

REGULAR MEETING
SEPTEMBER 13, 2021
TIME: 8:00 PM

IN CITY COUNCIL
ABSENT
LOCATION: CITY HALL, 140 MAIN STREET, 2ND FLOOR

CONVENED:
ADJOURNED:
RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2021 SEP -9 P 1:05

CITY COUNCIL AGENDA

This meeting of the City Council will be held in City Council Chambers on Monday, September 13, 2021 at 8:00 PM. **PUBLIC ATTENDANCE IS PERMITTED.** This meeting will be televised on WMCT-TV (Comcast Channel 8 or Verizon/Fios Channel 34) or you can view the meeting using the link under the Meeting Videos tab on the city website (www.marlborough-ma.gov).

1. Minutes, City Council Meeting, August 23, 2021.
2. From Council President Ossing having Mayor Vigeant, provide an update to the City Council regarding COVID-19.
3. PUBLIC HEARING on the Petition from Massachusetts Electric and Verizon New England, to install a new jointly owned Pole #15-5 and permission for NGRID to install three (3) 50K (120/208) transformers and underground riser-perm connection to customer at 121 Bolton Street, Order No 21-1008373.
 - a) Communication from City Engineer Thomas DiPersio, re: Recommended conditions for Petition from Massachusetts Electric and Verizon New England, 121 Bolton Street.
4. PUBLIC HEARING on the Petition from Massachusetts Electric and Verizon New England, to install a new jointly owned Pole #15-15 at 181 Cedar Hill Street, Order No 21-1008374.
5. PUBLIC HEARING on the Petition from Massachusetts Electric, to replace direct buried cable with cable in conduit using directional drill method on Ferrecchia Drive, Order No. 21-1008375.
6. Communication from Councilor Ossing and Councilor Tunnera, re: Municipal Aggregation – September 2021 Update.
7. Communication from the Mayor, re: Grant Acceptances from the Executive Office of Public Safety & Security, FY22 State 911 Grant Program as follows:
 - a) In the amount of \$28,721.48 to fund the purchase of equipment, conduct quality assurance reviews and offset overtime costs for Dispatch personnel.
 - b) In the amount of \$154,964.00 to be used to offset personnel overtime costs in the Public Safety Dispatching Center.
 - c) In the amount of \$38,072.48 to the Police Department to fund all mandated trainings for Dispatch personnel.

Electronic devices, including laptops, cell phones, pagers, and PDAs must be turned off or put in silent mode upon entering the City Council Chamber, and any person violating this rule shall be asked to leave the chamber. Express authorization to utilize such devices may be granted by the President for recordkeeping purposes.

8. Communication from the Mayor, re: Grant Acceptances from BayPath Elder Services awarded to the Council on Aging as follows:
 - a) In the amount of \$7,000.00 which will be utilized to assist seniors to obtain “A Hoarding and Clutter Free Lifestyle”.
 - b) In the amount of \$4,000.00 which will be utilized to have two (2) trained and certified staff members in PEARLS (Program to Encourage Active Rewarding Lives).
9. Communication from the Mayor, re: Gift Acceptance in the amount of \$7,500.00 from Digital Federal Credit Union (DCU) to the Police Department to support the departments community outreach programs such as the Youth Academy and the Christmas Heroes for Helpers program.
10. Communication from the Mayor, re: Transfer Request in the amount of \$93,243.00 which moves funds from Reserved for Salaries to Sick Leave Buy Back and Longevity to fund recent retirements in the Department of Public Works and Police Departments.
11. Communication from the Mayor, re: Transfer Request in the amount of \$70,645.00 which moves funds from Assistant Building Commissioner to Contract Services to fund additional resources to assist within the Building Department.
12. Communication from Solicitor Jason Grossfield, re: Proposed Zoning Amendment to Chapter 650 of the Code, to add a new section to create the “Commercial Village Housing Overlay District”, in proper legal form, Order No. 21-1008293.
13. Communication from Solicitor Jason Grossfield, re: Application for Special Permit from Attorney Michael Brangwynne, on behalf of Raising Cane’s Restaurants, LLC, to construct and operate a restaurant with two drive-thru service lanes on the site at, 141 Boston Post Road West, in proper legal form, Order No. 21-1008307.
14. Communication from Solicitor Jason Grossfield, re: Application for Special Permit from Edgewood Entertainment, LLC, to operate indoor golf simulators and a bar area in the existing building at 229 Boston Post Road West, in proper legal form, Order No. 21-1008328.
15. Communication from Solicitor Jason Grossfield, re: Application for Special Permit from Attorney Brian Falk, on behalf of Dasilva Landscaping, Inc., to construct and operate a landscaper’s yard at the Airport Industrial Park, 685 Farm Road, Unit 17, in proper legal form, Order No. 21-1008345.
16. Communication from Solicitor Jason Grossfield, re: Application for Special Permit from Attorney Brian Falk, on behalf of Lourival Masonry, LLC, to construct and operate a contractor’s yard at the Airport Industrial Park, 685 Farm Road, Unit 18, in proper legal form, Order No. 21-1008346.
17. Communication from Solicitor Jason Grossfield, re: Application for Site Plan Review from Attorney Brian Falk on behalf of Global Montello Group Corp., to add a patio with seating next to its newly renovated convenience store within the Wayside District, 656 Boston Post Road East, in proper legal form, Order No. 21-1008353.
18. Communication from City Clerk Steven Kerrigan, re: Information on Vote by Mail & Early Voting, along with a request to authorize In-Peron Early Voting for the Municipal Election being held on Tuesday, November 2, 2021.
19. Petition from Crown Castle NG East LLC, to install underground conduit on Crowley Drive and Fitchburg Street.

20. Communication from Executive Office of Housing and Economic Development, re: Request for advisory opinion on ‘Eligible Location’ of proposed Commercial Village Housing Overlay District.
21. Communication from Central MA Mosquito Control Project, re: Personnel will be in the community responding to residents’ concerns about mosquitos on various dates in September 2021.
22. Communication from Scott Weiss of the Gutierrez Company, re: Proposed “Commercial Village Housing Overlay District”, Order No. 21-1008293.
23. Communication from Michele Guadagnino and Michael Tutterman, re: Request to transfer name and renew for an additional 5-year term the license for parking by the owners of 56 Emmett Street.
24. Communication from various residents in opposition of the Application for Special Permit to build a multifamily residential project in the Business District to be known as Walcott Heritage Farms, 339 Boston Post Road East (McGee Farm), Order No. 20/21-1007995.
25. Application for Special Permit from Attorney Brian Falk, on behalf of Aubuchon Realty Company, Inc., for two drive-through facilities associated with a new Starbucks and a bank at the Wayside Crossing Plaza, 661 Boston Post Road East.
26. Minutes of Boards, Commissions and Committees:
 - a) School Committee, June 22, 2021.
 - b) Conservation Commission, July 22, 2021, August 5, 2021 & August 19, 2021.
 - c) Historical Commission, June 17, 2021.
 - d) Planning Board, June 7, 2021 & June 21, 2021.
27. CLAIMS:
 - a) Gloria Oliveira, 30 Main Street, Marlborough, other property damage and/or personal injury.
 - b) Cloves Freitas, 15 Briarwood Lane, Marlborough other property damage and/or personal injury.
 - c) Richard Lamy, 76 Phelps Street, Marlborough, residential mailbox claim (2a).

REPORTS OF COMMITTEES:

UNFINISHED BUSINESS:

From Urban Affairs Committee

28. **Order No. 21-1008293C: Proposed Amendment to Zoning Code, Chapter 650 by adding a new section to create the “Commercial Village Overlay District” (X 18-1007134B).**

Removed from the Urban Affairs Committee. At the August 23, 2021 City Council meeting on a motion by Chair Robey this matter was reported back to the full Council and a vote to refer to the Solicitor to be placed in proper legal form was approved.

29. **Order No. 21-1008307D: Application for Special Permit from Attorney Brangwyn on behalf of Raising Cane's Restaurants, LLC to construct and operate a restaurant with two drive-thru service lanes on site at 141 Boston Post Road West.**

Recommendation of the Urban Affairs Committee is to APPROVE. Councilor Landers moved to recommend approval of the draft Special Permit as submitted; the chair seconded. Motion carried 5-0. The chair will ask for a Suspension of Rules at the August 23 Council meeting to have this referred to solicitor to be placed in proper form.

30. **Order No. 21-1008328B: Application for Special Permit from Edgewood Entertainment, LLC, to operate indoor golf simulators and a bar area in the existing building at 229 Boston Post Road West.**

Recommendation of the Urban Affairs Committee is to APPROVE as amended. Councilor Doucette moved to recommend approval of the Special Permit as amended; the motion was seconded by chair. The motion carried 5-0. The chair will ask for a Suspension of Rules at the August 23rd meeting to refer this to solicitor to be placed in proper form.

31. **Order No. 21-1008345B: Application for Special Permit from Attorney Brian Falk, on behalf of Dasilva Landscaping, Inc., to construct and operate a landscaper's yard at the Airport Industrial Park, 685 Farm Road, Unit 17.**

Recommendation of the Urban Affairs Committee is to APPROVE with amended site plan. Councilor Doucette moved to recommend approval of the Special Permit with the amended Site Plan; chair seconded. The motion carried 5-0. The chair will ask for a Suspension of Rules at the August 23 Council meeting to have this referred to solicitor to be placed in proper form.

32. **Order No. 21-1008346B: Application for Special Permit from Attorney Brian Falk, on behalf of Lourival Masonry, LLC, to construct and operate a contractor's yard at the Airport Industrial Park, 685 Farm Road, Unit 18.**

Recommendation of the Urban Affairs Committee is to APPROVE. Councilor Navin moved to recommend approval of the Special Permit; the chair seconded. The motion carried 5-0. The chair will ask for a Suspension of Rules at the August 23 Council meeting to have this referred to solicitor to be placed in proper form.

33. **Order No. 21-1008353A: Application for Site Plan Review from Attorney Brian Falk on behalf of Global Montello Group Corp., to add a patio with seating next to its newly renovated convenience store within the Wayside District, 656 Boston Post Road East.**

Recommendation of the Urban Affairs Committee is to APPROVE with conditions as amended. Councilor Doucette moved to recommend approval of the Site Plan with conditions as amended; the chair seconded. The motion carried 5-0. The chair will check to see if the site plan decision document should be forwarded to the Solicitor to place placed on the next agenda in proper form. If so, chair will ask for suspension of the rules at the August 23 Council meeting to do so. If not, she will ask for a suspension to approve the Site Plan as amended.

Councilors-at-Large

Mark A. Oram
 Michael H. Ossing
 Samantha Perlman
 Kathleen D. Robey

**Ward Councilors**

Ward 1 – Laura J. Wagner
 Ward 2 – David Doucette
 Ward 3 – J. Christian Dumais
 Ward 4 – Robert J. Tunnera
 Ward 5 – John J. Irish
 Ward 6 – Sean A. Navin
 Ward 7 – Donald R. Landers, Sr.

RECEIVED
 CITY CLERK'S OFFICE
 CITY OF MARLBOROUGH
 2021 AUG 30 10:45 AM

Council President

Michael H. Ossing

Council Vice-President

Kathleen D. Robey

**CITY OF MARLBOROUGH
 CITY COUNCIL
 MEETING MINUTES
 MONDAY, AUGUST 23, 2021**

The regular meeting of the City Council was held on Monday, August 23, 2021 at 8:00 PM in City Council Chambers, City Hall. City Councilors Present: Ossing, Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Perlman & Robey. Meeting adjourned at 9:57 PM.

City Council President Ossing asked all in attendance to stand for a moment of silence for Lawrence R. Foti former Clerk of Committees for the City Council who recently passed away.

Motion by Councilor Tunnera, seconded by the Chair to adopt the following:

ORDERED: That the Minutes of the City Council meeting, July 19, 2021, **FILE**; adopted.

Motion by Councilor Tunnera, seconded by the Chair to adopt the following:

Suspension of the Rules requested to allow the Mayor to speak – granted.

Mayor Vigeant provided the City Council with an update regarding COVID-19.

That the PUBLIC HEARING on the Petition of Verizon Wireless for the installation of a small cell wireless facility to be located on the existing Pole within the public right of way at 123 Boston Post Road West, Pole #7, Order No. 21-1008355, all were heard who wish to be heard, hearing closed at 8:20 PM, adopted.

Councilors Present: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman & Robey.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That the Tolling Agreement between Verizon Wireless and the City of Marlborough to extend time limitations to September 28, 2021 for approval of small cell wireless facility, 123 Boston Post Road West, Pole #7, **APPROVED**; adopted.

That the PUBLIC HEARING on the Petition of Verizon Wireless for the installation of a small cell wireless facility to be located on the existing Pole within the public right of way at 493 Boston Post Road West, Pole #1, Order No. 21-1008356, all were heard who wish to be heard, hearing closed at 8:24 PM, adopted.

Councilors Present: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman & Robey.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That the Tolling Agreement between Verizon Wireless and the City of Marlborough to extend time limitations to September 28, 2021 for approval of small cell wireless facility, 493 Boston Post Road West, Pole #1, **APPROVED**; adopted.

That the PUBLIC HEARING on the Petition of Verizon Wireless for the installation of a small cell wireless facility to be located on replacement Pole within the public right of way at 11 Atkinson Drive, Pole #22 (Pole located on Ames Street), Order No. 21-1008357, all were heard who wish to be heard, hearing closed at 8:26 PM, adopted.

Councilors Present: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman & Robey.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That the Tolling Agreement between Verizon Wireless and the City of Marlborough to extend time limitations to September 28, 2021 for approval of small cell wireless facility, 11 Atkinson Drive, Pole #22, **APPROVED**; adopted.

That the PUBLIC HEARING on the Application for Special Permit from Attorney Christopher Flood, on behalf of Post Road Mobile Home Park and Sales, Inc., to create a second mobile home park by dividing an existing permitted mobile home park at 181 Boston Post Road East, Order No. 21-1008354, all were heard who wish to be heard, hearing closed at 8:35 PM, adopted.

Councilors Present: Wagner, Doucette, Dumais, Tunnera, Irish, Navin, Landers, Oram, Ossing, Perlman & Robey.

Motion by Councilor Robey, seconded by the Chair to move up for action, agenda item # 15 and agenda item # 38, **APPROVED**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: Communication from Solicitor Jason Grossfield, re: Application for Special Permit to build a multifamily residential project in the Business District to be known as Walcott Heritage Farms, 339 Boston Post Road East (McGee Farm), in proper legal form, Order No. 20/21-1007995, **MOVED TO ITEM 38** and **FILE**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That the Application for Special Permit to build a multifamily residential project in the Business District to be known as Walcott Heritage Farms, 339 Boston Post Road East (McGee Farm), Order No. 20/21-1007995, be approved, **DENIED**; adopted.

Yea: 5 – Nay: 6

Yea: Dumais, Tunnera, Landers, Ossing, & Robey.

Nay: Wagner, Doucette, Irish, Navin, Oram, & Perlman.

President Ossing called a recess at 9:17 PM and returned to open meeting at 9:23 PM.

Motion by Councilor Irish, seconded by the Chair to adopt the following:

ORDERED: Under authority of MGL Chapter 44, Section 53A, the City Council hereby **APPROVES** the Grant Acceptance in the amount of \$5,000.00 from BayPath Elder Services awarded to the Council on Aging to assist with the transportation needs for Marlborough Seniors; adopted.

Motion by Councilor Irish, seconded by the Chair to adopt the following:

ORDERED: Under authority of MGL Chapter 44, Section 53A, the City Council hereby **APPROVES** the Gift Acceptance in the amount of \$10,000.00 from the late Paul & Marie Winske to the Council on Aging to assist seniors that participate in Senior Center activities; adopted.

Motion by Councilor Dumais, seconded by the Chair to adopt the following:

ORDERED: That the Appointment of Linda Warren to the Council on Aging Board for a 3-year term from date of Council confirmation, referred to the **PERSONNEL COMMITTEE**; adopted.

Motion by Councilor Dumais, seconded by the Chair to adopt the following:

ORDERED: That the Notification of Mayoral appointment of Kevin McLaughlin to the Cultural Council for a 3-year term effective September 1, 2021 pursuant to MGL Chapter 10 §58, **FILE**; adopted.

Motion by Councilor Irish, seconded by the Chair to adopt the following:

ORDERED: That the Proposed Amendment to the City Code, Chapter 67 §11(A) amending “Tax Collector; appointment, terms and duties” and Chapter 125 §6 “Salary Schedule” along with a Proposed Job Description pursuant to Chapter 125 §5 for the position of Tax Collector/Assistant Director of Finance, referred to **FINANCE COMMITTEE AND ADVERTISE**; adopted.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH THAT THE CITY CODE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED AS FOLLOWS:

- I. By amending Section 67-11(A), entitled “Tax Collector; appointment, term and duties.”, by inserting the following sentences at the end of the existing paragraph: Alternatively, the Mayor may, subject to confirmation of the City Council, appoint a City Collector/Assistant Finance Director for a term of two years to expire the day following his/her approval by the City Council. The City Collector/Assistant Finance Director shall assist in the oversight of financial management operations and shall perform all duties of the Tax Collector and City Collector as delineated by City Code.
- II. By amending Chapter 125, entitled “Personnel”, by adding to the salary schedule referenced in Section 125-6, the following:

Position	Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7
	Start	6 months of service	1 year of service	2 years of service	3 years of service	4 years of service	5 years of service
City Collector / Assistant Finance Director	\$79,668.17	\$81,261.53	\$82,886.76	\$84,544.50	\$86,235.39	\$87,960.10	\$89,618.17

Motion by Councilor Irish, seconded by the Chair to adopt the following:

ORDERED: That the Proposed Amendment to the City Code, Chapter 7, Article IV “Department of Public Works” by adding a new §31(D) relative to the position of Assistant Commissioners, along with a Proposed Job Description pursuant to Chapter 125 §5 for the position of Assistant Commissioner of Facilities; referred to **FINANCE COMMITTEE AND ADVERTISE**; adopted.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH THAT THE CITY CODE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED AS FOLLOWS:

- I. By amending Chapter 7, Article IV, entitled “Department of Public Works”, by inserting the following new section 7-31(D):

Section 7-31(D). Assistant Commissioners.

There shall be an Assistant Commissioner of Operations, an Assistant Commissioner of Utilities, and an Assistant Commissioner of Facilities, who shall perform their respective duties under the supervision of the Commissioner of Public Works. Each position shall be appointed by the Commissioner of Public Works, and the term of office shall be coterminous with the term of the Commissioner. These positions shall be compensated in accordance with the Salary Ordinance for the position of Assistant Commissioner - DPW.

Motion by Councilor Irish, seconded by the Chair to adopt the following:

ORDERED: That the Proposed Amendment to the City Code, Chapter 125 §6 “Salary Schedule” to amend the salaries for the Police and Fire Chiefs to be effective July 1, 2021, referred to **FINANCE COMMITTEE AND ADVERTISE**; adopted.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH THAT THE CITY CODE OF THE CITY OF MARLBOROUGH, AS AMENDED, BE FURTHER AMENDED BY AMENDING CHAPTER 125, ENTITLED “PERSONNEL,” AS FOLLOWS:

- I. By adding to the salary schedule referenced in Section 125-6, the following:

Position	Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7
	Start	6 months of service	1 year of service	2 years of service	3 years of service	4 years of service	5 years of service
Chief of Police							\$200,000.00
Fire Chief							\$200,000.00

- II. This ordinance shall supersede and replace any existing rate for said position (if applicable) in the current salary schedule.

- III. The effective date of these amendments shall be July 1, 2021.

Motion by Councilor Tunnera, seconded by the Chair to adopt the following:

ORDERED: That the Communication from Solicitor Jason Grossfield, re: Request for Special License for Temporary Charitable Purposes Sales – FEMARA, Inc., pursuant to MGL Chapter 101 §12A, **MOVED TO ITEM 23 and FILE**; adopted.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That the Communication from Solicitor Jason Grossfield, re: Petition of Verizon Wireless for the installation of a small cell wireless facility to be located on Pole #19 within the layout of Boston Post Road West (Route 20), in proper legal form, Order No. 21-1008294B, **MOVED TO ITEM 37 and FILE**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That Request for Approval of a Free-Standing Sign, Local Roots, 910 Boston Post Road East, within the Wayside District, **APPROVED**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That the Request for Approval of two (2) Flat Roof Signs, Val's Plaza, 561 Boston Post Road East, within the Wayside District referred to **URBAN AFFAIRS COMMITTEE**; adopted.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That there being no objection thereto set **MONDAY SEPTEMBER 13, 2021** as the **DATE FOR PUBLIC HEARING**, on the Petition from Massachusetts Electric and Verizon New England, to install a new jointly owned Pole #15-5 (45-2) and permission for NGRID to solely install at 9-411, install three (3) 50K (120/208) transformers and 3-15k cutouts, install riser-perm connection to customer underground at 121 Bolton Street, referred to the **PUBLIC SERVICES COMMITTEE**; adopted.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That there being no objection thereto set **MONDAY SEPTEMBER 13, 2021** as the **DATE FOR PUBLIC HEARING**, on the Petition from Massachusetts Electric and Verizon New England, to install a new jointly owned Pole #15-15 at 181 Cedar Hill Street, referred to the **PUBLIC SERVICES COMMITTEE**; adopted.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That there being no objection thereto set **MONDAY SEPTEMBER 13, 2021** as the **DATE FOR PUBLIC HEARING**, on the Petition from Massachusetts Electric, to replace direct buried cable with cable in conduit using directional drill method on Ferrecchia Drive, referred to the **PUBLIC SERVICES COMMITTEE**; adopted.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That the Communication from Diane Nelligan of One Energy, Inc., re: Request for expedited processing of request from MA Electric and Verizon for the installation of a jointly owned pole, transformers, and underground riser-perm connection at 121 Bolton Street, **FILE**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

Suspension of the Rules requested –to remove from the Urban Affairs Committee, Order No. 21-1008293, Proposed Zoning Amendment – granted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That the Proposed Zoning Amendment to Chapter 650 of the Code, to add a new section to create the "Commercial Village Housing Overlay District", as amended by the Urban Affairs Committee, referred to the **CITY SOLICITOR TO BE PLACED IN PROPER LEGAL FORM FOR THE SEPTEMBER 13, 2021 CITY COUNCIL MEETING**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That the Communications from various residents in opposition of the Application for Special Permit to build a multifamily residential project in the Business District to be known as Walcott Heritage Farms, 339 Boston Post Road East (McGee Farm), Order No. 20-1007995, **FILE**; adopted.

Motion by Councilor Tunnera, seconded by the Chair to adopt the following:

ORDERED: Under authority of MGL Chapter 101, §12A, the City Council hereby **GRANTS** FEMARA, Inc., for a three-day period, from September 10 through 12, 2021, inclusive, and consistent with the charitable purpose of FEMARA, Inc., a license to conduct under their control a temporary or transient business at their convention being held at the Best Western Royal Plaza Hotel & Trade Center in which transient vendors participating in such sale shall not be subject to the provisions of §§3 to 12 inclusive; adopted.

Motion by Councilor Oram, seconded by the Chair to adopt the following:

ORDERED: That the Communication from Central MA Mosquito Control Project, re: Personnel will be in the community responding to residents' concerns about mosquitos on various dates in August & September 2021, **FILE**; adopted.

Motion by Councilor Tunnera, seconded by the Chair to adopt the following:

ORDERED: That the Communication from Massachusetts Electric Company and Nantucket Electric Company, each d/b/a National Grid re: Approval of Deferral of major storm threshold amounts for calendar year 2020, DPU file # 21-75, **FILE**; adopted.

Motion by Councilor Tunnera, seconded by the Chair to adopt the following:

ORDERED: That the Communication from Commonwealth of Massachusetts Division of Banks, re: Public comment period on a proposed license application filled by Marlboro Services, Inc., d/b/a Brasil Remessa, to operate a check casher location at 38 Main Street pursuant to MGL Chapter 169A §3, **FILE**; adopted.

Councilor Dumais recused.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

ORDERED: That the Communication from a resident of Forest Street, in support of the Proposed Zoning Amendment to Chapter 650 of the Code, to add a new section to create the "Commercial Village Housing Overlay District", Order No. 21-1008293, **FILE**; adopted.

Motion by Councilor Doucette, seconded by the Chair to adopt the following:

ORDERED: That the Minutes of following Boards, Commissions and Committees, **FILE**; adopted.

- a) Conservation Commission, July 1, 2021.
- b) Cultural Council, June 30, 2021.
- c) Traffic Commission, May 26, 2021.

Motion by Councilor Doucette, seconded by the Chair to adopt the following:

ORDERED: That the following CLAIM, refer to the **LEGAL DEPARTMENT**; adopted.

- a) David Ringland, 77 Lincoln Street, Hudson, pothole or other road defect.

Reports of Committees:

Councilor Robey reported the following out of the Urban Affairs Committee:

**City Council Urban Affairs Committee
Tuesday, July 26, 2021; 6:30 PM–Council Chambers
Minutes and Report**

Urban Affairs & Housing Committee members present were Chairman Katie Robey, Councilor Landers, Councilor Wagner, Councilor Doucette, and Councilor Navin. Other councilors present in Chambers were Councilor Ossing and Councilor Dumais. Others attending this meeting are included with each order's information.

Order No. 21-1008328: Special Permit Application, Edgewood entertainment LLC to operate X-Golf, an indoor golf simulator recreational facility with bar area in an existing building at 229 Boston Post Road West.

Attending the meeting were Holly Irvine-Salvi, co-officer Edgewood Entertainment who with her husband plan to renovate an existing building into an X-Golf franchise. Due to its location in a Business Zone, a Special Permit is required, but Site Plan approval is not required from professional Site Plan Review members. The facility would provide family friendly indoor golf simulators for rent as well as food and beverages, both alcoholic and non-alcoholic. There would also be instruction by PGA pros, leagues, tournaments, golf camps and private parties.

The chair reviewed the draft Special Permit. There was discussion on the hours of operation proposed as 7 am to 12 am and the availability of liquor during all hours. The franchise requires a full, all service liquor license for the operation of the business. The petitioners stated they would be extremely cautious in serving alcohol to maintain their license in good standing. The committee agreed that the solicitor would be asked to review any conditions on hours for serving liquor that apply to Apex Entertainment and add appropriate conditions when putting the Special Permit in proper form. It was pointed out that the numbers in Item C need to be corrected to remove double #9 and the solicitor would fill in the yellow highlight of Decision filing as well as #13 in Findings of Facts.

Councilor Doucette moved to recommend approval of the Special Permit as amended; the motion was seconded by chair. The motion carried 5-0. The chair will ask for a Suspension of Rules at the August 23rd meeting to refer this to solicitor to be placed in proper form.

Order No. 21-1008293 (X18-1007134B): Petition from Attorney Robert Buckley on behalf of Marlborough/Northborough Land realty trust re Proposed Amendment to zoning code, Chapter 650 by adding to Article VI section 650-35 commercial Village Overlay District in accordance with exhibit A attached.

Presenting were Attorney Robert Buckley, Riemer and Braunstein and Attorney Scott Weiss, The Gutierrez Company. They stated that although a residential single-family housing subdivision was approved for this property by the Planning Board, the owner would prefer to develop the property as a transitional zone with this proposal designed to offer a buffer between a commercial property nearby and the existing housing to north of property. An attempt to do this was presented in 2018 with Planning Board sending a negative recommendation. The matter was never taken up by Urban Affairs.

The chair read the June 22, 2021 letter from Planning Board into the record with their negative recommendation on the proposed zoning amendment. It did include some suggested amendments if the council chose to approve the zoning change.

Reports of Committee Continued:

The chair read thru the draft noting that 650-35 has been used so the number should be amended. The chair questioned the ability to approve amending zoning by a petitioner that doesn't own land that would be affected. The chair read thru the draft and noted changes recommended by Priscilla Ryder and Tom DiPersio. The committee agreed with the following: B-Authority of Permit Granting Authority, *change Special Permit approval to Site Plan approval in last sentence*; C Master Plan (2) add a new (f) *Confirmation that the soil management plan for dealing with the contaminated soil related to this old apple orchard will be addressed.*

Councilor Doucette moved to amend E-Eligible Uses 1a from "up to 120 dwelling units" to 90 units and 2a from "120 units" to 90 units; the motion was seconded and carried 5-0.

Mr. DiPersio recommended adding at end of F-Dimensional requirements (3) the following: *Add minimum side yard and rear yard measurements shall be less than 150 feet with a vegetated or landscaped buffer of 100 feet to be provided.* Councilor Doucette moved to approve the changes; chair seconded. Motion carried 5-0.

Councilor Doucette moved to amend F-Dimensional requirements (5) "not to exceed 60 feet" to be *not to exceed 3 stories. The remainder of sentence would be deleted as we changed the setbacks in (3)*; chair seconded. Motion carried 5-0.

Priscilla Ryder recommended amending K-Amendments which currently reads in 2 places "approval by the City Code Enforcement Officer" to read *Building Commissioner*. The committee agreed to that recommendation.

Councilor Doucette brought up the issue of property that is not owned by Marlborough/Northborough Land Realty Trust. The petitioner will reach out to owner to make sure they are aware of the proposal. Issues still remain with the underlying zoning uses of this proposal for all Residence districts even though this parcel is zoned A-3, the language of "age restricted, or age targeted," what can be built by right for consumer service/retail establishments as well as single family housing vs proposed condominiums.

Although several changes to the draft Special Permit were approved, this matter remains in committee.

It was moved and seconded to adjourn. The vote was 5-0 and the meeting adjourned at 7:59 PM.

City Council Urban Affairs Committee
Monday August 16, 2021; 6:30 PM–Council Chambers
Minutes and Report

Urban Affairs & Housing Committee members present were Chairman Katie Robey, Councilor Landers, Councilor Wagner, Councilor Doucette, and Councilor Navin. Other councilors present were Councilor Ossing and Councilor Irish. Others attending this meeting are included with each order's information.

Order No. 21-1008307: Application for Special Permit from Attorney Brangwyn on behalf of Raising Cane's Restaurants, LLC to construct and operate a restaurant with two drive-thru service lanes on site at 141 Boston Post Road West.

Reports of Committee Continued:

Attending the meeting were Michael Brangwyn, Attorney w/Fletcher Tilton and Eric Dubrule, Bohler Engineering and Jason Adams, McMahon Association (traffic plan). Attorney Brangwyn briefly discussed the plans for the site and Raising Cane's operations. He brought up a letter received from William Squires, Attorney w/Mints on behalf of abutter, McDonald's Corporation. Mr. Dubrule discussed the letter in more detail.

The chair reviewed the comments from Department Managers as well as the letter from William Squires which asked that the committee continue the hearing to allow representatives of McDonald's to attend or if we vote on this to include the five conditions recommended in the letter. Committee members were comfortable with what we had for information and were ready to proceed.

The chair reviewed the draft Special Permit pointing out that this will go back to Site Plan review committee for their final sign-off if this Special Permit is approved. Discussion was held on the hours of operation, both at restaurant and the drive-thru but in end no changes were recommended.

Councilor Landers moved to recommend approval of the draft Special Permit as submitted; the chair seconded. Motion carried 5-0. The chair will ask for a Suspension of Rules at the August 23 Council meeting to have this referred to solicitor to be placed in proper form.

Order No. 21-1008345: Application for Special Permit by Attorney Falk on behalf of Dasilva Landscaping Inc. to construct and operate a landscaper's yard at the Airport Industrial Park, 685 Farm Road, Unit 17.

Presenting was Attorney Falk. He mentioned changes to conditions based on comments from the public hearing. The chair reviewed the comments received from Department Managers and then asked if anyone needed a full review of the conditions. Councilor Doucette asked for clarification of the Locus Map on the Proposed Site Plan; Attorney Falk clarified that Number 17 should be in the bottom row, 4th block from Farm Road. It will be corrected for Site Plan Review Committee's final approval. The dates on Findings of Fact #5 need to be filled in and will be updated to match the revision to the Site Plan.

Councilor Doucette moved to recommend approval of the Special Permit with the amended Site Plan; chair seconded. The motion carried 5-0. The chair will ask for a Suspension of Rules at the August 23 Council meeting to have this referred to solicitor to be placed in proper form.

Order No. 21-1008346: Application for Special Permit by Attorney Falk on behalf of Lourival Masonry, LLC to construct and operate a contractor's yard at the Airport Industrial Park, 685 Farm Road, Unit 18.

The chair read a Disclosure of Appearance of Conflict of Interest from Councilor Doucette. Presenting was Attorney Falk. He mentioned changes to conditions based on comments from the public hearing. The chair reviewed the comments received from Department Managers and asked if anyone needed a full review of the conditions.

Councilor Navin moved to recommend approval of the Special Permit; the chair seconded. The motion carried 5-0. The chair will ask for a Suspension of Rules at the August 23 Council meeting to have this referred to solicitor to be placed in proper form.

Reports of Committee Continued:

Order No. 21-1008353: Application for Site Plan Review and Approval from Attorney Falk on behalf of Global Montello Group Corp., to add a patio with seating next to its newly renovated Alltown Convenience Store, 656 Boston Post Road East within the Wayside Zoning District.

Attorney Falk introduced Kevin Doyle, VP Construction for Global and Zack Poisson, Bohler Engineering. He went through some slides describing the revised site improvements including a 12 seat outdoor patio and connecting the site to the city trail system with pedestrian/bike path, and adding a few seats indoors to comply with code requiring indoor seats if having outdoor seats.

The chair reviewed the draft Site Plan approval and the proposed amendments provided by Priscilla Ryder, Conservation Officer. Her recommended changes included: *B. Construction, #1 adding in City Engineer as member of preconstruction meeting; deleting #3 in its entirety as it is not needed and renumbering; D General Provisions, adding new #7 to read "As this trail will allow public to access through Alltown Fresh property and connect the city's public trail to the sidewalk, the applicant will allow for the city's appropriate trail signage to be attached to sign posts along the way. These shall be installed by the Conservation Officer in conjunction with the project team prior to the issuance of the occupancy permit."*

The petitioner met with professional Site Plan members for informal review, but the City Council has jurisdiction over final site plan approval in the Wayside Zoning District.

Councilor Doucette moved to recommend approval of the Site Plan with conditions as amended; the chair seconded. The motion carried 5-0. The chair will check to see if the site plan decision document should be forwarded to the Solicitor to place placed on the next agenda in proper form. If so, chair will ask for suspension of the rules at the August 23 Council meeting to do so. If not, she will ask for a suspension to approve the Site Plan as amended.

Order No. 20-1008046: request from William Camuso on behalf of Camuso enterprises, LLC to operate a gas station, Shell Station, 431 Lincoln St. on a 24-hour basis pursuant to Chapter 342, s2 of the Code of City of Marlborough.

Mr. Camuso was present as petitioner. The chair reminded members that this had been on hold since August 24, 2020 when the City Council approved a Message Board electronic sign for the station and held the 24-hour request in committee awaiting a photometric analysis due to concerns about the brightness of the lights at the station. The station lights have been changed to reduce the overall brightness of the site and were reviewed by city engineer. The chair read his email stating he had visited site, that he would defer to Commissioner Htway for a final zoning decision, but felt the lights were less bright and appear to be in compliance with general requirements of the city code.

If this waiver request is approved, it would be done as an order to grant an exemption to the city code which states gas stations are allowed to open for business no earlier than 6:00 am and close no later than 11:00 pm daily. Councilor Doucette asked if we could approve this 24-hour operation for a one-year test and extend if no issues; the chair said it was possible. The chair read thru a council order from 2002 which included multiple conditions. Discussion occurred around the need to have an employee available to help a handicapped customer if there was only one employee inside the store. It was felt the employee could lock the door, go help customer, and return to store.

Reports of Committee Continued:

Councilor Irish stated he was opposed to the 24-hour operation of this station. He did support a compromise for longer hours but not 24-hour.

Councilor Doucette moved to postpone this in committee so the chair can draft a document listing the conditions as discussed; the chair seconded. The motion carried 5-0.

It was moved and seconded to adjourn. The vote was 5-0 and the meeting adjourned at 7:45 pm.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

Suspension of the Rules – granted.

ORDERED: That the Application for Special Permit as amended from Edgewood Entertainment, LLC, to operate indoor golf simulators and a bar area in the existing building at 229 Boston Post Road West, referred to the **CITY SOLICITOR TO BE PLACED IN PROPER LEGAL FORM FOR THE SEPTEMBER 13, 2021 COUNCIL MEETING**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

Suspension of the Rules requested – granted.

ORDERED: That the Application for Special Permit from Attorney Michael Brangwynne, on behalf of Raising Cane's Restaurants, LLC, to construct and operate a restaurant with two drive-thru service lanes on the site at, 141 Boston Post Road West, referred to the **CITY SOLICITOR TO BE PLACED IN PROPER LEGAL FORM FOR THE SEPTEMBER 13, 2021 COUNCIL MEETING**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

Suspension of the Rules requested – granted.

ORDERED: That the Application for Special Permit with the amended Site Plan from Attorney Brian Falk, on behalf of Dasilva Landscaping, Inc., to construct and operate a landscaper's yard at the Airport Industrial Park, 685 Farm Road, Unit 17 referred to the **CITY SOLICITOR TO BE PLACED IN PROPER LEGAL FORM FOR THE SEPTEMBER 13, 2021 COUNCIL MEETING**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

Suspension of the Rules requested – granted.

ORDERED: That the Application for Special Permit from Attorney Brian Falk, on behalf of Lourival Masonry, LLC, to construct and operate a contractor's yard at the Airport Industrial Park, 685 Farm Road, Unit 18, referred to the **CITY SOLICITOR TO BE PLACED IN PROPER LEGAL FORM FOR THE SEPTEMBER 13, 2021 COUNCIL MEETING**; adopted.

Motion by Councilor Robey, seconded by the Chair to adopt the following:

Suspension of the Rules requested – granted.

ORDERED: That the Application for Site Plan Review as amended from Attorney Brian Falk on behalf of Global Montello Group Corp., to add a patio with seating next to its newly renovated convenience store within the Wayside District, 656 Boston Post Road East, referred to the **CITY SOLICITOR TO BE PLACED IN PROPER LEGAL FORM FOR THE SEPTEMBER 13, 2021 COUNCIL MEETING**; adopted.

Motion by Councilor Tunnera, seconded by the Chair to adopt the following:

ORDERED: That the City Council President establish a City Council Re-Precincting Committee consisting of three members to review the 2020 census data provided by the Secretary of State's office and report back to the City Council by October 4, 2021, **APPROVED**; adopted.

Motion by Councilor Dumais, seconded by the Chair to adopt the following:

ORDERED: That the Appointment of William Fowler to the Planning Board for a 5-year term to expire on February 2, 2026, **APPROVED**; adopted.

Motion by Councilor Dumais, seconded by the Chair to adopt the following:

ORDERED: That the Appointment of Marcia Waldman to the Cultural Council for a 3-year term from date of Council confirmation, **APPROVED**; adopted.

Motion by Councilor Dumais, seconded by the Chair to adopt the following:

ORDERED: That the Reappointment of William Dunbar to the Conservation Commission for 3-year term to expire on February 2, 2024, **APPROVED**; adopted.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That the Petition from Massachusetts Electric, to install a new Pole 45-2 within the public right of way approximately 103' west of Pole 25-1 on Forest Street, **APPROVED WITH THE FOLLOWING CONDITION**; adopted.

1. The new pole must be located behind the sidewalk and not within the sidewalk, and no excavation of the sidewalk will be allowed.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That the Petition from Massachusetts Electric, to install 280' of 4-5" conduit from manhole #10 to pole #93 on Donald Lynch Boulevard near Bigelow Street, **APPROVED WITH THE FOLLOWING CONDITIONS**; adopted.

1. This work must be completed before the city commences with resurfacing work on that portion of Donald Lynch Boulevard. The proposed location is not within the section of Donald Lynch Boulevard which will be resurfaced this year.
2. The work will require a road opening permit from the Department of Public Works, Engineering Division. The exact location of the proposed conduit shall be approved of in the field as part of the permitting, and pavement and line painting repair requirements will be set forth in the permit.

Motion by Councilor Landers, seconded by the Chair to adopt the following:

ORDERED: That the City Council for the City of Marlborough, pursuant to MGL Chapter.166, §22 and Chapter 473, Article III of the City of Marlborough General Code entitled "Small Cell Wireless Facilities Within Public Rights-of-Way," does hereby approve the petition of Cellco Partnership d/b/a Verizon Wireless ("Verizon Wireless") dated May 3, 2021, filed with the City Clerk on May 3, 2021, to grant a location on an existing utility pole located in the layout of State Highway Route 20 (Boston Post Road West) adjacent to 219-237 Boston Post Road West in Marlborough, which pole is designated as National Grid pole #19, in order for Verizon Wireless to deploy a small cell facility thereon by constructing and maintaining telecommunications wires and appurtenances, including a pole top canister antenna, remote radio heads and associated wires, cables, fiber demarc box, electric meter and associated equipment (the "Small Cell Facility"), all as depicted on plans submitted with Verizon Wireless' petition and in photo simulations submitted to the City Council and Public Services Committee, which plans are attached hereto and incorporated herein; subject, however, to the following conditions, which conditions shall be binding upon Verizon Wireless, its successors and/or assigns:

1. The Small Cell Facility shall be of such material and construction, and all work shall be done in such manner, as to be satisfactory to the City Council and the Engineering Division of the City's Department of Public Works (the "City Engineering Division").
2. Verizon Wireless shall indemnify and hold harmless the City against all damages, injuries, costs, expenses, and any and all claims, demands and liabilities whatsoever of every name and nature, both in law and equity, allegedly caused by the acts or neglect of Verizon Wireless, its employees, agents and servants in any manner arising out of the rights and privileges granted herein to Verizon Wireless for its Small Cell Facility.
3. Verizon Wireless shall comply with the requirements of existing City ordinances, including but not limited to Chapter 473, Article III, entitled "Small Cell Wireless Facilities Within Public Rights-of-Way," as may be applicable, and such requirements as may hereafter be adopted governing the construction and maintenance of the Small Cell Facility.
4. Verizon Wireless shall not install its Small Cell Facility on double poles. If National Grid pole #19 becomes a double pole in the future, Verizon Wireless shall remove its Small Cell Facility to a single pole as expeditiously as possible within the guidelines then prescribed by National Grid, but in any event no later than December 31st of the year in which National Grid pole #19 becomes a double pole; provided, however, that if Verizon Wireless is unable to comply with the December 31st deadline for reasons fairly attributable to National Grid, Verizon Wireless shall submit to the City Council a letter, to be received by the City Council prior to such deadline, requesting that the Council extend the deadline to a specified date in the subsequent year and providing good cause in support of such request.

5. All cutting of and/or digging into City streets and/or sidewalks by or on behalf of Verizon Wireless in conjunction with its Small Cell Facility is prohibited, as is all underground installation associated with the Small Cell Facility; provided, however, that the grounding rod proposed to be installed as part of the Small Cell Facility is permitted as long as 1) Verizon Wireless installs the rod immediately adjacent to National Grid pole #19 so as to cause minimal disturbance to the surface of the street or sidewalk, and 2) Verizon Wireless restores the street or sidewalk surface to its pre-disturbance condition to the satisfaction of the City Engineering Division.
6. The Small Cell Facility shall be color-coordinated so as to best minimize the visual impact of the Facility.
7. The Small Cell Facility's remote radio heads and associated wires, cables, fiber demarc box, electric meter and associated equipment shall be mounted on the side of National Grid pole #19 facing away from the roadway.
8. Any future modification of the Small Cell Facility by Verizon Wireless shall require further City Council Approval.
9. Any future road reconstruction or repair project by the City and/or the Commonwealth requiring the relocation of National Grid pole #19 shall result in Verizon Wireless moving their Small Cell Facility to another pole in a timely fashion after having been notified by the City Engineering Division about the road project; provided, however, that any such relocation shall require further City Council approval.
10. Prior to the commencement of construction and/or installation of the Small Cell Facility, Verizon Wireless shall provide the City Engineering Division with a written construction and/or installation schedule satisfactory to the Division.
11. Prior to the commencement of construction and/or installation of the Small Cell Facility, Verizon Wireless shall provide the City's Chief Procurement Officer (the "City CPO") with a bond from a surety authorized to do business in Massachusetts and satisfactory to the City CPO in an amount equal to the cost of removal of the Small Cell Facility from National Grid pole #19 and for the repair and/or restoration of the public way, in the vicinity of National Grid pole #19, to the condition the public way was in as of the date of this order, said amount to be determined by the City Engineering Division. The amount of the bond shall be the total of the estimate by the Division plus an annual increase of 3% for the operating life of the Small Cell Facility. Verizon Wireless shall notify the City CPO and the Division of any cancellation of, or change in the terms or conditions in, the bond.
12. Each year on July 1st, Verizon Wireless shall submit an affidavit that the Small Cell Facility remains in use and that the Small Cell Facility remains covered by liability insurance naming the City as an additional insured.
13. Each year on July 1st, Verizon Wireless shall pay to the City of Marlborough an annual recertification fee of \$250.00 for each year that the Small Cell Facility remains in use.

14. If the Small Cell Facility is no longer in use, it shall be removed by Verizon Wireless, at its expense, within 60 days. If the Small Cell Facility is not removed by Verizon Wireless within 60 days of it no longer being in use, Verizon Wireless shall pay a fine of \$100.00 per day until such installation is removed by Verizon Wireless.
15. Failure by Verizon Wireless to comply with any of the above conditions to the satisfaction of the City Council or, as applicable, the City Engineering Division or the City CPO shall result in the City Council's review of Verizon Wireless' petition granted herein.

APPROVED; adopted.

Motion by Councilor Tunnera, seconded by the Chair to adopt the following:

ORDERED There being no further business, the regular meeting of the City Council is herewith adjourned at 9:57 PM; adopted.



IN CITY COUNCIL

Marlborough, Mass., ~~_____~~ AUGUST 23, 2021 ~~_____~~

ORDERED:

That there being no objection thereto set **MONDAY SEPTEMBER 13, 2021** as the **DATE FOR PUBLIC HEARING**, on the Petition from Massachusetts Electric and Verizon New England, to install a new jointly owned Pole #15-5 (45-2) and permission for NGRID to solely install at 9-411, install three (3) 50K (120/208) transformers and 3-15k cutouts, install riser-perm connection to customer underground at 121 Bolton Street, be and is herewith referred to the **PUBLIC SERVICES COMMITTEE**.

ADOPTED

ORDER NO. 21-1008373

Steven Kerrigan

From: City Council
Sent: Thursday, September 9, 2021 8:37 AM
To: Steven Kerrigan; Wilson Chu
Cc: Mike Ossing; Don Landers; Karen Boule
Subject: For 9/13/21 Agenda: From City Engineer re: Order No. 21-1008373—Utility Petition, 121 Bolton Street

RECEIVED
 CITY CLERK'S OFFICE
 CITY OF MARLBOROUGH
 2021 SEP -9 A 8:38

From: Thomas DiPersio
Date: September 9, 2021 at 8:32:58 AM EDT
To: City Council
Subject: Order No. 21-1008373

Regarding Order No. 21-1008373, Petition from Massachusetts Electric and Verizon New England to install a new jointly owned Pole #15-5 with 3 transformers in front of 121 Bolton Street, for new electric service to that property, I offer the following comments:

1. If the new electric service to the site can be accomplished without an additional pole in the sidewalk, such as with a pad-mounted transformer on the site, that would be preferred. There are already two poles along the frontage of 121 Bolton Street. A third, especially with 3 pole-mounted transformers, will add to the visual and physical clutter in the sidewalks in that area.
2. If the council agrees that it is not feasible to install the service from the existing poles, then the following conditions will be part of the Road Opening Permit issued by the Engineering Division for the installation of a new pole: The exact location of the new pole shall be marked on the ground and approved by the Engineering Division prior to start. The proposed location (30 feet north of existing pole #15) is close to the sewer service to the building and may need to be adjusted to avoid conflict. Also, the location shall be selected so as not to impede sight distance for vehicles exiting the southern driveway. Additionally, the entire sidewalk panel shall be replaced at the location of the new pole.

Please contact me with any questions

Thomas DiPersio, Jr., PE, PLS
 City Engineer
 Department of Public Works
 135 Neil Street
 Marlborough, MA 01752
 Phone:(508)624-6910x33200





IN CITY COUNCIL

Marlborough, Mass., AUGUST 23, 2021

ORDERED:

That there being no objection thereto set **MONDAY SEPTEMBER 13, 2021** as the **DATE FOR PUBLIC HEARING**, on the Petition from Massachusetts Electric and Verizon New England, to install a new jointly owned Pole #15-15 at 181 Cedar Hill Street, be and is herewith referred to the **PUBLIC SERVICES COMMITTEE**.

ADOPTED

ORDER NO. 21-1008374



IN CITY COUNCIL

Marlborough, Mass., AUGUST 23, 2021

ORDERED:

That there being no objection thereto set **MONDAY SEPTEMBER 13, 2021** as the **DATE FOR PUBLIC HEARING**, on the Petition from Massachusetts Electric, to replace direct buried cable with cable in conduit using directional drill method on Ferrecchia Drive, be and is herewith referred to the **PUBLIC SERVICES COMMITTEE**.

ADOPTED

ORDER NO. 21-1008375



RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2021 SEP -8 P 4: 05

Marlborough City Council
Robert J. Tunnera
Michael H. Ossing
140 Main Street
Marlborough, Massachusetts 01752
(508) 460-3711 TDD (508) 460-3610

September 2, 2021

Honorable Members
Marlborough City Council
City Hall
Marlborough, MA 01752

Re: Municipal Aggregation – September 2021 Update

Dear Honorable Members:

In accordance with Order No.19-1007578B, this correspondence informs the City Council of the second quarter 2021 savings from the approved fixed price contract with Inspire that will provide stability and predictability and on a yearly average be lower than the National Grid Fixed Basic Service Rates during the same period. The contract with Inspire runs through the January 2024 meter reads.

Colonial Power has compiled the second quarter 2021 data and the City residents saved over \$187,000 in their electricity bill compared to the National Grid Basic Service rate. Refer to the table in Attachment 1 and the graph in Attachment 2.

As a reminder, the City contract with Inspire is 100% National Wind Renewable Energy Credits (RECs). The savings are even greater when compared to the National Grid Green options.

Looking ahead to the third quarter 2021, the City rate is lower than the National Grid summer Basic Service rate of 0.09707 \$/kWh. This is significant as the City residents will continue to see savings over the National Grid Basic Service rate and the requirements in order 19-1007578B will be satisfied by “on a yearly average be lower than the National Grid Basic Service rates during the same time period.”

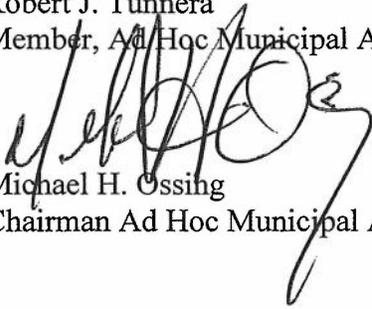
This information will be updated periodically and forwarded to the Councilors in accordance with Order 19-1007578B.

As Councilors, you can take pride in your decision to support Municipal Aggregation as we are saving our residents money on their electricity bills. Since November 2019, City residents have saved over \$2,900,000 on their electric bills with Inspire.

Sincerely,



Robert J. Tunnera
Member, Ad Hoc Municipal Aggregation Committee



Michael H. Ossing
Chairman Ad Hoc Municipal Aggregation Committee

Attachment 1: Table showing Residential Savings with Inspire

Attachment 2: 2nd quarter 2021 status report – Graph illustrating Marlboro aggregation savings

Attachment 1

Table Showing Residential Savings with Inspire

Date	NGrid Basic Service Rate (\$/kW-hr)	City Rate (\$/kW-hr)	City Residential User Savings	City Residential Commercial Industrial Savings
Fourth Quarter 2019	Nov - .13957 Dec - .13957	Nov - .09690 Dec - .09690	\$550,815	\$693,006
First Quarter 2020	Jan - Mar .13957	Jan - Mar .09690	\$812,433	\$1,034,746
Second Quarter 2020	Apr - .13957 May - .09898 Jun - .09898	Apr - Jun .09690	\$250,320	\$196,841
Third Quarter 2020	Jul - Sept .09898	Jul - .09690 Aug - .09390 Sept - .09390	\$78,985	(-\$148,622)*
Fourth Quarter 2020	Oct - .09898 Nov - .12388 Dec - .12388	Oct - Dec .09390	\$482,261	\$563,638
First Quarter 2021	Jan - Mar .12388	Jan - Mar .09390	\$623,848	\$761,039
Second Quarter 2021	Apr - .12388 May - .09707 Jun - .09707	Apr - Jun .09390	\$187,244	\$130,000
Third Quarter 2021	Jul - Sept .09707	Jul - Sept .09390	TBD	TBD

- *National Grid sets different rate for commercial/industrial users that are not associated with the National Grid residential fixed Basic Service rate.
- Total residential savings from Inspire (November 2019 to March 2021) - \$2,985,906.
- Total program savings (all rate classes) since inception in 2007 is \$7,191,000.

**CITY OF MARLBOROUGH COMMUNITY CHOICE POWER SUPPLY PROGRAM
STATUS REPORT Q2 2021**

Prepared August 2021

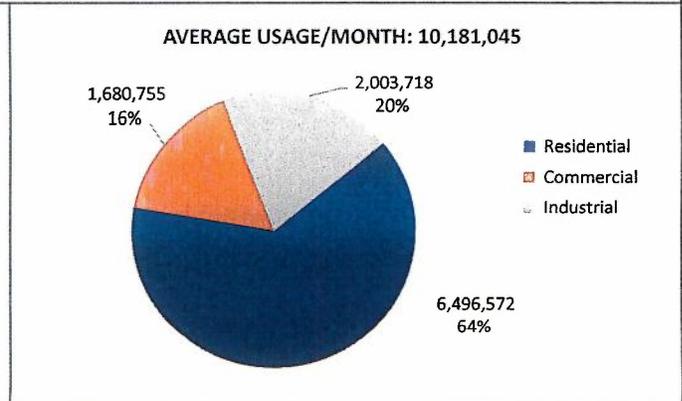
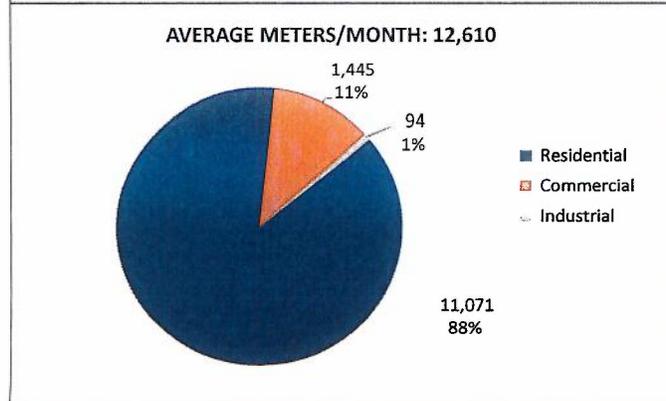
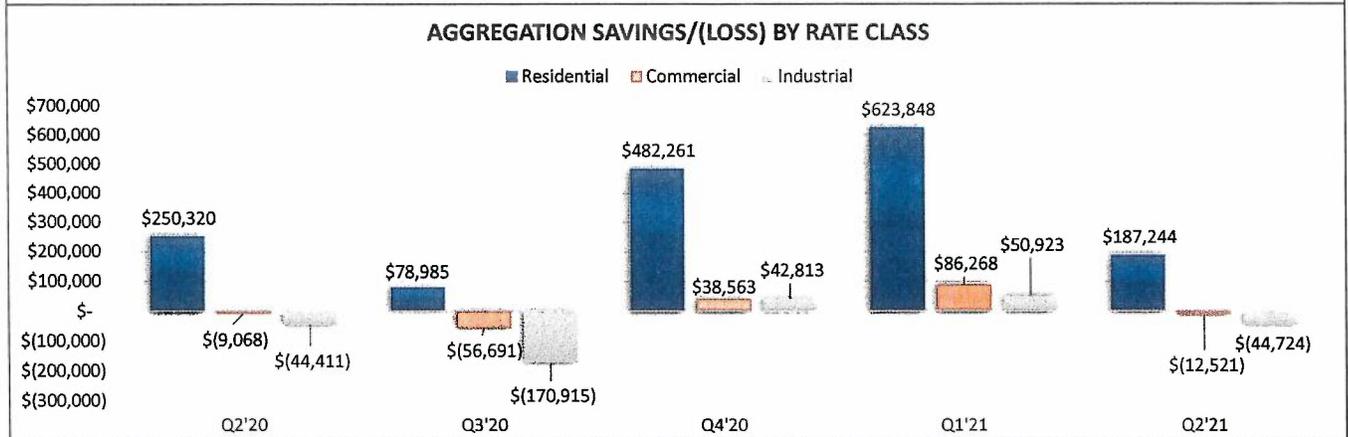
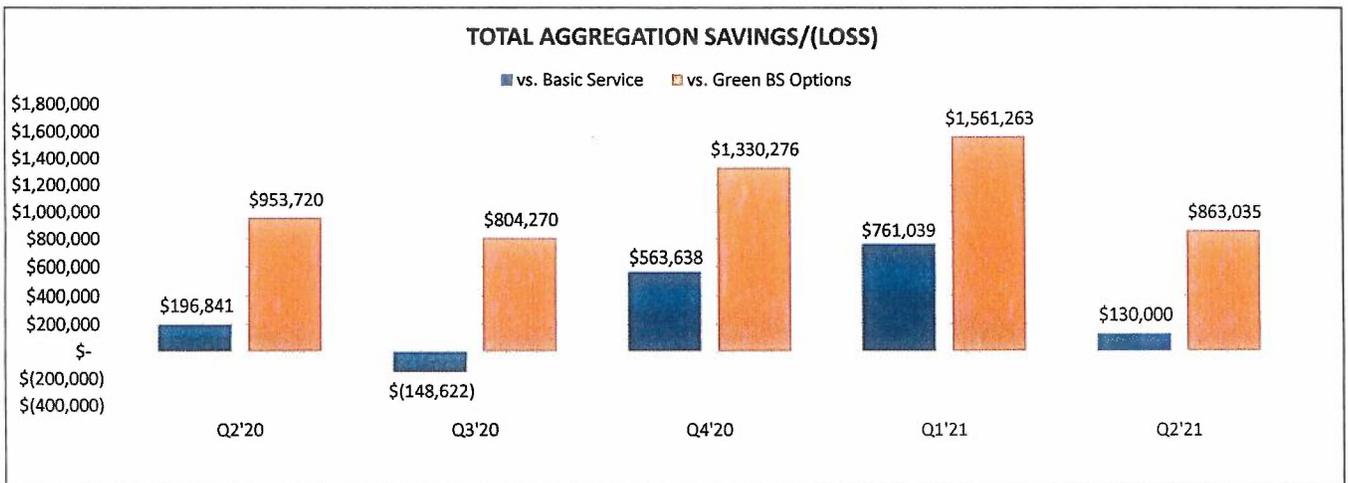
This report has been prepared by Colonial Power Group with information/data being provided by the Competitive Supplier and National Grid. The purpose of the report is to provide information about the City of Marlborough's Community Choice Power Supply Program, which currently provides competitive power supply to approximately 12,600 customers in the City. The data provided by the Competitive Supplier is not available until three months after the month it is used. For example, power is *Used* in January, *Invoiced* in February, *Paid* in March and *Reported* in April.

PROGRAM RATES			
Term	May 2019 – Nov 2019	Nov 2019 - Aug 2020	Aug 2020 - Jan 2024
Competitive Supplier	Dynergy	Inspire	Inspire
Standard (default)	\$0.09732 / kWh Meet MA Requirements	\$0.09690 / kWh 100% National Wind RECs	\$0.09390 / kWh 100% National Wind RECs
Optional	\$0.09804 / kWh 100% National Wind RECs	N/A	N/A

COMPARISON TO NATIONAL GRID RATES

[Click here for NGRID GreenUp Info](#)

As of November 2019, the City of Marlborough chose a 100% green product as its standard offering, which supports renewable energy as 100% of the power supply is offset with Renewable Energy Certificates (REC's). Prior to that the standard offering met MA Req. The City's aggregation savings are directly tied to the margin of savings between the Program's rates and National Grid's corresponding Basic Service rates as well as the level of consumption by participating consumers. Basic Service rates change twice a year or more, depending on utility and rate class. As a result, the aggregation rate may not always be lower than the Basic Service rate. The goal of the aggregation is to deliver savings over the life of the Program against the Basic Service rate. However, such savings and future savings cannot be guaranteed.





City of Marlborough
Office of the Mayor

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
Arthur G. Vigeant
MAYOR

2021 SEP -9 A 10:50

Patricia M. Bernard
EXECUTIVE AIDE

140 Main Street
Marlborough, Massachusetts 01752
508.460.3770 Fax 508.460.3698 TDD 508.460.3610
www.marlborough-ma.gov

Ryan P. Egan
EXECUTIVE SECRETARY

September 9, 2021

Council President Ossing
Marlborough City Council
140 Main Street
Marlborough, MA 01752

RE: Public Safety and Security, FY22 State 911 Grant Program

Honorable President Ossing and Councilors:

Enclosed are three grants for your acceptance from the Massachusetts Executive office of Public Safety and Security.

1. \$28,721.48 FY22 State 911 Department Emergency Medical Dispatch (EMD) Grant for equipment, quality assurance reviews of dispatch personnel and an offset of overtime costs
2. \$154,964.00 FY22 State 911 Department Support and Incentive reimbursement grant to offset personnel overtime costs in the Public Safety Dispatch Center
3. \$38,072.48 FY22 State 911 Department Training Grant to reimburse funding for all mandated trainings for Dispatch personnel

I would like to take this opportunity to express our gratitude to the Commonwealth of Massachusetts Executive Office of Public Safety and Security for their continued support.

Please don't hesitate to contact me or Police Chief David Giorgi with any questions.

Sincerely,

Arthur G. Vigeant
Mayor

Enclosures



City of Marlborough

Police Department

355 Bolton Street, Marlborough, Massachusetts 01752
Tel. (508)-485-1212 Fax (508)-624-6938



David A. Giorgi
Chief of Police

August 6, 2021

Mayor Arthur G. Vigeant
City Hall
140 Main Street
Marlborough, MA 01752

Dear Mayor Vigeant:

The Marlborough Police Department has been awarded a grant in the amount of \$28,721.48 from the Commonwealth of Massachusetts, Executive Office of Public Safety and Security, FY2022 State 911 Department Emergency Medical Dispatch (EMD) Grant Program. The grant is to purchase any needed equipment, conduct quality assurance reviews of dispatch personnel and offset any overtime costs for personnel.

Attached is a copy of the Notice of Grant Award, grant approval letter, and signed grant contract. I am requesting that the grant award be forwarded to the City Council for approval. Should you have any questions, please do not hesitate to call.

Sincerely,

David A. Giorgi
Chief of Police



CITY OF MARLBOROUGH
NOTICE OF GRANT AWARD

DEPARTMENT: Police Department DATE: August 8, 2021

PERSON RESPONSIBLE FOR GRANT EXPENDITURE: Chief David A. Giorgi

NAME OF GRANT: FY 2022 State 911 Department Emergency Medical Dispatch Grant

GRANTOR: Commonwealth of Massachusetts

GRANT AMOUNT: \$28,721.48

GRANT PERIOD: July 13, 2021 to June 30, 2022

SCOPE OF GRANT/ To purchase any needed equipment

ITEMS FUNDED To conduct quality assurance reviews of dispatch personnel

IS A POSITION BEING
CREATED: N/A

IF YES: CAN FRINGE BENEFITS BE PAID FROM GRANT? _____

ARE MATCHING CITY
FUNDS REQUIRED? N/A

IF MATCHING IS NON-MONETARY (MAN HOURS, ETC.) PLEASE SPECIFY:
N/A

IF MATCHING IS MONETARY PLEASE GIVE ACCOUNT NUMBER AND DESCRIPTION OF CITY FUNDS
TO BE USED:
N/A

ANY OTHER EXPOSURE TO CITY?
N/A

IS THERE A DEADLINE FOR CITY COUNCIL APPROVAL: Approval requested ASAP to begin use of grant

**DEPARTMENT HEAD MUST SUBMIT THIS FORM, A COPY OF THE GRANT APPROVAL, AND A COVER
LETTER TO THE MAYOR'S OFFICE REQUESTING THAT THIS BE SUBMITTED TO CITY COUNCIL
FOR APPROVAL OF DEPARTMENT TO EXPEND THE FUNDS RECEIVED FOR THE PURPOSE OF THE GRANT**



The Commonwealth of Massachusetts
 EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY
STATE 911 DEPARTMENT

151 Campanelli Drive, Suite A ~ Middleborough, MA 02346

Tel: 508-828-2911 ~ TTY: 508-947-1455

www.mass.gov/e911



CHARLES D. BAKER
 Governor

THOMAS A. TURCO, III
 Secretary

KARYN E. POLITO
 Lieutenant Governor

FRANK POZNIAK
 Executive Director

July 13, 2021

Chief David A. Giorgi
 Marlborough Police Department
 355 Bolton Street
 Marlborough, MA 01752

Dear Chief Giorgi:

The Commonwealth of Massachusetts, State 911 Department would like to thank you for participating in the **FY2022 State 911 Department Emergency Medical Dispatch Grant Program**.

For your files, attached please find a copy of the executed contract for your grant. Please note your contract start date is **July 13, 2021** and will run through June 30, 2022. Please keep in mind that there shall be no reimbursement for costs incurred prior to the effective date of the contract and all goods and services **MUST** be received on or before June 30, 2022.

Reimbursement requests should be submitted to the Department within **thirty (30) days** of the date on which the cost is incurred. We have made the request for payment forms available on our website www.mass.gov/e911. For any questions related to this process, please contact Michelle Hallahan at 508-821-7216. Please note that funding of reimbursement requests received more than one (1) month after the close of the fiscal year under which costs were incurred cannot be guaranteed.

If, in the future, you would like to make any changes to the authorized signatory, the contract manager, and/or the budget worksheet, please e-mail those proposed changes to 911DeptGrants@mass.gov. Grantees are strongly encouraged to submit final, year-end budget modification requests on or before March 31, 2022.

Sincerely,

Frank P. Pozniak
 Executive Director

cc: FY2022 Emergency Medical Dispatch Grant File

COMMONWEALTH OF MASSACHUSETTS ~ STANDARD CONTRACT FORM



This form is jointly issued and published by the Office of the Comptroller (CTR), the Executive Office for Administration and Finance (ANF), and the Operational Services Division (OSD) as the default contract for all Commonwealth Departments when another form is not prescribed by regulation or policy.

CONTRACTOR LEGAL NAME: City of Marlborough (and d/b/a): Marlborough Police Department
COMMONWEALTH DEPARTMENT NAME: MMARS Department Code: EPS
Legal Address: (W-8, W-4): 140 Main Street, Marlborough, MA
Business Mailing Address: 151 Campanelli Drive, Suite A, Middleborough, MA 02346
Contract Manager: Chief David A. Giorgi Phone: 508-485-1212
Billing Address (if different):
E-Mail: dgiorgi@marlborough-ma.gov Fax:
Contract Manager: Cindy Reynolds Phone: 508-821-7299
Contract Vendor Code: VC 6000192111
E-Mail: 911DeptGrants@mass.gov Fax: 508-947-1452
Vendor Code Address ID (e.g. "AD001"): AD001
MMARS Doc ID(s): CT EPS EMDG
RFR/Procurement or Other ID Number: FY22 EMDG

X NEW CONTRACT
PROCUREMENT OR EXCEPTION TYPE: (Check one option only)
Statewide Contract (OSD or an OSD-designated Department)
Collective Purchase (Attach OSD approval, scope, budget)
X Department Procurement (includes all Grants - 815 CMR 2.00) (Solicitation Notice or RFR, and Response or other procurement supporting documentation)
Emergency Contract (Attach justification for emergency, scope, budget)
Contract Employee (Attach Employment Status Form, scope, budget)
Other Procurement Exception (Attach authorizing language, legislation with specific exemption or earmark, and exception justification, scope and budget)
CONTRACT AMENDMENT
Enter Current Contract End Date Prior to Amendment: ____, 20 ____.
Enter Amendment Amount: \$ ____, (or "no change")
AMENDMENT TYPE: (Check one option only. Attach details of amendment changes.)
Amendment to Date, Scope or Budget (Attach updated scope and budget)
Interim Contract (Attach justification for Interim Contract and updated scope/budget)
Contract Employee (Attach any updates to scope or budget)
Other Procurement Exception (Attach authorizing language/justification and updated scope and budget)

The Standard Contract Form Instructions and Contractor Certifications and the following Commonwealth Terms and Conditions document are incorporated by reference into this Contract and are legally binding: (Check ONE option): X Commonwealth Terms and Conditions
Commonwealth Terms and Conditions For Human and Social Services
Commonwealth IT Terms and Conditions

COMPENSATION: (Check ONE option): The Department certifies that payments for authorized performance accepted in accordance with the terms of this Contract will be supported in the state accounting system by sufficient appropriations or other non-appropriated funds, subject to intercept for Commonwealth owed debts under 815 CMR 9.00.
Rate Contract. (No Maximum Obligation) Attach details of all rates, units, calculations, conditions or terms and any changes if rates or terms are being amended.)
X Maximum Obligation Contract. Enter total maximum obligation for total duration of this contract (or new total if Contract is being amended). \$ 28,721.48

PROMPT PAYMENT DISCOUNTS (PPD): Commonwealth payments are issued through EFT 45 days from invoice receipt. Contractors requesting accelerated payments must identify a PPD as follows: Payment issued within 10 days __% PPD; Payment issued within 15 days __% PPD; Payment issued within 20 days __% PPD; Payment issued within 30 days __% PPD. If PPD percentages are left blank, identify reason: X agree to standard 45 day cycle statutory/legal or Ready Payments (M.G.L. c. 29, § 23A); __ only initial payment (subsequent payments scheduled to support standard EFT 45 day payment cycle. See Prompt Pay Discounts Policy.)

BRIEF DESCRIPTION OF CONTRACT PERFORMANCE or REASON FOR AMENDMENT: (Enter the Contract title, purpose, fiscal year(s) and a detailed description of the scope of performance or what is being amended for a Contract Amendment. Attach all supporting documentation and justifications.) Contract is for the reimbursement of funds under the State 911 Department FY 2022 Emergency Medical Dispatch Grant as authorized and awarded in compliance with the grant guidelines and the grantee's approved application.

ANTICIPATED START DATE: (Complete ONE option only) The Department and Contractor certify for this Contract, or Contract Amendment, that Contract obligations:
X 1. may be incurred as of the Effective Date (latest signature date below) and no obligations have been incurred prior to the Effective Date.
2. may be incurred as of ____, 20 ____, a date LATER than the Effective Date below and no obligations have been incurred prior to the Effective Date.
3. were incurred as of ____, 20 ____, a date PRIOR to the Effective Date below, and the parties agree that payments for any obligations incurred prior to the Effective Date are authorized to be made either as settlement payments or as authorized reimbursement payments, and that the details and circumstances of all obligations under this Contract are attached and incorporated into this Contract. Acceptance of payments forever releases the Commonwealth from further claims related to these obligations.

CONTRACT END DATE: Contract performance shall terminate as of June 30, 2022, with no new obligations being incurred after this date unless the Contract is properly amended, provided that the terms of this Contract and performance expectations and obligations shall survive its termination for the purpose of resolving any claim or dispute, for completing any negotiated terms and warranties, to allow any close out or transition performance, reporting, invoicing or final payments, or during any lapse between amendments.

CERTIFICATIONS: Notwithstanding verbal or other representations by the parties, the "Effective Date" of this Contract or Amendment shall be the latest date that this Contract or Amendment has been executed by an authorized signatory of the Contractor, the Department, or a later Contract or Amendment Start Date specified above, subject to any required approvals. The Contractor certifies that they have accessed and reviewed all documents incorporated by reference as electronically published and the Contractor makes all certifications required under the Standard Contract Form Instructions and Contractor Certifications under the pains and penalties of perjury, and further agrees to provide any required documentation upon request to support compliance, and agrees that all terms governing performance of this Contract and doing business in Massachusetts are attached or incorporated by reference herein according to the following hierarchy of document precedence, the applicable Commonwealth Terms and Conditions, this Standard Contract Form, the Standard Contract Form Instructions and Contractor Certifications, the Request for Response (RFR) or other solicitation, the Contractor's Response (excluding any language stricken by a Department as unacceptable, and additional negotiated terms, provided that additional negotiated terms will take precedence over the relevant terms in the RFR and the Contractor's Response only if made using the process outlined in 801 CMR 21.07, incorporated herein, provided that any amended RFR or Response terms result in best value, lower costs, or a more cost effective Contract.

AUTHORIZING SIGNATURE FOR THE CONTRACTOR: X: [Signature] Date: 6-17-21
(Print Name: David A. Giorgi, Print Title: Chief of Police)
AUTHORIZING SIGNATURE FOR THE COMMONWEALTH: X: [Signature] Date: 7/17/21
(Print Name: Frank Pozniak, Print Title: Executive Director)



City of Marlborough

Police Department

355 Bolton Street, Marlborough, Massachusetts 01752
 Tel. (508)-485-1212 Fax (508)-624-6938



David A. Giorgi
 Chief of Police

August 6, 2021

Mayor Arthur G. Vigeant
 City Hall
 140 Main Street
 Marlborough, MA 01752

Dear Mayor Vigeant:

The Marlborough Police Department has been awarded a grant in the amount of \$154,964.00 from the Commonwealth of Massachusetts, Executive Office of Public Safety and Security, FY2022 State 911 Department Support and Incentive Grant Program. The grant is a reimbursement grant which will be used to offset personnel overtime costs in the Public Safety Dispatching center.

Attached is a copy of the Notice of Grant Award, grant approval letter, and signed grant contract. I am requesting that the grant award be forwarded to the City Council for approval. Should you have any questions, please do not hesitate to call.

Sincerely,

A handwritten signature in black ink, appearing to read "David A. Giorgi".

David A. Giorgi
 Chief of Police



CITY OF MARLBOROUGH
NOTICE OF GRANT AWARD

DEPARTMENT: Police Department DATE: August 6, 2021

PERSON RESPONSIBLE FOR GRANT EXPENDITURE: Chief David A. Giorgi

NAME OF GRANT: FY 2022 State 911 Department Support and Incentive Grant

GRANTOR: Commonwealth of Massachusetts

GRANT AMOUNT: \$154,964.00

GRANT PERIOD: July 29, 2021 to June 30, 2022

SCOPE OF GRANT/
ITEMS FUNDED To offset personnel overtime costs in the Public Safety Dispatching Center

IS A POSITION BEING
CREATED: N/A

IF YES: CAN FRINGE BENEFITS BE PAID FROM GRANT? _____

ARE MATCHING CITY
FUNDS REQUIRED? N/A

IF MATCHING IS NON-MONETARY (MAN HOURS, ETC.) PLEASE SPECIFY:
N/A

IF MATCHING IS MONETARY PLEASE GIVE ACCOUNT NUMBER AND DESCRIPTION OF CITY FUNDS
TO BE USED:
N/A

ANY OTHER EXPOSURE TO CITY?
N/A

IS THERE A DEADLINE FOR CITY COUNCIL APPROVAL: Approval requested ASAP to begin use of grant

**DEPARTMENT HEAD MUST SUBMIT THIS FORM, A COPY OF THE GRANT APPROVAL, AND A COVER
LETTER TO THE MAYOR'S OFFICE REQUESTING THAT THIS BE SUBMITTED TO CITY COUNCIL
FOR APPROVAL OF DEPARTMENT TO EXPEND THE FUNDS RECEIVED FOR THE PURPOSE OF THE GRANT**



The Commonwealth of Massachusetts
EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY
STATE 911 DEPARTMENT
 151 Campanelli Drive, Suite A ~ Middleborough, MA 02346
 Tel: 508-828-2911 ~ TTY: 508-947-1455
www.mass.gov/e911



CHARLES D. BAKER
 Governor

THOMAS A. TURCO, III
 Secretary

KARYN E. POLITO
 Lieutenant Governor

FRANK POZNIAK
 Executive Director

July 29, 2021

Chief David A. Giorgi
 Marlborough Police Department
 355 Bolton Street
 Marlborough, MA 01752

Dear Chief Giorgi:

The Commonwealth of Massachusetts, State 911 Department would like to thank you for participating in the **FY 2022 State 911 Department Support and Incentive Grant** program.

For your files, attached please find a copy of the executed contract and the final approved Appendix A: Personnel Costs form for your grant. Please note your contract start date is **July 29, 2021** and will run through June 30, 2022. Please keep in mind that there shall be no reimbursement for costs incurred prior to the effective date of the contract and all goods and services **MUST** be received on or before June 30, 2022.

Reimbursement requests should be submitted to the Department within **thirty (30) days** of the date on which the cost is incurred. We have made the request for payment forms available on our website www.mass.gov/E911. For any questions related to this process, please contact Michelle Hallahan at 508-821-7216. Please note that funding of reimbursement requests received more than one (1) month after the close of the fiscal year under which costs were incurred cannot be guaranteed.

If, in the future, you would like to make any changes to the authorized signatory, the contract manager, and/or the budget worksheet, please e-mail those proposed changes to 911DeptGrants@mass.gov. Grantees are strongly encouraged to submit final, year-end budget modification requests on or before March 31, 2022.

Sincerely,

Frank P. Pozniak
 Executive Director

cc: FY 2022 Support and Incentive Grant File

FY 2022 SUPPORT AND INCENTIVE GRANT COMMONWEALTH OF MASSACHUSETTS ~ STANDARD CONTRACT FORM



This form is jointly issued and published by the Office of the Comptroller (CTR), the Executive Office for Administration and Finance (ANF), and the Operational Services Division (OSD) as the default contract for all Commonwealth Departments when another form is not prescribed by regulation or policy. The Commonwealth deems void any changes made on or by attachment (in the form of addendum, engagement letters, contract forms or invoice terms) to the terms in this published form or to the [Standard Contract Form Instructions and Contractor Certifications](#), the [Commonwealth Terms and Conditions for Human and Social Services](#) or the [Commonwealth IT Terms and Conditions](#) which are incorporated by reference herein. Additional non-conflicting terms may be added by Attachment. Contractors are required to access published forms at CTR Forms: <https://www.macomptroller.org/forms>. Forms are also posted at OSD Forms: <https://www.mass.gov/lists/osd-forms>.

CONTRACTOR LEGAL NAME: City of Marlborough (and d/b/a): <u>Marlborough Police Department</u>		COMMONWEALTH DEPARTMENT NAME: State 911 Department MMARS Department Code: EPS	
Legal Address: (W-8, W-4): 140 Main Street, Marlborough MA 01752		Business Mailing Address: 151 Campanelli Drive, Suite A, Middleborough, MA 02346	
Contract Manager: David A. Giorgi	Phone: 508-485-1212	Billing Address (if different):	
E-Mail: dgjorgi@marlborough-ma.gov	Fax:	Contract Manager: Cindy Reynolds	Phone: 508-821-7299
Contractor Vendor Code: VC <u>6000 192111</u>		E-Mail: 911DeptGrants@mass.gov	Fax: 508-947-1452
Vendor Code Address ID (e.g. "AD001"): AD <u>001</u> (Note: The Address ID must be set up for EFT payments.)		MMARS Doc ID(s): CT EPS SUPG	
<input checked="" type="checkbox"/> NEW CONTRACT		CONTRACT AMENDMENT	
PROCUREMENT OR EXCEPTION TYPE: (Check one option only) <input type="checkbox"/> Statewide Contract (OSD or an OSD-designated Department) <input type="checkbox"/> Collective Purchase (Attach OSD approval, scope, budget) <input checked="" type="checkbox"/> Department Procurement (Includes all Grants - §15 CMR 2.00) (Solicitation Notice or RFR, and Response or other procurement supporting documentation) <input type="checkbox"/> Emergency Contract (Attach justification for emergency, scope, budget) <input type="checkbox"/> Contract Employee (Attach Employment Status Form, scope, budget) <input type="checkbox"/> Other Procurement Exception (Attach authorizing language, legislation with specific exemption or earmark, and exception justification, scope and budget)		Enter Current Contract End Date <i>Prior</i> to Amendment: _____, 20____. Enter Amendment Amount: \$ _____, (or "no change") AMENDMENT TYPE: (Check one option only. Attach details of amendment changes.) <input type="checkbox"/> Amendment to Date, Scope or Budget (Attach updated scope and budget) <input type="checkbox"/> Interim Contract (Attach justification for Interim Contract and updated scope/budget) <input type="checkbox"/> Contract Employee (Attach any updates to scope or budget) <input type="checkbox"/> Other Procurement Exception (Attach authorizing language/justification and updated scope and budget)	
The Standard Contract Form Instructions and Contractor Certifications and the following Commonwealth Terms and Conditions document are incorporated by reference into this Contract and are legally binding: (Check ONE option): <input checked="" type="checkbox"/> Commonwealth Terms and Conditions <input type="checkbox"/> Commonwealth Terms and Conditions For Human and Social Services <input type="checkbox"/> Commonwealth IT Terms and Conditions			
COMPENSATION: (Check ONE option): The Department certifies that payments for authorized performance accepted in accordance with the terms of this Contract will be supported in the state accounting system by sufficient appropriations or other non-appropriated funds, subject to intercept for Commonwealth owed debts under §15 CMR 9.00 . <input type="checkbox"/> Rate Contract. (No Maximum Obligation) Attach details of all rates, units, calculations, conditions or terms and any changes if rates or terms are being amended.) <input checked="" type="checkbox"/> Maximum Obligation Contract. Enter total maximum obligation for total duration of this contract (or new total if Contract is being amended). \$ <u>154,964.00</u>			
PROMPT PAYMENT DISCOUNTS (PPD): Commonwealth payments are issued through EFT 45 days from invoice receipt. Contractors requesting accelerated payments must identify a PPD as follows: Payment issued within 10 days ___ % PPD; Payment issued within 15 days ___ % PPD; Payment issued within 20 days ___ % PPD; Payment issued within 30 days ___ % PPD. If PPD percentages are left blank, identify reason: <input checked="" type="checkbox"/> agree to standard 45 day cycle ___ statutory/legal or Ready Payments (M.G.L. c. 29, § 23A); ___ only initial payment (subsequent payments scheduled to support standard EFT 45 day payment cycle. See Prompt Pay Discounts Policy.)			
BRIEF DESCRIPTION OF CONTRACT PERFORMANCE or REASON FOR AMENDMENT: (Enter the Contract title, purpose, fiscal year(s) and a detailed description of the scope of performance or what is being amended for a Contract Amendment. Attach all supporting documentation and justifications.) Contract is for the reimbursement of funds under the State 911 Department FY 2022 Public Safety Answering Point and Regional Emergency Communication Center Support and Incentive Grant as authorized and awarded in compliance with the grant guidelines and the grantee's approved application.			
ANTICIPATED START DATE: (Complete ONE option only) The Department and Contractor certify for this Contract, or Contract Amendment, that Contract obligations: <input checked="" type="checkbox"/> 1. may be incurred as of the Effective Date (latest signature date below) and <u>no</u> obligations have been incurred <u>prior</u> to the Effective Date. <input type="checkbox"/> 2. may be incurred as of _____, 20____, a date LATER than the Effective Date below and <u>no</u> obligations have been incurred <u>prior</u> to the Effective Date. <input type="checkbox"/> 3. were incurred as of _____, 20____, a date PRIOR to the Effective Date below, and the parties agree that payments for any obligations incurred prior to the Effective Date are authorized to be made either as settlement payments or as authorized reimbursement payments, and that the details and circumstances of all obligations under this Contract are attached and incorporated into this Contract. Acceptance of payments forever releases the Commonwealth from further claims related to these obligations.			
CONTRACT END DATE: Contract performance shall terminate as of <u>June 30, 2022</u> , with no new obligations being incurred after this date unless the Contract is properly amended, provided that the terms of this Contract and performance expectations and obligations shall survive its termination for the purpose of resolving any claim or dispute, for completing any negotiated terms and warranties, to allow any close out or transition performance, reporting, invoicing or final payments, or during any lapse between amendments.			
CERTIFICATIONS: Notwithstanding verbal or other representations by the parties, the "Effective Date" of this Contract or Amendment shall be the latest date that this Contract or Amendment has been executed by an authorized signatory of the Contractor, the Department, or a later Contract or Amendment Start Date specified above, subject to any required approvals. The Contractor certifies that they have accessed and reviewed all documents incorporated by reference as electronically published and the Contractor makes all certifications required under the Standard Contract Form Instructions and Contractor Certifications under the pains and penalties of perjury, and further agrees to provide any required documentation upon request to support compliance, and agrees that all terms governing performance of this Contract and doing business in Massachusetts are attached or incorporated by reference herein according to the following hierarchy of document precedence, the applicable Commonwealth Terms and Conditions, this Standard Contract Form, the Standard Contract Form Instructions and Contractor Certifications, the Request for Response (RFR) or other solicitation, the Contractor's Response (excluding any language stricken by a Department as unacceptable, and additional negotiated terms, provided that additional negotiated terms will take precedence over the relevant terms in the RFR and the Contractor's Response only if made using the process outlined in §01 CMR 21.07 , incorporated herein, provided that any amended RFR or Response terms result in best value, lower costs, or a more cost effective Contract.			
AUTHORIZING SIGNATURE FOR THE CONTRACTOR: X: <u>[Signature]</u> Date: <u>6-11-21</u> (Signature and Date Must Be Handwritten at Time of Signature) Print Name: David A. Giorgi Print Title: Chief of Police		AUTHORIZING SIGNATURE FOR THE COMMONWEALTH: X: <u>[Signature]</u> Date: <u>7/29/21</u> (Signature and Date Must Be Handwritten at Time of Signature) Print Name: Frank Pozniak Print Title: Executive Director	



City of Marlborough Police Department

355 Bolton Street, Marlborough, Massachusetts 01752
Tel. (508)-485-1212 Fax (508)-624-6938



David A. Giorgi
Chief of Police

August 6, 2021

Mayor Arthur G. Vigeant
City Hall
140 Main Street
Marlborough, MA 01752

Dear Mayor Vigeant:

The Marlborough Police Department has been awarded a grant in the amount of \$38,072.48 from the Commonwealth of Massachusetts, Executive Office of Public Safety and Security, FY2022 State 911 Department Training Grant Program. The grant is intended to reimburse the funding for all mandated trainings for Dispatch personnel.

Attached is a copy of the Notice of Grant Award, grant approval letter, and signed grant contract. I am requesting that the grant award be forwarded to the City Council for approval. Should you have any questions, please do not hesitate to call.

Sincerely,

David A. Giorgi
Chief of Police



CITY OF MARLBOROUGH
NOTICE OF GRANT AWARD

DEPARTMENT: Police Department DATE: August 6, 2021

PERSON RESPONSIBLE FOR GRANT EXPENDITURE: Chief David A. Giorgi

NAME OF GRANT: FY 2022 State 911 Department Training Grant Program

GRANTOR: Commonwealth of Massachusetts

GRANT AMOUNT: \$38,072.48

GRANT PERIOD: July 13, 2021 to June 30, 2022

SCOPE OF GRANT/
ITEMS FUNDED To reimburse funding for all mandated trainings for Dispatch personnel

IS A POSITION BEING
CREATED: N/A

IF YES: CAN FRINGE BENEFITS BE PAID FROM GRANT? _____

ARE MATCHING CITY
FUNDS REQUIRED? N/A

IF MATCHING IS NON-MONETARY (MAN HOURS, ETC.) PLEASE SPECIFY:
N/A

IF MATCHING IS MONETARY PLEASE GIVE ACCOUNT NUMBER AND DESCRIPTION OF CITY FUNDS
TO BE USED:
N/A

ANY OTHER EXPOSURE TO CITY?
N/A

IS THERE A DEADLINE FOR CITY COUNCIL APPROVAL: Approval requested ASAP to begin use of grant

**DEPARTMENT HEAD MUST SUBMIT THIS FORM, A COPY OF THE GRANT APPROVAL, AND A COVER
LETTER TO THE MAYOR'S OFFICE REQUESTING THAT THIS BE SUBMITTED TO CITY COUNCIL
FOR APPROVAL OF DEPARTMENT TO EXPEND THE FUNDS RECEIVED FOR THE PURPOSE OF THE GRANT**



The Commonwealth of Massachusetts
 EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY
STATE 911 DEPARTMENT
 151 Campanelli Drive, Suite A ~ Middleborough, MA 02346
 Tel: 508-828-2911 ~ TTY: 508-947-1455
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CHARLES D. BAKER
 Governor

THOMAS A. TURCO, III
 Secretary

KARYN E. POLITO
 Lieutenant Governor

FRANK POZNIAK
 Executive Director

July 13, 2021

Chief David A. Giorgi
 Marlborough Police Department
 355 Bolton Street
 Marlborough, MA 01752

Dear Chief Giorgi:

The Commonwealth of Massachusetts, State 911 Department would like to thank you for participating in the **FY2022 State 911 Department Training Grant Program**.

For your files, attached please find a copy of the executed contract and the final approved Personnel Cost Worksheet for your grant. Please note your contract start date is **July 13, 2021** and will run through June 30, 2022. Please keep in mind that there shall be no reimbursement for costs incurred prior to the effective date of the contract and all goods and services **MUST** be received on or before June 30, 2022.

Reimbursement requests should be submitted to the Department within **thirty (30) days** of the date on which the cost is incurred. We have made the request for payment forms available on our website www.mass.gov/e911. For any questions related to this process, please contact Michelle Hallahan at 508-821-7216. Please note that funding of reimbursement requests received more than one (1) month after the close of the fiscal year under which costs were incurred cannot be guaranteed.

If, in the future, you would like to make any changes to the authorized signatory, the contract manager, add personnel, or to request approval for trainings, please e-mail those proposed changes to 911DeptGrants@mass.gov.

Sincerely,

Frank P. Pozniak
 Executive Director

cc: FY2022 Training Grant File



COMMONWEALTH OF MASSACHUSETTS ~ STANDARD CONTRACT FORM

This form is jointly issued and published by the Office of the Comptroller (CTR), the Executive Office for Administration and Finance (ANF), and the Operational Services Division (OSD) as the default contract for all Commonwealth Departments when another form is not prescribed by regulation or policy.

Form containing contract details: CONTRACTOR LEGAL NAME (City of Marlborough), COMMONWEALTH DEPARTMENT NAME (State 911 Department), LEGAL ADDRESS (140 Main Street, Marlborough, MA), CONTRACT MANAGER (David A. Giorgi), BUSINESS MAILING ADDRESS (151 Campanelli Drive, Middleborough, MA), and various checkboxes for contract type and terms.



City of Marlborough
Office of the Mayor

140 Main Street
Marlborough, Massachusetts 01752
508.460.3770 Fax 508.460.3698 TDD 508.460.3610
www.marlborough-ma.gov

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
Arthur G. Vigeant
MAYOR
2021 SEP -9 A 10:50
Patricia M. Bernard
EXECUTIVE AIDE

Ryan P. Egan
EXECUTIVE SECRETARY

September 9, 2021

Council President Ossing
Marlborough City Council
140 Main Street
Marlborough, MA 01752

RE: Grant Acceptances from BayPath Elder Services for the Council on Aging

Honorable President Ossing and Councilors:

Enclosed are two grants for your acceptance from the BayPath Elder Services for the Council on Aging.

The first grant is in the amount of \$7,000.00 that will support seniors in living "A Hoarding and Clutter Free Lifestyle." An additional \$4,000.00 grant will be used to provide training and certification for two of the COA staff members in assisting seniors who suffer from loneliness and isolation.

I would like to take this opportunity to express our gratitude to BayPath Elder Services for their continued support.

Please don't hesitate to contact me or Senior Center Executive Director Trish Pope with any questions.

Sincerely,

Arthur G. Vigeant
Mayor

Enclosures



City of Marlborough
Council on Aging and Senior Center

40 New Street
 Marlborough, Massachusetts 01752
 Telephone (508) 485-6492 Facsimile (508) 460-3726

Patricia A. Pope
 EXECUTIVE DIRECTOR

September 7, 2021

Mayor Arthur G. Vigeant
 City Hall
 140 Main Street
 Marlborough, MA 01752

Re: Acceptant of BayPath Title III and Title III-D Grants

Dear Mayor Vigeant,

I am pleased to submit to you 2 grants from BayPath Elder Services.

The first grant in the amount of \$7000.00 is to assist seniors to obtain A Hoarding and Clutter Free Lifestyle.. This grant will assist seniors not only identified to us through our collaboration with the Marlborough Impact Team but also seniors in our community that self-identify and/or referrals from family members or landlords.

The second grant in the amount of \$4000.00 will allow us to have 2 trained and certified Senior Center staff members in PEARLS (Program to Encourage Active Rewarding Lives). This program is specifically designed for assisted seniors that suffer from loneliness and isolation. We feel this is a very timely program as we emerge from COVID 19.

I would like to thank BayPath Elder Services for their continued support. As always, I am available should you or the Councilors have any questions.

Sincerely,

Patricia A. Pope
 Executive Director

CITY OF MARLBOROUGH
NOTICE OF GRANT AWARD

DEPARTMENT: Council on Aging DATE: 7-Sep-21

PERSON RESPONSIBLE FOR GRANT EXPENDITURE: Patricia Pope

NAME OF GRANT: A Hoarding /Clutter Free Lifestyle

GRANTOR: BayPath Elder Services

GRANT AMOUNT: \$7,000.00

GRANT PERIOD: October 1, 2021 - September 30, 2022

SCOPE OF GRANT/
ITEMS FUNDED Programs, educatio, assessments, adminstration
cleaning supplies and dumpsters.

IS A POSITION BEING
CREATED: No

IF YES: CAN FRINGE BENEFITS BE PAID FROM GRANT? _____

ARE MATCHING CITY
FUNDS REQUIRED? No

IF MATCHING IS NON-MONETARY (MAN HOURS, ETC.) PLEASE SPECIFY:

IF MATCHING IS MONETARY PLEASE GIVE ACCOUNT NUMBER AND DESCRIPTION OF CITY FUNDS
TO BE USED:

ANY OTHER EXPOSURE TO CITY?
No

IS THERE A DEADLINE FOR CITY COUNCIL APPROVAL: as soon as possible

**DEPARTMENT HEAD MUST SUBMIT THIS FORM, A COPY OF THE GRANT APPROVAL, AND A COVER
LETTER TO THE MAYOR'S OFFICE REQUESTING THAT THIS BE SUBMITTED TO CITY COUNCIL**



service • education • information

BayPath Elder Services, Inc.

33 Boston Post Road West

Marlborough, MA 01752-1853

508-573-7200 • Fax 508-573-7222 • TTY 508-573-7282

September 3, 2021

Alicia Rego, Outreach Coordinator
Marlborough Senior Center
40 New Street
Marlborough, MA 01752

Dear Alicia,

The BayPath Board of Directors met on August 25, 2021 and voted on the funding of the Title III programs for the Federal Fiscal Year 2022. The Marlborough COA was awarded grant funding under Title IIIB for \$7,000.00 for the A Hoarding/Clutter Free Lifestyle Project.

The grant period of the award is from October 1, 2021 through September 30, 2022. Because of the uncertainty of what the actual funding will be from the Executive Office of Elder Affairs, this award is tentative and subject to change. Your notification of Grant Award documentation, along with other pertinent information regarding the grant, will be sent to you by October 1, 2021.

If you have any questions regarding the above, please call me at (508) 573-7346.

Sincerely,


Fran Bakstran
Assistant Director, Area Agency on Aging

Cc: Joseph B. Quirk, Executive Director

Area Agency on Aging
Serving the Communities of
Ashland - Dover - Framingham - Holliston - Hopkinton - Hudson - Marlborough
Natick - Northborough - Sherborn - Southborough - Sudbury - Wayland - Westborough

CITY OF MARLBOROUGH
NOTICE OF GRANT AWARD

DEPARTMENT: Council on Aging DATE: 7-Sep-21

PERSON RESPONSIBLE FOR GRANT EXPENDITURE: Patricia Pope

NAME OF GRANT: PEARLS (Program to Encourage Active Reward Lives)

GRANTOR: BayPath Elder Services

GRANT AMOUNT: \$4,000.00

GRANT PERIOD: October 1, 2021 - September 30, 2022

SCOPE OF GRANT/
ITEMS FUNDED Staff training and program costs
including incentives and lunch

IS A POSITION BEING
CREATED: No

IF YES: CAN FRINGE BENEFITS BE PAID FROM GRANT? _____

ARE MATCHING CITY
FUNDS REQUIRED? No

IF MATCHING IS NON-MONETARY (MAN HOURS, ETC.) PLEASE SPECIFY:

IF MATCHING IS MONETARY PLEASE GIVE ACCOUNT NUMBER AND DESCRIPTION OF CITY FUNDS
TO BE USED:

ANY OTHER EXPOSURE TO CITY?
No

IS THERE A DEADLINE FOR CITY COUNCIL APPROVAL: as soon as possible

**DEPARTMENT HEAD MUST SUBMIT THIS FORM, A COPY OF THE GRANT APPROVAL, AND A COVER
LETTER TO THE MAYOR'S OFFICE REQUESTING THAT THIS BE SUBMITTED TO CITY COUNCIL**



service • education • information

BayPath Elder Services, Inc.

33 Boston Post Road West

Marlborough, MA 01752-1853

508-573-7200 • Fax 508-573-7222 • TTY 508-573-7282

September 3, 2021

Patricia Pope, Executive Director
Marlborough Senior Center
40 New Street
Marlborough, MA 01752

Dear Trish,

The BayPath Board of Directors met on August 25, 2021 and voted on the funding of the Title III programs for the Federal Fiscal Year 2022. The Marlborough COA was awarded grant funding under Title IIID for \$4,000.00 for PEARLS (Program to Encourage Active Rewarding Lives).

The grant period of the award is from October 1, 2021 through September 30, 2022. Because of the uncertainty of what the actual funding will be from the Executive Office of Elder Affairs, this award is tentative and subject to change. Your notification of Grant Award documentation, along with other pertinent information regarding the grant, will be sent to you in September.

If you have any questions regarding the above, please call me at (508) 573-7346.

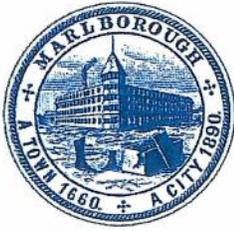
Sincerely,



Fran Bakstran
Assistant Director, Area Agency on Aging

Cc: Joseph B. Quirk, Executive Director

Area Agency on Aging
Serving the Communities of
Ashland - Dover - Framingham - Holliston - Hopkinton - Hudson - Marlborough
Natick - Northborough - Sherborn - Southborough - Sudbury - Wayland - Westborough



City of Marlborough Office of the Mayor

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
Arthur G. Vigeant
MAYOR

2021 SEP -9 A 10:50
Patricia M. Bernard
EXECUTIVE AIDE

140 Main Street
Marlborough, Massachusetts 01752
508.460.3770 Fax 508.460.3698 TDD 508.460.3610
www.marlborough-ma.gov

Ryan P. Egan
EXECUTIVE SECRETARY

September 9, 2021

Council President Ossing
Marlborough City Council
140 Main Street
Marlborough, MA 01752

RE: Gift Acceptance from Digital Federal Credit Union – Marlborough Police Department

Honorable President Ossing and Councilors:

Enclosed is a gift acceptance in the amount of \$7,500.00 from the Digital Federal Credit Union (DCU) for the Marlborough Police Department.

These funds will be used for community outreach programs such as the Youth Academy and the Christmas Heroes for Helpers program.

I would like to take this opportunity to express our gratitude to DCU for their continued support of our youth programs.

Please don't hesitate to contact me or Police Chief David Giorgi with any questions.

Sincerely,

Arthur G. Vigeant
Mayor

Enclosures



City of Marlborough

Police Department

355 Bolton Street, Marlborough, Massachusetts 01752
Tel. (508)-485-1212 Fax (508)-624-6938



David A. Giorgi
Chief of Police

August 6, 2021

Mayor Arthur G. Vigeant
City Hall
140 Main Street
Marlborough, MA 01752

Dear Mayor Vigeant:

The Marlborough Police Department has received a donation check in the amount of \$7,500.00 from Digital Federal Credit Union(D.C.U.). The donation has been offered to the police department as a representation of DCU's continued support for the department's programs and efforts to make a difference in our community. This donation significantly aids the department's ability to offer community outreach program, like our summer Youth Academy for middle school students and our Christmas Heroes for Helpers program.

Attached is a copy of the cover letter which our department received from DCU, a Notice of Grant Award, as well as copy of the check. I am requesting that the donation be forwarded to the City Council for approval. Should you have any questions, please do not hesitate to call.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Giorgi".

David A. Giorgi
Chief of Police



CITY OF MARLBOROUGH
NOTICE OF GRANT AWARD

DEPARTMENT: Police DATE: August 6, 2021

PERSON RESPONSIBLE FOR GRANT EXPENDITURE: Chief David A. Giorgi

NAME OF GRANT: Digital Federal Credit Union donation

GRANTOR: Digital Federal Credit Union

GRANT AMOUNT: \$7,500.00

GRANT PERIOD: _____

SCOPE OF GRANT/
ITEMS FUNDED Donation to support department programs

IS A POSITION BEING
CREATED: N/A

IF YES: CAN FRINGE BENEFITS BE PAID FROM GRANT? _____

ARE MATCHING CITY
FUNDS REQUIRED? N/A

IF MATCHING IS NON-MONETARY (MAN HOURS, ETC.) PLEASE SPECIFY:
N/A

IF MATCHING IS MONETARY PLEASE GIVE ACCOUNT NUMBER AND DESCRIPTION OF CITY FUNDS
TO BE USED:
N/A

ANY OTHER EXPOSURE TO CITY?
N/A

IS THERE A DEADLINE FOR CITY COUNCIL APPROVAL: NO

**DEPARTMENT HEAD MUST SUBMIT THIS FORM, A COPY OF THE GRANT APPROVAL, AND A COVER
LETTER TO THE MAYOR'S OFFICE REQUESTING THAT THIS BE SUBMITTED TO CITY COUNCIL
FOR APPROVAL OF DEPARTMENT TO EXPEND THE FUNDS RECEIVED FOR THE PURPOSE OF THE GRANT**



July 20, 2021

To Whom It May Concern,

On behalf of DCU – Digital Federal Credit Union, I am pleased to provide your organization with the enclosed donation. **This donation represents DCU's support of your organization's efforts in providing programs and services that make a difference in the common communities we serve.**

As a socially responsible organization, DCU is committed to giving back and helping provide the resources needed by your organization to do the good that you do each and every day. The donation is not a sponsorship or an opportunity for DCU to market our credit union. The objective for our donation is to directly affect the lives of our common community members who need help most.

Thank you for all that you do! I work with a volunteer on DCU's philanthropic work and to build our partnership with organizations that align with supporting our community members in need. The volunteer I work with is Amy Regan and her contact information is amyregandcu@gmail.com or (508) 804-9653. Please do not hesitate to reach out to Amy on any questions and/or inquiries you may have on this donation.

DCU also continues to explore volunteer opportunities to support our communities. If there are such opportunities at your organization, please do not hesitate to reach out to Maureen Spaulding, Foundation Manager, at mbspaulding@dcu.org. For further information about DCU and our branch locations, or communities we serve, please visit our website at www.dcu.org.

Sincerely,

A handwritten signature in black ink that reads "Laurie M. LaChapelle". The signature is written in a cursive style.

Laurie LaChapelle

SVP Finance

DCU – Digital Federal Credit Union

mail

220 Donald Lynch Blvd. | PO Box 9130
Marlborough, MA 01752-9130

connect

dcu.org | dcu@dcu.org
800.328.8797



Digital Federal Credit Union
 PO Box 9130 • Marlborough, MA 01752-9130 • 508.263.6700

DATE
7/20/2021

CHECK NUMBER
072940

Detach This Portion Before Deposit
9-5

INVOICE NUMBER	INVOICE DATE	DESCRIPTION	GROSS AMOUNT	DISCOUNT	NET AMOUNT
2021 DONATION	7/20/2021	Vchr: VO131870	\$7,500.00	\$0.00	\$7,500.00
PRINT BATCH 3,541	VENDOR CODE MARLBOROPOLI	PAY TO NAME CITY OF MARLBROUGH-POLICE DEPARTMENT			NET TOTAL \$7,500.00

ORIGINAL CHECK HAS A VOID PANTOGRAPH AND IS PRINTED ON CHEMICAL REACTIVE PAPER - SEE BACK FOR DETAILS



Digital Federal Credit Union
 PO Box 9130 • Marlborough, MA 01752-9130 • 508.263.6700

ACCOUNTS PAYABLE

DATE	CHECK NO.
7/20/2021	072940

PAY

Seven thousand five hundred and 00/100 Dollars Only

VOID AFTER 90 DAYS

PAY TO ORDER OF

CITY OF MARLBROUGH-POLICE DEPARTMENT
 355 BOLTON STREET
 MARLBOROUGH, MA 01752

AMOUNT
\$7,500.00

Louis M. LaChapelle

⑈072940⑈



City of Marlborough Office of the Mayor

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
MAYOR
2021 SEP -9 A 10:50
Patricia M. Bernard
EXECUTIVE AIDE

140 Main Street
Marlborough, Massachusetts 01752
508.460.3770 Fax 508.460.3698 TDD 508.460.3610
www.marlborough-ma.gov

Ryan P. Egan
EXECUTIVE SECRETARY

September 9, 2021

Council President Ossing
Marlborough City Council
140 Main Street
Marlborough, MA 01752

RE: Transfer request for Auditor's Office

Honorable President Ossing and Councilors:

Enclosed for your review and approval is a transfer request in the amount of \$93,243.00 from Reserve for Salaries to Sick Leave Buy Back and Longevity to fund recent retirements in the Police Department and Department of Public Works.

Auditor Diane Smith and I will be available at a future meeting to discuss further. Please don't hesitate to contact me with any questions.

Sincerely,


Arthur G. Vigeant
Mayor

Enclosures



CITY OF MARLBOROUGH
Office of the City Auditor
140 Main St.
Marlborough, MA 01752

September 9, 2021

Mayor Arthur G. Vigeant
City Hall
140 Main Street
Marlborough, MA 01752

RE: Reserve for Salaries Transfer Request

Enclosed herewith is a transfer request to fund Sick Leave Buy Back and Longevity owed to three individuals that recently retired from the DPW and Police Department.

Please contact me if you should have any further questions regarding this information.

Sincerely,

A handwritten signature in black ink, appearing to read 'Diane Smith'. The signature is fluid and cursive, with a large initial 'D' and 'S'.

Diane Smith, CGA
City Auditor

CITY OF MARLBOROUGH
BUDGET TRANSFERS --

DEPT: Various

FISCAL YEAR: 2022

FROM ACCOUNT:

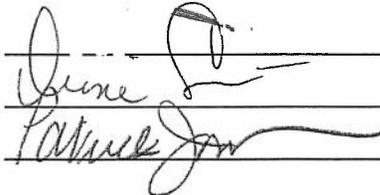
TO ACCOUNT:

Available Balance	Amount	Org Code	Object	Account Description:	Amount	Org Code	Object	Account Description:	Available Balance
\$1,075,817.00	\$93,243.00	11990006	57820	Reserve for Salaries	\$31,375.00	12100003	51920	Sick Leave Buy Back	\$142,155.10
	Reason:							Retirement payout	
					\$22,189.00	14001303	51920	Sick Leave Buy Back	\$0.00
								Retirement payout	
					\$2,040.00	14001303	51430	Longevity	\$22,188.78
	Reason:							Retirement payout	
					\$34,106.00	14001103	51920	Sick Leave Buy Back	\$0.00
	Reason:							Retirement payout	
					\$3,533.00	14001103	51430	Longevity	\$10,879.63
	Reason:							Retirement payout	
	\$93,243.00	Total			\$93,243.00	Total			

Department Head signature:

Auditor signature:

Finance Director signature:





City of Marlborough
Office of the Mayor

140 Main Street
Marlborough, Massachusetts 01752
508.460.3770 Fax 508.460.3698 TDD 508.460.3610
www.marlborough-ma.gov

RECEIVED
CITY OF MARLBOROUGH
CITY OF MARLBOROUGH
MAYOR
2021 SEP -9 A 10:50
Patricia M. Bernard
EXECUTIVE AIDE

Ryan P. Egan
EXECUTIVE SECRETARY

September 9, 2021

Council President Ossing
Marlborough City Council
140 Main Street
Marlborough, MA 01752

RE: Transfer request for Inspectional Services

Honorable President Ossing and Councilors:

Enclosed for your review and approval is a transfer request in the amount of \$70,645.00 from Assistant Building Commissioner salary to Contract Services.

Currently, our Inspectional Services office is down one full time inspector and we have been using 4Leaf services to fill in on an as needed basis. The plan is to fill this position with the right candidate, but it may not happen until later this fiscal year. The department will reassess needs in January.

Commissioner Htway and I will be available at a future meeting to discuss further. Please don't hesitate to contact me with any questions.

Sincerely,

Arthur G. Vigeant
Mayor

Enclosures



City of Marlborough
BUILDING DEPARTMENT

140 Main Street
 Marlborough, MA 01752
 Tel. (508) 460-3776 Facsimile (508) 460-3736
 building_dept@marlborough-ma.gov

TIN HTWAY
 BUILDING COMMISSIONER

LAURENT "LARRY" LEMIEUX
 PLUMBING & GAS INSPECTOR

JOHN CAIN
 WIRING INSPECTOR

WILLIAM PAYTON
 BUILDING INSPECTOR

ETHAN LIPPITT
 BUILDING INSPECTOR

September 9, 2021

Mayor's Office
 140 Main Street,
 Marlborough, MA 01752

RE: APPROVAL FOR ADDITIONAL RESOURCES

Honorable Vigeant,

This office is requesting additional resources to provide professional level services for the City of Marlborough and offer the following comments:

1. This office is requesting additional resources as in year's past for support for commercial plan review, commercial inspections while current staff is being trained.
2. This office is continuing to see expansive growth throughout the City and especially in the Biotech and High-tech industries.
3. Additionally, this office has newly hired replacement clerical staff, who are rapidly getting up to speed but this office is short staffed by one full time inspector.
4. Additional required inspections that need to be performed Annual Inspections for multi-family dwellings, group homes, hotels, assembly uses such as churches, halls, detox facilities and fire escapes.
5. Attached is Cost Proposal from 4LEAF, Inc. requested As-Needed Services.

Please feel free to contact my office if you have any questions or concerns.

Best Regards,

Tin Htway
 Building Commissioner

CITY OF MARLBOROUGH
BUDGET TRANSFERS --

DEPT: Inspectional Services

FISCAL YEAR: 2022

FROM ACCOUNT:

TO ACCOUNT:

Available
Balance

Amount

Org Code

Object

Account Description:

Amount

Org Code

Object

Account Description:

Available
Balance

\$82,360.00

\$70,645.00

12410001

50095

Asst Bulding Commissioner

\$70,645.00

12410004

53140

Contract Services

\$0.00

Reason:

Vacant position

Outsourcing of inspectional services

Reason:

Reason:

Reason:

\$70,645.00

Total

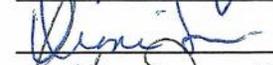
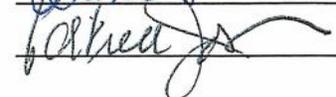
\$70,645.00

Total

Department Head signature:

Auditor signature:

Finance Director signature:



City of Marlborough

Legal Department

140 MAIN STREET
 MARLBOROUGH, MASSACHUSETTS 01752
 TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610
 LEGAL@MARLBOROUGH-MA.GOV

RECEIVED
 CITY CLERK'S OFFICE
 CITY OF MARLBOROUGH
 JASON D. GROSSFIELD
 CITY SOLICITOR
 2021 SEP -8 P 4:45

September 8, 2021

Michael H. Ossing, President
 Marlborough City Council
 City Hall
 140 Main Street
 Marlborough, MA 01752

Re: Council Order No. 21-1008293
 Proposed Zoning Amendments re: Commercial Village Housing Overlay District

Dear Honorable President Ossing and Councilors:

In connection with the above-referenced item, enclosed please find the proposed ordinance amendments, as referred to this office by the City Council. I have reviewed the amendments and placed them in proper legal form.

I also reviewed the amendments to determine the necessary quantum of vote required for adoption under the Zoning Act, M.G.L. c.40A, §5 (as recently revised by Chapter 358 of the Acts of 2020 known as the economic development legislation of 2020). In my opinion, adoption of the amendments requires a simple majority vote by the City Council.

Chapter 358 reduced the number of votes required to enact certain kinds of zoning ordinances from a $\frac{2}{3}$ supermajority to a simple majority, including an amendment to allow as of right or by special permit: multi-family housing in an eligible location. In reviewing the voting threshold, the City received an August 20, 2021 advisory opinion from the Commonwealth of Mass. Exec. Office of Housing & Economic Development opining that the subject overlay area is an "eligible location" for purposes of MGL c. 40A. The proposed overlay would allow higher density multi-family housing in the subject area.

Please contact me if you have any questions.

Respectfully,

Jason D. Grossfield
 City Solicitor

Enclosure

cc: Arthur G. Vigeant, Mayor
 Tin Htway, Building Commissioner

ORDERED:

THAT, PURSUANT TO SECTION 5 OF CHAPTER 40A OF THE GENERAL LAWS, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH THAT CHAPTER 650 OF THE CODE OF THE CITY OF MARLBOROUGH, AS MOST RECENTLY AMENDED, BE FURTHER AMENDED AS FOLLOWS:

I. Chapter 650 is hereby amended by inserting a new Section 650-37A, as follows:

§650-37A COMMERCIAL VILLAGE HOUSING OVERLAY DISTRICT

A. Purpose and objectives.

(1) The Commercial Village Housing Overlay District (herein, also "CV Housing Overlay") allows the application of supplemental land use controls within the boundaries of a certain overlay district, subject to City Council approval (hereinafter any reference to City approval shall be deemed to mean approval by the City Council) as an alternative to land use controls that exist in the underlying zoning district(s). The establishment goals of the CV Housing Overlay are to enhance land use development and encourage desired residential growth patterns for the benefit of the public health, safety and welfare and to allow for the development of higher density housing with potential accessory uses and in close proximity to commercial uses consistent with the stated economic development objectives of the City.

(2) For the purposes of this section, the CV Housing Overlay shall be superimposed on the other zoning districts existing at the time that any land in any said underlying district is also included in the CV Housing Overlay. The CV Housing Overlay is located on the corner of Forest Street and Ames Street, containing approximately 10 acres as indicated on the City Zoning Map and more particularly described in Exhibit A, annexed hereto and incorporated by reference herein.

B. Authority of permit granting authority.

(1) The City Council shall be the permit granting authority for special permit approval in the CV Housing Overlay. In all instances, a development which proceeds under the CV Housing Overlay is subject to site plan approval in accordance with §270-2 of the Marlborough City Code, with the exception that the City Council shall be the permit granting authority for special permit and site plan approval in the CV Housing Overlay.

(2) The City Council may elect to vary the dimensional and parking requirements of this section by special permit if, in its opinion, such change shall result in a substantially improved project and will not nullify or substantially derogate from the intent or purpose of this section. This authority continues subsequent to development and occupancy.

C. Master concept plan; development agreement.

(1) The property owner/developer of the CV Housing Overlay shall, prior to or simultaneously with the first application for approval of a site plan and/or special permit for the CV Housing Overlay, file the following with the City Council for approval:

A master concept plan ("Master Plan") which shall include and in a general manner show:

- (a) A project narrative describing the proposed development including, without limitation, the number of units, format, restrictions, if any, of the proposed project.
- (b) The location and areas of proposed development and associated uses;
- (c) Proposed open space (usable and natural);
- (d) Proposed site access curb cuts off of public ways; and
- (e) Proposed building "envelope(s)" where construction is anticipated to occur.
- (f) The following information for the proposed development:
 - (i) Total land area of each development area (building envelope area);
 - (ii) Total development limitations, if any, of uses in any developable area;
 - (iii) Total maximum development (number of units; square footage/use limitations); and
 - (iv) A report/memorandum discussing site circulation and traffic impacts.

(2) The master plan shall be approved by a majority vote of the City Council in order to proceed with the proposed development and, if approved, shall thereafter become the general development plan governing development at the CV Housing Overlay. The master plan may be amended from time to time by a majority vote of the City Council by application from the property owner/developer to reflect changing development conditions.

(3) A development agreement in recordable form binding upon the developer/property owner. The development agreement shall be approved by a majority vote of the City Council prior to the issuances of the first permit/site plan approval for development within the CV Housing Overlay, which may contain, without limitation:

- (a) Required mitigation (including any traffic demand management initiatives), if any, to address the impacts arising out of the use and occupancy of the proposed project, or if at the time of execution such impacts are not known, the methodology for assessing and addressing such impacts as the development of the CV Housing Overlay progresses.
- (b) Restrictions on development areas and such other development limitations as may be agreed upon such as, but not limited to, age restrictions and provision for affordable housing units and/or contributions, if any.
- (c) Proposed phasing of the development of the CV Housing Overlay, if any.
- (d) Obligations with respect to pedestrian and vehicular interconnectivity within the CV Housing Overlay, if any, to facilitate pedestrian access and circulation efficiencies.
- (e) The authority of the City Council to retain the necessary professionals to assist in its review of development applications.
- (f) A satisfactory soil management plan addressing any environmental condition existing on a lot to be included in the CV Housing Overlay.

The development agreement shall govern the implementation of the master plan and development at the CV Housing Overlay.

- D. **Exclusivity/Control.** Except as specifically provided herein, uses and provisions of Article V of Chapter 650 (Zoning) relating to the underlying zoning district not otherwise impacted by this section shall continue to remain in full force and effect; provided, however, that the City Council shall be the special permit granting and site plan approval authority, if applicable. This section of the Zoning Ordinance exclusively controls the establishment, development, and design of any development undertaken in the CV Housing Overlay and supersedes any other provision of the Zoning Ordinance (except the provisions of the Water Supply Protection District). In the event of any conflict between the provisions of this section and any other provision of the Zoning Ordinance, the provisions of this section shall govern and control.
- E. **Eligible uses.** Except as specifically set forth below, all uses permitted in Residence District (A-3) either as of right or by special permit in accordance with §650-17 of the Zoning Ordinance are permitted in the CV Housing Overlay. If a use requires a special permit under §650-17, Table of Use Regulations, such use shall continue to require a special permit under this section.
 - (1) The following additional uses are also permitted by right in the CV Housing Overlay:
 - (a) Multi-family dwelling: up to 90 dwelling units within the entire CV Housing Overlay Zoning if said units are age restricted or age targeted (by design) dwelling units.

(b) Consumer service and retail establishments accessory and complimentary to the other principal multi-family uses at the property.

(2) The following additional uses are also permitted by special permit in the CV Housing Overlay:

(a) Multi-family dwelling: over 90 dwelling units within the entire CV Housing Overlay Zoning District including, without limitation, age restricted or age targeted dwelling units.

F. Dimensional Requirements

The CV Housing Overlay shall be subject to the dimensional standards in accordance with Article VII of the Marlborough Zoning Ordinance with the following exceptions:

(1) The CV Housing Overlay may consist of one or more lots. There is no minimum acreage requirement for a lot to be a part of the CV Housing Overlay so long as the CV Housing Overlay district shall contain no less than 10 contiguous acres.

(2) Minimum lot frontage measurement shall be no less than twenty (20) feet for any lot wholly located within the boundaries of the CV Housing Overlay.

(3) Minimum front yard measurement shall be no less than twenty (20) feet for any lot wholly located within boundaries of the CV Housing Overlay.

(4) Minimum side yard measurement shall be no less than one hundred fifty (150) feet for any lot wholly located within the boundaries of the CV Housing Overlay.

(5) Minimum rear yard measurement shall be no less than one hundred fifty (150) feet for any lot wholly located in the boundary of the CV Housing Overlay.

(6) No less than fifteen (15) feet shall separate the structural side wall of any two or more structures within the CV Housing Overlay, even if on separate lots. No less than fifteen (15) feet shall separate any area behind and or between structures, and fire suppression vehicles shall have clear and adequate access to all structures.

(7) Maximum building height in CV Housing Overlay shall not exceed three (3) stories; a structure located within 50 feet from the property line of a directly abutting parcel in a residentially zoned district shall not exceed two and one-half (2 ½) stories in height.

(8) Maximum lot coverage shall be calculated on the entire land area of the CV Housing Overlay and not on an individual lot basis, and shall not exceed 65% percent of the total area of the CV Housing Overlay.

G. Parking and curb cut requirements.

Except as otherwise provided in this section, parking and circulation requirements shall conform with the provisions of Section §650-46 and §650-47 of the Zoning Ordinance.

- (1) General. In the CV Housing Overlay adequate off-street parking shall be provided. The City Council and the applicant shall have as a goal for the purposes of defining adequate off-street parking, making the most efficient use of the parking facilities to be provided and minimizing the area of land to be paved for this purpose.
- (2) Parking Locations. Parking may be provided at ground level, underground or in a parking garage. Parking garages can be free standing or as part of buildings dedicated to permitted uses.
- (3) Parking Spaces for Each Dwelling Unit. There shall be a minimum of 1.5 parking spaces for each dwelling unit. Where feasible, sharing of parking shall be encouraged among the various uses in the CV Housing Overlay.
- (4) Granting of Relief from Parking Regulations. The City Council may waive any of the foregoing requirements or the requirements of § 650-46 if it makes a finding that to do so will enhance the overall design of the CV Housing Overlay.

H. Signage.

- (1) Except as otherwise provided in this section, signage shall conform with the provisions of Chapter 526 of the Marlborough City Code - the Sign Ordinance.
- (2) Granting of relief from signage regulations. The City Council may waive any of the requirements of the Sign Ordinance if it makes a finding that to do so will enhance the overall design of the CV Housing Overlay.

I. Application.

- (1) An application for a special permit for a use in the CV Housing Overlay shall comply with the requirements of §650-57 et. seq. of the Zoning Ordinance. In the matter of a site plan approval, the application shall comply with the requirements of the City Code, Chapter 270, Article II, Permits and Approvals, § 270-2 et seq.
- (2) The City Council in connection with a special permit and/or site plan application shall review such applications with respect to the following design criteria:
 - a) Compliance of sidewalks with Americans with Disabilities Act (ADA) Design Standards;
 - b) Street facade and exterior walls visible from public ways;
 - c) Public space;
 - d) Scale of buildings; and
 - e) External lighting.

Concurrent with any public hearing/meeting associated with a special permit and/or site plan filing, the applicant shall make a presentation to the City Council to present the proposed architectural design and shall consider the comments and input from the City Council. A building elevation shall be submitted prior to the close of the public hearing/meeting.

J. Standards for roadways and drainage.

- (1) Roadways. Internal CV Housing Overlay roadways shall be private ways and shall be maintained by the owners/developers of the CV Housing Overlay and portions thereof. Private ways within the CV Housing Overlay, to the extent feasible, shall be constructed using the methods and materials prescribed in the Rules and Regulations for the Subdivision of Land in the City, but shall not be required to conform to the dimensional or material requirements thereof, provided that those private roadways shall be adequate for the intended vehicular and pedestrian traffic and shall be maintained by the owner/developer or an association of owners.
- (2) Storm Water Management System. The CV Housing Overlay shall have a stormwater management system designed in accordance with the Rules and Regulations for the Subdivision of Land in the City and the Department of Environmental Protection's Storm Water Management Guidelines, as amended. This system shall be privately maintained.

K. Amendments.

After approval, the owner/developer may seek amendments to the approved permits. Minor amendments to a special permit may be made with approval by the Building Commissioner. A major amendment, consisting of any changes not approved as a minor amendment, shall be approved by a majority vote of the City Council. It shall be a finding of the City Council, not subject to dispute by the applicant, whether a requested amendment is deemed to be a minor or major amendment. In general, a minor modification shall not produce more than an immaterial increase in the scale of a project nor produce more than an immaterial increase in impact on City services, the environment or the neighborhood. If it is determined that revisions to a special permit are not minor, per § 650-57 of the Zoning Ordinance, an application for an amended special permit shall be filed, and a public hearing shall be held in the same manner as required for a new application, subject to the fee schedule under Subsection C(3)(f) of § 650-57.

Exhibit "A"

Lots 1-23, property labeled "N/F David E. Silva" between said lot 22 and 23, and land shown as "Atkinson Drive", all as shown on a plan entitled Definitive Plan, Plan of Land of Commonwealth Heights in Marlborough, MA. Endorsed by the City of Marlborough Planning Board on April 9, 2007 and recorded with the Middlesex South Registry of Deeds as Plan 549 of 2007.

ADOPTED

In City Council
Order No. 21-
Adopted

Approved by Mayor
Arthur G. Vigeant
Date:

A TRUE COPY
ATTEST:



City of Marlborough Legal Department

140 MAIN STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610
LEGAL@MARLBOROUGH-MA.GOV

RECEIVED
CITY CLERK'S OFFICE
JASON D. GROSSFIELD
CITY OF MARLBOROUGH
CITY SOLICITOR
2021 SEP 2 10 21 AM
HEATHER H. GUTIERREZ
PARALEGAL

September 2, 2021

Michael H. Ossing, President
Marlborough City Council
City Hall
140 Main Street
Marlborough, MA 01752

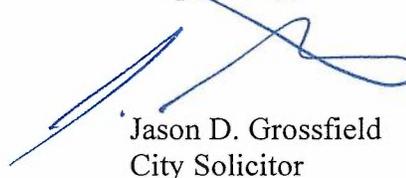
Re: City Council Order No. 21-1008307
Special Permit Decision, 141 Boston Post Road West, Marlborough

Dear Honorable President Ossing and Councilors:

In accordance with Chapter 650-57C(13) of the Marlborough Zoning Ordinance, I provide this letter as to the legal form of the City Council's proposed findings on the above-referenced special permit application. Enclosed is a copy of the proposed decision. I certify that it is in proper legal form.

Please contact me if you have any questions or concerns.

Respectfully,



Jason D. Grossfield
City Solicitor

Enclosure

cc: Arthur G. Vigeant, Mayor
Tin Htway, Building Commissioner

_____, 2021

**NOTICE OF DECISION
GRANT OF SPECIAL PERMIT**

In City Council
Order No. #21-1008307

Application of:
Raising Cane’s Restaurants, LLC

Locus:
141 Boston Post Road West (Route 20)
Assessors Map 78, Parcel 15A

DECISION

The City Council of the City of Marlborough hereby **GRANTS** the Application of Raising Cane’s Restaurants, LLC, with a mailing address of 6800 Bishop Road, Plano, Texas, as provided in the **DECISION** and subject to the Findings of Fact and Conditions contained therein.

Decision date: _____, 2021

The Decision of the City Council was filed in the Office of the City Clerk of the City of Marlborough on the [] day of [], 2021.

APPEALS

Appeals, if any shall be made pursuant to Massachusetts General Laws, Chapter 40A, Section 17 and shall be filed within twenty (20) days after the date of the filing of this Notice of Decision in the Office of the City Clerk of the City of Marlborough, MA.

A TRUE COPY
ATTEST:

City Clerk

ORDERED:

IN CITY COUNCIL

DECISION ON A SPECIAL PERMIT

Application of:
Raising Cane's Restaurants, LLC

Locus:
141 Boston Post Road West (Route 20)
Assessors Map 78, Parcel 15A

**DECISION ON A SPECIAL PERMIT
ORDER NO. 21-1008307**

The City Council of the City of Marlborough hereby GRANTS the application for a Special Permit to Raising Cane's Restaurants, LLC for the installation of a new restaurant with dual lane drive through service at 141 Boston Post Road West (Route 20), Marlborough, Massachusetts, as provided in this Decision and subject to the following Findings of Fact and Conditions.

FINDINGS OF FACT

1. The Applicant, Raising Cane's Restaurants, LLC, has offices located at 6800 Bishop Road, Plano, Texas, and is hereinafter referred to as the "Applicant."
2. The Applicant is party to a lease agreement with RK Associates Marlborough, Inc., which owns the premises known and numbered as 141 Boston Post Road West (Route 20), Marlborough, Massachusetts and further described on Marlborough Assessor's Maps at Map 78, Parcel 15A (hereinafter, the "Site"). In accordance with Article V, Sections 650-14(B)(2) and 650-17 of the Zoning Ordinance of the City of Marlborough, Applicant is seeking the approval of a new restaurant with dual lane drive through service at the Site (hereinafter, the "Project").
3. The Applicant has filed with City Clerk of the City of Marlborough an application for a Special Permit (hereinafter, the "Application").
4. The Site is located in the Business zoning district as determined by the Zoning Map of the City of Marlborough.
5. In connection with the Application, Applicant has submitted a certified list of abutters, filing fees, and a detailed site plan titled "Proposed Site Plan Documents for Raising Cane's Proposed Restaurant with Drive-Thru. Location of Site: 141 Boston Post Road West, City of Marlborough, Middlesex County, Massachusetts, Map #78, Lot 15A", prepared by Bohler Engineering, 352 Turnpike Road, Southborough, MA, scale 1"=80', dated April 9, 2021,

most recently revised July 12, 2021 (hereinafter, the “Plans”) attached here to as **Attachment “A”**.

6. The Application was certified as complete by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, in accordance with the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.

7. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.

8. The Marlborough City Council, pursuant to Massachusetts General Laws, Chapter 40A, held a public hearing on the Application on Monday, June 21, 2021, which was continued to Monday, July 19, 2021.

9. Applicant, through its counsel, traffic consultant and civil engineering consultant, presented testimony at the public hearing detailing the application, describing its impact upon municipal services, the neighborhood, and traffic.

10. At the public hearing, no members of the public spoke in favor of the Project and one member of the public indicated they were not in opposition and raised certain traffic concerns with respect to the Project.

11. The Applicant submits that the Project will provided an added benefit to the community in the form of desired quality food services provided in an efficient manner. The Applicant further submits that the Project is in harmony with the general purpose and intent of the City Zoning Code as required for the issuance of a Special Permit.

**BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING
FINDINGS AND TAKES THE FOLLOWING ACTIONS**

A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.

B. The City Council finds that the proposed use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by Applicant, its successors and/or assigns to the conditions more fully set forth herein.

C. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby GRANTS Applicant a Special Permit to construct a restaurant with dual lane drive through service as shown on

the Plans filed, SUBJECT TO THE FOLLOWING CONDITIONS, which conditions shall be binding on Applicant, its successors and/or assigns:

1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts, and shall be built according to the Plans as may be amended during Site Plan Review.
2. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review in accordance with the City of Marlborough site plan review ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications or amendments, as required during the process of Site Plan Review, shall be further conditions attached to the building permit, and no occupancy permit shall be issued until Applicant has complied with all conditions. Subsequent Site Plan Review shall be consistent with the conditions of this Special Permit and the Plans submitted, reviewed and approved by the City Council as the Special Permit Granting Authority. Any changes to the Plans which alter the traffic patterns or landscaping, or reduce the overall green space of the Project, will require subsequent approval by the City Council.
3. Compliance with Applicable Laws. Applicant, its successors and/or assigns agrees to comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of Applicant's Project.
4. Signage. The locations and design of signage shall be reviewed and approved by the City of Marlborough during Site Plan Review in accordance with the sign ordinance of the City of Marlborough. It is a further condition that the location of the signage shall not be substantially different than that shown on the Plans submitted herewith, allowing, however, for minor changes in the field so as to avoid conflicts with existing City infrastructure.
5. Pavement Markings/Traffic Signage. The location and placement of pavement markings and traffic directional signage shall be reviewed and approved by the City of Marlborough during Site Plan Review in accordance with applicable rules and regulations of the City of Marlborough.
6. No Overnight Parking. There shall be no overnight parking at the Site.
7. Landscaping. Applicant, its successors and/or assignees agrees to maintain the Project landscaping substantially in conformance with the Plans as submitted to the City Council and/or the City Council's Urban Affairs Committee, as may be amended during Site Plan Review.
8. Noise. The drive through shall employ a speaker system of a quality that seeks to minimize the noise emanating from the speaker system and in full compliance with the noise ordinance of the City of Marlborough. The drive through audio speakers also shall not produce noise at the property line greater than that which would be allowed at the property line in a Residential zoning district, in accordance with the noise ordinance of the City of Marlborough.

9. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council’s Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.

10. Engineering Changes. Site Plan Review Committee may make engineering changes to the Plans, so long as said changes do not change the use of the Project as approved herein, or materially increase the impervious area of the Project, reduce the green area, or increase the size of the building shown on the Plans.

11. Parking Areas. Parking areas will be swept and maintained by Applicant, its successors and/or assigns as necessary. Applicant, its successors and/or assigns shall be responsible for providing, installing and maintaining all signage or markings required by the Marlborough Traffic Commission. Such signage or markings shall meet the standards of the Manual on Uniform Traffic Control Devices.

12. Hours of Operation. The hours of operation for the restaurant will be Sunday through Thursday, 9:00 a.m. to 1:00 a.m. and Friday to Saturday, 9:00 a.m. to 3:30 a.m. The hours of operation for the drive through facility will be Sunday through Thursday, 9:00 a.m. to 1:00 a.m. and Friday to Saturday, 9:00 a.m. to 3:30 a.m.

13. Trenching; Staging. All trenching shall be in compliance with Massachusetts law and pursuant to permits issued by the Engineering Division of the City’s Department of Public Works. During construction, no vehicles shall be staged on public ways.

14. Recording of Decision. In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council’s office, the Building Department, and the City Solicitor’s office.

Yea: ___ - Nay: ___ -Absent - ___

Yea: _____, _____, _____, _____, _____, _____, _____, _____,

Nay: _____, _____,

Absent: _____, _____,

Signed by City Council President
Michael H. Ossing

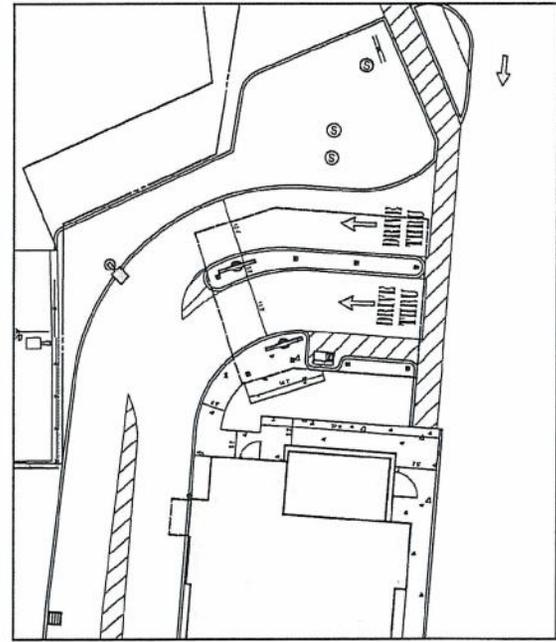
ADOPTED
In City Council
Order No. 21-1008307

Attachment A



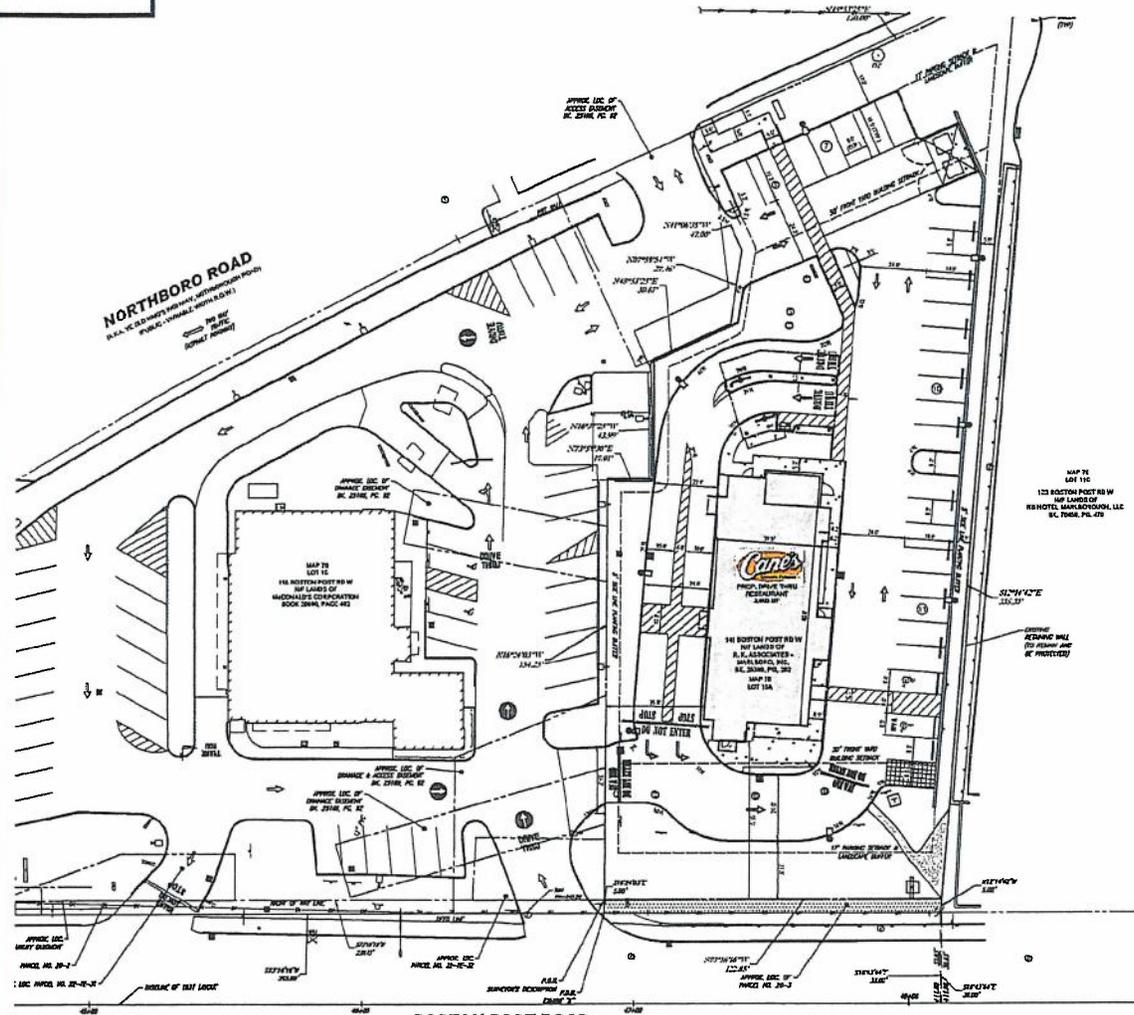
LEGEND	
	PROPERTY LINE
	EXISTING PLACEMENT
	PROPOSED EXISTENCE
	PROPOSED EXISTENCE, DIM.
	EXISTING DIM.
	PROPOSED FIRE ALARMS

- DIMENSION NOTES**
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. REFER TO DIMENSION SHEETS FOR DIMENSIONS OF ALL OTHER AREAS.



INSET 1
SCALE: 1/4" = 1'-0"
REFER TO DIMENSION SHEETS FOR DIMENSIONS & HEIGHTS LOCATION OF LOCAL BOARD, HEIGHT DETECTOR AND PRE-ALARM BEARS

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES



BOSTON POST ROAD
I-93, MASSACHUSETTS STATE HIGHWAY 93, ROUTE 20, BOSTON POST ROAD (WEST)
POLICE-VISUALS (WEST/LOOKING EAST)
APPROX. LOC. OF SERVICE DRIVEWAY



Restaurant Support Office
6502 Bishop Road, Plano, TX 75024
Tel: 972-769-3100 Fax: 972-769-3101

PROTOTYPE DRAWING DATE:
DATE:
RAISING CANE'S RESTAURANT
141 BOSTON POST ROAD
MARLBOROUGH, MA
Prototype 4E/V
RESTAURANT #RC0622

DESIGNER & INFORMATION:
BOHLER
332 TURNPIKE ROAD
SOUTH BOSTON, MA 02122
Phone: (508) 890-9900
www.BohlerEngineering.com

PROTOTYPE UPDATE PHASE:
UPDATE DRAWING DATE:
PROJECT NUMBER: 600

ENTITLEMENT ISSUE



SHEET REVISIONS: Blank Space for Designer	
DATE:	DESCRIPTION:
1	ISSUE FOR PERMITS AND TRAFFIC
2	REVISIONS TO PERMITS AND TRAFFIC

DIMENSION CONTROL

DATE: 04/01/2011
PROJECT NUMBER: 600000
DRAWN BY: AMF
SHEET NUMBER:

C-302

EROSION AND SEDIMENT CONTROL NOTES

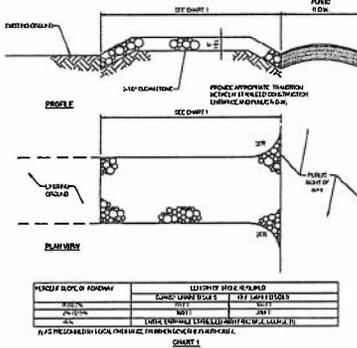
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE PERMITS AND EROSION CONTROL MANUAL.
2. THESE AREAS ARE BEING OPENED UP FOR CONSTRUCTION. THE EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY FINAL GRADING AND TEMPORARY STABILIZATION MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF MORE THAN 100 FEET OF A STREAM OR FLOW. THE AREA SHALL BE STABILIZED WITHIN 90 DAYS OF ANY FINAL GRADING. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTIGUOUS BARRIERS. STRAW BARRIERS SHALL BE USED TO PROTECT AREAS WITH SLOPES GREATER THAN 1% AFTER OCTOBER 15. THE AREA SHALL BE STABILIZED WITHIN 90 DAYS OF ANY FINAL GRADING.
4. INSTALL SEDIMENT BARRIERS AT THE OF SLOPE TO RETAIN SOIL FROM RAINFALL. USE SEDIMENT BARRIER DETAILS FOR PROPER INSTALLATION. SEDIMENT BARRIERS WILL REMAIN IN PLACE FOR 90 DAYS.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 30 DAYS AND UNDESIRABLE ACCUMULATIONS OF DEBRIS SHALL BE REMOVED. SEDIMENT BARRIERS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. SEDIMENT BARRIERS SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPON WHICH THEY ARE INSTALLED BY THE CONTRACTOR.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
7. IF FINAL GRADING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST RAINFALL EVENT, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE AREAS AS NEARLY AS POSSIBLE TO PROTECT THE SITE AND DELAY GRADING UNTIL THE NEXT REASONABLE WEATHER PERIOD.
8. TEMPORARY STABILIZATION OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADDED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST RAINFALL EVENT TO PROTECT FROM EROSION AND SEDIMENTATION.
9. DURING THE CONSTRUCTION PERIOD, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REPAIRED ON THE SAME AREA.
10. PROTECTION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED WITHIN 90 DAYS OF ANY FINAL GRADING. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
11. THE SLOPE OF LEAK WALLS SHALL BE SPECIFIED AS FOLLOWS:

SOIL TYPE	LEAK WALL SLOPE
CLAY	1:1
SAND	1:1
GRAVEL	1:1
12. ALL SLOPES OF LEAK WALLS SHALL BE SPECIFIED AS FOLLOWS:

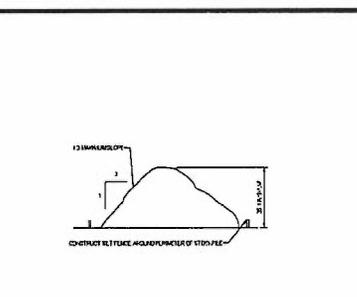
SOIL TYPE	LEAK WALL SLOPE
CLAY	1:1
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SAND	1:1
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CLAY	1:1
SAND	1:1
GRAVEL	1:1

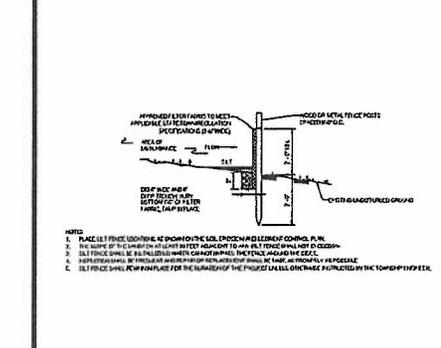


STABILIZED CONSTRUCTION ENTRANCE

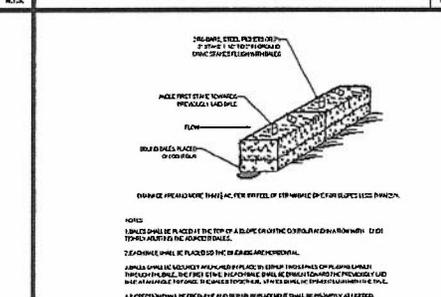


TEMPORARY STOCKPILE

1. WATER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WATER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. DISTURBED AREAS SHALL BE LIMITED TO THAT WHICH CAN BE RECLAIMED IN ONE DAY PRIOR TO ANY SHOWDOWN.
4. EXCAVATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 3 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EROSION PROTECTION HAS BEEN INSTALLED WITHIN 90 DAYS OF ANY FINAL GRADING OR TEMPORARY STABILIZATION MEASURES AS SPECIFIED BY THE PERMITS AND EROSION CONTROL MANUAL.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, LEAK OR SILENT WALLS SHALL BE REQUIRED, DURING PERIODS OF ABOVE PERIODS TEMPORARILY STABILIZED AREAS SHALL BE PAVED OR GRADED AND PROTECTED WITH MULCH OR TEMPORARILY STABILIZED AND MULCHED WITHIN 90 DAYS OF ANY FINAL GRADING OR TEMPORARY STABILIZATION MEASURES. THE AREA SHALL BE STABILIZED WITHIN 90 DAYS OF ANY FINAL GRADING OR TEMPORARY STABILIZATION MEASURES. THE AREA SHALL BE STABILIZED WITHIN 90 DAYS OF ANY FINAL GRADING OR TEMPORARY STABILIZATION MEASURES. THE AREA SHALL BE STABILIZED WITHIN 90 DAYS OF ANY FINAL GRADING OR TEMPORARY STABILIZATION MEASURES.
7. MULCH REQUIREMENTS:
 - 7.1. BETWEEN THE DATES OF NOVEMBER 15 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER PINE OR LIME MULCH WITHIN 90 DAYS OF ANY FINAL GRADING OR TEMPORARY STABILIZATION MEASURES.
 - 7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 1% AFTER OCTOBER 15. THE SAME APPLIES FOR ALL SLOPES GREATER THAN 1%.
 - 7.3. AFTER NOVEMBER 15, THE CONTRACTOR SHALL APPLY BORNTON SEEDING OR MULCH AND ANCHORING ON ALL SLOPE SLOTTING AT THE END OF EACH WORKING DAY.
 - 7.4. DURING THE WINTER CONSTRUCTION PERIODS MULCH SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACING MULCH.
 - 7.5. EROSION CONTROL MEASURES (E.g. MULCH, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY RISK OF EROSION THAT MAY OCCUR WITH UNDESIRABLE PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RISK.
 - 7.6. EROSION CONTROL MEASURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

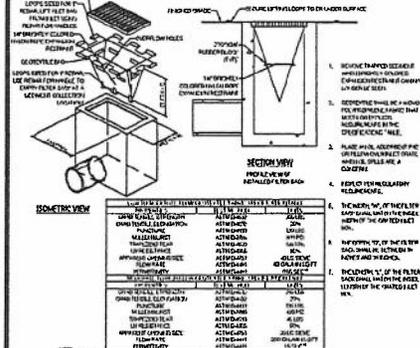


SILT FENCE

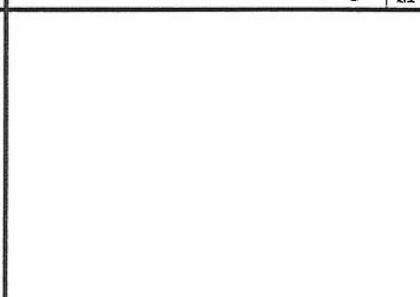


STRAW BALE

1. WATER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
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 - 7.6. EROSION CONTROL MEASURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.



FILTER SACKS (GRATED INLETS)



CONSTRUCTION SEQUENCE

- THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
1. INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES (AS SHOWN)
 2. INSTALLATION OF SILT FENCE EROSION CONTROL BARRIERS
 3. INSTALLATION OF MULCH PROTECTION IN STREET
 4. EXCAVATION OF EXISTING SITE STRUCTURES (SEE EXCAVATION PLAN)
 5. EXCAVATION AND EXCAVATION/PAVING AS NECESSARY
 6. CONSTRUCTION OF UTILITIES
 7. INSTALLATION OF MULCH PROTECTION OF DRAINAGE STRUCTURES AS THEY ARE INSTALLED
 8. CONSTRUCTION OF BUILDING
 9. DESTRUCTION OF ALL EXISTING AND LANDSCAPE PLANTS AS SPECIFIED ON THE PLANS
 10. FINAL GRADING OF ALL SLOPES AREAS
 11. MULCHING OF SLOPES AND SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZER, SEED, AND MULCH SHALL BE APPLIED TO BE INSTALLED AS REQUIRED.
 12. MULCHING PER LANDSCAPE PLAN
 13. REMOVE EROSION CONTROL AS DISTURBED AREAS BECOME STABILIZED TO 100% STABILIZATION OR GREATER.

Restaurant Support Office
8800 Bishop Road, Plano, TX 75074
Tel: 972-759-3100 Fax: 972-769-3101

BOHLER

303 TURNPIKE ROAD
BOSTON, MASSACHUSETTS 02115
Phone: (617) 408-4900
www.BohlerEngineering.com

ENTITLEMENT ISSUE

PROFESSIONAL SEAL REQUIRED

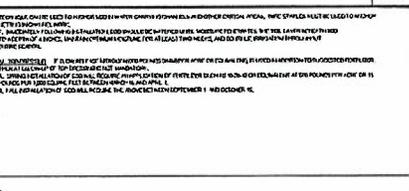
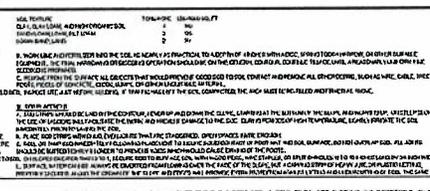
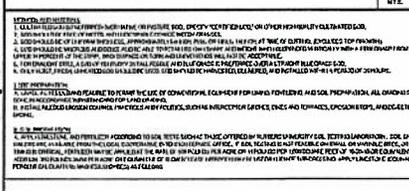
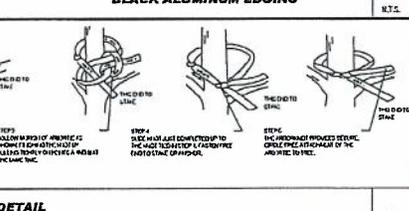
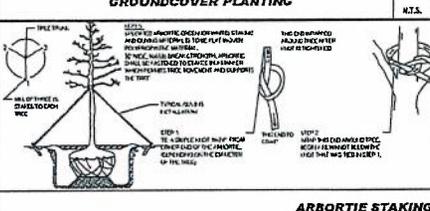
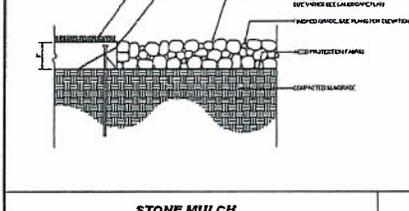
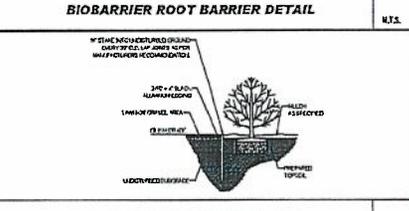
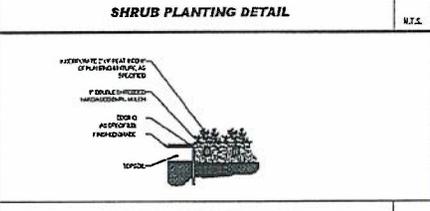
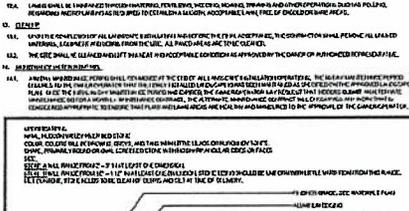
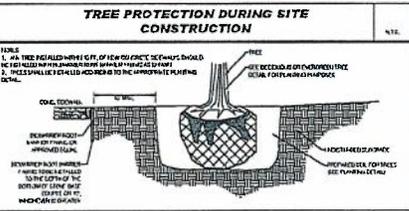
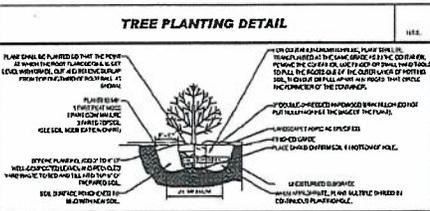
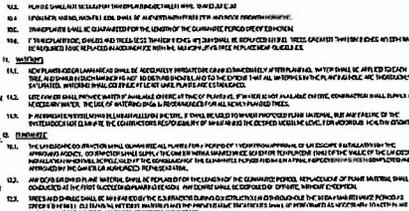
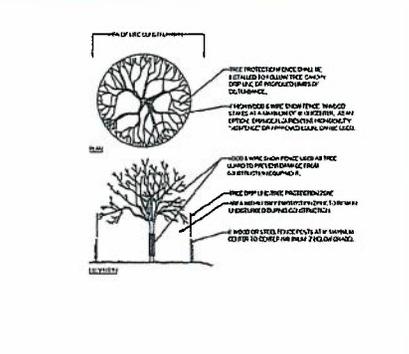
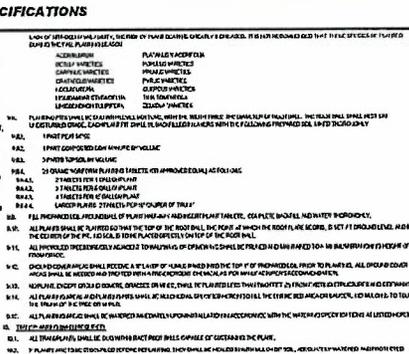
DATE	DESCRIPTION
1	APPROVED FOR PERMITS
2	APPROVED FOR PERMITS

EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

DATE: 11/15/2011
PROJECT NUMBER: 10091206
DRAWN BY: JWP
SHEET NUMBER: C-602

LANDSCAPE SPECIFICATIONS

1. **GENERAL**
2. **PLANTING**
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Restaurant Support Office
141 BOSTON POST ROAD
MARBOROUGH, MA
Phone: 978-451-1411
Fax: 978-769-3101

BOHLER
332 TURNING ROAD
SOUTHBOURNHAM, MA 01772
Phone: (508) 480-0000
www.BohlerEngineering.com

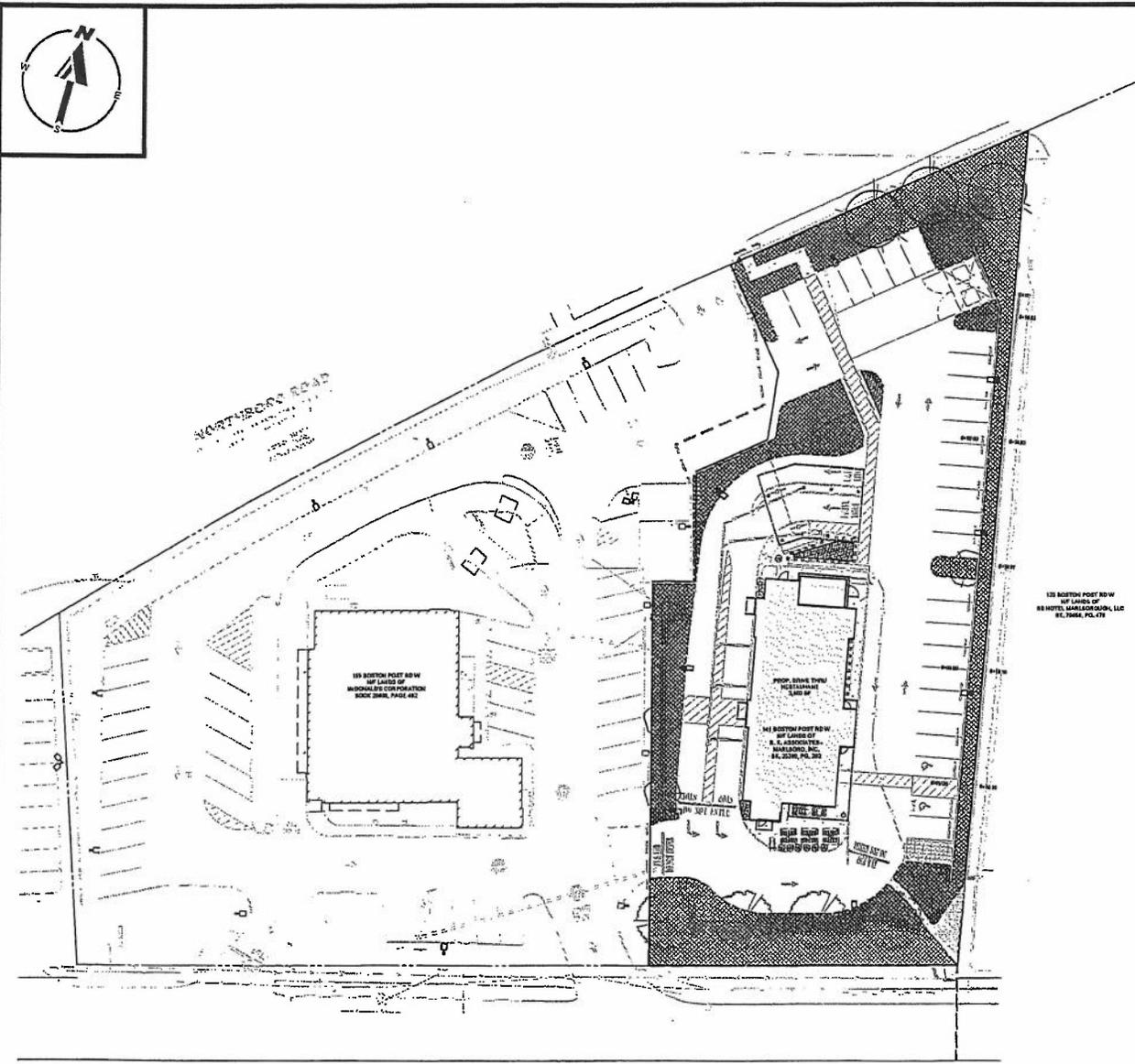
ENTITLEMENT ISSUE

NO.	DATE	DESCRIPTION
1	08/01/11	ISSUED FOR PERMITTING
2	08/01/11	ISSUED FOR PERMITTING

LANDSCAPE PLAN

DATE: 08/01/11
PROJECT NUMBER: 10000
DRAWN BY: JMB
CHECKED BY: JMB
PROJECT NUMBER: 10000

STANDARD FOR PERMANENT STABILIZATION WITH SOD



IRRIGATION NOTES

1. IRRIGATION CONTRACTOR TO LOCATE AND PROTECT ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
2. IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE AND ALL SYSTEM COMPONENTS ARE SHOWN FOR CLARITY. ALL LOCATIONS OF LINES, VALVES, AND HEADS TO BE CONFIRMED IN FIELD AND LOCATED IN LANDSCAPE AREAS, AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS. ALL VALVES TO BE LOCATED IN VALVE BOX WITH COVER AT GRADE, LOCATE BOX IN GRASS AREA WHEN POSSIBLE.
3. AUTOMATIC CONTROLLER AND WEATHER SENSOR TO BE LOCATED AS DIRECTED BY THE OWNER'S REPRESENTATIVE. WEATHER SENSOR TO BE FREE FROM OBSTRUCTIONS AND EXPOSED TO THE WEATHER.
4. 45 PSI REQUIRED PER ROTOR STATION, 30 PSI REQUIRED PER SPRAY STATION, AND 40 PSI REQUIRED PER DRIP STATION. ALL SPRAY AND ROTOR NOZZLES TO HAVE PRESSURE-SENSITIVE REGULATION.
5. PRESSURE REGULATOR REQUIRED BY LOCAL CODE IF STATIC WATER PRESSURE AT POINT OF CONNECTION FOR SITE IS GREATER THAN 80 PSI.
6. 4" P 804 40 PVC SLEEVES TO BE LOCATED AS SHOWN ON DRAWING, EXTEND SLEEVE 1' BEYOND EACH END OF CURB OR PARAPET. SLEEVES TO BE LOCATED AND EXPOSED BY THE GENERAL CONTRACTOR PRIOR TO START OF IRRIGATION INSTALLATION.
7. POP-UP HEIGHT OF SPRAY HEADS TO BE AS FOLLOWS: 4" IN TURF ZONES, 12" IN SHRUB ZONES, AND 18" IN SEASONAL COLOR BEDS. ROTOR HEIGHT TO BE 6". ROTOR NOZZLE SIZE IS INDICATED ON DRAWING FOR EACH ROTOR.
8. ALL PIPES, AUTOMATIC VALVES, BACKFLOW PREVENTOR, MANUAL VALVE AND METER TO BE LOCATED WITHIN PROPERTY LINES. SHOWN OUTSIDE ON DRAWING FOR CLARITY ONLY.
9. IRRIGATION METER AND BACKFLOW PREVENTOR TO BE PROVIDED BY THE GENERAL CONTRACTOR.
10. ALL 1/2" MAIN LINES (CLASS 200 PVC PIPE OR 100 PSI RATED POLYETHYLENE) TO BE INSTALLED.
11. ALL LATERAL AND SUB-MAIN PIPE TO HAVE A MINIMUM OF 12" AND A MAXIMUM OF 18" COVER IF POSSIBLE.
12. NO ROCKS, Boulders, OR OTHER EXTRANEIOUS MATERIALS TO BE USED IN BACKFILLING TRENCHES.
13. ALL PIPE, VALVES, DRIP, SPRAY HEADS, ROTORS, CONTROLLERS, AND WEATHER SENSORS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. FOR ANY QUESTIONS ON RAINBOW PRODUCTS OR INSTALLATION OF RAINBOW PRODUCTS CALL DONNA MAHON 508-864-1146.
14. ALL THREADED ADJTS TO BE COATED WITH TEFLON TAPE OR LIQUID TEFLO.
15. ALL LINES TO BE THOROUGHLY FLUSHED BEFORE INSTALLATION OF SPRINKLER HEADS.
16. MUST USE PRODUCTS SPECIFIED ON THIS DRAWING, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
17. IRRIGATION CONTRACTOR SHALL PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT. THIS DRAWING SHALL BE OVERSIGHTED WITHIN 24 HOURS OF COMPLETION OF INSTALLATION.
18. IRRIGATION CONTRACTOR TO PERFORM A WALL-THRU INSPECTION WITH THE OWNER'S REPRESENTATIVE OF THE FRACTURING SYSTEM PRIOR TO FINAL APPROVAL.
19. IRRIGATION IS TO BE INSTALLED IN AREAS DENOTED ON THE PLAN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.

TYPICAL IRRIGATION DESIGN GUIDELINES

1. CONTRACTOR TO SUBMIT A FULLY AUTOMATED IRRIGATION SYSTEM DESIGN FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
2. IRRIGATION SYSTEM TO BE DESIGNED TO PROVIDE HEAD TO HEAD COVERAGE IN TURF AND SHRUB BEDS.
3. MINIMIZE OVERTHROW ONTO SIDEWALK AND PAVED AREAS.
4. USE 1/2" MAINLINE AND 1" METER.
5. IRRIGATION MAINLINE, HEADS, VALVES, ETC. ARE NOT TO BE PLACED IN THE PUBLIC ROW, CURBS AND SIDEWALK TRACES HAVE PREFERRED HANDING TURNS WITH TIGHT RADIUS AND WILL AVOID THE CURBS CAUSED DAMAGE TO IRRIGATION HEADS AND LINES. AVOID PLACING HEADS, LATERAL LINES AND MAIN LINES IN AREAS OF POTENTIAL DAMAGE.
6. MINIMIZE OVERTHROW ONTO ADJACENT PROPERTY.
7. USE SMART CONTROLLER ON ALL IRRIGATION SYSTEMS. BE RAINBOW D2-SATS WITH WEATHER STATION.
8. USE HIGH EFFICIENCY IRRIGATION HEADS WITH FLOW PRECIPITATION RATES TO AVOID RUNOFF AND WIND DRIFT, CONSERVE WATER AND REDUCE WATER USAGE COST.
9. USE DRIP IRRIGATION IN PLANTER BEDS ADJACENT TO BUILDING AND IN AREAS WITH MINIMAL PEDESTRIAN ACCESS.
10. KEEP SURFACE BEDS, PLANTERS AND TURF AREAS ON SEPARATE ZONES.
11. USE SPRAY HEADS ON ANNUAL, COLOR BEDS, ISOLATE COLOR BED ZONES WHEN PRACTICAL.
12. ALL IRRIGATION SYSTEM DESIGNS AND INSTALLATIONS MUST MEET LOCAL CODES AND ORDINANCES.



THIS PLAN TO BE UTILIZED FOR IRRIGATION PURPOSES ONLY

REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS



Restaurant Support Office
6800 Bishop Road, Falm, TX 75224
Tel: 972-766-3100 Fax: 972-768-3101

PROJECT NUMBER: 010000
RAISING CANE'S RESTAURANT
141 BOSTON POST ROAD
MARLBOROUGH, MA
Project #EV
RESTAURANT RJC0822

DESIGNED BY: BOHLER//
342 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 483-9100
www.BohlerEngineering.com

PROJECT UPDATE FILE NO: -
ISSUE DATE: -
PROJECT NUMBER: 010000

ENTITLEMENT ISSUE



DATE	DESCRIPTION
1 JUN 2011	REVISION: CORRECT 'CONCRETE' FOR 'BRICK' AND 'SLOPE' FOR 'GRADE'.
2 SEP 2011	REVISION: UPDATE 'CONCRETE' FOR 'BRICK' AND 'SLOPE' FOR 'GRADE'.

IRRIGATION PLAN

DATE: 06/08/11
PROJECT NUMBER: 010000
DRAWN BY: AMP
SHEET NUMBER: C-703

<p>CROSSWALK DETAIL</p>	<p>BOLLARD DETAIL</p>	<p>TRANSITION CURB</p>	<p>PRECAST CONCRETE CURB</p>	<p>ACCESSIBLE PARKING SIGN W/ BOLLARD DETAIL</p>
<p>N.T.A.</p>	<p>N.T.A.</p>	<p>N.T.A.</p>	<p>N.T.A.</p>	<p>N.T.A.</p>
<p>CONCRETE SIDEWALK TIE-IN</p>	<p>TYPICAL CONCRETE SIDEWALK</p>	<p>ACCESSIBLE RAMP</p>	<p>HANDICAP SIGN "DO NOT ENTER" SIGN</p>	
<p>N.T.A.</p>	<p>N.T.A.</p>	<p>N.T.A.</p>	<p>N.T.A.</p>	
<p>ACCESSIBLE STALL MARKINGS & PARKING LOT STRIPING DETAIL</p>	<p>"STOP" BAR DETAIL STOP SIGN</p>	<p>NO RIGHT TURN SIGN PEDESTRIAN CROSSING SIGN</p>	<p>TRAFFIC FLOW ARROW</p>	
<p>ACCESSIBLE PARKING SPACE PAINTING DETAIL</p>	<p>N.T.A.</p>	<p>N.T.A.</p>	<p>N.T.A.</p>	

Raising Cane's RESTAURANT

Restaurant Support Office
 6800 Bishop Road, Plano, TX 75024
 Tel: 972-769-2100 Fax: 972-769-2101

PROTOTYPE SHEET DATE: _____

PROJECT: **RAISING CANE'S RESTAURANT**
 141 BOSTON POST ROAD
 MARLBOROUGH, MA
 Prototype #45V
 RESTAURANT #RC0622

DESIGNER INFORMATION:
BOHLER
 343 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 499-9208
 www.BohlerEngineering.com

PROTOTYPE GRAPHIC PANEL: _____

GRAPHIC SHEET DATE: _____

PROJECT NUMBER: **608**

ENTITLEMENT ISSUE

PROFESSIONAL OF RECORD:

 J. K. BORCH
 PROFESSIONAL ENGINEER
 LICENSE NO. 10000
 STATE OF MASSACHUSETTS

SHEET REVISIONS:	Revised Specific per Drawing
1	DATE: _____ DESCRIPTION: _____
2	DATE: _____ DESCRIPTION: _____

SHEET TITLE: **DETAIL SHEET**

DATE: **04/06/2021**

PROJECT NUMBER: **1002928**

DRAWN BY: **AMP**

SHEET NUMBER: **C-901**



City of Marlborough Legal Department

140 MAIN STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610
LEGAL@MARLBOROUGH-MA.GOV

RECEIVED
CITY CLERK'S OFFICE
JASON D. GROSSFIELD
CITY OF MARLBOROUGH
CITY SOLICITOR

2021 SEP -7 P 4: 20

September 7, 2021

Michael H. Ossing, President
Marlborough City Council
City Hall
140 Main Street
Marlborough, MA 01752

Re: City Council Order No. 21-1008328
Special Permit Decision, Edgewood Entertainment LLC
229 Boston Post Rd. West, Marlborough

Dear Honorable President Ossing and Councilors:

In accordance with Chapter 650-57C(13) of the Marlborough Zoning Ordinance, I provide this letter as to the legal form of the City Council's proposed findings on the above-referenced special permit application.

At the request of the Urban Affairs Committee, condition #6 addresses hours relative to service of alcoholic beverages. Enclosed is a copy of the proposed decision. I certify that it is in proper legal form.

Please contact me if you have any questions or concerns.

Respectfully,

Jason D. Grossfield
City Solicitor

Enclosure

cc: Arthur G. Vigeant, Mayor
Tin Htway, Building Commissioner

_____, 2021

**NOTICE OF DECISION
GRANT OF SPECIAL PERMIT**

In City Council
Order No. 21-1008328

Application of:

Edgewood Entertainment LLC
48 Edgewood Rd.
Southborough, MA 01772

Locus:
229 Boston Post Rd. West
Marlborough, MA 01752
Map 78, Parcel 2A

DECISION

The City Council of the City of Marlborough hereby **GRANTS** the Application of Edgewood Entertainment LLC (hereinafter "Applicant Tenant"), as provided in the DECISION and subject to the Findings of Fact and Conditions contained therein.

Decision date: _____, 2021

The Decision of the City Council was filed in the Office of the City Clerk of the City of Marlborough on the [] day of [], 2021.

APPEALS

Appeals, if any shall be made pursuant to Massachusetts General Laws, Chapter 40A, Section 17 and shall be filed within twenty (20) days after the date of the filing of this Notice of Decision in the Office of the City Clerk of the City of Marlborough, MA.

A TRUE COPY
ATTEST:

City Clerk

ORDERED:**IN CITY COUNCIL**

DECISION ON A SPECIAL PERMIT

Application of:

Edgewood Entertainment LLC
48 Edgewood Rd.
Southborough, MA 01772

Locus:

229 Boston Post Rd. West
Marlborough, MA 01752
Map 78, Parcel 2A

**DECISION ON A SPECIAL PERMIT
ORDER NO. 21-1008328**

The City Council of the City of Marlborough hereby GRANTS the Application for a Special Permit to Edgewood Entertainment LLC (hereinafter "Applicant Tenant"), as provided in this Decision and subject to the following Findings of Fact and Conditions.

FINDINGS OF FACT

1. Applicant Tenant is a duly organized and existing Massachusetts LLC with its principal place of business at 48 Edgewood Rd., Southborough, MA 01772.
2. The landlord is RK Associates-Marlboro, Inc., a duly organized and existing Massachusetts corporation with its principal place of business located at 50 Cabot Rd, Needham, MA 02494.
3. The landlord is the title owner of the property located at 229 Boston Post Rd. West, Marlborough, MA, being shown as a portion of Parcel 2A on Assessors Map 78 (the "Site"). The landlord and Applicant Tenant have executed or will execute a lease regarding the Site, and its use pursuant to the terms of this special permit regarding the Site.
4. The Applicant Tenant seeks permission to utilize a portion of the Site as a commercial indoor recreation establishment and place of amusement that will include various golf entertainment features and bar area features for playing, training and entertaining patrons (the "Use") on the Site as shown on the Plans referenced below.

5. The Applicant Tenant, on June 7, 2021, filed with the City Clerk of the City of Marlborough, an Application for a Special Permit under the provisions of § 650-17 and pursuant to the procedures specified in § 650-57 of the Marlborough Zoning Ordinance (the “Application”).

6. In connection with Application, the Tenant Applicant submitted a certified list of abutters, filing fees, a site plan entitled “ALTA/NSPS Land Title Survey Plan” – labeled “Overall Building Plan” by Kelly Engineering Group, with the last revision date of October 2, 2019, a plan entitled “Lease Outline Drawing” and labeled “Current Unit Interior and Exterior” by DSH Design Group with a last revision date of December 11, 2019, and a sketch floor plan entitled “X-Golf Marlborough” (collectively, the “Plans”) attached hereto as **“Attachment A.”** The Site contains an existing commercial building. The Use and subject portion of the Site are shown in that building on the Plans.

7. No modifications are proposed to the exterior of the building, no structural modifications are proposed to the interior of the building, and no parking areas will be created or modified.

8. The Application has been certified by the Building Commissioner, acting on behalf of the City Planner, as being complete in accordance with the Rules and Regulations promulgated by the City Council for the issuance of a special permit.

9. The Site is located in the Business Zoning District.

10. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.

11. The Marlborough City Council pursuant to M.G.L. c. 40A held a public hearing on July 19, 2021, concerning the Application. The hearing was opened and closed at that meeting.

12. The Applicant Tenant, through its representatives, presented testimony at the public hearing detailing the Use, describing its impact upon municipal services, the neighborhood, and traffic.

13. At the public hearing, Holly Irvine-Salvi, representing Brian Salvi who will be managing the operation of the business and is the Applicant Tenant, described the proposed business as being one that would provide an indoor venue that will include various golf entertainment features and bar area features for playing, training and entertaining patrons. In response to questions from city councilors, he indicated that: a) generally, customers will reserve golf bays online and/or will schedule events in advance. Walk-ins will be allowed based on golf bay availability; b) a full kitchen is not required, express ovens will be used for warming; and c)

liquor license is a requirement of the franchise. No member of the public spoke, either in favor or in opposition to the Use.

14. Following the public hearing, the Urban Affairs Committee held a meeting on July 26, 2021 during which this Application was discussed.

**BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING
FINDINGS AND TAKES THE FOLLOWING ACTIONS**

A. The Applicant Tenant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.

B. The City Council finds that the proposed Use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.

C. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby GRANTS the Applicant Tenant, its successors and assigns, a Special Permit to operate an indoor recreation establishment and place of entertainment as shown on the Plans filed, **SUBJECT TO THE FOLLOWING CONDITIONS**, which conditions shall be binding on the Applicant, its successors and/or assigns:

1. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.

2. Signage: Any signage installed or erected on the Site shall meet the requirements of the Sign Ordinance of the City of Marlborough, without variance.

3. Compliance with Local, State and Federal Laws: The Applicant Tenant agrees to comply with all rules, regulations and ordinances from the City of Marlborough, the Commonwealth of Massachusetts, and Federal Government as they may apply to the construction, maintenance of equipment and operation of the Use and public peace and good order if the Chief of Police determines that either the business or the Applicant Tenant are acting contrary to public peace and good order. The Chief shall notify the applicant in writing and deem corrective measures be put into effect in seven days. Upon the failure or inability of the applicant tenant to correct such measures, the Police Chief may require the applicant tenant to employ one or more police detail officers during such hours or days that he Police Chief in exercise of the sole discretion deemed to be necessary for the purpose of correcting the conditions.

4. Public Peace and Good Order: Applicant Tenant shall obtain appropriate CORI information regarding all employees of Applicant Tenant and shall keep said information available for inspection by local police upon request.

5. Parking: Per the Building Commissioner, 40 off-street parking spaces in the plaza are required for the Use.

6. Hours of Operation: The hours of operation of the Use shall not be earlier than 7:00 AM or later than 12:00 AM on any day. If the Ward Councilor, Chief of Police or other Councilor has not heard of any complaints in a year's time, then the hours of operation can remain the same. Service of alcohol shall not take place earlier than 10:00AM and shall cease by 12:00AM Monday-Saturday, and on Sundays shall take place not earlier than 11:00AM and cease by 12:00AM, and shall be subject to the requirements of the Licensing Board.

7. Limits of Use: The proposed Use is to provide an indoor recreation area that will include various golf entertainment features and bar area features for playing, training and entertaining patrons.

8. Food Preparation: Applicant Tenant shall obtain a permit and any other approvals from the Director of the Marlborough Board of Health and pay the accompanying fees.

9. Certificate of Occupancy Required: No use of the premises will be made pursuant to this special permit unless and until a Certificate of Occupancy has been obtained from the Building Commissioner.

10. No Expansion of Use Area or Change in Area Configuration: Only the area of Unit 6, containing approximately 9,075 sq. ft., which has been specified in the Plans attached hereto, will be used for the Use. To the extent that a substantial increase in, or a change in the configuration of, the area used for this use is desired, the Building Commissioner shall determine whether such increase or change constitutes a substantial change of the permitted use, and if so, no such area increase, or configuration change shall be permitted unless and until this special permit has been modified by the City Council.

11. Subsequent Users: Before any successor tenant uses Unit 6 for the uses allowed in this special permit, the Director of the Marlborough Health Department shall determine in writing that any permit required of Applicant Tenant, and any other permit determined by the Director to be necessary, has been obtained.

12. Required Approval Regarding Sanitary Conditions: Prior to the beginning of operation of the business, the Director of the Marlborough Health Department shall determine in writing what, if any, special sanitary requirements are necessary to assure that the facility does not cause unusual health risks to those using the facility or to the public. The Director may later, in writing, amend and/or add to said requirements as he deems necessary. Such determination, and any such amendments and/or additions, shall be provided by the Director to the City Council. Any failure to comply with said sanitary requirements shall be a violation of this permit.

13. Recordation: In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant Tenant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council’s office, the Building Department, and the City Solicitor’s office.

Yea: ___ - Nay: ___ -Absent - ___

Yea: _____, _____, _____, _____, _____, _____, _____, _____,

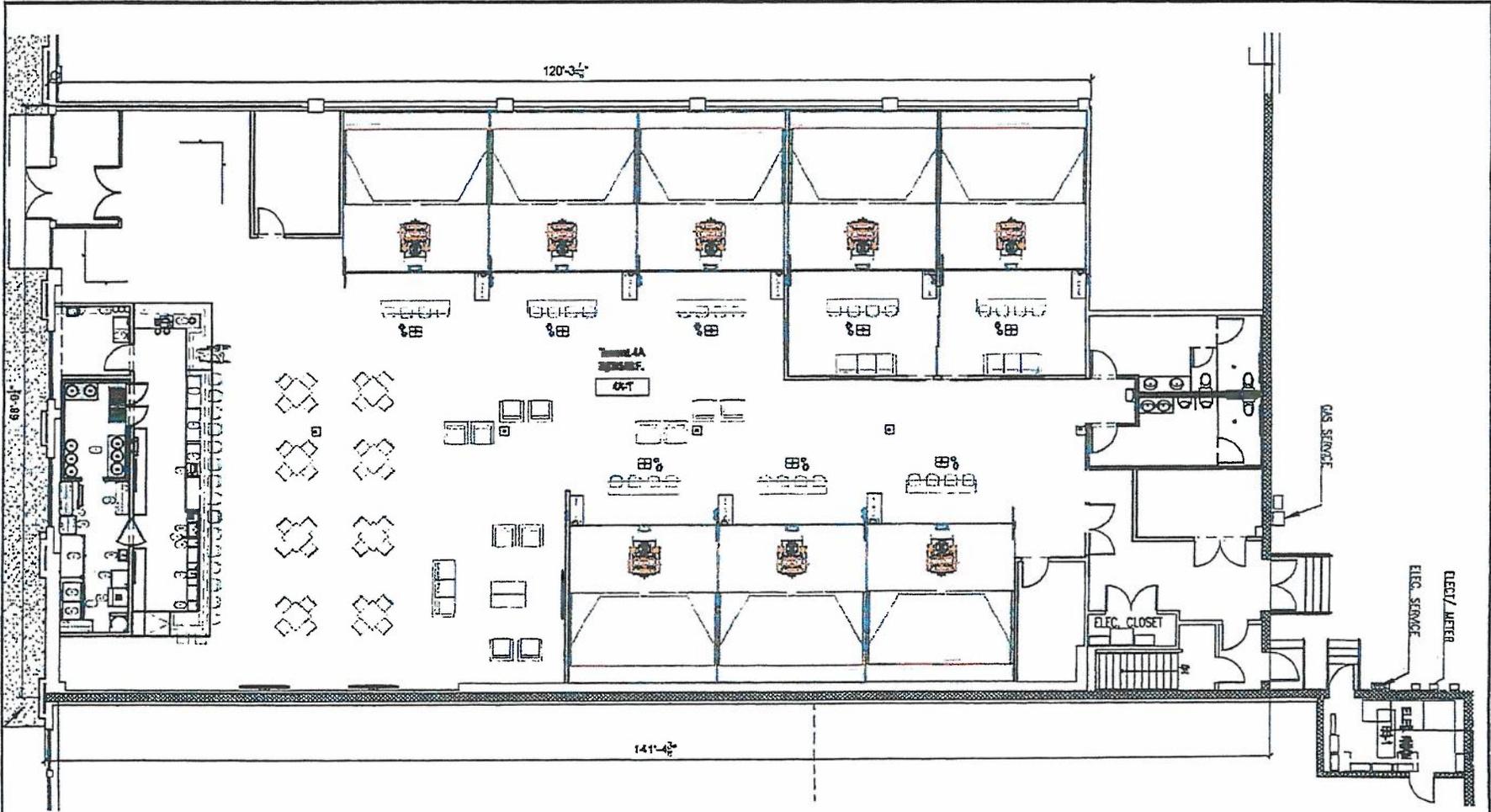
Nay: _____, _____,

Absent: _____, _____,

Signed by City Council President
Michael H. Ossing

ADOPTED
In City Council
Order No. 21-1008328

Attachment A



X-GOLF Marlborough

ADC
 ARCHITECTURAL DESIGN CENTER, LLC
 1000 Main Street, Suite 200
 Marlborough, MA 01501
 P: 508.251.7233
 www.adcma.com

X¹GOLF 229 Boston Post Rd W.
 Marlborough, MA

Franchisee Information	DATE: 05/27/22	SHEET
	PRELIMINARY FIXTURE PLAN	1



City of Marlborough Legal Department

140 MAIN STREET
MARLBOROUGH, MASSACHUSETTS 01752
TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610
LEGAL@MARLBOROUGH-MA.GOV

RECEIVED
CITY CLERK'S OFFICE
JASON D. GROSSFIELD
CITY OF MARLBOROUGH
CITY SOLICITOR
2021 AUG 31 10:41 AM
HEATHER D. GUTIERREZ
PARALEGAL

September 1, 2021

Michael H. Ossing, President
Marlborough City Council
City Hall
140 Main Street
Marlborough, MA 01752

Re: City Council Order No. 21-1008345
Special Permit Decision, 685 Farm Road – Unit #17, Marlborough

Dear Honorable President Ossing and Councilors:

In accordance with Chapter 650-57C(13) of the Marlborough Zoning Ordinance, I provide this letter as to the legal form of the City Council's proposed findings on the above-referenced special permit application. Enclosed is a copy of the proposed decision. I certify that it is in proper legal form.

Please contact me if you have any questions or concerns.

Respectfully,

Jason D. Grossfield
City Solicitor

Enclosure

cc: Arthur G. Vigeant, Mayor
Tin Hway, Building Commissioner

_____, 2021

**NOTICE OF DECISION
GRANT OF SPECIAL PERMIT**

In City Council
Order No. #21-1008345

Application of:
Dasilva Landscaping, Inc.

Locus:
685 Farm Road, Unit 17, Marlborough, MA (also known as 49 Airport Boulevard)
Parcel 52 on Assessors Map 73

DECISION
The City Council of the City of Marlborough hereby **GRANTS** the Application of Dasilva Landscaping, Inc., with a mailing address of 110 Dartmouth Street, Marlborough, MA, as provided in the **DECISION** and subject to the Findings of Fact and Conditions contained therein.

Decision date: _____, 2021

The Decision of the City Council was filed in the Office of the City Clerk of the City of Marlborough on the [] day of [], 2021.

APPEALS

Appeals, if any shall be made pursuant to Massachusetts General Laws, Chapter 40A, Section 17 and shall be filed within twenty (20) days after the date of the filing of this Notice of Decision in the Office of the City Clerk of the City of Marlborough, MA.

A TRUE COPY
ATTEST:

City Clerk

ORDERED:**IN CITY COUNCIL**
_____**DECISION ON A SPECIAL PERMIT**

Application of:
Dasilva Landscaping, Inc.

Locus:
685 Farm Road, Unit 17, Marlborough, MA (also known as 49 Airport Boulevard)
Parcel 52 on Assessors Map 73

**DECISION ON A SPECIAL PERMIT
ORDER NO. 21-1008345**

The City Council of the City of Marlborough hereby GRANTS the Application for a Special Permit to Dasilva Landscaping, Inc. (the "Applicant") for a landscape contractor's yard at 685 Farm Road, Unit 17, also known as 49 Airport Boulevard, in the Limited Industrial Zoning District, as provided in this Decision and subject to the following Findings of Fact and Conditions.

FINDINGS OF FACT

1. The Applicant, Dasilva Landscaping, Inc., is a Massachusetts corporation with an address of 110 Dartmouth Street, Marlborough, MA 01752.
2. The Applicant is the prospective owner of the property located at 685 Farm Road, Unit 17, Marlborough, Massachusetts, also known as 49 Airport Boulevard, being shown as a portion of Parcel 52 on Assessors Map 73 (the "Site").
3. In accordance with Article V, Section 650-17 and Section 650-18(A)(48), of the Zoning Ordinance of the City of Marlborough (the "Zoning Ordinance"), the Applicant proposes a landscape contractor's yard at the Site (the "Use"). As shown on the Plans referenced in paragraph 5 below, the Use consists of a building, accessory parking, outdoor storage areas, and landscaped areas.
4. The Applicant, by and through its counsel, filed with City Clerk of the City of Marlborough an Application for a Special Permit ("Application") for the Use.
5. In connection with the Application, the Applicant submitted a certified list of abutters, filing fees, a site plan entitled "Proposed Site Plan of Use Area #17 Airport Boulevard"

by Connorstone Engineering, with the last revision date of August 10, 2021, a landscaping plan entitled "Proposed Landscape Plan of Use Area #17 Airport Boulevard" by Connorstone Engineering, with the last revision date of July 13, 2021, and a site plan for the overall Airport Industrial Park entitled "Proposed Site Plan for Driveway, Drainage & Landscaping of 677-681 Farm Road" approved by the Site Plan Committee on October 24, 2019 (collectively the "Plans") attached hereto as "Attachment A."

6. The Application was certified as complete by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, in accordance with the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.

7. The Site is located in the Limited Industrial Zoning District.

8. The Site has an area of 30,000 square feet +/- as shown on the Plans.

9. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.

10. The Marlborough City Council, pursuant to Massachusetts General Laws Chapter 40A, opened a public hearing on the Application on Monday, July 19, 2021. The public hearing was held at the Marlborough City Hall, 140 Main Street. The hearing was closed on July 19, 2021.

11. The Applicant, through its representatives, presented testimony at the public hearing detailing the Use, describing its impact upon municipal services, the neighborhood, and traffic.

12. At the public hearing, no members of the public spoke in favor of the Use and no members of the public spoke in opposition to the Use.

**BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING
FINDINGS AND TAKES THE FOLLOWING ACTIONS**

A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.

B. The City Council finds that the proposed Use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.

C. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby GRANTS the Applicant a Special Permit for a landscape contractor's yard at 685 Farm Road, Unit 17, also known as 49 Airport Boulevard, as shown on the Plans filed, SUBJECT TO THE FOLLOWING CONDITIONS, which conditions shall be binding on the Applicant, its successors and/or assigns:

1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts, and shall be built according to the Plans as may be amended during Site Plan Review.

2. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review by the Site Plan Review Committee, in accordance with the City of Marlborough Site Plan Review Ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications or amendments, as required during the process of Site Plan Review, shall be further conditions attached to the building permit, and no occupancy permit shall be issued until the Applicant has complied with all conditions. Subsequent Site Plan Review shall be consistent with the conditions of this Special Permit and the Plans submitted, reviewed and approved by the City Council as the Special Permit Granting Authority.

3. Modification of Plans. Notwithstanding conditions #1 and #2 above, the City Council or the Site Plan Review Committee may approve engineering changes to the Plans, so long as said changes do not change the Use as approved herein, or materially increase the impervious area of the Use, reduce the green area, alter traffic flow, or increase the size of the building, all as shown on the Plans.

4. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.

5. Storm Water and Erosion Control Management. The Applicant, its successors and/or assigns, shall ensure that its site superintendent during construction of the project is competent in stormwater and erosion control management. This individual(s)' credentials shall be acceptable to the Engineering Division of the City's Department of Public Works and the City's Conservation Commission. This individual(s) shall be responsible for checking the Site before, during, and after storm events including weekends and evenings when storms are predicted. This individual(s) shall ensure that no untreated stormwater leaves the Site consistent with the State's and the City's stormwater regulations. This individual(s) shall ensure compliance with the approved sequence of construction plan and the approved erosion control plan. The Applicant, its successors and/or assigns, shall grant this individual(s) complete authority of the Site as it relates to stormwater and erosion controls.

6. Fencing. In accordance with Section 650-18(A)(48) of the Zoning Ordinance, the Applicant shall install solid fencing to screen areas of the Site used for the storage of vehicles, equipment, and materials from the street and adjacent properties, and shall maintain the fencing in good repair. The fencing shall comply with the requirements of all applicable City Ordinances.

7. Outdoor Storage Areas. In accordance with Section 650-18(A)(48) of the Zoning Ordinance, the outdoor storage of vehicles, equipment, and materials shall be located on impervious and otherwise dust-free surfaces. Materials shall be stored with sufficient protections to avoid damage to landscaped areas and to avoid interference with the proper functioning of stormwater infrastructure. Lawn areas shall be separated from adjacent parking/storage areas with curbing. The bulk storage of bark mulch at the Site shall be subject to fire safety conditions approved through the Site Plan Review process. The Site shall not be used to store grass clippings or similar debris.

8. Indoor Storage Areas. Building areas used to store vehicles, equipment, and materials indoors shall be equipped with floor drainage systems designed to prevent fuel, oil, and other hazardous materials from entering the stormwater or sewer systems, approved through the Site Plan Review process.

9. Vehicle Repairs and Maintenance. The Site may not be used for major repairs of vehicles and equipment, but minor maintenance of vehicles and equipment which are exclusively operated as part of the Use may be performed indoors only, subject to Condition 10.

10. Noise and Air Quality. The Applicant, its successors and/or assigns, shall comply with the City's Noise Ordinance and shall comply with all state and federal requirements governing air quality and emissions.

11. Lighting. Exterior lighting at the Site shall be downward facing and shielded to minimize impacts on neighboring properties, with a lighting plan for the Site to be reviewed and further conditioned during the Site Plan Review process. Exterior lighting at the Site shall be shut off outside of operating hours, except for lighting necessary for security and emergency access.

12. Compliance with Applicable Laws. The Applicant, its successors and/or assigns agrees to comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of the Use.

13. Recording of Decision. In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council's office, the Building Department, and the City Solicitor's office.

Yea: ___ - **Nay:** ___ - **Absent:** ___

Yea: _____, _____, _____, _____, _____, _____, _____, _____,

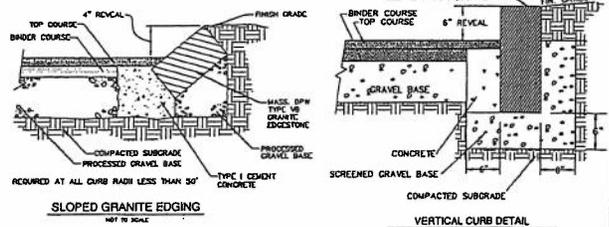
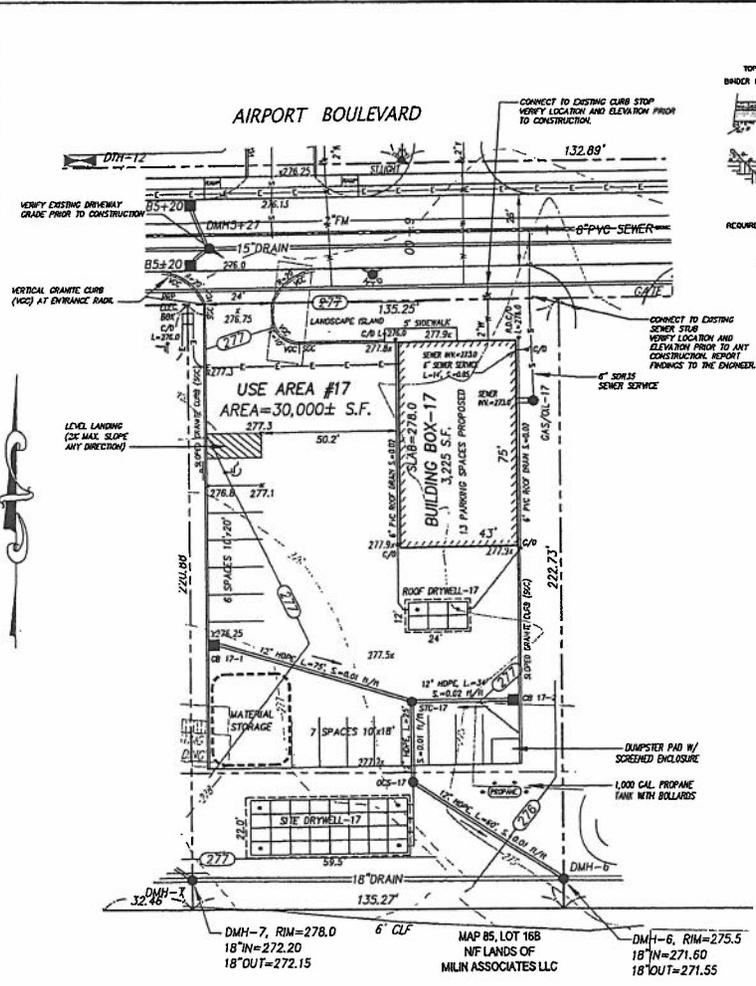
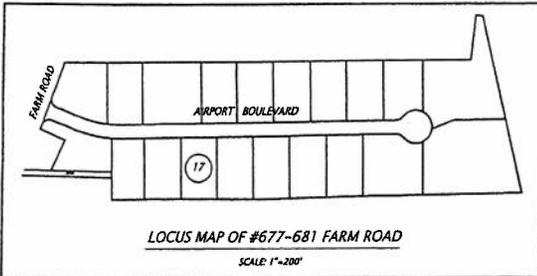
Nay: _____, _____,

Absent: _____, _____,

Signed by City Council President
Michael H. Ossing

ADOPTED
In City Council
Order No. 21-1008345

Attachment A



GENERAL NOTES:

- EXISTING BOUNDARY LINES AND TOPOGRAPHY IS BASED UPON PLANS PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED: 1-1-2007. PLANS AND GROUND PROVIDED BY OWNER. ELEVATIONS ARE BASED UPON NAVD 83 DATUM.
- THE PARCEL IS SHOWN ON ASSESSORS MAP 71, PARCELS 32 AND MAP 65, PARCELS 1481S.
- EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. WHEN NECESSARY, THE CONTRACTOR SHALL CONTACT THE OWNER AND THE CITY ENGINEER FOR RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT THE OWNER AND THE CITY ENGINEER FOR RECORD DATA BEFORE DIGGING AND SHALL OBTAIN PERMITS FOR UTILITY LOCATIONS PRIOR TO CONSTRUCTION. TEST PITS SHALL BE UTILIZED FOR UTILITY CONNECTIONS.

SYMBOLS & ABBREVIATIONS LEGEND

- PROP. DRAIN LINE, MANHOLE
- EXISTING SLOPE LINE, MANHOLE
- EXISTING DRAIN LINE, MANHOLE
- CLAY TILE
- FLARED END
- HEAD WALL
- HYDRANT
- GAS LINE, GATE
- WATER LINE, GATE
- TELEPHONE LINE, MANHOLE
- ELECTRIC LINE, MANHOLE
- ELECTRIC TRANSFORMER
- OVERHEAD WIRE
- FRESH GRADE CONTOUR
- AMORF CONTOUR
- MAJOR CONTOUR
- UTILITY POLE
- SHO
- CHAIN LINK FENCE
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- BUTYRUMOUS CONCRETE BENCH
- MODIFIED CAPE COD BENCH
- TREE LINE
- STONE WALL
- RETAINING WALL
- W/SP. WALL
- W/SP. WALL
- HIGH DENSITY POLYETHYLENE

CONSTRUCTION NOTES:

- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY RECORDED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS OR THE LATEST EDITION OF THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS CONSTRUCTION STANDARDS AND THE AASHTO STANDARDS SPECIFICATIONS FOR HIGHWAYS AND BRIDGES; BROUWER IS MORE PRECEDENT.
- THE WATER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE TOWN OF MARLBOROUGH OPEN SPACE DESIGN RULES AND REGULATIONS. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS (TO BE OBTAINED BY THE CONTRACTOR) WITH REQUIRED INSPECTORS PRESENT AT THE PROPOSED BUILDING. WITH REQUIRED INSPECTORS PRESENT AT THE PROPOSED BUILDING. WITH REQUIRED INSPECTORS PRESENT AT THE PROPOSED BUILDING. WITH REQUIRED INSPECTORS PRESENT AT THE PROPOSED BUILDING.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP ACCURATE AS-BUILT RECORDATIONS / RECORDS OF ALL UNDERGROUND OR SURFACE WORK.
- THE LAYOUT AND INSTALLATION OF ELECTRICAL, GAS, TELEPHONE AND CITY UTILITY CONNECTIONS AND SERVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.
- THE CONTRACTOR SHALL UTILIZE ALL LEASES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL OCCUPANTS SHALL CONFORM TO CURRENT ZONING REGULATIONS.
- A STREET OPENING PERMIT SHALL BE OBTAINED FROM THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK IN THE PUBLIC WAYS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE AGENCIES & UTILITY DEPARTMENTS.
- UTILITY CONSTRUCTION IN CITY WAYS REQUIRES BACKFILL WITH CONTROLLED DENSITY FILL.
- ALL CONSTRUCTION MATERIALS, STOCKPILES, TRUCKS, ETC. ON SITE SHALL BE STORED IN A MANNER TO THE SATISFACTION OF THE CITY ENGINEER OR HIS DESIGNEE.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND THE OFFICE OF TRAFFIC OPERATIONS, RECORDS MANAGEMENT DIVISION, U.S. DEPARTMENT OF TRANSPORTATION.
- ALL RAMP, CURB CUTS, SIDEWALKS, AND ACCESSIBLE WALKWAYS SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (508 CMR 14-07).
- CONTRACTS BETWEEN PROPOSED RETAINING WALLS, CONCRETE PAVEMENT AND EXISTING PAVEMENT TO REMAIN SHALL BE SMOOTH AND SEALED WITH HOT POURED RUBBERIZED ASPHALT SEALER.

PARKING TABULATION:

REQUIRED PARKING 3 SPACES/1000 S.F.
 3,225/1000 ± 3 = 10 SPACES REQUIRED
 PROPOSED PARKING PROVIDED = 12 SPACES

ZONING: LIMITED INDUSTRIAL "LI"

AREA	2 Acre
FRONT YARD	20 FEET
FRONT YARD	30 FEET
SIDE YARD	50 FEET
REAR YARD	50 FEET
BUILDING HEIGHT	W/IN 6'-100' OF RESIDENTIAL ZONE 30' W/IN 231'-100' OF RESIDENTIAL ZONE 40' W/IN 401'-300' OF RESIDENTIAL ZONE 50'

DRAINAGE TABULATION

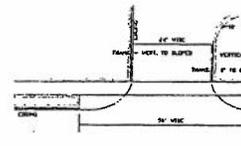
CD-17-1	CD-17-2	CD-17-3	CD-17-4
18" IN=272.20	18" IN=272.20	18" IN=272.20	18" IN=272.20
12" OUT=272.25	12" OUT=272.25	12" OUT=272.25	12" OUT=272.25
12" OUT=272.25	12" OUT=272.25	12" OUT=272.25	12" OUT=272.25
12" OUT=272.25	12" OUT=272.25	12" OUT=272.25	12" OUT=272.25

SEWER TABULATION

CD-17-1	CD-17-2	CD-17-3	CD-17-4
18" IN=272.20	18" IN=272.20	18" IN=272.20	18" IN=272.20
12" OUT=272.25	12" OUT=272.25	12" OUT=272.25	12" OUT=272.25

LOT COVERAGE TABULATION

PROPOSED USE AREA	PERMITTED USE AREA	APPROVED COVERAGE
18" IN=272.20	18" IN=272.20	18" IN=272.20
12" OUT=272.25	12" OUT=272.25	12" OUT=272.25



COORDINATION WITH PLANS BY OTHERS:

- SEE SEPARATE PLANS PREPARED BY OTHERS FOR LANDSCAPING AND SIGNAGE.
- COORDINATE PROPOSED UTILITY LOCATIONS, SIZES, DEPTHS, AND MATERIALS WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- ANY CONFLICT BETWEEN THESE PLANS AND PLANS BY OTHERS SHALL BE REPORTED TO THE ENGINEER AND OWNER IMMEDIATELY.



CD-17-1	CD-17-2	CD-17-3	CD-17-4
0-12" Ap	12-26" Bp	26-36" Cp	36-136" Ct
LOAMY SAND	LOAMY SAND	LOAMY SAND	ONS. SAC
10R1/2	10R3/2	10R3/2	ONS. SAC
2.5/1/4	2.5/1/4	2.5/1/4	2.5/1/4
2.5/1/4	2.5/1/4	2.5/1/4	2.5/1/4

PREPARED FOR:
 CAPITAL GROUP PROPERTIES
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MA

OWNER:
 MARLBOROUGH INDUSTRIAL, LLC
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MA

CONCORSTONE
 ENGINEERING INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 10 SOUTHWEST CUTOFF, SUITE 7
 NORTHBOROUGH, MASSACHUSETTS 01532
 PHONE: 508-393-9727 FAX: 508-393-5242

PROPOSED SITE PLAN
 OF
 USE AREA #17
 AIRPORT BOULEVARD
 IN
 MARLBOROUGH, MA

APPROVED
 SITE PLAN REVIEW COMMITTEE

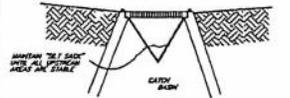
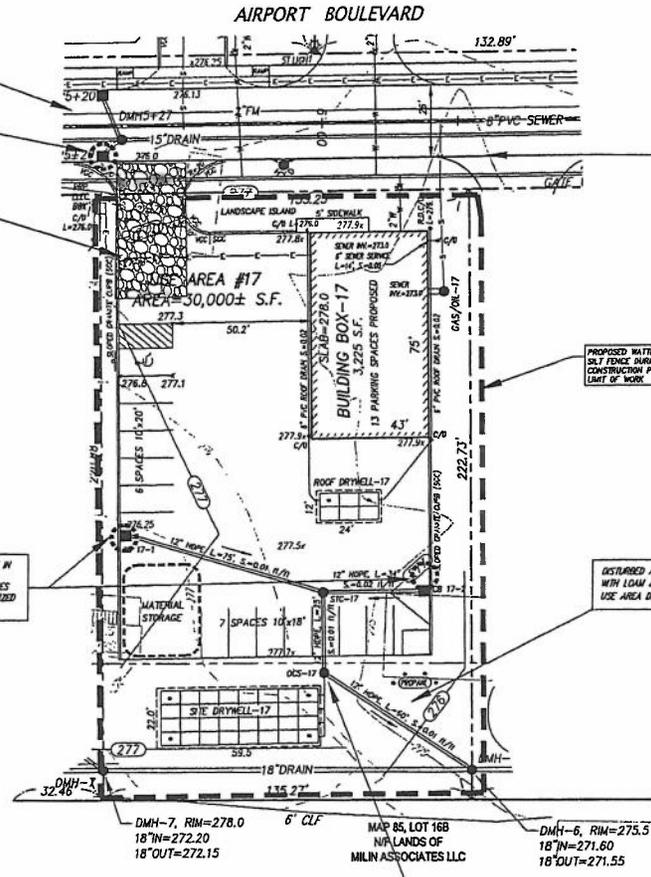
DATE:

GRAPHIC SCALE: 1"=20'
 0 10 20 30 40 50 60 70 80 90 100 FEET
 0 10 20 30 40 50 60 70 80 90 100 METERS

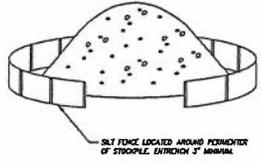
6/16/2021 ADD MATERIAL STORAGE
 7/12/2021 REMOVE GRASS MAE
 6/16/2021 ARCH. COORDINATION
 REVISION:
 DRAWN BY: AWB CHECK BY: VC
 DATE: APRIL 22, 2021
 SCALE: 1"=20' SHEET 1 OF 3

EROSION AND SEDIMENTATION CONTROL NOTES:

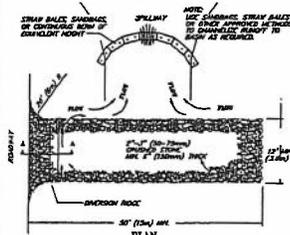
1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
2. EROSION CONTROL SHALL CONFORM TO THE CITY OF BURLINGTON REQUIREMENTS AS APPROVED IN THE SITE PLAN APPROVAL CONDITIONS.
3. PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THIS PLAN AND AS PER THE SPECIFICATIONS.
4. THIS PLAN PROVIDES THE MINIMUM REQUIREMENTS FOR EROSION AND SEDIMENTATION CONTROL. THE CONTRACTOR SHALL EMPLOY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSARY BY THE ENGINEER, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE, OR THE SUPERVISOR OF CONSTRUCTION TO ENSURE PROTECTION OF ALL NEARBY RESOURCES AND CONTROL SEDIMENT TRANSPORT TO NEARBY PUBLIC AREAS. THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL EROSION CONTROL DEVICES IMMEDIATELY IN THE EVENT OF EXCESSIVE EROSION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROL DEVICES UNTIL THEY ARE COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT NO TIME SHALL THE CONTRACTOR BE RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
6. THE CONTRACTOR SHALL RESPECT SEDIMENTATION AND EROSION CONTROL ON A DAILY BASIS AND IMMEDIATELY AFTER EACH RAINFALL EVENT SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND REDUCED BY 50% BY THE CONTRACTOR WHEN THE SOLUBLE LOADS ARE 1/2 TO 1/3 THE HEIGHT OF ANY BANK OF EXPOSED SOIL, OR AS DIRECTED BY THE LOCAL AGENCY.
7. SOIL STABILIZATION SHALL BE UTILIZED TO PREVENT EROSION, AND A PERMANENT SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED. FENCING SHALL BE INSTALLED AROUND STOCKPILES AT A MINIMUM OF 18 FEET IN HEIGHT.
8. DISTURBED AREAS SHALL BE STABILIZED BY LEAVING AND SEEDING OR BY ANOTHER APPROVED METHOD. AS SOON AS POSSIBLE AFTER THE PROPOSED BRACK HAS BEEN Laid, EXPOSED AREAS WITH SLOPES 3:1 (H:V) OR GREATER SHALL BE COVERED WITH GRASS AND STABILIZED WITH PERMANENT SOIL TREATMENT. IF FINAL GRASSING DOES NOT OCCUR DURING THE GROWING SEASON, BARE AREAS SHALL BE MULCHED WITH HAY STRAW.
9. RE-WORKING OPERATIONS, IF REQUIRED, SHALL OCCUR OVER STABILIZED AREAS, AND ALL REWORKING SHALL BE TO PLACE THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON NEARBY RESOURCES. EXCESSIVE RELEASES OF SEDIMENT, SODIUM AND NITROGEN NUTRIENTS, AND ANY OTHER POLLUTANTS SHALL BE PREVENTED BY HAY BALE BARRIERS AND HAY BALE DAMS THESE BARRIERS SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT OR AS INDICATED ON THE PLAN. ADDITIONAL HAY BALE AND SILT FENCE SHALL BE LOCATED AS COLLATERAL BARRIERS, AND IN SOME AREAS NATURAL/SILT FENCING STRUCTURES MAY HAVE TO BE RELOCATED AT REGULAR INTERVALS OF GROWTH OF VEGETATION.
10. STREET CLOSURES IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LAWS HAVE BEEN STABILIZED. ALL SEDIMENT TRAPPED ON PUBLIC RIGHT-OF-WAYS SHALL BE CLEARED BY THE END OF EACH WORKING DAY.
11. ALL EXISTING AND PROPOSED DRAINAGE SYSTEMS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE PROTECTION OF EXISTING DRAINAGE SYSTEMS. STORM DRAINAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE PROTECTION OF EXISTING DRAINAGE SYSTEMS. STORM DRAINAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE PROTECTION OF EXISTING DRAINAGE SYSTEMS. STORM DRAINAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
12. BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AND MAINTAINED THROUGHOUT DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. MEASURES FOR BEST MANAGEMENT PRACTICES SHALL INCLUDE:
 - 12.1. ALL WORKERS SHALL WEAR AND USE THE SET UP THE STABILIZED DISTURBED AREAS CONSIDERING OF 3/4" x 1/2" NON SKID SHOES TO A DEPTH OF 1/2" ON THE PAVED OR STABILIZED AREAS SURFACES. IF THE SITE CONDITIONS ARE SUCH THAT THE SHOES AND ROPS MAY AFFECT THE SAFETY OF THE JOB AND WORKING, THEN THE SHOES SHALL BE MOVED OFFSITE. ANY VEHICLES ENTERING ADJACENT AREAS, ALL WHEELS USED FOR THE WORKING SHALL BE CLEANED AND TREATED PRIOR TO ENTERING THE NEARBY SYSTEM. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION DISTURBED DAILY AND AFTER HEAVY USE.
 - 12.2. EQUIPMENT SHALL NOT BE PARKED IN ANY VICINITY.



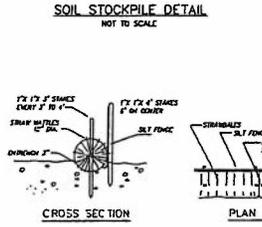
- NOTES:
1. SILT SACKS ARE TO BE INSPECTED PRIOR TO BEING CONSTRUCTED AND IMMEDIATELY AFTER STORM EVENTS.
 2. IF SILT SACKS ARE DAMAGED OR FULL, THEY SHALL BE IMMEDIATELY REPLACED. DAMAGED SILT SACKS SHALL BE REMOVED AND REPAIRED.
 3. SILT SACKS SHALL REMAIN IN PLACE UNTIL ALL VEGETATION IN ADJACENT AREAS IS FULLY ESTABLISHED.



- NOTES:
1. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED EXPOSED MORE THAN 100 FEET OF A NEARBY PUBLIC ROADWAY.
 2. STOCKPILES SHALL BE LOCATED ON DRY STABLE AREAS.
 3. STOCKPILES TO REMAIN FOR EXTENDED PERIODS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE.
 4. PROMOTE SAFETY FENCING AROUND STOCKPILES OVER 10' IN HEIGHT OR OTHERWISE RESTRICT SITE ACCESS.



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION THAT WILL PREVENT BACKLOGS OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY INCLUDE THE OCCASION OF A FLOODING OF ANY NEARBY PUBLIC ROADWAY.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING ONTO PUBLIC RIGHT-OF-WAYS.
 3. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING ONTO PUBLIC RIGHT-OF-WAYS.
 4. STOCK APPROX SHALL BE REPLACED AS REPORTED SOILS HOLD UP.



- NOTES:
1. STRAW BALE INSTALLATION REMAINS BE PLACED AND SECURE STANDING OF THE BALE IN A TROUGH 1\"/>
 - 2. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

APPROVED
SITE PLAN REVIEW COMMITTEE

DATE: _____

PREPARED FOR:
CAPITAL GROUP PROPERTIES
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

OWNER:
MARLBOROUGH INDUSTRIAL, LLC
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

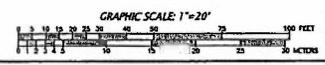
MAP 85, PARCELS 52 & MAP 85, PARCELS 140-145

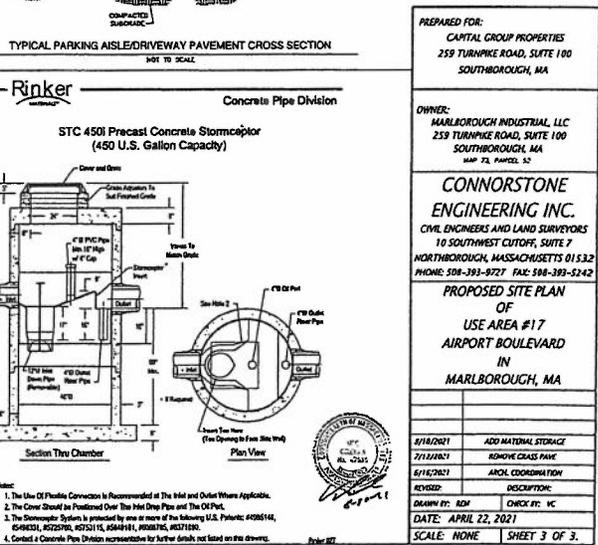
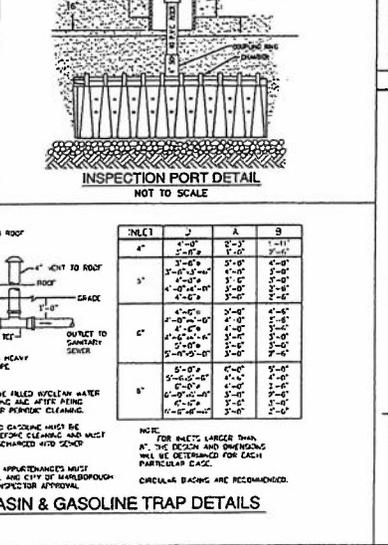
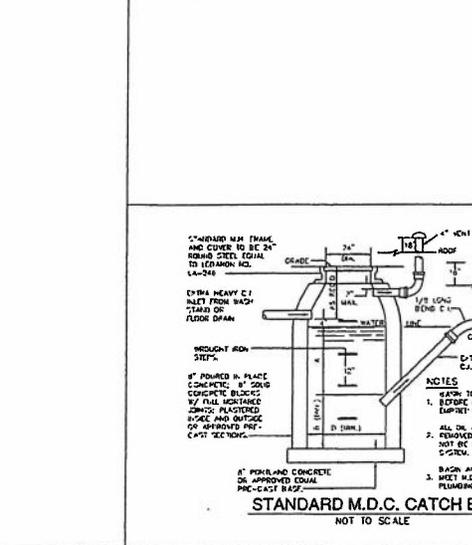
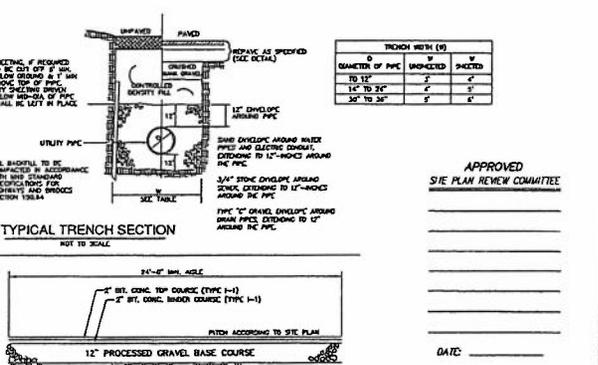
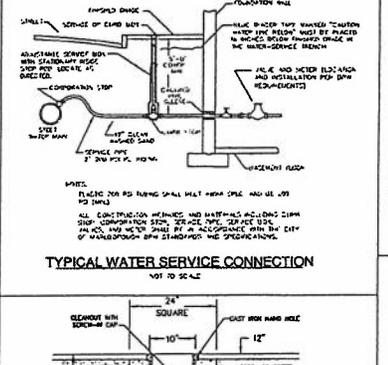
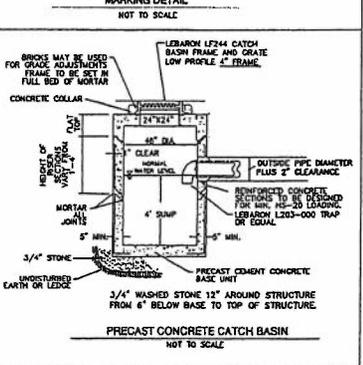
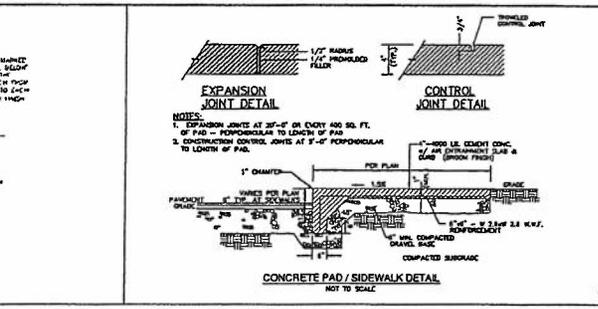
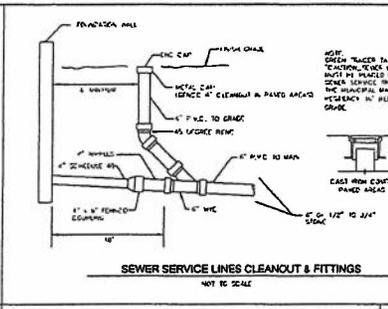
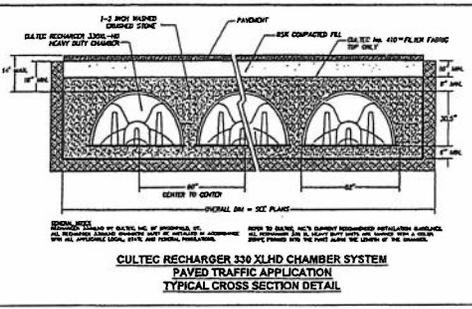
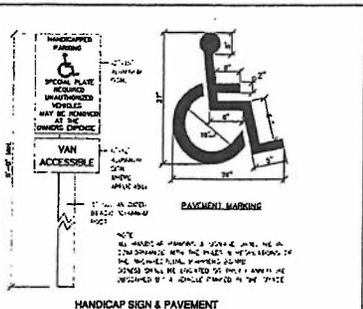
CONNORSTONE ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
119 SOUTHWEST CUSTODY, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

EROSION CONTROL PLAN OF USE AREA #17 AIRPORT BOULEVARD IN MARLBOROUGH, MA

REVISION	DESCRIPTION
6/14/2021	ADD MATERIAL STORAGE
7/12/2021	REMOVE GRASS PAVE
6/16/2021	ARCAD COORDINATION

DRAWN BY: ASH CHECK BY: VC
DATE: APRIL 22, 2021
SCALE: 1" = 20' SHEET 2 OF 3





APPROVED
SITE PLAN REVIEW COMMITTEE

DATE: _____

PREPARED FOR:
CAPITAL GROUP PROPERTIES
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

OWNER:
MARLBOROUGH INDUSTRIAL, LLC
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA
MAP 23, PARCEL 22

CONNORSTONE ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

PROPOSED SITE PLAN
OF
USE AREA #17
AIRPORT BOULEVARD
IN
MARLBOROUGH, MA

6/16/2021 ADD MATERIAL STORAGE
7/11/2021 REMOVE GRASS PANE
6/16/2021 ARCH COORDINATION

REVISION: _____
DESCRIPTION: _____
DRAWN BY: BDM CHECK BY: VC
DATE: APRIL 22, 2021
SCALE: NONE SHEET 3 OF 3

PROPOSED SITE PLAN FOR DRIVEWAY, DRAINAGE & LANDSCAPING OF 677-681 FARM ROAD MARLBOROUGH, MA

GENERAL NOTES:

- EXISTING BOUNDARY LINES AND TOPOGRAPHY IS BASED UPON PLANS PREPARED BY CONTROL POINT ASSOCIATES INC DATED 1-3-2016. PLANS AND DATA PROVIDED BY OTHERS, GENERATORS ARE BASED UPON NOV 1988 DATUM.
- THE PARCEL IS SHOWN ON ASSESSORS MAP 73, PARCELS 57 AND MAP 65, PARCELS 1485.
- EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND DEPTH OF UTILITIES AND STRUCTURES. ALL REQUIRED WORK PRIOR TO THE START OF CONSTRUCTION SHALL BE COMPLETED WITH RECORD DATA. SHALL BE REFERRED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT THE STATE 1-800-344-7233 (72 HOURS BEFORE WORK) AND TOWN NEW FOR UTILITY LOCATIONS PRIOR TO DIGESTION. TEST PITS SHALL BE UTILIZED FOR UTILITY CONNECTIONS.

CONSTRUCTION NOTES:

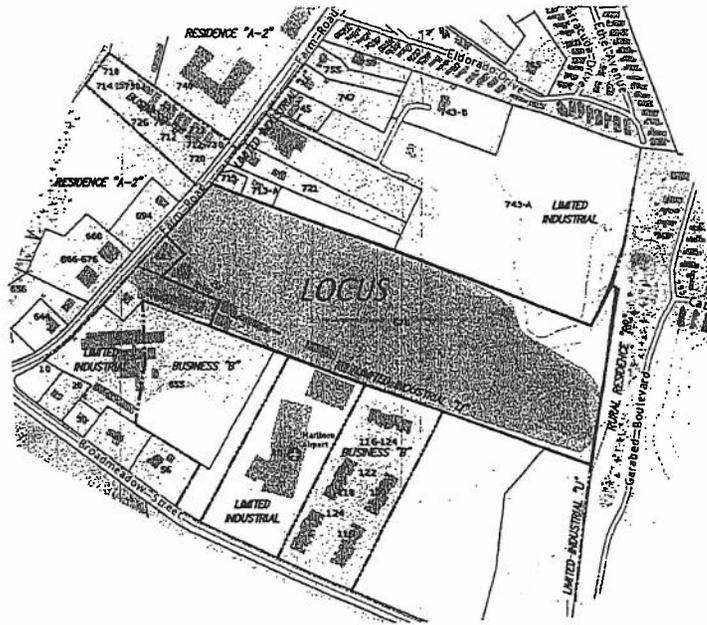
- ANY WORK APPROVED BY THE CITY ENGINEER TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A WORK PLAN FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- BEFORE ANY EXISTING UTILITY IS TO BE REMOVED OR THE LOCATION, DEPTH AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR REVISION OF THE PLAN.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN COMPLIANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MARLBOROUGH DEPARTMENT OF PUBLIC WORKS. ON THE LATEST EDITION OF THE MASSACHUSETTS ANNUAL EQUIPMENT (SANS) CONSTRUCTION STANDARDS AND THE MAO STANDARDS SPECIFICATIONS FOR HIGHWAYS AND BRIDGES. INCREASE IS WORK STANDARD.
- THE MAO SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE TOWN OF MARLBOROUGH OFFICE WATER DRAINAGE AND REGULATIONS. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS TO BE OBTAINED BY THE CONTRACTOR WITH REQUIRED INSPECTION. SHALL LOCATOR AND SIZE OF WATER SERVICES. THE DEPARTMENT SPARKS CONNECTIONS, AND SPARKLES CONTROL ROOMS SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- THE SEWER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE TOWN OF MARLBOROUGH OFFICE SEWER SYSTEM RULES AND REGULATIONS. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS TO BE OBTAINED BY THE CONTRACTOR. WITH REQUIRED INSPECTION. INVERTS AT THE PROPOSED BUILDING SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP ACCURATE AS-BUILT RECORDS / RECORDS OF ALL UNDERGROUND OR CONCEALED WORK.
- THE LAYOUT AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND DATA UTILITY CONNECTIONS AND SERVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.
- THE CONTRACTOR SHALL UTILIZE ALL MEASUREMENTS AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
- A STREET OPENING PERMIT SHALL BE OBTAINED FROM THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK IN THE PUBLIC WALK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE DEPARTMENT OF PUBLIC WORKS.
- UTILITY CONSTRUCTION BY CITY DEPTS REQUIRES SIGNOFF WITH CONTROLLED ACCESSY FILE.
- ALL CONSTRUCTION MATERIALS, STRUCTURES, STRAPS, ETC. ON SITE SHALL BE STORED IN A MANNER TO THE SATISFACTION OF THE CITY ENGINEER OR HIS DESIGNEE.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL" (MUTCD) AND THE OFFICE OF STATE OPERATIONS, FEDERAL HIGHWAY ADMINISTRATION, U.S. DEPARTMENT OF TRANSPORTATION.
- ALL DRIVE BERM, CURB, SIDEWALKS AND ACCESSIBLE SPACES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (201 CH 1-4).
- JOINTS BETWEEN PROPOSED STRAPINGS CONCRETE PAVEMENT AND EXISTING PAVEMENT TO REMAIN SHALL BE SMOOTH AND SEALED WITH HOT POURED RUBBERIZED ASPHALT SEALER.

COORDINATION WITH PLANS BY OTHERS:

- SEE SEPARATE PLANS PREPARED BY OTHERS FOR LANDSCAPING AND SIGNAGE.
- COORDINATE PROPOSED UTILITY LOCATIONS, SEWER, ELECTRIC, AND MATERIALS WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- ANY CONFLICT BETWEEN THESE PLANS AND PLANS BY OTHERS SHALL BE REFERRED TO THE ENGINEER AND OTHER CONCERNED.

POST APPROVAL CONDITIONS:

- APPLICANT ACKNOWLEDGES THAT THIS APPROVAL IS ONLY FOR THE CONSTRUCTION, LANDSCAPING, AND RELATED INFRASTRUCTURE FOR THE DRIVEWAY SHOWN AS SHOWN ON DRAWING.
- PRIOR TO ANY CONSTRUCTION OR EXCHANGE OF A BUILDING PERMIT ASSOCIATED WITH INDIVIDUAL USE AREAS, THE APPLICANT SHALL APPLY FOR A WORK SITE PLAN MODIFICATION AS IT RELATES TO LANDSCAPING, LIGHTING, INFRASTRUCTURE, BUILDING ARCHITECTURE, PARKING, ETC.



LOCUS MAP OF #677-681 FARM ROAD

SCALE: 1"=300'

ZONING: LIMITED INDUSTRIAL 'L1'

LOT REQUIREMENTS REQUIRED

AREA	2 Acres
FRONTAGE	200 FEET
FRONT YARD	50 FEET
SIDE YARD	50 FEET
REAR YARD	50 FEET
BUILDING HEIGHT	N/W 6'-10" OF RESIDENTIAL ZONE 30'
	N/W 10'-100' OF RESIDENTIAL ZONE 30'
	N/W 20'-100' OF RESIDENTIAL ZONE 40'
	N/W 40'-100' OF RESIDENTIAL ZONE 50'

LOT COVERAGE TABLE:

LOT AREA - BRIDGE S.F.	
EXISTING IMPROVEMENTS AREA = 145,430 (22.7%)	
PROPOSED IMPROVEMENTS AREA = 36,458 S.F. (DRIVEWAY & SIDEWALK)	
PROPOSED IMPROVEMENTS AREA = 420,018 S.F. (LOTS)	
TOTAL IMPROVEMENTS AREA = 471,906 S.F.	
PROPOSED LOT COVERAGE = 58.5%	
ALLOWED LOT COVERAGE = 60%	

PARKING TABLE:

PARKING PROVIDED AT 3 SPACES PER 1,000 S.F. (MINIMUM)

DEVELOPMENT NOTES:

- ALL BUILDINGS AND PARKING SHOWN ON INDIVIDUAL SITES IS CONCEPTUAL ONLY AND NOT APPROVED AS SHOWN.
- SITE DRIVEWAY AND ALL UTILITIES INCLUDING THE SEWER PUMP STATION SHALL REMAIN PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION.
- PRIOR TO ANY CONSTRUCTION OR EXCHANGE OF A BUILDING PERMIT ASSOCIATED WITH INDIVIDUAL USE AREAS, THE APPLICANT SHALL APPLY FOR A WORK SITE PLAN MODIFICATION AS IT RELATES TO LANDSCAPING, LIGHTING, INFRASTRUCTURE, BUILDING ARCHITECTURE, PARKING, ETC.

SHEET INDEX:

SHEET / DESCRIPTION

- 1 / 14 COVER SHEET
- 2 / 14 EXISTING CONDITIONS
- 3 / 14 CONCEPTUAL OVERALL SITE PLAN
- 4-5 / 14 DRIVEWAY CONSTRUCTION PLANS
- 6-7 / 14 DRIVEWAY PLAN & PROFILE
- 8 / 14 EROSION CONTROL PLAN
- 9-11 / 14 CONCEPTUAL SITE CONSTRUCTION PLANS
- 12-13 / 14 CONSTRUCTION DETAILS
- 14 / 14 LANDSCAPE PLANS

**APPROVED
SITE PLAN REVIEW COMMITTEE**

Robert Bell 11/13/19 CONSTRUCTION
John Bell 10-22-19
William 10/24/19
Thomas 10/24/19
Jeffrey 10/24/19

DATE: _____

THE ABOVE DIMENSIONS ARE FOR THE APPROVAL OF THE FOLLOWING SHEETS ONLY:

SHEET #	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
4-5	DRIVEWAY CONSTRUCTION PLANS
6-7	DRIVEWAY PLAN & PROFILE
8-10	EROSION CONTROL PLAN
12-13	CONSTRUCTION DETAILS
14	LANDSCAPE PLAN

PREPARED FOR:
CAPITAL GROUP PROPERTIES
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

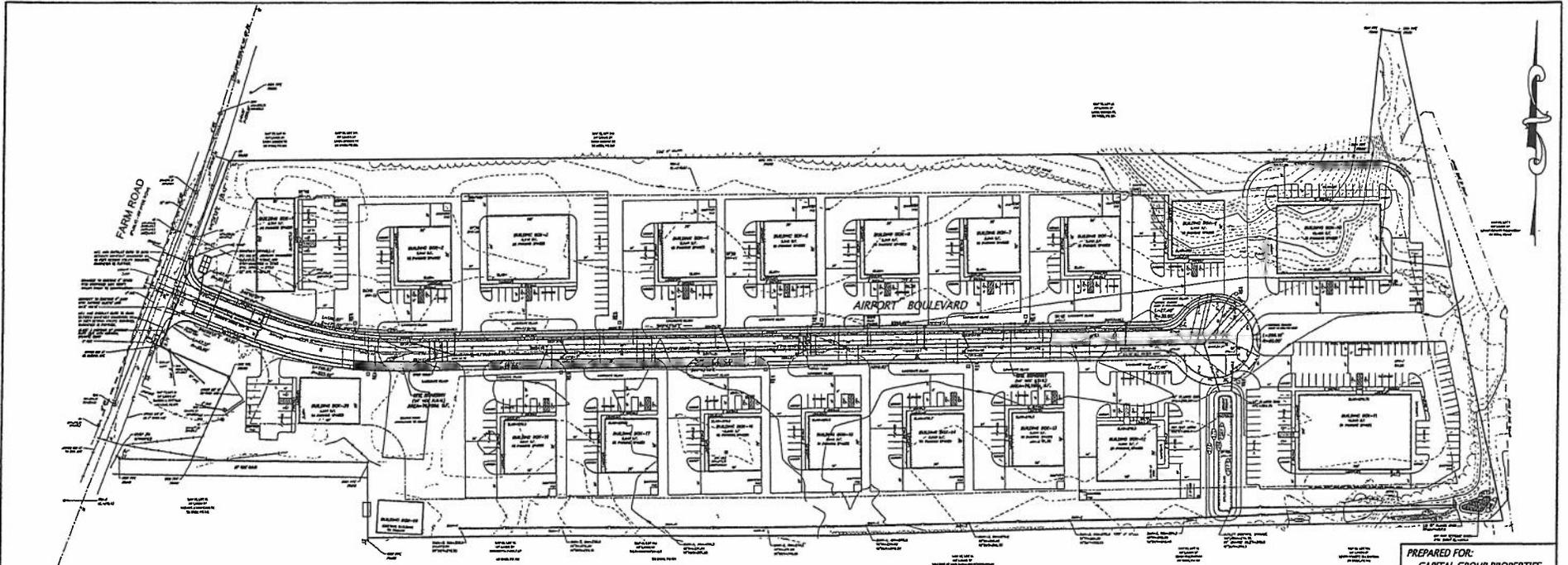
OWNER:
MARLBOROUGH INDUSTRIAL, LLC
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

MAP 73, PARCEL 32 & MAP 65, PARCELS 1485
**CONNORSTONE
ENGINEERING INC.**
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CLIFFTOP, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-392-9727 FAX: 508-392-5242

**PROPOSED SITE PLAN
COVER SHEET
677-681 FARM ROAD
IN
MARLBOROUGH, MA**



9-23-19	SEWERAGE, WEGON ROAD, BLDG. 12
6-13-19	REVIEW COMMENTS - PLAN NOTES
6-4-19	MISC. REVIEWS PER REVIEW
REVISED:	DESCRIPTION:
DRAWN BY: RBM	CHECK BY: VC
DATE: JUNE 24, 2019	
SCALE: 1"= 10'	SHEET 1 OF 14



DEVELOPMENT NOTES:

1. ALL BUILDINGS AND PARKING SHOWN ON INDIVIDUAL SITES IS CONCEPTUAL ONLY AND NOT APPROVED AS SHOWN.
2. SITE DRIVEWAY AND ALL UTILITIES THEREIN INCLUDING THE SEWER PUMP STATION SHALL REMAIN PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION.
3. PRIOR TO ANY CONSTRUCTION OR ISSUANCE OF A BUILDING PERMIT ASSOCIATED WITH INDIVIDUAL USE AREAS, THE APPLICANT SHALL APPLY FOR A MAJOR SITE PLAN MODIFICATION AS IT RELATES TO LANDSCAPING, LIGHTING, INFRASTRUCTURE, BUILDING ARCHITECTURE, PARKING, ETC.

- CONSTRUCTION NOTES:**
1. ANY OTHER MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MAJOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
 3. ALL HANDICAP PARKING, RAMP, AND ACCESS SHALL CONFORM TO AAB REQUIREMENTS.
 4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS.
 5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO "MAJED" REQUIREMENTS.
 6. A STREET OPENING PERMIT SHALL BE OBTAINED FROM THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK IN THE PUBLIC WAY.
 7. ALL CONSTRUCTION MATERIALS, STOCKPILES, STAMPS, ETC. ON SITE SHALL BE STORED IN A MANNER TO THE SATISFACTION OF THE CITY ENGINEER OR HIS REPRESENTATIVE.
 8. UTILITY CONSTRUCTION IN CITY WAYS REQUIRES BACKFILL WITH CONTROLLED DENSITY FILL.

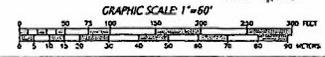
PREPARED FOR:
 CAPITAL GROUP PROPERTIES
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MA

OWNER:
 MARLBOROUGH INDUSTRIAL, LLC
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MA

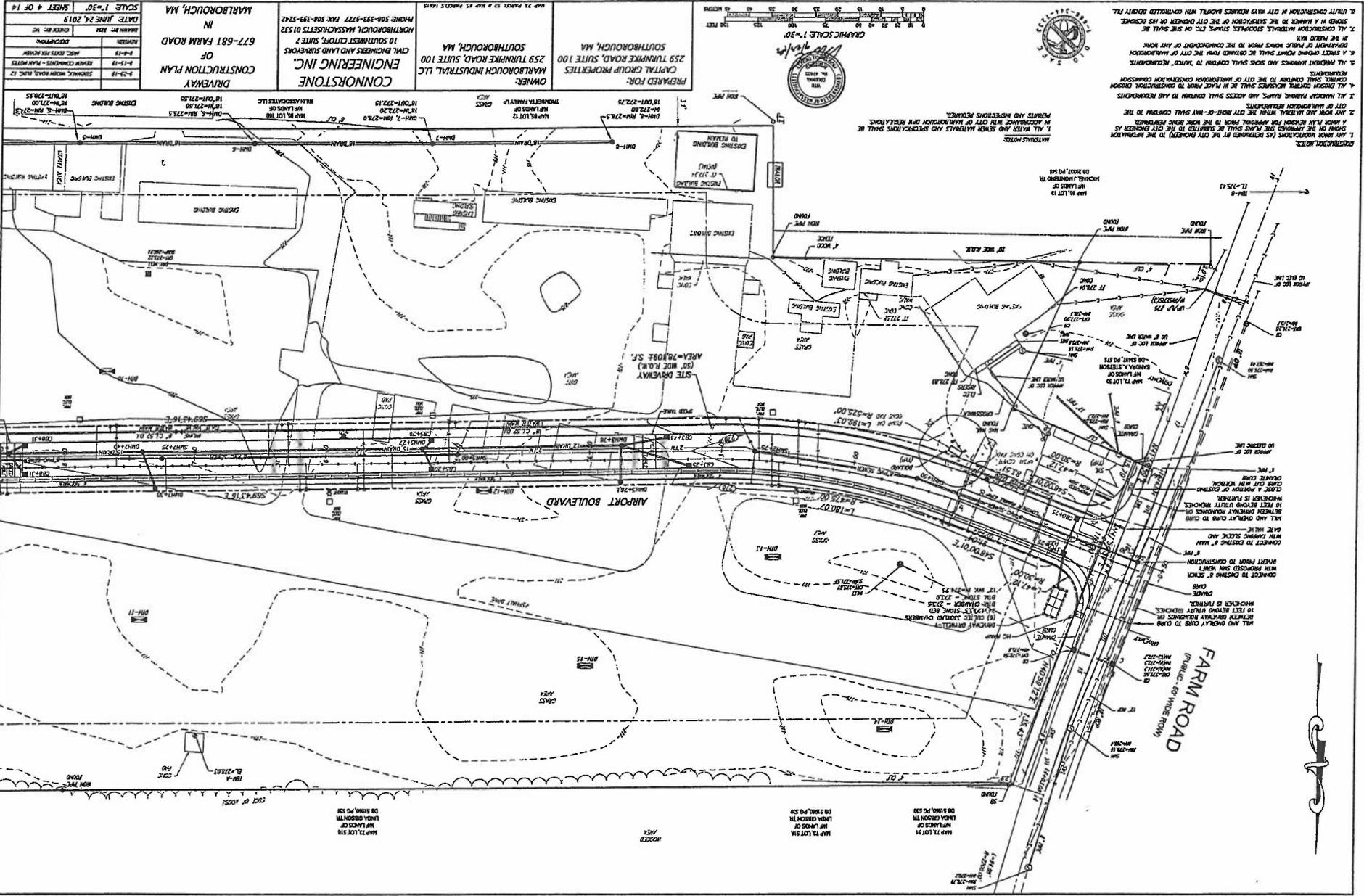
MAP 73, PARCEL 32 & MAP 85, PARCELS 14&15

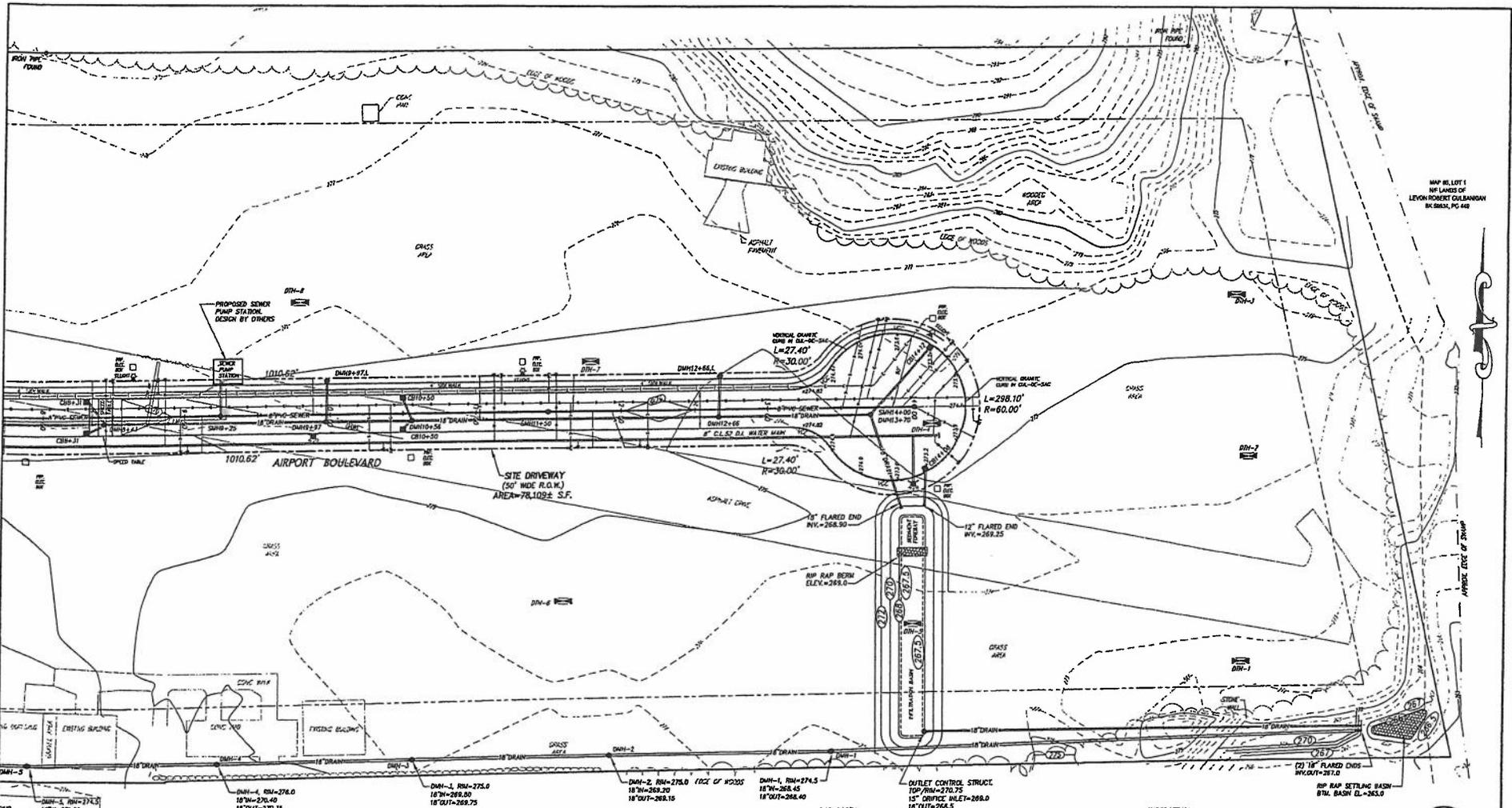
**CONNORSTONE
 ENGINEERING INC.**
 CIVIL ENGINEERS AND LAND SURVEYORS
 10 SOUTHWEST CUTOFF, SUITE 7
 NORTHBOROUGH, MASSACHUSETTS 01522
 PHONE: 508-393-9727 FAX: 508-393-5242

CONCEPTUAL
 OVERALL SITE PLAN
 OF
 677-681 FARM ROAD
 IN
 MARLBOROUGH, MA



REVISION	DESCRIPTION
9-23-19	SODORALC, WOOD ROAD, BLDG. 12
8-15-19	REVIEW COMMENTS - PLAN NOTES
8-4-19	ASIC EDITS FOR REVIEW
DESIGN BY: ADH	CHECK BY: VC
DATE: JUNE 24, 2019	SCALE: 1"=60'
SHEET 3 OF 14	





MAP 85, LOT 1
 1/4 LANS OF
 LEVON ROBERT GULBANDIAN
 BK 5824, PG 448

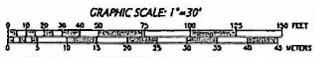


- CONSTRUCTION NOTES:**
1. ANY WORK MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A REVISION PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 2. ANY WORK AND MATERIALS WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
 3. ALL HANDICAP PARKING, RAMP, AND ACCESS SHALL CONFORM TO AAS REQUIREMENTS.
 4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS.
 5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO "MUTED" REQUIREMENTS.
 6. A STREET OPENING PERMIT SHALL BE OBTAINED FROM THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK IN THE PUBLIC WAY.
 7. ALL CONSTRUCTION MATERIALS, STOCKPILES, STUMPS, ETC. ON SITE SHALL BE STORED IN A MANNER TO THE SATISFACTION OF THE CITY ENGINEER OR HIS DESIGNEE.
 8. UTILITY CONSTRUCTION IN CITY WAYS REQUIRES BACKFILL WITH CONTROLLED DENSITY FILL.



MATERIALS NOTES:

1. ALL WATER AND SEWER MATERIALS AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH CITY OF MARLBOROUGH DPM REGULATIONS, PERMITS AND INSPECTIONS REQUIRED.



PREPARED FOR:
 CAPITAL GROUP PROPERTIES
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MA

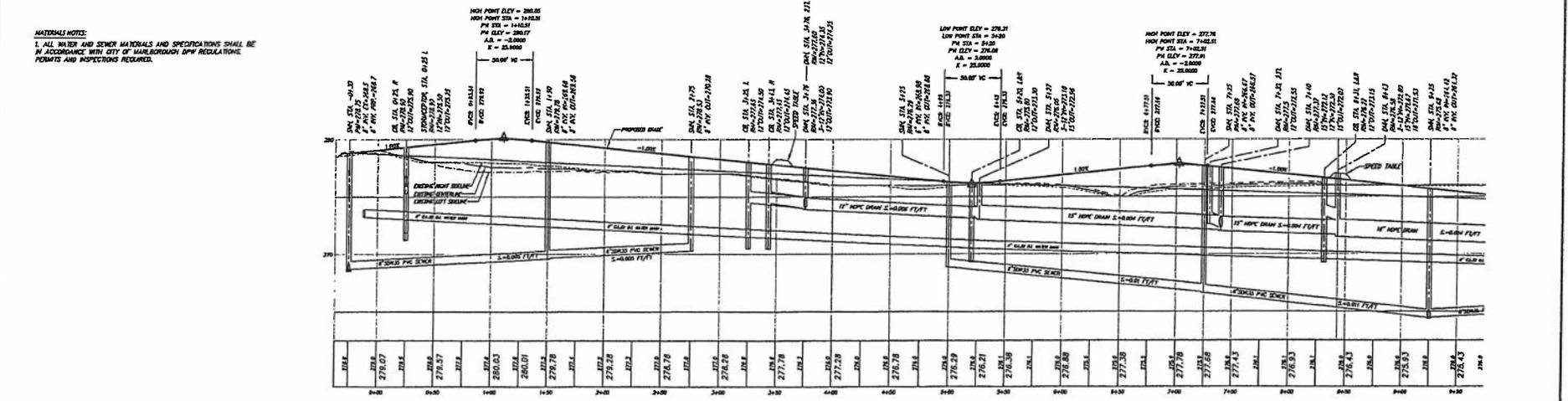
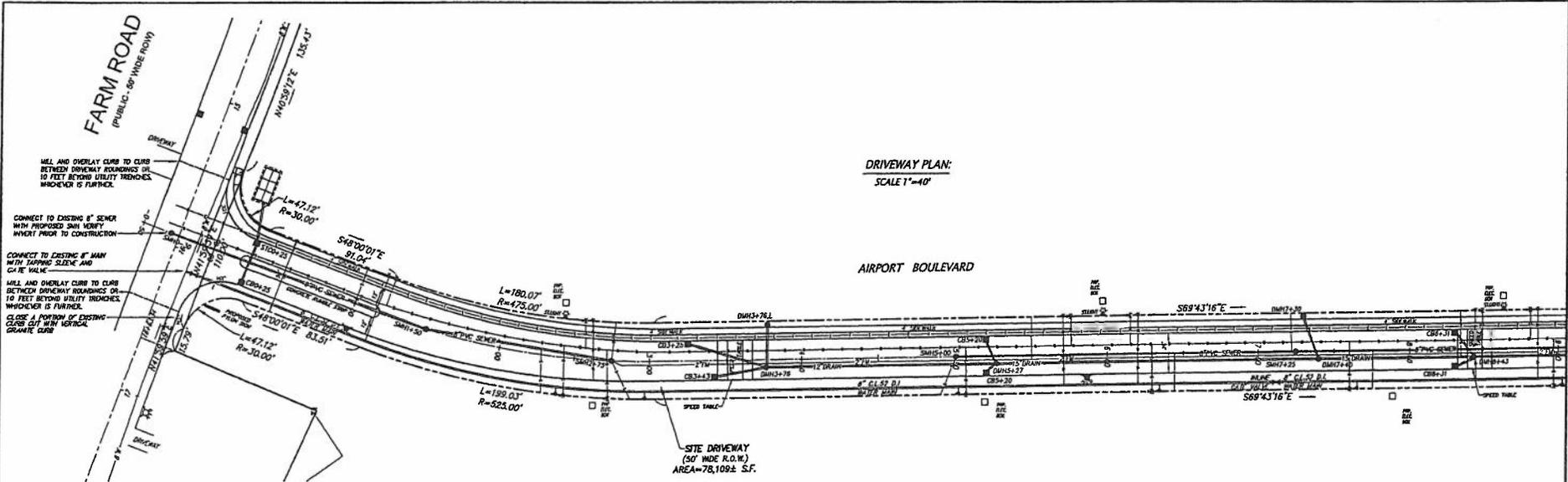
OWNER:
 MARLBOROUGH INDUSTRIAL, LLC
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MA

CONNORSTONE ENGINEERING INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 10 SOUTHWEST CUTOFF, SUITE 7
 NORTHBOROUGH, MASSACHUSETTS 01532
 PHONE: 508-393-9727 FAX: 508-393-5242

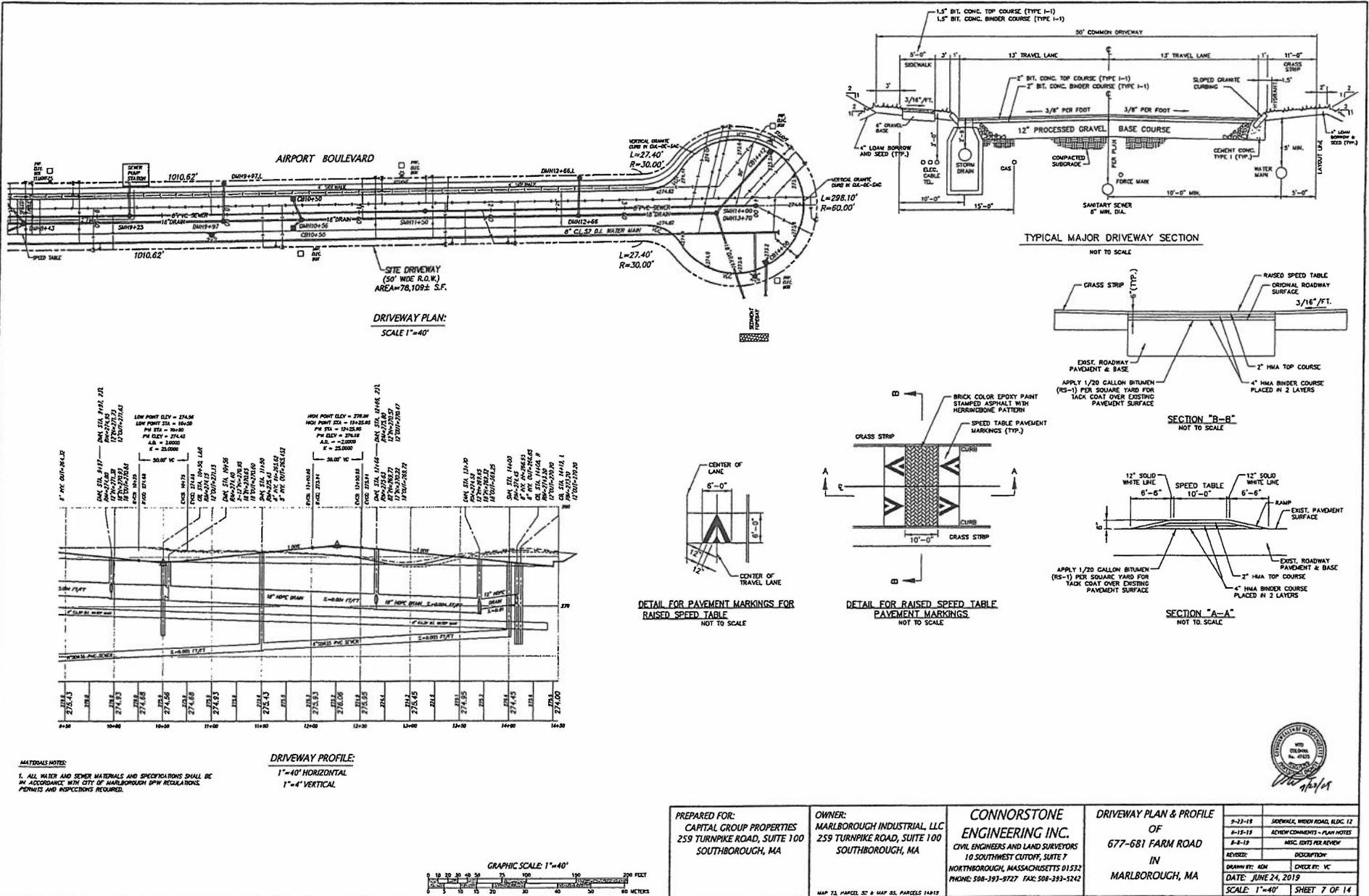
DRIVEWAY CONSTRUCTION PLAN
 OF
677-681 FARM ROAD
 IN
MARLBOROUGH, MA

3-23-19	SIDEWALK, WIDEN ROAD, BLDG. 12
6-13-19	REVIEW COMMENTS - PLAN NOTES
8-8-19	ASDC COMMENTS PER REVIEW
REVISED:	DESCRIPTION:
DRAWN BY: SEM	CHECK BY: VC
DATE: JUNE 24, 2019	
SCALE: 1"=30'	SHEET 3 OF 14

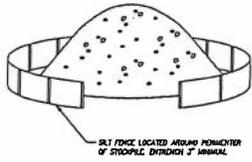
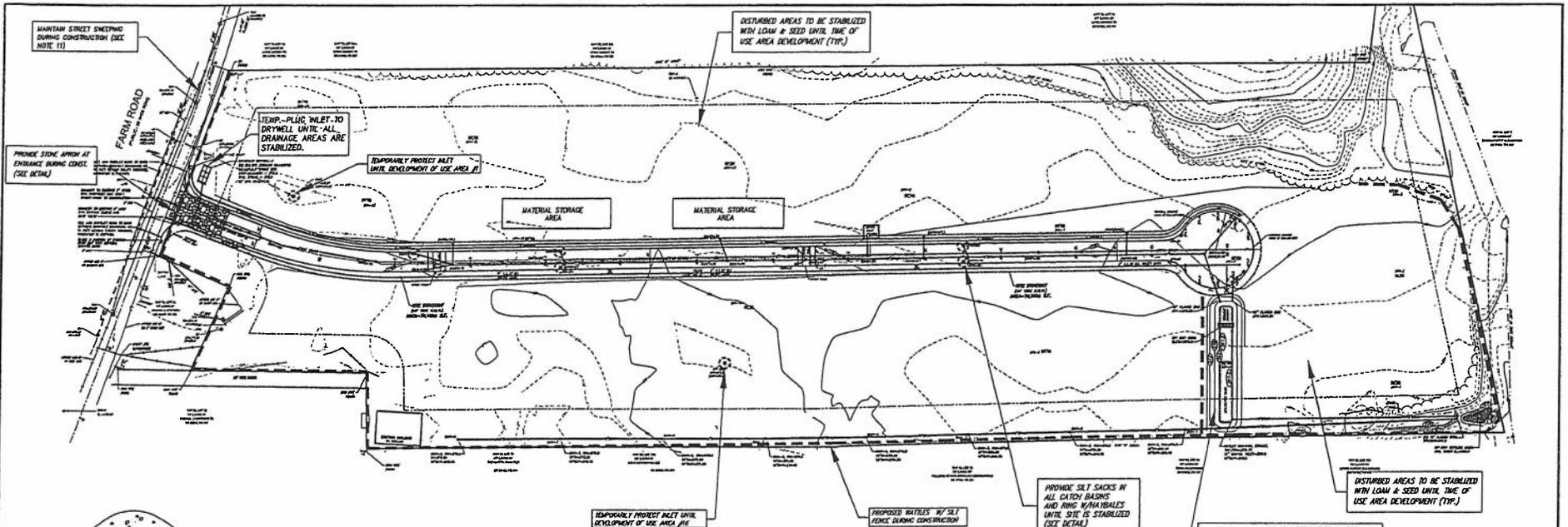
MAP 73, PARCELS 32 & MAP 85, PARCELS 14&15



<p>PREPARED FOR: CAPITAL GROUP PROPERTIES 259 TURNPIKE ROAD, SUITE 100 SOUTHBOROUGH, MA</p>	<p>OWNER: MARLBOROUGH INDUSTRIAL, LLC 259 TURNPIKE ROAD, SUITE 100 SOUTHBOROUGH, MA</p>	<p>CONNORSTONE ENGINEERING INC. CIVIL ENGINEERS AND LAND SURVEYORS 10 SOUTHWEST CUTOFF, SUITE 7 NORTHBOROUGH, MASSACHUSETTS 01532 PHONE: 508-393-9727 FAX: 508-393-5242</p>	<p>DRIVEWAY PLAN & PROFILE OF 677-681 FARM ROAD IN MARLBOROUGH, MA</p>	<p>3-23-19 SECONDAL, WINDY ROAD, BLDG. 12 3-15-19 REVIEW COMMENTS - PLAN NOTES 3-8-19 BASIC EDITS PER REVIEW</p> <p>DESIGNED: [] DESCRIPTION: DRAWN BY: ADM CHECK BY: VC DATE: JUNE 24, 2019 SCALE: 1"=40' SHEET 6 OF 14</p>
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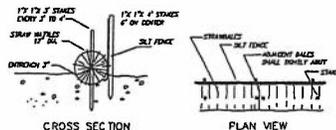


<p>PREPARED FOR: CAPITAL GROUP PROPERTIES 259 TURNPIKE ROAD, SUITE 100 SOUTHBOROUGH, MA</p>	<p>OWNER: MARLBOROUGH INDUSTRIAL, LLC 259 TURNPIKE ROAD, SUITE 100 SOUTHBOROUGH, MA</p>	<p>CONNORSTONE ENGINEERING INC. CIVIL ENGINEERS AND LAND SURVEYORS 10 SOUTHWEST CUTOFF, SUITE 7 NORTHBOROUGH, MASSACHUSETTS 01532 PHONE: 508-393-9727 FAX: 508-393-5242</p>	<p>DRIVEWAY PLAN & PROFILE OF 677-681 FARM ROAD IN MARLBOROUGH, MA</p>	<p>3-23-19 SIDEWALK, WOODHURST ROAD, BLOC. 12 6-15-19 REVIEW COMMENTS - PLAN NOTES 8-8-19 MISC. CHITS FOR REVIEW REVISIONS: DESCRIPTION: DRAWN BY: RMN CHECK BY: VC DATE: JUNE 24, 2019 SCALE: 1"=40' SHEET 7 OF 14</p>
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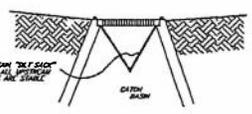
- NOTES:**
1. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED.
 2. STOCKPILES SHALL BE LOCATED ON DRY STABLE AREAS.
 3. STOCKPILES TO REMAIN FOR EXTENDED PERIODS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE.
 4. PROVIDE SLOTTED PLASTIC ANCHORS TO PROTECT SOIL IN A MANNER OF EXISTING EXISTING SITE ACCESS.

SOIL STOCKPILE DETAIL
NOT TO SCALE



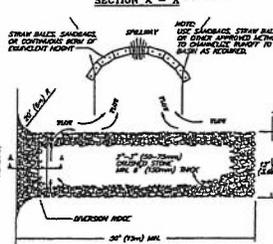
1. STRAIN WALL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE WALL IN A TROUGH 3" DEEP. STAKES MUST NOT BE ALLOWED TO RUN UNDER OR AROUND WALL.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

EROSION BARRIER
NOT TO SCALE



- NOTES:**
1. SILT SACKS MUST BE RE-INSPECTED REGULARLY THROUGHOUT CONSTRUCTION AND RE-INSTALLED AFTER STORM EVENTS.
 2. IF SILT SACKS ARE DAMAGED OR FULL, THEY SHALL BE REPAIRED IMMEDIATELY. DAMAGED SILT SACKS SHALL BE REMOVED ON SITE AND REPLACED.
 3. SEDIMENT SHALL REMAIN IN PLACE UNTIL ALL VEGETATION IS ESTABLISHED SUFFICIENTLY TO FULLY ESTABLISH.

SILT SACK OR EQUAL SEDIMENT CONTAINMENT SYSTEM
NOT TO SCALE



- NOTES:**
1. THE DISTANCE SHALL BE MAINTAINED IN A MANNER THAT WILL PREVENT BYPASSING OF SEDIMENT OVER THE BARRIER. THE DISTANCE SHALL BE MAINTAINED AT ALL TIMES.
 2. WHEN NECESSARY, SACKS SHALL BE RE-INSTALLED PRIOR TO DISTURBANCE.
 3. WHEN REPAIRING OR REPLACING, IT SHALL BE SURE THAT SACKS ARE PROPERLY OVERLAPPED AND SECURED TO PREVENT SEDIMENT TRAP OR SEDIMENT BASK.
 4. STORM DRAIN SHALL BE REPLACED AS REQUIRED TO MAINTAIN ITS FUNCTION.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
2. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS AS SHOWN ON THE SITE PLAN APPROVED BY THE CITY.
3. PRIOR TO BEGINNING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLAN AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
4. THE PLAN SHOWS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSARY BY THE ENGINEER, OR AS DIRECTED BY THE ENGINEER, THE TOWN'S REPRESENTATIVE, OR THE CONSTRUCTION COMMISSION TO ENSURE PROTECTION OF ALL RELATED RESOURCES AND CONTROL SEDIMENTATION. FURTHER SEDIMENTATION PLANS SHALL BE SUBMITTED TO THE CONSTRUCTION COMMISSION FOR REVIEW AND APPROVAL.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND ALL AREAS MUST BE PERMANENTLY STABILIZED. AT THE END OF CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
6. THE CONTRACTOR SHALL VERIFY SEDIMENTATION AND EROSION CONTROL MEASURES BY VISUAL INSPECTION AND BY TESTING. TESTING SHALL BE DONE AT THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED BY THE CONTRACTOR WHEN THE VOLUME REACHES 1/3 TO 1/2 THE HEIGHT OF MAT BALE OR SEDIMENT TRAIL, OR AS DIRECTED BY THE LOCAL AUTHORITY.
7. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION AND A PERMANENT SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED. FENCING SHALL BE INSTALLED AROUND STOCKPILES BY CHAINS AND STAKES, OR BY ANY OTHER METHOD, AS SHOWN AS PROVIDED. AFTER THE STOCKPILE HAS BEEN STABILIZED, IT SHALL BE COVERED WITH LOAM AND STABILIZED WITH SEED MIXTURE AND SOIL. STOCKPILES OF FILL OR EXCAVATION SHALL BE COVERED WITH SEED MIXTURE AND SOIL. STOCKPILES OF EXCAVATION SHALL BE COVERED WITH SEED MIXTURE AND SOIL.
8. EXISTING OPEN DRAINAGE OR WETLANDS SHALL BE STABILIZED WITH SEED MIXTURE AND SOIL. STOCKPILES SHALL BE COVERED WITH SEED MIXTURE AND SOIL THROUGHOUT CONSTRUCTION TO PREVENT IMPACTS FROM WATER BODIES. STOCKPILES SHALL BE STABILIZED WITH SEED MIXTURE AND SOIL THROUGHOUT CONSTRUCTION TO PREVENT IMPACTS FROM WATER BODIES. STOCKPILES SHALL BE STABILIZED WITH SEED MIXTURE AND SOIL THROUGHOUT CONSTRUCTION TO PREVENT IMPACTS FROM WATER BODIES. STOCKPILES SHALL BE STABILIZED WITH SEED MIXTURE AND SOIL THROUGHOUT CONSTRUCTION TO PREVENT IMPACTS FROM WATER BODIES.
9. STAKED MAT BALES AND SILT FENCE SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT OR AS INDICATED ON THE PLAN. ADDITIONAL MAT BALES AND SILT FENCE SHALL BE LOCATED AS REQUIRED TO PREVENT EROSION AND SEDIMENTATION. MAT BALE OR SILT FENCE SHALL BE INSTALLED AT REGULAR INTERVALS OF DISTANCE OF 100 FEET.
10. STREET SLEEPING IN THE VICINITY OF THE PROJECT SHALL BE MAINTAINED AS NEARLY AS THE PROJECT LIMITS HAVE BEEN ESTABLISHED. ALL SEDIMENT TRAPPING SYSTEMS SHALL BE INSTALLED AT THE END OF EACH WORKING DAY.
11. ALL EXISTING AND PROPOSED DRAINAGE SYSTEMS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. WHEN ANY EXISTING SYSTEM SHALL BE REPAIRED OR REPLACED, THE CONTRACTOR SHALL MAINTAIN PROTECTIVE DRAINAGE SYSTEMS THROUGHOUT CONSTRUCTION. WHEN ANY EXISTING SYSTEM SHALL BE REPAIRED OR REPLACED, THE CONTRACTOR SHALL MAINTAIN PROTECTIVE DRAINAGE SYSTEMS THROUGHOUT CONSTRUCTION.
12. BEST CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED THROUGHOUT CONSTRUCTION. ALL BEST CONTROL MEASURES SHALL BE PERMANENTLY STABILIZED. RECORDS FOR BEST CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE ENGINEER.
13. ALL VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE STABILIZED CONSTRUCTION ENTRANCE/EXIT. CONSTRUCTION SHALL BE LIMITED TO THE STABILIZED CONSTRUCTION ENTRANCE/EXIT. ALL VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE STABILIZED CONSTRUCTION ENTRANCE/EXIT. CONSTRUCTION SHALL BE LIMITED TO THE STABILIZED CONSTRUCTION ENTRANCE/EXIT.
14. ALL VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE STABILIZED CONSTRUCTION ENTRANCE/EXIT. CONSTRUCTION SHALL BE LIMITED TO THE STABILIZED CONSTRUCTION ENTRANCE/EXIT.
15. EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL BEST CONTROL MEASURES SHALL BE PERMANENTLY STABILIZED. RECORDS FOR BEST CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE ENGINEER.



PREPARED FOR:
CAPITAL GROUP PROPERTIES
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

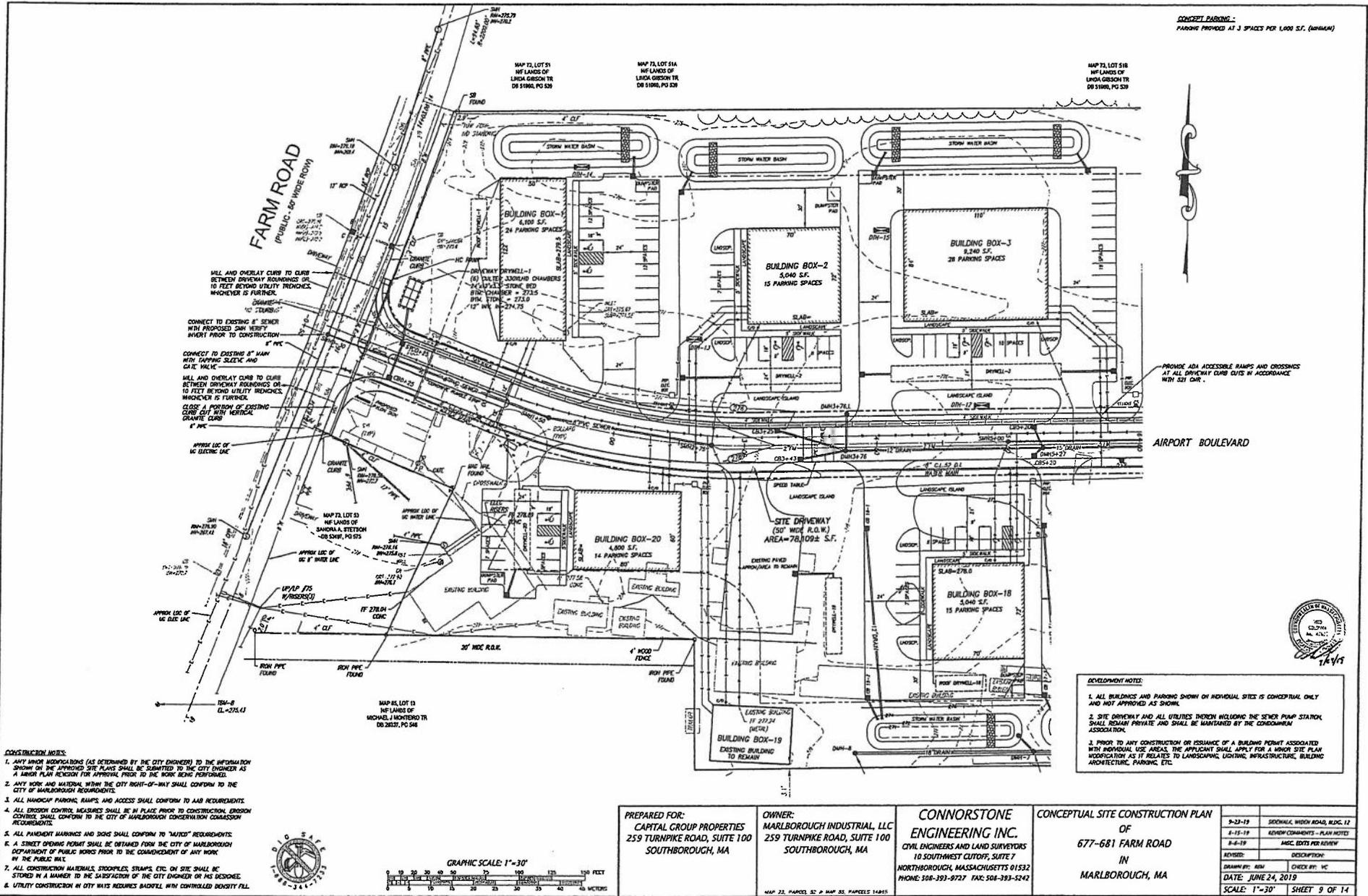
OWNER:
MARLBOROUGH INDUSTRIAL, LLC
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

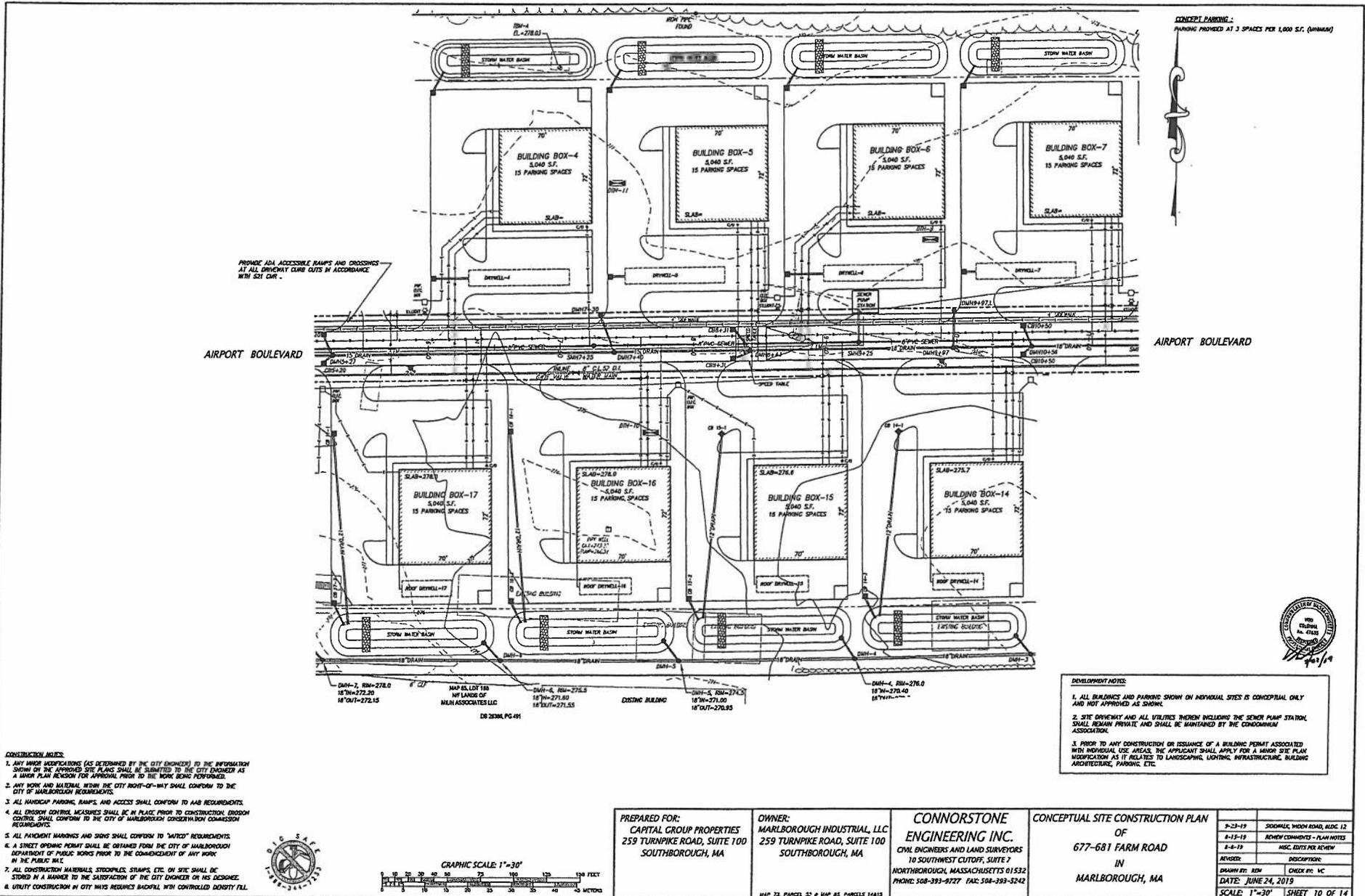
MAP 73, PARCEL 30 & MAP 85, PARCELS 14&15

CONNORSTONE ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01542
PHONE: 508-393-9727 FAX: 508-393-5242

EROSION CONTROL PLAN
OF
677-681 FARM ROAD
IN
MARLBOROUGH, MA

8-23-19 SEDIMENTATION PLAN, BLDG. 12
8-15-19 ASHLEY COMMONS - PLAN NOTES
8-8-19 MISC. EXITS PER AGENCY
REVISION: DESCRIPTION:
DRAWN BY: ADM CHECK BY: VC
DATE: JUNE 24, 2019
SCALE: 1"=60' SHEET 4 OF 14

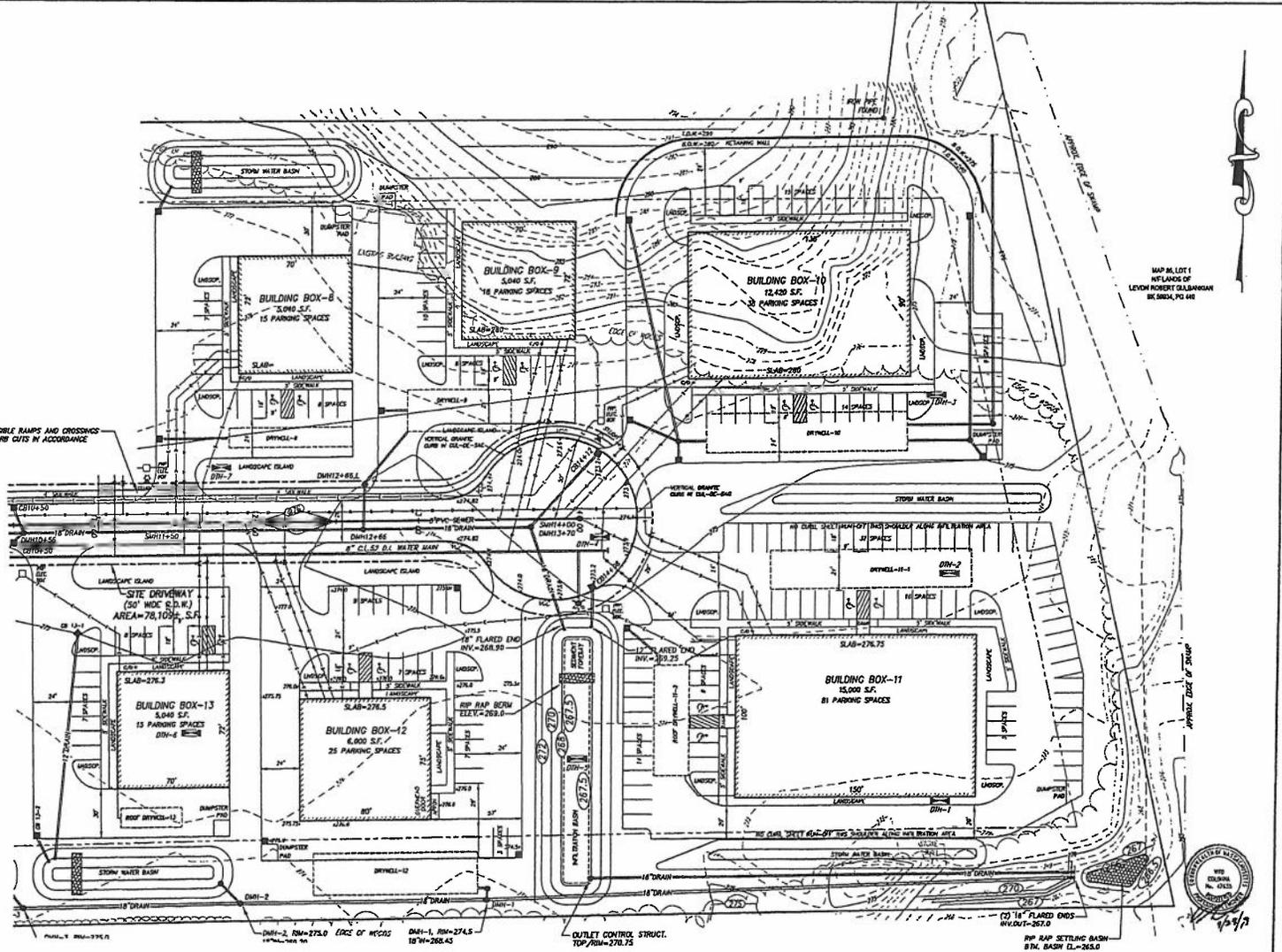




CONCEPT PARKING:
PARKING PROVIDED AT 3 SPACES PER 1,000 S.F. (MINIMUM)

PROVIDE ADA ACCESSIBLE RAMPS AND CROSSINGS AT ALL DRIVEWAY CURB CUTS IN ACCORDANCE WITH 521 CMR.

AIRPORT BOULEVARD



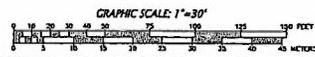
MAP 46, LOT 1
WETLANDS OF
LEWIS FOREST (SALICORNIA)
DC AREA, PG. 440

DEVELOPMENT NOTES:

1. ALL BUILDINGS AND PARKING SHOWN ON INDIVIDUAL SITES IS CONCEPTUAL ONLY AND NOT APPROVED AS SHOWN.
2. SITE DRIVEWAY AND ALL UTILITIES THEREIN INCLUDING THE SEWER PUMP STATION SHALL REMAIN PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION.
3. PRIOR TO ANY CONSTRUCTION OR ISSUANCE OF A BUILDING PERMIT ASSOCIATED WITH INDIVIDUAL USE AREAS, THE APPLICANT SHALL APPLY FOR A UNIFORM SITE PLAN MODIFICATION AS IT RELATES TO LANDSCAPING, LIGHTING, INFRASTRUCTURE, BUILDING ARCHITECTURE, PARKING, ETC.

CONSTRUCTION NOTES:

1. ANY WORK MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MAJOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
3. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB REQUIREMENTS.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS.
5. ALL PAYMENT MARKINGS AND SIGNS SHALL CONFORM TO "AAS" REQUIREMENTS.
6. A STREET OPENING PERMIT SHALL BE OBTAINED FROM THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK IN THE PUBLIC WAY.
7. ALL CONSTRUCTION MATERIALS, STOCKPILES, STUMPS, ETC. ON SITE SHALL BE STORED IN A MANNER TO THE SATISFACTION OF THE CITY ENGINEER OR HIS DESIGNEE.
8. UTILITY CONSTRUCTION IN CITY WAYS REQUIRES SPECIAL HIGH CONTROLLED DENSITY FILL.



PREPARED FOR:
CAPITAL GROUP PROPERTIES
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

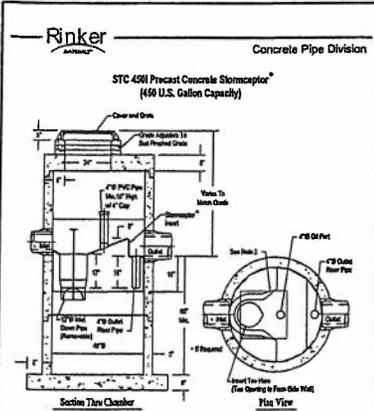
OWNER:
MARLBOROUGH INDUSTRIAL, LLC
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

CONNERSTONE
ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

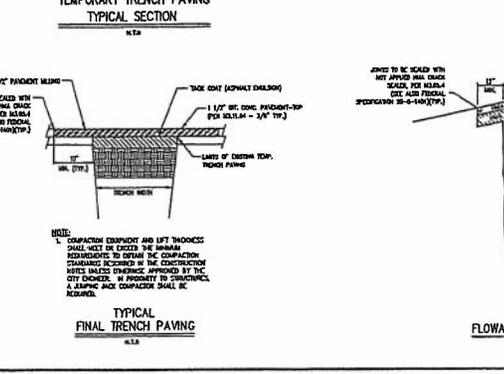
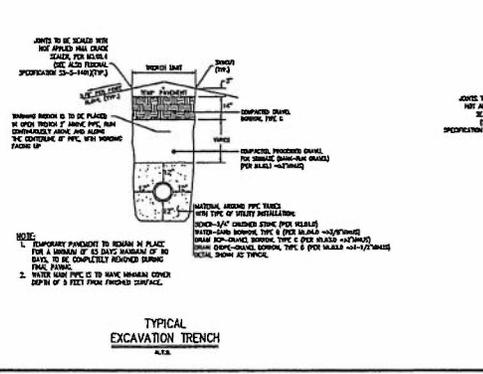
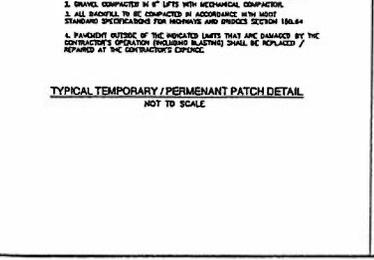
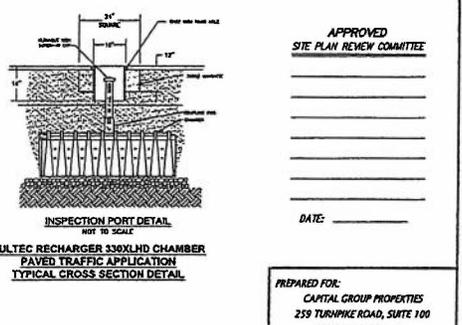
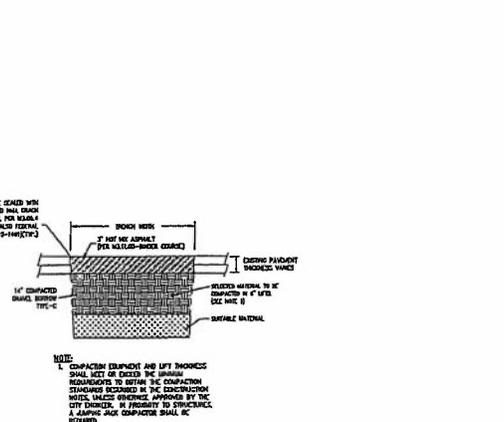
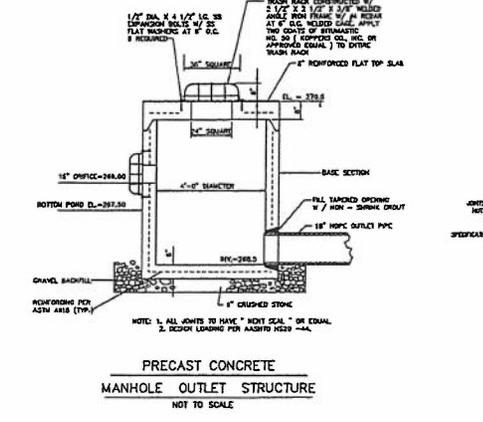
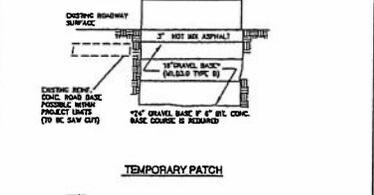
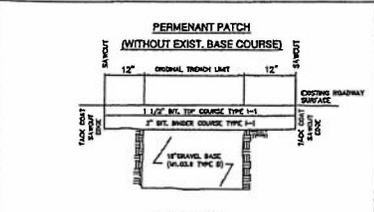
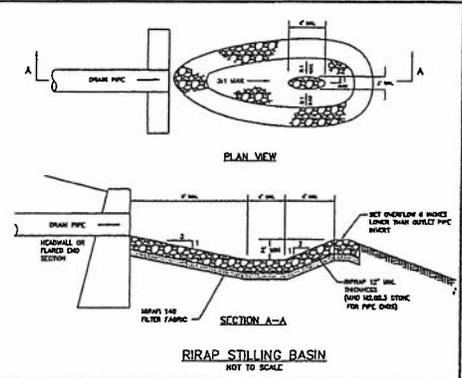
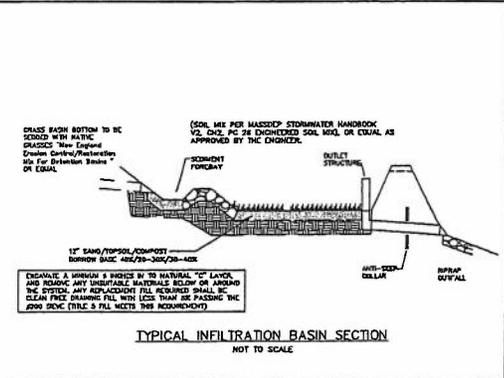
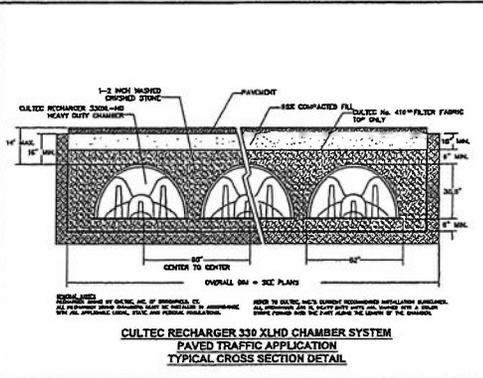
CONCEPTUAL SITE CONSTRUCTION PLAN
OF
677-681 FARM ROAD
IN
MARLBOROUGH, MA

9-23-19	SECOND WALK, WINDY ROAD, BLDG. 12
8-13-19	REVIEW COMMENTS - PLAN NOTES
8-8-19	INSC. EDITS FOR REVIEW
REVISION:	DESCRIPTION:
DRAWN BY: ASH	CHECK BY: MC
DATE: JUNE 24, 2019	
SCALE: 1"=30'	SHEET 11 OF 14

MAP 74 PARCEL 35 & MAP 85 PARCELS 14&15



- Note:
- The Use Of Flexible Connections is Recommended at The Inlet and Outlet Where Applicable.
 - The Cover Should Be Positioned Over The Side Drop Pipe and The Outlet.
 - The Stormceptor System is patented by the following U.S. Patents: #6081416, #6196211, #6274210, #6274211, #6274212, #6274213, #6274214, #6274215, #6274216, #6274217, #6274218, #6274219, #6274220, #6274221, #6274222, #6274223, #6274224, #6274225, #6274226, #6274227, #6274228, #6274229, #6274230, #6274231, #6274232, #6274233, #6274234, #6274235, #6274236, #6274237, #6274238, #6274239, #6274240, #6274241, #6274242, #6274243, #6274244, #6274245, #6274246, #6274247, #6274248, #6274249, #6274250, #6274251, #6274252, #6274253, #6274254, #6274255, #6274256, #6274257, #6274258, #6274259, #6274260, #6274261, #6274262, #6274263, #6274264, #6274265, #6274266, #6274267, #6274268, #6274269, #6274270, #6274271, #6274272, #6274273, #6274274, #6274275, #6274276, #6274277, #6274278, #6274279, #6274280, #6274281, #6274282, #6274283, #6274284, #6274285, #6274286, #6274287, #6274288, #6274289, #6274290, #6274291, #6274292, #6274293, #6274294, #6274295, #6274296, #6274297, #6274298, #6274299, #6274300, 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 - Contact Concrete Pipe Division representative for better details and load on this drawing.



APPROVED
SITE PLAN REVIEW COMMITTEE

DATE: _____

PREPARED FOR:
CAPITAL GROUP PROPERTIES
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

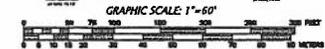
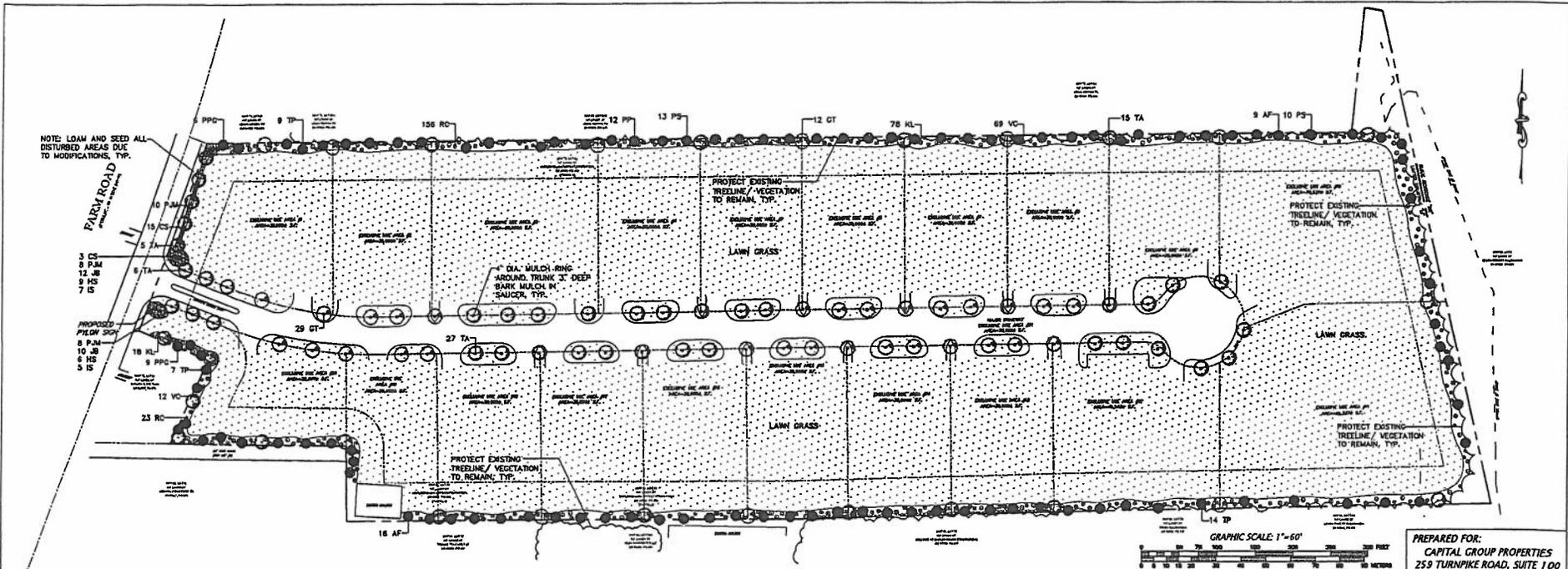
OWNER:
MARLBOROUGH INDUSTRIAL, LLC
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA
MAP 73, PARCEL 32

CONNORSTONE
ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CROSSING, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01552
PHONE 508-393-9277 FAX 508-393-3242

CONSTRUCTION DETAILS
OF
677-681 FARM ROAD
IN
MARLBOROUGH, MA

3-23-19 DESIGN, WOOD ROAD, PLAC. 12
8-15-19 REVIEW COMMENTS - PLAN NOTES
8-8-19 HASC. EDITS FOR REVIEW

REVISION: _____ DESCRIPTION: _____
DRAWN BY: ADM CHECK BY: VC
DATE: JUNE 24, 2018
SCALE: NONE SHEET 12 OF 14



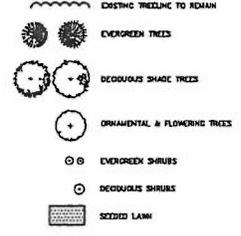
NOTE: LOAM AND SEED ALL DISTURBED AREAS DUE TO MODIFICATIONS, TYP.

PROPOSED PLOW 20\"/>

GENERAL NOTES:

- CONTRACTOR SHALL MAKE A SITE VISIT PRIOR TO BEGINNING CONSTRUCTION TO DETERMINE EXISTING CONDITIONS FOR PROPOSED CONSTRUCTION TO MAINTAIN EXISTING TREELINE AND VEGETATION TO REMAIN, TYP.
- CONTRACTOR SHALL NOTIFY THE CITY OF MARLBOROUGH, MA PRIOR TO ANY PLANTING WORK.
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF MARLBOROUGH.
- PROVIDE TO THE PRE-CONSTRUCTION MEETING THE CONTRACTOR SHALL CONTACT THE CITY OF MARLBOROUGH AT 978-326-3447 TO OBTAIN THE EXISTING CONDITIONS FOR PROPOSED CONSTRUCTION.
- ALL CONTRACTORS SHALL NOTIFY THE CITY OF MARLBOROUGH PRIOR TO ANY PLANTING WORK.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS, SEE SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS ESTABLISHED BY THE AMERICAN STANDARDS FOR MARKET TREES, PUBLISHED BY THE AMERICAN ASSOCIATION OF HORTICULTURISTS, INC. AND SHALL BE GUARANTEED FOR ONE YEAR.
- ALL PLANTS TO BE SHIPPED IN BURLAP OR CONTAINER GROWN, NO PLASTIC BURLAP.
- ALL PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- STATE LOCATION OF ALL PROPOSED PLANT MATERIAL FOR APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF PLANTING.
- THE LANDSCAPE ARCHITECT SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR (365 DAYS) OF ACCEPTANCE.
- ALL PLANTING SHALL BE DONE WITH SHADENETTING BRASS, LAWN OR MULCH AS INDICATED BY DRAWINGS AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT.
- "DRY ROOTS" SHALL BE ASSESSED TO ALL NEW TREE PLANTING SITES. ALL NEW LAWN SHALL BE TESTED AND ANALYZED AS STATED IN THE LAWN REPORT, PROVIDED BY LAWN SAMPLES.
- LANDSCAPE ARCHITECT SHALL SUBMIT A NUTRIENT SCHEDULE PROGRAM FOR THE (90) DAY PERIOD FOR REVIEW BY THE LANDSCAPE ARCHITECT & TO BE USED FOR ALL PROPOSED PLANT MATERIAL.
- PROTECT EXISTING PLANT MATERIAL WHEN CONSTRUCTION UNITS PROCEED WITHIN PLANTING PROGRAM FOR ALL PROPOSED EXISTING PLANT MATERIAL DURING CONSTRUCTION.
- ALL TRANSPORTED PLANT MATERIAL IS SHIPPED BY THE CONTRACTOR AND SHALL BE PREPARED FOR TRANSPORTATION FOR EACH PROJECT AT THE APPROPRIATE SEASON. THE CONTRACTOR SHALL REPLACE ANY TRANSPORTED PLANT MATERIAL THAT DIES WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL. THE NEW PLANT MATERIAL SHALL BE MAINTAINED & GUARANTEED AS NEW PLANT MATERIAL.

GRAPHIC LEGEND



PLANT MATERIAL LIST - 677-681 FARM ROAD, MARLBOROUGH, MA.

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
EVERGREEN TREES						
ET	20	ARCTIC SPRUCE	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
ET	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
ET	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
ET	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
ET	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
DECIDUOUS AND ORNAMENTAL TREES						
DT	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
DT	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
DT	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
DT	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
DT	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
SHRUBS						
SH	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
SH	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
SH	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
SH	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
SH	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
PERENNIALS AND GROUNDCOVER						
PG	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
PG	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
PG	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
PG	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ
PG	10	RED CEDAR	FRANCE FIVE	6'-8"	BAR	NATURAL SHADE, SHIRAZ

PREPARED FOR:
CAPITAL GROUP PROPERTIES
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

OWNER:
MARLBOROUGH INDUSTRIAL, LLC
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

MAP 73, PARCEL 32 & MAP 85, PARCELS 1&2
CONNORSTONE ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-333-5727 FAX: 508-393-5242

WILLIAM FLEMING ASSOCIATES
LANDSCAPE ARCHITECTS
PLANNERS

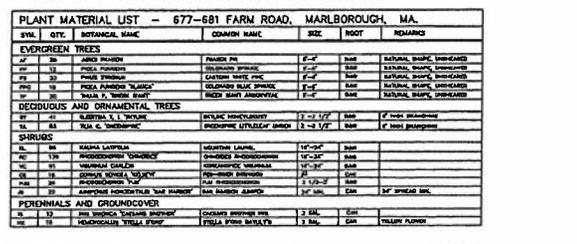
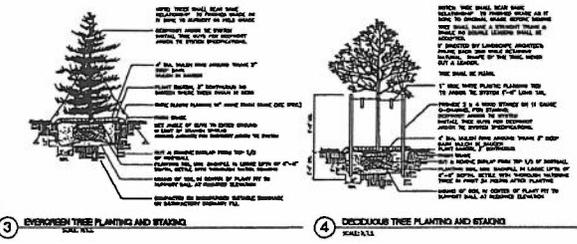
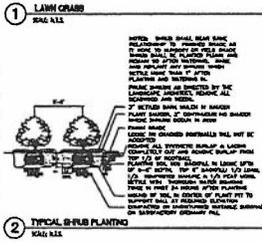
LANDSCAPE PLAN OF 677-681 FARM ROAD IN MARLBOROUGH, MA

06/15/19 PLANT MATERIAL SCHEDULE
DRAWN BY: BFF CHECK BY: BFF
DATE: JUNE 21, 2013
SCALE: 1"=60' SHEET 1 OF 1.

APPROVED
CITY COUNCIL

DATE: _____
APPROVED
SITE PLAN REVIEW COMMITTEE

DATE: _____





City of Marlborough

Legal Department

140 MAIN STREET
 MARLBOROUGH, MASSACHUSETTS 01752
 TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610
 LEGAL@MARLBOROUGH-MA.GOV

RECEIVED
 CITY CLERK'S OFFICE
 JASON D. GROSSFIELD
 CITY SOLICITOR
 2021 HEATHER H. GUTIERREZ
 PARALEGAL
 4:30 PM 9/1/21

September 1, 2021

Michael H. Ossing, President
 Marlborough City Council
 City Hall
 140 Main Street
 Marlborough, MA 01752

Re: City Council Order No. 21-1008346
 Special Permit Decision, 685 Farm Road – Unit #18, Marlborough

Dear Honorable President Ossing and Councilors:

In accordance with Chapter 650-57C(13) of the Marlborough Zoning Ordinance, I provide this letter as to the legal form of the City Council's proposed findings on the above-referenced special permit application. Enclosed is a copy of the proposed decision. I certify that it is in proper legal form.

Please contact me if you have any questions or concerns.

Respectfully,

Jason D. Grossfield
 City Solicitor

Enclosure

cc: Arthur G. Vigeant, Mayor
 Tin Hway, Building Commissioner

_____, 2021

**NOTICE OF DECISION
GRANT OF SPECIAL PERMIT**

In City Council
Order No. #21-1008346

Application of:
Lourival Masonry Co., LLC

Locus:
685 Farm Road, Unit 18, Marlborough, MA (also known as 37 Airport Boulevard)
Parcel 52 on Assessors Map 73

DECISION

The City Council of the City of Marlborough hereby **GRANTS** the Application of Lourival Masonry Co., LLC, with a mailing address of 24 Hager Street, Marlborough, MA, as provided in the DECISION and subject to the Findings of Fact and Conditions contained therein.

Decision date: _____, 2021

The Decision of the City Council was filed in the Office of the City Clerk of the City of Marlborough on the [] day of [], 2021.

APPEALS

Appeals, if any shall be made pursuant to Massachusetts General Laws, Chapter 40A, Section 17 and shall be filed within twenty (20) days after the date of the filing of this Notice of Decision in the Office of the City Clerk of the City of Marlborough, MA.

A TRUE COPY
ATTEST:

City Clerk

ORDERED:**IN CITY COUNCIL**
_____**DECISION ON A SPECIAL PERMIT**

Application of:
Lourival Masonry Co., LLC

Locus:
685 Farm Road, Unit 18, Marlborough, MA (also known as 37 Airport Boulevard)
Parcel 52 on Assessors Map 73

**DECISION ON A SPECIAL PERMIT
ORDER NO. 21-1008346**

The City Council of the City of Marlborough hereby GRANTS the Application for a Special Permit to Lourival Masonry Co., LLC (the “Applicant”) for contractor’s yard at 685 Farm Road, Unit 18, also known as 37 Airport Boulevard, in the Limited Industrial Zoning District, as provided in this Decision and subject to the following Findings of Fact and Conditions.

FINDINGS OF FACT

1. The Applicant, Lourival Masonry Co., LLC, is a Massachusetts limited liability company with an address of 24 Hager Street, Marlborough, MA 01752.
2. The Applicant is the prospective owner of the property located at 685 Farm Road, Unit 18, Marlborough, Massachusetts, also known as 37 Airport Boulevard, being shown as a portion of Parcel 52 on Assessors Map 73 (the “Site”).
3. In accordance with Article V, Section 650-17 and Section 650-18(A)(48), of the Zoning Ordinance of the City of Marlborough (the “Zoning Ordinance”), the Applicant proposes a contractor’s yard at the Site (the “Use”). As shown on the Plans referenced in paragraph 5 below, the Use consists of a building, accessory parking, outdoor storage areas, and landscaped areas.
4. The Applicant, by and through its counsel, filed with City Clerk of the City of Marlborough an Application for a Special Permit (“Application”) for the Use.
5. In connection with the Application, the Applicant submitted a certified list of abutters, filing fees, a site plan entitled “Proposed Site Plan of Use Area #18 Airport Boulevard” by Connorstone Engineering, with the last revision date of August 10, 2021, a landscaping plan

entitled "Proposed Landscape Plan of Use Area #18 Airport Boulevard" by Connorstone Engineering, with the last revision date of July 13, 2021, and a site plan for the overall Airport Industrial Park entitled "Proposed Site Plan for Driveway, Drainage & Landscaping of 677-681 Farm Road" approved by the Site Plan Committee on October 24, 2019 (collectively the "Plans") attached hereto as "Attachment A."

6. The Application was certified as complete by the Building Commissioner of the City of Marlborough, acting on behalf of the City Planner for the City of Marlborough, in accordance with the Rules and Regulations promulgated by the City Council for the issuance of a Special Permit.

7. The Site is located in the Limited Industrial Zoning District.

8. The Site has an area of 30,000 square feet +/- as shown on the Plans.

9. Pursuant to the Rules and Regulations of the City Council for the City of Marlborough and applicable statutes of the Commonwealth of Massachusetts, the City Council established a date for a public hearing on the Application and the City Clerk for the City of Marlborough caused notice of the same to be advertised and determined that notice of the same was provided to abutters entitled thereto in accordance with applicable regulations and law.

10. The Marlborough City Council, pursuant to Massachusetts General Laws Chapter 40A, opened a public hearing on the Application on Monday, July 19, 2021. The public hearing was held at the Marlborough City Hall, 140 Main Street. The hearing was closed on July 19, 2021.

11. The Applicant, through its representatives, presented testimony at the public hearing detailing the Use, describing its impact upon municipal services, the neighborhood, and traffic.

12. At the public hearing, two members of the public spoke in favor of the Use and no members of the public spoke in opposition to the Use.

**BASED ON THE ABOVE, THE CITY COUNCIL MAKES THE FOLLOWING
FINDINGS AND TAKES THE FOLLOWING ACTIONS**

A. The Applicant has complied with all Rules and Regulations promulgated by the Marlborough City Council as they pertain to special permit applications.

B. The City Council finds that the proposed Use of the Site is an appropriate use and in harmony with the general purpose and intent of the Zoning Ordinance of the City of Marlborough when subject to the appropriate terms and conditions as provided herein. The City Council makes these findings subject to the completion and adherence by the Applicant, its successors and/or assigns to the conditions more fully set forth herein.

C. The City Council, pursuant to its authority under Massachusetts General Laws Chapter 40A and the Zoning Ordinance of the City of Marlborough hereby GRANTS the Applicant a Special Permit for a contractor's yard at 685 Farm Road, Unit 18, also known as 37 Airport Boulevard, as shown on the Plans filed, SUBJECT TO THE FOLLOWING CONDITIONS, which conditions shall be binding on the Applicant, its successors and/or assigns:

1. Construction in Accordance with Applicable Laws. Construction of all structures on the Site is to be in accordance with all applicable Building Codes and Zoning Regulations in effect in the City of Marlborough and the Commonwealth of Massachusetts, and shall be built according to the Plans as may be amended during Site Plan Review.

2. Site Plan Review. The issuance of the Special Permit is further subject to detailed Site Plan Review by the Site Plan Review Committee, in accordance with the City of Marlborough Site Plan Review Ordinance prior to the issuance of the building permit. Any additional changes, alterations, modifications or amendments, as required during the process of Site Plan Review, shall be further conditions attached to the building permit, and no occupancy permit shall be issued until the Applicant has complied with all conditions. Subsequent Site Plan Review shall be consistent with the conditions of this Special Permit and the Plans submitted, reviewed and approved by the City Council as the Special Permit Granting Authority.

3. Modification of Plans. Notwithstanding conditions #1 and #2 above, the City Council or the Site Plan Review Committee may approve engineering changes to the Plans, so long as said changes do not change the Use as approved herein, or materially increase the impervious area of the Use, reduce the green area, alter traffic flow, or increase the size of the building, all as shown on the Plans.

4. Incorporation of Submissions. All plans, photo renderings, site evaluations, briefs and other documentation provided by the Applicant as part of the Application, and as amended or revised during the application/hearing process before the City Council and/or the City Council's Urban Affairs Committee, are herein incorporated into and become a part of this Special Permit and become conditions and requirements of the same, unless otherwise altered by the City Council.

5. Storm Water and Erosion Control Management. The Applicant, its successors and/or assigns, shall ensure that its site superintendent during construction of the project is competent in stormwater and erosion control management. This individual(s)' credentials shall be acceptable to the Engineering Division of the City's Department of Public Works and the City's Conservation Commission. This individual(s) shall be responsible for checking the Site before, during, and after storm events including weekends and evenings when storms are predicted. This individual(s) shall ensure that no untreated stormwater leaves the Site consistent with the State's and the City's stormwater regulations. This individual(s) shall ensure compliance with the approved sequence of construction plan and the approved erosion control plan. The Applicant, its successors and/or assigns, shall grant this individual(s) complete authority of the Site as it relates to stormwater and erosion controls.

6. Fencing. In accordance with Section 650-18(A)(48) of the Zoning Ordinance, the Applicant shall install solid fencing to screen areas of the Site used for the storage of vehicles, equipment, and materials from the street and adjacent properties, and shall maintain the fencing in good repair. The fencing shall comply with the requirements of all applicable City Ordinances.

7. Outdoor Storage Areas. In accordance with Section 650-18(A)(48) of the Zoning Ordinance, the outdoor storage of vehicles, equipment, and materials shall be located on impervious and otherwise dust-free surfaces. Materials shall be stored with sufficient protections to avoid damage to landscaped areas and to avoid interference with the proper functioning of stormwater infrastructure. Lawn areas shall be separated from adjacent parking/storage areas with curbing.

8. Indoor Storage Areas. Building areas used to store vehicles, equipment, and materials indoors shall be equipped with floor drainage systems designed to prevent fuel, oil, and other hazardous materials from entering the stormwater or sewer systems, approved through the Site Plan Review process.

9. Vehicle Repairs and Maintenance. The Site may not be used for major repairs of vehicles and equipment, but minor maintenance of vehicles and equipment which are exclusively operated as part of the Use may be performed indoors only, subject to Condition 10.

10. Noise and Air Quality. The Applicant, its successors and/or assigns, shall comply with the City's Noise Ordinance and shall comply with all state and federal requirements governing air quality and emissions.

11. Lighting. Exterior lighting at the Site shall be downward facing and shielded to minimize impacts on neighboring properties, with a lighting plan for the Site to be reviewed and further conditioned during the Site Plan Review process. Exterior lighting at the Site shall be shut off outside of operating hours, except for lighting necessary for security and emergency access.

12. Compliance with Applicable Laws. The Applicant, its successors and/or assigns agrees to comply with all municipal, state, and federal rules, regulations, and ordinances as they may apply to the construction, maintenance, and operation of the Use.

13. Recording of Decision. In accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 11, the Applicant, its successors and/or assigns, at its expense shall record this Special Permit in the Middlesex South Registry of Deeds after the City Clerk has certified that the twenty-day period for appealing this Special Permit has elapsed with no appeal having been filed, and before the Applicant has applied to the Building Commissioner for a building permit. Upon recording, the Applicant shall forthwith provide a copy of the recorded Special Permit to the City Council's office, the Building Department, and the City Solicitor's office.

Yea: ___ - Nay: ___ -Absent - ___

Yea: _____, _____, _____, _____, _____, _____, _____, _____,

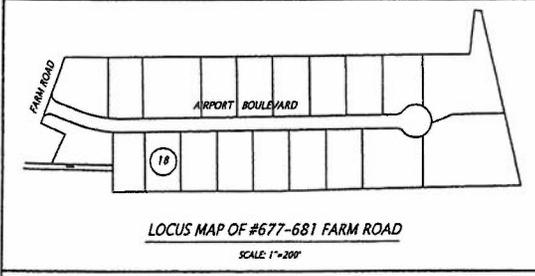
Nay: _____, _____,

Absent: _____, _____,

Signed by City Council President
Michael H. Ossing

ADOPTED
In City Council
Order No. 21-1008346

Attachment A



GENERAL NOTES:

- EXISTING BOUNDARY LINES AND TOPOGRAPHY IS BASED UPON PLANS PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 1-3-2018. PLANS AND CAD FILE PROVIDED BY OWNER. ELEVATIONS AND BASED UPON HIGH TIDE DATUM.
- THE PARCEL IS SHOWN ON ACCESSORS MAP 73, PARCELS 52 AND MAP 81, PARCELS 14415.
- EXISTING UTILITY LINES SHOWN ON THE DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THE OWNER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTHS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE OWNER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT THE SAFE, 1-800-344-7313 (72 HOURS BEFORE WORK) AND TOWN OF FLY FOR UTILITY LOCATIONS PRIOR TO CONSTRUCTION. TEST PITS SHALL BE UTILIZED FOR UTILITY CONNECTIONS.

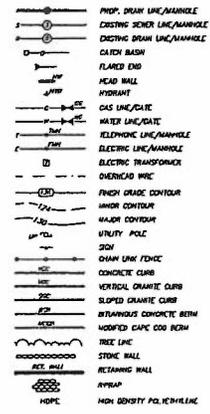
CONSTRUCTION NOTES:

- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- WHERE AN EXISTING UTILITY IS FOUND TO INTERFERE WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE RECORDED BY THE CONTRACTOR. THE INFORMATION FURNISHED TO THE ENGINEER FOR REVISION OF THE PLAN.
- ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS, OF THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT ROAD CONSTRUCTION STANDARDS AND THE ASH STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES. MODIFICATIONS ARE WELCOME.
- THE WATER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE TOWN OF MARLBOROUGH OFF-ROAD DRAINAGE RULES AND REGULATIONS. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS (TO BE OBTAINED BY THE CONTRACTOR) WITH REQUIRED INSPECTIONS. SHALL LOCATION AND SIZE OF WATER SERVICES, FIRE DEPARTMENT SPRINKLER CONNECTIONS, AND SPRINKLER CONTROL ROOMS SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- THE SEWER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE TOWN OF MARLBOROUGH OFF-ROAD DRAINAGE RULES AND REGULATIONS. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS (TO BE OBTAINED BY THE CONTRACTOR) WITH REQUIRED INSPECTIONS. SHOWN AT THE PROPOSED BUILDING SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP ACCURATE AS-BUILT MEASUREMENTS / RECORDS OF ALL UNDERGROUND OR CONCEALED WORK.
- THE LAYOUT AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CABLE UTILITY CONNECTIONS AND SERVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND MATERIALS NECESSARY TO OBTAIN THE SITES OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL DISCREPANCIES SHALL CONFORM TO CURRENT TOWN STANDARDS.
- A STREET CLOSING PERMIT SHALL BE OBTAINED FROM THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK BY THE PUBLIC. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE AGENCY'S UTILITY REQUIREMENTS.
- UTILITY CONSTRUCTION IN CITY WAYS REQUIRES BARRICADE WITH CONTROLLED DENSITY FILL.
- ALL CONSTRUCTION MATERIALS, STOCKPILES, STAMPS, ETC. ON SITE SHALL BE STORED IN A MANNER TO THE SATISFACTION OF THE CITY ENGINEER OR HIS AGENT.
- ALL SIGNS AND PAYMENT BARRIERS SHALL CONFORM TO THE "MANUAL OF DRAPING TRAFFIC SERVICES" (MUTSD) AND THE OFFICE OF TRAFFIC OPERATIONS, TECHN. MONITOR ADMINISTRATION, LLC, DEPARTMENT OF TRANSPORTATION.
- ALL RAMP, CURB CUTS, SIDEWALKS, AND ACCESSIBLE SPACES SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (2010 ADA 1-172).
- JOINTS BETWEEN PROPOSED BITUMINOUS CONCRETE PAVEMENT AND EXISTING PAVEMENT TO REMAIN SHALL BE SEAMED AND SEALED WITH HOT FUSED RUBBERIZED ASPHALT SEALER.

COORDINATION WITH PLANS BY OTHERS:

- SEE SEPARATE PLANS PREPARED BY OTHERS FOR LANDSCAPING AND SIGNS.
- COORDINATE PROPOSED UTILITY LOCATIONS, SEE CLIPPING, AND MATERIALS WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- ANY CONFLICT BETWEEN THESE PLANS AND PLANS BY OTHERS SHALL BE REPORTED TO THE ENGINEER AND OWNER IMMEDIATELY.

SYMBOLS & ABBREVIATIONS LEGEND



PARKING TABULATION:

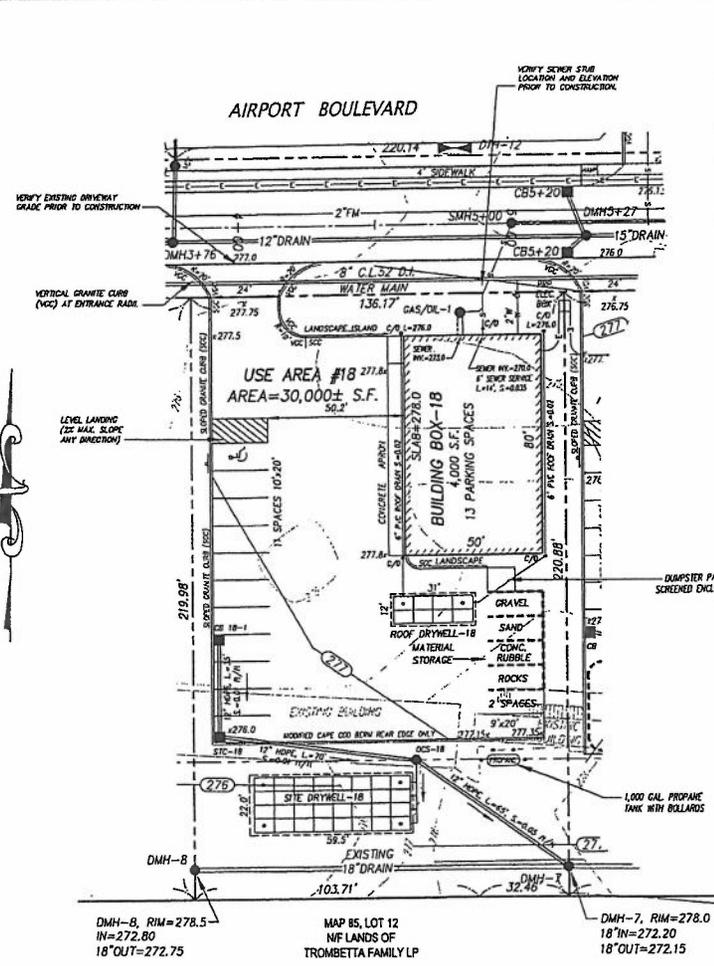
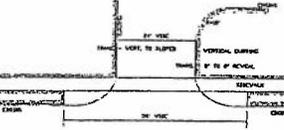
REQUIRED PARKING 3 SPACES/1000 S.F.
4,000/1000 x 3 = 12 SPACES REQUIRED
PROPOSED PARKING PROVIDED = 13 SPACES

DRAINAGE TABULATION:

REQUIRED PARKING 3 SPACES/1000 S.F.
PROPOSED PARKING PROVIDED = 13 SPACES

ZONING: LIMITED INDUSTRIAL "L1"

LOT REQUIREMENTS REQUIRED	
AREA	2 Acres
FRONTAGE	300 FEET
FRONT YARD	50 FEET
SIDE YARD	50 FEET
REAR YARD	50 FEET
BUILDING HEIGHT	W/IN R-150' OF RESIDENTIAL ZONE 30' W/IN 151'-250' OF RESIDENTIAL ZONE 30" W/IN 251'-400' OF RESIDENTIAL ZONE 40" W/IN 401'-500' OF RESIDENTIAL ZONE 50'



DRAINAGE TABULATION

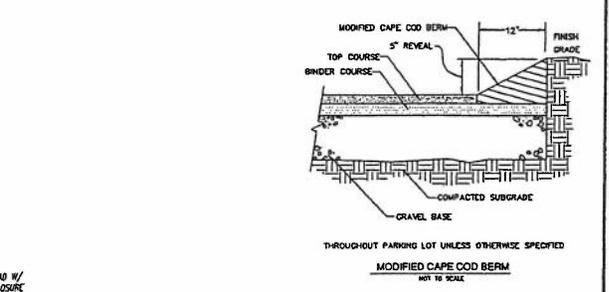
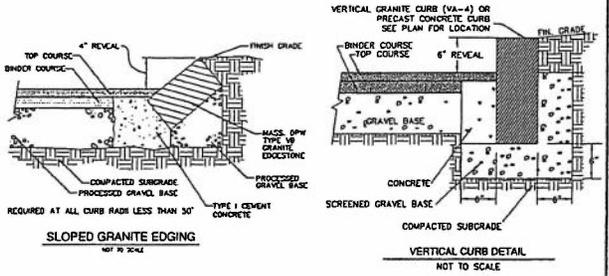
NO.	DESCRIPTION	AREA (S.F.)	PERCENTAGE	PEAK DISCHARGE (MGD)
CS-18-1	12" OUT=272.15	12	0.04%	0.0001
ST-18	12" IN=272.0	12	0.04%	0.0001
CS-18-2	12" OUT=272.75	12	0.04%	0.0001
ST-18	12" IN=272.0	12	0.04%	0.0001
CS-18-3	12" OUT=272.15	12	0.04%	0.0001
ST-18	12" IN=272.0	12	0.04%	0.0001

SEWER TABULATION

NO.	DESCRIPTION	LENGTH (FEET)	DIAMETER (IN)	PERCENTAGE
CS/DL-1	18" IN=272.0	18	18"	0.05%
CS/DL-1	18" IN=272.0	18	18"	0.05%
CS/DL-1	18" IN=272.0	18	18"	0.05%
CS/DL-1	18" IN=272.0	18	18"	0.05%

LOT COVERAGE TABULATION

NO.	DESCRIPTION	AREA (S.F.)	PERCENTAGE
CS/DL-1	18" IN=272.0	18	0.05%
CS/DL-1	18" IN=272.0	18	0.05%
CS/DL-1	18" IN=272.0	18	0.05%
CS/DL-1	18" IN=272.0	18	0.05%

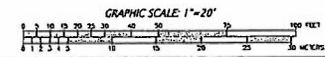


NO.	DESCRIPTION	AREA (S.F.)	PERCENTAGE
DRN-12	12" IN=272.0	12	0.04%
DRN-12	12" IN=272.0	12	0.04%
DRN-12	12" IN=272.0	12	0.04%
DRN-12	12" IN=272.0	12	0.04%



APPROVED
SITE PLAN REVIEW COMMITTEE

DATE: _____



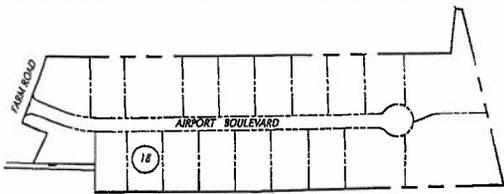
PREPARED FOR:
CAPITAL GROUP PROPERTIES
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

OWNER:
MARLBOROUGH INDUSTRIAL, LLC
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

CONORSTONE
ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-3242

PROPOSED SITE PLAN
OF
USE AREA #18
AIRPORT BOULEVARD
IN
MARLBOROUGH, MA

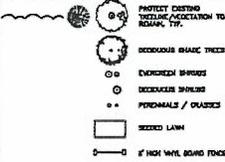
DATE	DESCRIPTION
8/19/2021	ADD MATERIAL STORAGE
7/13/2021	REMOVE GRASS PAVE
4/9/2021	ADD PROPOSED TANK
REVISED	DESCRIPTION
DRAWN BY: REM	CHECK BY: VC
DATE: APRIL 7, 2021	



LOCUS MAP OF #577-681 FARM ROAD

SCALE: 1"=200'

GRAPHIC LEGEND



LOT 18 PLANT MATERIAL LIST -- 677-681 FARM ROAD, MARLBOROUGH, MA.

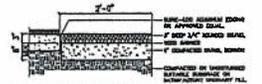
QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	REMARKS
12	1	DECIDUOUS TREES	DECIDUOUS TREE	18" DIA	12" HIGH BRANDED	
12	2	SHRUBS	SHRUB	3" DIA	3" DIA	
12	3	PERENNIALS	PERENNIAL	3" DIA	3" DIA	
12	4	SEEDED LAWN	SEEDED LAWN			

GENERAL NOTES:

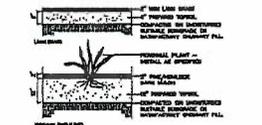
- CONTRACTOR SHALL HAVE A SITE VISIT PRIOR TO BEGINNING TO OBTAIN COSTING ESTIMATES FOR PROPOSED CONSTRUCTION TO FURNISH INDICATIVE BY DESIGN DOCUMENTS AND DETAILS AND THE ARCHITECTURE CONSULTANT OF PUBLIC WORKS DEPARTMENT FOR APPROVAL AND INSURE, CONFORM TO CITY ORDINANCES.
- CONTRACTOR SHALL NOTIFY / COORDINATE WITH THE CITY OF MARLBOROUGH PRIOR TO PLANT MATERIAL DELIVERY.
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF MARLBOROUGH.
- FROM THE PRE-CONSTRUCTION MEETING THE CONTRACTOR SHALL OBTAIN THE DATE OF THE PRE-CONSTRUCTION MEETING TO HAVE THE COSTING UTILITY MARKS.
- ALL CONTRACTORS SHALL INSPECT SITE PRIOR TO BEGINNING TO VERIFY COSTING CONDITIONS FOR INTERFERENCES.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANNING DESIGN OF THE PROJECTS, SEE SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE QUALITIES ESTABLISHED BY THE AMERICAN STANDARDS FOR PLANT STOCK, PUBLISHED BY AMERICAN SOCIETY 2014, AND AS AMENDED.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINER ORIGINAL, NO PLANTS IN BURLAP.
- ALL PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- STATE LOCATION OF ALL PROPOSED PLANT MATERIAL FOR APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF PLANTING.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- FIELD ALL CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- "TINY ROOTS" SHALL BE ADDED TO ALL NEW TREE PLANTING PITS. ALL NEW LAWN SHALL BE TESTED AND AMENDED AS STATED IN THE LAWN REPORT, PROVIDED BY LAWN SURVEYOR.
- LANDSCAPE CONTRACTOR SHALL SUBMIT A WATERING SCHEDULE PROGRAM FOR THE 90 DAY MAINTENANCE PERIOD FOR REVIEW BY THE LANDSCAPE ARCHITECT & THE OWNER FOR ALL PROPOSED PLANT MATERIAL.
- PROTECT EXISTING PLANT MATERIAL WITHIN CONSTRUCTION LIMITS, PROVIDE WATERING PROGRAM FOR ALL PROPOSED / EXISTING PLANT MATERIAL DURING CONSTRUCTION.
- ALL TRANSPORTED PLANT MATERIAL BY OWNER BY THE CONTRACTOR AND SHALL BE PREPARED FOR TRANSPORTING FOR EACH SPECIES AT THE APPROPRIATE SIZES. THE CONTRACTOR SHALL REPLACE ANY TRANSPORTED PLANT MATERIAL THAT DIES WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL. THE NEW PLANT MATERIAL SHALL BE MAINTAINED & GUARANTEED AS NEW PLANT MATERIAL.

LANDSCAPE NOTES:

- LAWN DEPTH SHALL BE AS FOLLOWS:
- LAWN DEPTH - 4" MINIMUM THICKNESS
 - LAWN GRASS (WHEAT GRASS SEED, LTD. MARLBOROUGH, MA)
 - LANDSCAPEABILITY MATERIAL FOR BURN-BRANDS (DRYWEAT PERENNIAL, HYDRANGEA, CREEPING RED PERSICARIA, COLONYBERRY BURNBRANDS)
 - PLANT SIZE - 1.5" MIN. LAWN DEPTH IN THE PLANTED AREA WITH 2" MIN.
 - DELIVER PLANTS TO SITE - 1" - 4" LAWN DEPTH
 - NEW DRAINAGE NETWORK (W/ 4" MIN. DEPTH)
 - 4" MIN. THICKNESS MIN.



1 ALUMINUM EDGE W/ GRAVEL CHIP RETEN. SCALE: 4:1



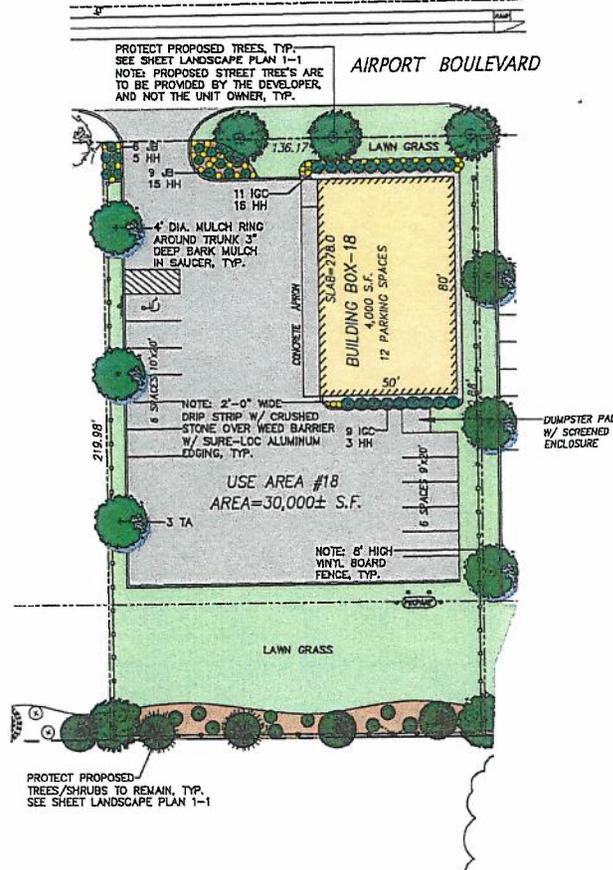
2 PERENNIAL & LAWN GRASS SCALE: 4:1



3 TYPICAL EVER PLANTING SCALE: 4:1



4 DECIDUOUS TREE PLANTING AND STAKING SCALE: 4:1



APPROVED
SITE PLAN REVIEW COMMITTEE

DATE: _____



PREPARED FOR:
CAPITAL GROUP PROPERTIES
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

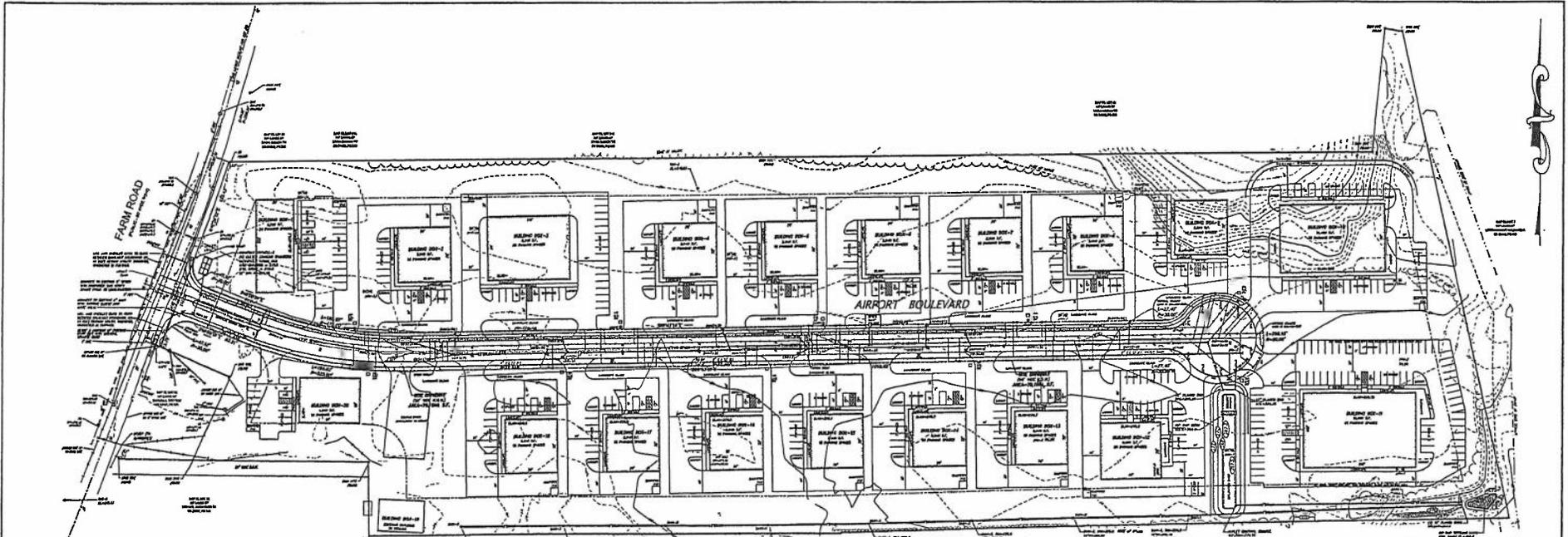
OWNER:
MARLBOROUGH INDUSTRIAL, LLC
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

MAP 75, PARCEL 20 & MAP 100, PARCELS 18&19
CONNORSTONE
ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-293-9777 FAX: 508-393-5242

WILLIAM FLEMING ASSOCIATES
Landscape Architecture
1000 Main Street
Marlborough, MA 01501
Phone: 508-293-9777
www.williamfleming.com

PROPOSED LANDSCAPE PLAN
OF
USE AREA #18
AIRPORT BOULEVARD
IN
MARLBOROUGH, MA

DATE	DESCRIPTION
07/13/21	BASE PLAN REVISIONS
08/20/21	BASE PLAN REVISIONS
DESIGNED BY:	DESCRIPTION:
DRAWN BY: HFF	CHECK BY: JT
DATE: MAY 25, 2021	
SCALE: 1"=20'	SHEET 1 OF 1



DEVELOPMENT NOTES:

1. ALL BUILDINGS AND PARKING SHOWN ON INDIVIDUAL SITES IS CONCEPTUAL ONLY AND NOT APPROVED AS SHOWN.
2. SITE OVERLAY AND ALL UTILITIES THEREIN INCLUDING THE SENIOR PUMP STATION, SHALL REMAIN PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION.
3. PRIOR TO ANY CONSTRUCTION OR ASSUANCE OF A BUILDING PERMIT ASSOCIATED WITH INDUSTRIAL USE AREAS, THE APPLICANT SHALL APPLY FOR A MAJOR SITE PLAN MODIFICATION AS IT RELATES TO LANDSCAPING, LIGHTING, INFRASTRUCTURE, BUILDING ARCHITECTURE, PARKING, ETC.

CONSTRUCTION NOTES:

1. ANY MAJOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MAJOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
2. ANY WORK AND MATERIAL WHICH THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
3. ALL HANDICAP PARKING, RAMP, AND ACCESS SHALL CONFORM TO AAS REQUIREMENTS.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION, EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS.
5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO "MUTCD" REQUIREMENTS.
6. A STREET OPENING PERMIT SHALL BE OBTAINED FROM THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK BY THE PUBLIC USE.
7. ALL CONSTRUCTION MATERIALS, STOOPS, STRAPS, ETC. ON SITE SHALL BE STORED IN A MANNER TO THE SATISFACTION OF THE CITY ENGINEER OR HIS DESIGNEE.
8. UTILITY CONSTRUCTION IN CITY WAYS REQUIRES BAGFILL WITH CONTROLLED DENSITY FILL.

PREPARED FOR:
CAPITAL GROUP PROPERTIES
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MA

OWNER:
MARLBOROUGH INDUSTRIAL, LLC
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MA

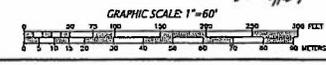
MAP 78, PARCEL 57 & MAP 95, PARCELS 11&15

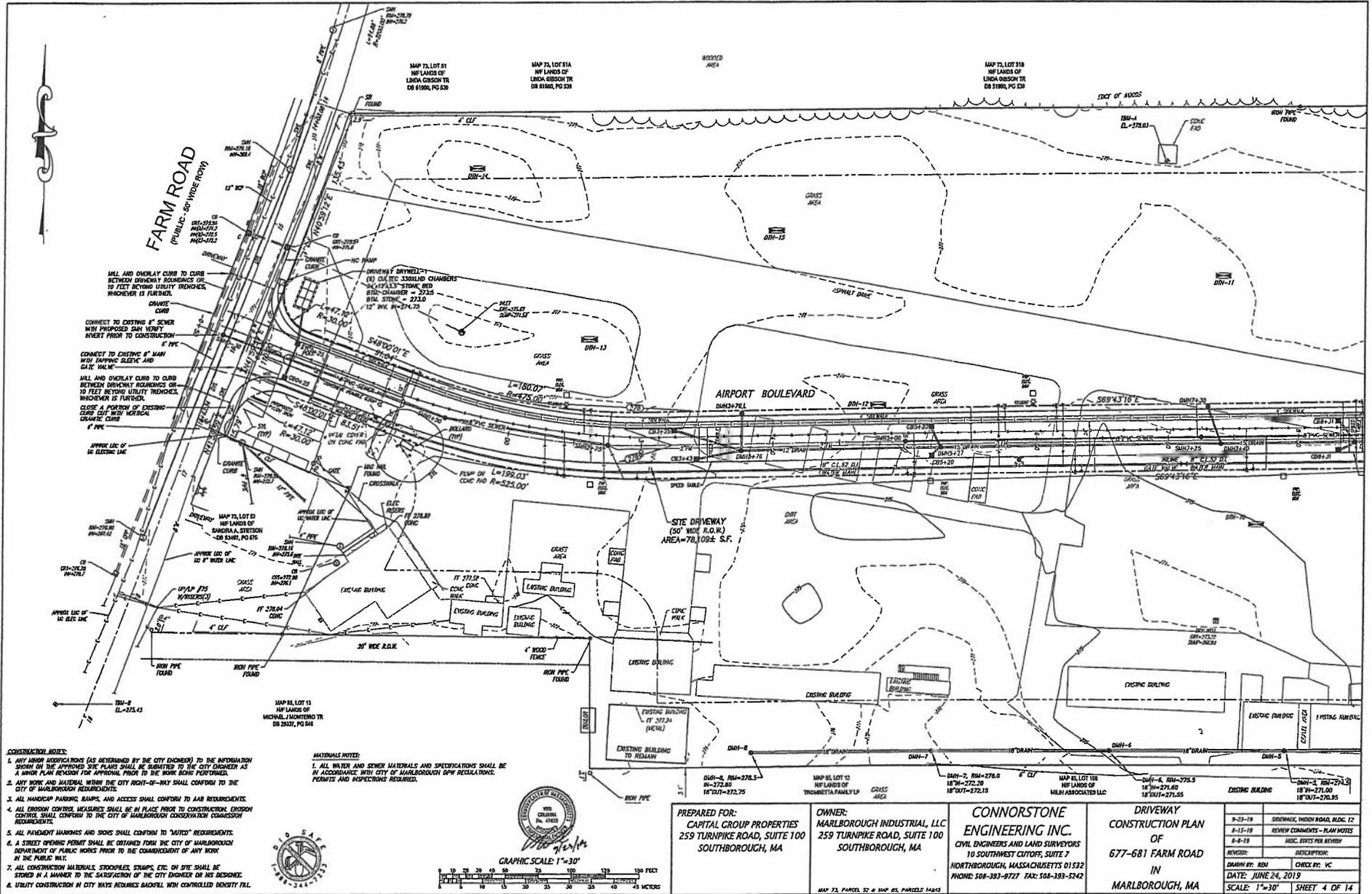
CONNORSTONE
ENGINEERING INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 10 SOUTHWEST CUTOFF, SUITE 7
 NORTHBOROUGH, MASSACHUSETTS 01532
 PHONE: 508-393-8227 FAX: 508-393-8242

CONCEPTUAL
 OVERALL SITE PLAN
 OF
 677-681 FARM ROAD
 IN
 MARLBOROUGH, MA



9-23-19	SIDEWALK, MOON ROAD, BLDG. 12
3-15-19	REVIEW COMMENTS - PLAN NOTES
3-8-19	MISC. EXITS PER REVIEW
REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: JUNE 24, 2019	
SCALE: 1"=60'	SHEET 3 OF 14

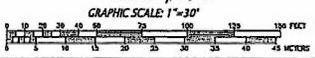




- CONSTRUCTION NOTES:**
1. ANY MAJOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MAJOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REGULATIONS.
 3. ALL HANDICAP PARKING, RAMP, AND ACCESS SHALL CONFORM TO AAS REQUIREMENTS.
 4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSTRUCTION COMMISSION REQUIREMENTS.
 5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO "MUTCD" REQUIREMENTS.
 6. A STREET OPENING PERMIT SHALL BE OBTAINED FROM THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK IN THE PUBLIC WAY.
 7. ALL CONSTRUCTION MATERIALS, STOCKPILES, SWAPS, ETC. ON SITE SHALL BE STORED IN A MANNER TO THE SATISFACTION OF THE CITY ENGINEER OR HIS DESIGNEE.
 8. UTILITY CONSTRUCTION AT CITY WAYS REQUIRES BACKFILL WITH CONTROLLED DENSITY FILL.

MATERIALS NOTES:

1. ALL WATER AND SEWER MATERIALS AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH CITY OF MARLBOROUGH DPW REGULATIONS, PERMITS AND INSPECTIONS REQUIRED.



PREPARED FOR:
CAPITAL GROUP PROPERTIES
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

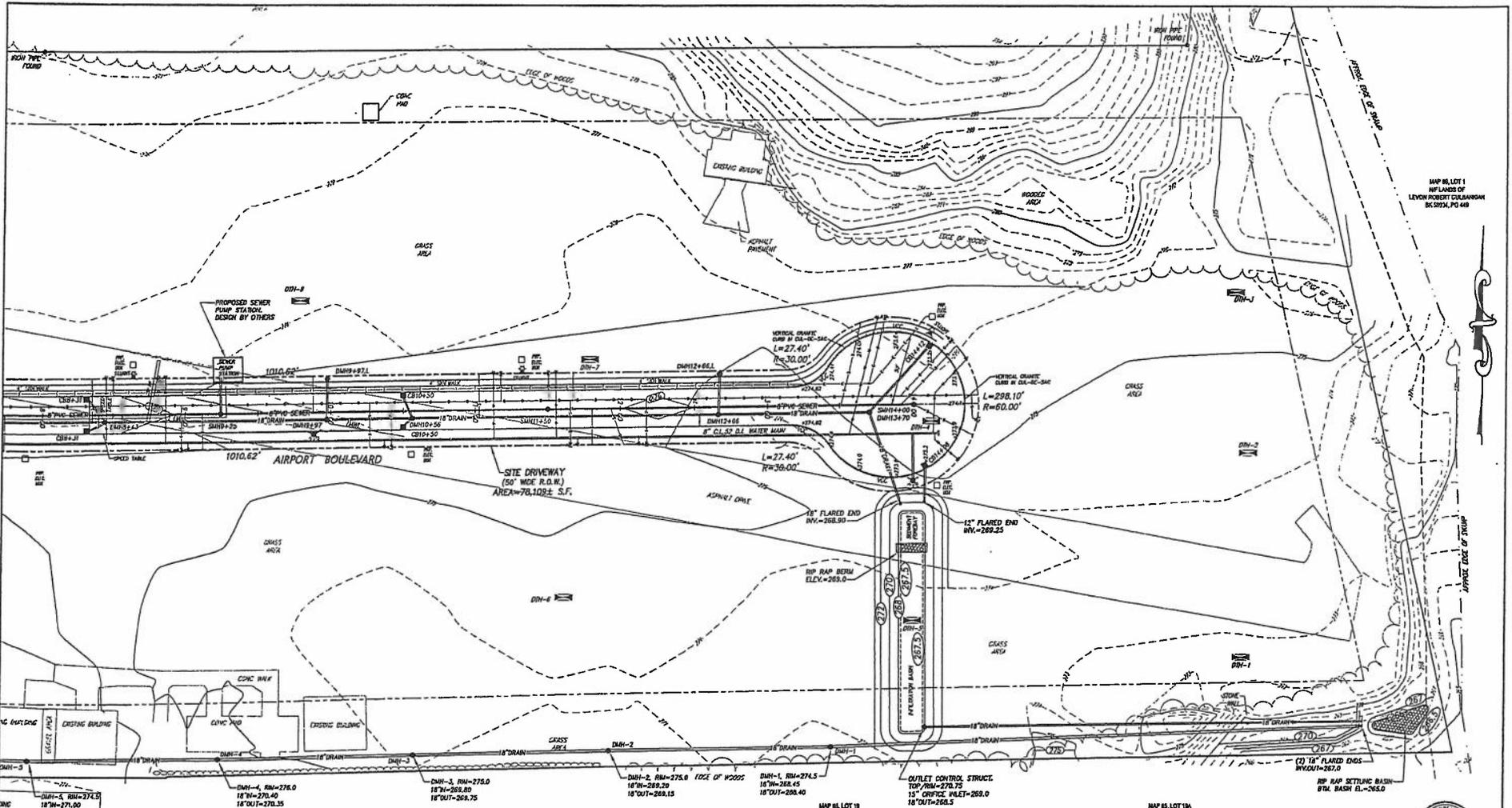
OWNER:
MARLBOROUGH INDUSTRIAL, LLC
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

CONNORSTONE
ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE 508-393-9727 FAX: 508-393-5242

DRIVEWAY
CONSTRUCTION PLAN
OF
677-681 FARM ROAD
IN
MARLBOROUGH, MA

9-23-19	SIDEMARK, THORNDYKE ROAD, 12'
8-11-19	REVIEW COMMENTS - PLAN NOTES
8-4-19	CONC. EDITS PER REVIEW
REVISION:	DISCUSSION:
DRAWN BY: RDN	CHECK BY: VC
DATE: JUNE 24, 2019	
SCALE: 1"=30'	SHEET 4 OF 14

MAP 23, PARCEL 52 & MAP 85, PARCELS 14&15



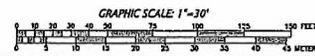
MAP 85, LOT 1
NE LANDS OF
LEVIN ROBERT COLBARIAN
85 0824, PG 48

- CONSTRUCTION NOTES:**
1. ANY AND ALL MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MAJOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
 3. ALL HANDICAP PARKING, RAMP, AND ACCESS SHALL CONFORM TO ADA REQUIREMENTS.
 4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS.
 5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO "MUTCD" REQUIREMENTS.
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MATERIALS NOTES:

1. ALL WATER AND SEWER MATERIALS AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH CITY OF MARLBOROUGH DPW REGULATIONS, PERMITS AND INSPECTIONS REQUIRED.



MAP 85, LOT 18
NE LANDS OF
WELCH AS MARLBOROUGH CONDOMINIUM
08 1700, PG 01

MAP 85, LOT 19
NE LANDS OF
SOMER COLBARIAN
08 8800, PG 17

MAP 85, LOT 18A
NE LANDS OF
LEVIN ROBERT COLBARIAN
08 3853, PG 46



PREPARED FOR:
CAPITAL GROUP PROPERTIES
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

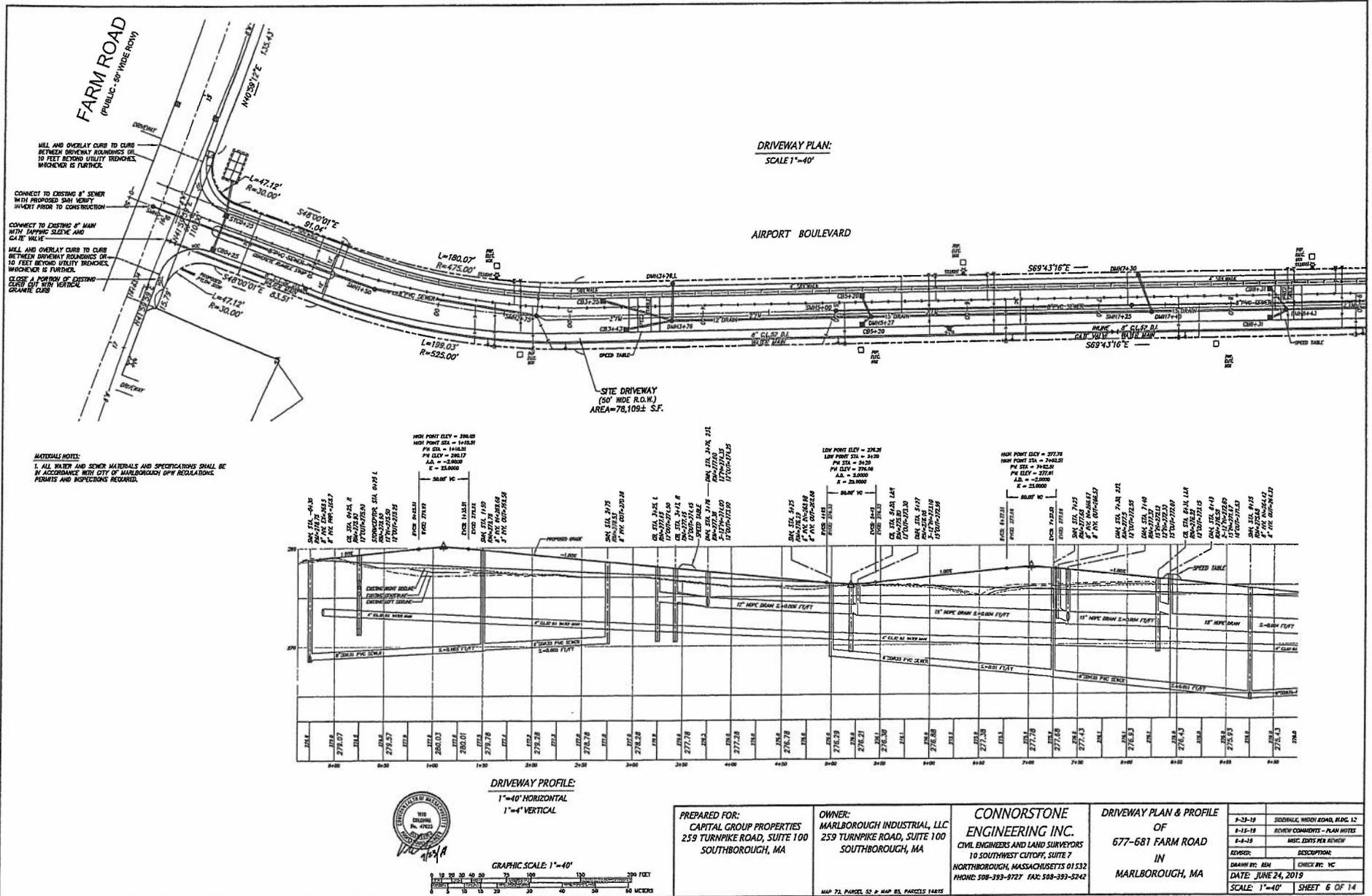
OWNER:
MARLBOROUGH INDUSTRIAL, LLC
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

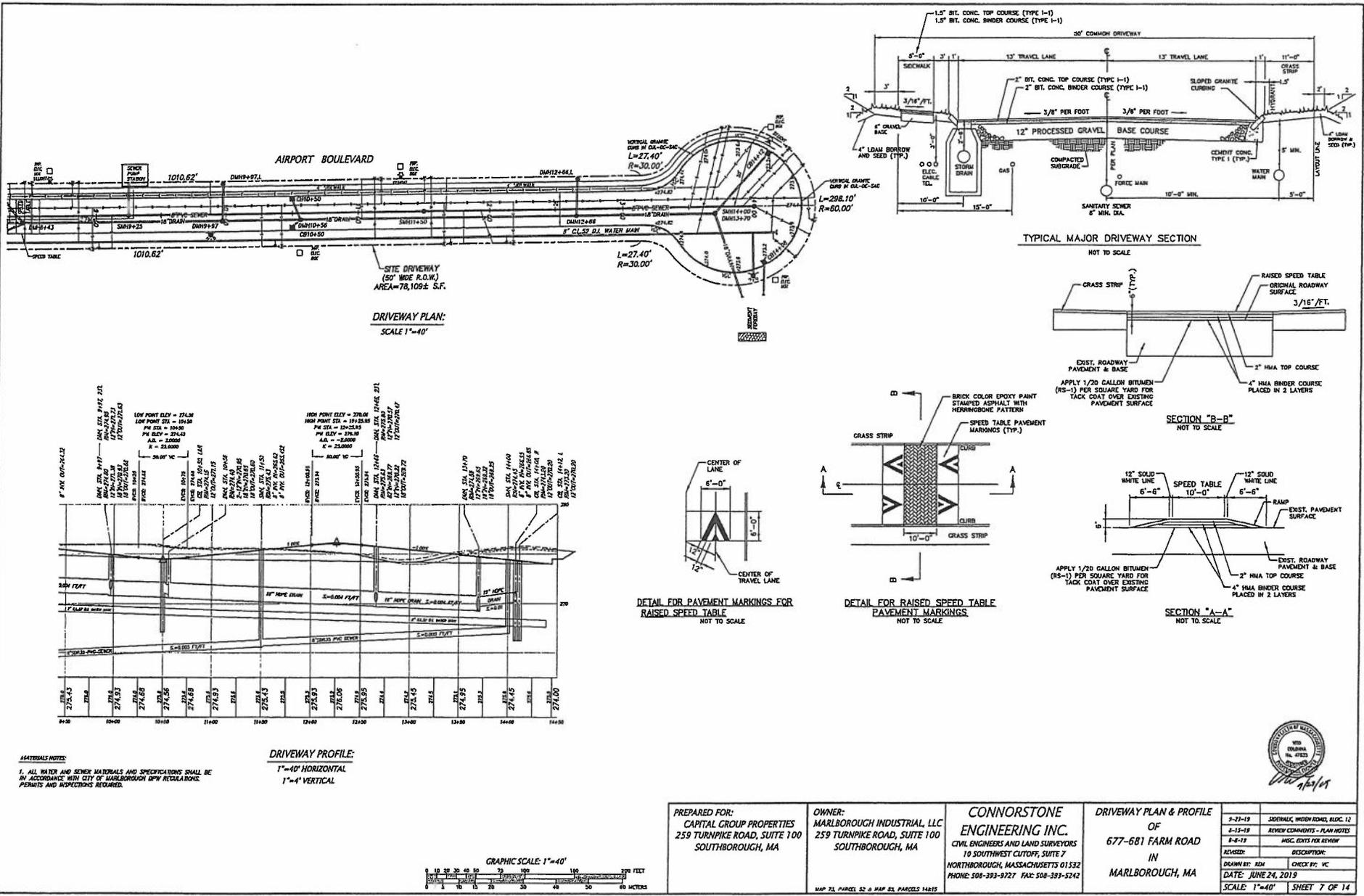
CONNORSTONE
ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

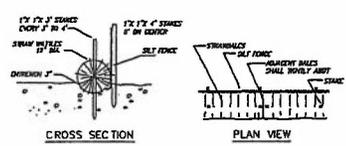
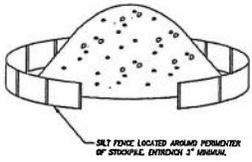
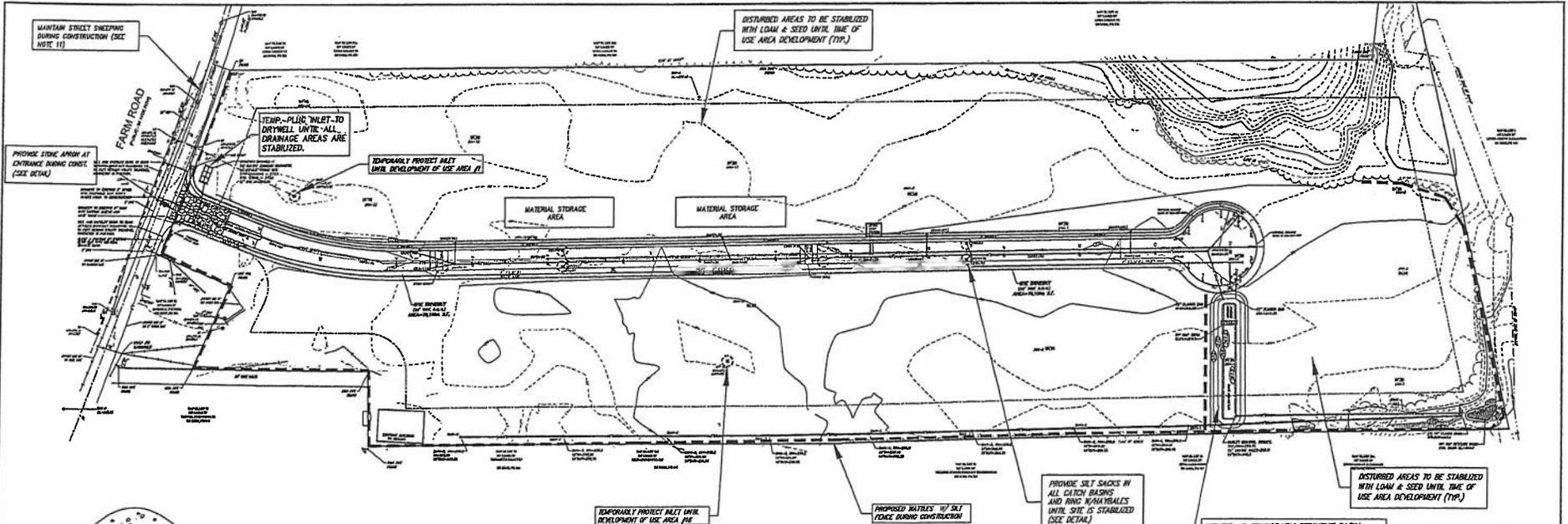
DRIVEWAY
CONSTRUCTION PLAN
OF
677-681 FARM ROAD
IN
MARLBOROUGH, MA

3-23-19	DOEKHALK, WIDEN ROAD, BLDG. 12
6-13-19	REVIEW COMMENTS - PLAN NOTES
6-4-19	MISC. COMMENTS PER REVISION
REVISED:	DESCRIPTION:
DRAWN BY: BDM	CHECKED BY: VC
DATE: JUNE 24, 2019	
SCALE: 1"=30'	SHEET 5 OF 14

MAP 73, PARCEL 32 & MAP 85, PARCELS 16&15







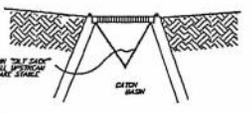
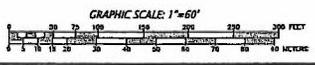
1. SILT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

EROSION BARRIER
NOT TO SCALE

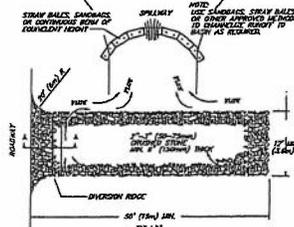
SOIL STOCKPILE DETAIL
NOT TO SCALE

CONSTRUCTION NOTES:

1. ANY MAJOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MAJOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
3. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO A&D REQUIREMENTS.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS.
5. ALL PAVERS, HANDICAPS AND SIGNS SHALL CONFORM TO "ADITS" REQUIREMENTS.
6. A STREET OPENING PERMIT SHALL BE OBTAINED FROM THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK IN THE PUBLIC WAY.
7. ALL CONSTRUCTION MATERIALS, STOCKPILES, STAMPS, ETC. ON SITE SHALL BE STORED IN A MANNER TO THE SATISFACTION OF THE CITY ENGINEER OR HIS DESKTOP.
8. UTILITY CONSTRUCTION IN CITY WAYS REQUIRES BACKFILL WITH CONTROLLED DENSITY FILL.



1. SILT SACKS ARE TO BE EMPLOYED DURING CONSTRUCTION AND REMOVED UPON STORM EVENTS.
2. IF SILT SACKS ARE FOUND TO LEAK, THEY SHALL BE CHANGED IMMEDIATELY. DAMAGED SILT SACKS SHALL BE RECYCLED ON SITE AND REUSED.
3. SILT SACKS SHALL REMAIN IN PLACE UNTIL ALL NEARBY WORK IS COMPLETE AND ALL NEARBY DISTURBED AREAS ARE FULLY RESTORED.



1. THE DIVERSION SHALL BE MAINTAINED AT A GRADE WHICH WILL PREVENT FLOODING OR FLOODING OF EXISTING PUBLIC HIGHWAYS OR WAYS.
2. HIGH NECESSARY AREAS SHALL BE CLEARED PRIOR TO DIVERSION.
3. DIVERSION SHALL REMAIN IN PLACE UNTIL ALL NEARBY WORK IS COMPLETE AND ALL NEARBY DISTURBED AREAS ARE FULLY RESTORED.
4. DIVERSION SHALL BE REPLACED AS REQUIRED TOOLS ROAD UP.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
2. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS AS CONTAINED IN THE SITE PLAN APPROVAL DOCUMENTS.
3. PRIOR TO INITIATING CONSTRUCTION, ALL EXISTING EROSION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLAN AND DETAIL DRAWINGS.
4. THIS PLAN PROVIDES THE MINIMUM REQUIRED EROSION CONTROL MEASURES AS RECOMMENDED BY THE CONSTRUCTION OF 2018. ONCE CONSTRUCTION IS COMPLETED, REMOVE SEDIMENT AND SOIL TO SUB-GRADE ELEVATION AND REPLACE WITH SOIL MEDIA TO ELEV. 287.5.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION AND ALL AREAS SHALL BE FULLY RESTORED TO ORIGINAL OR BETTER CONDITION AT THE END OF THE PROJECT.
6. THE CONTRACTOR SHALL REPORT EROSION AND SEDIMENTATION CONTROL MEASURES TO THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK IN THE PUBLIC WAY.
7. THE STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION AND A PERMANENT SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED. FENCING SHALL BE INSTALLED AROUND STOCKPILES IN ORDER TO BE EFFECTIVE.
8. DISTURBED AREAS SHALL BE STABILIZED BY GRASSING AND SEEDING OR BY ANOTHER EROSION CONTROL MEASURE AS SOON AS POSSIBLE AFTER THE PROPOSED GRADE HAS BEEN ESTABLISHED AND THE SOIL IS NOT SUBJECT TO FURTHER DISTURBANCE. STOCKPILES SHALL BE STABILIZED WITH MAT SEEDING.
9. NO-SPREADING MEASURES OF PROPOSED SHALL BE INSTALLED TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE PROJECT SITE.
10. STORM WATER BARRIERS AND SILT FENCES SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT OR AS INDICATED ON THE PLAN. ADDITIONAL SILT BARRIERS AND SILT FENCES SHALL BE LOCATED AS DETERMINED BY THE CITY ENGINEER AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
11. STREET INTERFERING IN THE VICINITY OF THE PROJECT AREA SHALL BE MAINTAINED AS NOTED ON THE PLAN. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION AND ALL AREAS SHALL BE FULLY RESTORED TO ORIGINAL OR BETTER CONDITION AT THE END OF THE PROJECT.
12. ALL EXISTING AND PROPOSED PERMANENT SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND ALL AREAS SHALL BE FULLY RESTORED TO ORIGINAL OR BETTER CONDITION AT THE END OF THE PROJECT.
13. BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION AND ALL AREAS SHALL BE FULLY RESTORED TO ORIGINAL OR BETTER CONDITION AT THE END OF THE PROJECT.
14. ALL VEHICLES SHALL BE COVERED AND THE SITE SHALL BE STABILIZED CONSTRUCTION ENTRANCE/EXIT CONSTRUCTION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND ALL AREAS SHALL BE FULLY RESTORED TO ORIGINAL OR BETTER CONDITION AT THE END OF THE PROJECT.
15. EQUIPMENT SHALL NOT BE PARKED WITHIN NEIGHBORHOODS.



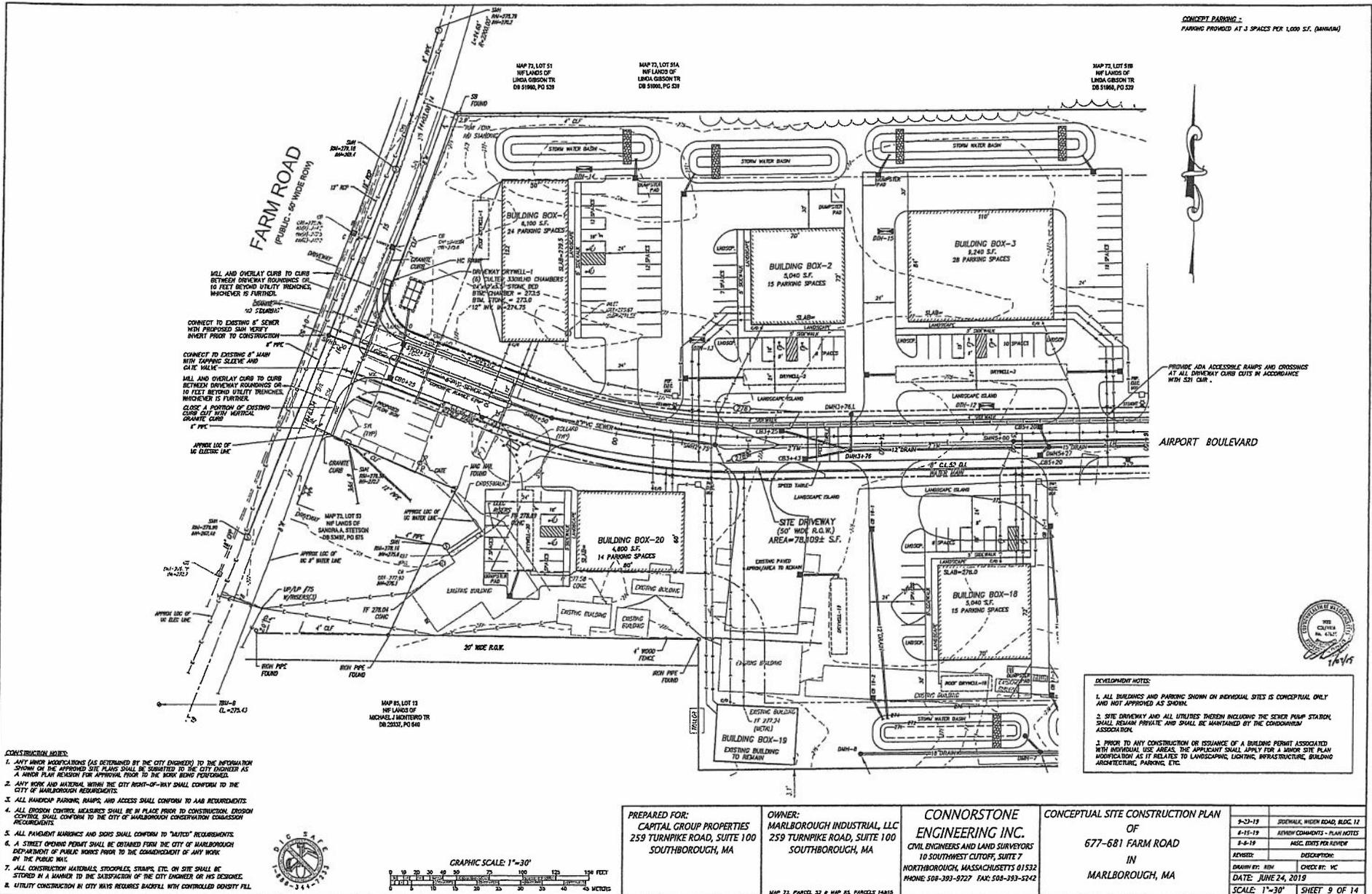
PREPARED FOR:
CAPITAL GROUP PROPERTIES
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

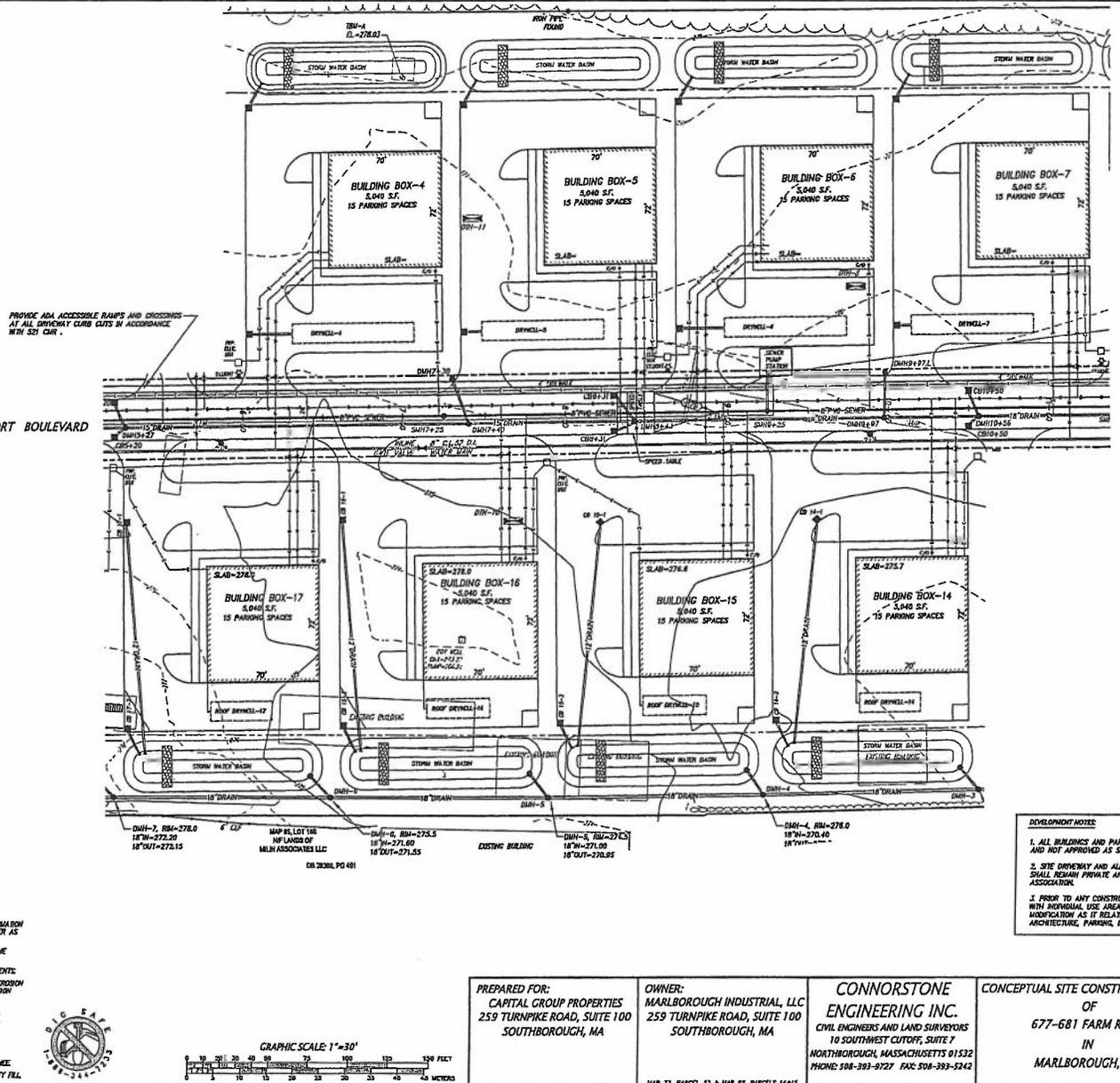
OWNER:
MARLBOROUGH INDUSTRIAL, LLC
259 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA

MAP 72, PARCEL 52 & MAP 82, PARCELS 14&15
CONNORSTONE
ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
MIDDLEBOROUGH, MASSACHUSETTS 01532
PHONE: 508-333-5727 FAX: 508-333-5242

EROSION CONTROL PLAN
OF
677-681 FARM ROAD
IN
MARLBOROUGH, MA

8-23-19	REVISION: WEIGH ROAD, BLDG. 12
8-15-19	REVISION: COMMENTS - PLAN NOTES
8-8-19	ISSUE: COMMENTS PER REVIEW
REVISED:	DESCRIPTION:
DRAWN BY: ADH	CHECK BY: VC
DATE: JUNE 24, 2019	
SCALE: 1"=60'	SHEET 8 OF 14





CONCEPT PARKING:
 PARKING PROVIDED AT 3 SPACES FOR 1,000 S.F. (MINIMUM)

PROVIDE ADA ACCESSIBLE RAMPS AND CROSSINGS AT ALL DRIVEWAY CURB CUTS IN ACCORDANCE WITH 501 CMR.

AIRPORT BOULEVARD

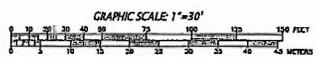
AIRPORT BOULEVARD



DEVELOPMENT NOTES:

1. ALL BUILDINGS AND PARKING SHOWN ON INDIVIDUAL SITES IS CONCEPTUAL ONLY AND NOT APPROVED AS SHOWN.
2. SITE DRIVEWAY AND ALL UTILITIES THEREON INCLUDING THE SEWER PLUMP STATION SHALL REMAIN PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION.
3. PRIOR TO ANY CONSTRUCTION OR ISSUANCE OF A BUILDING PERMIT ASSOCIATED WITH INDIVIDUAL USE AREAS, THE APPLICANT SHALL APPLY FOR A MINOR SITE PLAN MODIFICATION AS IT RELATES TO LANDSCAPING, LIGHTING, INFRASTRUCTURE, BUILDING ARCHITECTURE, PARKING, ETC.

- CONSTRUCTION NOTES:**
1. ANY UNICOR AGREEMENTS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MARLBOROUGH REQUIREMENTS.
 3. ALL MANHOLE PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAS REQUIREMENTS.
 4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF MARLBOROUGH CONSERVATION COMMISSION REQUIREMENTS.
 5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO "MUTCD" REQUIREMENTS.
 6. A STREET OPENING PERMIT SHALL BE OBTAINED FROM THE CITY OF MARLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE PUBLIC WAYS.
 7. ALL CONSTRUCTION MATERIALS, STOCKPILES, STUMPS, ETC. ON SITE SHALL BE STORED IN A MANNER TO THE SATISFACTION OF THE CITY ENGINEER OR HIS DESIGNEE.
 8. UTILITY CONSTRUCTION IN CITY WAYS REQUIRES BACKFILL WITH CONTROLLED DENSITY FILL.



PREPARED FOR:
 CAPITAL GROUP PROPERTIES
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MA

OWNER:
 MARLBOROUGH INDUSTRIAL, LLC
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MA

CONNORSTONE ENGINEERING INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 10 SOUTHWEST CUTOFF, SUITE 7
 NORTHBOROUGH, MASSACHUSETTS 01532
 PHONE: 508-393-9727 FAX: 508-393-3242

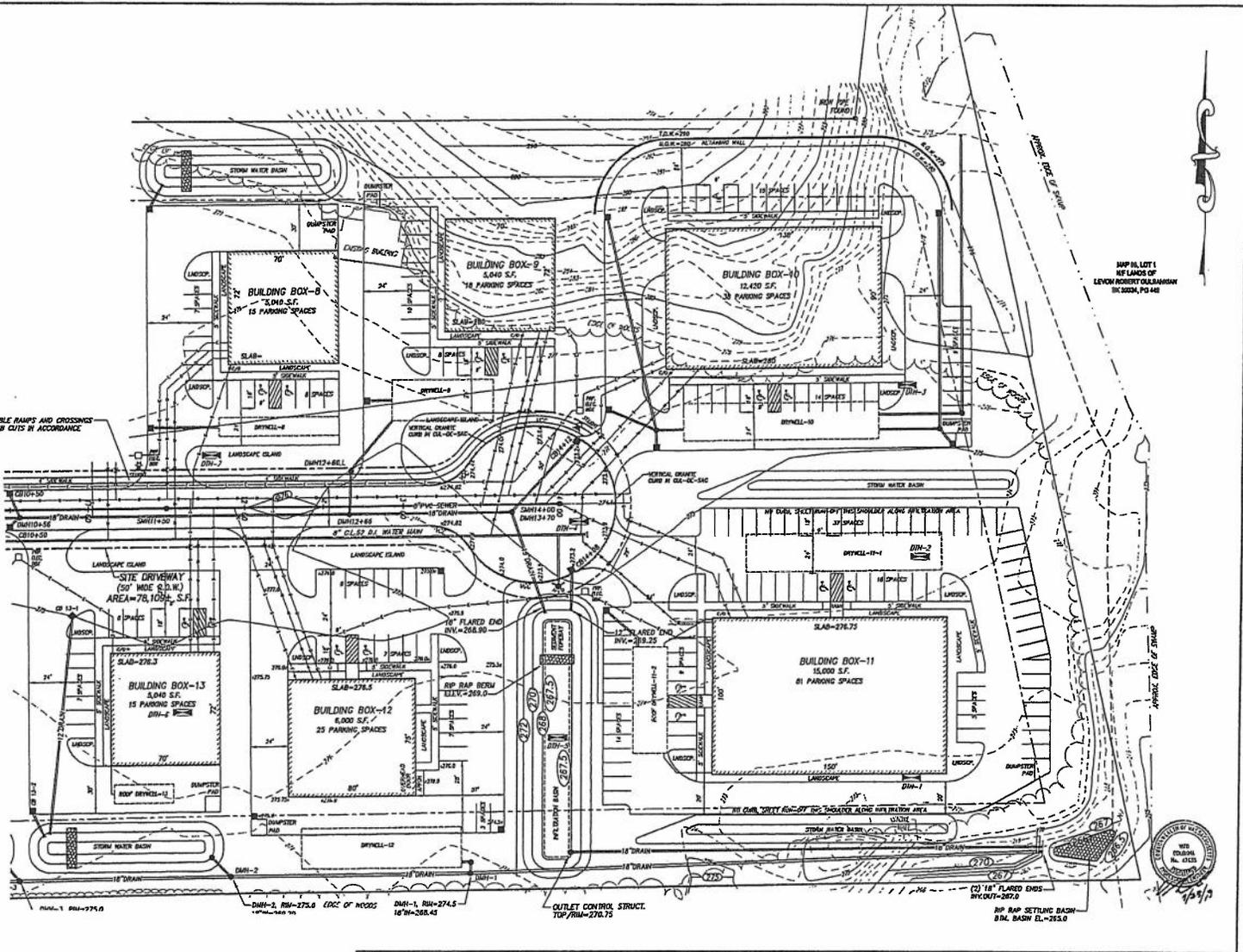
CONCEPTUAL SITE CONSTRUCTION PLAN
 OF
 677-681 FARM ROAD
 IN
 MARLBOROUGH, MA

9-23-19	SECONDAL WOOD ROAD, BLDG. 12
8-15-19	REVIEW COMMENTS - PLAN NOTES
5-4-19	MISC. NOTES PER REVIEW
REVISED:	DESCRIPTION:
DRAWN BY: RBH	CHECK BY: VC
DATE: JUNE 24, 2019	
SCALE: 1"=30'	SHEET 10 OF 14

CONCEPT PARKING:
 PARKING PROVIDED AT 3 SPACES PER 1,000 S.F. (MINIMUM)

AIRPORT BOULEVARD

PROVIDE ADA ACCESSIBLE RAMPS AND CROSSINGS
 AT ALL DRIVEWAY CURB CUTS IN ACCORDANCE
 WITH 521 CMR.



IMP. LOT 1
 SEE LANDS OF
 LEVON ROBERT OUBRAMIAN
 IN BOOK PG 46

- DEVELOPMENT NOTES:**
1. ALL BUILDINGS AND PARKING SHOWN ON INDIVIDUAL SITES IS CONCEPTUAL ONLY AND NOT APPROVED AS SHOWN.
 2. SITE DRIVEWAY AND ALL UTILITIES THEREIN INCLUDING THE SEWER PUMP STATION, SHALL REMAIN PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION.
 3. PRIOR TO ANY CONSTRUCTION OR ISSUANCE OF A BUILDING PERMIT ASSOCIATED WITH INDIVIDUAL USE AREAS, THE APPLICANT SHALL APPLY FOR A MINOR SITE PLAN MODIFICATION AS IT RELATES TO LANDSCAPING, LIGHTING, INFRASTRUCTURE, BUILDING ARCHITECTURE, PARKING, ETC.

- CONSTRUCTION NOTES:**
1. ANY MAJOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MAJOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 2. ANY WORK AND MATERIAL BEHIND THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF HANLBOROUGH REQUIREMENTS.
 3. ALL HANDICAP PARKING, RAMP, AND ACCESS SHALL CONFORM TO AAS REQUIREMENTS.
 4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF HANLBOROUGH CONSERVATION COMMISSION REQUIREMENTS.
 5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO "AUTO" REQUIREMENTS.
 6. A STREET OPENING PERMIT SHALL BE OBTAINED FROM THE CITY OF HANLBOROUGH DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE PUBLIC WAY.
 7. ALL CONSTRUCTION MATERIALS, STOCKPILES, STRAPS, ETC. ON SITE SHALL BE STORED IN A MANNER TO THE SATISFACTION OF THE CITY ENGINEER ON HIS RESIDENCE.
 8. UTILITY CONSTRUCTION IN CITY WAYS REQUIRES BIDDING WITH CONTROLLED DENSITY FILL.



PREPARED FOR:
 CAPITAL GROUP PROPERTIES
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MA

OWNER:
 MARLBOROUGH INDUSTRIAL, LLC
 259 TURNPIKE ROAD, SUITE 100
 SOUTHBOROUGH, MA

**CONNORSTONE
 ENGINEERING INC.**
 CIVIL ENGINEERS AND LAND SURVEYORS
 10 SOUTHWEST CUTOFF, SUITE 7
 NORTHBOROUGH, MASSACHUSETTS 01532
 PHONE: 508-393-9272 FAX: 508-393-5242

CONCEPTUAL SITE CONSTRUCTION PLAN
 OF
 677-681 FARM ROAD
 IN
 MARLBOROUGH, MA

2-23-19	SKETCH, MOON ROAD, BLOC 12
6-13-19	REVIEW COMMENTS - PLAN NOTES
7-8-19	NOIC. EDITS PER REVIEW
REVISED:	DESCRIPTION:
DRAWN BY: RDN	CHECK BY: VC
DATE: JUNE 24, 2019	
SCALE: 1"=30'	SHEET 11 OF 14

MAP 78, PARCEL 52 & MAP 85, PARCELS 14&15





City of Marlborough Legal Department

140 MAIN STREET

MARLBOROUGH, MASSACHUSETTS 01752

TEL (508) 460-3771 FAX (508) 460-3698 TDD (508) 460-3610

LEGAL@MARLBOROUGH-MA.GOV

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
JASON D. GROSSFIELD
CITY SOLICITOR

2021 AUG 27 A 11:20

August 27, 2021

Michael H. Ossing, President
Marlborough City Council
City Hall
140 Main Street
Marlborough, MA 01752

Re: City Council Order No. 21-1008353
Site Plan Approval, 656 Boston Post Road East, Marlborough

Dear Honorable President Ossing and Councilors:

Enclosed is a proposed order, in proper legal form, for approval of site plan with conditions in relation to the above-referenced project.

Please contact me if you have any questions or concerns.

Respectfully,

Jason D. Grossfield
City Solicitor

Enclosure

cc: Arthur G. Vigeant, Mayor
Tin Hway, Building Commissioner

ORDERED:

That the City Council of the City of Marlborough does hereby approve the Site Plan Permit (attached hereto), which sets forth an Approval with conditions of the site plans submitted by Global Montello Group Corp., to add a patio with seating at 656 Boston Post Road East, Marlborough.

ADOPTED
In City Council
Order No. 21-

Approved by Mayor
Arthur G. Vigeant
Date:

A TRUE COPY
ATTEST:

City Clerk

Site Plan Permit # _____
Site Plan Approval with Conditions

Applicant: Global Montello Group Corp.

Property Owner: Global Montello Group Corp.

Location: 656 Boston Post Road East (the “Site”) being shown as Parcel 2 on Assessors Map 61.

Zoning District: Wayside

Plans: The following Site Plan Approval Final Conditions are based on a set of plans entitled “Building and Outdoor Seating Improvement” by Bohler Engineering, with the last revision date of June 30, 2021 (the “Site Plan” attached hereto as “Exhibit A”).

SITE PLAN APPROVAL FINAL CONDITIONS:

A. Site Conformance:

1. Construction of the Site shall be in conformance with the approved Site Plan, the provisions of Chapter 270 of the Code of the City of Marlborough, and the conditions stated herein.
2. All construction on the Site shall conform to the appropriate National, State and City of Marlborough codes and regulations in force for each respective discipline and shall be in accordance with the Site Plan, subject to minor changes approved by the Building Commissioner pursuant to Section I.1 below. Codes and regulations shall include but are not limited to State Building, Plumbing, Wiring, NFPA, Zoning, DPW utility and roads, Noise and Signs.

B. Construction:

1. Preconstruction Meeting: Prior to the commencement of construction, a preconstruction meeting shall be held on-site with the Building Commissioner, Conservation Officer, City Engineer, and the site contractor responsible for doing the work. At this meeting said City officials will review the plans and conditions, exchange contact information including emergency contact numbers, and inspect erosion controls.
2. OSHA: All Contractors shall abide by OSHA regulations as appropriate, including but not limited to OSHA-29 CFR, Section 1926.
3. Hours of Operation: In accordance with Section 431-3B of the Code of the City of Marlborough, excavation machinery may be operated only during the normal workweek, from Monday through Saturday, except holidays, between the hours of 7:00 a.m. to 7:00 p.m., except Sunday when all use is prohibited except with

variance by the Board of Health or as emergency work.

C. Drainage Basin:

Prior to the issuance of a Building Permit for the project, the Applicant shall consult with the City's Conservation Officer to evaluate vegetation located in the drainage basin to the rear of the Site to determine any vegetation removal necessary to ensure the proper functioning of the Site's drainage system. Any such removal shall be completed to the satisfaction of the City's Conservation Officer prior to the issuance of a Certificate of Occupancy or Temporary Certificate of Occupancy for the project.

D. General Provisions:

1. Siltation Control: The Applicant, Property Owner, and site contractor shall be responsible for protecting the City drainage system with erosion controls at all times during construction, and for notifying the Conservation Officer and the City Engineer in an expeditious manner if there is any visible siltation to the existing drainage system. Immediate measures shall be taken to control the siltation source and to restore any impacted areas.
2. The issuance of this decision confirms compliance with Marlborough City Code Ch. 271 "Stormwater Management" and shall serve as the "stormwater management permit" as required in the ordinance.
3. As-Built Plans: An as-built plan(s) must be submitted to the City Engineer for review prior to the issuance of the Certificate of Occupancy or Temporary Certificate of Occupancy. The as-built plan(s) shall be prepared in accordance with the As-Built Plan Standards established by the City Engineer, which standards may be found on the website for the City of Marlborough.
4. Time for Completion: Work as provided for on the Site Plan shall be carried into effect and completed within three (3) years following the date of issuance of a building permit for the project, unless the City Council has granted in writing an extension of time for completion of the work.
5. Minor Changes: The City Council delegates to the Building Commissioner the authority to approve minor changes to the approved Site Plan.
6. Enforcement: The City Council designates the Building Commissioner as the enforcing authority to bring enforcement actions for violations of this permit.
7. Trail Signage: As the pedestrian and bicycle paths on the Site will connect to the City's trails and sidewalks, the Applicant shall allow for appropriate trail signage to be attached to sign posts on the Site by the Conservation Officer prior to the issuance of a Certificate of Occupancy for the project.

EXHIBIT A

SITE PLAN DOCUMENTS

FOR



Global Partners LP

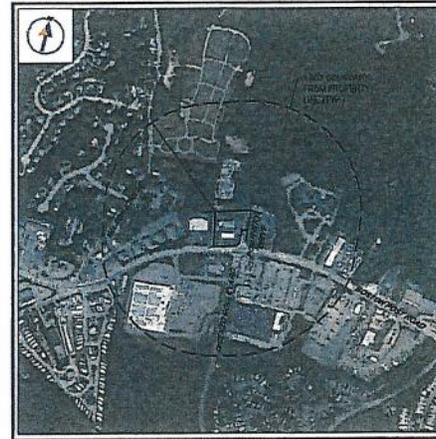
BUILDING AND OUTDOOR SEATING IMPROVEMENT

LOCATION OF SITE:

656 BOSTON POST ROAD, CITY OF MARLBOROUGH
MIDDLESEX COUNTY, MASSACHUSETTS
MAP #61, LOT #2



USGS MAP
SCALE: 1" = 500'
SOURCE: MARLBOROUGH, MASSACHUSETTS
USGS QUADRANGLE



SITE MAP
SCALE: 1" = 500'
SOURCE: S&W AERIAL, MARLBOROUGH

DRAWING SHEET INDEX

SHEET TITLE		SHEET NUMBER
COVER SHEET		C-101
GENERAL NOTES SHEET		C-102
DEMOLITION AND EROSION CONTROL PLAN		C-201
SITE LAYOUT PLAN		C-301
GRADING, DRAINAGE AND UTILITY PLAN		C-401
DETAIL SHEET		C-401
ALTA SURVEY (BY OTHERS)		1

APPROVAL BLOCK

CITY COUNCIL APPROVAL
APPROVED BY THE CITY COUNCIL, PRESIDENT BY THE CITY OF
MARLBOROUGH, MASSACHUSETTS

DATE: _____

BOHLER
SITE CIVIL AND COMMERCIAL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
SURVEYING DESIGN
TRANSPORTATION SERVICES

REVISIONS

NOV	DATE	COMMENT	BY	CHKD
1	03/02/2011	SITE CORRECTIVE REVISIONS	JULIUS	JULIUS
2	03/02/2011	CONSTRUCTION	JULIUS	JULIUS
3	03/02/2011	REVISIONS OF PERMITS	JULIUS	JULIUS
4	03/02/2011	REVISIONS TO CONSTRUCTION AREA	JULIUS	JULIUS

811
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

PERMIT SET

PROJECT NO: 1001208
DRAWN BY: J. JULIUS
CHECKED BY: J. JULIUS
DATE: 03/02/2011
SCALE: AS SHOWN

SITE PLAN DOCUMENTS
FOR
GLOBAL
Global Partners LP
PROPOSED BUILDING AND OUTDOOR SEATING IMPROVEMENTS
MAP #61, LOT #2
656 BOSTON POST ROAD
CITY OF MARLBOROUGH
MIDDLESEX COUNTY,
MASSACHUSETTS

BOHLER
323 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 488-9900
www.BohlerEngineering.com

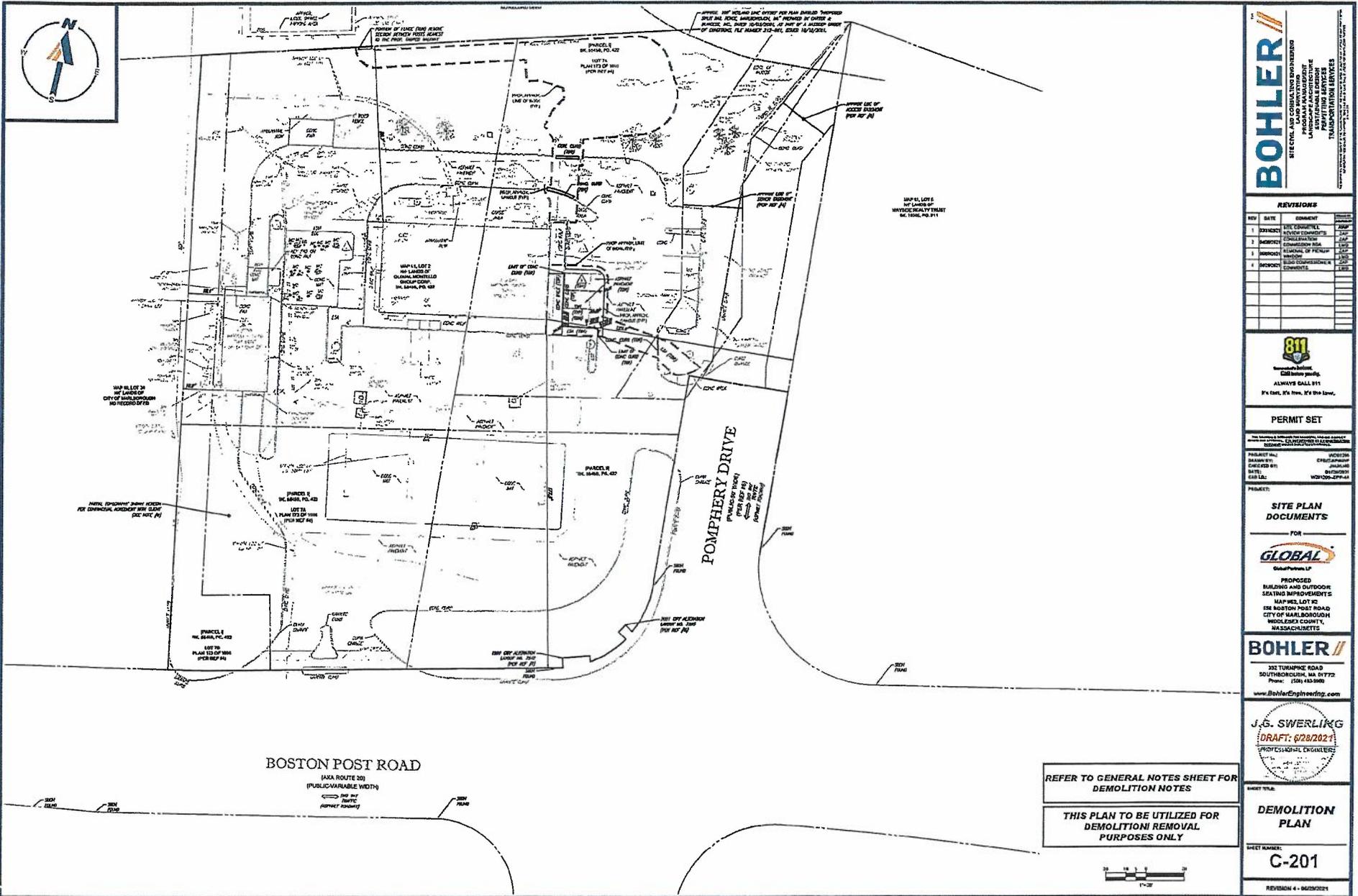


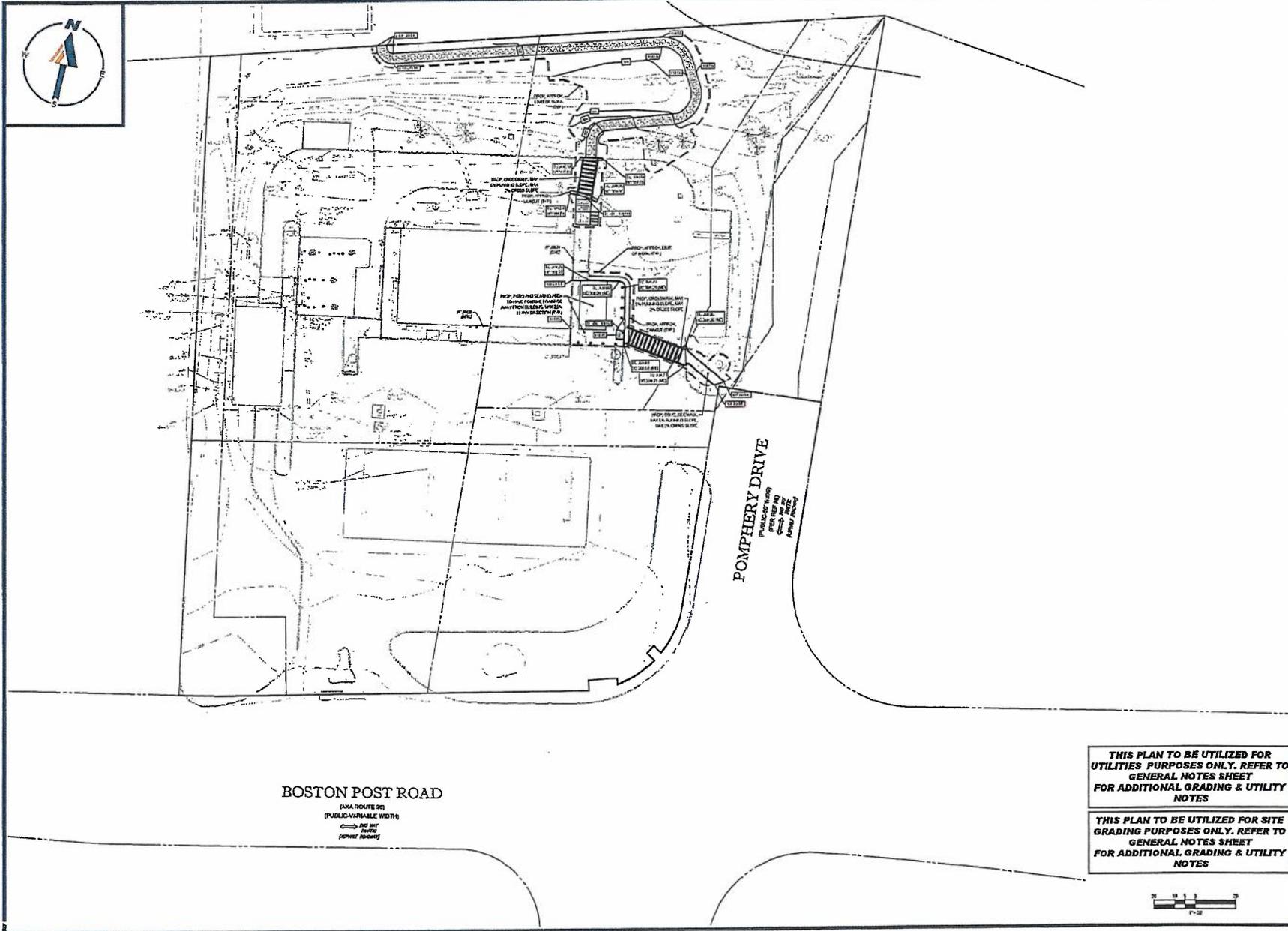
COVER SHEET

SHEET NUMBER:
C-101

REVISION # 06/20/2011

PREPARED BY
BOHLER





BOHLER
 SITE CIVIL AND CONSTRUCTION SUPERVISOR
 LAND SURVEYOR
 LANDSCAPE ARCHITECTURE
 PLANNING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT
1	10/20/2010	SITE COMMITTEE REVIEW COMMENTS
2	11/10/2010	CONTRACTOR COMMENTS
3	11/10/2010	COMMISSION FOR REVIEW
4	11/10/2010	REVISION TO CONSERVATION AREA

811
 Call before you dig.
 ALWAYS CALL 811
 It's Not, It's Free, It's the Law.

PERMIT SET

PROJECT NO.: 1000000000
 DRAWN BY: J. BOHLER
 CHECKED BY: J. BOHLER
 DATE: 10/20/2010

SITE PLAN DOCUMENTS

FOR

GLOBAL
 Global Performance LP

PROPOSED BUILDING AND OUTDOOR SEATING IMPROVEMENTS
 MAP NO. LOT # 12
 122 BOSTON POST ROAD
 CITY OF MARLBOROUGH
 MIDDLESEX COUNTY,
 MASSACHUSETTS

BOHLER

331 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 485-2965
 www.BohlerEngineering.com



THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES



GRADING, DRAINAGE, AND UTILITY PLAN

SHEET NO.: **C-401**

REVISION 4 - 10/20/2010

SECTION VIEW
FRONT VIEW OF INLET WITH 18\"/>

ISOMETRIC VIEW

1. REMOVE EXISTING GRASS OR OTHER VEGETATION FROM THE AREA TO BE INSTALLED WITHIN THE PROTECTION ZONE.

2. CONSTRUCT THE FILTER SACS USING 1/2\"/>

3. PLACE EACH FILTER SAG IN PLACE ON THE SUBGRADE.

4. WATER FOR EACH FILTER SAG TO BE INSTALLED.

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TAMPED GRAVEL WALKWAY

SIDEWALK AT BUILDING

CONCRETE SIDEWALK TIE-IN

CONCRETE SIDEWALK SECTION

RECOMMENDED CONSTRUCTION SEQUENCE

1. THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

2. INSTALLATION OF EROSION CONTROL BARRIERS (STRAW BALES AND SILT FENCES) AS SHOWN.

3. DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLANS).

4. DEMOLITION OF EXISTING SITE PAVEMENT AND ASPHALT (SEE DEMOLITION PLANS).

5. EARTHWORK AND EROSION CONTROL AS NECESSARY.

6. INSTALLATION OF PERMANENT DRAINAGE AREAS AND TEMPORARY EROSION CONTROL.

7. INSTALLATION OF SILT PROTECTION ON ON-STREET UTILITIES AS SHOWN.

8. CONSTRUCTION OF ALL CURBS AND LANDSCAPE FEATURES AS INDICATED ON THE PLANS.

9. FINISH TOPSOIL ON SLOPED AREAS AND SEED AND MAINTAIN.

10. FINAL GRASSING OF ALL SLOPED AREAS.

11. MAINTENANCE OF ALL SLOPED AREAS AFTER FINAL GRASSING COMPLETED, FERTILIZER, SEED, AND WATER AS NECESSARY TO BE INSTALLED AS NECESSARY.

12. INSTALL FERTILIZER AND MAINTENANCE AS INDICATED ON THE PLANS.

13. DEMONSTRATE EROSION CONTROL AS DEMONSTRATED BY THE CONTRACTOR TO THE SATELITEIZATION OR OWNER.

STRAW BALE

ACCESSIBLE RAMP

PIPE BOLLARD

BOHLER

BOHLER ENGINEERING INC.
332 TURNPIKE ROAD
SOUTH BORDEN, MA 01872
PHONE: (508) 484-9300
WWW.BOHLERENGINEERING.COM

REVISIONS

NO.	DATE	COMMENTS
1	09/20/2010	ISSUE FOR PERMIT
2	09/20/2010	REVISED COMMENTS
3	09/20/2010	CONSTRUCTION AREA
4	09/20/2010	CONSTRUCTION AREA

811

Call Before You Dig
ALWAYS CALL 811
It's fast, it's free, it's the law.

PERMIT SET

PROJECT NO. 1001238
DRAWN BY: J. BOHLER
DATE: 09/20/2010
PROJECT: WOODS-17-12

SITE PLAN DOCUMENTS

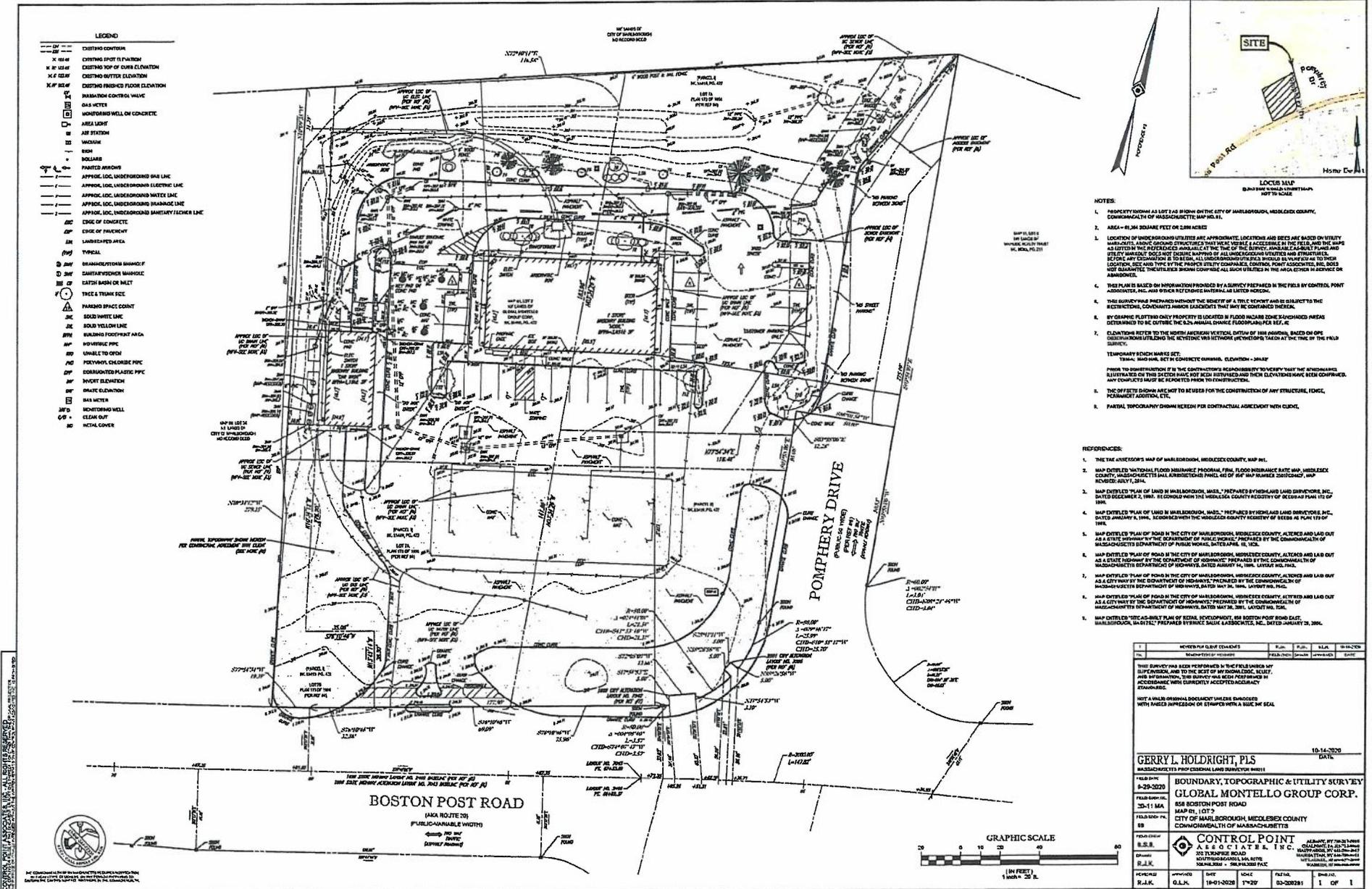
FOR
GLOBAL
Global Partners LP

BOHLER

332 TURNPIKE ROAD
SOUTH BORDEN, MA 01872
PHONE: (508) 484-9300
WWW.BOHLERENGINEERING.COM

DETAIL SHEET

SHEET NO. 17-12
SHEET NUMBER: **C-901**
REVISION 4 - 09/20/2010



- NOTES:
1. PROPERTY SHOWN AS LOTS HAS SHOWN ON THE CITY OF MARLBOROUGH, MASSACHUSETTS, RECORD MAP NO. 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

- REFERENCES:
1. THE ASSessor'S MAP OF MARLBOROUGH, MASSACHUSETTS, MAP NO. 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

NO.	REVISION	DATE	BY	CHKD.	APP'D.
1	ISSUED FOR CONSTRUCTION	10-14-2020	G.L.H.	G.L.H.	G.L.H.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, BELIEF AND FAITHFUL OPINION, THE SURVEY HAS BEEN PERFORMED ACCORDING TO CURRENTLY ACCEPTED SURVEYING PRACTICES.

NOT A VALID ORIGINAL DOCUMENT UNLESS CROSSCHECKED WITH INSCD IMPRESSION OR STRIPPED WITH A BLUE INK SEAL.

GERRY L. HOLDRIGHT, PLS.
 MASSACHUSETTS PROFESSIONAL LAND SURVEYOR 88011

FIELD DATE: 8-29-2020
 FIELD BOOK NO.: 20-11 MA
 FIELD SHEET NO.: 88

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY FOR GLOBAL MONTELLO GROUP CORP.
 858 BOSTON POST ROAD
 MAP NO. 107
 CITY OF MARLBOROUGH, MASSACHUSETTS
 COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT ASSOCIATES, INC.
 207 TRINITY ROAD
 MARLBOROUGH, MA 01501
 TEL: 508-253-1111
 FAX: 508-253-1112
 WWW.CP-ASSOCIATES.COM

DATE: 10-14-2020
 SCALE: 1"=20'

APP'D. BY: G.L.H.
 DATE: 10-01-2020
 NO. OF SHEETS: 1
 SHEET NO.: 1 OF 1



City of Marlborough
Office of the City Clerk

140 Main Street
 Marlborough, Massachusetts 01752
 Telephone (508) 460-3775 Facsimile (508) 460-3723

RECEIVED
 CITY CLERK'S OFFICE
 CITY OF MARLBOROUGH
 Steven W. Kerrigan
 City Clerk
 2021 SEP - 8 P 2:50

Wilson Chu
 Assistant City Clerk

September 8, 2021

Marlborough City Council
 Michael H. Ossing, President
 140 Main Street
 Marlborough, MA 01752

Dear President Ossing & Councilors:

Recently some of the laws related to elections in Massachusetts were changed with the adoption of Chapter 29 of the Acts of 2021. The previous updates to the Election Laws adopted by Chapter 255 of the Acts of 2020 that were extended by Chapter 5 of the Acts of 2021 were once again extended with a few minor modifications being made.

Most of the changes were to extend the date to December 15, 2021 which allows for In-Person Early Voting and Vote by Mail. This is giving the Legislature more time to debate more permanent updates. I have attached a breakdown of the changes made by the Act; however, the amendments that have the most impact are as follows:

- Vote by Mail has been extended and will be available for the Municipal Election being held November 2, 2021. Absentee Voting is and will continue to be available. To apply for either an Early or Absentee ballot, voters can print and send the form located on our website, or simply send a written communication requesting a ballot be sent to them.
- In-Person Early Voting can be made available for the Municipal Elections by a vote of the City Council. It allows for up to a maximum of 10-days of In-Person Early Voting prior to the election. The City Council vote must take place at least 5-days prior to the start of the In-Person Early Voting period. The In-Person Early Voting Period must end the Friday prior to the election.
- Unlike in 2020, ballots **MUST** be returned to the Clerk's Office by the close of polls (8:00 PM) on Election Day. Any ballots received after 8:00 PM on Election Day will not be counted.

Based on how well received both Vote by Mail and In-Person Early Voting was during the 2020 election cycle, we are recommending that the City Council vote to authorize In-Person Early Voting for a period of 7-days, starting on Saturday, October 23, 2021 and ending on Friday, October 29, 2021. We are proposing that the City Council set the following hours for In-Person Early Voting and that City Hall be designated as the only location.

PROPOSED IN-PERSON EARLY VOTING HOURS:

Saturday, October 23, 2021	9:00 AM to 3:00 PM
Sunday, October 24, 2021	10:00 AM to 4:00 PM
Monday, October 25, 2021	8:30 AM to 7:00 PM
Tuesday, October 26, 2021	8:30 AM to 5:00 PM
Wednesday, October 27, 2021	7:00 AM to 5:00 PM
Thursday, October 28, 2021	8:30 AM to 5:00 PM
Friday, October 29, 2021	8:30 AM to 5:00 PM

Based on the hours as proposed, we have calculated the cost to be approximately \$1,000.00 to employ the necessary Election Inspectors to cover the In-Person Early Voting period. There is sufficient money within our Elections Department Budget to cover the anticipated costs.

We are requesting that the City Council vote to authorize In-Person Early Voting for the dates and times as recommended by the City Clerk's Office outlined in this letter. If there are further questions, we are happy to answer them.

Sincerely,



Steven W. Kerrigan
City Clerk



Wilson Chu
Assistant City Clerk

Enclosure

cc: Mayor Arthur G. Vigeant
Board of Registrars

The Governor signed Chapter 29 of the Acts of 2021, which is a supplemental budget but contains provisions to extend early voting by mail for elections held between now and December 15, 2021. Operationally, the law amends provisions of Chapter 255 of the Acts of 2020, which was amended by Chapter 5 of the Acts of 2021. Additionally, language was added to make the provisions apply to preliminary elections.

As with the previous legislation, the law itself refers back to Chapter 255 of the Acts of 2020. Below please find an overview of each applicable section. We (Secretary of State's Office) have also included the existing laws with the changes at the end of this document.

SECTIONS 51, 52, 53, and 54 amend Chapter 255 of the Acts of 2020. These sections extend the provisions of Chapter 255 of the Acts of 2020 until December 15, 2021. Below please find an overview of each section of Chapter 255 of the Acts of 2020.

Subsection (a): Allows any person any person taking precautions related to COVID-19 in response to a declared state of emergency or guidance from a medical professional, local or state health official or any civil authority vote absentee by reason of physical disability for all elections held on or before December 15, 2021.

Subsection (b): Allows a voter who has been instructed by a medical professional or a local or state health official to self-quarantine in their home beginning after noon on the seventh day before any regular or special municipal preliminary, primary or general election held on or before December 15, 2021 to qualify to vote absentee and have a ballot delivered to them as if they were admitted to a healthcare facility in accordance with subsection (c) of section 91B of chapter 54 of the General Laws. Such voters may designate their home address for delivery of the ballot.

Subsection (c): Allows early voting by mail for any regular or special municipal preliminary, primary or general election held on or before December 15, 2021.

Subsection (d): Allows voters to use a vote by mail application or any form of written communication to request a ballot and sets the deadline for you to receive any vote by mail applications no later than 5 pm on the fourth business day before election day.

Subsection (e): Allows use of absentee ballots for early voting by mail but requires use of an early voting affidavit envelope for all early voters by mail. We (Secretary of State's Office) recommend using "Early/Absentee" in the header if you have not already ordered ballots.

Subsection (f): Requires you to add "EV" on the voting list next to the name of an early voter.

Subsection (g): Requires the counting of early voting ballots in accordance with section 25B of chapter 54 and further requires that the inner envelopes be retained with the ballots cast at the election and shall be preserved and destroyed in the manner provided by law for the retention, preservation or destruction of official ballots. Please note that you must count all early voting ballots at the appropriate precinct. Unlike last year for the state primary and state election, you **CANNOT** advance remove or deposit early voting ballots for municipal elections.

Subsection (h): Sets the deadline to return early voting ballots by mail to be the close of polls on the day of the election and allows voters to return their ballot by: (i) delivering it in person to the office of the appropriate city or town clerk; (ii) dropping it in a secured municipal drop box; or (iii) mailing it to the appropriate city or town clerk.

Subsection (i): Requires the selectmen or city council to evaluate and report on whether a polling place change would have a disparate adverse impact on the basis of race, national origin, disability, income, or age. The report must be posted on the city/town's website and in the clerk's office at least 3 days before the vote to change it. This subsection further requires polling place changes be posted on the municipal website and other places determined by the selectmen or city council and allows notification to voters by electronic means, to the extent possible, including by email or by reverse 911 call. You **DO NOT** need to mail a notice to every household.

Subsection (j): Allows the appointing authority to appoint election officers without regard to political party membership, voter status, residence in the city or town or inclusion on a list filed by a political party committee if you determine there is a deficiency. This subsection also allows you to appoint any competent person willing to serve, without regard to political party membership, voter status, residence in the city or town or inclusion on a list filed by a political party committee a warden, clerk or inspector or the deputy of any such officer, if any such position is vacant within the 3 weeks preceding the election.

Subsection (k): Allows you to eliminate the check-out table.

Subsection (l): Provides a local option for in-person early voting for municipal elections held on or before December 15, 2021. In order to have in-person early voting, the local election official must request and recommend in-person early voting. The vote must occur not less than 5 business days prior to the proposed beginning of early voting. The vote itself must set the dates and hours, can begin no sooner than 10 days before the election and end must end no later than the business day preceding the business day before the election. You can opt to use your regular business hours unless you set different hours, which could be limited to weekend hours. If you conduct early voting in-person for a municipal election, you have to designate an early voting site that is centrally located, suitable and in a convenient public building and publish notice of the early voting location, dates and hours at least 48 weekday hours before the early voting period begins.

Subsection (m): Which was new from last year, requires providing an accommodation to voters who request one. The accommodation is limited to voters who are blind or have vision impairments, mobility or dexterity disabilities, or other disabilities that make it difficult or impossible for them to effectively access a paper vote by mail ballot because they cannot independently read, write, hold, or physically manipulate standard print materials. This new section requires that upon receiving a request, the local election official shall make reasonable efforts to grant accommodations to the voter.

SECTIONS 55 ADDS a new sub-section to Chapter 255 of the Acts of 2020.

Subsection (n): Provides a mechanism to “opt out” of early voting by mail for municipal elections held on or before December 15, 2021. To opt out, the select board, board of selectmen, town council or city council must have a public hearing and then take a public and recorded vote to not provide early voting by mail. The hearing and vote must occur at least 45 days prior to the date of the election.

You cannot opt out of early voting by mail for a municipal election if there is a special state primary or special state election at the same time as a municipal election.

Chapter 255 of the Acts of 2020 as amended. RED indicates new date, BLUE indicates new language.

(a) For any annual or special municipal or state primary or election held on or before **December 15, 2021**, any person taking precautions related to COVID-19 in response to a declared state of emergency or guidance from a medical professional, local or state health official or any civil authority shall be deemed to be unable to cast their vote in person at a polling location by reason of physical disability.

(b) Notwithstanding any general or special law to the contrary, subsection (c) of section 91B of chapter 54 of the General Laws shall apply to voters who have been instructed by a medical professional or a local or state health official to self-quarantine in their home beginning after noon on the seventh day before any regular or special municipal or state preliminary, primary or general election held on or before **December 15, 2021** and such voters may designate their home address for delivery of the ballot.

(c) Notwithstanding section 25B of said chapter 54 or any other general or special law to the contrary, any eligible voter may vote early by mail or as prescribed herein for any regular or special municipal or state preliminary, primary or general election held on or before **December 15, 2021**.

(d) Any qualified voter wanting to early vote by mail may file with their local election official an application for an early voting ballot. Any form of written communication evidencing a desire to have an early voting ballot be sent for use for voting at an election shall be given the same effect as an application made in the form prescribed by the state secretary. Local election officials shall send early voting by mail ballots to those who have applied as soon as ballots are available. No application shall be deemed to be seasonably filed unless it is received in the office of the local election official before 5:00 PM on the fourth business day before the date on which the election is held.

(e) Local election officials may substitute absentee ballots for early voting ballots for those voters requesting to vote early by mail in municipal elections. An early voting ballot or absentee ballot substituted for an early voting ballot, along with an envelope bearing an affidavit as set forth in said section 25B of said chapter 54, shall be provided to each qualified voter who participates in early voting by mail.

(f) The local election officials shall cause to be placed on the voting lists opposite the name of a qualified voter who participates in early voting the letters “EV” designating an early voter.

(g) The counting of early voting ballots shall be consistent with said section 25B of said chapter 54 and related regulations to the extent practicable. All envelopes referred to in this act shall be retained with the ballots cast at the election and shall be preserved and destroyed in the manner provided by law for the retention, preservation or destruction of official ballots.

(h) (1) A voter in receipt of an early voting ballot for any election pursuant to this act may complete and return the ballot by: (i) delivering it in person to the office of the appropriate city or town clerk; (ii) dropping it in a secured municipal drop box; or (iii) mailing it to the appropriate city or town clerk.

(2) All early voting ballots submitted by mail, delivered in person to the office of the city or town clerk or returned to a secured municipal drop box as provided by this act shall be received by the city or town clerk before the hour fixed for closing the polls on the day of the election.

(i) Notwithstanding section 24 of said chapter 54 or any other general or special law to the contrary, the select board, board of selectmen, town council or city council may, by recorded and public vote, change any polling place to be used at the election not less than 20 days prior to the date of the election if it is determined that the public convenience or public health would be better served. If the select board, board of selectmen or town council determines that the public convenience or public health would be better served, they may house all polling places in a single building within the municipality if such building is suitably equipped; provided, however, that alcoholic beverages shall not be served or consumed in that portion of a building used as a polling place, during voting hours or while ballots are being counted therein. In cities, the city council may designate polling places in non-adjacent precincts if they determine the public convenience or public health would be better served. In making a decision to change a polling place, the select board, board of selectmen, town council or city council shall evaluate and report on whether such change would have a disparate, adverse impact on access to the polls on the basis of race, national origin, disability, income or age and, not later than 3 days prior to changing a polling place, shall make publicly available on its website and at the office of the town or city clerk a report on its evaluation. When the polling places have been designated pursuant to this act, the board of registrars shall post on the municipal website and at other such places as it may determine, a description of the polling places and shall notify voters by using an electronic means, to the extent available, such as via email or reverse 911 call.

(j) Notwithstanding section 29 of chapter 53 of the General Laws, sections 11, 11B, 12 and 13 of said chapter 54 or any other general or special law to the contrary, if the city or town clerk determines in writing that there is a deficiency in the number of required election officers, then the appointing authority may appoint election officers without regard to political party membership, voter status, residence in the city or town or inclusion on a list filed by a political party committee pursuant to said sections 11B and 12 of said chapter 54. If the position of the warden, clerk or inspector or the deputy of any such officer, if any, is vacant within the 3 weeks preceding the election, the city or town clerk may fill the vacancy by appointing a competent person willing to serve, without regard to political party membership, voter status, residence in the city or town or inclusion on a list filed by a political party committee pursuant to said sections 11B and 12 of said chapter 54.

(k) Notwithstanding sections 67 and 83 of said chapter 54 or any other general or special law to the contrary, the city or town clerk may eliminate the requirement that a voter provide their name or residence to an election officer at the ballot box and that the election officer mark the name off a voting list before the voter may deposit the ballot in the ballot box.

(l) Notwithstanding section 25B of chapter 54 of the General Laws or any other general or special law or municipal ordinance to the contrary, upon a recorded and public vote by the select board, board of selectmen, town council or city council authorizing early in-person voting, any eligible voter of such municipality may vote early in-person for any regular or special municipal or state preliminary, primary or general election held on or before **December 15, 2021**. Such vote may only be taken after a request from the city or town clerk or authorized local election official recommending in-person early voting and provided that such vote occurs not less than 5 business days prior to the proposed beginning of early voting and that such early in-person voting complies with the following:

(i) A city or town, as part of the vote to allow early voting in-person, may set the early voting period to begin no sooner than 10 days before the election and end no later than the business day preceding the business day before the election.

(ii) Early voting shall be conducted during the usual business hours of the city or town clerk unless different hours are set as part of the vote, including any weekend hours.

(iii) The city or town clerk shall establish an early voting site that is centrally located, suitable and in a convenient public building. Notice of the early voting location, dates and hours must be posted at least 48 weekday hours before the early voting period begins.

(iv) A qualified voter voting early in person shall be provided with a ballot and an envelope where the ballot is placed after voting which contains an affidavit of compliance to be filled out by the voter. A qualified voter voting early in person shall complete an affidavit under the regulations promulgated by the state secretary for the administration of early voting and appearing at 950 CMR 47.00, as applicable, which shall include a notice of penalties under section 26 of chapter 56 of the General Laws

(m) A voter who is blind or has vision impairments, mobility or dexterity disabilities, or other disabilities that make it difficult or impossible for them to effectively access a paper vote by mail ballot because they cannot independently read, write, hold, or physically manipulate standard print materials may request an accommodation from their local election official. The request shall be received by the local election official not later than the fourth business day before the election. Upon receiving such information from a registered voter by phone or electronically, the local election official shall make reasonable efforts to grant accommodations to the voter.

(n) Notwithstanding any general or special law to the contrary, the select board, board of selectmen, town council or city council may, after a public hearing and by recorded and public vote not less than 45 days prior to the date of the election, opt-out of the provisions of subsection (c) or (d) for any annual or special municipal preliminary or municipal election held on or before December 15, 2021; provided, however, that any qualified voter, as defined in section 1 of chapter 51 of the General Laws, shall be allowed to cast a ballot by mail as set forth in subsection (c) and (d) for city or town election held at the same time as any special state primary or election.



RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

Crown Castle
1800 West Park Drive
2nd Floor
Westborough, MA 01581

2021 AUG 24 A 10: 13

August 24, 2021

To: The City Council
City of Marlborough, Massachusetts

Crown Castle NG East, LLC, Petition for Underground Conduit Placement

Dear City Council:

Crown Castle NG East, LLC requests permission to place and maintain underground conduit and fiber optic cable in the public ways listed below:

92 Crowley Dr: Intercept existing private property conduit belonging to 92 Crowley Dr and place Proposed 3'x3' Crown Castle Handhole #1. From Handhole #1, trench and install 307' of (1) 4" communication conduit easterly on Crowley Dr then southerly in the grass area to Proposed 2'x3' Crown Castle Handhole #2. From Handhole #2, continue 423' southeasterly to Proposed 2'x3' Crown Castle Handhole #3. From Handhole #3, continue 400' southeasterly to Proposed 2'x3' Crown Castle Handhole #4. From Handhole #4, continue 235' easterly then northerly to Proposed 2'x3' Crown Castle Handhole #5 in the grass area on the north side Fitchburg St. From Handhole #5, continue 12' northerly to existing Utility Pole #11-71 on Fitchburg St in accordance with the attached plan labeled "Proposed Conduit Installation at 92 Crowley Dr in Marlborough, MA".

Please refer to the attached plans for approximate trench locations and utility details. If you have any questions or concerns, please contact me at the number below.

Sincerely,

Steve Crescimanno

Steve Crescimanno
Fiber Construction Manager
Mobile: (860)-576-0742

Steve.Crescimanno@crowncastle.com

PETITION OF CROWN CASTLE NG EAST, LLC FOR LOCATION FOR CONDUITS
AND HANDHOLES

To the City Council of the City of Marlborough, Massachusetts:

Respectfully represents **Crown Castle NG East, LLC.**, a company incorporated for the distribution of telecommunications services, that it desires to construct a line for such telecommunications under the public way or ways hereinafter specified.

92 Crowley Dr: Intercept existing private property conduit belonging to 92 Crowley Dr and place Proposed 3'x3' Crown Castle Handhole #1. From Handhole #1, trench and install 307' of (1) 4" communication conduit easterly on Crowley Dr then southerly in the grass area to Proposed 2'x3' Crown Castle Handhole #2. From Handhole #2, continue 423' southeasterly to Proposed 2'x3' Crown Castle Handhole #3. From Handhole #3, continue 400' southeasterly to Proposed 2'x3' Crown Castle Handhole #4. From Handhole #4, continue 235' easterly then northerly to Proposed 2'x3' Crown Castle Handhole #5 in the grass area on the north side Fitchburg St. From Handhole #5, continue 12' northerly to existing Utility Pole #11-71 on Fitchburg St in accordance with the attached plan labeled "Proposed Conduit Installation at 92 Crowley Dr in Marlborough, MA".

Wherefore, your petition prays that, after due notice and hearing as provided by law, the City Council may by Order grant your petitioner permission to construct, and a location for, such a line of conduits and manholes with the necessary wires and cables therein, said conduits and handholes to be located, substantially as shown on the plan made for **Crown Castle**, dated **July 1, 2021** and filed here with, under the following public way or ways of said City of Marlborough.

Crown Castle NG East, LLC

By: *Steve Crescimanno*

Steve Crescimanno
Construction Manager

Dated this August 23, 2021

City of Marlborough, Massachusetts

Received and filed _____, 2021

ORDER FOR UNDERGROUND FIBER OPTIC CABLE FACILITIES

By the City Council of Marlborough, Massachusetts, as provided by law.

Notice having been given and public hearing held, as provided by law, it is hereby

ORDERED:

That CROWN CASTLE NG EAST, LLC is hereby granted location for permission to install and maintain fiber optic telecommunications facilities in the public way or ways hereinafter referred to as requested in petition of said company, dated the ___ day of _____, 2021.

All construction under this order shall be in accordance with the following conditions:

Work to be performed: 92 Crowley Dr: Intercept existing private property conduit belonging to 92 Crowley Dr and place Proposed 3'x3' Crown Castle Handhole #1. From Handhole #1, trench and install 307' of (1) 4" communication conduit easterly on Crowley Dr then southerly in the grass area to Proposed 2'x3' Crown Castle Handhole #2. From Handhole #2, continue 423' southeasterly to Proposed 2'x3' Crown Castle Handhole #3. From Handhole #3, continue 400' southeasterly to Proposed 2'x3' Crown Castle Handhole #4. From Handhole #4, continue 235' easterly then northerly to Proposed 2'x3' Crown Castle Handhole #5 in the grass area on the north side Fitchburg St. From Handhole #5, continue 12 ' northerly to existing Utility Pole #11-71 on Fitchburg St. in accordance with the attached plan labeled "Proposed Conduit Installation at 92 Crowley Dr in Marlborough, MA".

All construction and restoration will be consistent with the requirements of the City of Marlborough and street conditions will be restored to equal or better condition.

Said locations will be in accordance with the plans marked: **"Proposed Conduit Installation at 92 Crowley Dr in Marlborough, MA"**.

Cable and wires may be placed in the conduit covered by this order along the named public ways constructed thereon under this order.

I hereby certify that the foregoing order was adopted at a hearing of the City Council of the City of Marlborough, Massachusetts held on the ___ day of _____, 2021.

Received and entered in the records of locations of the City of Marlborough.

Book _____ Page _____

Attest:



PROPOSED CONDUIT INSTALLATION

AT

92 CROWLEY DR

IN

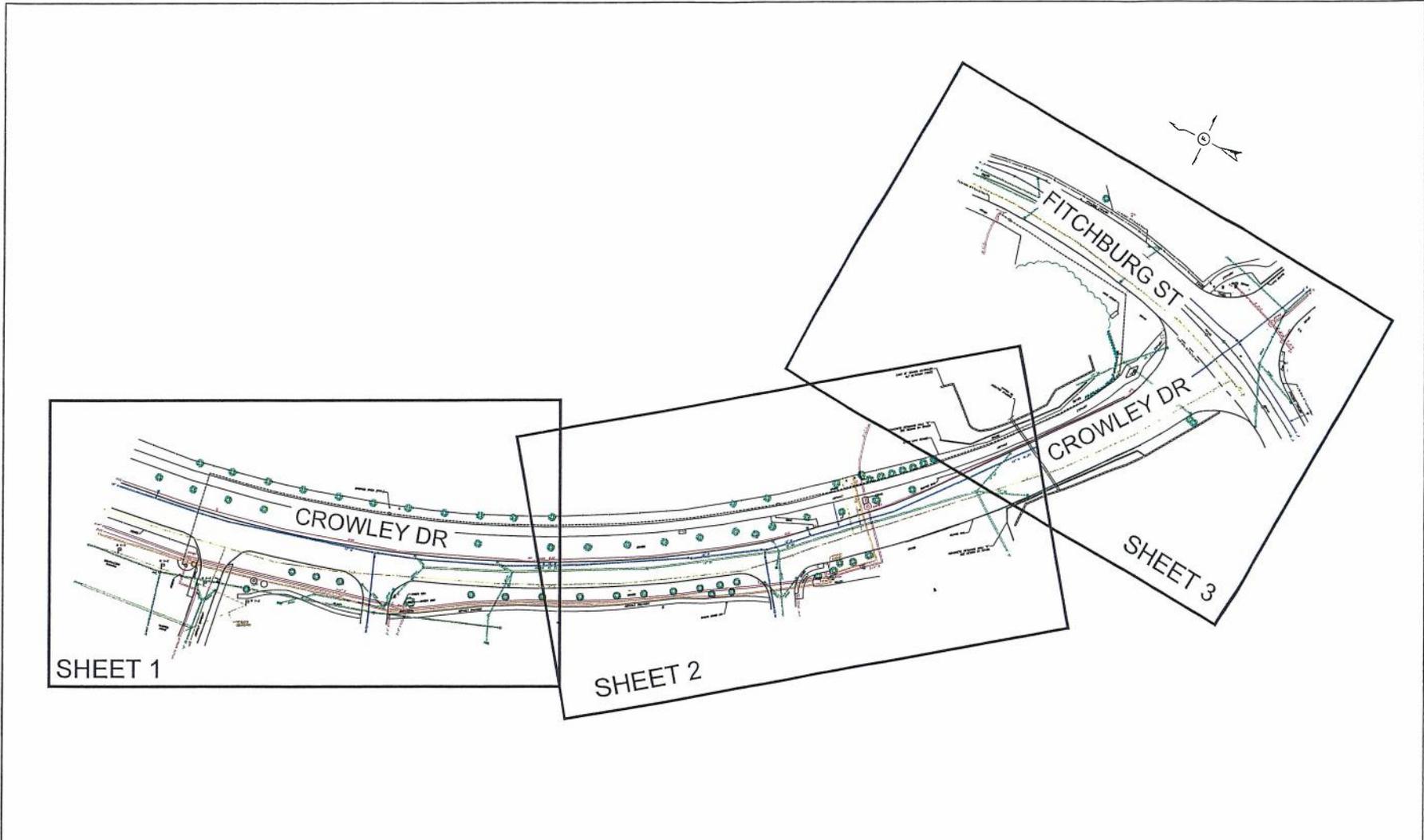
MARLBOROUGH, MA

INDEX OF DRAWING

SHT NO.	DESCRIPTION
KEY01	KEY MAP
01-03	PROPOSED PLAN

July 1, 2021

PREPARED BY:
FAYNET
ENGINEERING GROUP



KEY MAP

DATE	APPROVED	REVISION

UNDERGROUND SERVICE ALERT
 1-800-4-A-SAFE (344-7233)
 CALL BEFORE YOU DIG
 72 HOURS NOTICE REQUIRED



— PL — PROPERTY LINE	▲ PK NAIL	⊙ TRAFFIC SIGNAL
— EP — EDGE OF PAVEMENT	⊙ PARKING METER	⊙ TRAFFIC BOX
□ PROPOSED HAND HOLE	⊙ DOUBLE PARKING METER	⊙ RCM MH
□ PROPOSED MANHOLE	⊙ HANDICAP RAMP	⊙ UNKNOWN MH
--- PROPOSED CONDUIT	⊙ STONE BOUND	⊙ GAS GATE
--- AS-BUILT CONDUIT	⊙ MANHOLE	⊙ UNKNOWN GATE
	⊙ STUMP	⊙ TREE
		⊙ BUSH

⊙ SEWER MH	⊙ MONITORING WELL
⊙ ORDN MH	⊙ SOLE OWNED ELEC POLE
⊙ CATCH BASIN	⊙ SOLE OWNED TEL POLE
⊙ W/LET CATCH BASIN	⊙ LIGHT POLE
⊙ TELEPHONE MH	⊙ ELECTRIC MH
⊙ STEAM MH	⊙ WATER MH
⊙ CABLE TV MH	⊙ WATER VALVE
	⊙ WATER GATE
	⊙ TRANSFORMER
	⊙ SIGN POLE

W — WATER PIPE	W — WATER PIPE
S — SEWER PIPE	S — SEWER PIPE
D — DRAIN PIPE	D — DRAIN PIPE
E — ELECTRIC PIPE	E — ELECTRIC PIPE
CAV — CATV PIPE	CAV — CATV PIPE
ST — STEAM PIPE	ST — STEAM PIPE

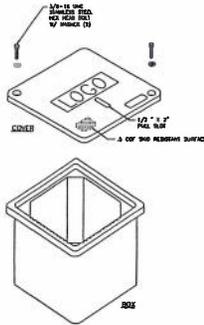
NOTE: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES AND SYSTEMS ARE APPROXIMATE. THEY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE BECOMING RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES. ALL PREPARED SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO CONTACT "1-800-4-A-SAFE" 72 HOURS PRIOR TO ANY EXCAVATION.

PREPARED FOR:
 CROWN CASTLE
 PREPARED BY:
 FAYNET ENGINEERING GROUP

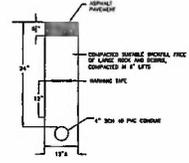
KEY MAP	
LOCATION:	92 CROWLEY DR HARLORDROCK, MA
CHECKED BY: RM	APPROVED: SC
DRAWN BY: DR	DATE: JUNE, 2021
SCALE: N.T.S	SHEET: KEY01

GENERAL NOTES

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY. THEY HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THEIR REPRESENTATIVE. THE CONTRACTOR WILL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE ALL UNDERGROUND UTILITIES.
2. IF AN EXISTING UTILITY IS FOUND TO HAVE CAUSED A CONFLICT WITH THE PROPOSED WORK, AS IN THE LOCATION, ELEVATION AND SIZE OF THE UTILITY, IT SHOULD BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR. THE INFORMATION SHOULD THEN BE FORWARDED TO THE ENGINEER TO RESOLVE THE CONFLICT.
3. THE CONTRACTOR SHOULD MAINTAIN A SEPARATION OF 18 INCHES MIN. WHEN CROSSING EXISTING WATER FACILITIES.
4. THE CONTRACTOR WILL MAKE ALL OF THE ARRANGEMENTS FOR THE ADJUSTMENT OF ALL UTILITIES, PRIVATE AND PUBLIC.
5. THE CONTRACTOR SHOULD NOT DISTURB PUBLIC TREES AND SHRUBS.
6. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS WILL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT NO EXPENSE TO THE OWNER.
7. THE CONTRACTOR WILL BE RESPONSIBLE FOR PLACING AND MAINTAINING TEMPORARY RESURFACING OR PLATING FOR ALL EXCAVATIONS ON PAVED STREETS AND SIDEWALKS UNTIL PERMANENT RESURFACING IS COMPLETE.
8. JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENTS AND SAW CUT EXISTING PAVEMENT SHOULD BE SEALED WITH BITUMEN AND PROPERLY BACK SAVED.
9. THE CONTRACTOR SHOULD PROTECT AND SUPPORT ALL EXISTING UTILITY LINES THAT BECOME EXPOSED DUE TO EXCAVATION.
10. THE CONTRACTOR WILL REPLACE ALL DISTURBED TRAFFIC SIGNAL LIGHT STRUCTURES TO A PROPER WORKING CONDITION AS REQUIRED BY THE MOST RECENT STANDARDS OF THE MUNICIPAL TRAFFIC DEPARTMENT.
11. ALL EXISTING STATE, COUNTY, CITY, TOWN LOCATION, AND PRIVATE PROPERTY LINES HAVE BEEN USED FROM AVAILABLE INFORMATION. THEIR EXACT LOCATIONS ARE NOT GUARANTEED.
12. THE CONTRACTOR WILL REPLACE ALL PAYMENT MARKINGS IN THEIR ENTIRETY THAT HAS BEEN DAMAGED BY TRENCH EXCAVATION OR OPERATIONS USING SIMILAR COLOR AND SIZE THERMOPLASTIC MARKINGS.



TYPICAL COMPOSITE HANDHOLE FRAME AND COVER
N.E.S.

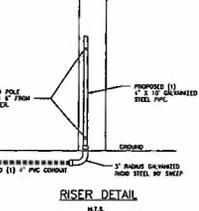


ROADWAY PATCH AND DUCT BANK INSTALLATION DETAIL
N.E.S.

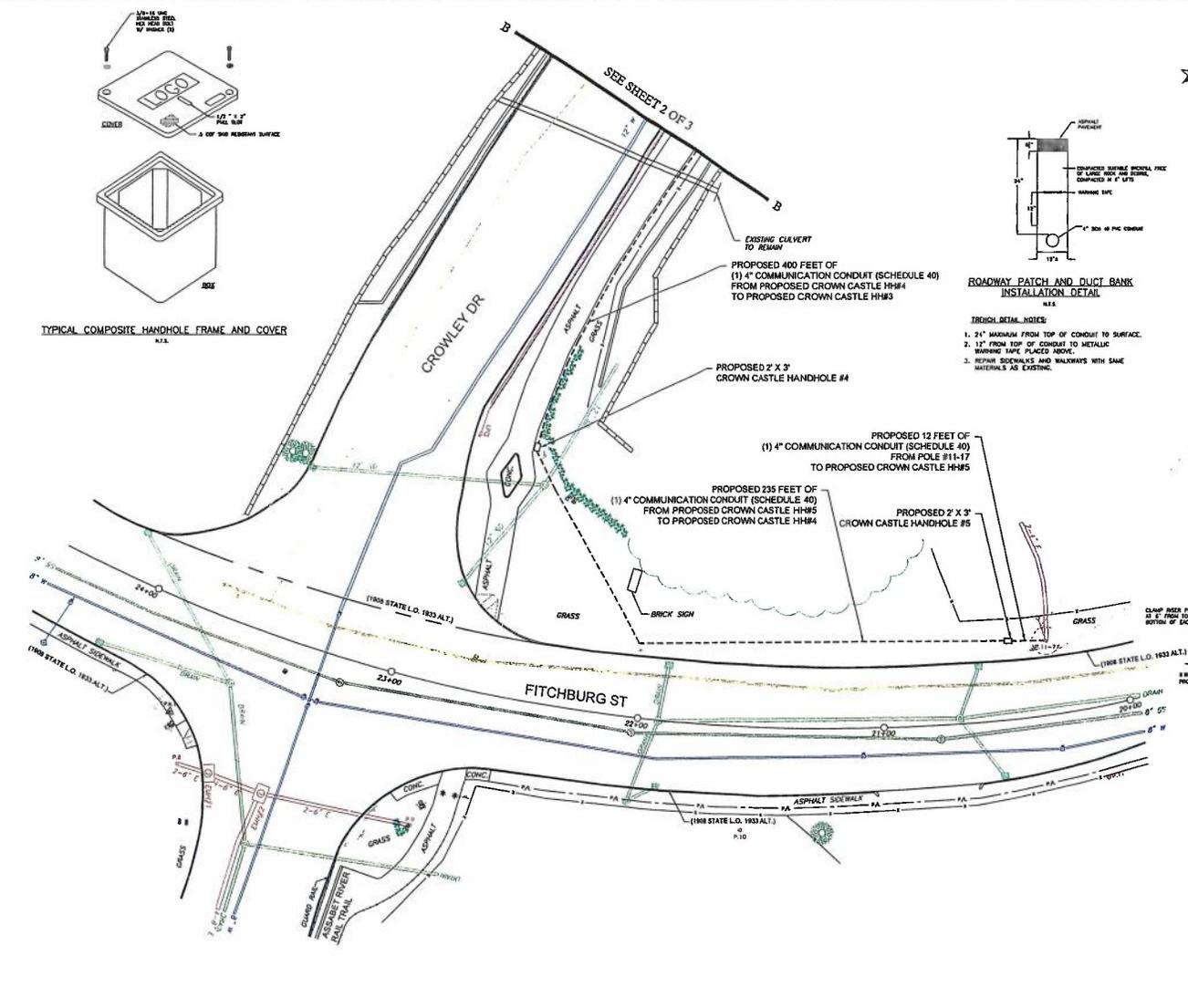
- TRENCH DETAIL NOTES:**
1. 24" MAXIMUM FROM TOP OF CONDUIT TO SURFACE.
 2. 12" FROM TOP OF CONDUIT TO METALLIC WARNING TAPE PLACED ABOVE.
 3. REPAIR SIDEWALKS AND WALKWAYS WITH SAME MATERIALS AS EXISTING.



FITCHBURG ST QUADRANT DETAIL
N.E.S.



RISER DETAIL
N.E.S.



1" = 20 FEET

0 20 40 60

UNDERGROUND SERVICE ALERT
1-888-DIG-SAFE (344-7233)
CALL BEFORE YOU DIG
72 HOURS NOTICE REQUIRED

LEGEND	
— PA —	PROPERTY LINE
— WP —	EDGE OF PAVEMENT
□	PROPOSED HAND HOLE
□	PROPOSED MANHOLE
---	PROPOSED CONDUIT
---	AS-BUILT CONDUIT
△	PK NAIL
⊕	PARKING METER
⊕	DOUBLE PARKING METER
⊕	HANDICAP RAMP
⊕	STONE BOUND
⊕	HANDHOLE
⊕	STUMP
⊕	TRAFFIC SIGNAL
⊕	TRAFFIC BOX
⊕	RCN MH
⊕	UNKNOWN MH
⊕	GAS GATE
⊕	UNKNOWN GATE
⊕	TREE
⊕	BUSH
⊕	SEWER MH
⊕	DRAIN MH
⊕	CATCH BASIN
⊕	INLET CATCH BASIN
⊕	TELEPHONE MH
⊕	STEAM MH
⊕	CABLE TV MH
⊕	MONITORING WELL
⊕	INTERMANT
⊕	WATER VALVE
⊕	WATER GATE
⊕	WATER MH
⊕	WATER METER
⊕	JOINT OWNED POLE
⊕	SOLE OWNED ELEC POLE
⊕	SOLE OWNED TEL POLE
⊕	LIGHT POLE
⊕	ELECTRIC MH
⊕	TRANSFORMER
⊕	SIGN POLE
— W —	WATER PIPE
— S —	SEWER PIPE
— D —	DRAIN PIPE
— T —	TELEPHONE PIPE
— E —	ELECTRIC PIPE
— CATV —	CATV PIPE
— G —	GAS PIPE
— ST —	STEAM PIPE

DATE APPROVED REVISION

PREPARED FOR: **CROWN CASTLE**

PREPARED BY: **FAYNET ENGINEERING GROUP**

TITLE: **PROPOSED PLAN**

LOCATION: **92 CROWLEY DR MARLBOROUGH, MA**

CHECKED BY: RM APPROVED: SC

DRAWN BY: DR DATE: JULY, 2021

SCALE: 1" = 20' SHEET: 3 OF 3

NOTE: THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL OBTAIN THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO CONTACT THE STATE 72 HOURS PRIOR TO ANY EXCAVATION.

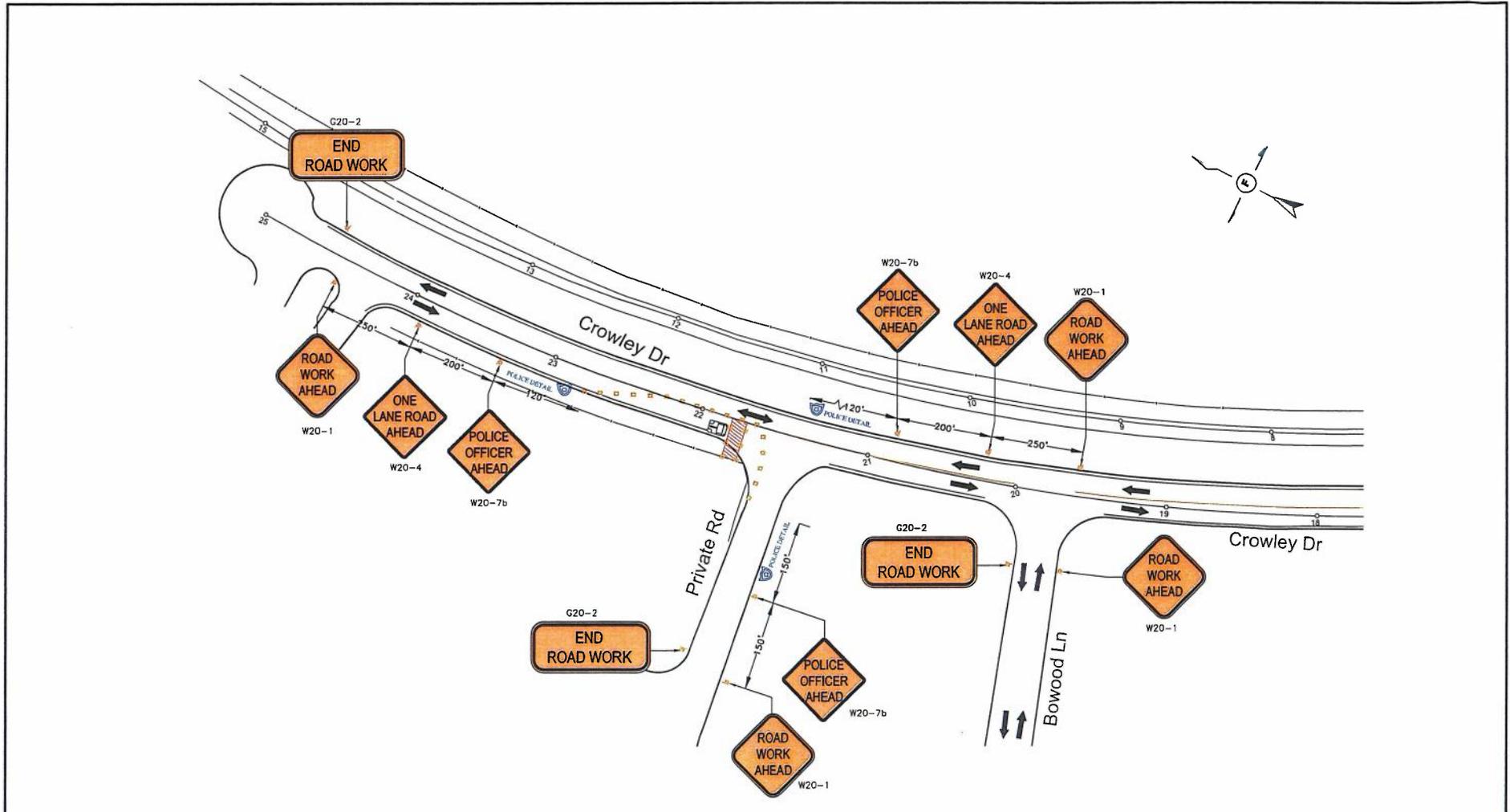


TRAFFIC MANAGEMENT PLANS
FOR
PROPOSED CONDUIT INSTALLATION
AT
92 CROWLEY DR
IN
MARLBOROUGH, MA

INDEX OF DRAWING

<u>SHT NO.</u>	<u>DESCRIPTION</u>
01- 08	TRAFFIC MANAGEMENT PLANS
09	TRAFFIC MANAGEMENT DETAILS

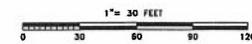
PREPARED BY:
FAYNET
ENGINEERING GROUP



Traffic Management Notes:

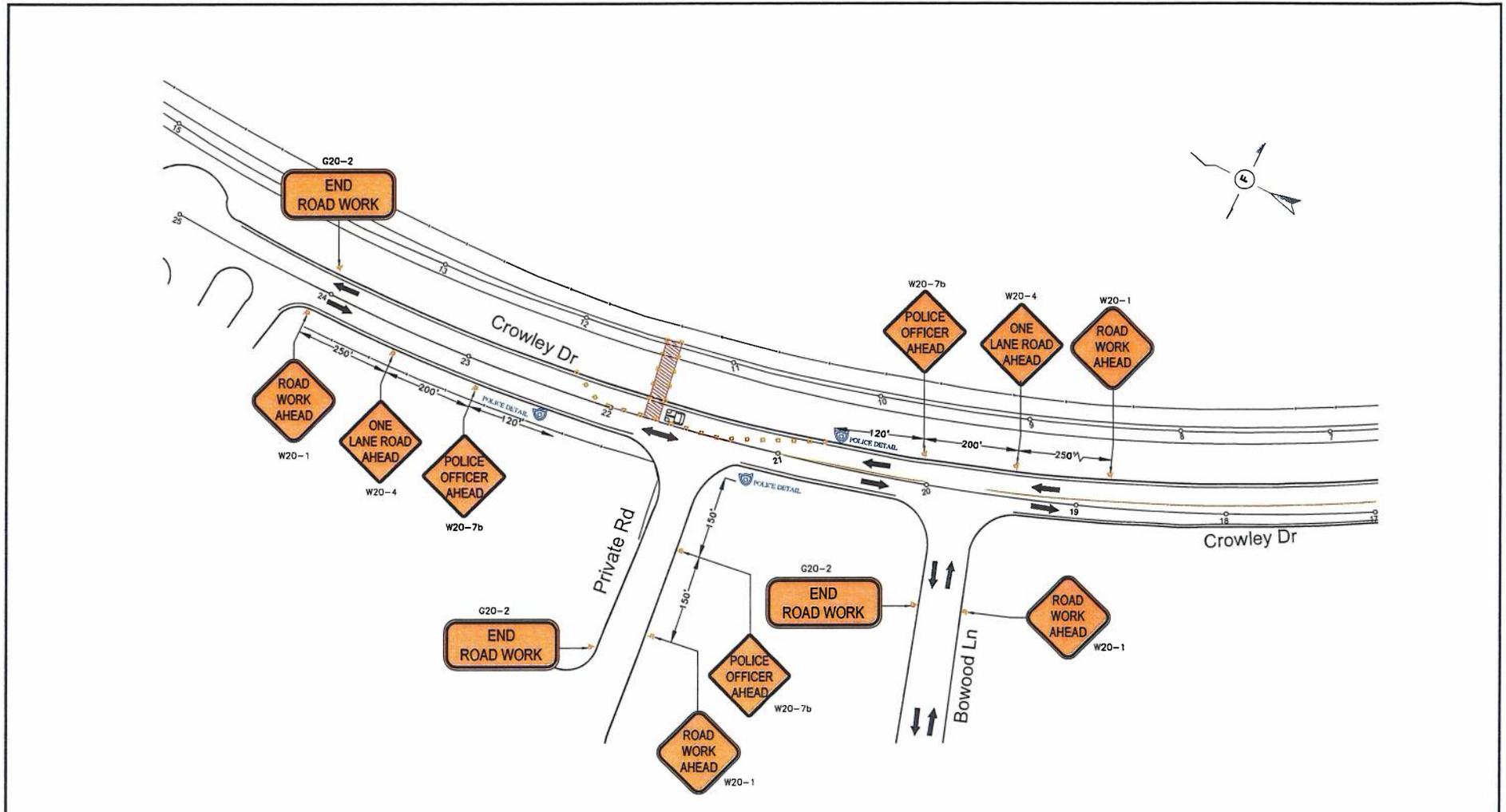
1. Place all safety devices and construction signing before actual construction work begins.
2. Use flags on advanced warning signs. Flags shall be at least 16" x 16".
3. Distances are a guide and may be adjusted based on field conditions.
4. No traffic control devices shall remain on the roadway at the end of each workday, cover signs as necessary when not in use.
5. All warning signs shall be black legend on a reflective orange.
6. All drums shall be placed appropriately or moved as necessary to maintain adequate abutter access at all times.

Prepared by: Faynet Engineering Group, Inc.
 (92 Crowley Dr, Marlborough, MA)



DATE	APPROVED	REVISION

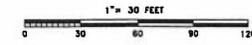
LEGEND		TRAFFIC MANAGEMENT PLANS																																																																																									
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	HANDICAP RAMP		UNKNOWN MH																																																																																								
	STONE BOUND		GAS GATE																																																																																								
	HANDHOLE		UNKNOWN GATE																																																																																								
	STUMP		TREE																																																																																								
			BUSH																																																																																								
	SEWER MH		JOINT OWNED POLE																																																																																								
	DRAIN MH		SOLE OWNED ELEC POLE																																																																																								
	CATCH BASIN		SOLE OWNED TEL POLE																																																																																								
	INLET CATCH BASIN		LIGHT POLE																																																																																								
	TELEPHONE MH		ELECTRIC MH																																																																																								
	STEAM MH		TRANSFORMER																																																																																								
	WATER MH		SIGN POLE																																																																																								
	WATER METER																																																																																										
<p>PROPOSED BY: CROWN CASTLE</p> <p>PREPARED BY: FAYNET ENGINEERING GROUP</p>		<p>PROJECT: TRAFFIC MANAGEMENT PLANS</p> <p>LOCATION: 92 CROWLEY DR, MARLBOROUGH, MA</p> <table border="1"> <tr> <td>CHANGED BY:</td> <td>DATE:</td> <td>APPROVED BY:</td> <td>DATE:</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table> <p>SCALE: 1" = 30'</p> <p>SHEET: 1 OF 1</p>		CHANGED BY:	DATE:	APPROVED BY:	DATE:																																																																																				
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Traffic Management Notes:

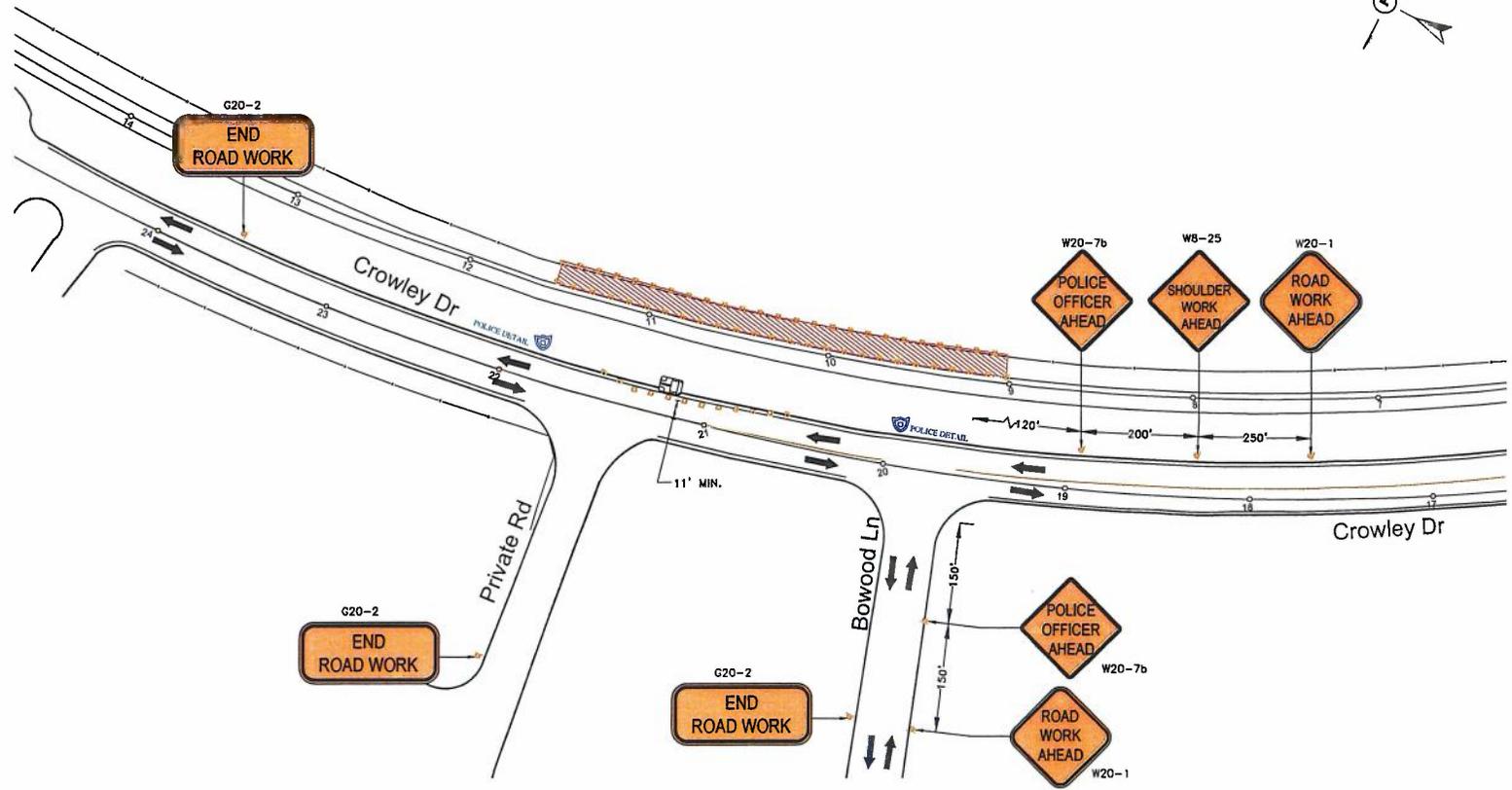
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5. All warning signs shall be black legend on a reflective orange.
6. All drums shall be placed appropriately or moved as necessary to maintain adequate abutter access at all times.

Prepared by: Faynet Engineering Group, Inc.
 (92 Crowley Dr, Marlborough, MA)



DATE	APPROVED	REVISION

 TRUCK POLICE/FLAGGED	← EXISTING TRAFFIC FLOW → PROPOSED TRAFFIC FLOW ○ TRAFFIC DRUM ○ TRAFFIC CONE ■ WORK AREA	— PA — PROPERTY LINE — EP — EDGE OF PAVEMENT □ PROPOSED HAND HOLE □ PROPOSED MANHOLE - - - - - PROPOSED CONDUIT — AS-BUILT CONDUIT	▲ PK NAIL ○ PARKING METER ○ DOUBLE PARKING METER □ HANDICAP RAMP □ STONE BOUND ○ HANDHOLE ○ STUMP ○ TREE ○ BUSH	○ TRAFFIC SIGNAL ○ TRAFFIC BOX ○ RCM MH ○ UNKNOWN MH ○ GAS GATE ○ UNKNOWN GATE ○ TREE ○ BUSH	○ SEWER MH ○ DRAIN MH ○ CATCH BASIN ○ INLET CATCH BASIN ○ TELEPHONE MH ○ STEAM MH ○ CABLE TV MH ○ MONITORING WELL ○ HYDRANT ○ WATER VALVE ○ WATER GATE ○ WATER MH ○ WATER METER	○ JOINT OWNED POLE ○ SOLE OWNED ELEC POLE ○ SOLE OWNED TEL POLE ○ LIGHT POLE ○ ELECTRIC MH ○ TRANSFORMER ○ SIGN POLE	— W — WATER PIPE — S — SEWER PIPE — D — DRAIN PIPE — T — TELEPHONE PIPE — E — ELECTRIC PIPE — C — CABLE TV PIPE — G — GAS PIPE — ST — STEAM PIPE	NOTE: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO CAREFULLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO CONTACT "DIG SAFE" 72 HOURS PRIOR TO ANY EXCAVATION.	PREPARED FOR: CROWN CASTLE PREPARED BY: FAYNET ENGINEERING GROUP	TITLE: TRAFFIC MANAGEMENT PLANS LOCATION: 92 CROWLEY DR MARLBOROUGH, MA CHECKED BY: RM APPROVED BY: JC DRAWN BY: DS DATE: MAY, 2011 SCALE: 1" = 30' SHEET: 2 OF 8
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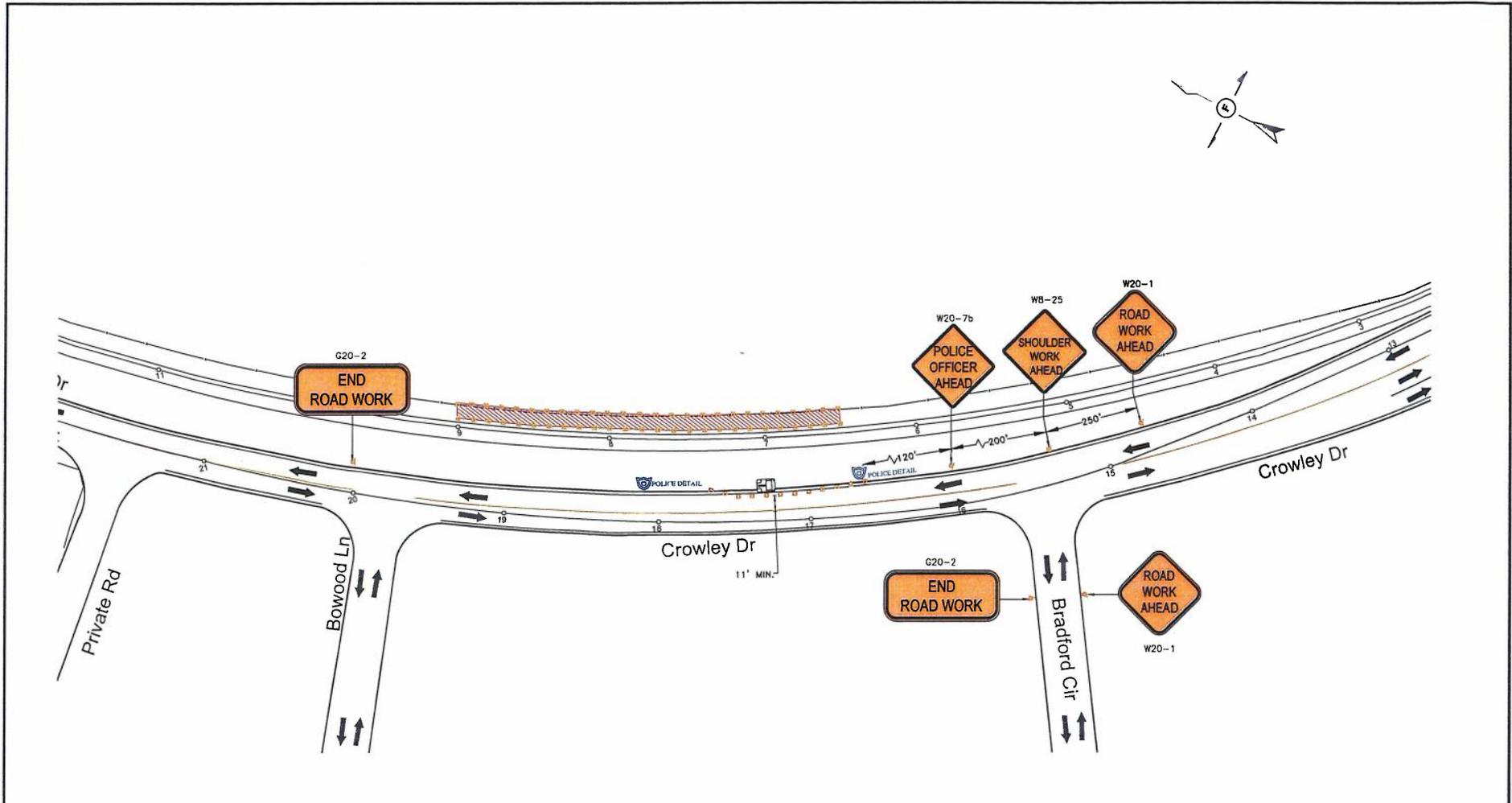
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Prepared by: **Faynet Engineering Group, Inc.**
 (92 Crowley Dr, Marlborough, MA)



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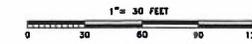
TRUCK POLICE/FLAGGED	EXISTING TRAFFIC FLOW PROPOSED TRAFFIC FLOW TRAFFIC DRUM TRAFFIC CONE WORK AREA	PA PROPERTY LINE EPV EDGE OF PAVEMENT PROPOSED HAND HOLE PROPOSED MAN-HOLE PROPOSED CONDUIT AS-BUILT CONDUIT	PK NAIL PARKING METER DOUBLE PARKING METER HANDICAP RAMP STONE BOUND HANDHOLE STUMP	TRAFFIC SIGNAL TRAFFIC BOX REN MH UNKNOWN MH GAS GATE UNKNOWN GATE TREE BUSH	LEGEND MBTA MH MONITORING WELL HYDRANT WATER VALVE WATER GATE WATER MH WATER METER	JOINT OWNED POLE SOLE OWNED ELEC POLE LIGHT POLE ELECTRIC MH TRANSFORMER SIGN POLE	WATER PIPE SEWER PIPE DRAIN PIPE TELEPHONE PIPE ELECTRIC PIPE CUIV PIPE GAS PIPE STEAM PIPE	NOTE: THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND SIGNAGE SHALL BE DETERMINED BY FIELD SURVEY AND SHALL BE SHOWN AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO CONTACT "DIG SAFE" 72 HOURS PRIOR TO ANY EXCAVATION.	PREPARED FOR: CROWN CASTLE PREPARED BY: FAYNET ENGINEERING GROUP	TITLE: TRAFFIC MANAGEMENT PLANS LOCATION: 92 CROWLEY DR MARLBOROUGH, MA CHECKED BY: RM APPROVED BY: EC DRAWN BY: DS DATE: JULY, 2021 ROAD: I-90 SHEET: 3 OF 3
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Traffic Management Notes:

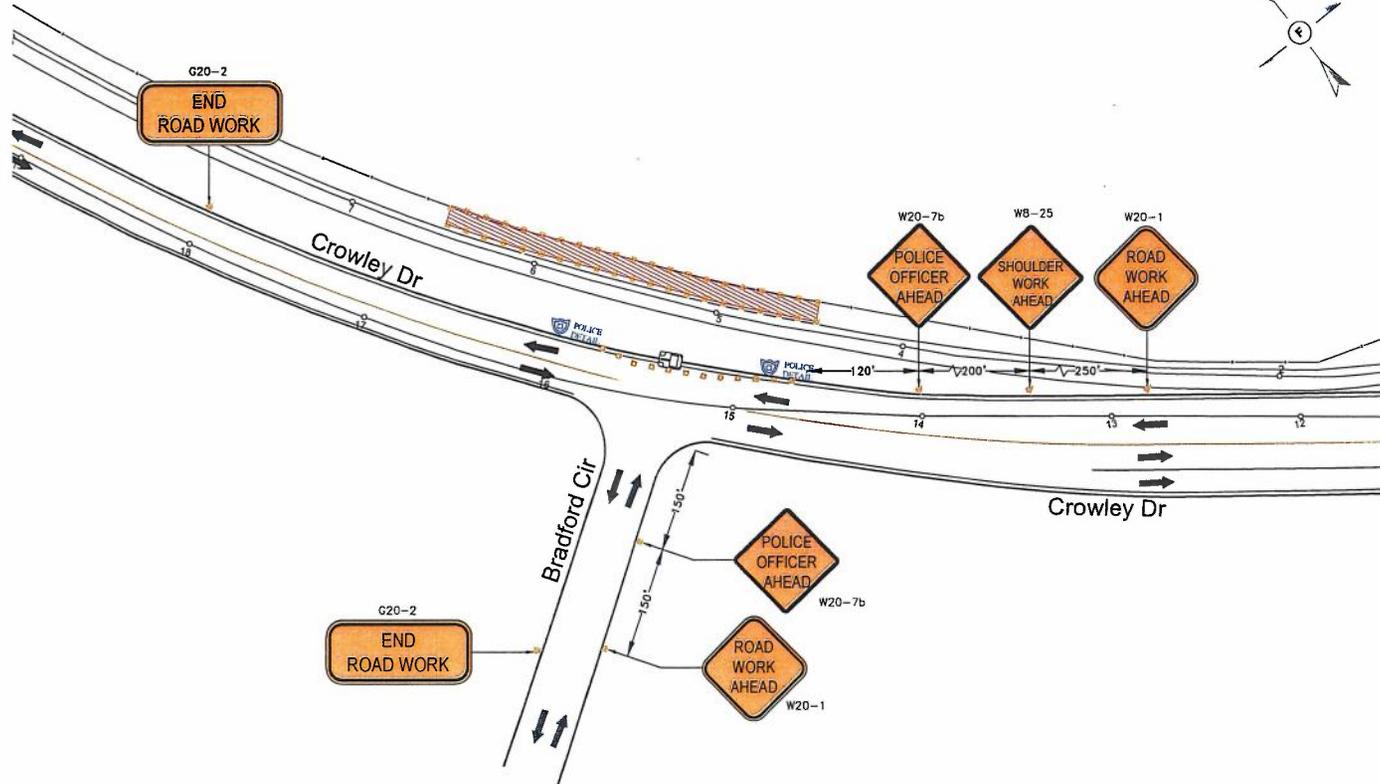
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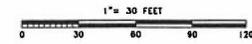
TRUCK POLICE/FLAGGED	EXISTING TRAFFIC FLOW PROPOSED TRAFFIC FLOW TRAFFIC DRUM TRAFFIC CONE WORK AREA	PA EDGE OF PAVEMENT PROPOSED HAND HOLE PROPOSED MANHOLE PROPOSED CONDUIT AS-BUILT CONDUIT	PK NAIL PARKING METER DOUBLE PARKING METER HANDICAP RAMP STONE BOUND HANDHOLE STUMP	TRAFFIC SIGNAL TRAFFIC BOX RM MH UNKNOWN MH GAS GATE UNKNOWN GATE TREE BUSH	SEWER MH DRAIN MH CATCH BASIN INLET CATCH BASIN TELEPHONE MH STEAM MH CABLE TV NH	MGA MH MONITORING WELL HYDRANT WATER VALVE WATER GATE WATER MH WATER METER	JOINT OWNED POLE SOLE OWNED ELEC POLE SOLE OWNED TEL POLE LIGHT POLE ELECTRIC MH TRANSFORMER SON POLE	WATER PIPE SEWER PIPE DRAIN PIPE TELEPHONE PIPE ELECTRIC PIPE CATV PIPE GAS PIPE STEAM PIPE	<p>NOTE: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY NOT BEAT INDICATED. UTILITIES OWNED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO CONTACT "DIG SAFE" 72 HOURS PRIOR TO ANY EXCAVATION.</p>	<p>PREPARED FOR: CROWN CASTLE</p> <p>PREPARED BY: FAYNET ENGINEERING GROUP</p>	<p>TITLE: TRAFFIC MANAGEMENT PLANS LOCATION: 92 CROWLEY DR, MARLBOROUGH, MA</p> <p>CHECKED BY: [] DATE: [] DRAWN BY: DS DATE: JULY, 2021 SCALE: 1" = 30' SHEET: 4 OF 8</p>
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Traffic Management Notes:

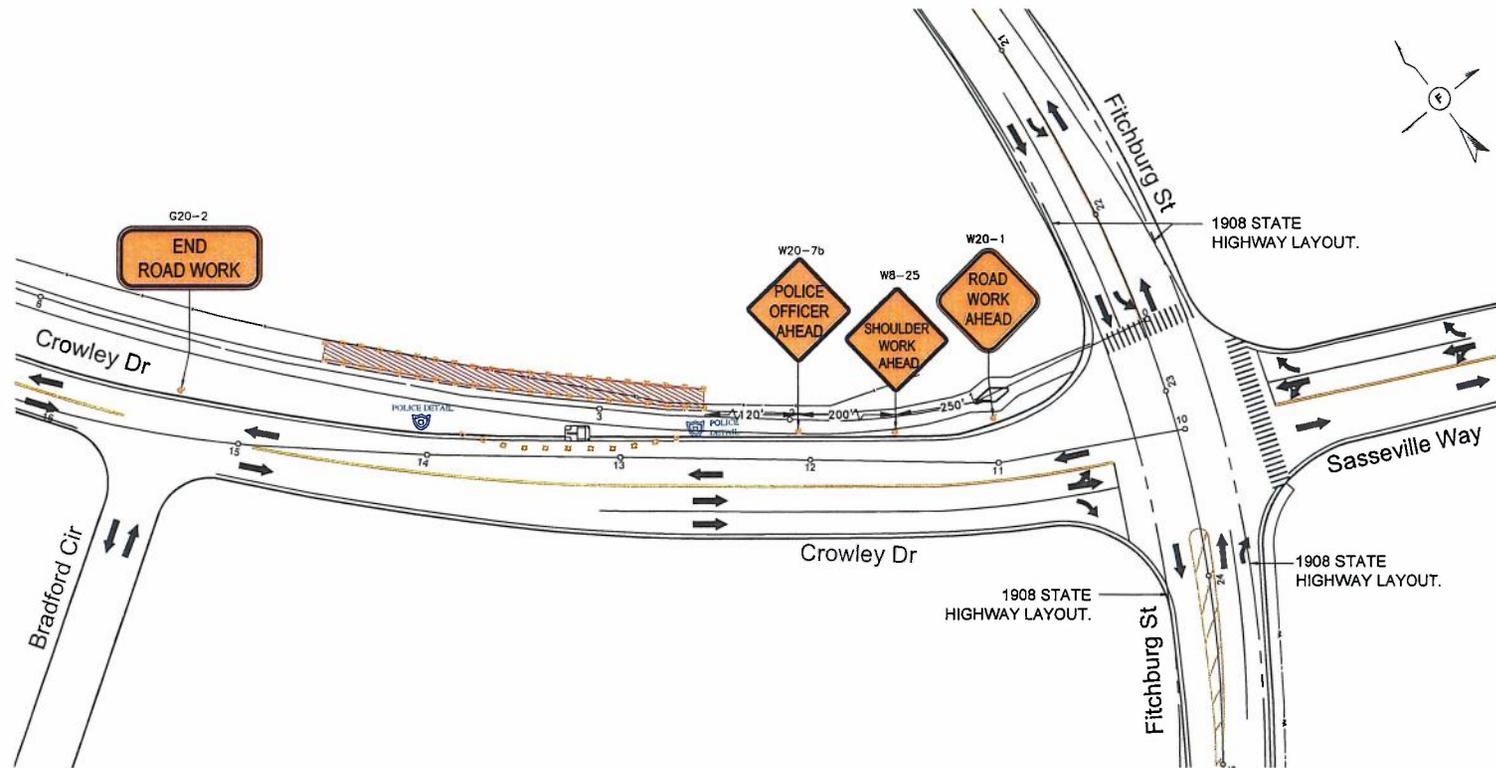
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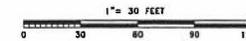
TRUCK POLICE/FLAGGED	← EXISTING TRAFFIC FLOW → PROPOSED TRAFFIC FLOW TRAFFIC DRUM TRAFFIC CONE WORK AREA	--- PL --- PROPERTY LINE --- EP --- EDGE OF PAVEMENT PROPOSED HAND HOLE PROPOSED MAN-HOLE - - - - - PROPOSED CONDUIT --- AS-BUILT CONDUIT	▲ PK NAIL ○ PARKING METER ○ DOUBLE PARKING METER HANDICAP RAMP STONE BOUND HANDHOLE STUMP	○ TRAFFIC SIGNAL □ TRAFFIC BOX ○ RCH MH ○ UNKNOWN MH ○ GAS GATE ○ UNKNOWN GATE ○ TREE ○ BUSH	○ SEWER MH ○ DRAIN MH ○ CATCH BASIN ○ INLET CATCH BASIN ○ TELEPHONE MH ○ STEAM MH ○ CABLE TV MH ○ MBTA MH ○ MONITORING WELL ○ HYDRANT ○ WATER VALVE ○ WATER GATE ○ WATER MH ○ WATER METER	○ JOINT OWNED POLE ○ SOLE OWNED ELEC POLE ○ SOLE OWNED TEL POLE ○ LIGHT POLE ○ ELECTRIC MH ○ TRANSFORMER ○ SIGN POLE	--- W --- WATER PIPE --- S --- SEWER PIPE --- D --- DRAIN PIPE --- T --- TELEPHONE PIPE --- E --- ELECTRIC PIPE --- G --- GUY PIPE --- G --- GAS PIPE --- ST --- STEAM PIPE	NOTE: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS AN APPROXIMATE SIZE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK, AND ACCEPTS TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGED SIGNS WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO CONTACT "DIG SAFE" 72 HOURS PRIOR TO ANY EXCAVATION.	PREPARED FOR: CROWN CASTLE PREPARED BY: FAYNET ENGINEERING GROUP	TITLE: TRAFFIC MANAGEMENT PLANS LOCATION: 92 CROWLEY DR MARLBOROUGH, MA ORDERED BY: RM APPROVED BY: SC DRAWN BY: DE DATE: JULY, 2021 ROAD: I-90 SHEET: 3 OF 6
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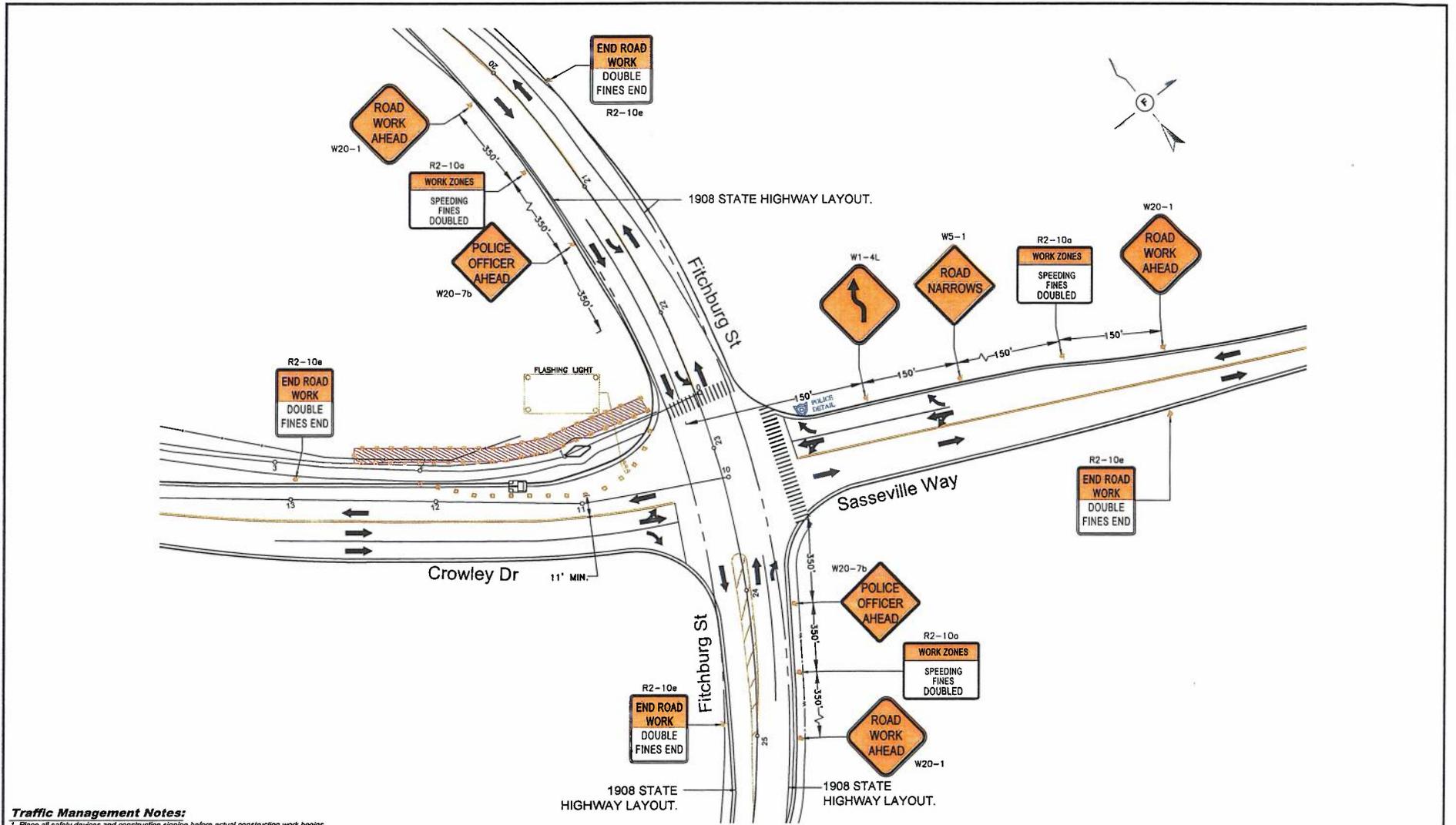
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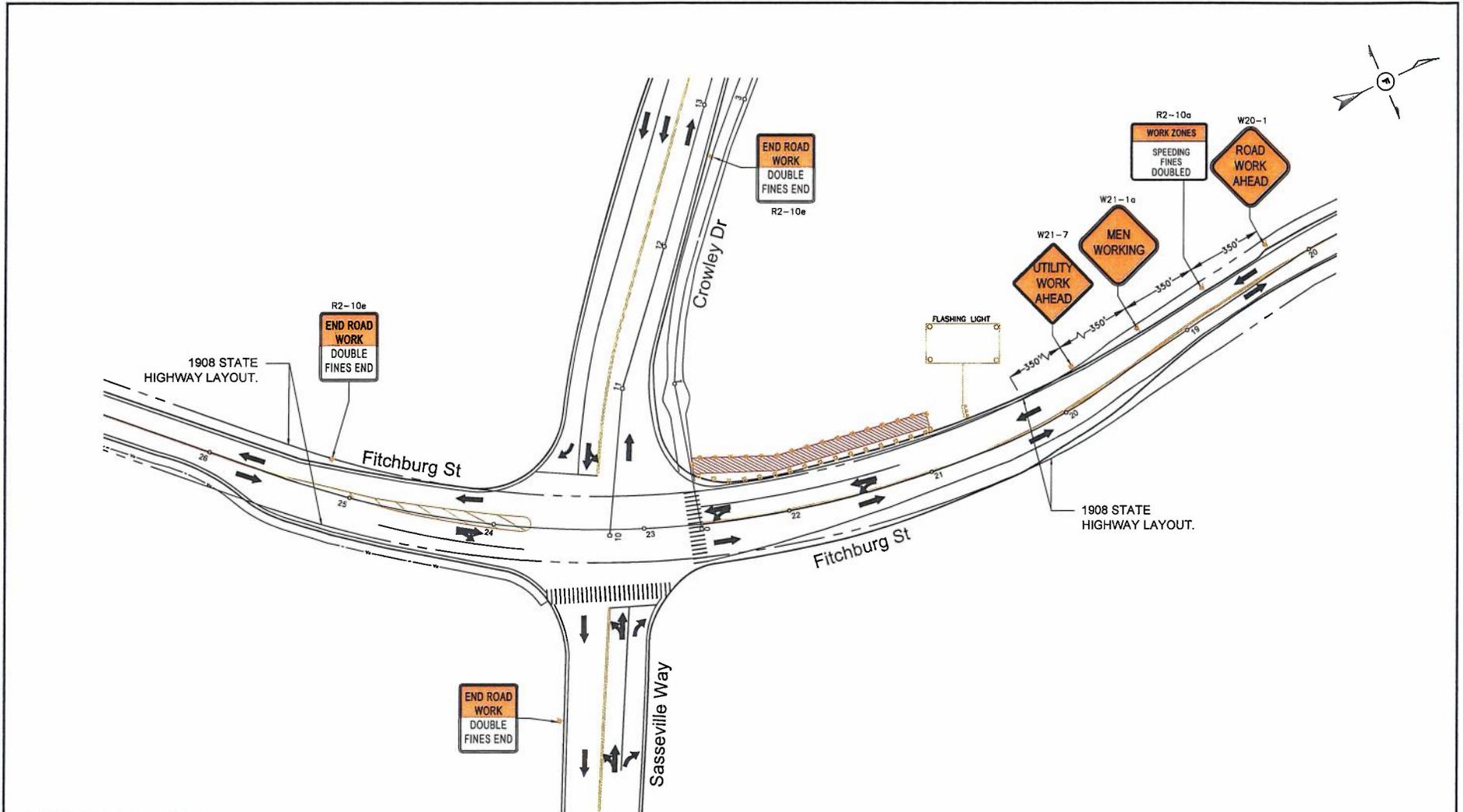
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1" = 30 FEET

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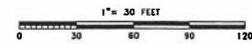
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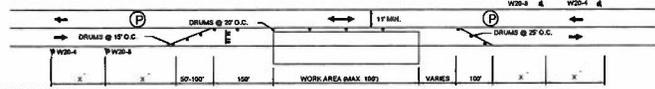


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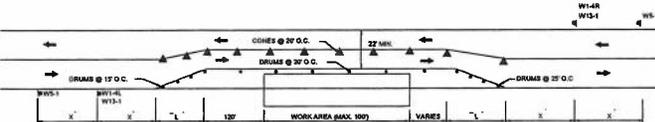
TRUCK POLICE/FLAGGED	EXISTING TRAFFIC FLOW PROPOSED TRAFFIC FLOW TRAFFIC DRUM TRAFFIC CONE WORK AREA	PA — PROPERTY LINE EOP — EDGE OF PAVEMENT PROPOSED HAND HOLE PROPOSED MANHOLE PROPOSED CONDUIT AS-BUILT CONDUIT	PK MHL PARKING METER DOUBLE PARKING METER HANDICAP RAMP STONE BOUND HANDHOLE STUMP	TRAFFIC SIGNAL TRAFFIC BOX RCM MH UNKNOWN MH GAS GATE UNKNOWN GATE TREE BUSH	SEWER MH DRAIN MH CATCH BASIN INLET CATCH BASIN TELEPHONE MH STEAM MH CABLE TV MH	MBTA MH MONITORING WELL HYDRANT WATER VALVE WATER MH WATER METER	JOINT OWNED POLE SOLE OWNED ELEC POLE SOLE OWNED TEL POLE LIGHT POLE ELETRIC MH TRANSFORMER SIGN POLE	W — WATER PIPE S — SEWER PIPE D — DRAIN PIPE T — TELEPHONE PIPE E — ELECTRIC PIPE C — CAVY PIPE G — GAS PIPE ST — STEAM PIPE	NOTE: THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO CONTACT "DIG SAFE" 72 HOURS PRIOR TO ANY EXCAVATION.	PREPARED FOR: CROWN CASTLE PREPARED BY: FAYNET ENGINEERING GROUP	TITLE: TRAFFIC MANAGEMENT PLANS LOCATION: 92 CROWLEY DR, MARLBOROUGH, MA CHECKED BY: [] DRAWN BY: [] SCALE: 1" = 30' APPROVED BY: [] DATE: JULY, 2011 SHEET: 8 OF 9
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OPERATIONAL SIGNING

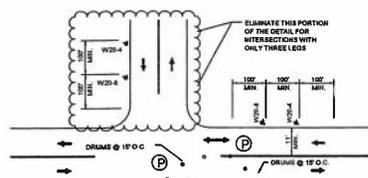
LANE CLOSURES SHOWN ARE FOR TEMPORARY CONSTRUCTION
ALL DRUMS AND SIGNS ARE SHOWN AS THEY SHOULD APPEAR
DURING THE WORKING DAY, OR WHILE OPERATING IN THE WORK ZONE



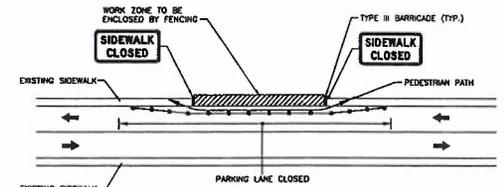
TYPICAL TWO WAY STREET LANE CLOSURE
NOT TO SCALE



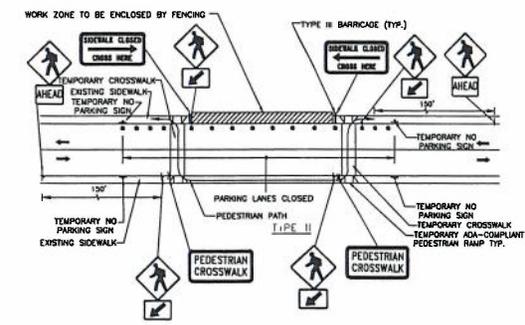
TYPICAL TWO WAY STREET LANE SHIFT
NOT TO SCALE



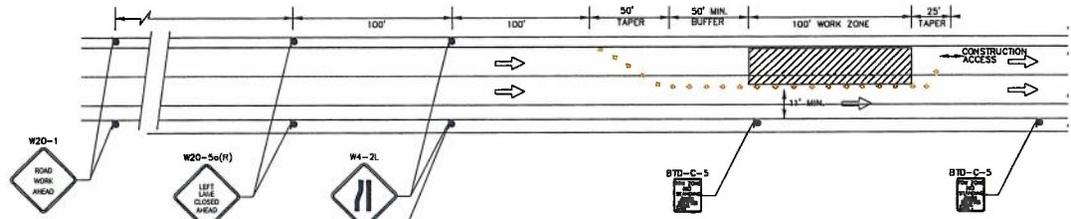
ONE LANE BI-DIRECTIONAL TRAFFIC AT INTERSECTIONS
NOT TO SCALE
NOTE: 1. ADVANCE WARNING SIGN PLACEMENT TO BE ADJUSTED AS NECESSARY



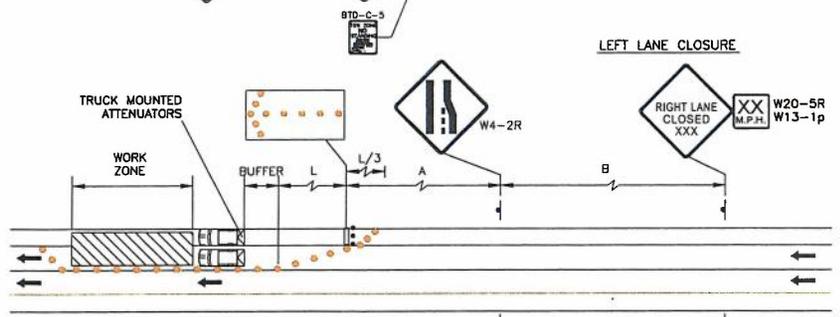
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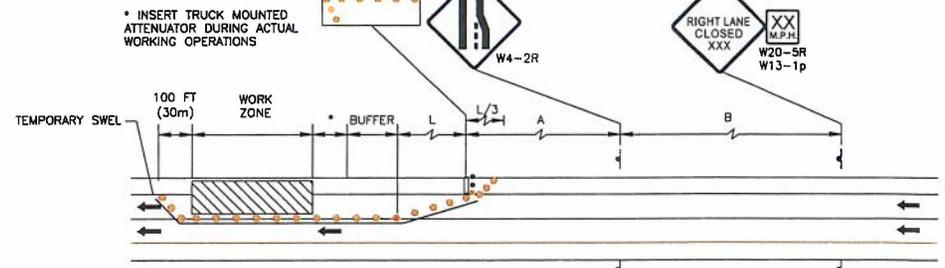
TYPICAL CONSTRUCTION PATTERN AND CONSTRUCTION SIGNING FOR SIDEWALK CLOSURE
NOT TO SCALE



LEFT LANE CLOSURE



RIGHT LANE CLOSED XXX
W20-5R
W13-1p



* INSERT TRUCK MOUNTED ATTENUATOR DURING ACTUAL WORKING OPERATIONS



TRUCK POLICE/FLAGGED	EXISTING TRAFFIC FLOW PROPOSED TRAFFIC FLOW TRAFFIC DRUM TRAFFIC CONE WORK AREA	PROPERTY LINE EDGE OF PAVEMENT PROPOSED HAND HOLE PROPOSED MANHOLE PROPOSED CONDUIT AS-BUILT CONDUIT	PK NAIL PARKING METER DOUBLE PARKING METER HANDICAP RAMP STONE BOUND HANDHOLE STUMP	TRAFFIC SIGNAL TRAFFIC BOX RICH MH UNKNOWN MH GAS GATE UNKNOWN GATE TREE BUSH	LEGEND M&T MH MONITORING WELL HYDRANT WATER VALVE WATER GATE WATER MH WATER METER JOINT OWNED POLE SOLE OWNED ELEC POLE LIGHT POLE ELECTRIC MH TRANSFORMER SIGN POLE	WATER PIPE SEWER PIPE DRAIN PIPE TELEPHONE PIPE ELECTRIC PIPE CAVITY PIPE GAS PIPE STEAM PIPE	<p>NOTE: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS AN APPROXIMATE MAP ONLY AND HAVE NOT BEEN INDICATED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL RETELLS THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO CAREFULLY LOCATE AND PREPARE ANY AND ALL UNDERGROUND UTILITIES. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO CONTACT "DIG SAFE" 72 HOURS PRIOR TO ANY EXCAVATION.</p>	<p>PREPARED FOR: CROWN CASTLE</p> <p>PREPARED BY: FAYNET ENGINEERING GROUP</p>	<p>TITLE: TRAFFIC MANAGEMENT DETAILS</p> <p>LOCATION: 32 CROWLEY DR, MAINE, ROCKFORD, MA</p> <p>DRAWN BY: RM CHECKED BY: DS SCALE: N.E.S.</p> <p>APPROVED BY: [Signature] DATE: JULY, 2021 SHEET: 8 OF 8</p>
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Commonwealth of Massachusetts
**EXECUTIVE OFFICE OF
 HOUSING & ECONOMIC DEVELOPMENT**
 ONE ASHBURTON PLACE, ROOM 2101
 BOSTON, MA 02108
 www.mass.gov/eohed

RECEIVED
 CITY CLERK'S OFFICE
 MARLBOROUGH
 2021 AUG 23 P 6:31

CHARLES D. BAKER
 GOVERNOR

KARYN E. POLITO
 LIEUTENANT GOVERNOR

MIKE KENNEALY
 SECRETARY

TELEPHONE
 (617) 788-3610

FACSIMILE
 (617) 788-3605

August 20, 2021

By Email

City of Marlborough
 Office of the Mayor
 c/o Jason Grossfield, City Solicitor
 140 Main Street
 Marlborough, MA 01752
jgrossfield@marlborough-ma.gov

Re: Request for Advisory Opinion – “Eligible Location”
 Commercial Village Overlay District, Marlboro, MA

Dear Attorney Grossfield,

On July 22, 2021, you requested, on behalf of the Marlborough City Council, an advisory opinion as to whether a proposed amendment to the City of Marlborough Zoning Ordinance affects a land area that is an “eligible location” as defined in section 1A of Chapter 40A of the General Laws (hereinafter, the “Zoning Act”). The land area affected by the proposed zoning amendment comprises approximately ten acres as shown on the location map provided with your request (the “Subject Area”). You have requested this advisory opinion in connection with the proposed zoning amendment, a citizen’s petition submitted by Marlborough/Northborough Land Realty Trust (the “Proponent”), to create and add the Subject Area to a new Commercial Village Housing Overlay District (the “Zoning Proposal”). The stated purpose of the Zoning Proposal is to allow an “age-targeted” project comprising multi-family residential units with accessory mixed-use service components. By “age-targeted,” the Proponent indicated that it intends to market the units to older residents but not require an age restriction.¹

¹ Federal and state law prohibit discrimination in providing housing based on familial status (*i.e.*, the presence of children in the household). See 44 U.S.C. § 3604 and G.L. c. 151B, §4, ¶ 6. The Town should consult with Town Counsel before adopting or applying the amended by-law to avoid violating federal and state anti-discrimination laws prohibiting discrimination against families with children.

Marlborough City Solicitor
August 20, 2021
Page 2 of 4

You have informed us that the Planning Board took an unfavorable vote on the Zoning Proposal. The Zoning Proposal is now being reviewed by the Urban Affairs Committee, which will submit its recommendation to the City Council for consideration at a meeting in September.

Definition of Eligible Location

The Zoning Act, as amended by Chapter 358 of the Acts of 2020, defines “eligible locations” as “areas that by virtue of their infrastructure, transportation access, existing underutilized facilities or location make highly suitable locations for residential or mixed use smart growth zoning districts or starter home zoning districts, including without limitation: (i) areas near transit stations, including rapid transit, commuter rail and bus and ferry terminals; or (ii) areas of concentrated development, including town and city centers, other existing commercial districts in cities and towns and existing rural village districts.”

Characteristics of the Subject Area

You have provided the following information about the Subject Area, in addition to information taken from materials submitted by the Proponent.

General description and location. The Subject Area contains approximately ten and a half acres of land located on the corner of Forest Street and Ames Street in the southwest quadrant of the City. The Subject Area is in single ownership, with the exception of one parcel, shown on Assessors Map 100, Parcel 15 and known as 343 Forest Street, which contains an existing single-family residence. The Subject Area is currently within the A-3 zoning district, which allows single-family housing and does not permit multi-family dwellings. The Subject Area is part of an approved but unbuilt definitive subdivision. The Subject Area is mostly wooded and there are no buildings or structures on the property. A portion of the Subject Area appears to be a storage area for drainage or building materials. It is your understanding that, years ago, the owner installed some utilities, fencing, and constructed a detention basin and some construction materials were left on the site. Atkinson Drive is a private way approved as part of a prior subdivision approval that traverses the Subject Area, which was never constructed and does not exist on the ground. There are several municipal easements on the Subject Area, for flowage, drainage, access and utilities, as shown on the existing land use map you provided.

Surrounding areas. The Subject Area is located approximately 0.8 miles from the Route 20 exit off of Interstate Route 495 and is surrounded by mostly single-family residential development, including the adjacent Avalon Bay housing development, which contains approximately 300 multi-family rental units. You have indicated that there is also a new housing project currently under construction on Ames Street, known as the Green District housing project, a multi-phase project that will add 475 units in the area.

Marlborough City Solicitor
August 20, 2021
Page 3 of 4

To the south of the Subject Area, Simarano Drive leads to several nearby large office parks, hotels, trucking hubs, and other attractions such as restaurants, recreational areas (indoor and outdoor) and retail shopping. There is at least one daycare center in the vicinity, as well.

Route 495 and Route 20 are major highways located approximately a mile and half and a mile to the east and north of the Subject Area, respectively. To the east, on the other side of Route 495, is downtown Marlborough, which is approximately eight miles by automobile.

Infrastructure. The Subject Area is served by municipal water and sewer and is part of the MWRA water system. There are no planned infrastructure improvements proposed.

Transportation and pedestrian access. As stated above, the Subject Area does not have any direct public transit access. The Metrowest Regional Transit Authority does have a bus route in Marlborough that stops at Apex Entertainment Plaza, which is 1.0 mile by foot from the northwestern boundary of the Subject Area, at Nickerson Road. The nearest commuter rail station is in Southborough, approximately eight miles away by automobile, with parking available for commuters. Access by automobile is the primary mode of transportation serving the Subject Area but sidewalks and trails do exist. The Panther Trail, which will be completed in October of 2021, will use the existing sidewalks on Simarano Drive, Martinagnelo Drive and Forest Street to link the Subject Area to an existing trail loop. In addition, the Boroughs Loop Trail connection can be made from Forest Street across Cedar Hill to connect to Cedar Swamp trails in Southborough or through to the Apex Entertainment Plaza, as well.

Other relevant characteristics. You have indicated that you are not aware of any existing environmental issues, such as endangered species or contamination, at the Subject Area.

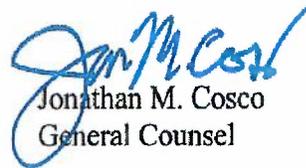
Analysis and Conclusion

Based on all of the foregoing, it is our opinion that, based on the combination of factors, such as, its location, proximity to transit, pedestrian accessibility, and available infrastructure, the Subject Area is highly suitable for residential or mixed-use development, and therefore qualifies as an “eligible location” as defined in the Zoning Act. In reaching this conclusion, we have given significant weight to your representations regarding the proximity of the Subject Area to the Apex Entertainment Plaza as well as other commercial development adjacent to the Subject Area and on Route 20, existing and soon-to-be completed multi-family developments, existing businesses in the area providing employment opportunities, at least one nearby daycare facility, the availability of public transit within a mile of the Subject Area, as well as existing infrastructure and pedestrian access.

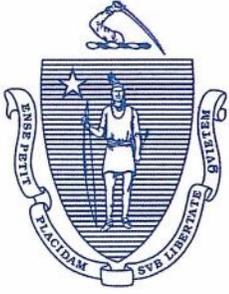
Marlborough City Solicitor
August 20, 2021
Page 4 of 4

This advisory opinion is based on the information provided by you on behalf of the City Council, which, for purposes of this advisory opinion, we have assumed is accurate and complete. This advisory opinion is intended to provide guidance for the City of Marlborough as it proceeds to a final vote on the Zoning Proposal. It is not binding on the municipal legislative body and does not modify the rights or affect the standing of any landowner affected by, or other person with an interest in, the Zoning Proposal. This advisory opinion is limited to the issue of whether the Subject Area is an eligible location and does not establish the threshold of vote required to enact the Zoning Proposal. This advisory determination also does not constitute a determination as to whether the Subject Area would qualify as an "eligible location" under Chapter 40R of the General Laws.

Very truly yours,



Jonathan M. Cosco
General Counsel



THE COMMONWEALTH OF MASSACHUSETTS
STATE RECLAMATION & MOSQUITO CONTROL BOARD

**CENTRAL MASSACHUSETTS
MOSQUITO CONTROL PROJECT**

111 Otis Street, Northborough, MA 01532 - 2414
Telephone (508) 393-3055 • Fax (508) 393-8492
www.cmmcp.org



COMMISSION CHAIRMAN
RICHARD DAY

EXECUTIVE DIRECTOR
TIMOTHY D. DESCHAMPS

August 24, 2021

City of Marlboro
Health Department
Marlboro, MA 01752

Central Massachusetts Mosquito Control Project personnel will be in your community to respond to residents' concerns about mosquitoes in their area on the following dates in August and/or September:

September 1, 9

All dates after September 9th are tentative, and all dates are subject to change due to weather conditions, mosquito populations, mosquito virus activity and/or special event spraying. This program will shut down when cool night time temperatures become predominant in the area. A detailed notice about our spray schedule is posted on the CMMCP phone system after 3:30 p.m. each day, and it is also listed on our website at <http://www.cmmcp.org>, click the "2019 Spray Schedule" button on the right.

Requests for service may be recorded by calling the CMMCP office at (508) 393-3055 between 7:00 AM - 3:30 PM, Monday through Friday, or logging on to <http://www.cmmcp.org>. Results of these requests may initiate an application of mosquito insecticides to defined, site-specific areas of town. Such an application may be accomplished by using truck mounted equipment depending on the extent of the application.

Per 333CMR13.03(1)(a): "Wide Area Applications of pesticides and mosquito control applications of pesticides approved by the State Reclamation and Mosquito Control Board shall not be made to private property which has been designated for exclusion from such application by a person living on or legally in control of said property." For more information please check: <http://www.cmmcp.org> and click the "No Spray Info" button on the right.

Please list this information in the local newspapers and on the local cable access channels if possible. Thank you for your assistance.

Sincerely,

Timothy D. Deschamps

Executive Director

cc: City/Town Clerk
Police Department



RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

200 Wheeler Road
Burlington, MA 01803

2021 SEP -9 A 8:17

September 8, 2021

Michael H. Ossing, President
Marlborough City Council
City Hall
140 Main Street
Marlborough, MA 01752

**Re: Council Order No. 21-1008293
Commercial Village Housing Overlay District**

Dear Hon. President Ossing and Councilors:

The Commercial Village Housing Overlay District (CVHOD) zoning amendment currently before the City Council provides an opportunity for Marlborough to adopt a new zoning overlay district that is compliant with the Massachusetts Housing Choice Initiative and could satisfy the Zoning Act requirement for MBTA communities to have one such district. The adoption of this Housing Choice district will help create much need housing in the Commonwealth, and also allow the City to be eligible for state grant programs that will become available only to those MBTA communities meeting this requirement.

The CVHOD provide this benefit for the entire City without losing a single acre of commercially zoned land as the overlay district affect only land currently zoned for single-family housing. The CVHOD allows for a transitional land use more in line with the commercial nature of the southwest quadrant with the adjacent office park, industrial building and apartments. Furthermore, with the thorough review and modifications made by the Urban Affairs Committee, the CVHOD helps protect the neighborhood to the north-east with the inclusion of a 150-foot setback.

The CVHOD is a win-win for the City at-large and the neighbors and we thank the Council for their consideration.

Very truly yours,

THE GUTIERREZ COMPANY

Scott J. Weiss
Vice President of Development

CVHOD-LtrFromTGC_2021-09-08

Present Members of The City Council,

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

My Name is Michele Guadagnino. Myself and my husband Michael Tutterman are now the present owners of 56 Emmett St. Marlborough MA 01752.

2021 AUG 26 P 12:02

I am requesting that the license for parking be placed in our names. We have a current license with the city that requests we have the license transferred over to our names on or before October 2021.

This license has been granted to several owners prior to us and would like to have this license continue in our names at 56 Emmett St Marlborough MA 01752

Thank you

Michele Guadagnino

Michael Tutterman

774-285-0677



IN CITY COUNCIL

Marlborough, Mass., _____ JUNE 19, 2017

ORDERED:

That the Communication from Kristin Regan, re: Permission to park on City property at the top of Emmett Street, X16-1006704, X14-1006035, X12-1005237, X11-1004017 and X03-9919A, be and is herewith refer to **COUNCIL PRESIDENT CLANCY TO DRAFT A LETTER TO THE REGAN'S WHICH EXTENDS AND TRANSFERS THIS ORDER TO A NEW POTENTIAL BUYER OF THE REGAN'S HOME.**

ADOPTED

ORDER NO. 17-1006965

X16-1006704, X14-1006035, X12-1005237, X11-1004017 & X03-9919A.



City of Marlborough
Office of the City Council

140 Main Street
 Marlborough, Massachusetts 01752
 Tel. (508) 460-3711 Fax (508) 460-3710 TDD (508) 460-3610
 Email citycouncil@marlborough-ma.gov

Edward J. Clancy
 PRESIDENT

Joseph F. Delane, Jr.
 VICE-PRESIDENT

Karen A. Boule
 CITY COUNCIL SECRETARY

June 30, 2017

Kristin Regan
 Kenneth D. Regan Jr.
 56 Emmett Street
 Marlborough, MA 01752

Reference: Order to Transfer License
 Parking on City Property
 Emmett Street, Marlborough, MA

Dear Kristin and Kenneth:

At its meeting of June 19, 2017, the Marlborough City Council ordered that I, as the City Council President, respond to the Regan's June 14, 2017 letter regarding the requested transfer to a potential new owner of the license to park on city property located on a plan entitled, "Plan of Land in Marlborough, Massachusetts, to be licensed to Richard F. and Jane A. Sullivan, 56 Emmett Street for parking, Prepared by: City of Marlborough Department of Public Works, Engineering Division (BWT), Scale: 1" = 20', January 2002."

Accordingly, I have enclosed a certified copy of the Order adopted on June 19, 2017, together with the Order of License granted to you as the current owners of 56 Emmett Street, Kristin L. Regan and Kenneth D. Regan, Jr. based, however, upon four (4) conditions, adopted on October 17, 2016, for a temporary five-year term.

The City Solicitor has advised that, assuming your property is in fact sold to new owners, the new owners may assume possession of the license for so long as they remain the owners of 56 Emmett Street up to and including the end of the remaining term on October 17, 2021, at which time said license would be subject to renewal by a simple majority vote of the City Council upon request of the new owners; and that, if the new owners in turn wish to sell 56 Emmett Street at any time before October 17, 2021, they must submit a letter as you did requesting that the Council transfer the parking license.

Sincerely,

Edward J. Clancy

Edward J. Clancy
 City Council President

Enclosures



IN CITY COUNCIL

OCTOBER 17, 2016
Marlborough, Mass., _____

ORDERED:

That the portion of the public way identified on a plan entitled, "Plan of Land in Marlborough, Massachusetts, to be licensed to Richard F. and Jane A. Sullivan, 56 Emmett Street for parking, Prepared by: City of Marlborough Department of Public Works, Engineering Division (BWT), Scale: 1" = 20', January 2002," which is attached hereto and incorporated herein by reference, and containing 316.41± square feet, which Order No. 03-9919A declared available for disposition for the sole purpose of parking by the owners of 56 Emmett Street, is herewith approved as a license for the current owners of 56 Emmett Street, Kenneth D. and Kristin L. Regan, Jr., based, however, upon the following conditions:

1. The license shall be on a temporary five-year basis, requiring further City Council approval five years from the date of adoption of this order;
2. The licensees shall utilize the licensed premises for the parking of the vehicle(s) in their household, and they shall not permit the parking of their vehicle(s) on the public way so as to impede snow removal operations conducted by or on behalf of the City of Marlborough;
3. The licensees' use of the portion of the public way approved under this license, each year it is in effect, shall coincide with the period of the City of Marlborough's winter parking ban for that year, and the licensed portion of the public way shall otherwise be available to other neighbors and abutters for parking purposes at other times of the year, especially during the summer months; and
4. The licensees shall indemnify and hold harmless the City of Marlborough from any liability arising as a result of their use of the licensed portion of the public way for parking purposes.

ADOPTED

In City Council

Order No. 16-1006704

X14-1006035

X12-1005237

X11-1004017

X03-9919A

Approved by Mayor

Arthur G. Vigeant

Date: October 24, 2016

A TRUE COPY

ATTEST:

Lisa M. [Signature]
City Clerk

McGee Farm ProjectRECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2021 JUL 20 A 7:58

Dear City Councilors:

I am a resident of the Jo-Len Village which exits to Route 20 East. I **vehemently** oppose the proposed McGee Farm Project. I experience the mess that this road is daily and the proposed project to build 140 rental units (**which equates to at least 280 ADDITIONAL vehicles exiting and entering EB**) is ridiculous. The taxes that Marlborough earns on such a project will be a drop in the bucket to the cost of the wear and tear to the roadway, further impact to traffic and good will of the voter neighbors. While a traffic light MIGHT help alleviate the congestion, the Commonwealth has said at least THREE separate times that it has no intention of ever installing a traffic signal between Hosmer and Farm Roads.

I urge the City Council to seriously consider a less intrusive use for this land.

Sincerely yours,

CHARLES MORELLI

Print Name:

Address: 279 BOSTON POST RD. EAST

McGee Farm ProjectRECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2021 JUL 20 A 7:58

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I urge the City Council to seriously consider a less intrusive use for this land.

Sincerely yours,

SUSAN MORELLI &

Print Name:

Address: 279 BOSTON POST RD

McGee Farm Project

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2021 JUL 20 A 7:58

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I urge the City Council to seriously consider a less intrusive use for this land.

Sincerely yours,



Print Name: Catherine Ebell

Address: 94 Victoria Lane
Marlborough, MA 01752

Dear City Councilors:

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
7831 11 27 2018 7:15 P

I am a resident of the Jo-Len Village which exits to Route 20 East. I vehemently oppose the proposed McGee Farm Project. I experience the mess that this road is daily and the proposed project to build 140 rental units (*which equates to at least 280 ADDITIONAL vehicles exiting and entering EB*) is *ridiculous*. The taxes that Marlborough earns on such a project will be a drop in the bucket to the cost of the wear and tear to the roadway, further impact to traffic and good will of the voter neighbors. While a traffic light MIGHT help alleviate the congestion, the Commonwealth has said at least THREE separate times that it has no intention of ever installing a traffic signal between Hosmer and Farm Roads.

I urge the City Council to seriously consider a less intrusive use for this land.

Sincerely yours,

Pauline Roy

Print Name: *Pauline Roy*

Address: *91 Ashley Lane Marlboro, Ma 01752*

McGee Farm ProjectRECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

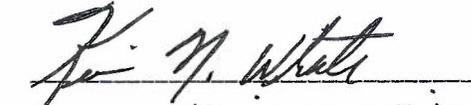
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I urge the City Council to seriously consider a less intrusive use for this land.

Sincerely yours,


Print Name: KEVIN A. WHITE
Address: 94 VICTORIA LN
MARLBOROUGH, MA. 01752

McGee Farm Project

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH
2021 JUL 20 A 7:58

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I urge the City Council to seriously consider a less intrusive use for this land.

Sincerely yours,



Print Name: MARY Shea
Address: 49 Ashley Lane

McGee Farm ProjectRECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

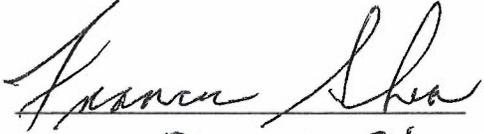
2021 JUL 20 A 7:58

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I urge the City Council to seriously consider a less intrusive use for this land.

Sincerely yours,



Print Name: Francis Shea

Address: 49 Ashley Lane

McGee Farm Project

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

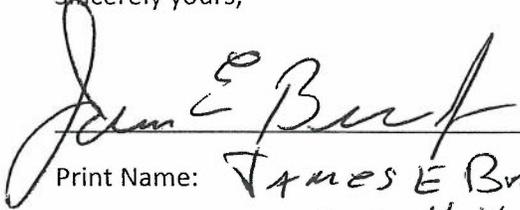
2021 JUL 20 A 7:58

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I urge the City Council to seriously consider a less intrusive use for this land.

Sincerely yours,


Print Name: James E Brown, Jr
Address: 47 Holly Hill Ln

Steven Kerrigan

From: City Council
Sent: Thursday, August 19, 2021 2:18 PM
To: Steven Kerrigan; Wilson Chu
Subject: For File—From Jamie Andrade: McGee Farm Development Public Comment

RECEIVED
 CITY CLERK'S OFFICE
 CITY OF MARLBOROUGH

2021 AUG 23 A 7:23

From: jamie andrade
Date: August 19, 2021 at 2:12:26 PM EDT
To: City Council
Subject: McGee Farm Development Public Comment

Good afternoon City Council,

I would urge you to consider *voting against* the McGee Farm proposal for the following reasons:

Route 20 is dangerous as it stands and increased development will only strain this major artery in our city. My neighbor was recently struck by a vehicle on Rt. 20 and he said the only thing that saved his life was that his body was not hit into oncoming traffic but rather hit into a parking lot. Up to that point we had been discussing purchasing electric-assist bicycles for our work commutes. I would love to cycle to work, it would save me money, reduce traffic, be better for the environment, however I absolutely do not feel safe traveling on Rt 20.

The current development along Rt 20 has not considered the safety for anyone who is not in a vehicle. The new residents in the McGee Farm proposal will be forced to travel to and from their homes by car due to our current lack of organization along this road, adding even more vehicles to this area. If you look carefully as you travel down Rt. 20 from Price Chopper to Target, two major places where our families shop, you will see unsafe conditions for pedestrians and cyclists. There are no sidewalks to accommodate the following apartment complexes along Rt. 20:

- Countryside Village Apartments
- Wayside Apartments
- The Villages at Marlborough East
- Jo Len Village
- Wynwood Estates

Steven Kerrigan

From: City Council
Sent: Saturday, August 21, 2021 12:25 PM
To: Mike Ossing; Kathleen Robey; Samantha Perlman; Mark Oram; Karen Boule; Laura Wagner; Don Landers; David Doucette; Christian Dumais; John Irish; Sean Navin; Robert Tunnera
Cc: Steven Kerrigan; Wilson Chu
Subject: From Barbara Pemberton: Project at McGee Farm

RECEIVED
 CITY CLERK'S OFFICE
 CITY OF MARLBOROUGH

2021 AUG 23 AM 11:23

From: Barbara Pemberton

Date: August 21, 2021 at 12:20:42 PM EDT
To: citycouncil@marlborough-ma.gov
Subject: Project at McGee Farm

To: President Michael Ossing, Chair Kathleen Robey, At Large Councilors, Mark Gram and Samantha Perlman and All Ward Councilors,

PLEASE VOTE FOR DENIAL OF A SPECIAL PERMIT FOR THE MCGEE PROJECT

As residents of The Villages of Marlborough East, my husband and I experience, first hand, the difficulty of entering and exiting Village Drive plus the horrendous traffic issues that already exist along Rte. 20. Earlier this summer I personally witnessed three auto accidents either at Village Drive or within 100 ft. of the McGee property. Studies can say what they may but take it from the residents that deal with these unsafe traffic conditions and heavy traffic on a daily basis. We know now, there will be no traffic signal at our entrance which adds to make a big problem even more difficult.

Adding to the already heavy traffic flow, cars going beyond the speed limit and unsafe conditions to enter and exit the Villages, you already have a high concentration of apartments and number of people living in this area. We cannot be convinced that this type of congested living is favorable for the City of Marlborough. What will it do for our property values in this area??

Respectfully,

Barbara and Bill Pemberton
 20 Westminster Drive
 Villages at Marlborough East

Sent from my iPhone

Steven Kerrigan

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

From: City Council
Sent: Friday, August 20, 2021 3:08 PM
To: Christian Dumais; David Doucette; Don Landers; John Irish; Karen Boule; Kathleen Robey; Laura Wagner; Mark Oram; Mike Ossing; Robert Tunnera; Samantha Perlman; Sean Navin
Cc: Steven Kerrigan; Wilson Chu
Subject: From Penny El-Bisi, 37 Westminster Drive: McGee Farm Development Project

2021 AUG 23 A 7:23

From: penny el-bisi
Sent: Friday, August 20, 2021 2:57 PM
To: City Council
Subject: McGee Farm Development Project

I live at The Villages at Marlborough East. I'm very opposed to the proposed development of the McGee Farm land. Just the thought of the projected traffic this type of development would create for Rte. 20 is frightening! As it is now the wait to make a left turn onto Rte. 20 can be daunting. I hope the city council members will consider the adverse effect this project will have on our current neighborhood. Thank you.

Penny El-Bisi
 36 Westminster Drive

Steven Kerrigan

From: City Council
Sent: Friday, August 20, 2021 2:15 PM
To: Christian Dumais; David Doucette; Don Landers; John Irish; Karen Boule; Kathleen Robey; Laura Wagner; Mark Oram; Mike Ossing; Robert Tunnera; Samantha Perlman; Sean Navin
Cc: Steven Kerrigan; Wilson Chu
Subject: From Barbara Nahoumi, 39 Brimsmead St re: Agenda item # 15 August 23, 2021 meeting

RECEIVED
 CITY CLERK'S OFFICE
 CITY OF MARLBOROUGH

2021 AUG 23 AM 1:23

From:
Sent: Friday, August 20, 2021 1:49 PM
To: City Council
Subject: Agenda item # 15

To the Marlborough City Council.

I am against the building of any apartment buildings on Rt. 20. Such buildings will increase the traffic on an already congested road, the D.O.T., has already denied the installation of a badly needed traffic light, and there would be drains on city resources. There are enough apartment and condo complexes already on Rt. 20.

My idea would be to leave the land as an undeveloped natural area, with walking paths, for all to enjoy.

Barbara Nahoumi
 39 Brimsmead St.
 Marlborough, Ma. 01752

Steven Kerrigan

From: City Council
Sent: Monday, August 23, 2021 5:43 PM
To: Christian Dumais; David Doucette; Don Landers; John Irish; Karen Boule; Kathleen Robey; Laura Wagner; Mark Oram; Mike Ossing; Robert Tunnera; Samantha Perlmann; Sean Navin
Cc: Steven Kerrigan; Wilson Chu
Subject: FW: Eleanor Garisi, 90 Westminster, Special Permit for McGee Farm Project

RECEIVED
 CITY CLERK'S OFFICE
 CITY OF MARLBOROUGH
 2021 AUG 23 PM 5:43

From:
Sent: Monday, August 23, 2021 5:41 PM
To: City Council
Subject: Special Permit for McGee Farm Project

To Marlborough Councillors:

As a 20 year resident of the Villages at Marlborough East, I am writing in opposition to approval of the Special Permit for the Mcee Farm Project , 339 BostonPost Road.

The addition of a 144 unit residential building, without the support of traffic lights, will only add to the existing dangers of entering and exiting our buildings. The increase in traffic, particularly large transport trucks, has already added to the terrors of running a quick errand, etc. for our seniors and guests. The addition of a thiird lane, in my estimation, will be more akin to a "third rail". There will be more accidents to happen.

Your consideration for the safety of all Marlborough residents will be greatly appreciated.

Respectfully,

Eleanor Garisi
90 Westminster Drive

--
Sent from myMail for Android

Steven Kerrigan

From: City Council
Sent: Monday, August 23, 2021 5:32 PM
To: Steven Kerrigan; Wilson Chu
Subject: FW: From Douglas Sylvester re: McGee vote

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2021 AUG 23 P 6:31

-----Original Message-----

From: douglas Sylvester
Sent: Monday, August 23, 2021 4:06 PM
To: City Council
Subject: McGee vote

Please vote no on the project. Without a light the extra congestion and I see no way for pedestrians to safely cross the Road. Plus the wetland issue and water where is the run off going to go the neighborhoods behind there and farm road have had flooding problems in the past. Plus the extra cost on the school system and fire and ems services. There are many other apartments being built on the other side of Marlborough all ready not sure that we really need more. We honestly need a new fire station on the west side of the city before we add additional loads on the current system.

Sent from Iphone

Steven Kerrigan

From: City Council
Sent: Monday, August 23, 2021 7:06 PM
To: Christian Dumais; David Doucette; Don Landers; John Irish; Karen Boule; Kathleen Robey; Laura Wagner; Mark Oram; Mike Ossing; Robert Turner; Samantha Peilman; Sean Navin
Cc: Steven Kerrigan; Wilson Chu
Subject: FW:Tricia McCann-Steacie re Magee Farm project

RECEIVED
 CITY CLERK BOULE
 2021 AUG 23 P 7:25

-----Original Message-----

From:
Sent: Monday, August 23, 2021 6:28 PM
To: City Council
Subject: Magee Farm project

Good Evening,

Unfortunately I am unable to attend the City Council meeting being held tonight re: Project at 339 Boston Post Road/Magee Farm, proposed (30 4 story apartment buildings, with a total 144 units to be built.)

I am a fairly new resident who bought her condo/townhouse in the Marlboro East Villages in late December 2020, with a move in date at the end of February,20221.

It is a lovely community and I feel blessed and safe to live here. I work full time and commute to Wellesley everyday. There are mornings where taking a left hand turn on to rt. 20 to head to work is next to impossible, depending on the traffic. I wait patiently most mornings for a safe break in cars to make that needed left hand turn.I have witnessed some of my older residents in my development waiting patiently to also make a left or right turn to get home to their condo.

I cannot imagine another development being built right across the street, with such a large number of proposed units and how that would affect an already congested area on Boston Post Rd in Marlboro.

I respectfully request that you do not vote in favor of this new construction not just for the safety and well being of all the abutting neighbors, but for all the residents of Marlboro who travel on that section of Boston Post Rd.

Thank you in advance for your thoughtful concern in your voting choice. Marlboro is a great town and I am fairly new to this area and hope to live here for quite a while.

Sincerely,

Patricia McCann-Steacie

Steven Kerrigan

From: City Council
Sent: Monday, August 23, 2021 6:16 PM
To: Christian Dumais; David Doucette; Don Landers; John Irish; Karen Boule; Kathleen Robey; Laura Wagner; Mark Oram; Mike Ossing; Robert Tunnera; Samantha Perlman; Sean Navin
Cc: Steven Kerrigan; Wilson Chu
Subject: From Eleanor B. Doherty, 22 Village Dr., McGee Farm Vote 8/23/21 Agenda #15

RECEIVED
CITY CLERK'S OFFICE
CITY OF MARLBOROUGH

2021 AUG 23 P 6:16

From: Eleanor
Sent: Sunday, August 22, 2021 3:52 PM
To: City Council
Cc:
Subject: McGee Farm Vote 8/23/21 Agenda #15

As a resident of The Villages on Rte 20 in Marlborough I am very much opposed to the (McGee Farm) project. passing. Route 20, a road that was designated in 1673 to carry the mail from Boston to New York might have been able to handle the traffic then but certainly can't handle the volume that would add to an already over crowded road.

Thank you,

Eleanor B. Doherty
22 Village Dr.

MIRICK O'CONNELL

A T T O R N E Y S A T L A W

Brian R. Falk
 Mirick O'Connell

100 Front Street
 Worcester, MA 01608-1477

bfalk@mirickoconnell.com

t 508.929.1678

f 508.983.6256

RECEIVED
 CITY CLERK'S OFFICE
 CITY OF MARLBOROUGH
 2021 SEP 9 A 11:23

September 8, 2021

VIA HAND DELIVERY

Councilor Michael Ossing, President
 Marlborough City Council
 City Hall
 Marlborough, MA 01752

Re: Aubuchon Realty Company, Inc.; 661 Boston Post Road East;
 Special Permit Application for Two Drive-Through Facilities

Dear Councilor Ossing:

On behalf of my client Aubuchon Realty Company, Inc., I respectfully submit an application seeking a special permit for two drive-through facilities associated with a new Starbucks and a bank to be located at 661 Boston Post Road East, known as the Wayside Crossing plaza.

The project will include a new Starbucks building with a dedicated drive-through lane. In addition, the project will add to the site's existing retail building to host one new retail tenant and a new bank, with two dedicated drive-through lanes for the bank. Parking at the site will increase from 48 spaces to 66 spaces, and the project will include landscaping and pedestrian/bicycle upgrades consistent with the requirements of the Wayside Zoning District. Site access will be from the Target driveway using two existing curb cuts and a new curb cut near the drive-through lanes. Preexisting uses at the site will remain unchanged.

Because the site is located in the Wayside Zoning District, the City Council serves as the site plan approval authority for the project. We will be submitting a site plan approval application in the coming days so that the Council may review both applications concurrently.

Thank you for your time and attention to this matter.

Sincerely,



Brian R. Falk

BRF/
 Encl.
 cc: Client

**CITY OF MARLBOROUGH
OFFICE OF THE CITY CLERK**

APPLICATION TO CITY COUNCIL FOR ISSUANCE OF SPECIAL PERMIT

1. Name and address of Petitioner or Applicant:

Aubuchon Realty Company, Inc., 73 Junction Square Drive, Concord, MA 01742

2. Specific Location of property including Assessor's Plate and Parcel Number.

661 Boston Post Road East, (Route 20) - Map 61, Lot 27A

3. Name and address of owner of land if other than Petitioner or Applicant:

Same as Applicant. (Purchased June 17, 2021; Bk: 78041, Pg: 310)

4. Legal interest of Petitioner or Applicant (owner, lessee, prospective owner, etc.)

5. Specific Zoning Ordinance under which the Special Permit is sought:

IV + 650-12.B 650-14.B(2), 650-17, 650-18(31), 650-37
Article V Section / Paragraph _____ Sub-paragraph _____

6. Zoning District in which property in question is located:

Wayside (W) District

7. Specific reason(s) for seeking Special Permit

The Applicant seeks a special permit to construct and operate a drive-through facility to serve a new coffee shop restaurant building at the Wayside Crossing retail plaza. The Applicant also seeks a special permit to construct and operate a drive-through facility for a bank to be added to the existing building on the site.

Please see the enclosed Project Narrative for further information. Preexisting uses at the site will remain unchanged.

8. List of names and addresses of abutter. SEPARATE SHEET ATTACHED

PETITION IS HEREBY MADE FOR THE ISSUANCE OF A SPECIAL PERMIT BY THE CITY COUNCIL OF THE CITY OF MARLBOROUGH AND IS BASED ON THE WITHIN PETITION OR APPLICATION AS FILED HEREWITH AND MADE PART OF SAID PETITION.



Signature of Petitioner or Applicant
Brian R. Falk, Attorney for Applicant
Address: Mirick, O'Connell, DeMallie & Lougee, LLP
100 Front Street
Worcester, MA 01608

Telephone No. (508) 929-1678

Date: 9/7/2021

LIST OF NAMES AND ADDRESS OF ABUTTERS
AS REQUESTED ON THE APPLICATION FOR SPECIAL PERMIT OF:

Aubuchon Realty Company, Inc.
(Name of Petitioner)

FOR THE ISSUANCE OF SPECIAL PERMIT BY THE CITY COUNCIL OF THE CITY OF
MARLBOROUGH UNDER CHAPTER 650, ZONING, OF THE CODE OF THE CITY OF
MARLBOROUGH.

(Abutters as defined in §650-59, Section 4H, Powers and Procedure of Special-Permit Granting
Authorities

ABUTTERS - 661 BOSTON POST RD EAST (61-27A), MARLBOROUGH, MA - 400 FT

Parcel Number	GIS Number	Carna Number	Property Address	Owner Name	Co-Owner Name	Owner Address	Owner Address 2	Owner City	Owner State	Owner Zip	Use Code
60-29	M_199383_899 827	60-29	67 WILSON ST	VALLE ADRIAN ROSALES		67 WILSON ST		MARLBOROUGH H	MA	01752	1010
60-30	M_199434_899 865	60-30-586-1	586 BOSTON POST RD EAST #1	CHO CHONG		236 OLD LANCASTER RD		SUDBURY	MA	01776	1020
60-30	M_199434_899 865	60-30-586-10	586 BOSTON POST RD EAST #10	LIBERATORE RICHARD H LI EST		586 BOSTON POST RD EAST #10		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-586-11	586 BOSTON POST RD EAST #11	CRUZ FABIANA A		586 BOSTON POST RD EAST #11		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-586-12	586 BOSTON POST RD EAST #12	LAM PATRICK		32 ADAMS RD		SUDBURY	MA	01776	1020
60-30	M_199434_899 865	60-30-586-2	586 BOSTON POST RD EAST #2	SILVA MARINETE		C/O MARINETE LUNA	89 WILSON ST #1	MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-586-3	586 BOSTON POST RD EAST #3	AZEREDO ELIANA F		586 BOSTON POST RD EAST #3		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-586-4	586 BOSTON POST RD EAST #4	GONCALVES DUILIO		18 RUTH DR		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-586-5	586 BOSTON POST RD EAST #5	PAULA RONNE		586 BOSTON POST RD EAST #5		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-586-6	586 BOSTON POST RD EAST #6	DIDIO JACQUIE A		43 POPE ST		HUDSON	MA	01749	1020
60-30	M_199434_899 865	60-30-586-7	586 BOSTON POST RD EAST #7	OLIVEIRA NEUJO		14 GATELY DR		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-586-8	586 BOSTON POST RD EAST #8	SANDRI MARLENE		631 ELM ST		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-586-9	586 BOSTON POST RD EAST #9	CHAMBERLAIN THOMAS E JR		586 BOSTON POST RD EAST #9		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-596-1	586 BOSTON POST RD EAST #1	TAVARES FERNANDA		23 BALCOM RD		MARLBOROUGH H	MA	01752	1020

60-30	M_199434_899 865	60-30-596-10	596 BOSTON POST RD EAST #10	ALVES LUCIANO		23 BALCOM RD		MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-596-11	596 BOSTON POST RD EAST #11	BLEAKLEY JAMES R TR		20 LIBERTY AVE		LEXINGTON MA	02420-3445	1020
60-30	M_199434_899 865	60-30-596-12	596 BOSTON POST RD EAST #12	OMALLEY SANDRA		15 MEETINGHOUSE LN		SOUTH EASTON MA	02375	1020
60-30	M_199434_899 865	60-30-596-13	596 BOSTON POST RD EAST #13	PRG LJS LLC		60 LEO BIRMINGHAM PKWY		BRIGHTON MA	02135	1020
60-30	M_199434_899 865	60-30-596-14	596 BOSTON POST RD EAST #14	DIANA MICHAEL A		4 VOYAGERS LN		ASHLAND MA	01721	1020
60-30	M_199434_899 865	60-30-596-15	596 BOSTON POST RD EAST #15	OLIVEIRA MARCILENE S		596 BOSTON POST RD EAST #15		MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-596-16	596 BOSTON POST RD EAST #16	CIERI KAREN A		140 WINTER ST		NORWOOD MA	02062	1020
60-30	M_199434_899 865	60-30-596-17	596 BOSTON POST RD EAST #17	BASSETTI JACIMAR T		15 DICKENSON WAY #82L		MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-596-18	596 BOSTON POST RD EAST #18	DAROS MARIA D		596 BOSTON POST RD EAST #18		MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-596-19	596 BOSTON POST RD EAST #19	PAGE MICHAEL		50 PAGE RD		WESTON MA	02193	1020
60-30	M_199434_899 865	60-30-596-2	596 BOSTON POST RD EAST #2	TAVARES FERNANDA A		23 BALCOM RD		MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-596-20	596 BOSTON POST RD EAST #20	MARIA MARTIN TR		PO BOX 272		WESTBOROUGH MA GH	01581	1020
60-30	M_199434_899 865	60-30-596-21	596 BOSTON POST RD EAST #21	CHEN YINGXUE		103 CANTERBURY HILL RD		ACTON MA	01720	1020
60-30	M_199434_899 865	60-30-596-22	596 BOSTON POST RD EAST #22	OSMAN JEFFREY L		596 BOSTON POST RD EAST #22		MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-596-23	596 BOSTON POST RD EAST #23	MILIOLI JULIANO		596 BOSTON POST RD EAST #23		MARLBOROUGH MA H	01752	1020

60-30	M_199434_899 865	60-30-596-24	596 BOSTON POST RD EAST #24	THORNTON JOHN P		596 BOSTON POST RD EAST #24		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-596-3	596 BOSTON POST RD EAST #3	RICHARDSON CLIFFORD D		12 KILLEEN RD		E WALPOLE	MA	02032	1020
60-30	M_199434_899 865	60-30-596-5	596 BOSTON POST RD EAST #5	HEFFERNAN WILLIAM F JR		30A LACKEY ST		WESTBORO	MA	01581	1020
60-30	M_199434_899 865	60-30-596-6	596 BOSTON POST RD EAST #6	LAGUNA FLAVIO M		596 BOSTON POST RD EAST #6		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-596-7	596 BOSTON POST RD EAST #7	HEFFERNAN KAREN A TR		30A LACKEY ST		WESTBORO	MA	01581	1020
60-30	M_199434_899 865	60-30-596-8	596 BOSTON POST RD EAST #8	TAVARES FERNANDA A		23 BALCOM RD		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-596-9	596 BOSTON POST RD EAST #9	TRINDADE MARCO A		596 BOSTON POST RD EAST #18		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-608-1	608 BOSTON POST RD EAST #1	DASILVA SAYONARA K		95 COOLIDGE CIR		NORTHBORO UGH	MA	01732	1020
60-30	M_199434_899 865	60-30-608-10	608 BOSTON POST RD EAST #10	BABBAR NAVEEN TR		105 CANTERBURY HILL RD		ACTON	MA	01720	1020
60-30	M_199434_899 865	60-30-608-11	608 BOSTON POST RD EAST #11	PRG LJS LLC		60 LEO BIRMINGHAM PKWY	3RD FLOOR	BRIGHTON	MA	02135	1020
60-30	M_199434_899 865	60-30-608-12	608 BOSTON POST RD EAST #12	BAUER JAMES TR		41 OAKVALE RD		FRAMINGHAM	MA	01701	1020
60-30	M_199434_899 865	60-30-608-13	608 BOSTON POST RD EAST #13	TEIXEIRA BRIAN L		608 BOSTON POST RD EAST #13		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-608-14	608 BOSTON POST RD EAST #14	BLEAKLEY JAMES R TR		20 LIBERTY AVE		LEXINGTON	MA	02420	1020
60-30	M_199434_899 865	60-30-608-15	608 BOSTON POST RD EAST #15	SONI AMIT		1249 ELM ST		CONCORD	MA	01742	1020
60-30	M_199434_899 865	60-30-608-16	608 BOSTON POST RD EAST #16	ALCANTARA LEANDRO F		8 LILAC CIR		MARLBOROUGH H	MA	01752	1020

60-30	M_199434_899 865	60-30-608-17	608 BOSTON POST RD EAST #17	DEAZEREDO ALAOR FLORES		608 BOSTON POST RD EAST #17		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-608-18	608 BOSTON POST RD EAST #18	ZULAWNIK LEILA R		15 LAKESHORE DR		HUDSON	MA	01749	1020
60-30	M_199434_899 865	60-30-608-19	608 BOSTON POST RD EAST #19	LI LI		PO BOX 52635		BOSTON	MA	02205	1020
60-30	M_199434_899 865	60-30-608-2	608 BOSTON POST RD EAST #2	OLIVEIRA DIVINO P		54 HOSMER ST		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-608-20	608 BOSTON POST RD EAST #20	LEVY DAVID J		42 DAVIS FARM RD		ASHLAND	MA	01721	1020
60-30	M_199434_899 865	60-30-608-21	608 BOSTON POST RD EAST #21	LEVY DAVID J		42 DAVIS FARM RD		ASHLAND	MA	01721	1020
60-30	M_199434_899 865	60-30-608-22	608 BOSTON POST RD EAST #22	SRE PROPERTIES 3 LLC		98 BISHOPS FOREST DR		WALTHAM	MA	02452	1020
60-30	M_199434_899 865	60-30-608-23	608 BOSTON POST RD EAST #23	LEWIS MEAGHAN A		608 BOSTON POST RD EAST #23		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-608-24	608 BOSTON POST RD EAST #24	LAMPILA STEPHANIE		608 BOSTON POST RD EAST #24		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-608-25	608 BOSTON POST RD EAST #25	DEVELLIS STEPHEN		608 BOSTON POST RD EAST #25		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-608-4	608 BOSTON POST RD EAST #4	BAUER JAMES TR		41 OAKVALE RD		FRAMINGHAM	MA	01701	1020
60-30	M_199434_899 865	60-30-608-5	608 BOSTON POST RD EAST #5	HAWILLA SAMMY		608 BOSTON POST RD EAST #5		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-608-6	608 BOSTON POST RD EAST #6	SRE PROPERTIES 3 LLC		98 BISHOPS FOREST DR		WALTHAM	MA	02452	1020
60-30	M_199434_899 865	60-30-608-7	608 BOSTON POST RD EAST #7	JEAN- MICHAEL GERARD		608 BOSTON POST RD EAST #7	UNIT 7	MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-608-8	608 BOSTON POST RD EAST #8	TAVARES FERNANDO		23 BALCOM RD		MARLBOROUGH H	MA	01752	1020

60-30	M_199434_899 865	60-30-608-9	608 BOSTON POST RD EAST #9	MARTINS MARGARIDA TR	608 BOSTON POST RD EAST #9	MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-616-1	616 BOSTON POST RD EAST #1	GROSSI WILLIAM	36 LONGEDGE RD	CLINTON MA	01510	1020
60-30	M_199434_899 865	60-30-616-10	616 BOSTON POST RD EAST #10	BOAVENTURA GILMAR M	62 GREENWOOD ST	MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-616-11	616 BOSTON POST RD EAST #11	KAY GISELE	688 BOSTON POST RD EAST #122	MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-616-12	616 BOSTON POST RD EAST #12	MEHTA MEENA A	45 EWALD AVE	MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-616-13	616 BOSTON POST RD EAST #13	CONCALVES DANIELA	19 RUTH DR	MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-616-14	616 BOSTON POST RD EAST #14	PAREENE DANIEL M	555 CHESTNUT ST	ASHLAND MA	01724	1020
60-30	M_199434_899 865	60-30-616-15	616 BOSTON POST RD EAST #15	NICHOLAS PAUL	21 ADAMS DR	STOW MA	01775	1020
60-30	M_199434_899 865	60-30-616-16	616 BOSTON POST RD EAST #16	SLATKAVITZ ALAN E	616 BOSTON POST RD EAST #16	MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-616-17	616 BOSTON POST RD EAST #17	JAMBA NICHOLAS	49 FORT POND LN	LANCASTER MA	01523-3231	1020
60-30	M_199434_899 865	60-30-616-18	616 BOSTON POST RD EAST #18	BOAVENTURA GILMAR M	62 GREENWOOD ST	MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-616-19	616 BOSTON POST RD EAST #19	LANES HARLEN	38 LEOLEIS DR	MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-616-2	616 BOSTON POST RD EAST #2	ELLIS LORI A	616 BOSTON POST RD EAST #2	MARLBOROUGH MA H	01752	1020
60-30	M_199434_899 865	60-30-616-20	616 BOSTON POST RD EAST #20	ST PIERRE TERRENCE W	42281 GALESHEAD CT	TEMECULA CA	92592-7222	1020
60-30	M_199434_899 865	60-30-616-21	616 BOSTON POST RD EAST #21	ANDRADE EXPEDITA	616 BOSTON POST RD EAST #21	MARLBOROUGH MA H	01752	1020

60-30	M_199434_899 865	60-30-616-22	616 BOSTON POST RD EAST #22	BURKE GREGORY		51 MAIDEN LN		WAYLAND	MA	01778	1020
60-30	M_199434_899 865	60-30-616-23	616 BOSTON POST RD EAST #23	DEFREITAS BLAINE J		ONE PLEASANT ST		MAYNARD	MA	01754	1020
60-30	M_199434_899 865	60-30-616-24	616 BOSTON POST RD EAST #24	LANE CHRISTINE E		30 MYRICK ST		AYER	MA	01432	1020
60-30	M_199434_899 865	60-30-616-25	616 BOSTON POST RD EAST #25	GONCALVES DUILIO		19 RUTH DR		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-616-26	616 BOSTON POST RD EAST #26	BLEAKLEY ELENA TR		20 LIBERTY AVE		LEXINGTON	MA	02420-3445	1020
60-30	M_199434_899 865	60-30-616-27	616 BOSTON POST RD EAST #27	DESCHENEAU X WEI YANG		163 PLEASANT ST		UPTON	MA	01568	1020
60-30	M_199434_899 865	60-30-616-28	616 BOSTON POST RD EAST #28	MARIA MARTIN TR		PO BOX 272		WESTBOROUGH GH	MA	01581	1020
60-30	M_199434_899 865	60-30-616-29	616 BOSTON POST RD EAST #29	NYLAND FERNANDA		616 BOSTON POST RD EAST #29		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-616-3	616 BOSTON POST RD EAST #3	ZIZZA CHRISTOPHER		616 BOSTON POST RD EAST #3		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-616-30	616 BOSTON POST RD EAST #30	FREEDMAN EDWARD		616 BOSTON POST RD EAST #30	UNIT 30	MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-616-4	616 BOSTON POST RD EAST #4	ZAHID BRAHIM		215 HARVARD ST UNIT #15		MEDFORD	MA	02155	1020
60-30	M_199434_899 865	60-30-616-5	616 BOSTON POST RD EAST #5	BAUER JAMES TR		41 OAKVALE RD		FRAMINGHAM	MA	01701	1020
60-30	M_199434_899 865	60-30-616-7	616 BOSTON POST RD EAST #7	WEENER STEVEN		17 WAYSIDE AVE		FRAMINGHAM	MA	01701	1020
60-30	M_199434_899 865	60-30-616-8	616 BOSTON POST RD EAST #8	BAKER KENNETH H		131 LEOLEIS DR		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-616-9	616 BOSTON POST RD EAST #9	ABU DAVID L TR		200 PACIFIC COAST HIGHWAY #408		HUNTINGTON BEACH	CA	92648	1020

60-30	M_199434_899 865	60-30-624-1	624 BOSTON POST RD EAST #1	CHO CHONG M		236 OLD LANCASTER RD		SUDBURY	MA	01776	1020
60-30	M_199434_899 865	60-30-624-10	624 BOSTON POST RD EAST #10	CHEN CHIU YANG		35 CHURCH ST		GRAFTON	MA	01519	1020
60-30	M_199434_899 865	60-30-624-11	624 BOSTON POST RD EAST #11	LAM JERRY		8 NINTH ST	UNIT # 403	MEDFORD	MA	02155	1020
60-30	M_199434_899 865	60-30-624-12	624 BOSTON POST RD EAST #12	CAMAROTA HEATHER A		624 BOSTON POST RD EAST #12		MARLBOROUGH	MA	01752	1020
60-30	M_199434_899 865	60-30-624-13	624 BOSTON POST RD EAST #13	FALLER WILLIAM M		624 BOSTON POST RD EAST #13		MARLBOROUGH	MA	01752	1020
60-30	M_199434_899 865	60-30-624-14	624 BOSTON POST RD EAST #14	DACOSTA LAURO JONATHAN SILVA		20 AUTUMN LN		BOLTON	MA	01740	1020
60-30	M_199434_899 865	60-30-624-15	624 BOSTON POST RD EAST #15	GEBSICO REALTY CORPORATIO N		410 BOSTON POST RD STE #28		SUDBURY	MA	01776	1020
60-30	M_199434_899 865	60-30-624-16	624 BOSTON POST RD EAST #16	DOERR LAURA L KANGAS		398 MAIN ST		ACTON	MA	01720	1020
60-30	M_199434_899 865	60-30-624-17	624 BOSTON POST RD EAST #17	TRUMBLE STEVEN		1 SAUTA FARM WAY		HUDSON	MA	01749	1020
60-30	M_199434_899 865	60-30-624-18	624 BOSTON POST RD EAST #18	OLIVERIA PAUL J		624 BOSTON POST RD EAST #18		MARLBOROUGH	MA	01752	1020
60-30	M_199434_899 865	60-30-624-19	624 BOSTON POST RD EAST #19	BENWAY CHUN LAN		25 FLAGG RD		MARLBOROUGH	MA	01752	1020
60-30	M_199434_899 865	60-30-624-2	624 BOSTON POST RD EAST #2	WAITE MARY JANE TR		3080 GRAND BAY BLVD UNIT #536		LONGBOAT KEY	FL	34228	1020
60-30	M_199434_899 865	60-30-624-20	624 BOSTON POST RD EAST #20	BAUER JAMES TR		41 OAKVALE RD		FRAMINGHAM	MA	01701	1020
60-30	M_199434_899 865	60-30-624-21	624 BOSTON POST RD EAST #21	MORAIS LUCIANO		624 BOSTON POST RD EAST #21		MARLBOROUGH	MA	01752	1020

60-30	M_199434_899 865	60-30-624-22	624 BOSTON POST RD EAST #22	GONCALVES DUILIO	19 RUTH DR		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-624-23	624 BOSTON POST RD EAST #23	JAMBA NICHOLAS N	49 FORT POND INN RD		LANCASTER	MA	01523	1020
60-30	M_199434_899 865	60-30-624-24	624 BOSTON POST RD EAST #24	MEHTA APURVA	45 EWALD AVE		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-624-25	624 BOSTON POST RD EAST #25	FOSS JAMES TR	7 DYER CT	APT 4B	DANVERS	MA	01923	1020
60-30	M_199434_899 865	60-30-624-26	624 BOSTON POST RD EAST #26	DJ&Z MANAGEMENT GROUP LLC	101 GRANT AVE		NEWTON	MA	02459	1020
60-30	M_199434_899 865	60-30-624-27	624 BOSTON POST RD EAST #27	FOX QUINN WONG TR	20 JERICHO HILL RD		SOUTHBOROUGH GH	MA	01772	1020
60-30	M_199434_899 865	60-30-624-28	624 BOSTON POST RD EAST #28	MURPHY DAVID J TR	C/O JORDAN PROPERTY SOLUTIONS	27 MAIN ST	MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-624-29	624 BOSTON POST RD EAST #29	CHUNG KENNETH TR	19 ELSBETH RD		SUDBURY	MA	01776	1020
60-30	M_199434_899 865	60-30-624-3	624 BOSTON POST RD EAST #3	VAGHELA LAXMI	624 BOSTON POST RD EAST #3		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-624-30	624 BOSTON POST RD EAST #30	CHAN WILLIAM Y	624 BOSTON POST RD EAST #30		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-624-31	624 BOSTON POST RD EAST #31	BOUZAN RYAN T	82 LEIGH ST		FRAMINGHAM	MA	01701	1020
60-30	M_199434_899 865	60-30-624-32	624 BOSTON POST RD EAST #32	GLEASON CYNTHIA	32 KNIGHT RD		FRAMINGHAM	MA	01701	1020
60-30	M_199434_899 865	60-30-624-33	624 BOSTON POST RD EAST #33	DUCHARME LUCIENE M	39 NEPTUNE DR		SHREWSBURY	MA	01545	1020
60-30	M_199434_899 865	60-30-624-34	624 BOSTON POST RD EAST #34	GELLER ANDREW	3080 GRAND BAY BLVD #536		LONGBOAT KEY	FL	34228	1020
60-30	M_199434_899 865	60-30-624-35	624 BOSTON POST RD EAST #35	OHALLORAN JOHN F	624 BOSTON POST RD EAST #35		MARLBOROUGH H	MA	01752	1020

60-30	M_199434_899 865	60-30-624-36	624 BOSTON POST RD EAST #36	MARTEL FRANCINE P TR		29 BERLIN ST #108		CLINTON	MA	01510	1020
60-30	M_199434_899 865	60-30-624-4	624 BOSTON POST RD EAST #4	BRISBOIS ELENI		624 BOSTON POST RD EAST #4		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-624-5	624 BOSTON POST RD EAST #5	BOWLES JAMES S		624 BOSTON POST RD EAST #5		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-624-6	624 BOSTON POST RD EAST #6	HURST MICHAEL		624 BOSTON POST RD EAST #6		MARLBOROUGH H	MA	01752	1020
60-30	M_199434_899 865	60-30-624-7	624 BOSTON POST RD EAST #7	PRG LJS LLC		60 LEO BIRMINGHAM PKWY		BRIGHTON	MA	02135	1020
60-30	M_199434_899 865	60-30-624-8	624 BOSTON POST RD EAST #8	AVA CENTRAL MASS PROPERTIES LLC		30 K MARIE DR		ATTLEBORO	MA	02703	1020
60-30	M_199434_899 865	60-30-624-9	624 BOSTON POST RD EAST #9	MCGOVERN STEPHEN		624 BOSTON POST RD EAST #9		MARLBOROUGH H	MA	01752	1020
60-30A	M_199568_899 993	60-30A	630-650 BOSTON POST RD EAST	650 BPR LLC		18 WASHINGTON ST	UNIT# 116	CANTON	MA	02021	3220
60-31	M_199452_900 030	60-31-77-1	77 WILSON ST #1	HALEY MICHAEL J		77 WILSON ST #1		MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-77-10	77 WILSON ST #10	MILLER LAWRENCE M		77 WILSON ST #10		MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-77-2	77 WILSON ST #2	JOLLES BRIAN		77 WILSON ST #2C		MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-77-2	77-93 WILSON ST								1020
60-31	M_199452_900 030	60-31-77-2	77 WILSON ST #2	JOLLES BRIAN		77 WILSON ST #2C		MARLBOROUGH H	MA	01752	995
60-31	M_199452_900 030	60-31-77-2	77-93 WILSON ST								995
60-31	M_199452_900 030	60-31-77-3	77 WILSON ST #3	SZE CHO F		77 WILSON ST #3		MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-77-4	77 WILSON ST #4	DOHERTY CHRISTOPHE R J		77 WILSON ST #4		MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-77-5	77 WILSON ST #5	LANTIGUA LAJJA		94 SWAN ST		METHUEN	MA	01844	1020

60-31	M_199452_900 030	60-31-77-6	77 WILSON ST #6	GUPTA PRANJAL	77 WILSON ST #6	MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-77-7	77 WILSON ST #7	LIVENGOOD JOHN D	77 WILSON ST #7	MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-77-8	77 WILSON ST #8	WRIGHT RICHARD E	77 WILSON ST #8	MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-77-9	77 WILSON ST #9	MARKS SHERWIN J TR	6 FOOTHILL RD	FRAMINGHAM	MA	01701	1020
60-31	M_199452_900 030	60-31-89-1	89 WILSON ST #1	LUNA MARINETE L	89 WILSON ST #1	MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-89-10	89 WILSON ST #10	KAMBOSOS DEMETRIOS	3 TURNER RIDGE RD	MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-89-2	89 WILSON ST #2	LOPES ZIMAR J	89 WILSON ST #2	MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-89-3	89 WILSON ST #3	KAMBOSOS DEMETRIOS	3 TURNER RIDGE RD	MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-89-4	89 WILSON ST #4	TROIANI LEDA	74 MAIN ST	WALTHAM	MA	02453	1020
60-31	M_199452_900 030	60-31-89-5	89 WILSON ST #5	PIERRE ETHMA	89 WILSON ST #5	MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-89-6	89 WILSON ST #6	MORALES CESAR	89 WILSON ST #6	MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-89-7	89 WILSON ST #7	MOEDER CHARLES W	13 MARTHAS LN	HARWICH	MA	02645	1020
60-31	M_199452_900 030	60-31-89-8	89 WILSON ST #8	89 WILSON STREET LLC	74 MAIN ST	WALTHAM	MA	02453	1020
60-31	M_199452_900 030	60-31-89-9	89 WILSON ST #9	JOWKAR HOSSEIN	10 CRESTVIEW DR	SUDBURY	MA	01776	1020
60-31	M_199452_900 030	60-31-93-1	93 WILSON ST #1	MYERS MATTHEW WAYNE TR	93 WILSON ST #1	MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-93-2	93 WILSON ST #2	VARANO DENISE M	93 WILSON ST #2	MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-93-3	93 WILSON ST #3	SHU PING	17 HEMLOCK ST	ARLINGTON	MA	02474	1020
60-31	M_199452_900 030	60-31-93-4	93 WILSON ST #4	KAMBOSOS DEMETRIOS	3 TURNER RIDGE RD	MARLBOROUGH H	MA	01752	1020
60-31	M_199452_900 030	60-31-93-5	93 WILSON ST #5	KAMBOSOS ATHANASIOS	1 SHAWMUT ST	WORCESTER	MA	01609-3423	1020
60-31	M_199452_900 030	60-31-93-6	93 WILSON ST #6	SILVA ALEXANDRA SOUSA	93 WILSON ST #6	MARLBOROUGH H	MA	01752	1020
61-1	M_199585_900 163	61-1	652 BOSTON POST RD EAST	652 BOSTON POST ROAD LLC	740 BOSTON POST RD EAST	MARLBOROUGH H	MA	01752	3370

61-2	M_199648_900 038	61-2	656 BOSTON POST RD EAST	GLOBAL MONTELLO GROUP CORP		15 NORTHEAST INDUSTRIAL RD	ATTN ALLIANCE ENERGY LLC	BRANFORD	CT	06405	3340
61-25	M_199835_899 884	61-25	701 BOSTON POST RD EAST	ROUTE 20 MARLBORO BB LLC		P O BOX 105842		ATLANTA	GA	30348-5842	3220
61-25B	M_199739_899 971	61-25B	681 BOSTON POST RD EAST	ROUTE 20 MARLBORO PROPERTIES LLC		50 CABOT STREET STE 200	ATTN K CENTERS	NEEDHAM	MA	02494	3260
61-27	M_199587_899 780	61-27	605 BOSTON POST RD EAST	TARGET CORPORATIO N		P O BOX 9456	ATTN PROP TAX DEPT T- 2570	MINNEAPOLIS	MN	55440-9456	3220
61-34	M_199595_900 039	61-34	BOSTON POST RD EAST	CITY OF MARLBOROUGH		140 MAIN ST		MARLBOROUGH	MA	01752	9300
61-5	M_199735_900 061	61-5-1-100	688 BOSTON POST RD EAST #100	PRG LJS LLC		60 LEO BIRMINGHAM PKWY		BRIGHTON	MA	02135	1020
61-5	M_199735_900 061	61-5-1-101	688 BOSTON POST RD EAST #101	ALVES NILMA		688 BOSTON POST RD EAST #101		MARLBOROUGH	MA	01752	1020
61-5	M_199735_900 061	61-5-1-102	688 BOSTON POST RD EAST #102	WHIPPLE NATHAN		22 MARLBORO ST		HUDSON	MA	01749	1020
61-5	M_199735_900 061	61-5-1-103	688 BOSTON POST RD EAST #103	FOX QUINN WONG		20 JERICHO HILL RD		SOUTHBOROUGH	MA	01772	1020
61-5	M_199735_900 061	61-5-1-104	688 BOSTON POST RD EAST #104	KEENEY WILLIAM F		1 STONYBROOK RD		NORTH GRAFTON	MA	01536-2203	1020
61-5	M_199735_900 061	61-5-1-105	688 BOSTON POST RD EAST #105	PAYES CARLOS		688 BOSTON POST RD EAST #105		MARLBOROUGH	MA	01752	1020
61-5	M_199735_900 061	61-5-1-106	688 BOSTON POST RD EAST #106	DEFREITAS RONALDO		688 BOSTON POST RD EAST #106		MARLBOROUGH	MA	01752	1020
61-5	M_199735_900 061	61-5-1-108	688 BOSTON POST RD EAST #108	SCIMONE DAVID F		44 GLEN RD		HOPKINTON	MA	01748	1020
61-5	M_199735_900 061	61-5-1-109	688 BOSTON POST RD EAST #109	VALADARES JULIO CESAR FARIA		688 BOSTON POST RD EAST #109		MARLBOROUGH	MA	01752	1020
61-5	M_199735_900 061	61-5-1-110	688 BOSTON POST RD EAST #110	MENEZES MARCELO		186 RESERVOIR ST		MARLBOROUGH	MA	01752	1020

61-5	M_199735_900 061	61-5-1-120	688 BOSTON POST RD EAST #120	MENEZES FABIANA		186 RESERVOIR ST		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-121	688 BOSTON POST RD EAST #121	KADEHJIAN ERIC C		688 BOSTON POST RD EAST #121		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-122	688 BOSTON POST RD EAST #122	KAY GISELE L		688 BOSTON POST RD EAST #122		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-123	688 BOSTON POST RD EAST #123	STRIVE CAPITAL LLC		495 BROOK ST	ATTN SUSAN & DAVID ELLIS	FRAMINGHAM MA	01701	1020
61-5	M_199735_900 061	61-5-1-124	688 BOSTON POST RD EAST #124	PAGE THOMAS M		50 PAGE RD		WESTON MA	02193	1020
61-5	M_199735_900 061	61-5-1-125	688 BOSTON POST RD EAST #125	PEREIRA FLORIZA G		688 BOSTON POST RD EAST #125		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-126	688 BOSTON POST RD EAST #126	CULLEN LORRAINE A TR		688 BOSTON POST RD EAST #126		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-127	688 BOSTON POST RD EAST #127	COMERATO JOHN J III		121 MAPLEWOOD AVE		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-128	688 BOSTON POST RD EAST #128	MALEKMADAN I SAFIEH		688 BOSTON POST RD EAST #128		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-200	688 BOSTON POST RD EAST #200	CHANG INNJEN		47 WOODROW ST		HUDSON MA	01749	1020
61-5	M_199735_900 061	61-5-1-201	688 BOSTON POST RD EAST #201	VARGAS FRIDA CARINA		688 BOSTON POST RD EAST #201		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-202	688 BOSTON POST RD EAST #202	PRG LJS LLC		60 LEO BIRMINGHAM PKWY		BRIGHTON MA	02135	1020
61-5	M_199735_900 061	61-5-1-203	688 BOSTON POST RD EAST #203	GENEROSO MARCELO		16 COLBURN ST		NORTHBORO MA UGH	01532	1020
61-5	M_199735_900 061	61-5-1-204	688 BOSTON POST RD EAST #204	MENEZES FABIANA		186 RESERVOIR ST		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-205	688 BOSTON POST RD EAST #205	BIAGIO FABIO		573 BROAD ST #333		EAST WEYMOUTH MA	02189	1020

61-5	M_199735_900 061	61-5-1-206	688 BOSTON POST RD EAST #206	MIRANDA MARLI	688 BOSTON POST RD EAST #206	MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-207	688 BOSTON POST RD EAST #207	MENEZES MARCELO	271 BOSTON POST RD EAST #7	MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-208	688 BOSTON POST RD EAST #208	ROJAS MARITZA	36 WALNUT ST	MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-209	688 BOSTON POST RD EAST #209	TINOCO LUIS H	688 BOSTON POST RD EAST #209	MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-210	688 BOSTON POST RD EAST #210	ZAHID BRAHIM	215 HARVARD ST UNIT #15	MEDFORD MA	02155	1020
61-5	M_199735_900 061	61-5-1-211	688 BOSTON POST RD EAST #211	WILBER CARL J	688 BOSTON POST RD EAST #211	MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-220	688 BOSTON POST RD EAST #220	CHEN XIAOPU	688 BOSTON POST RD EAST #220	MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-221	688 BOSTON POST RD EAST #221	DE SOUZA LAVINIA S	688 BOSTON POST RD EAST #221	MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-222	688 BOSTON POST RD EAST #222	GIANG YUNG	401 DAVIS ST	NORTHBORO MA UGH	01532-2421	1020
61-5	M_199735_900 061	61-5-1-223	688 BOSTON POST RD EAST #223	GIANG YUNG	401 DAVIS ST	NORTHBORO MA UGH	01532	1020
61-5	M_199735_900 061	61-5-1-224	688 BOSTON POST RD EAST #224	BOAVENTURA JOSE L	688 BOSTON POST RD EAST #224	MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-225	688 BOSTON POST RD EAST #225	DEOLIVERIA HELIO	688 BOSTON POST RD EAST #225	MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-226	688 BOSTON POST RD EAST #226	MENEZES MARCELO	186 RESERVOIR RD	MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-227	688 BOSTON POST RD EAST #227	PASQUANTON IO LORRAINE M	688 BOSTON POST RD EAST #227	MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-228	688 BOSTON POST RD EAST #228	COVIELLO VICTORIA	688 BOSTON POST RD EAST #228	MARLBOROUGH MA H	01752	1020

61-5	M_199735_900 061	61-5-1-300	688 BOSTON POST RD EAST #300	MENEZES MAURICIO	578 BIGELOW ST	MARLBOROUGH H	MA	01752	1020
61-5	M_199735_900 061	61-5-1-301	688 BOSTON POST RD EAST #301	AHUJA VARSHA	5785 OWL HILL AVE	SANTA ROSA	CA	95409-4364	1020
61-5	M_199735_900 061	61-5-1-302	688 BOSTON POST RD EAST #302	WINSKE ERNEST J TR	860 CONCORD RD	MARLBOROUGH H	MA	01752	1020
61-5	M_199735_900 061	61-5-1-303	688 BOSTON POST RD EAST #303	MOREIRA RICARDO	688 BOSTON POST RD EAST #303	MARLBOROUGH H	MA	01752	1020
61-5	M_199735_900 061	61-5-1-304	688 BOSTON POST RD EAST #304	PRG LJS LLC	60 LEO BIRMINGHAM PKWY	BRIGHTON	MA	02135	1020
61-5	M_199735_900 061	61-5-1-305	688 BOSTON POST RD EAST #305	PEREIRA MARLUCIA S	688 BOSTON POST RD EAST #305	MARLBOROUGH H	MA	01752	1020
61-5	M_199735_900 061	61-5-1-306	688 BOSTON POST RD EAST #306	ANDRADE MONICA SABINO FERREIRA	688 BOSTON POST RD EAST #306	MARLBOROUGH H	MA	01752	1020
61-5	M_199735_900 061	61-5-1-307	688 BOSTON POST RD EAST #307	LADEIRA PEDRO L	688 BOSTON POST RD EAST #307	MARLBOROUGH H	MA	01752	1020
61-5	M_199735_900 061	61-5-1-308	688 BOSTON POST RD EAST #308	CODSIDE LLC	109 CORTLAND LN	BOXBOROUGH H	MA	01719	1020
61-5	M_199735_900 061	61-5-1-309	688 BOSTON POST RD EAST #309	AMIRHOSSEIN I FARIBORZ KHALAJ	13 BRADFORD RD	NATICK	MA	01760	1020
61-5	M_199735_900 061	61-5-1-310	688 BOSTON POST RD EAST #310	OLIVEIRA ARTHUR LUCAS SOUSA	688 BOSTON POST RD EAST #310	MARLBOROUGH H	MA	01752	1020
61-5	M_199735_900 061	61-5-1-311	688 BOSTON POST RD EAST #311	WOOD JOHN M	688 BOSTON POST RD EAST #311	MARLBOROUGH H	MA	01752	1020
61-5	M_199735_900 061	61-5-1-320	688 BOSTON POST RD EAST #320	SCHNAIBLE LAURA L	688 BOSTON POST RD EAST #320	MARLBOROUGH H	MA	01752	1020
61-5	M_199735_900 061	61-5-1-321	688 BOSTON POST RD EAST #321	OLIVEIRA ARTHUR LUCAS SOUSA	688 BOSTON POST RD EAST #321	MARLBOROUGH H	MA	01752	1020

61-5	M_199735_900 061	61-5-1-322	688 BOSTON POST RD EAST #322	SHAHEEN NORMAN M		688 BOSTON POST RD EAST #322		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-323	688 BOSTON POST RD EAST #323	WONG ERIC F		688 BOSTON POST RD EAST #323		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-324	688 BOSTON POST RD EAST #324	KEENEY WILLIAM F		1 STONYBROOK RD		NORTH GRAFTON MA	01536-2203	1020
61-5	M_199735_900 061	61-5-1-325	688 BOSTON POST RD EAST #325	MCATEE FABIANA F		271 BOSTON POST RD EAST #7		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-326	688 BOSTON POST RD EAST #326	MENEZES MARCELO		186 RESERVOIR ST		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-327	688 BOSTON POST RD EAST #327	VOSTRIAKOV VICTOR		688 BOSTON POST RD EAST #327		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-328	688 BOSTON POST RD EAST #328	AKHOULI YOUNES		688 BOSTON POST RD EAST #328		MARLBOROUGH MA H	01752	1020
61-5	M_199735_900 061	61-5-1-44	688-688 BOSTON POST RD EAST							995
61-6	M_199803_900 061	61-6	700 BOSTON POST RD EAST	MARIE ESTHER HEALTH CENTER INC		720 BOSTON POST RD EAST		MARLBOROUGH MA H	01752	9510

SPECIAL PERMIT-SUMMARY IMPACT STATEMENT

Applicant's Name: Aubuchon Realty Company, Inc. Address: 73 Junction Square Drive, Concord, MA 01742
Proposed Wayside Crossing
Project Name: Shopping Plaza Improvements Address: 661 Boston Post Road East (Route 20), Marlborough

1. PROPOSED USE: (describe) Expansion of the existing Wayside Crossing retail plaza to include a proposed 2,100± S.F. retail space, a 2,800± S.F. bank with drive-through, and a 2,250± S.F. coffee shop with drive-through.

2. EXPANSION OR NEW: Expansion to existing 8,800± S.F. retail plaza

3. SIZE: floor area sq. ft. Exist: 8,800± SF Exist: 8,800± SF Exist: 8,800± SF
Prop: +7,150± SF 1st floor Prop: +7,150± SF all floors Prop: +7,150± SF

buildings 2 # stories 1 lot area (s.f.) 91,824±

4. LOT COVERAGE: 68± %Landscaped area: 32± %

5. POPULATION ON SITE: Number of people expected on site at anytime:
Normal: 50 Peak period: 60

6. TRAFFIC:

(A) Number of vehicles parked on site:

During regular hours: 45 Peak period: 55

(B) How many service vehicles will service the development and on what schedule?

Limited service or delivery vehicles are anticipated for the proposed retail uses. Please see enclosed Project Narrative for more information.

7. LIGHT: How will the development be lit at the exterior? How much light will leave the property and enter the abutting property? All lighting is proposed to be down-cast and shielded away from abutting properties.

Minimal light trespass to abutting properties is anticipated. Please see enclosed Project Narrative and Lighting Plan for more information.

8. NOISE:

(A) Compare the noise levels of the proposed development to those that exist in the area now. Noise levels from the proposed use are anticipated to be consistent with other uses in the area. Please see enclosed Project Narrative for more information.

(B) Described any major sources of noise generation in the proposed development and include their usual times of operation. Noise levels for the proposed commercial uses are anticipated to be consistent with other uses in the area. Please see enclosed Project Narrative for more information.

9. AIR: What sources of potential air pollution will exist at the development? Vehicle exhaust.

10. WATER AND SEWER: Describe any unusual generation of waste. No unusual water or sewer waste or demand is anticipated as a result of this development.

11. HAZARDOUS MATERIAL: List any types of Hazardous Waste that will be on-site. How will this waste be stored? Where? How much will be in storage on a daily basis? How will it be disposed? No reportable quantities of hazardous waste are anticipated to be on-site as a result of this development.

***Attach additional sheets if necessary**



**CITY OF MARLBOROUGH
MARLBOROUGH, MASSACHUSETTS 01752**

City Hall
140 Main St.

Marlborough, Massachusetts 01752

Voice (508) 460-3775 Facsimile (508) 460-3723 TTD (508) 460-3610

President and Members City Council

Date: 9/7/2021

**SPECIAL PERMIT APPLICATION
CERTIFICATION BY PLANNING DEPARTMENT**

Project Name: Proposed Wayside Crossing Shopping Plaza Improvements

Project Use Summary: Existing 8,800± S.F. commercial space to remain, proposed 2,100± S.F. of retail space, a proposed 2,800± S.F. bank with drive-through, and a proposed 2,250± S.F. coffee shop with drive-through.

Project Street Address: 661 Boston Post Road East (Route 20)

Plate: 61 Parcel: 27A

Applicant/Developer Name: Aubuchon Realty Company, Inc.

Plan Date: 9/02/2021 Revision Date: _____

Dear President and Members:

In accordance with the City Council's Rules for Special Permit Applications, I hereby certify that the Site Plan filed with the City Clerk has been reviewed by the Building Department within the limits of work shown on the plan, and that said plan meets all prior referenced informational requirements of Section 7; that the plan conforms in all aspects to City Code and to these Rules and Regulations, and that any necessary zoning variances have been already granted by the Marlborough Zoning Board of Appeals, and any applicable appeal period concerning said variances have run.

Very truly yours,

Tin Htway
Acting Director of Planning

**Application Fee to submit to
City Clerk's office**

\$500.00

**City of Marlborough, Massachusetts
CITY CLERK DEPARTMENT**

**Steven W. Kerrigan
City Clerk**



Dear Applicant,

To ensure that each department listed below receives a copy of your completed Special Permit application, please hand-deliver to each department as instructions indicate below.

PLACE A CHECK-MARK AFTER HAND-DELIVERING THE APPLICATION TO THE FOLLOWING DEPARTMENTS AND SIGN YOUR NAME & DATE IT ACCORDINGLY. MAKE SURE THIS PAGE IS SIGNED AND RETURNED TO THE CITY CLERK'S OFFICE WITH THE COMPLETED APPLICATION. THE CITY CLERK'S OFFICE WILL NOT ACCEPT THE APPLICATION WITHOUT THE SIGNATURE OF THE APPLICANT OR PETITIONER AS INDICATED BELOW.

- 1 SET POLICE CHIEF
- 1 SET FIRE CHIEF
- 1 SET CITY ENGINEER
- 1 SET DIRECTOR OF PLANNING
- 1 SET CONSERVATION OFFICER (IF WETLANDS AFFECTED)
- 1 SET BUILDING COMMISSIONER
- 12 SETS OFFICE OF THE CITY COUNCIL
- 3 SETS OFFICE OF THE CITY CLERK (**MUST be Original** & 2 Complete Sets)



Signature

9/9/2021

Date

Thank you for your cooperation in this matter.

Sincerely,

*Steven W. Kerrigan
City Clerk*

**City of Marlborough, Massachusetts
CITY CLERK DEPARTMENT**

**Steven W. Kerrigan
City Clerk**



I certify under the penalties of perjury that I, to my best knowledge and belief, have filed all Municipal tax returns and paid all Municipal taxes required under law.

Company Name

Aubuchon Realty Company, Inc.

Owner Name/Officer Name of LLC or Corporation

Eamon D. Moran, President

Owner/Officer Complete Address and Telephone Number

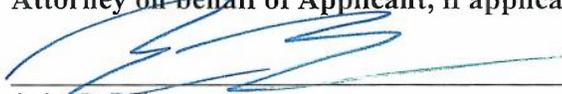
73 Junction Square Drive

Concord, MA 01742

978-669-4028

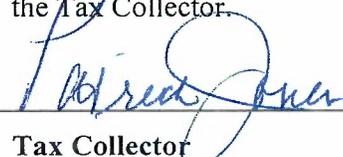
Signature of Applicant

Attorney on behalf of Applicant, if applicable



Brian R. Falk

The Special Permit Package will not be accepted unless this certification clause is signed by the applicant and the Tax Collector.



Tax Collector



352 Turnpike Road
Southborough, MA 01772
508.480.9900

August 23, 2021

Marlborough City Hall
City Council
Karen Boule, Council Secretary
140 Main Street
Marlborough, MA 01752

**Re: Project Narrative to Accompany Special Permit/Site Plan Applications
Proposed Improvements to Wayside Crossing Shopping Plaza
661 Boston Post Road East (Route 20), Marlborough, MA – Map 61, Lot 27A**

The Applicant, Aubuchon Realty Company, Inc., owns the subject property and seeks a Special Permit from the Marlborough City Council for a proposed expansion to the existing 8,800± square foot (SF) plaza to include an additional 2,100± SF of retail space, a 2,800± SF bank with drive-through, and a 2,250± SF coffee shop with drive-through. Specifically, the Applicant seeks a Special Permit and Site Plan Approval for the proposed restaurant with drive-through use and for the drive-through associated with the proposed bank.

Existing Site Context:

The project site (the "Site") is located at 661 Boston Post Road East, identified as Tax Assessor's Map 61, Lot 27A and consisting of approximately 2.11± acres of land. The Site is bordered to the north by Boston Post Road East (Route 20), bordered to the west by an easement/access drive (Gikas Circle) providing access to the Target retail store south of the parcel, bordered to the east by Diconzo Boulevard, and bordered to the south by a drive aisle on the Target parcel connecting Diconzo Boulevard and Gikas Circle. The Site is located within Wayside Zoning District, where the proposed retail and bank uses are permitted-by-right, and the proposed restaurant with drive-through and drive-through associated with the bank are permitted with a Special Permit through the Marlborough City Council. The project also requires Site Plan Approval by the City Council in accordance with the requirements of the Wayside Zoning District.

The eastern portion of the site is currently developed with a multi-use building known as Wayside Shopping Plaza consisting of a dry cleaner, dental group, and office space. The site also contains an existing paved parking area with forty-eight (48) spaces, walkways, drive aisles, drive-through services for the dry cleaner, and other site improvements. The site is currently accessed via an ingress only driveway connection to the internal connecting drive south of the site on the eastern side of the existing building and a full access driveway connection to the internal connecting drive south of the site on the western side of the existing building. The western portion of the Site currently consists of cleared land and areas covered by scrub vegetation and secondary tree growth.

Easements on-site consist of a thirty (30) foot wide drainage easement which runs west to east through the Site, containing existing subsurface drainage infrastructure connecting on-site drainage and drainage west of the site to the Diconzo Boulevard drainage infrastructure. Easements on-site also consist of temporary and permanent easements along the Boston Post Road frontage, associated with the forthcoming Massachusetts Department of Transportation Route 20 improvements. Additionally, the subject parcel has access and utility easement rights over the Target parcel to the south of the site.



Proposed Project:

The project proposes to maintain and expand upon the existing plaza. The project proposes a 2,100± SF retail space and 2,800± SF bank with drive-through attached to the existing 8,800± SF building. The bank drive-through is proposed to include separate teller and ATM drive-through lanes. Additionally, the project proposes a separate 2,250± SF coffee shop building with drive-through proximate to the western property boundary. The coffee shop is proposed to include separate drive-through and bypass lanes, outdoor seating area, outdoor pickup window, and other associated site improvements.

The project proposes to extend the existing parking area through the proposed development. Sixty-four (64) parking spaces are proposed to be provided for the project inclusive of parking in accordance with the Americans with Disabilities Act (ADA) standards, meeting the parking requirements noted under §650-37 of the Marlborough Zoning Ordinance (Special Provisions Applicable to the Wayside Zoning District). The project proposes to maintain the existing ingress only driveway east of the existing building, and proposes a new full access curb cut to the internal connecting drive south of the site between the proposed coffee shop and bank uses. The previous full access driveway is proposed to be maintained to provide access for solid waste containers and for dry cleaner loading operations. The proposed bank drive-through is designed with teller and ATM drive-through lanes separate from the overall site circulation. The proposed coffee shop is designed with a drive-through lane designed to accommodate eleven (11) queued vehicles with a full bypass lane proximate to same.

Site Improvements:

In consideration of the interests of the Wayside Zoning District, the project has been designed to provide enhanced pedestrian connectivity within and through the proposed development. Sidewalk and crosswalk connections are proposed between the on-site uses. Additionally, the project proposes to provide sidewalk connections to the sidewalk along Boston Post Road East and the sidewalk on the Target parcel proximate to Gikas circle, providing pedestrian connectivity through the site from Boston Post Road East to the sidewalk infrastructure associated with the existing Target development. The sidewalk connections will also provide access to the City's nearby trail network. Additionally, a bicycle rack is proposed proximate to the proposed coffee shop.

Proposed on-site landscaping is also designed in consideration of the Wayside Zoning District. The project proposes to maintain landscape buffers in accordance with the Marlborough Zoning Ordinance, including a minimum fifty (50) foot wide landscape buffer along Boston Post Road. Additionally, internal landscape islands are proposed within the proposed parking areas and proximate to the proposed coffee shop and bank drive-throughs.

The project proposes a new stormwater management system designed to accommodate newly developed areas in accordance with the Massachusetts Department of Environmental Protection (MassDEP) Stormwater Management Handbook and City of Marlborough requirements. The stormwater management system is proposed to include deep-sump hooded catch basins to collect and pre-treat stormwater, which are proposed to direct runoff to a proposed subsurface detention/infiltration basin. The proposed stormwater management system proposes to treat runoff in accordance with applicable requirements, reduce the calculated stormwater runoff rates for all storms analyzed, and increase groundwater recharge. Please see the enclosed Drainage Report for additional information.

The project proposes to provide water and sewer connections to the existing utility infrastructure



located within the connecting drive south of the subject site. The proposed uses are not anticipated to represent a significant demand on water and sewer facilities. Additionally, electric, communications, and gas services are anticipated to be made to the existing infrastructure located proximate to the connecting drive south of the site.

Separate fully screened solid waste enclosures are proposed for the coffee shop and retail/bank uses. Large delivery trucks or frequent deliveries are not anticipated to be required for the proposed uses. Delivery vehicles are anticipated to utilize the proposed parking and drive aisle circulation. Ample snow storage is anticipated to be available as reflected on the Site Layout Plan (Sheet C3.0) within the enclosed Proposed Site Plan Documents.

Lighting has been designed with lighting fixtures consistent with dark-sky standards and are proposed to be fully shielded where proximate to property boundaries. Limited light trespass from the subject site is calculated to be proposed as reflected on the Lighting Plan (Sheet C7.3) of the enclosed Proposed Site Plan Documents. Limited noise generation is anticipated from the proposed development, with the proposed commercial uses consistent with nearby uses. The proposed uses are not anticipated to represent a negative impact to air quality or produce noxious odors.

Wayside Zoning District Review Criteria:

The project has been designed in consideration with the site plan and special permit approval review criteria of the Wayland Zoning District noted under §650-37(K)(1) of the Marlborough Zoning Ordinance as further detailed below:

- (a) Compliance of the design with the design standards in the above Subsection H;

The project has been designed in accordance with the Design Standards noted under §650-37(H) of the Marlborough Zoning Ordinance as further detailed below:

1. Site layout.

The proposed site layout has been designed in accordance with the provisions of the Wayside Zoning District. Specifically, the proposed buildings have been located as close to Boston Post Road as practical while respecting the existing drainage easement through the property. Additionally, proposed parking areas have been located to the sides of proposed buildings to the extent practicable, with the exception of existing parking areas and the proposed extension of same. Proposed landscape buffers inclusive of shade trees and shrub plantings are proposed on all sides of the proposed development to enhance landscaping to Boston Post Road and the internal circulation located on the Target parcel.

2. Pedestrian and bicycle circulation.

The project has been designed to provide sidewalk connections between the existing and proposed buildings, the Boston Post Road sidewalk, the sidewalk infrastructure located on the Target parcel, and the City's trail network. Additionally, a bicycle rack is proposed on-site proximate to the proposed coffee shop, located to not obstruct pedestrian or vehicular movements. ADA accessible parking spaces in accordance with the standards associated with same are proposed proximate to the proposed uses, providing an ADA accessible path to the entrances of same.

3. Outdoor pedestrian spaces.



As previously noted, an internal sidewalk infrastructure is proposed within the site to connect proposed uses on-site, and to connect the existing and proposed buildings to the sidewalk infrastructure surrounding the site. The proposed coffee shop is designed to include an outdoor seating area, which is located proximate to the secondary driveway infrastructure on the Target parcel. Additionally, the proposed coffee shop is anticipated to include a proposed outdoor pickup window for patrons who would prefer complete their order at the exterior of the building.

4. Building design.

The proposed coffee shop building is designed to avoid blank walls, and includes brick banding along the base of the façade and additional textured banding proximate to the roofline. Storefront windows are proposed on the entrance side of the building. Awnings are proposed along the storefront side of the building, over the doorway proximate to Boston Post Road, and over the proposed drive-through window.

The proposed additional retail and bank spaces are also designed to avoid blank walls, with banding proposed along the base of the façade and storefront windows along each front façade. A raised parapet with cornice is proposed along the roofline of the building addition to provide screening of rooftop units.

Additionally, the project is proposed to include improvements to the existing shopping plaza, including replacement of the existing bright blue awning with a more natural dark gray color that will better match the proposed on-site buildings and the surrounding area.

(b) Compliance of the sidewalks with Americans with Disabilities Act (ADA) design standards;

The project has been design with ADA accessible parking spaces in accordance with standards associated with same, and with ADA accessible paths connecting the spaces to the building entrances. Additionally, an accessible path in accordance with the ADA requirements has been design connecting the on-site sidewalk infrastructure with the sidewalk infrastructure along Boston Post Road and the sidewalk infrastructure located on the Target parcel.

(c) Scale of the buildings relative to the surroundings;

The project consists of existing and proposed one-story buildings, similar to other commercial buildings along Boston Post Road proximate to the subject site. The proposed building and overall development footprint areas relative to the parcel size are similar to other commercial buildings proximate to the subject site. Accordingly, the proposed building scale is expected to be appropriate for the area.

(d) Quality of the design materials for building facades visible from public ways;

As previously noted, the proposed buildings have been design with material banding, storefront windows, and awnings to increase the visual interest as visible from public ways.

(e) Quality of the design and materials for public space; and

As previously noted, the project has been designed with a comprehensive landscape plan both along the perimeter of the site and internal to proposed on-site parking and circulation. Proposed on-site pedestrian circulation and seating areas are proposed to



be concrete sidewalk and designed in accordance with ADA requirements. The proposed outdoor seating area is design with a perimeter aluminum fence. All parking and pedestrian spaces are proposed to be sufficiently lit with LED lighting as shown on the Lighting Plan included within the Proposed Site Plan Documents.

- (f) Placement of utilities and wiring underground, to the extent practicable.

All on-site utilities are anticipated to be underground to the extent practicable, except as otherwise required by the utility owner(s).

Summary:

As noted herein, we believe that the project has been design in accordance with the requirements of the Marlborough Zoning Ordinance and the Wayside Zoning District. We look forward to further discussing the project with the City Council at an upcoming hearing.







- APPLICANT:
AUBUCHON REALTY COMPANY, INC
73 JUNCTION SQUARE DRIVE
CONCORD, MA 01742
- OWNER:
AUBUCHON REALTY COMPANY, INC
73 JUNCTION SQUARE DRIVE
CONCORD, MA 01742
- PARCEL:
MAP 81, LOT 27A
881 BOSTON POST ROAD EAST
CITY OF MARLBOROUGH
MIDDLESEX COUNTY, MA

ZONING DISTRICT	OVERLAY DISTRICT	REQUIRE PERMIT	SPECIAL PERMIT SITE PLAN REVIEW	MINIMUM FRONT SETBACK	MINIMUM SIDE SETBACK	MINIMUM REAR SETBACK	MINIMUM FRONT LOT BUFFER	MINIMUM SIDEWALK BUFFER	MAXIMUM BUILDING HEIGHT	MAXIMUM PERVIOUS COVERAGE	PARKING SPACES	ACCESS/PARKING SPACES	PARKING STALL CRITERIA (B) STANDARD: 8 FT x 18 FT	EXISTING BUILDING	PROPOSED METAL BANK	PROPOSED COFFEE SHOP	ACCESSIBLE PARKING CRITERIA REMARKS	PROPOSED LANDSCAPE BUFFER	
WAYSIDE ZONING DISTRICT				8,000 SF	11,024 SF	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				30 FT	30 FT	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				25 FT	25 FT	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				25 FT	25 FT	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				25 FT (E)	25 FT (E)	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				7 FT	7 FT	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				62 FT	62 FT	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				8%	8%	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				64 SPACES	64 SPACES	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				3 SPACES	3 SPACES	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				5,791 SF	5,791 SF	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				FORMULA: 1 SPACE PER 250 SF	FORMULA: 1 SPACE PER 250 SF	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				CALCULATION: 8,791 SF X 1 SPACE PER 250 SF = 35.2 SPACES	CALCULATION: 8,791 SF X 1 SPACE PER 250 SF = 35.2 SPACES	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				4,900 SF	4,900 SF	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				FORMULA: 1 SPACE PER 250 SF	FORMULA: 1 SPACE PER 250 SF	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				CALCULATION: 4,900 SF X 1 SPACE PER 250 SF = 19.6 SPACES	CALCULATION: 4,900 SF X 1 SPACE PER 250 SF = 19.6 SPACES	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				2,250 SF	2,250 SF	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				FORMULA: 1 SPACE PER 250 SF	FORMULA: 1 SPACE PER 250 SF	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				CALCULATION: 2,250 SF X 1 SPACE PER 250 SF = 9 SPACES	CALCULATION: 2,250 SF X 1 SPACE PER 250 SF = 9 SPACES	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				11-28 SPACES	11-28 SPACES	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				+3 MIN. ACCESSIBLE SPACES	+3 MIN. ACCESSIBLE SPACES	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				15-30 SPACES	15-30 SPACES	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				+4 MIN. ACCESSIBLE SPACE	+4 MIN. ACCESSIBLE SPACE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				ACCESSIBLE VAN SPACE PER 8 STANDARD ACCESSIBLE SPACES (MIN.)	ACCESSIBLE VAN SPACE PER 8 STANDARD ACCESSIBLE SPACES (MIN.)	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
				FRONT LANDSCAPE BUFFER SHALL BE 16 FT PLUS 1 FT FOR EACH 20 FT OF FRONTAGE GREATER THAN 100 FT, OR 20 FEET ALONG BOSTON POST ROAD EAST AND 20.25 FEET ALONG DICENZO BOULEVARD.	FRONT LANDSCAPE BUFFER SHALL BE 16 FT PLUS 1 FT FOR EACH 20 FT OF FRONTAGE GREATER THAN 100 FT, OR 20 FEET ALONG BOSTON POST ROAD EAST AND 20.25 FEET ALONG DICENZO BOULEVARD.	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE

BOSTON POST ROAD
 (AKA ROUTE 20)
 70' MIN. ASHFT / 15' MIN. (PUBLIC-VARIABLE WIDTH)



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CITY OF MARLBOROUGH

Marlborough Public Schools

School Committee
District Education Center
25 Union Street, Marlborough, MA 01752
(508) 460-3509

Call to Order

June 22, 2021

1. Chairman Vigeant called the regular meeting of the Marlborough School Committee to order at 7:34 p.m. at 17 Washington Street, Marlborough, MA. Members present included Michelle Bodin-Hettinger, Daniel Caruso, Earl Geary, Heidi Matthews, and Denise Ryan. Katherine Hennessy was remote. Also, physically present were Superintendent Michael Bergeron, Director of Finance and Operations, Douglas Dias, and the Assistant Superintendent of Student Services and Equity, Jody O'Brien. MEA Representative Eileen Barry was physically present.

This meeting is being recorded by local cable, WMCT-TV, and is available for review.

2. **Pledge of Allegiance:** Chairman Vigeant led the Pledge of Allegiance.
3. **Presentation:** None.
4. **Committee Discussion/Directives:** None.
5. **Communications:** None.
6. **Superintendent's Report:**
Superintendent Bergeron updated the committee on the Summer 2021 COVID-19 Data throughout the district, city, and state. He presented the adjusted numbers that differ from the figures in his attached report.
The Superintendent shared a message he will send Sunday night to staff and faculty regarding the past school year. The message is included in his report.
Superintendent Bergeron communicated DESE's updated mask guidance for summer and fall. For the summer, it is recommended that health and safety guidelines are maintained. For the fall, masks will not be required regardless of vaccination status. MPS plans to follow these guidelines.

www.mps-edu.org

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Mr. Bergeron proposed August 17th as the date for a School Committee workshop followed by a training led by Dr. Kalise Wornum.

The Superintendent attached a list of gifts and grants to review for the year.

A. Director of Finance & Operations Report

Mr. Dias, the Director of Finance and Operations, praised those who contributed to the success of the meal program this school year. Since March 2020, 380,000 meals have been prepared and provided to students. Summer meals will be offered to families at certain sites during specific time frames. Breakfasts and lunches will be delivered to students attending in-person summer programs as well.

Mr. Dias attached a report of the federal relief funds the district has been given access to. How much money was spent, what it was spent on, and how much is remaining is included in this report.

Mr. Dias explained that there was a good response to the transportation survey sent out to parents. He mentioned that the Transportation office will follow up with families who have yet to respond.

B. Assistant Superintendent of Student Services & Equity

Mrs. O'Brien, the Assistant Superintendent of Student Services and Equity, shared the logistics of MPS's 2021 Summer Programs.

Mrs. O'Brien introduced the METAS (Marlborough Evening Teens Accelerated Studies) program. This is a nontraditional opportunity to help at-risk students graduate high school. The district identified its overage and under credited EL students who transferred to MPS as target students for this program.

Lynne Medailleu shared the work that was done last Spring to set up an evening program this school year. She highlighted students that participated in this program, and they provided video testimony as to how the program has impacted them. Ms. Medailleu explained the process of accepting a student into the METAS program. She also communicated the logistics of the program and the metrics for success. Additionally, she thanked those involved in making this program successful for its first year. Ms. Medailleu's presentation is attached to Mrs. O'Brien's report.

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7. Acceptance of Minutes:

A. Minutes of the May 25, 2021 School Committee Meeting

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to approve these minutes.

Motion passed 6-0-0.

B. Minutes of the June 8, 2021 School Committee Meeting

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to approve these minutes.

Motion passed 6-0-0.

8. Public Participation: None.

It should be noted that members of the public may provide comment by dialing in to the specified number and conference ID during virtual School Committee meetings or via email before the meeting to superintendent@mps-edu.org. Public participation is a time for your comments to be heard by the committee; it is not a question-and-answer session.

9. Action Items/Reports

A. Ratification of the memorandum of understanding between the Marlborough School Committee and the Behavior Technicians

Mrs. Matthews explained that there was a unanimous vote in executive session earlier this evening for this agenda item.

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to publicly approve this ratification.

Motion passed 6-0-0.

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B. Ratification of the memorandum of understanding between the Marlborough School Committee and the Marlborough Educator Association

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to publicly approve this ratification.

Motion passed 6-0-0.

C. Adjustment of School Hours

Superintendent Bergeron proposed an adjusted school hours schedule. Marlborough High School would begin at 8am and end at 2:35pm. Whitcomb Middle School hours would remain the same. All elementary schools would run from 9am to 3:15pm. The Early Childhood Center would return to their pre-COVID schedule next year. Superintendent Bergeron will communicate this to families as soon possible.

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to approve these adjusted school hours.

Motion passed 6-0-0.

D. Payment to Non-Affiliated Staff

Superintendent Bergeron stated that the FY22 budget assumed a 0% COLA increase for affiliated and non-affiliated staff except for Custodial and Food Service staff who had contracts ratified in FY20. The Superintendent proposed making a one-time 2% payment to non-affiliated staff on the attached list to this agenda item.

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to approve this payment.

Motion passed 6-0-0.

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E. FY21 Operating Budget Transfers

Mr. Dias outlined transfers for the FY21 operating budget in an attached document.

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to approve these transfers as presented.

Motion passed 6-0-0.

F. Virtual School Committee Meetings

The Governor has extended the allowance for virtual meetings until April 1, 2022. School Committee members discussed the future of virtual meetings and public participation for the Marlborough School Committee. Superintendent Bergeron shared some feedback he received on this matter from attorney Peter Summers; this was not a legal opinion. The committee will get clarification via a legal opinion on whether members can remotely participate under the legislation.

Motion made by Mrs. Bodin-Hettinger, seconded by Chairman Vigeant to ask the Superintendent to get a legal opinion for the meeting on August 17th.

Motion passed 6-0-0.

G. Superintendent's Evaluation

Mrs. Bodin-Hettinger shared the numeric results of the Superintendent's Evaluation. Comments from committee members have not been collected yet. The deadline to report the entire evaluation to DESE is July 1st. The comments will be shared in one of the first few School Committee meetings next school year. The two sets of criteria the Superintendent is evaluated on are goals created by the Superintendent and standards set by the state.

H. Acceptance of Donations and Gifts

HDF (Home Depot Foundation). The MHS Science Technology Department received \$13,000.00 from the HDF.

Motion made by Mrs. Matthews, seconded by Chairman Vigeant to approve this donation.

Motion passed 6-0-0.

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Commonwealth of MA Civics Grant. MPS received \$29,981.00 from this grant. Motion made by Mrs. Matthews, seconded by Chairman Vigeant to approve this grant. Motion passed 6-0-0.

10. Reports of School Committee Sub-Committees:

Mrs. Matthews thanked all the unions, especially the teachers, that quickly came to agreements with the School Committee.

Mrs. Hennessy stated that policy met last week and is almost finished updating all the policies.

11. Members' Forum:

Mrs. Matthews reviewed the warrant and signed it.

Mrs. Bodin-Hettinger suggested that the Superintendent's Evaluation should be done earlier in the year. She also thanked everyone who was a part of the negotiations.

Mrs. Hennessy thanked the Superintendent and the Negotiations Sub-Committee.

12. Adjournment:

Motion made by Mrs. Bodin-Hettinger, seconded by Chairman Vigeant to adjourn at 8:43 p.m.

Motion passed 6-0-0.

Respectfully submitted,

Heidi Matthews
 Secretary, Marlborough School Committee

HM/jm

Approved on August 24, 2021

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**CITY OF MARLBOROUGH
CONSERVATION COMMISSION**

Minutes

July 22, 2021(Thursday)

Marlborough City Hall – 3rd Floor, Memorial Hall

7:00 PM

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CITY OF MARLBOROUGH
2021 SEP -8 P 12:30

Present: Edward Clancy-Chairman, Allan White, David Williams, Dennis Demers, John Skarin, and William Dunbar. Priscilla Ryder-Conservation Officer was also present.

Absent: Karin Paquin

Approval of Minutes: The minutes of July 1, 2021 were reviewed and unanimously approved 6-0

Public hearings:

Request for Determination of Applicability

1000 Nickerson Rd. – Lincoln Property Company

Brandon Barry of Bohler Engineering and Jim Noonan from Lincoln Properties were both present. Mr. Barry explained the project which will be a large building at the top of the hill. The work involves a little bit of work within the 100' buffer zone at the entrance driveway. The wetland is across the street; Nickerson Rd. is the barrier between the project site and the wetland. Ms. Ryder noted that she checked the site and agree with the wetland location based on a site visit and the plan. She noted that no flags had been hung and the wetland is an approximation but has a well-defined toe of the slope. She noted that the existing detention basin on the proposed building contains some mature trees which should not be disturbed, she asked if the regrading and enlargement of this basin can occur on the opposite side so as not to disturb the mature trees. Mr. Barry indicated this could be done. He reviewed the drainage system, that the first 1" flush would be treated and confirmed they are within the WSPD and understood the use restrictions. Snow storage was discussed and needs to be on the pavement. The construction sequencing was discussed, as this property has clay, hardpan and ledge; it may be a difficult site. Half the drainage goes towards Rte. 20 and Millham Reservoir and the other towards Hayes Memorial Dr. and the adjacent wetland. The Commission asked for a revised plan showing construction sequencing, notes about the WSPD, the use of stump grindings to help control runoff. Mr. Barry said a revised plan would be provided and asked that the hearing be continued. The hearing was continued to the August 5, 2021 meeting.

Notice of Intent

641 Pleasant St. – Big Daddy Realty Trust

At the applicants request this item was continued to the August 5th meeting for them to revise the plans per the information gained at the July 20, 2021 site visit. This hearing was continued to the August 5, 2021 meeting.

Notice of Intent (Continued from July 22, 2021 to Aug. 19, 2021)

At the applicants request the following two hearings on Phelps St. were continued to August 19, 2021

0 Phelps St. (next to 107) - David Franca

Proposes to construct a new house on a vacant lot within the Riverfront Area of Mowery Brook. Map 72, Parcels 11B and 702.

AND

Notice of Intent (Continued from July 22, 2021 to Aug. 19, 2021)

107 Phelps St. - David Franca

Proposes to construct a driveway across this lot within the Riverfront Area and buffer zone of Mowery Brook. Map 72, Parcel 11A.

Request for Determination of Applicability

656 Boston Post Rd. - Global Montello Group Corp.

Proposes to expand the existing "Alltown" Convenience Store, add parking, drive thru and upgrade drainage system near wetlands. At the applicant's request, in a letter from Attorney Brian Falk, the applicants have changed their plans and will no longer be working near wetlands and withdrew their RDA application.

Certificates of Compliance:

- 212-1037 23 Boivin Dr. (Lot 14) – Full Certificate - Ms. Ryder noted that all items required in the Order of Conditions had been met and the site was stabilized. She shared pictures of the house, lawn, and buffer zone markers. On a motion by Mr. Skarin second by Edward Clancy, the Commission voted unanimously 6-0 to issue a full Certificate of Compliance for this lot.
- 212-1036 37 Boivin Dr. (Lot 13) – Full Certificate - Ms. Ryder noted that all items of the Order of Conditions had been met except that the yard lawn is very sparse and not stable. The Commission determined that if the yard was not stable, it needs to be re-loamed, and slice seeded and stabilized before the Commission can consider issuing a Certificate of Compliance. Ms. Ryder will convey same.

Current projects and Violation updates:

- 541 Pleasant St. still waiting for response.

Discussion/Correspondence/Other Business:

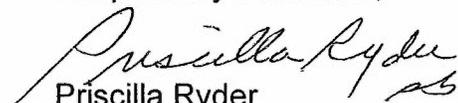
- Trails Committee - As Ms. Paquin was not present Mr. Dunbar gave a brief update, 4 volunteers are certified arborist, and over the past few weekends 72+ trees have been removed from the trail at Sudbury Reservoir. Ms. Ryder shared some photos and maps. Amazing crew of volunteers have been helping with the 4-mile section of Sudbury Reservoir trail. Some additional workdays have been added to our monthly schedule, so the trail is moving along nicely. Boy scouts are lined up to do some bridges too, and other volunteer

groups are helping too. Very impressed with Trail Committee, Discussed various trail improvements on all different properties.

Next Conservation Commission meetings: August 5th, 2021 and August 19th, 2021

Adjournment - As there was no further business, on a motion by Mr White and seconded by Edward Clancy, the meeting was adjourned at 7:55 PM

Respectfully submitted,

A handwritten signature in cursive script that reads "Priscilla Ryder". The signature is written in black ink and is positioned above the printed name.

Priscilla Ryder
Conservation Officer

**CITY OF MARLBOROUGH
CONSERVATION COMMISSION
Minutes**

**August 5, 2021(Thursday)
Marlborough City Hall – 3rd Floor, Memorial Hall
7:00 PM**

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CITY OF MARLBOROUGH
2021 SEP -8 P 12:30

Present: Edward Clancy-Chairman; Allan White, David Williams, Dennis Demers, John Skarin, Karin Paquin and William Dunbar. Priscilla Ryder - Conservation Officer was also present.

Absent: none

Public hearings:

Abbreviated Notice of Resource Area Delineation

689 Pleasant St. - Tim Beauchemin, Trustee

Mr. David Crossman of B & C Associates was present representing the applicant. He explained that he had delineated the wetland in the spring and was requesting that the Commission review and approve the wetland as delineated. Ms. Ryder noted that she and Ms. Paquin had walked the site and based on soil borings and vegetation had comments on 7 of the flags. She shared a plan which indicated these flag changes to flag #s 12,10,7,5,32, 27 and 22. She also noted that there appears to be a wetland behind flag # 21 that needs to be investigated. Mr. Crossman acknowledged the small depression. The Commission suggested a site visit be held to review the changes and to see the site. Ms. Devona from 705 Pleasant St. is a direct abutter, she raised concerns that the water table has changed dramatically since the Assabet Ridge development went in and she now has more standing water in her back yard. Her concern is that any development of this lot might exacerbate this problem and she wanted to be sure everyone knew about this issue. If anything is proposed on this lot, she would want to be sure that the downhill drainage is maintained. The Commission decided to set a site visit for Thursday August 12, 2021 at 5:00 PM. The hearing was continued to the next meeting on August 19, 2021.

Notice of Intent

600 Nickerson Rd. - Todd Greenfield, KS Partners, LLC

Mr. Doug Hartnet from Highpoint Engineering and Tod Greenfield's owner of KS Partners were both present. Mr. Hartnet explained that the existing building was constructed in the 1980's as an office building. The current proposal is to add an addition to this building and convert it all to a biomanufacturing space to do some

manufacturing in the new addition and convert the existing building to labs and office space. The new addition will include new loading docks, new sewer connections and modified stormwater system. Some of the work will fall within the 100' buffer zone but will stay outside the 20' no disturb Buffer Zone. Roof drainage will be infiltrated in underground infiltration systems. They will meet the higher level of water quality improvements since they are within, the city's Water Supply Protection District. Erosion controls and antitracking pads are shown on the plan. The Commission asked about snow storage and construction sequencing. Ms. Ryder noted that she and Mr. Dunbar had inspected the site and noted that the existing salt storage shed, which is covered, appears to have killed all the trees and vegetation just downhill from this structure. Apparently, the salt is leaching out. The Commission asked for the applicant to investigate this, relocate the shed, and provide a plan to restore the slope that has been impacted. After some discussion it was agreed to continue the hearing to the next meeting on August 19th in order for the applicant to address the issues raised.

Request for Determination of Applicability

1000 Nickerson Rd. – Lincoln Property Company

Proposes to construct a 120,000 sq. ft. building near a small wetland.

At the applicants request prior to the meeting, this hearing was continued to the August 19th agenda to allow time for them to revise the plans.

Notice of Intent

641 Pleasant St. – Big Daddy Realty Trust

To build a single-family dwelling near wetlands.

At the applicants request prior to the meeting, this hearing was continued to the August 19th agenda to allow time for them to revise the plans.

Certificates of Compliance:

- DEP 212-821 274 Brigham St. (temporary crossing)- Full Certificate - Ms. Ryder noted that this project has been completed for some time and a subsequent Notice of Intent for the house and driveway were issued a full Certificate of Compliance. This one is all set. On a motion by a commission member and second by the Edward Clancy, the Commission voted unanimously 7-0 to issue a full Certificate of Compliance.

Updates on Current projects and Violations:

- 541 Pleasant St. – Ms. Ryder read an e-mail from Mr. Sampaio, owner of this lot in response to the letter she had sent on the Commission's behalf. After some discussion, the Commission noted that daily fines should begin to be issued and

he should be invited to the next meeting to discuss the situation with the Commission.

- 79 Beach St. – Ms. Ryder noted she will be investigating a compliant with the building department about some dumping in the wetlands. She will report back.
- 192 Reservoir St. - Ms. Ryder noted that construction on this tight lot will begin soon, Mr. Dunbar will keep an eye on it.
- 33 Acres purchased by Department of Conservation and Recreation (DCR), the City of Marlborough and Sudbury Valley Trustees (SVT) to add to Callahan State Park. Celebration and ribbon cutting to occur on August 10, 2021 at noon with State Officials, DCR, SVT and Mayor and City Council. Commission Members were encouraged to attend.

Next Conservation Commission meetings: August 19th and Sept. 2nd, 2021

Adjournment - There being no further business, on a motion by Mr. Demers second by Mr. Clancy, on a vote of 7-0 the meeting was adjourned at 8:18 PM.

Respectfully submitted,


Priscilla Ryder *PR*
Conservation/ Sustainability Officer

CONSERVATION COMMISSION
Minutes
August 19, 2021(Thursday)
Marlborough City Hall – 3rd Floor, Memorial Hall
7:00 PM

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 CITY OF MARLBOROUGH
 2021 SEP -8 P 12:30

Present: Edward Clancy-Chairman; Allan White, David Williams, Dennis Demers, John Skarin, Karin Paquin and William Dunbar. Priscilla Ryder-Conservation Officer was also present.

Absent: none

(This meeting was not recorded due to technical difficulties – it was just transcribed here)

Public hearings:

Notice of Intent

2 Minehan Lane – Department of Public Works

Tom DiPersio, City Engineer was present and explained that the city proposes to remove and replace an outlet structure that is leaking at the pond on Minehan Ln. The plan is to replace the old outlet with a new outlet on the shoreline and make the drainage pipe connection. This will restore the water level to the pond as the original structure was designed to do using the same design elevations. They have seen evidence that the system is failing with sink holes near the existing driveway. Also, as part of this project the city will install the sewer line connection to this house too, to avoid multiple disruption of the area near the wetland. There was discussion of removal and abandonment of the old structure and it was determined it would be best if the old structure was removed. Mr. DiPersio noted that a coffer dam may need to be used to accomplish that. Ms. & Mr. Burbeck the owners of 2 Minehan Ln. expressed their interest in making sure the existing structure is removed and wanted to know if some of the muck could be removed from the pond to restore it to its' original "clear" state. It is beginning to grow a thick layer of cattails and other plants along the edge, so it is more marshy than open water. They were hoping this new outlet structure would allow for the restoration of the pond. Mr. Kambosos of 3 Turner Ridge Rd. noted that there are lots of trees and things that have fallen into the stream which he feels is blocking the flow, he wanted this to be addressed as well. Mr. DiPersio noted that they can see if they can remove the old structure, and that the tree removal could be done in the next sewer phase. Ms. Ryder noted she'd go take a look before the next meeting. The Commission noted that they would need more information if lots of material was to be removed from the pond i.e., where material would be removed to, process of removal and depth of removal. Revised plans showing same would be necessary.

After some additional discussion from Ms. Burbeck regarding the 3 years they have lived with this structure failure and more on pond restoration, the meeting was continued to the September 2nd agenda to allow for a revised plan to be submitted.

Request for Determination of Applicability

Donald Lynch Blvd. Sidewalk – Department of Public Works

Tom DiPersio, City Engineer, explained that they are installing sidewalk within the layout of Donald Lynch Blvd. in the section between the Mall and Target where there is a gap in the sidewalk. This section is right near the wetland. However, there is already a shoulder in this location that can accommodate the sidewalk without requiring any grading. The guardrail would be moved closer to the wetland and the topsoil removed and sidewalk installed. No riprap or other stabilization is needed given the existing conditions. Ms. Ryder noted she had checked the site, and this is correct. Councilor Ossing was present and noted that sidewalks and bike lanes on Donald Lynch Blvd. are part of the vision for this roadway to make it more accessible, as is being done throughout the city, and supports this project. The Commission agreed this would not harm the wetland and closed the hearing. On a motion by a commission member and second by Mr. Clancy to issue a Negative Determination with standard condition, the Commission voted unanimously 7-0 to issue the Negative Determination as noted.

Abbreviated Notice of Intent

689 Pleasant St. - Tim Beauchemin, Trustee

Request the review and approval of the wetland resource areas. At the request of the applicant after the site visit on 8/18/21 this hearing was continued to September 2nd to allow for a revised plan to be provided.

Notice of Intent (Continued from 8/5/21)

600 Nickerson Rd. - Todd Greenfield, KS Partners, LLC

Nick Kondek of HighPoint Engineering and Todd Greenfield of KS Partners LLC were present. Mr. Kondek presented a revised plan addressing the issues raised at the last meeting. Including: 1. Addressing the salt damaged slope, John Rockwood of Ecotech provided a mitigation plan to remove the 12" of soil, import topsoil and replant the area with red maple, wild black cherry, red oak and white pine. They will top dress with wet meadow mix for low areas and erosion control mix for upland area; 2. Relocate the salt shed outside the buffer zone and away from the drainage. Shed will be covered and surrounded by cement blocks; 3. They have added snow storage location on the pavement as requested and outside 100' buffer zone; 4. They confirmed they meet the Water Supply Protection District lot coverage. Allowed is 53% their current design is 45%; 5. Addressed parking- they are over parked by 25 spaces.

Ms. Paquin asked whether removal of the 12" of topsoil was enough to remove the salt damage. It was agreed that a condition would be added to ensure that the soil was analyzed deeper to determine how much soil would need to be removed to ensure the new plantings would not be affected by the residual salt in the soil. Mr. Clancy noted that the salt shed would need to stay dry and not have water run through it, this will also be an ongoing condition to be added. After some discussion about salt storage and stormwater maintenance requirements, the Commission continued the hearing to the Sept. 2nd meeting and asked Ms. Ryder to draft conditions for review at that meeting.

Request for Determination of Applicability

1000 Nickerson Rd. – Lincoln Property Company

Brandon Berry of Bohler Engineering and James Noonan of Lincoln Property Co. were both present. Mr. Berry explained the construction sequencing plan and measures to be taken to ensure the site is under control during construction. They had reviewed the design of the existing detention basin to protect the existing trees along Nickerson Rd. and Hayes Memorial Dr. He added a note regarding the use of stump grindings and mulch berms to aid in sediment control. He went over the plan provided. Mr. Clancy noted that the existing basin should NOT be used as a sediment basin during construction as it would not be appropriate. The water should be treated on the construction portion of the site and not be mixed with clean water from the drainage swale. After much discussion about the construction sequencing and the entrance off Nickerson Rd. and the need for additional sediment basins on the site and the fact that Chairman Clancy noted that an NOI could be required if plans are not revised. The applicant agreed to revise the plans and return at the next meeting on Sept. 2nd. The Commission continued the hearing to the Sept. 2nd meeting.

Notice of Intent (continued)

641 Pleasant St. – Big Daddy Realty Trust

As revised plans have not yet been submitted this item was continued to the Sept. 2, 2021 meeting.

Notice of Intent

At the applicants request the following two Phelps St. hearings were continued to Sept. 2, 2021 to allow time for the applicant to provide additional information.

0 Phelps St. (next to 107) - David Franca

Proposes to construct a new house on a vacant lot within the Riverfront Area of Mowery Brook. Map 72, Parcels 11B and 702.

AND

Notice of Intent (Continued to September 2, 2021)

107 Phelps St. - David Franca

Proposes to construct a driveway across this lot within the Riverfront Area and buffer zone of Mowery Brook. Map 72, Parcel 11A.

Updates on Current projects and Violations:

- 541 Pleasant St. - Ms. Ryder noted she had invited the owner to the meeting but hasn't heard from him. The Commission asked that fines be issued daily until such time as he complies with the violation notices he's received.
- Torrential Rain - Ms. Ryder checked several sites after the rain: 100 Campus Dr. had problems, warning will be issued, Roosevelt St., and 149 Hayes Memorial Dr. will be checked on Friday. Green District on Simarano Dr. reported things were **OK**.

Correspondence/Other Business:

Next Conservation Commission meetings: Sept. 16th and October 7th, 2021

Adjournment - There being no further business the meeting was adjourned on a unanimous vote 7-0 at 8:30 PM.

Respectfully submitted,


Priscilla Ryder
Conservation/Sustainability Officer

Marlborough Historical Commission Meeting Minutes

June 17, 2021

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CITY OF MARLBOROUGH

Location: City Hall Council Meeting Room 1st Floor City Hall

Board Attendees: Robert Fagone, Brendan Downey, Andrea Bell Bergeron, Melanie Whapham. Absent: Pamela Wilderman, Alan Slattery, Lawrence Reeves (Associate Member).

2021 JUL 16 A 9:26

Meeting called to order 7:03 PM

1. Administrative Item: Bob will report back to Trish Bernard that the Committee requests we continue to meet on the 3rd Thursday of each month.
2. On the Motion to approve the minutes for April and May 2021, the Commission approved unanimously.
3. Correspondence & Communications
 - a. Secretary's position still open. Andrea to take notes for time being. Good time to get our recruiting hats on. Bob to contact homeowner on Union Street as a possible candidate.
 - b. 982 Boston Post Rd East. Demolition Permit has been approved by the City. Bob visited the building with the Building Commissioner and Ethan from Inspectional Services. Previous fines were forgiven since the owner has moved all commercial building materials off this residential site. June 17th Chair visited the property again with Chandra Lothian of the Historical Society to take pictures of interior fixtures and damage. Very little if any salvageable historical items. Very expensive rehab project. Owner will keep the footprint as a residential farm building for his personal residence and attempt to match present color scheme. At some point in the future perhaps the City can put up a "On This Site" marker to indicate the history of the site especially if Route 20 work allows for sidewalks in this area.
 - c. 63 Maple Street. Owner contacted City Council President about the different uses of the present building. A lot of history with this building. Underground Railroad site. Owner would like to make it a multifamily building, but zoning has it coded for mixed use only. City Council's call. Commission suggested it would benefit by being a residential building only.
4. Design Guidelines:
 - a. Limited authority for Commission without a Demolition Pause Ordinance to help preserve future historical structures. But our mission statement still holds. Our efforts now to specifically target homeowners and be a resource to their stewardship. Maynard Guidelines (as an example) were too much like a rule book; not an option we feel comfortable with. Perhaps simply publish pictures of "good" or "effective" architectural examples of preservation already in the City. Melanie shared a handout of grants and information about rehab of historic places and some sources of money grants. Commission to continue to work on spreadsheets for possible grants.
 - b. Consider Framingham's Historical Commission website. The site lists much information including historic structure resources. Check other city and town websites as examples. Also, Chair to contact City about who manages our website and what we can do to add to our information display.
 - c. Signage still in play in our future plans. Visit other community's signage programs.

5. Adjourn

- a. Motion made to adjourn. Unanimous. 7:50PM

Respectfully submitted,

Andrea Bell Bergeron/Robert A. Fagone

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1A

2021 JUL 19 A 11:54

June 7, 2021

Call to Order

The remote meeting of the Marlborough Planning Board was called to order at 7:00 pm. Members present- Barbara Fenby, Matthew Elder, Sean Fay, Phil Hodge, George LaVenture, and Christopher Russ. Meeting support provided by City Engineer, Thomas DiPersio.

1. Draft Meeting Minutes

A. May 10, 2021

On a motion by Mr. LaVenture, seconded by Mr. Hodge, the Board voted to accept and file the May 10, 2021 meeting minutes. Yea: Fay, Hodge, LaVenture and Fenby. Nay: 0. Absent during time of vote: Mr. Elder and Mr. Russ. Motion carried.

B. May 24, 2021

On a motion by Mr. LaVenture, seconded by Mr. Hodge, the Board voted to accept and file the May 24, 2021 meeting minutes. Yea: Hodge, LaVenture, and Fenby. Nay: 0. Absent during time of vote: Mr. Elder. Motion carried. Mr. Fay abstained from the vote.

2. Chair's Business

A. Sign Ordinance discussion with Code Enforcement Officer Pamela Wilderman

Code Enforcement Officer Pamela Wilderman updated the Board on current enforcement within the City. Officer Ms. Wilderman explained due to COVID-19 there was an ease on enforcement during the last year. With direction from the Mayor's Office she has been informed to begin enforcement again within the City. Enforcement plans to notify establishments of violations and to follow up with them. Officer Ms. Wilderman encouraged the Board to notify her of any current violations they encounter. The Board requested to be added to the distribution list of current violations within the City. Officer Ms. Wilderman requested the Board wait until after June to address fence sign violations.

On a motion by Mr. Fay, seconded by Mr. Hodge, the Board voted to move up 4A) Proposed Zoning Amendment to Chapter 650 to add a new Section 61 Temporary Moratorium for Multi-Family Housing Projects, and 4B) Proposed Zoning Amendment, Section 650-8 – Land at 290 Hudson Street, Map 43, Parcel 38. Yea: Fay, Hodge, LaVenture, and Fenby. Nay: 0. Motion carried.

4. Public Hearings

A. Proposed Zoning Amendment to Chapter 650 to add a new Section 61 Temporary Moratorium for Multi-Family Housing Projects

Chairperson Fenby opened the hearing. Mr. LaVenture read the public hearing legal notice into the record. Chairperson Fenby provided instructions to those in attendance. The hearing was conducted in the following stages: 1) Presentation 2) Those speaking in favor 3) Those speaking in opposition 4) Comments and questions from the Board Members.

Presentation:

Mayor Arthur Vigeant explained this 90-day moratorium is to give the City time to sort out multiple projects. With Governor Baker passing the Housing Bill the City is waiting to get definitive guidelines from the Department of Housing and Community Development (DHCD). The City is waiting for these guidelines to set up a zone to make sure one of the projects the City has taken in will qualify in that zone, allowing the City to approve the project and get credit for it. Therefore giving the City the points for additional grants and awards. The State is going to be tying

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in this housing zone to MassWorkGrants and other Grants. This moratorium started the day it was advertised, April 29, 2021. The City currently has 600 units under construction/recently finished. The City has 300 in the pipeline/looking for modifications/have been approved by the City. This 90-day moratorium will not affect single family homes.

Speaking in Favor of the Amendment:

(NONE)

Dr. Fenby declared this portion of the public hearing closed.

Speaking in Opposition to the Amendment:

(NONE)

Dr. Fenby declared this portion of the public hearing closed.

Questions and Comments from the Planning Board:

(NONE)

Dr. Fenby declared this portion of the public hearing closed.

Dr. Fenby declared the public hearing closed.

On a motion by Mr. Fay, seconded by Mr. LaVenture, the Board voted to send a favorable recommendation to the City Council. Yea: Elder Fay, Hodge, LaVenture and Fenby. Nay: 0. Absent during time of vote: Mr. Russ. Motion carried.

B. Proposed Zoning Map Amendment, Section 650-8 – Land at 290 Hudson Street, Map 43, Parcel 38

Chairperson Fenby opened the hearing. Mr. LaVenture read the public hearing legal notice into the record. Chairperson Fenby provided instructions to those in attendance. The hearing was conducted in the following stages: 1) Presentation 2) Those speaking in favor 3) Those speaking in opposition 4) Comments and questions from the Board Members.

Presentation:

City Councilor John Irish (367 West Hill Road, Marlborough, MA 01752)

Councilor Mr. Irish proposed a rezoning of the land at 290 Hudson Street, Map 43, Parcel 38, from LI (Limited Industrial) to A3 (Residential). In 1969 the City changed the zoning to LI and included the parcel at 290 Hudson Street. Prior to 1969 this parcel was in a resident zone, similar to an A2 or A3 zone. Moving the zoning line to remove the only single-family property in that district would significantly improve the situation for the owners at 290 Hudson Street. Currently any improvements on the property would have to go through the Zoning Board of Appeals (ZBA) for relief.

Speaking in Favor of the Amendment:

Thomas McGinley (290 Hudson Street, Marlborough, MA 01752), spoke in favor. Mr. McGinley has been the current resident since 2004. Mr. McGinley said he would like to add an addition to his home.

City Councilor Kathleen Robey (97 Hudson Street, Marlborough, MA 01752), spoke in favor. Councilor Ms. Robey pointed out because the property at 290 Hudson Street is currently zoned LI the owner could go for a permit, but they would have to go to the ZBA because they are considered preexisting nonconforming. They could not do a simple building permit from the building department. Every house on Hudson Street except for 290 Hudson Street is currently zoned as A2 or A3.

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Shelia MacDonald (290 Hudson Street, Marlborough, MA 01752), spoke in favor. Ms. MacDonald thanked Councilors, Mr. Irish and Ms. Robey for their favorable recommendations and explained they are trying to enhance the value of their property and the community.

Dr. Fenby declared this portion of the public hearing closed.

Speaking in Opposition to the Amendment:

(NONE)

Dr. Fenby declared this portion of the public hearing closed.

Questions and Comments from the Planning Board:

Mr. Hodge asked if the property would remain a single-family home.
Councilor Mr. Irish said yes.

Dr. Fenby declared the public hearing closed.

On a motion by Mr. Fay, seconded by Mr. Elder, the Board voted to send a favorable recommendation to the City Council without further guidance. Yea: Elder Fay, Hodge, LaVenture and Fenby. Nay: 0. Absent during time of vote: Mr. Russ. Motion carried.

2. Chair's Business

B. Discussion regarding the transition to in person Planning Board meetings

The Board discussed their concerns on the size of the room where Planning Board meetings are held, noting especially when the Planning Board has public hearings with potentially large public attendance. Dr. Fenby decided she will explore alternative location options, with the intent to use this alternative location until the end of September.

3. Approval Not Required

A. 285 and 297 Concord Road – Applicant Estate of Paul D May, & Joseph F. and Sandra M. May

Deed Reference: Book 19501 Page: 343

Deed Reference: Book 40720 Page: 293

Deed Reference: Book 30947 Page: 443

Surveyor: Hancock Associates (315 Elm Street, Marlborough, MA 01752)

Mr. LaVenture read the Engineering review letter into record.

On a motion by Mr. Elder, seconded by Mr. Hodge, the Board voted to accept and file the correspondence. Yea: Elder Fay, Hodge, LaVenture and Fenby. Nay: 0. Absent during time of vote: Mr. Russ. Motion carried.

Open for discussion regarding this endorsement

Mr. Joseph May (297 Concord Rd, Marlborough, MA 01752) explained due to the existing ANR and his father passing Mr. Paul May (285 Concord Rd, Marlborough, MA 01752) it was easiest to convert the 285 Lot into a ½ acre Lot and roll the excess square footage into the proposed parcel 3. He said he plans to deal with the land at a later date and doesn't plan to present anything to the Board in the near future, unless he gets further information on the public way status.

The Board discussed their concerns on the public way status and the wording of a note on the Plan. City Engineer Thomas DiPersio explained to the Board after a discussion with City Solicitor Jason Grossfield they concluded the

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language “Parcel A is not currently a buildable Lot” is accurate, because the adequacy of Hemmingway Street could change, and someone could improve it.

On a Motion by Mr. Fay seconded by Mr. LaVenture to endorse the plan. Yea: Elder Fay, Hodge, LaVenture, Russ and Fenby. Nay: 0. Motion carried.

5. Subdivision Progress Reports (None)

6. Preliminary/Open Space/Limited Development Subdivision (None)

7. Definitive Subdivision Submissions (None)

8. Signs

A. Sign Variance Application 191-237 Boston Post Road West, Marlborough, MA 01752

Representative: Michael Brangwynne, Fletcher Tilton PC (12 Post Office Square, 6th Floor, Boston, MA 02109) – Continued from April 5, 2021

Correspondence from Mr. Brangwynne – Request to continue to July 19, 2021

Mr. LaVenture read the correspondence into the record.

On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to acceptable and file and post pone to July 19, 2021. Yea: Elder, Fay, Hodge, LaVenture, Russ, and Fenby. Nay: 0. Motion carried.

B. Sign Variance Application 121 Bolton Street, Marlborough, MA 01752

Representative: Brian Falk, Mirick O’Connell (100 Front Street, Worcester, MA 01608)

Mr. LaVenture read the Mirick O’Connell correspondence into the record.

Arthur Bergeron spoke on behalf of this variance, stating there was previously a gas station in this location. He explained they have support from the neighborhood and that there is no size issue, but there is a setback issue due to the residential neighborhood.

Mr. Fay and Mr. LaVenture referenced Codes § 526-13 Electronic message center signs; digital display signs: A.) applicability and B.) Standards, that were written in Code Enforcement Officer Ethan Lippitt’s May 5, 2021 letter addressed to Carolyn A. Parker Consulting regarding the sign permit application.

The Board decided to reach out the Legal for further guidance and Mr. Bergeron requested this matter be continued to the June 21, 2021 Planning Board meeting.

Mr. Fay discussed his concerns regarding the lights being on after the gas station was closed with in a residential neighborhood.

On a motion by Mr. Elder, seconded by Mr. Fay, the Board voted to accept, file all correspondence, and to table to the June 21, 2021 meeting. Yea: Elder, Fay, Hodge, LaVenture, Russ, and Fenby. Nay: 0. Motion carried

9. Correspondence (None)

10. Unfinished Business

A. Working Group Discussion – Planning Board Rules and Regulations Continued

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Mr. LaVenture thanked the Engineering and Legal Departments for their continued support in our efforts. He explained there would be new language for the Board to review at their next meeting scheduled for June 21, 2021.

Mr. LaVenture provided an update. At the Working Group's last meeting they completed their review of the model subdivision regulations developed by the Pioneer Valley Planning Commission. The Planning Board will see a bit of the proposed language from this at their June 21, 2021 meeting. One of the items will be color coding of some items on definitive plans to help identify them.

Solicitor Mr. Piques has continued his discussions with other municipalities. Last week he reached out to Andy Port, City Planner for the City of Newburyport. He found they conditioned the final release of the last 10% of the surety to be either 3 years, or when the developer is able to get the street accepted by the City Council. In Mr. Port's experience – the developer has always petitioned for acceptance prior to the 3 years in order to get their money back. He also said they use the 53G process / peer review of the development with great frequency and success. The Board will see draft 53G language after the Rules and Regulation update.

Solicitor Mr. Piques heard from Ms. Meredith Harris at MEDC. Ms. Harris indicated Mr. Mark Racicot at MAPC should be available to take on additional projects by this summer. However, we won't receive a proposal from them until sometime next month.

At the Board's last meeting they suggested the September 13 meeting for the board's public presentation and hearing on the Rules and Regulations changes the Working Group proposes.

Mr. LaVenture presented a draft timeline:

- Monday, June 21 - Proposed language to present
- Wednesday, June 23 - Deadline for Legal to provide language on Street Acceptance
- Monday, July 19 - Planning Board meeting with presentation of language for final proposed changes. Our desire here is for the Board to formally refer all proposals to Legal for formal review.
- Tuesday, July 20 - Assuming referral by the Board, the final draft package would be resubmitted to the Mayor, CC, DHs, MEDC/MAPC for their thoughts and deconfliction. Comments/questions/suggestions would be requested by 11 Aug.
- Wednesday, August 11 - The Working Group would be available to answer questions from the above group.
- Monday, August 23 - Planning Board meeting for review of any changes due to input from the above group.
- Monday, September 13 - Public hearing for formal presentation by the Working Group of proposed changes. To simplify presentation, discussion, and voting, we propose voting on approval of proposed changes in sections. The first vote would cover both Article I General Provisions and Article II Definitions. The second would cover Article III Submission and Approval of Plans A676-3-9 ANRs and Preliminary Plans. The third vote would cover A676-10 Definitive Plans. The fourth vote would cover Article IV Design Standards, Article V Required Improvements for an Approved Subdivision, and Article VI Administration. The fifth vote would cover Appendices A-E, G-J, and L the Forms. The sixth vote would cover Appendix F Cross Sections. The seventh and last vote would cover Appendix K Fees. The Board could certainly do fewer votes depending on how the presentation progresses. The Working Group thought multiple votes would allow us to close out change proposals and not need to revisit them should the hearing need to extend beyond the one meeting.

Mr. Fay informed the board he will not be present at the July 19, 2021 Planning Board meeting.

11. Calendar Updates (None)

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12. Public Notices of other Cities & Towns (None)

On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to adjourn the meeting. Yea: Elder, Fay, Hodge, LaVenture, Russ, and Fenby. Nay: 0. Motion carried.

Respectfully submitted,



George LaVenture/Clerk

/kmm

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2021 AUG 30 P 2:10
June 21, 2021

Call to Order

The Meeting of the Marlborough Planning Board was called to order at 7:00 pm in Memorial Hall, 3rd Floor City Hall, 140 Main Street, Marlborough, MA. Members present: Barbara Fenby, Matthew Elder, Sean Fay, Phil Hodge, George LaVenture and Chis Russ. Meeting support provided by City Engineer, Thomas DiPersio.

1. Draft Meeting Minutes

A. June 7, 2021

On a motion by Mr. Elder, seconded by Mr. LaVenture, the Board voted to accept and file the June 7, 2021 meeting minutes. Yea: Elder, Fay, Hodge, LaVenture, Russ and Fenby. Nay: 0. Motion carried.

2. Chair's Business

A. Appointment of William Fowler to the Planning Board

The Board reviewed the June 17, 2021 letter from the Mayor, Arthur G. Vigeant - See attached.

3. Approval Not Required (None)

4. Public Hearings

A. City Council Order # 21-1008293 Proposed Zoning Amendment to Chapter 650 to add a new Section to create the "Commercial Village Overlay District"

Chairperson Fenby opened the hearing. Mr. LaVenture read the public hearing legal notice into the record. Chairperson Fenby provided instructions to those in attendance. The hearing was conducted in the following stages: 1) Presentation 2) Those speaking in favor 3) Those speaking in opposition 4) Comments and questions from the Board members.

Presentation:

Robert Buckley, Esquire, Riemer Braunstein, LLP (700 District Avenue, 11th Floor Burlington, MA 01803)
Kristine Hung, Esquire, Riemer Braunstein, LLP (700 District Avenue, 11th Floor Burlington, MA 01803)
Scott Weiss, Gutierrez Company (200 Summit Drive, Suite 400 Burlington, MA 01803)

Mr. Buckley explained the purpose of this overlay district is to create a transitional zone between Marlborough Hills and the residential area. The subdivision structures in the previously approved subdivision would be in close proximity to the abutting residential properties. They want to explore ways to bring the development sites away from the residential properties and closer to the commercial streets. At the same time providing the City with alternatives to apartments by creating age targeted homes. Mr. Buckley reminded the board this is only the zoning change and they will need to go through the Site Plan Review Committee and review the proposal if approved, but that they provided a development agreement in the proposed zoning change to help the City and the applicant throughout the process.

Mr. Weiss went over the power point - see attached.

Dr. Fenby declared this portion of the public hearing closed.

Speaking in Favor of the Amendment: (NONE)

Dr. Fenby declared this portion of the public hearing closed.

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Speaking in Opposition to the Amendment: (NONE)

Dr. Fenby declared this portion of the public hearing closed.

Questions and Comments from the Planning Board:

The Planning Board had a discussion regarding several concerns and aspects of this proposed zoning change.

City Councilor Kathleen Robey brought to the Planning Boards attention: in May of 2018 the Planning Board was presented the same proposal, and at the time, the Planning Board had sent a negative recommendation to the City Council.

Mr. LaVenture read the May 8, 2018 Planning Board letter of negative recommendation to City Council regarding the City Council Order #18-1007134 Proposed Zoning Amendment, Section 650-36, Commercial Village Housing Overlay District into the record. – See attached.

The Board came to the following conclusion:

- The developer did not establish the proposed Overlay District is consistent with the character of the surrounding neighborhood in that a high density is proposed abutting a single residential family area;
- Approval of the Overlay District would be overly burdensome to the residential neighbors (increased traffic with the number of proposed units and 4-story height in close proximity to single family residential abutters);
- The developer did not establish the proposed Overlay District would provide the City with a type of housing that is not already available in the City, or that the proposed Overlay District would benefit the City in any compelling way, or in a manner that would outweigh the potential burdens on the residential neighbors. Although a tax benefit was cited by the developer, there could be corresponding costs for safety and other services. In addition, the developer would not be cleaning up their open space of soil contamination;
- The developers did not establish the proposed Overlay District would be keeping with the intent and purposes of the City Zoning Ordinance. The residents of the surrounding neighborhood are entitled to a reasonable expectation of being protected by the existing zoning absent a change that clearly benefits the City;

In addition, if the City Council sees fit to approve the Overlay District, the Planning Board suggests the following limitations:

- Significantly reducing the percentage of lot coverage allowed;
- Reducing the number of stories allowed for the buildings;
- Reducing the overall number of units;
- Restricting the undeveloped portion of the property so that no further development could take place, and the existing land could not be disturbed;
- Given the contaminated soil, the undeveloped portion of the land should not be transferred to the City; and,
- Incorporating the environmental and soil management plan contained in the developer's current single family subdivision approval into the terms of any Special Permit issued in the future.

On a motion by Mr. Elder, seconded by Mr. Fay, the Board voted to send a negative recommendation to the City Council based on the four thresholds and with the stipulations noted above for the proposed zoning amendment. Yea: Elder, Fay, Hodge, LaVenture, Russ and Fenby. Nay: 0. Motion carried.

Dr. Fenby declared the public hearing closed.

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5. Subdivision Progress Reports (None)

6. Preliminary/Open Space/Limited Development Subdivision (None)

7. Definitive Subdivision Submissions (None)

8. Signs

B. Sign Variance Application 121 Bolton Street, Marlborough, MA 01752

Representative: Brian Falk, Mirick O'Connell (100 Front Street, Worcester, MA 01608) Continued from June 7, 2021
Correspondence from Assistant City Solicitor Jason Piques

Mr. LaVenture read the Correspondence from Solicitor Mr. Piques into the record.

Mr. LaVenture read the email requesting a continuance to July 19th from Mr. Falk into the record.

On a motion by Dr. Fenby, seconded by Mr. LaVenture, the Board voted to accept and file both correspondence and grant the continuance to the July 19th Planning Board Meeting. Yea: Elder, Fay, Hodge, LaVenture, Russ and Fenby. Nay: 0. Motion carried.

The Planning Board decided to reach out to the Legal Department for further guidance regarding the 121 Bolton Street sign variance application.

9. Correspondence (None)

10. Unfinished Business

B. Working Group Discussion – Planning Board Rules and Regulations Continued

Mr. LaVenture thanked the Engineering and Legal Departments for their continued support. He went over the highlighted changes within a portion of the proposed changes to the Planning Board Rules and Regulations.

The Board discussed their concerns on the language under section I.(3). The Board decided to add the following language "or provide a detailed written plan of corrective action acceptable to the Planning Board."

Mr. LaVenture presented additional information "Section L" from the proposed changes of the Planning Board's Rules and Regulations - See attached

Mr. LaVenture presented a draft timeline:

- Wednesday, June 23 - Deadline for Legal to provide language on Street Acceptance.
- Monday, July 19 - Planning Board meeting with presentation of language for final proposed changes. The desire here is for the Board to formally refer all proposals to Legal for formal review.
- Tuesday, July 20 - Assuming referral by the Board, the final draft package would be resubmitted to the Mayor, CC, DHs, MEDC/MAPC for their thoughts and deconfliction. Comments/questions/suggestions would be requested by August 11.
- Wednesday, August 11 - The Working Group would be available to answer questions from the above group.
- Monday, August 23 - Planning Board meeting for review of any changes due to input from the above group.
- Monday, September 13 - Public hearing for formal presentation by the Working Group of proposed changes.

11. Calendar Updates (None)

12. Public Notices of other Cities & Towns (None)

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On a motion by Mr. Elder, seconded by Mr. Russ, the Board voted to adjourn the meeting. Yea: Elder, Fay, Hodge, LaVenture, Russ, and Fenby. Nay: 0. Motion carried.

Respectfully submitted,



George LaVenture/Clerk

/kmm