

*Respectfully Submitted,
Adrian Gilbert, Secretary
Marlborough Historical Commission*



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2023 JUL 18 AM 9:12

MARLBOROUGH HISTORICAL COMMISSION

MEETING MINUTES

May 18, 2023

CITY HALL, 140 MAIN STREET

COUNCIL COMMITTEE MEETING ROOM, 7:00PM

Board Members:

Brendan Downey, Chair – present
Sarah Hough, Vice Chair – absent
Stephanie Ferrecchia – absent
Kathleen Newton – present
Adrian Gilbert, Secretary - present

1. Meeting called to order 7:06 PM
2. Motion put forth to table minutes of April 27, 2023 for a full vote of the members until June 15, 2023 meeting. Motion passes / fails 3 -0

Brendan Downey, Chair - Aye
Sarah Hough – not present
Stephanie Ferrecchia – not present
Kathleen Newton - Aye
Adrian Gilbert – Aye

3. *Current Business*
 - A. *Signage program updates. Two mock applications were presented, difference being the quantity of information allowable on the sign. Since space will be limited, version 1 was approved. As a potential addition, a photograph of the structure and detailed description could be generated as an accessible file by the public to the Commission's web site. Kathleen Newton has been asked to be the MHC liaison with the City IT Department and will ask this possibility at a later date.*
 - B. *Physical characteristics of the sign were obtained by Brendan Downey and included in the application. A new request has been received, verbally, and will be the Beta Test for the application form.*



- C. *Interior and Exterior Paint Palette document has wallpaper examples included. Document will be emailed to New England Historical.org and Old Sturbridge Village for their approval. Reminder that we are using their research for educational purposes and their approval has been agreed upon by MHC. A final vote on the document will be held at the next meeting, June 15, 2023.*

No vote required at this time.

4. *Motion to Adjourn meeting, 7:53 PM. Motion passes 3 – 0*

Brendan Downey, Chair - Aye

Sarah Hough - absent

Stephanie Ferrecchia - absent

Kathleen Newton - Aye

Adrian Gilbert – Aye

Respectfully Submitted,

Adrian Gilbert, Secretary

Marlborough Historical Commission





MARLBOROUGH HISTORICAL COMMISSION HISTORICAL HOUSE SIGNAGE PROGRAM

Program Description

To advance the understanding of Marlborough's architectural, cultural, and historical heritage, the Marlborough Historical Commission (MHC) has created a Historic Building and House Signage Program. An owner of a historic building located in Marlborough may file an application requesting the MHC verify that the structure is historically significant according to the standards described below. If the MHC, after review, approves the application, the owner will be permitted to order the sign and place it on the structure in compliance with the terms of the program described. Except for complying with the terms of the program, a determination does not limit a building owner's handling of the property.

Requirements

Completed Application and Payment:

Owner of the building must submit the application to the MHC. Explanation and documentation sections of the application are very important. MHC has limited resources and requests the applicant provide it with the necessary information so that the MHC can make a proper determination as to whether the building meets the conditions of the program.

MHC will give noted significance to the information provided by the applicant. Inventories of historic resources provided by the Massachusetts Historical Commission, town assessors' records, land evidence records at the South Middlesex County District Registry of Deeds, probate records, and similar documentary evidence. Copies of Inventories of Historic Resources can be found on the web at the "MACRIS" website: "mhc-macris.net". Assessors' records can be found at the City Assessors' Office. Records indicate the owner and prior owner of the lot the building occupies.

Please include all historical information you are aware of or kindly obtain from the sources above, plus copies or scans of any other supporting historical documents, including photographs or postcards if you have them. Do not enclose original historical documents. City of Marlborough and Marlborough Historical Commission are not liable for the loss of or damage to any historical documents.

A copy of the application is attached below and a copy may be downloaded and completed. Copies will also be available at **the City Clerk's office** at City Hall and the MHC web site.

Mail, email, or hand deliver the completed application and copies of all supporting documents to the Commission.

Our email address is _____

The mailing address is:

Marlborough Historical Commission
Marlborough City Hall
140 Main Street, Marlborough, MA 01752

Review Process

MHC will review the applications and supporting documents, investigate and attempt to confirm the assertions made therein and will vote on whether to approve the application. Because the MHC meets only once a month, it may take several weeks for a decision to be rendered. The MHC will notify the applicant of the date for the discussion and vote of their request if they wish to attend the meeting. A decision will be sent via email or, if the applicant does not have an email address, by regular mail. The MHC will allow an application to be reconsidered only if the applicant submits newly discovered evidence in support of the application.

If the application is approved, the MHC will sign the application where indicated, and send it back to the applicant together with a completed order form, the "Approval Form", to order the sign. Applicant must mail a copy of the signed application and Approval Form to the sign maker. All relevant information for contacting the sign maker will be included on the Approval Form, you will make payment directly to the Sign Maker.

The Sign and Sign Placement

The sign will be approximately 18 inches high and 20 inches wide and will be made of PVC. All signs will have the name of the Marlborough Historical Commission, circa of construction, and name of the house.

The sign must be placed on the front, street-facing side of the building, on the right or left side of the door, with the closest edge being within 3 feet of the door. It should not interfere with the placement of house numbers. The applicant is responsible for the installation of the sign on their building.

May 19, 2023

**Marlborough Historical Commission
Historical Building & House Signage Program
Application**

Application Date _____

Owner/Applicant Name _____

Property Owner Name, if Different _____

Mailing Address _____

Email _____

Home Phone _____ Cell Phone _____

Historical House Address: _____

Date of Construction: _____

Property name (original owners or historic name) _____

Original builder, architect, and/or designer _____

Historical information about the property and/or any associated events, owners,
inhabitants, builders, architects, and/or designers (up to four short lines)

REMINDER: Please provide as much information as possible. *Attach copies or scans of any supporting historical documents, if available. Copies of sources of information regarding date of construction and retention of integrity of the original design and construction: (Please list documents the applicant is relying on to substantiate their claims, i.e. deeds, old photographs, assessors' records, building plans, etc., and submit photocopies only, no original documents, of the documents with the application.)*

**MINUTES
MARLBOROUGH PLANNING BOARD
MARLBOROUGH, MA 01752**

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1A

2023 JUN 27 PM 2: 18

Call to Order

May 22, 2023

The Meeting of the Marlborough Planning Board was called to order at 7:00 pm in Memorial Hall, 3rd Floor City Hall, 140 Main Street, Marlborough, MA. Members present: Sean Fay, Barbara Fenby, James Fortin, Dillon LaForce, George LaVenture, and Chris Russ. Member Absent: William Fowler.

1. Draft Meeting Minutes

A. May 8, 2023

On a motion by Dr. Fenby, seconded by Mr. LaVenture, the Board voted to accept and file the May 8, 2023, meeting minutes. Yea: Fay, Fenby, Fortin, LaForce, LaVenture, and Russ. Nay: 0. Motion carried. 6-0.

2. Chair's Business

A. Street Acceptance - **No updates**

B. Council Order No. 23-1008872 – **NO DISCUSSION, Public hearing set for June 5, 2023**

Proposed Zoning Amendment to Chapter 650 "Zoning §36 "Executive Residential Overlay District" (EROD) to increase the cap on the number of multifamily dwelling units

3. Approval Not Required

A. 119 South Street, Marlborough, MA 01752, Map 81, Parcel 85

Name of Applicant: Greystone Construction and Development Corp. (PO Box 586, Marlborough, MA 01752)

Name of Owner: Neto Joao N Silva & Rosilene Gomes De Avelis Nogueira
(119 South Street, Marlborough, MA 01752)

Name of Surveyor: Dillis & Roy Civil Design Group, Inc. (1 Main Street, STE 1, Lunenburg, MA 01462)

Deed Reference: Book: 65589 Page: 260

i. Correspondence from City Engineer, Thomas DiPersio – Engineering Review
Mr. LaVenture read the March 17, 2023, correspondence into the record.

ii. Plan of land Dated: April 26, 2023, Revised: May 17, 2023

On a motion by Dr. Fenby, second by Mr. Russ, the Board voted to accept and file the correspondence and to endorse the above referenced Plan of Land dated April 26, 2023, revised May 17, 2023, as Approval Not Required under the Subdivision Control Law. Yea: Elder, Fay, Fowler, Hodge, LaVenture, Russ, and Fenby. Nay: 0. Motion carried. 7-0.

4. Public Hearings (None)

5. Subdivision Progress Reports

A. 76 Broad Street

Gary White of W.R.E. LLC (319 Stow Road, Marlborough, MA 01752) spoke on behalf of the 76 Broad Street Subdivision. Mr. Fay asked Mr. White for an update. Mr. White explained the existing home on the lot has been torn down and that he has received estimates for the roadway installation and the tree removal and that he is currently waiting on financing.

Mr. White explain the proposed subdivision consists of a 450 ft cul-de-sac with four, two-family lots.

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MARLBOROUGH, MA 01752**

Mr. Fay explained in the subdivision rules and regulations it states that subdivisions need to be complete within two years. The agreed upon covenant had a two-year completion date and if the Subdivision wasn't completed within two years without an extension, there was an automatic rescission.

Mr. Fay explained covenants are normally recorded by the developer at the registry of deeds but do a transition of the administrator for the Board and the developers attorney passing away it appears the covenant may not have been recorded. The administrator explained she was unable to locate an executed copy or a recorded copy.

Mr. Fay explained this is a situation the Board has never been in before and explained this may cause difficulty for Mr. White to obtain financing. Mr. Fay asked if it was still Mr. White's intention to complete the subdivision and Mr. White said, yes. Mr. Fay asked for a timeline and Mr. White explained he intended on having things in order within the next 60 days.

Mr. Fay explained if Mr. White intends to complete the project, the next step would be to get an updated covenant, vote on it and have it recorded.

Mr. Fay asked Mr. White who would be representing him, Mr. White explained possibly Mr. Daniel Burger. Mr. Fay suggested Mr. Burger and the City's solicitor have a conversation on how to proceed.

The administrator told Mr. White she would send him a copy of the most recent covenant on file.

6. Preliminary/Open Space/Limited Development Subdivision

A. Stow Road, Open Space Development Special Permit Application

Map 20, Parcel 4A, Stow Road, Marlborough, MA 01752

Name of Applicant: Kendall Homes, Inc. (P.O. Box 766, Southborough, MA 01772)

Name of Owner: McCabe Family Irrevocable Trust and Judith McCabe (6 Erie Drive, Hudson, MA 01749)

Name of Engineer: Connorstone Engineering, Inc. (10 Southwest Cutoff, Northborough, MA 01532)

Deed Reference: Book: 66136 Page: 582, Book: 78814 Page: 590

i. Flowchart

ii. Draft Special Permit Revised: May 16, 2023

iii. Correspondence from City Engineer, Thomas DiPersio – Draft Special Permit Review

Mr. LaVenture read the May 22, 2023, correspondence into the record. – See attached.

On a motion by Dr. Fenby, seconded by Mr. LaVenture, the Board voted to accept and file the correspondence.

Yea: Fay, Fenby, Fortin, LaForce, LaVenture, and Russ. Nay: 0. Motion carried. 6-0.

Mr. Russ addressed concerns on the 50-foot permanent buffer zone on the plan and explained this could likely be addressed during the definitive submission. Mr. Fay explained it should be defined here.

Mr. Fay requested Condition #9E and #9F be removed because it is covered under Condition 7.

On a motion by Dr. Fenby, seconded by Mr. LaVenture the Board voted to refer the 547 Stow Road, draft special permit to the Legal Department for review, incorporating the City Engineer, Thomas DiPersio's comments and the removal of conditions #9E and #9F. Yea: Fay, Fenby, Fortin, LaForce, LaVenture, and Russ. Nay: 0. Motion carried. 6-0.

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On a motion by Dr. Fenby, seconded by Mr. LaVenture the Board voted to refer the question “who is eligible to the vote on the 547 Stow Road, Special Permit?” to the Legal Department. Yea: Fay, Fenby, Fortin, LaForce, LaVenture, and Russ. Nay: 0. Motion carried. 6-0.

7. Definitive Subdivision

A. 689 Pleasant Street, Marlborough, MA 01752 - Open Space Development Definitive Subdivision Plan

Owner of Land: Joyce Beauchemin Realty Trust, Timothy L. Beauchemin, Trustee
(P.O, Box 1067, Townsend, MA 01469)

Name of Engineer: Daniel Koravos, P.E., (59 Granite Lane, Chester, NH 03036)

Name of Surveyor: Hugo Findeisen, (P.O. Box 612 Sandown, NH 03873)

Deed Reference: Book: 45210 Page: 560

- i. Flowchart
- ii. Draft Certificate of Vote Dated: May 17, 2023
- iii. Draft Covenant Dated: May 17, 2023
- iv. Draft Homeowners Association Dated: May 17, 2023

Tim Beauchemin spoke on behalf of the 689 Pleasant Street Open Space Development.

The Board reviewed the above draft documents and determined they were missing minor information regarding dates and members in attendance at the public hearing.

On a motion by Dr. Fenby, seconded by Mr. Russ, the Board voted to refer the draft certificate of vote, covenant and homeowners association documents to the Legal Department for review once the missing dates and names had been filled in. Yea: Fay, Fenby, Fortin, LaForce, LaVenture, and Russ. Nay: 0. Motion carried. 6-0.

8. Signs (None)

9. Correspondence (None)

10. Unfinished Business

A. Working Group

i. Draft Abutters Guide

Mr. Russ went over the draft abutters guide and discussed the changes.

The Board suggested the following changes:

- Deleting language “and volunteer their time to serve on the Board”
- Adding language explaining to residents that they do not have to attend public hearings if they choose not to. “Abutters are not required to attend”
- Adding the administrators contact information
- Adding language referring residents to the meeting minutes
- Deleting language “Any interested party may request a copy of any decision from the Planning Board office”

11. Calendar Updates

- A. Stow Road, Open Space Development Special Permit Application – 90 days expires Sunday, March 19, 2023, extension granted to June 11, 2023 - Vote on or before **June 5, 2023**, meeting

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- B. Beauchemin Estates, 689 Pleasant Street Definitive Subdivision – 90 days expires Sunday May 14, 2023 – Extension granted to June 26, 2023 - Vote on or before **June 26, 2023**, meeting

12. Public Notices of other Cities & Towns (None)

The Board endorsed the 119 South Street ANR Plan.

On a motion by Mr. LaForce, seconded by Mr. Russ, the Board voted to adjourn the meeting. Yea: Fay, Fenby, Fortin, Fowler, LaForce, LaVenture, and Russ. Nay: 0. Motion carried. 7-0.

Respectfully submitted,



George LaVenture/Clerk

/kmm

TRAFFIC COMMISSION

1

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2023 JUN 23 PM 4:11



**CITY OF MARLBOROUGH
OFFICE OF TRAFFIC COMMISSION
140 MAIN STREET
MARLBOROUGH, MASSACHUSETTS 01752**

Traffic Commission Minutes

The Regular Meeting of the Traffic Commission was held on Wednesday, April 26, 2023, at 10:00 am. (The meeting was also recorded and is available to view online at the City of Marlborough's website (www.marlborough-ma.gov). Members present: Chairman - Police Chief David Giorgi, Fire Chief Kevin Breen, Commissioner of Public Works Sean Divoll and City Clerk Steve Kerrigan. Also present: City Engineer Tom DiPersio, Assistant Civil Engineer Ashley Miller and Sgt. Ron Ney and Officer Andy Larose from the MPD Traffic Services Unit and local residents Peter and Martha Welsh.

Minutes taken by Karen Lambert, MPD - Public Safety Administrative Assistant.

Chief Giorgi started recording the meeting at 10:05 a.m. and began by welcoming everyone and making introductions.

1- Minutes

Review of the minutes of the Traffic Commission meeting of Wednesday, March 29, 2023.

VOTE TO APPROVE. All in Favor - Accept and Place on File.

2 - New Business

2a) Request for speed limit signs on Hager Street

Chief Giorgi received an email from Peter Welsh on this issue. Peter and Martha Welsh were in attendance. Peter explained that they moved in on March 30th and were well aware that Hager Street is a popular cut-through street. They were surprised to find that there were no 25 mph speed limit signs in this area as there are on the Framingham

section of the cut-through. They are requesting, for consistency, to post this area as 25 mph in both directions. Peter said that coming over the hill to the light, cars go even faster. He has also spoken to many neighbors, and they are all in agreement that when this section was repaved the speed has increased. They would also not be averse to speed bumps being added.

Chief Giorgi asked Engineering if there are any regulations here? Tom DiPersio said, no the area is not currently regulated. Officer Larose said that it is currently considered "Thickly Settled - 30 mph". Mr. DiPersio advised that we do have the ability to make this area "Thickly Settled -25 mph". It would make sense to follow the same speed as the Framingham section. The City Council has approved an amendment that allows the city to choose "Thickly Settled - 25 mph" on a city-wide basis or by individual streets. Ashley Miller said that Framingham went to 25 mph on all "thickly settled" streets but the Marlborough City Council wanted to have a choice as to which areas were "Thickly Settled - 30 mph" and which were "Thickly Settled - 25 mph". Ashley Miller noted that it's .8 miles to the first speed limit sign in Framingham.

Chief Giorgi asked if it would make sense to put the electronic speed limit signs out and collect accurate data. All agreed this was a good idea. He explained for the Welsh's benefit, how the electronic speed signs work and the types of information and reports that can be generated. He doesn't disagree that the area should be kept consistent with Framingham. Ms. Miller said that she would also have to advise MA DOT of any changes.

MOTION was made, seconded, duly VOTED to REFER to the POLICE DEPARTMENT to put the electronic speed signs out and share the reports with the Welsh's and their neighbors.

2b) Traffic light concern at the Simarano Drive/Forest Street Intersection

Chief Giorgi received an email from Matthew Melanson on this issue. He works at a local company and travels through this intersection on his commute to work, Monday - Friday. He has noticed a timing issue with the lights at this intersection for several years but decided to try to do something when a coworker was describing an accident that had just taken place here. He said in his email, "The traffic defaults to Forest Street meaning that if the sensors on Ames/Simarano don't sense any cars, the traffic lights for Ames/Simarano immediately turn to yellow. It will do this even if there are no cars waiting on Forest St. To make matters worse, the yellow light isn't very long, and I believe that's a safety concern, especially for the cars coming down steep Simarano Drive."

He also noted another issue when a car in the middle of the traffic queue on Simarano turns left onto Campus Drive. Other cars slow which creates just enough of a gap in traffic to trigger the yellow light at the intersection. This causes some cars to make a hard stop at the lights or speed up "to make the yellow light". He's also noticed people turning left on red lights because they enter the intersection, wait to turn, and the lights turns red before they have the change to make the turn.

He also went on to describe the accident that occurred and believes it can be attributed to the timing of the lights. He thinks the traffic light should default to green for Ames/

Simarano and turn green for Forest Street when it senses cars are waiting and there are no cars on Ames/Simarano sensed for a few seconds.

Ashley Miller said that she looked into the signal set up and it is operating the way it was designed, but she did observe some of the things that were consistent with Mr. Melanson's email. She advised that we could have a Traffic Signal Consultant investigate further. They would do traffic counts and an analysis to see if any other changes were necessary. She does agree that Simarano/Ames has more traffic. The minimum green for Forest is 10 seconds and the minimum green for Simarano/Ames is 6 seconds and an extended time is not generated if there is a gap in traffic. If there is traffic there, it will stay green longer, for a maximum of 35 seconds on Simarano and 30 seconds on Forest Street.

Commissioner Divoll asked if this issue would rise to the need to pay for a consultant? Tom DiPersio said that Mr. Melanson notes an accident but it's not clear if the timing of the lights was a factor. Ms. Miller said that the lights do seem to be working. Chief Giorgi asked if reversing the minutes of the timing sequence is something that could be done without a consultant? Ms. Miller also noted that she does not know what the evening traffic flow is like. There was further discussion on the timing sequences and defaults. Ms. Miller said that when there are no vehicles there at all, the light stays on what was there last. If there are no cars on Forest Street, why are the lights defaulting to Forest Street, especially for 10 seconds? The lights were installed in 2014 and the newest apartments in the area were not there at the time. Traffic has definitely increased. If we were to change the lights in the am, we are not sure what effect it would have on evening traffic. Sgt. Ney said that Forest Street is very light compared to Simarano Drive and Ames Street. The timing is set by a traffic study at the time they are installed.

Tom DiPersio said that if we want to address this specific concern, we should get a consultant involved, but he questioned if it was necessary. Steve Kerrigan asked about accident history. Officer Larose actually had dash cam video of the specific accident here. Both drivers had yellow lights. Chief Giorgi said that the PD can look into accident history and Ashley Miller could look at evening traffic. Fire Chief Breen noted that there are always complaints about intersections in the city. Chief Giorgi summarized that we can't change the lights now because of 1 complaint. We have checked and they are currently working as designed. If problems persist, we can revisit the issue later. He will respond back to Mr. Melanson.

MOTION was made, seconded, duly VOTED to REFER to Chief Giorgi to respond back to Mr. Melanson with an update on the discussion.

2c) Review of unwarranted stop sign locations

This issue was added to the agenda at the request of Commissioner Divoll. Ashley Miller advised that she is working on traffic counts for the areas in question. Steve Kerrigan is assuming any unwarranted stop signs would be coming down, just like on Bigelow Street. Ms. Miller noted that a couple of them may be regulated.

She specifically noted the areas of:

- Beach Street

- Clinton Street
- Old Charter Road (T-Intersection)

MOTION was made, seconded, duly VOTED to KEEP on the Agenda for further discussion.

3-Old Business

3a) Request for a crosswalk on Elm Street/Broad Street Area.

Update: Chief Giorgi advised that he sent another email to Councilor Irish but has not received an answer. ACCEPT and PLACE ON FILE.

3b) TT parking issues on Northboro Road

Update: At the last meeting, it was discussed that this area would be added to the "Time Limit Parking" section of the regulations. Two-hour parking was agreed upon. Chief Giorgi advised that he still needs the language to create the regulation. Engineering will forward this information to Chief Giorgi so he can create the regulation for a vote at the next meeting.

Chief Giorgi asked to discuss an item not on the agenda.

Chestnut Street No Parking Sign

Chief Giorgi received an email from Councilor Irish for this issue after the agenda for this meeting was already set. Councilor Irish would like the Traffic Commission to consider adding a No Parkin Sign on Chestnut Street, on the same side as the sign for Handicapped Parking, from the corner of Mechanic Street up to the sign. He believes this will improve visibility for all and keep vehicles from parking too close to the Handicapped area.

Chief Giorgi went out and looked at the street and agrees this area is tight. It could be an enforcement issue, i.e., parking too close to an intersection. The handicapped spot is also in a difficult location on the slope. Ashley Miller confirmed that the handicapped spot is in the regulations. Steve Kerrigan said that maybe this particular spot should be looked at again as we are now renewing the permits annually. The handicapped spot may not even be needed anymore. Chief Giorgi pulled up the street location on google maps for reference. You can see the sign near the driveway for 17 Chestnut Street and a ramp on the house. These types of spots are now annual permits. It was also noted that the driveway for this house is on Mechanic Street. It also looks like the spot is within 20 feet of the intersection. The opposite side of the street is posted as No Parking Anytime.

MOTION was made, seconded, duly VOTED to REFER to ENGINEERING to investigate and see if the handicapped spot is still needed. And REFER to the POLICE DEPARTMENT to enforce the City Ordinance for no parking within 20 feet of an intersection.

TRAFFIC COMMISSION

5

April 26, 2023

That there being no further business of the Traffic Commission held on this date, the meeting adjourned at 10:35 am.

Respectfully submitted,

Karen L. Lambert
Records Clerk
Marlborough Police Department

List of documents and other exhibits used at the meeting:

- City of Marlborough Meeting Posting for the Traffic Commission Meeting on April 26, 2023, including meeting agenda.
- Draft of Traffic Commission Minutes from Wednesday, March 29, 2023.
- Email from Peter Welsh to the Police Department, dated 4/7/23, re: Speed limit signage for Hager Street.
- Email from Matthew Melanson to Chief Giorgi, dated 3/28/23, re: Traffic Light Concern Simarano Dr/Forest St Intersection.

Additional Handouts

- Email from Councilor Irish to Chief Giorgi, dated 4/24/23, re: Chestnut St. No Parking Sign.